

Chestnut Senior Village

CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

APRIL 7, 2006

FILE COPY

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APR 2 2018

PLANNING DEPT.

TOWN OF FRANKLIN
TOWN CLERK

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RECEIVED

CERTIFICATE OF VOTE NOTES

- SEE CERTIFICATE OF VOTE GRANTED BY THE FRANKLIN PLANNING BOARD VOTING TO APPROVE WITH CONDITIONS CHESTNUT SENIOR VILLAGE SITE PLAN DATED JUNE 13, 2008 CONDITIONS ARE AS FOLLOWS:
 - INSTALLATION OF SIDEWALKS WITH VERTICAL GRANITE CURBING FROM EAST CENTRAL STREET TO THE MAIN REAR ENTRANCE OF SHAW'S MARKET PER THE LETTER DATED APRIL 28, 2008 SUBMITTED BY GUERRIERE AND HALNON, INC. ON FILE AT THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
 - SUCCESSFUL DESIGN AND CONSTRUCTION OF BALCONY ACCESS TO THE THIRD FLOOR OF THE REAR BUILDING AS STIPULATED IN THE MEMO DATED FEBRUARY 7, 2008 SUBMITTED BY THE FIRE CHIEF ON FILE AT THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT.
- SEE CERTIFICATE OF VOTE GRANTED BY THE FRANKLIN PLANNING BOARD VOTING TO APPROVE WITH SPECIAL CONDITIONS CHESTNUT SENIOR VILLAGE SPECIAL PERMIT- USE- DATED JUNE 12, 2008 CONDITIONS ARE AS FOLLOWS:
 - THE APPLICANT SHALL CONVEY PARCEL A, 4± AC. OF LAND AS OPEN SPACE TO THE TOWN OF FRANKLIN AS INDICATED ON THE SITE PLAN
 - THE APPLICANT SHALL INSTALL A 6 FT. HIGH VINYL FENCE AS INDICATED ON THE SITE PLAN ALONG WITH MRS. DORR'S PROPERTY AS REQUESTED BY MRS. DORR.
 - THE APPLICANT SHALL PROVIDE PUBLIC ACCESS TO THE OPEN SPACE (PARCEL A) BEING CONVEYED TO THE TOWN IN PERPETUITY.

REVISIONS	
DATE	REVISED
05-08-06	DRAINAGE IMPROVEMENTS
5/10/06	PER CON COM COMMENTS
5/12/06	PER CON COM
7/19/06	TOWN AND CONSULTANT COMMENTS
8/8/06	PER DESIGN REVIEW
9/13/06	PER DPW AND CONSULTANT
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12/06/07	PER TOWN REMAND REVIEW
01/28/08	PER LAWYER COMMENTS
03/13/08	PER TOWN COMMENTS
03/21/08	PER CON COM COMMENTS
04/29/08	PER TOWN COMMENTS
06/23/2011	CERTIFICATE OF VOTE

ARCHITECT:

ALLEVATO ARCHITECTS, INC
Architecture Interiors Planning
31 Hayward Street
Franklin, Massachusetts 02038
T/(508) 528-0770 F/(508) 528-9454

OWNER:

RANIERI TRUST
MARGARET C. RANIERI, TRUSTEE

APPLICANT:

DONALD RANIERI JR.
P.O. BOX 175
FRANKLIN, MA 02038

SITE PLAN
APPROVED DATE
FRANKLIN PLANNING BOARD

John Connolly
Michael Y. Weaver
Michael Y. Weaver

DATE 8/13/12

INDEX OF DRAWINGS

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	PROPOSED CONDITIONS
4	LANDSCAPE PLAN
4A	PHOTOMETRIC PLAN
5	GRADING PLAN
5A	UTILITY PLAN
6	DETAIL SHEET
7	DETAIL SHEET
8	DETAIL SHEET
9	ARCHITECTURAL PLAN
9A	ARCHITECTURAL PLAN



Vicinity Map

SCALE: 1"=200'



CIVIL ENGINEER/LAND SURVEYOR:

GUERRIERE & HALNON, INC
38 POND STREET SUITE 206
FRANKLIN, MA 02038

F3183

JOB NO. F3183

LOT AREA
MINIMUM OPEN SPACE (30%)
PASSIVE RECREATION 40% OPEN SPACE
PASSIVE REC./ UPLAND = 32,780 SF.
WETLANDS AREA = 148,309 SF.
TOTAL RECREATION=181,089 SF.
(17% IS UPLAND RECREATION)

REQUIRED	PROPOSED
5 ACRES	5 ACRES
1.5 ACRES	4.02 ACRES
24,000 SF.	26,617±SF.
BUILDING HEIGHT	PROVIDED
REQUIRED	MEAN ROOF HEIGHT 30 FT.
30 FT.	

NOTES (CONT)

- PARCEL A WILL BE DEEDED TO THE TOWN FOR OPEN SPACE.
- ORGANIC TREATMENT FOR MOSQUITO CONTROL IN THE UPLANDS ON THE SITE WILL BE UTILIZED.
- THERE WILL BE NO WALKING PATH IN THE 25FT. BUFFER. THE CONDO ASSOCIATION WILL MONITOR THE BUFFER FOR LITTER, DEBRIS AND IF BECOMES STRESSED THE ASSOCIATION WILL CORDON OFF THE AREA FOR NATURAL REJUVENATION.
- THE REMOVAL OF DEBRIS ON SITE WILL BE DISPOSED OF IN A CERTIFIED DISPOSAL SITE. IF ANY DEBRIS FOUND BELOW THE SURFACE WILL BE REMOVED. ALL SITES ARE SUBJECT TO MGL 21E FOR THE REMOVAL OF ANY HAZARDOUS WASTE AND SPILLAGE. REMEDIATION WILL BE PERFORMED IF NEEDED BY AN LSP, LICENSED BY THE COMMONWEALTH OF MASSACHUSETTS.
- SNOW STORAGE AREAS WILL BE GRADED TOWARD THE PARKING LOT FOR PRE TREATMENT.
- CALCIUM OR SIMILAR ICE TREATMENTS WILL BE USED. NO SODIUM CHLORIDE WILL BE USED.

4/19/06 TEST PIT #1	4/19/06 TEST PIT #2
0-6" LOAM	0-6" LOAM
6"-40" SUB SOIL	6"-50" SUB SOIL
40"-120" MED SAND	50"-120" COBBLE STONE
STANDING WATER 0 65" GW @ 266.30	STANDING WATER 0 65" GW @ 265.80
4/19/06 TEST PIT #3	7/10/06 TEST PIT #4
0-14" SANDY LOAM	0-4" SANDY LOAM
14"-40" SANDY LOAM	4"-24" SANDY LOAM
40"-120" MED SAND	24"-188" MED SAND
STANDING WATER 0 65" GW @ 262.33 *HEAVY RAINS THE DAY BEFORE	STANDING WATER 0 65" NO GW

PARCEL A
REMAINING LAND OF
RANIERI TRUST
TO BE DONATED TO THE TOWN OF FRANKLIN
AREA = 4.0 ± ACRES

LOT 1
AREA = 222,157±SF.
(5.1 ACRES)
OPEN SPACE FOR PASSIVE/ACTIVE
RECREATIONAL PURPOSES
AREA=26,617± SF.

SITE PLAN
APPROVED DATE
FRANKLIN PLANNING BOARD

[Signature]

DATE 8/13/12

OWNER:
RANIERI TRUST
MARGARET C. RANIERI, TRUSTEE

APPLICANT:
DONALD RANIERI JR.
P.O.BOX 175
FRANKLIN, MA. 02038

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06/23/2011	CERTIFICATE OF VOTE

Guerriere & Halnon, Inc.
Engineering & Land Surveying
Ph. (508) 528-3221 38 POND STREET, STE 206
Fx. (508) 528-7921 FRANKLIN, MASS. 02038
www.guerriereandhalnon.com

EXISTING CONDITIONS

**CHESTNUT
SENIOR VILLAGE**

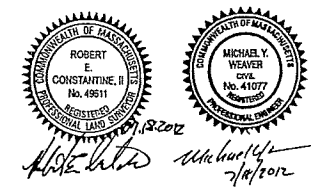
SITE PLAN OF LAND
IN
**FRANKLIN
MASSACHUSETTS**

DATE APRIL 7, 2006 SCALE 1"=40'

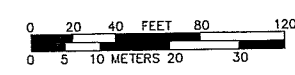
SHEET 2 OF 9 JOB NO. F3183

NOTES

- THIS PLAN REFERS TO FRANKLIN ASSESSORS MAP 285 LOT 94 AND MAP 280 LOTS 6 & 7.
- EDGE OF WETLAND HAVE BEEN FLAGGED BY JUDY SCHMITZ, WETLAND SCIENTIST.
- INFORMATION ON THIS PLANS HAS BEEN COMPILED FROM FRANKLIN ASSESSORS AND ON THE GROUND SURVEY.
- THE VEGETATION ON THE SITE WOULD BE CONSIDERED HEAVILY WOODED.
- THE SEWER SHALL BE 8" SDR35 PVC PIPE.
- THE WATER LINE SHALL BE 8" CLASS 52 CLDI.
- THE DRAIN PIPE SHALL BE CLASS III MIN. RCP.
- THIS SITE IS NOT IN A WATER RESOURCE DISTRICT.
- ELEVATIONS REFER TO NGVD 1929.
- THIS LAND IS ZONED RESIDENTIAL IV.
- ANY SOLID WASTE FOUND DURING EXCAVATION SHOULD BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS.
- THERE ARE MINOR CHANGES TO BE MADE ON THESE PLANS PER PLANNING BOARD AND FIRE DEPT. APPROVALS



CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY
EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS,
RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY
BE REVEALED BY AN EXAMINATION OF THE TITLE.



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SITE PLAN
APPROVED DATE
FRANKLIN PLANNING BOARD

John Connolly
William Davis

DATE 8/13/12

OWNER:
RANIERI TRUST
MARGARET C. RANIERI, TRUSTEE

APPLICANT:
DONALD RANIERI JR.
P.O. BOX 175
FRANKLIN, MA. 02038
DRY AREA=58,195±SF.

REVISIONS

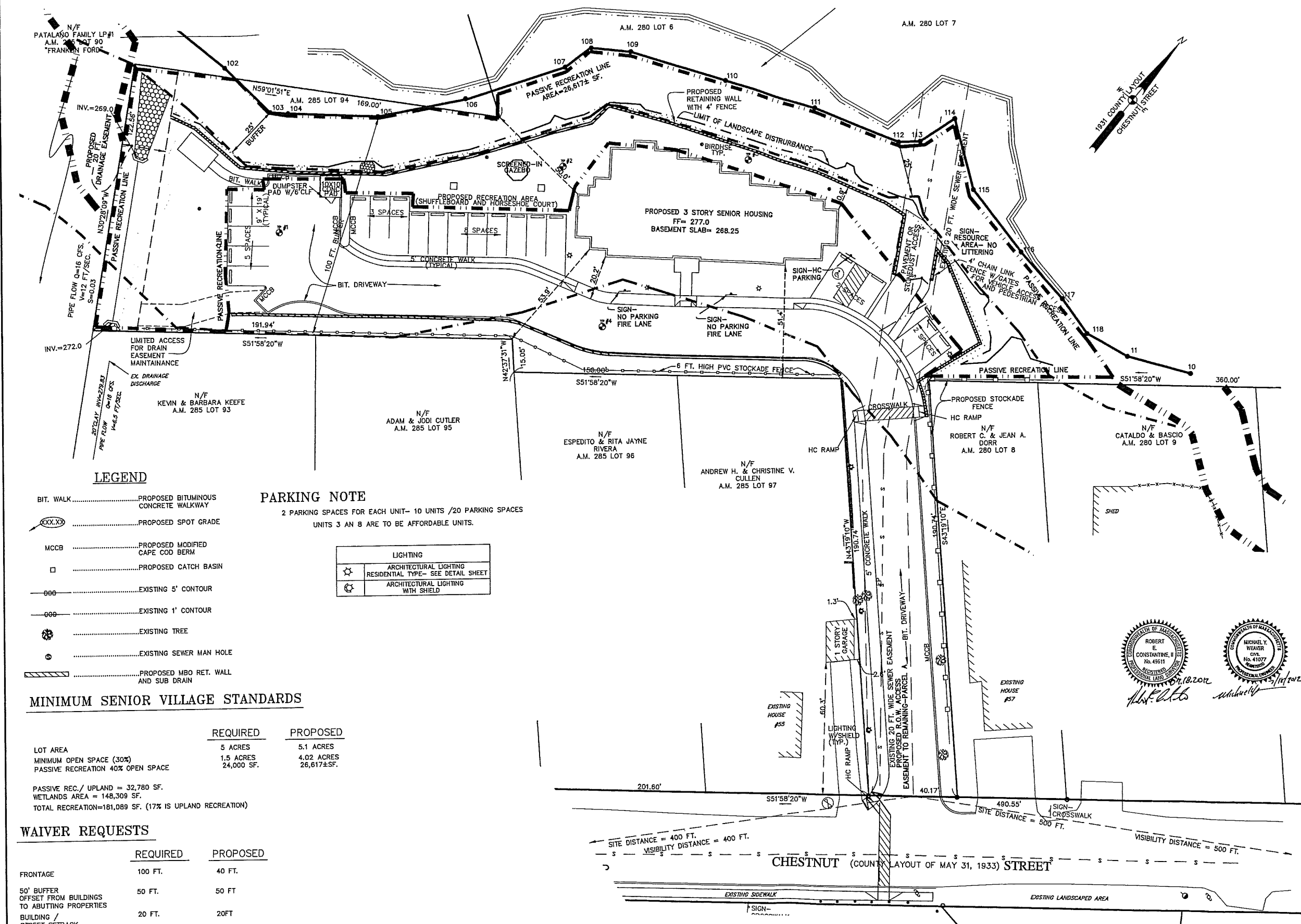
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PROPOSED CONDITIONS

CHESTNUT SENIOR VILLAGE
SITE PLAN OF LAND
IN
FRANKLIN MASSACHUSETTS

DATE	APRIL 7, 2006	SCALE	1"=20'
SHEET	3 OF 9	JOB NO.	F3183



LEGEND

- BIT. WALK.....PROPOSED BITUMINOUS CONCRETE WALKWAY
- XXXX.....PROPOSED SPOT GRADE
- MCCB.....PROPOSED MODIFIED CAPE COD BERM
-PROPOSED CATCH BASIN
-EXISTING 5' CONTOUR
-EXISTING 1' CONTOUR
-EXISTING TREE
-EXISTING SEWER MAN HOLE
- =====.....PROPOSED MBO RET. WALL AND SUB DRAIN

PARKING NOTE

2 PARKING SPACES FOR EACH UNIT- 10 UNITS /20 PARKING SPACES
UNITS 3 AND 8 ARE TO BE AFFORDABLE UNITS.

LIGHTING	
☆	ARCHITECTURAL LIGHTING
☆	RESIDENTIAL TYPE- SEE DETAIL SHEET
☆	ARCHITECTURAL LIGHTING WITH SHIELD

MINIMUM SENIOR VILLAGE STANDARDS

	REQUIRED	PROPOSED
LOT AREA	5 ACRES	5.1 ACRES
MINIMUM OPEN SPACE (30%)	1.5 ACRES	4.02 ACRES
PASSIVE RECREATION 40% OPEN SPACE	24,000 SF.	26,617±SF.
PASSIVE REC./ UPLAND = 32,780 SF.		
WETLANDS AREA = 148,309 SF.		
TOTAL RECREATION=181,089 SF. (17% IS UPLAND RECREATION)		

WAIVER REQUESTS

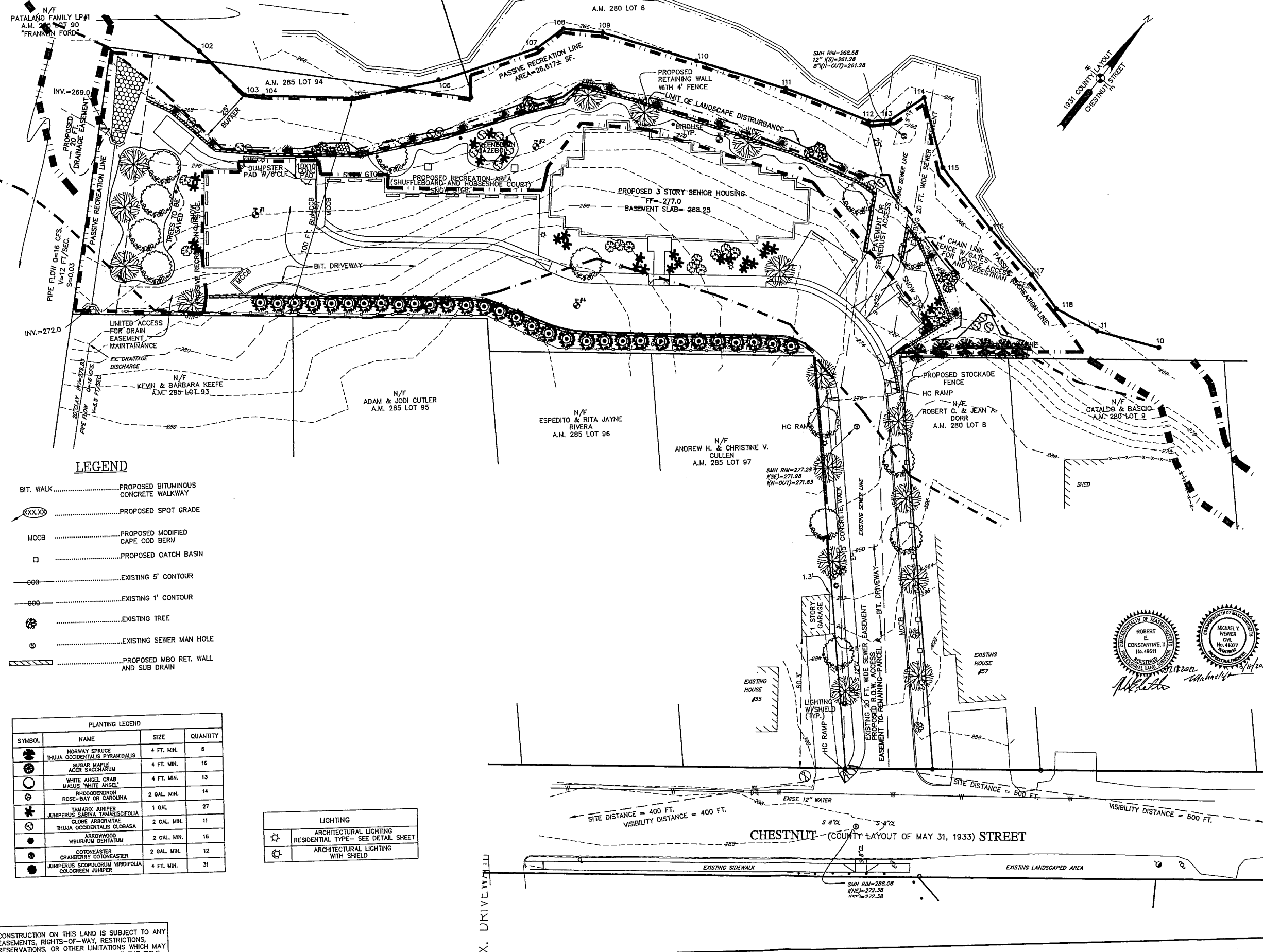
	REQUIRED	PROPOSED
FRONTAGE	100 FT.	40 FT.
50' BUFFER OFFSET FROM BUILDINGS TO ADJUTING PROPERTIES	50 FT.	50 FT
BUILDING / STREET SETBACK	20 FT.	20FT

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

DISTURBANCE BETWEEN THE 25FT. BUFFER AND THE 50 FT. BUFFER= 3,122±SF.
DISTURBANCE BETWEEN THE 50FT. BUFFER AND THE 100 FT. BUFFER= 13,678±SF.
TOTAL IMPERVIOUS AREA = 23,732±SF.

SEE SHEET 7 FOR SIDEWALK DETAIL

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SITE PLAN
APPROVED DATE
FRANKLIN PLANNING BOARD

John Connolly
Margaret C. Ranieri

DATE 8/13/12
OWNER:
RANIERI TRUST
MARGARET C. RANIERI, TRUSTEE

APPLICANT:
DONALD RANIERI JR.
P.O. BOX 175
FRANKLIN, MA. 02038
DRY AREA=58,195±SF.

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LANDSCAPE PLAN

CHESTNUT SENIOR VILLAGE

SITE PLAN OF LAND
IN
**FRANKLIN
MASSACHUSETTS**

DATE APRIL 7, 2008 SCALE 1"=20'
SHEET 4 OF 9 JOB NO. F3183

JOB NO.
F3183

JOB NO. F3183

SITE PLAN
APPROVED DATE
FRANKLIN PLANNING BOARD

John Canale
William S. Sandoz

DATE 8/13/12

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DRY AREA=58,195±SF.

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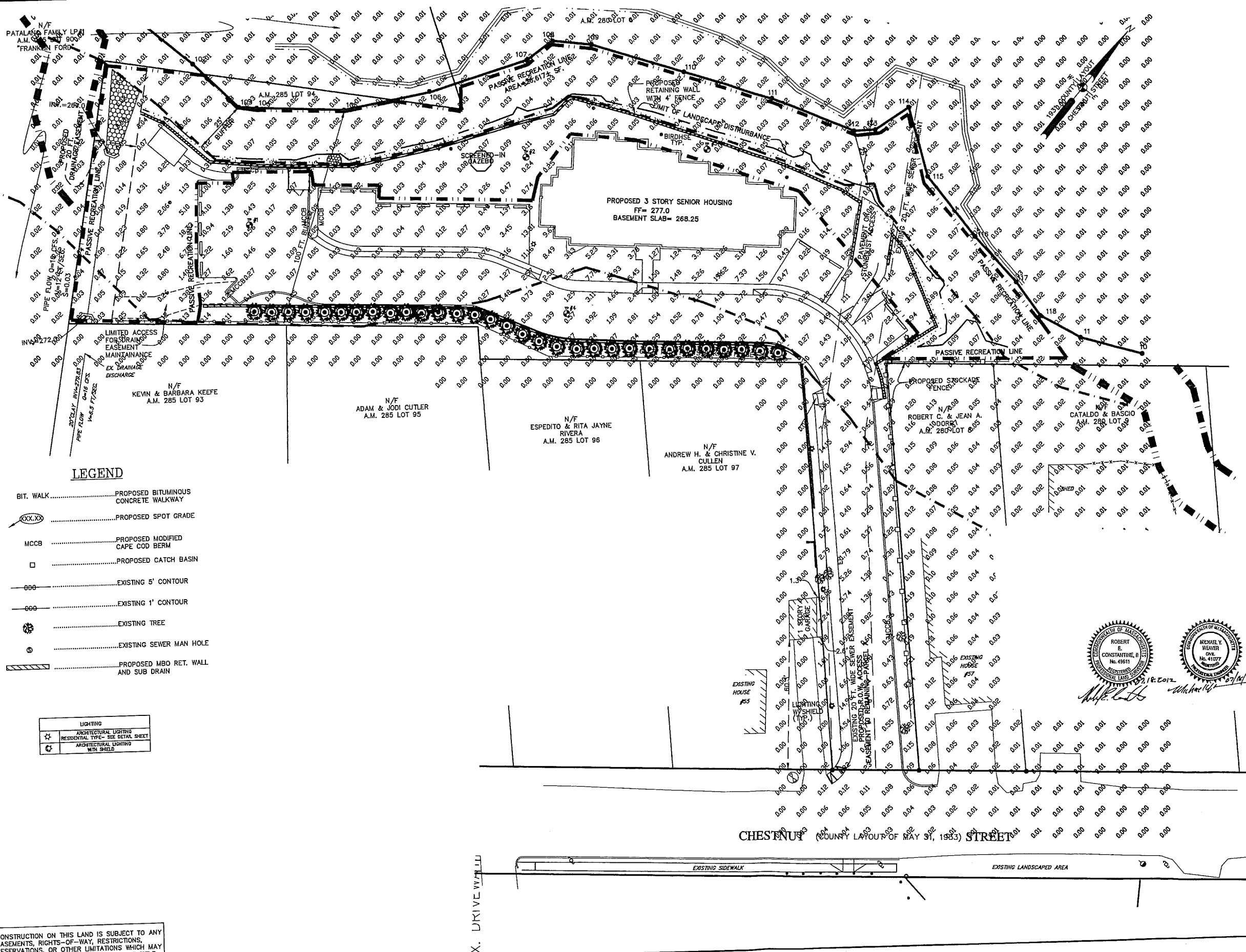
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PHOTOMETRICS

CHESTNUT SENIOR VILLAGE

SITE PLAN OF LAND
IN
FRANKLIN MASSACHUSETTS

DATE APRIL 7, 2008	SCALE 1"=20'
SHEET 4A OF 9	JOB NO. F3183



LEGEND

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- XXX.XX.....PROPOSED SPOT GRADE
- MCCB.....PROPOSED MODIFIED CAPE COD BERM
-PROPOSED CATCH BASIN
-EXISTING 5' CONTOUR
-EXISTING 1' CONTOUR
-EXISTING TREE
- ⊙.....EXISTING SEWER MAN HOLE
- ▨.....PROPOSED MBO RET. WALL AND SUB DRAIN

LIGHTING	
☆	ARCHITECTURAL LIGHTING
★	RESIDENTIAL TYPE - SEE DETAIL SHEET
⊙	ARCHITECTURAL LIGHTING WITH SHIELD

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APPROVED DATE
FRANKLIN PLANNING BOARD

John Connolly
William David

DATE 8/13/12

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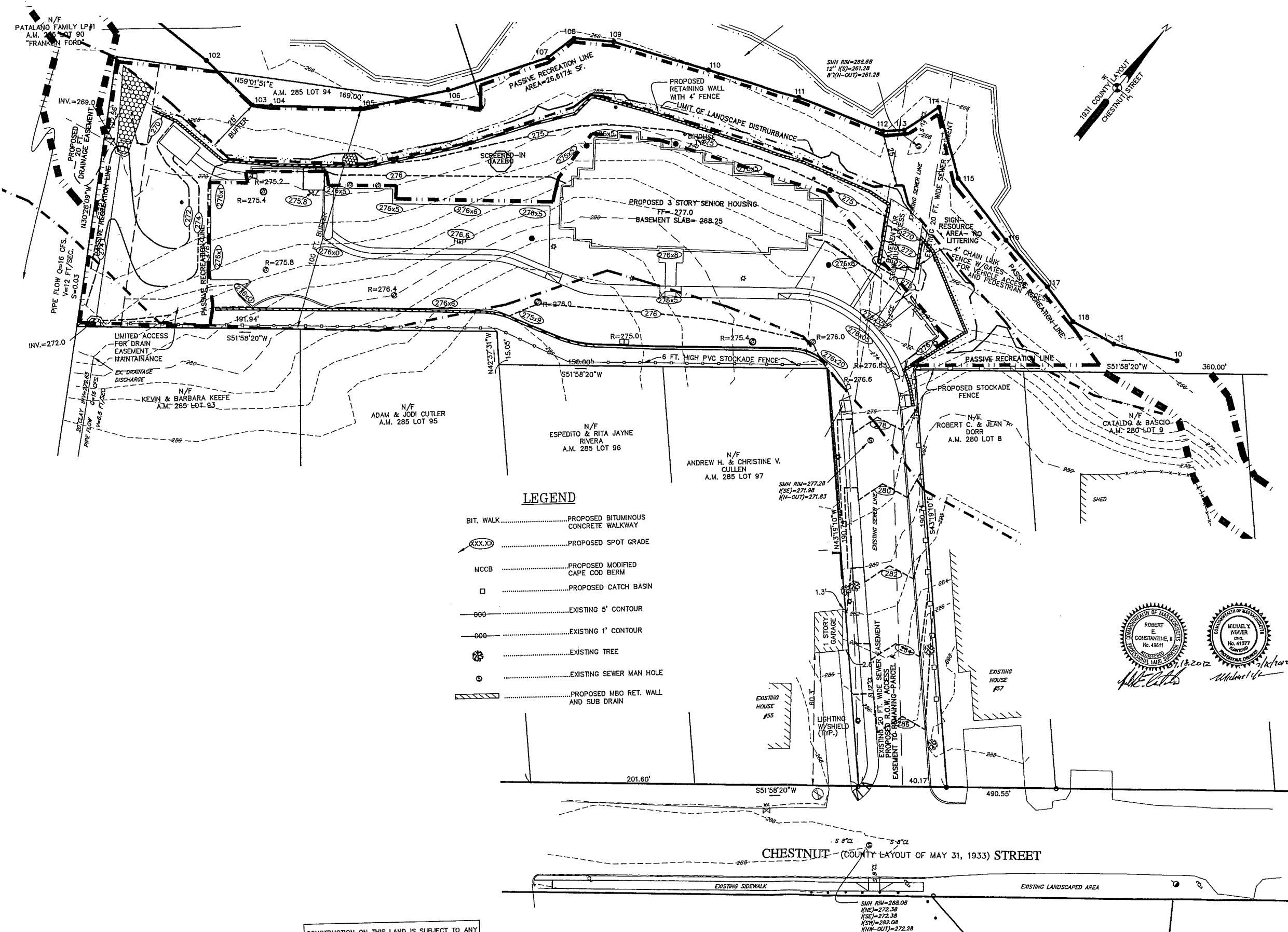
GRADING PLAN

CHESTNUT
SENIOR VILLAGE

SITE PLAN OF LAND
IN

FRANKLIN
MASSACHUSETTS

DATE MARCH 31, 2006 SCALE 1"=20'
SHEET 5 OF 9 JOB NO. F3183



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SITE PLAN
APPROVED DATE
FRANKLIN PLANNING BOARD

John J. Ramieri
Supervising Engineer
Professional Engineer

DATE 8/13/12

OWNER:
RANIERI TRUST
MARGARET C. RANIERI, TRUSTEE
APPLICANT:
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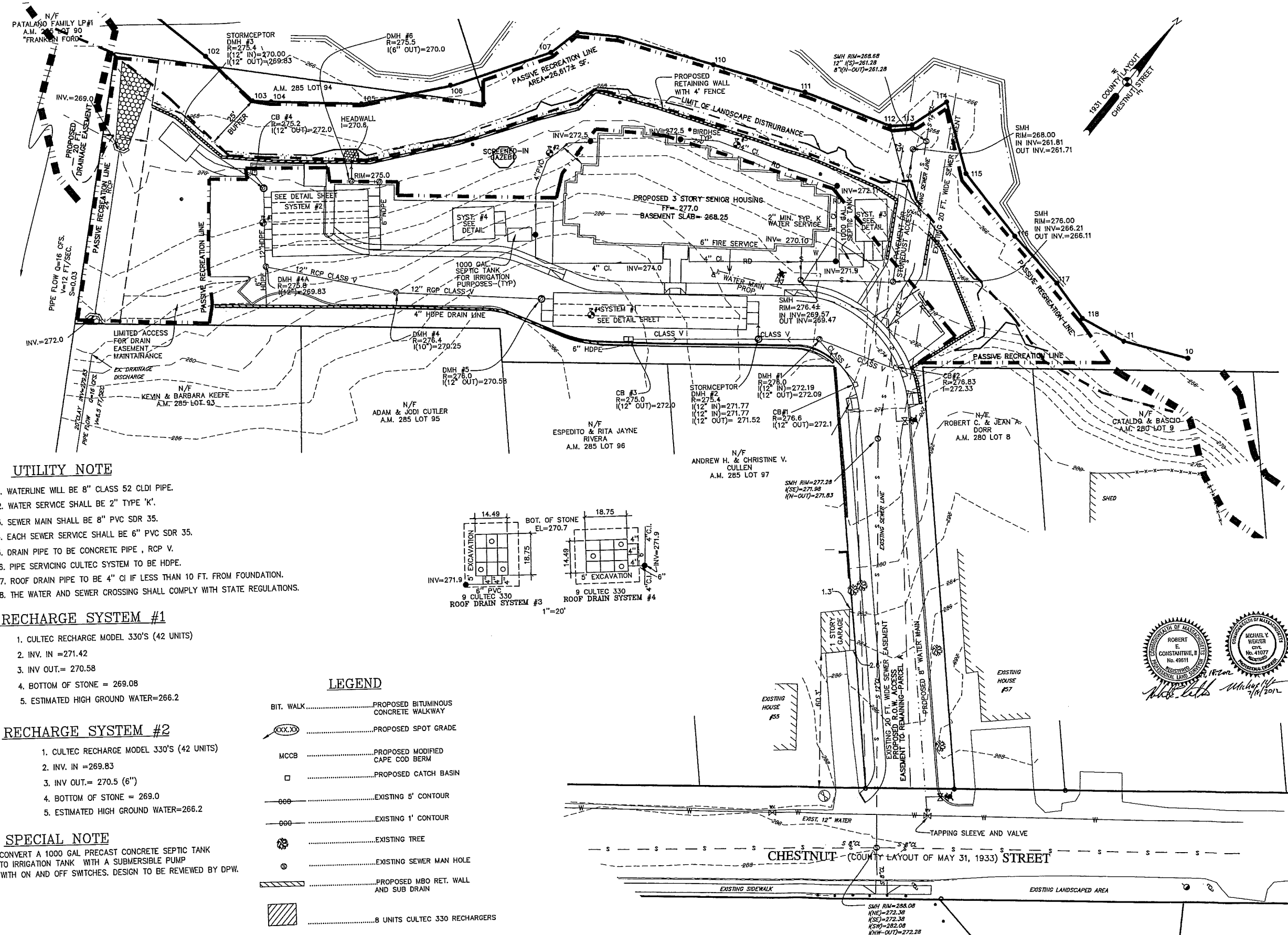
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UTILITY PLAN

CHESTNUT SENIOR VILLAGE

SITE PLAN OF LAND
IN
FRANKLIN MASSACHUSETTS

DATE MARCH 31, 2006 SCALE 1"=20'
SHEET 5A OF 9 JOB NO. F3183



UTILITY NOTE

1. WATERLINE WILL BE 8" CLASS 52 CLDI PIPE.
2. WATER SERVICE SHALL BE 2" TYPE 'K'.
3. SEWER MAIN SHALL BE 8" PVC SDR 35.
4. EACH SEWER SERVICE SHALL BE 6" PVC SDR 35.
5. DRAIN PIPE TO BE CONCRETE PIPE, RCP V.
6. PIPE SERVICING CULTEC SYSTEM TO BE HDPE.
7. ROOF DRAIN PIPE TO BE 4" CI IF LESS THAN 10 FT. FROM FOUNDATION.
8. THE WATER AND SEWER CROSSING SHALL COMPLY WITH STATE REGULATIONS.

RECHARGE SYSTEM #1

1. CULTEC RECHARGE MODEL 330'S (42 UNITS)
2. INV. IN =271.42
3. INV OUT.= 270.58
4. BOTTOM OF STONE = 269.08
5. ESTIMATED HIGH GROUND WATER=266.2

RECHARGE SYSTEM #2

1. CULTEC RECHARGE MODEL 330'S (42 UNITS)
2. INV. IN =269.83
3. INV OUT.= 270.5 (6")
4. BOTTOM OF STONE = 269.0
5. ESTIMATED HIGH GROUND WATER=266.2

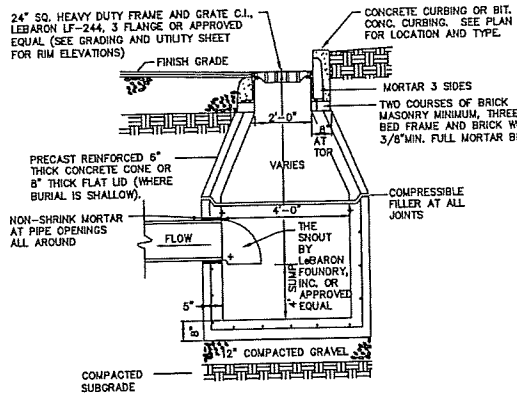
SPECIAL NOTE

CONVERT A 1000 GAL PRECAST CONCRETE SEPTIC TANK TO IRRIGATION TANK WITH A SUBMERSIBLE PUMP WITH ON AND OFF SWITCHES. DESIGN TO BE REVIEWED BY DPW.

LEGEND

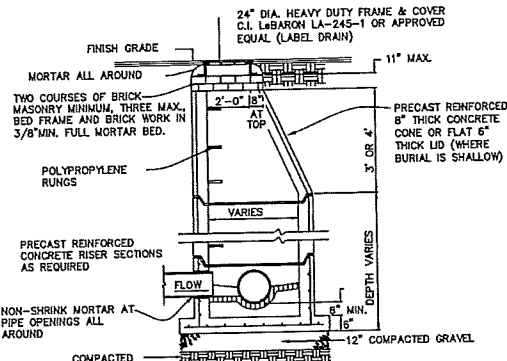
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MCCB	PROPOSED MODIFIED CAPE COD BERM
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---	EXISTING 5' CONTOUR
---	EXISTING 1' CONTOUR
●	EXISTING TREE
⊙	EXISTING SEWER MAN HOLE
▨	PROPOSED MBO RET. WALL AND SUB DRAIN
▨	8 UNITS CULTEC 330 RECHARGERS
▨	4 UNITS CULTEC 330 RECHARGERS

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- NOTE:
1. ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.
 2. BRICK CHIMNEYS BE SET IN FULL BED OF MORTAR WITH VERTICAL JOINTS FILLED WITH MORTAR AND BACK OF CHIMNEY PARGE WITH MORTAR.

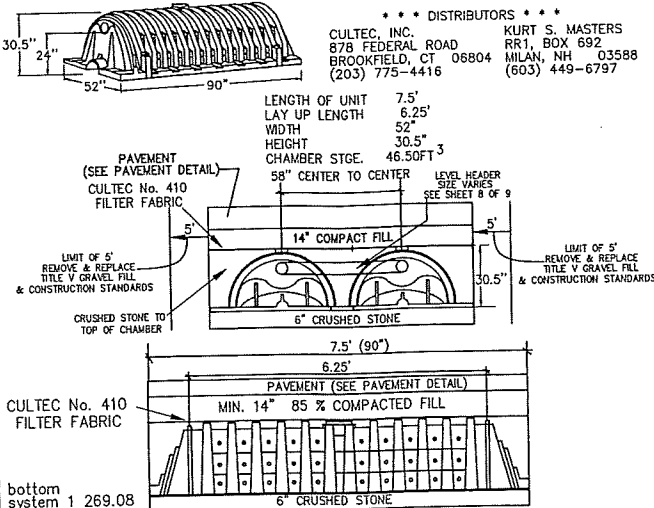
TYP. PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



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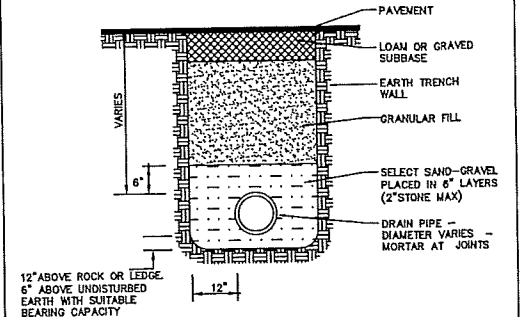
TYP. PRECAST CONCRETE MANHOLE STORM DRAIN
NOT TO SCALE

THE OWNER/CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE "CULTEC RECHARGER" (UNDERGROUND) DETENTION SYSTEM. THE INSTALLATION IS TO BE IN ACCORDANCE WITH CULTEC, INC. INSTRUCTIONS (SPECIFICATIONS). THE OWNER/CONTRACTOR IS TO MEET WITH CULTEC, INC. TO ORDER THE APPROPRIATE TYPE AND QUANTITY OF CHAMBERS (I.E. END UNITS, MIDDLE UNITS, ETC.)

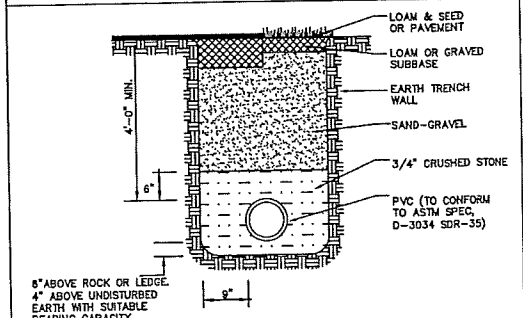


bottom system 1 269.08
system 1 269.00
elevation GW system 1 266.2
elevation GW system 2 266.2

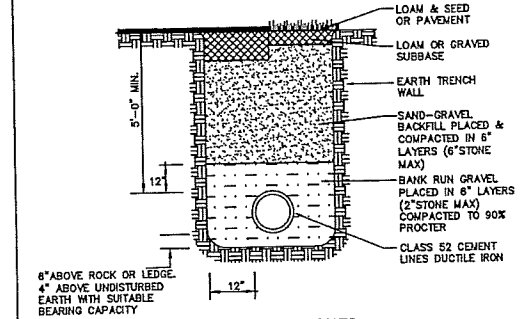
CULTEC NO. 410 FILTER FABRIC
NOT TO SCALE



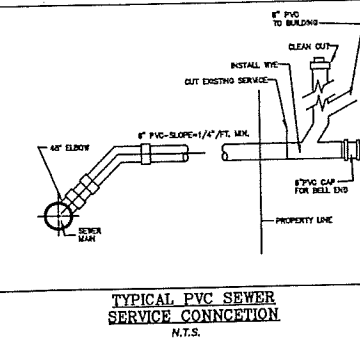
TYPICAL REINFORCED CONCRETE PIPE TRENCH SECTION
NOT TO SCALE



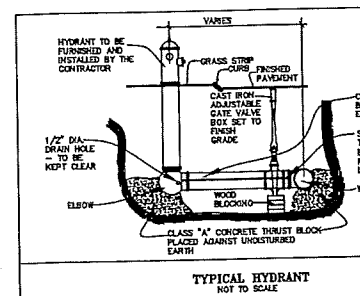
TYPICAL P.V.C. TRENCH SECTION
NOT TO SCALE



TYPICAL WATER MAIN TRENCH SECTION
NOT TO SCALE



TYPICAL PVC SEWER SERVICE CONNECTION
N.T.S.



TYPICAL HYDRANT
NOT TO SCALE

OWNER: RANIERI TRUST
MARGARET C. RANIERI, TRUSTEE

APPLICANT: DONALD RANIERI JR.
P.O. BOX 175
FRANKLIN, MA. 02038

SITE PLAN
APPROVED DATE
FRANKLIN PLANNING BOARD

John Camell
William D. Davis
P.E.

DATE **8/13/12**

REVISIONS

DATE	REVISED
05-08-06	MODIFIED DETAIL SHEET
5/10/06	PER CON COM COMMENTS
5/12/06	PER CON COM
7/16/06	PER TOWN AND CONSULTANT COMMENTS
8/8/06	PER DESIGN REVIEW
9/13/06	PER DPW AND CONSULTANT
10/12/07	PER REMAND AGREEMENT
12/06/07	PER TOWN REMAND REVIEW
01/26/08	PER TOWN COMMENTS
03/13/08	PER TOWN COMMENTS
03/21/08	PER CON COM COMMENTS
04/29/08	PER TOWN COMMENTS
06/23/2011	CERTIFICATE OF VOTE

Guerriere & Halnon, Inc.
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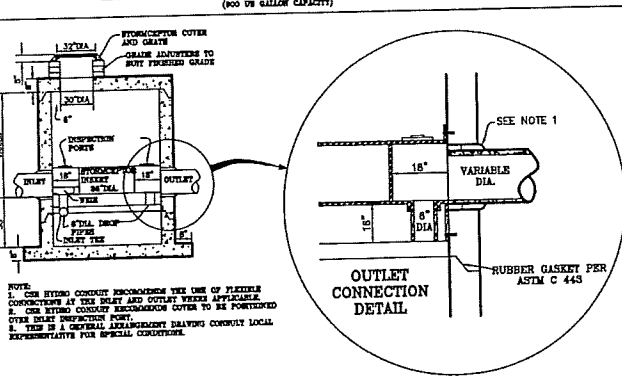
DETAIL SHEET

CHESTNUT SENIOR VILLAGE

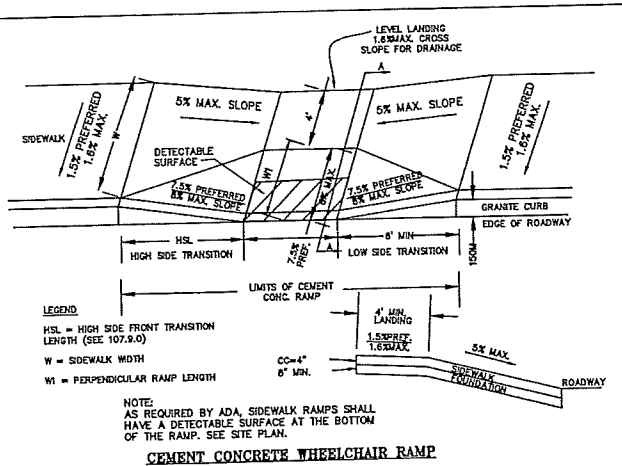
SITE PLAN OF LAND IN FRANKLIN MASSACHUSETTS

DATE	SCALE
MARCH 31, 2006	1"=20'
SHEET	JOB NO.
6 OF 9	F3183

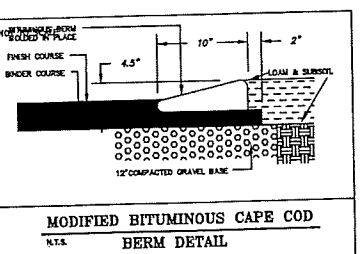
STC 900 PRECAST CONCRETE STORMCEPTOR
(POD OR GULLION CAPACITY)



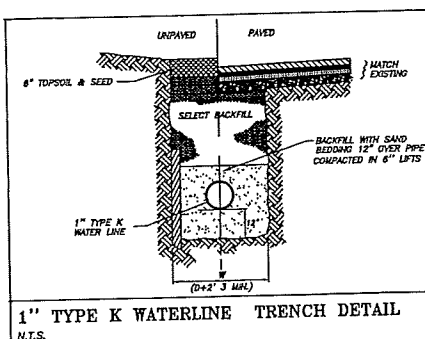
OUTLET CONNECTION DETAIL



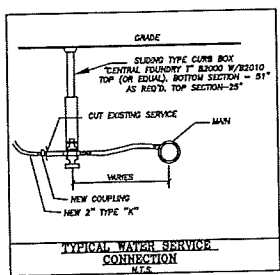
CEMENT CONCRETE WHEELCHAIR RAMP



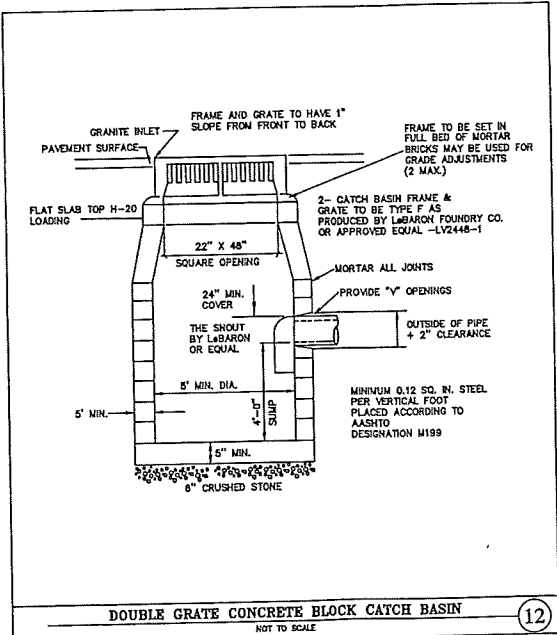
MODIFIED BITUMINOUS CAPE COD BERM DETAIL
N.T.S.



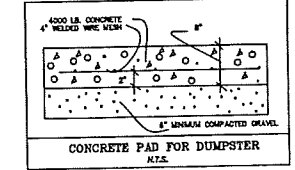
1\"/>



TYPICAL WATER SERVICE CONNECTION
N.T.S.

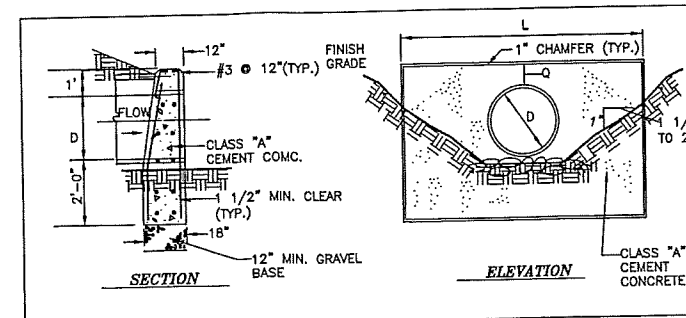


DOUBLE GRATE CONCRETE BLOCK CATCH BASIN
NOT TO SCALE



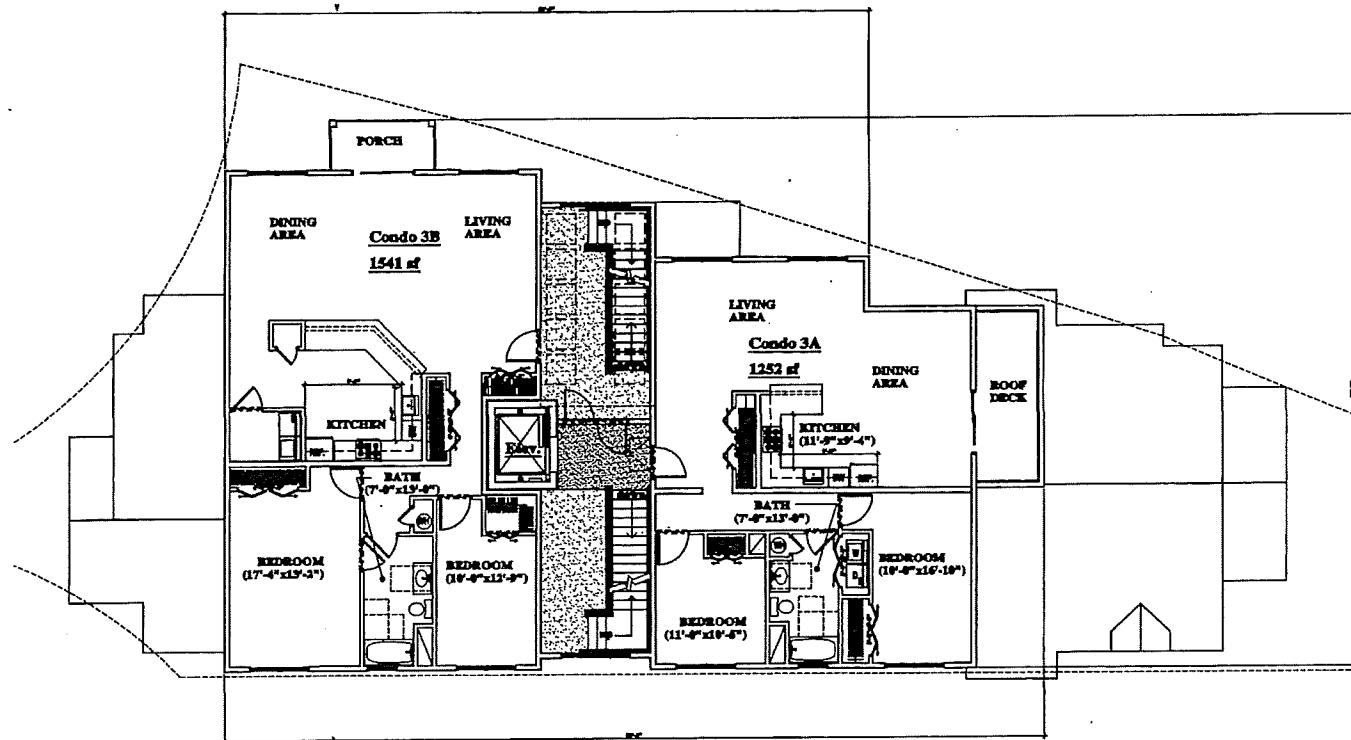
CONCRETE PAD FOR DUMPSTER
N.T.S.

GENERAL DETAIL NOTE:
THE INFORMATION DEPICTED IN THESE DETAILS IS TO GIVE THE CONTRACTOR A LEVEL OF MATERIAL QUALITY AND CONSTRUCTION STANDARDS TO BE USED AND ACHIEVED ON THE SITE. SUBSTITUTION OF MATERIALS OF EQUIVALENT QUALITY AND CONSTRUCTION STANDARDS SHALL BE ALLOWED UPON APPROVAL BY THE DESIGN ENGINEER.



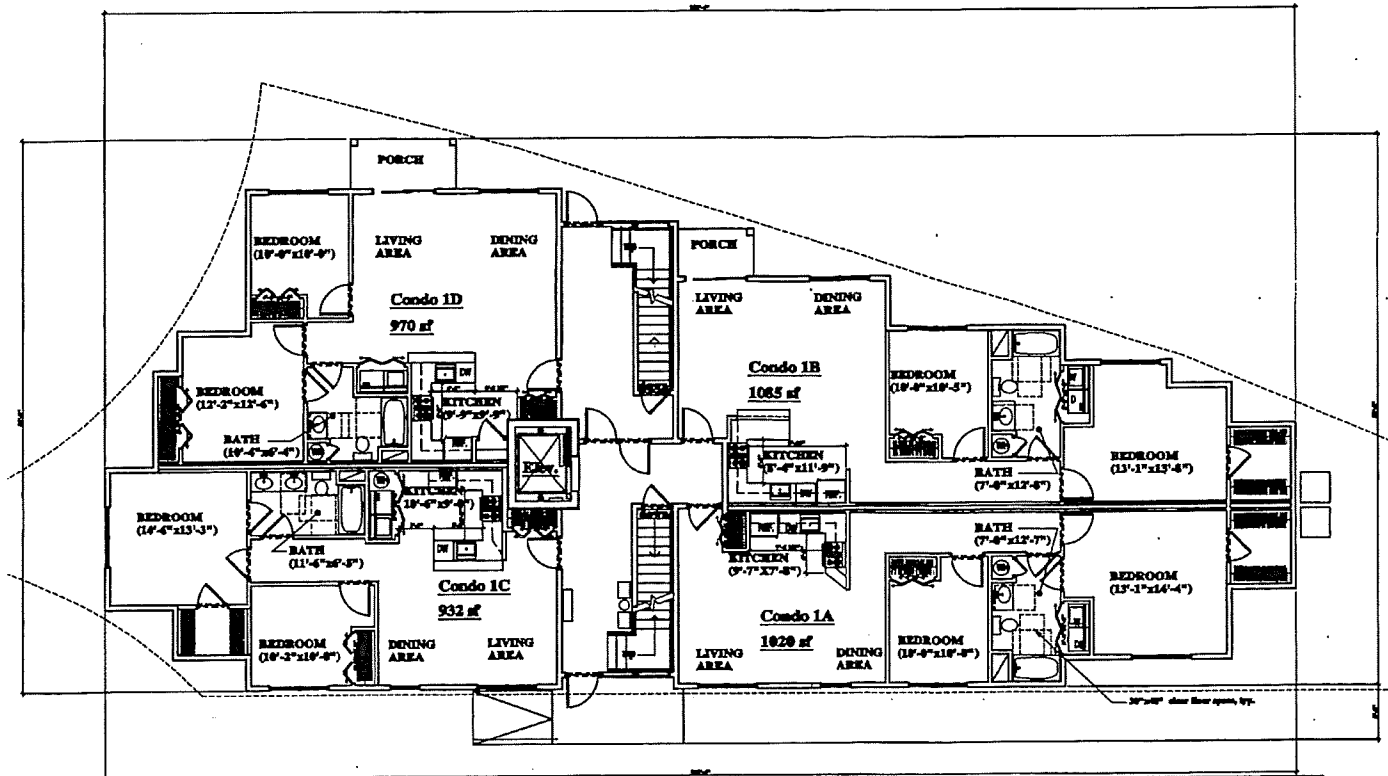
TYP. CONCRETE HEADWALL DETAIL
NOT TO SCALE

TRENCH EXCAV. 1' DEPTH	PIPE DIA.	1 1/2:1 SLOPE	2:1 SLOPE	TRENCH EXCAV. 1' DEPTH
C.F.	"D"	"L"	C.Y.	C.F.
21.60	8"	4'-2"	0.77	15
			5'-10"	1.08
				21
				27.40



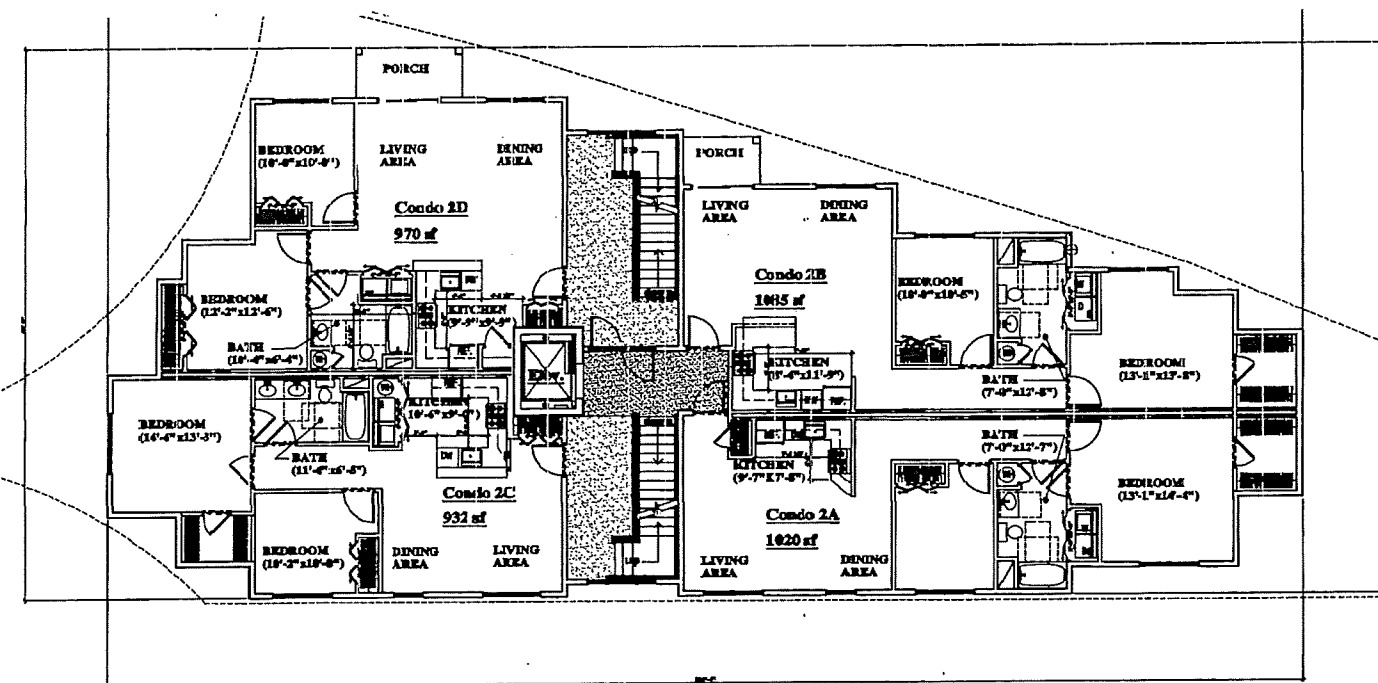
THIRD FLOOR PLAN 3354 sf

Note:
All passage doors to be accessible with a clear opening of 32" min.
All units to be Group 1 Dwelling Units



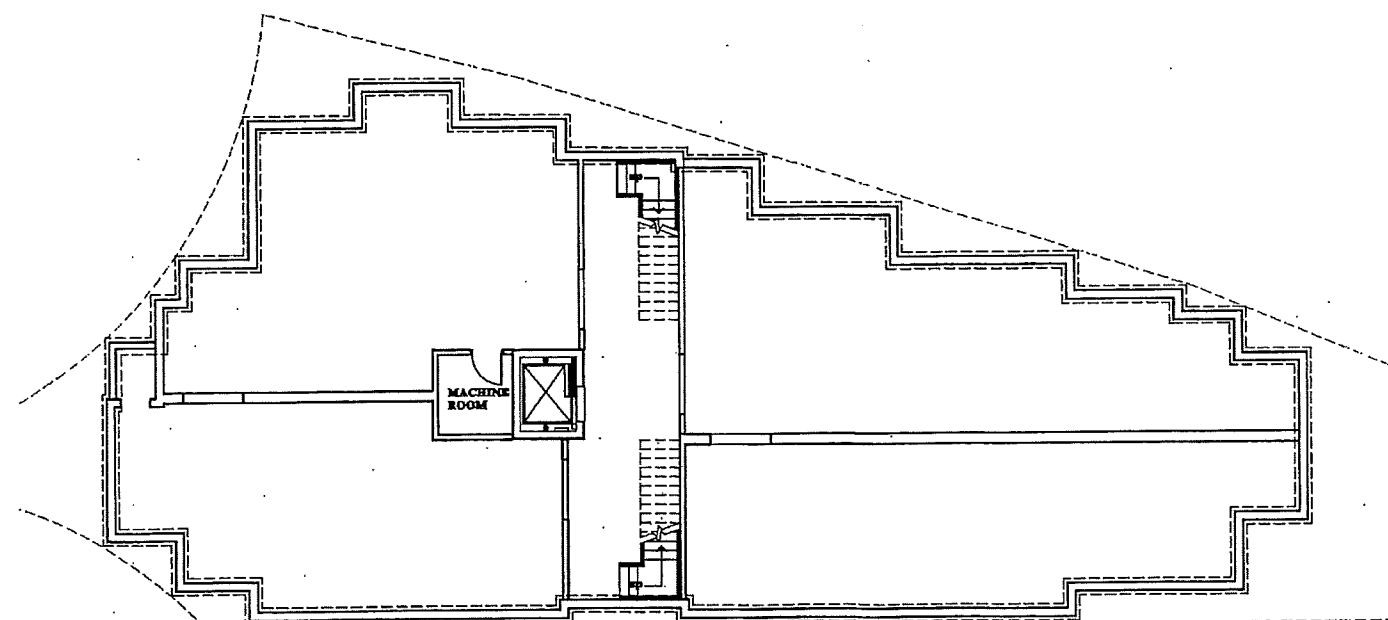
FIRST FLOOR PLAN 3354 sf

Note:
All passage doors to be accessible with a clear opening of 32" min.
All units to be Group 1 Dwelling Units



SECOND FLOOR PLAN 3354 sf

Note:
All passage doors to be accessible with a clear opening of 32" min.
All units to be Group 1 Dwelling Units



BASEMENT FLOOR PLAN 4600 sf

1/8" = 1'-0"

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ARCHITECTS

ALLEVATO ARCHITECTS, INC.
Architecture Interiors Planning
31 Hayward Street Franklin, Massachusetts 02038
T/ (508) 528-0770 F/ (508) 528-9454

CHESTNUT STREET SENIOR VILLAGE FRANKLIN, MA

MARCH 04, 2008

JOB NO. F3183

SITE PLAN
APPROVED DATE
FRANKLIN PLANNING BOARD

John Connolly
William D. ...

DATE 8/14/12

OWNER:
RANIERI TRUST
MARGARET C. RANIERI, TRUSTEE

APPLICANT:
DONALD RANIERI JR.
P.O. BOX 175
FRANKLIN, MA. 02038

REVISIONS

DATE	REVISED
6/15/2011	DUMPSTER LOCATION/REMOVE TREES
6/23/2011	ADDED CERTIFICATE OF VOTE NOTE

CERTIFICATE OF VOTE NOTE

- SEE CERTIFICATE OF VOTE GRANTED BY THE FRANKLIN PLANNING BOARD VOTING TO APPROVE LIMITED SITE PLAN MODIFICATION, CHESTNUT STREET SENIOR VILLAGE (REMAND) DATED JUNE 22, 2011.
- SEE CERTIFICATE OF VOTE GRANTED BY THE FRANKLIN PLANNING BOARD FOR SPECIAL PERMIT VOTING TO APPROVE SENIOR VILLAGE- CHESTNUT SENIOR VILLAGE (REMAND) DATED JUNE 22, 2011.



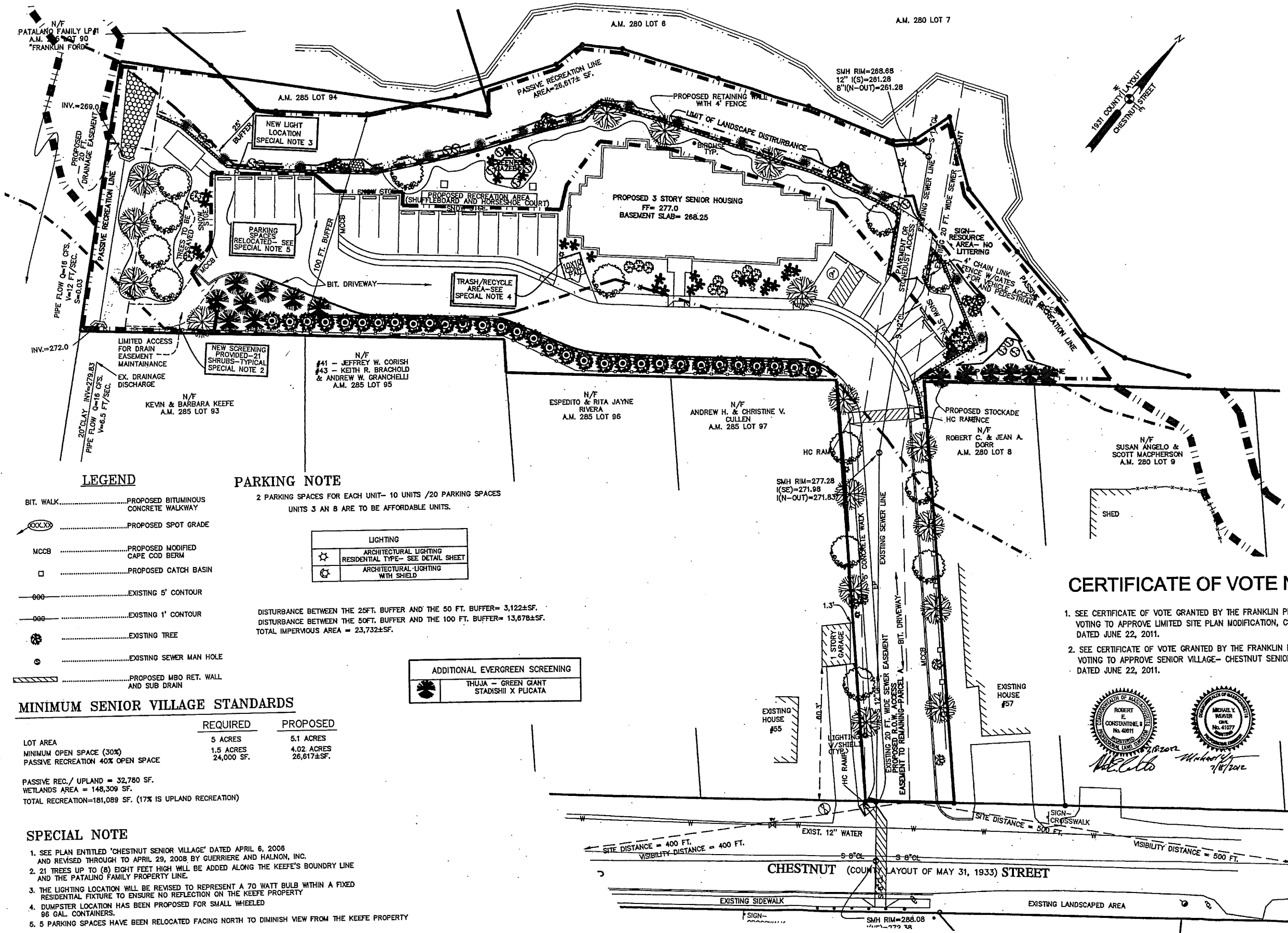
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SETTLEMENT PLAN

CHESTNUT SENIOR VILLAGE

SITE PLAN OF LAND
IN
FRANKLIN
MASSACHUSETTS

DATE APRIL 22, 2011 SCALE 1"=20'
SHEET JOB NO. 70100



LEGEND

- BIT. WALK.....PROPOSED BITUMINOUS CONCRETE WALKWAY
-PROPOSED SPOT GRADE
- MCCB.....PROPOSED MODIFIED CAPE COD BERM
-PROPOSED CATCH BASIN
-EXISTING 5' CONTOUR
-EXISTING 1' CONTOUR
-EXISTING TREE
-EXISTING SEWER MAN HOLE
-PROPOSED M80 RET. WALL AND SUB DRAIN

PARKING NOTE

2 PARKING SPACES FOR EACH UNIT- 10 UNITS /20 PARKING SPACES
UNITS 3 AND 8 ARE TO BE AFFORDABLE UNITS.

LIGHTING	
☆	ARCHITECTURAL LIGHTING RESIDENTIAL TYPE- SEE DETAIL SHEET
☼	ARCHITECTURAL LIGHTING WITH SHIELD

DISTURBANCE BETWEEN THE 25FT. BUFFER AND THE 50 FT. BUFFER= 3,122±SF.
DISTURBANCE BETWEEN THE 50FT. BUFFER AND THE 100 FT. BUFFER= 13,678±SF.
TOTAL IMPERVIOUS AREA = 23,732±SF.

ADDITIONAL EVERGREEN SCREENING

THUJA - GREEN GIANT
STADISIII X PULCATA

MINIMUM SENIOR VILLAGE STANDARDS

	REQUIRED	PROPOSED
LOT AREA	5 ACRES	5.1 ACRES
MINIMUM OPEN SPACE (30%)	1.5 ACRES	4.02 ACRES
PASSIVE RECREATION 40% OPEN SPACE	24,000 SF.	26,617±SF.
PASSIVE REC./ UPLAND = 32,780 SF.		
WETLANDS AREA = 148,309 SF.		
TOTAL RECREATION=181,089 SF. (17% IS UPLAND RECREATION)		

SPECIAL NOTE

- SEE PLAN ENTITLED 'CHESTNUT SENIOR VILLAGE' DATED APRIL 6, 2008 AND REVISED THROUGH TO APRIL 29, 2008 BY GUERRIERE AND HALNON, INC.
- 21 TREES UP TO (8) EIGHT FEET HIGH WILL BE ADDED ALONG THE KEEFE'S BOUNDARY LINE AND THE PATALANO FAMILY PROPERTY LINE.
- THE LIGHTING LOCATION WILL BE REVISED TO REPRESENT A 70 WATT BULB WITHIN A FIXED RESIDENTIAL FIXTURE TO ENSURE NO REFLECTION ON THE KEEFE PROPERTY
- DUMPSTER LOCATION HAS BEEN PROPOSED FOR SMALL WHEELED 96 GAL. CONTAINERS.
- 5 PARKING SPACES HAVE BEEN RELOCATED FACING NORTH TO DIMINISH VIEW FROM THE KEEFE PROPERTY

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE APPLICABLE BY AN EXAMINATION OF THE TITLE.