



March 28, 2024

Franklin Conservation Commission
355 E. Central Street
Franklin, MA 02038

Re: Comprehensive Revision Submittal Package
15 Liberty Way, Franklin MA (DEP File #159-1282)

Dear Franklin Conservation Commission,

Goddard Consulting, LLC, (Goddard) is pleased to provide this comprehensive revision submittal on behalf of Atlantic Oliver 15 Liberty Way LLC (the Applicant) in regard to the Notice of Intent (NOI) filed for 15 Liberty Way (DEP File #159-1282). This submittal is intended to reflect the current status of the proposed project and address all outstanding comments posed by the Commission during recent public hearings. This submittal is intended to supersede and replace all previous submittals. The documents included in this submittal are as follows:

- WPA Form 3
- Regulatory Compliance Narrative, 3/28/2024
- Copy of Checks
- Affidavit of Service, Notification to Abutters, Certified Abutters List
- Orthophoto View of Site, Goddard Consulting LLC. 3/31/2023
- Orthophoto View of Site with DEP Wetlands, Goddard Consulting LLC. 3/31/2023
- Orthophoto View of Site with FEMA Flood Zones, Goddard Consulting LLC. 3/31/2023
- Orthophoto View of Site with NRCS Soil Survey, Goddard Consulting LLC. 3/31/2023
- USGS of Site, Goddard Consulting LLC, 3/31/2023
- Simple Wildlife Habitat Evaluation Form, 5/22/2023
- BVW Determination Data Form
- Local Filing Fee Calculation Worksheet
- Property Access Signature Form & Application Process Signature Form
- Resource Area Impact Summary Form
- Variance Request, Goddard Consulting LLC, 3/28/2024
- *Invasive Species Management Plan*, prepared by Goddard Consulting LLC, last revised 3/28/2024
- *Wetland Replication and Basin Installation Plan*, prepared by Goddard Consulting LLC, dated 3/28/2024
- Site Plan Set: *Liberty Parking Expansion*, prepared by Level Design Group, last revised 3/19/2024
- Stormwater Report, Level Design Group, prepared by Level Design Group, last revised 3/19/2024

Two hard copies and a digital copy have been submitted for the Commission's review and approval. If you have any questions, please feel free to contact Chris Frattaroli at (508) 557-8770.

Sincerely,
Goddard Consulting, LLC

Chris Frattaroli
Wetland Scientist

CC: Daniel Campbell, Level Design Group, 249 South Street, Unit 1, Plainville, MA 02762
Atlantic Oliver 15 Liberty Way LLC, 125 High Street, Suite 220, Boston MA, 02110
MassDEP Central Regional Office, 8 New Bond Street, Worcester, MA 01606



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
and the Franklin Wetlands Protection Bylaw

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Franklin
City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>15 Liberty Way</u>	<u>Franklin</u>	<u>02038</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:	<u>42.05651470143494</u>	<u>-71.4045326672725</u>
	d. Latitude	e. Longitude
<u>320</u>	<u>4</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>John</u>	<u>Adair</u>	
a. First Name	b. Last Name	
<u>Atlantic Oliver 15 Liberty Way LLC</u>		
c. Organization		
<u>125 High St. Suite 220</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02110</u>
e. City/Town	f. State	g. Zip Code
<u>571-216-2878</u>	<u>adair@oliverst.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

Same as applicant

a. First Name	b. Last Name	
c. Organization		
d. Street Address		
e. City/Town	f. State	g. Zip Code
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Scott</u>	<u>Goddard</u>	
a. First Name	b. Last Name	
<u>Goddard Consulting LLC</u>		
c. Company		
<u>291 Main St</u>		
d. Street Address		
<u>Northborough</u>	<u>MA</u>	<u>01532</u>
e. City/Town	f. State	g. Zip Code
<u>508-393-3784</u>	<u>scott@goddardconsultingllc.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$1500 (+\$600 bylaw)</u>	<u>\$737.50</u>	<u>\$762.50 (+\$600 bylaw)</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:

Expansion of parking lot associated with warehouse building within IVW and buffer zone to BVW & IVW, with associated stormwater management, wetland replication and invasive species management

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- | | |
|---|---|
| 1. <input type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input checked="" type="checkbox"/> Commercial/Industrial | 4. <input type="checkbox"/> Dock/Pier |
| 5. <input type="checkbox"/> Utilities | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation |
| 9. <input type="checkbox"/> Other | |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Norfolk

a. County

39279

c. Book

b. Certificate # (if registered land)

278

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
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5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.

X	Isolated Vegetated Wetland	4,830 square feet	9,000 square feet
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Provided by MassDEP:	
MassDEP File Number	_____
Document Transaction Number	_____
Franklin	_____
City/Town	_____

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	_____	_____
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input type="checkbox"/> Project Involves Stream Crossings		
	_____	_____
	a. number of new stream crossings	b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

August 2021

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

- (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
- (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to “Commonwealth of Massachusetts - NHESP” and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site

- (e) Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
Include copy of NHESP “no Take” determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and
the Cape & Islands:

North Shore - Hull to New Hampshire border:

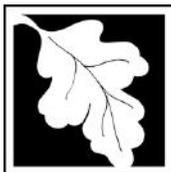
Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP’s Boston Office. For coastal towns in the Southeast Region, please contact MassDEP’s Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
2. A portion of the site constitutes redevelopment
3. Proprietary BMPs are included in the Stormwater Management System.
b. No. Check why the project is exempt:
1. Single-family house
2. Emergency road repair
3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
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City/Town	

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Liberty Parking Expansion

a. Plan Title

Level Design Group

b. Prepared By

3/19/2024

d. Final Revision Date

Daniel Campbell

c. Signed and Stamped by

1"=40'

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

9530

2. Municipal Check Number

9529

4. State Check Number

Sarah

6. Payor name on check: First Name

9/25/23

3. Check date

9/25/23

5. Check date

Campbell

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Town of Franklin Wetlands Protection Bylaw

Provided by MassDEP:

MassDEP File Number

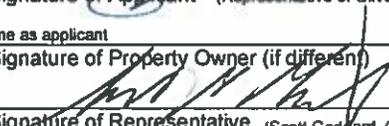
Document Transaction Number

Franklin
City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

<p>1. <u></u> Signature of Applicant (Representative of Oliver Street Capital)</p>	<p>2. <u>5/23/2023</u> Date</p>
<p>3. <u>Same as applicant</u> Signature of Property Owner (if different)</p>	<p>4. <u>5/23/23</u> Date</p>
<p>5. <u></u> Signature of Representative (Scott Goddard, Goddard Consulting LLC)</p>	<p>6. <u>5/23/23</u> Date</p>

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
 and the Franklin Wetlands Protection Bylaw

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

15 Liberty Way Franklin
 a. Street Address b. City/Town
 9529 \$737.50
 c. Check number d. Fee amount

2. Applicant Mailing Address:

John Adair
 a. First Name b. Last Name
 Atlantic Oliver 15 Liberty Way LLC
 c. Organization
 125 High Street Suite 220
 d. Mailing Address
 Boston MA 02110
 e. City/Town f. State g. Zip Code
 571-216-2878 adair@oliverst.com
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

Same as applicant
 a. First Name b. Last Name
 c. Organization
 d. Mailing Address
 e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
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NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
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B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Local: Commercial/industrial base fee - see local filing fee worksheet	1	\$600	\$600
2b. Construction of parking lot	1	\$500	\$500
2g. Storm drain discharge	2	\$500	\$1000

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	\$1500 (+\$600 bylaw)
State share of filing Fee:	a. Total Fee from Step 5 \$737.50
City/Town share of filing Fee:	b. 1/2 Total Fee less \$12.50 \$762.50 (+\$600 bylaw) c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

REGULATORY COMPLIANCE NARRATIVE

March 28, 2024

1.0 EXISTING CONDITIONS

The project site consists of a ±15-acre lot located at 15 Liberty Way in Franklin, MA (Map 320, Lot 4) within Franklin Industrial Park. The project site is currently in use as a commercial trucking warehouse. The northern portion of the lot consists of an area of forested upland. Approximately 58% of the parcel's ±15-acres is comprised of impervious cover including the 92,490SF warehouse building and paved surfaces.

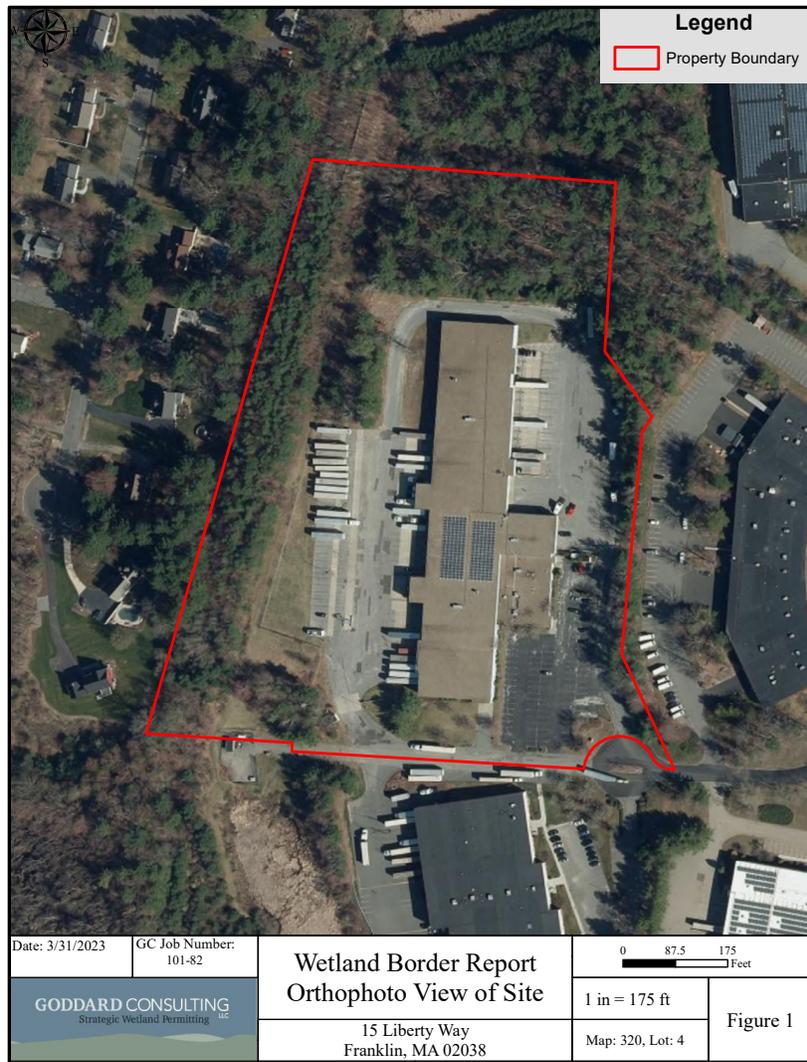


Figure 1: Orthophoto of locus site.

1.1 RESOURCE AREAS ON SITE

The resource areas in proximity to the work area are a series of stormwater management features that have developed wetland characteristics over time. Internal to the F-series wetland, a stream channel was identified by BETA in the peer review process. Therefore, this wetland was deemed a Bordering Vegetated Wetland (BVW) jurisdictional under the MA Wetlands Protection Act. This F-series wetland is located just offsite to the north.

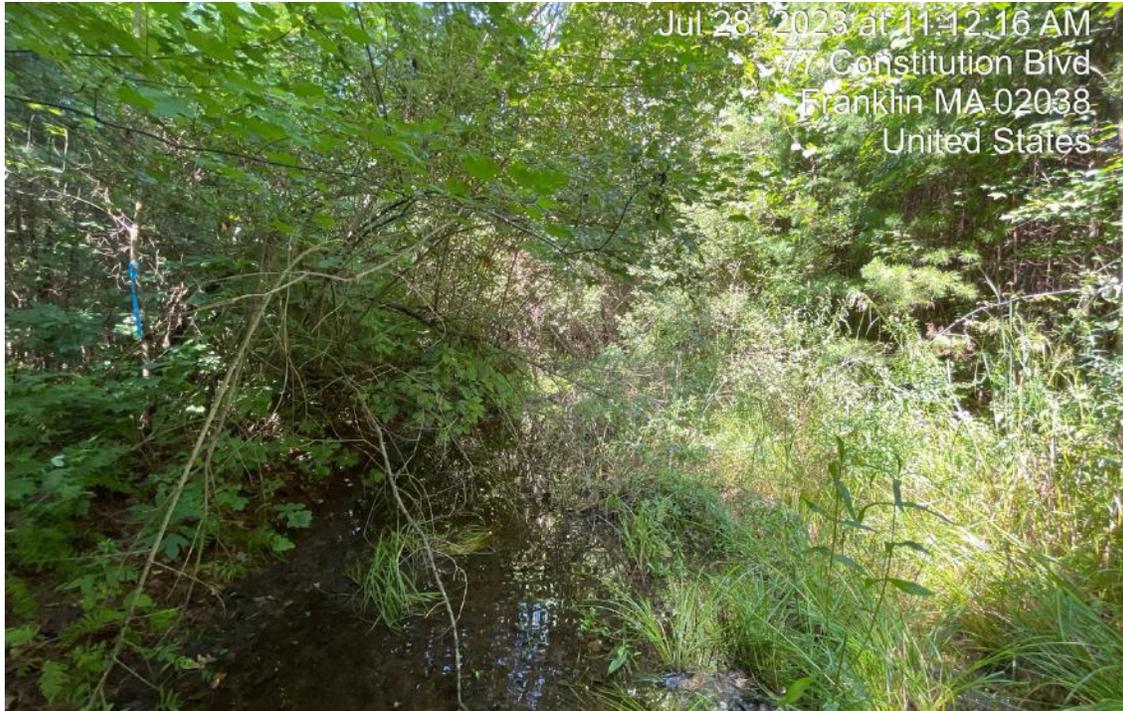


Figure 2: View of the F-series wetland.

In addition to the F-series BVW located just offsite to the north, there are a series of additional Isolated Vegetated Wetlands (IVWs) jurisdictional under the Franklin Wetlands Protection Bylaw present on the site. These IVWs are identified with A-, B-, C-, D-, E-, F-, G- and H-series flagging. The A-, B-, D-, F- and H-series IVWs are unmaintained stormwater features that are lined with riprap and have developed wetland characteristics over time.



Figure 3: View of B-series IVW from concrete pipe outlet, facing north.



Figure 4: Alternate view of B-series IVW.

See sheet C-1.0 of the site plan set (*Liberty Parking Expansion*, prepared by Level Design Group, last revised 3/19/2024) for the location of all resource areas on site.

According to the MassGIS data layers for NHESP, this site is not within Estimated and/or Priority Habitat of Rare Wildlife. There are no potential or certified vernal pools located onsite. The site is not located in an Area of Critical Environmental Concern (ACEC) or an Outstanding Resource Waters Area (ORW). There is no FEMA Flood Zone mapped onsite. There is no DEP mapped wetland onsite.



Figure 5: Side-by-side historic aerials from 1995 and 2006. Tree clearing for drainage infrastructure is absent in 1995 imagery but visible in 2006 imagery. The offsite stormwater ditch (i.e. A- and F-series wetlands) is indicated in red. The location of the B-series IVW is indicated in yellow.

1.2 NON-JURISDICTIONAL AREAS ON SITE

Two manmade drainage ditches run through the work area. These ditches show evidence of hand-dug spoils along their banks do not support a dominance of wetland vegetation. In fact, upland plant species including hay-scented fern (*Dennstaedtia punctilobula*) and Canada mayflower (*Maianthemum canadensis*) are present in these areas. Therefore, these ditches are not considered a wetland resource and are not jurisdictional. However, they were flagged in the field with J-, K- and L-series flagging.



Figure 6: Non-jurisdictional drainage ditch in upland area with hay-scented fern and Canada mayflower visible.

2.0 PROPOSED PROJECT

The applicant is proposing to expand the existing parking lot towards the parcel's northern property boundary to provide necessary parking for the building. The expanded parking lot will provide stormwater management with an engineered drainage system leading to a Stormtech subsurface stormwater collection chamber and modified infiltration basin.

2.1 EROSION AND SEDIMENTATION CONTROLS

Erosion and Sedimentation (E&S) controls for the site will be utilized so that discharge of sediment is minimized. Implementing these practices limit the amount of storm water entering a disturbed area or trap sediment prior to stormwater leaving the site. Control methods include a 12" Siltsoxx wattle to be installed at the limits of work, and erosion control fencing to be installed around the area to be excavated for the stormwater collection chamber. These E&S controls will minimize sediment migration downslope of the construction area. In addition, Dandy Bags or equivalent will be utilized on existing catch basins to capture sediment before it enters the storm drain. Further, any stockpiled materials will be located outside all jurisdictional areas, covered and stabilized to minimize contact with rain and wind, and have a perimeter sediment barrier.

E&S controls will be maintained weekly and after significant rain events throughout the duration of the construction, including the removal of accumulated sediment once accumulation reaches half the height of the wattle. All E&S controls will remain in place until the site is stabilized. Please see attached site plans for schematic details of E&S controls. The applicant will be responsible for inspecting and maintaining E&S controls and will keep a log of inspections and maintenance.

A portion of the construction activity will require breaching of E&S controls in order to place and backfill underground pipes. This temporary removal of E&S controls will occur only in non-storm events. All E&S controls will be left intact to the greatest extent possible, and E&S controls that need to be removed for such activities will be replaced appropriately before any rain event is forecast to begin.

2.2 STORMWATER MANAGEMENT

The project proposes the use of a Stormtech subsurface detention basin to manage stormwater from the proposed parking lot expansion. All runoff from this impervious area will be directed to the subsurface detention basin via deep sump catch basins and trench drains. Ultimately, stormwater will be discharged to the modified infiltration basin proposed for installation in the area of the B- and H-series IVWs. The proposed parking area will have vertical granite curbing, which will prevent untreated surface runoff.

2.3 MITIGATION FOR ALTERATIONS

The project proposes impacts to wetland resources and buffer zones. Total proposed impacts are as follows:

- B-series Stormwater IVW: 2,600 sf
- H-series Stormwater IVW: 950 sf
- G-series Isolated Wetland: 1,280 sf
- 0-25' Buffer Zone: 12,890 sf
- 25-50' Buffer Zone: 12,795 sf
- 50-100' Buffer Zone: 20,225 sf

As mitigation for these impacts, the applicant proposes both wetland replication and invasive species management. See *Invasive Species Management Plan*, prepared by Goddard Consulting LLC, dated 3/28/2024, and *Wetland Replication and Basin Installation Plan*, prepared by Goddard Consulting LLC, dated 3/28/2024 for detailed information regarding these mitigation efforts.



Figure 7: Orthophoto of site showing invasive species management area.

2.4 CONSTRUCTION SEQUENCE

The anticipated sequence of construction activities will be as follows:

1. Install erosion and sediment controls.
2. Clear, grub and rough grade areas shown to be regraded.
3. Demo existing features in work area not shown to be saved and cut and cap utilities as needed.
4. Install stormwater management system and site utilities.
5. Execute steps outlined in *Wetland Replication and Basin Installation Plan* prepared by Goddard Consulting LLC, dated 3/28/2024.
6. Install binder coat paving.
7. Install landscaping.
8. Fine grade site and loam and seed all disturbed areas.
9. Install topcoat pavement.
10. Project closeout.

3.0 FUNCTIONS AND CHARACTERISTICS STATEMENT

In accordance with §7.10.1 of the Town of Franklin Conservation Commission Regulations, please find below a summary of the proposed project's impacts on the functions and characteristics of floodplains and wetlands. It is Goddard's opinion that the project will have no significant individual or cumulative adverse effects on these functions and characteristics.

1. **Public Water Supplies** – The nearest public well (GP Well 10) is approximately 4,400 feet away from proposed construction activities, and nearly 2,000 feet from the nearest Zone II (primary aquifer recharge area).

2. **Private Water Supplies** – According to MassDEP's Well Drilling Database, the nearest private well that could be identified is located at 760 King Street, approximately 1,700 feet away from the work area. This distance is significantly greater than any setbacks for wells identified in MassDEP's Private Well Guidelines.

3. **Groundwater** – Groundwater onsite is reached at approximately 2.5 to 3 feet of depth, as determined with test pits. The stormwater management features proposed for installation were designed to provide appropriate treatment and groundwater recharge in accordance with the MassDEP Stormwater Standards.

4. **Flood Control** – No work of any kind is proposed in any FEMA Flood Zones. Compensatory storage is not required to be addressed. However, improvement of the existing unmaintained stormwater features onsite is likely to improve the site's capacity to mitigate flooding.

5. **Erosion and Sedimentation** – Erosion and sedimentation controls including Siltsoxx wattles, silt fencing and stone construction entrance will be in place and maintained in good condition throughout construction activities. The proposed stormwater system includes catch basins with separators, Stormceptor treatment units and sediment baffles to ensure proper treatment of stormwater that may carry sediment after construction is completed. The entire site will be stabilized by the end of construction to ensure long-term stabilization of soils.

6. **Storm Damage Prevention** – The proposed stormwater management system has been designed to handle the 2-, 10-, 25- and 100-year return periods for Franklin, as well as a 24-hour type III rainfall distribution. Further, nearly all sheet flow stormwater runoff presently flows towards the IVWs onsite, as they were designed as stormwater management features. The proposed stormwater management system will attenuate peak rates of runoff, resulting in less damaging stormwater runoff for the site and surrounding areas.

7. **Water Quality** – The proposed stormwater management system primarily directs runoff to a subsurface detention basin and has been designed to ensure there are no detrimental water quality impacts to any surface waters in the area in accordance with MassDEP’s Stormwater Standards.

8. **Water Pollution Control** – During construction, erosion and sediment controls as described above will minimize any potential water pollution. The proposed stormwater management system has been designed to separate sediment and chemical pollutants such as oil and gas from the water it receives, which will ensure that such chemical pollutants are satisfactorily removed. No biological pollution (e.g. bacteria or viruses) is expected to occur as a result of construction activities or post-construction use of the site.

9. **Fisheries** – No work is proposed adjacent to ponds, perennial streams, or any other fishery habitat.

10. **Shellfish** - Not applicable in Franklin.

11. **Wildlife Habitat** – The natural community present on the site, as described in MassWildlife’s Classification of the Natural Communities of Massachusetts, is White Pine – Oak Forest. This type of natural community is assigned an SRank of S5, which means it is “demonstrably secure in Massachusetts” and is “common, widespread, and abundant.”

According to MassWildlife’s BioMap, the work area is not considered either Core Habitat (areas that are critical for the long-term persistence of rare species, exemplary natural communities, and resilient ecosystems) or Critical Natural Landscape (large landscape blocks that are minimally impacted by development and buffers to core habitats and coastal areas). The Index of Ecological Integrity (IEI) provided by UMass Amherst, which quantifies wildlife habitat and biodiversity value, identifies the area as having 0% ecological integrity.

Although not required for this filing, a site visit was conducted for the purpose of completing a Simplified Wildlife Habitat Evaluation as described in the MA Wildlife Habitat Protection Guidance for Inland Wetlands. The site and proposed project meet the criteria for zero (0) of the twenty-three (23) items on this evaluation (see attached).

Currently, the presence of invasive plant species limits the functionality of the area in terms of wildlife habitat value. Management of invasive species and planting of native species is proposed to improve the wildlife habitat value of the site.

12. **Rare Species Habitat (including rare plant species)** – No rare species are mapped on or near the project site. The nearest Estimated Habitat of Rare Wildlife or Priority Habitat of Rare Species is approximately 2.5 miles from the site. There are no mapped potential or certified vernal pools onsite or on any abutting parcels.

13. **Agriculture** – The project site is not located in proximity to any agricultural operations. In addition, the soil unit mapped on site (Woodbridge fine sandy loam, 0 to 8 percent slopes, extremely stony - 312B) is considered not prime farmland by the NRCS Soil Survey.

14. **Aquaculture** – There are no aquaculture operations on or near the project site.

15. **Recreation** – Neither active nor passive recreational uses will be impacted by construction activities or post-construction conditions on the site. The work area does not contain any playing fields, walking paths, swimming areas, or other recreational areas. Its position in an industrial park makes it a poor location for recreation of any kind.

4.0 CONCLUSION

In summary, Goddard Consulting believes that the proposed project will not have any adverse impacts on the interests protected by the Town of Franklin’s Wetlands Protection Bylaw. The proposed project meets all regulatory

compliance standards identified therein and has proposed mitigation for its impacts. Goddard Consulting respectfully requests that the Franklin Conservation Commission issue an Order of Conditions approving the proposed project.

Please feel free to contact us if you have any questions about this submission.

Sincerely,

Goddard Consulting LLC

A handwritten signature in black ink, appearing to read "Chris Frattaroli". The signature is written in a cursive style with a large initial "C".

Chris Frattaroli

Wetland Scientist

LEVEL DESIGN GROUP, LLC
249 SOUTH STREET, UNIT 1
PLAINVILLE, MA 02762
508-695-2221

BRISTOL COUNTY SAVINGS BANK
96 COMMONWEALTH AVE
N. ATTLEBORO, MA 02763
53-7085/2113

9529

9/25/2023

PAY TO THE
ORDER OF

COMMONWEALTH OF MASSACHUSETTS

\$ **737.50

Seven Hundred Thirty-Seven and 50/100*****

DOLLARS

COMMONWEALTH OF MASSACHUSETTS

MEMO



Scott Campbell
AUTHORIZED SIGNATURE

HEAT SENSITIVE

⑈009529⑈ ⑆211370859⑆ 2709091 4⑈

SECURITY FEATURES INCLUDE TRUE WATERMARK PAPER, HEAT SENSITIVE ICON AND FOIL HOLOGRAM

LEVEL DESIGN GROUP, LLC
249 SOUTH STREET, UNIT 1
PLAINVILLE, MA 02762
508-695-2221

BRISTOL COUNTY SAVINGS BANK
96 COMMONWEALTH AVE
N. ATTLEBORO, MA 02763
53-7085/2113

9530

9/25/2023

PAY TO THE
ORDER OF

TOWN OF FRANKLIN

\$ **762.50

Seven Hundred Sixty-Two and 50/100*****

DOLLARS

TOWN OF FRANKLIN

MEMO



Scott Campbell
AUTHORIZED SIGNATURE

HEAT SENSITIVE

⑈009530⑈ ⑆211370859⑆ 2709091 4⑈

Details on Back Security Features Included

AFFIDAVIT OF SERVICE

Under the MA Wetlands Protection Act:

I, Chris Frattaroli, hereby certify under the pains and penalties of perjury that on November 1, 2023, I gave notification to abutters in Compliance with the second paragraph of Massachusetts General Law Chapter 131, Section 40, the DEP Guide to Abutter Notification dating April 8, 1994, in connection with the following matter:

A Notice of Intent (NOI) was filed under the MA Wetlands Protection Act by Atlantic Oliver 15 Liberty Way LLC with the Franklin Conservation Commission on October 25, 2023 for the property located at 15 Liberty Way, Franklin MA (Map: 320, Parcel: 4)

The form of the notification, and the list of abutters to whom it was given, and their addresses, are attached to this Affidavit of Service.

(Name)

(Date)



11/1/23

Chris Frattaroli, Goddard Consulting LLC

Notification to Abutters

By Hand Delivery, Certified Mail (return receipt requested), or Certificates of Mailing

This is a notification required by law. You are receiving this notification because you have been identified as the owner of land abutting another parcel of land for which certain activities are proposed. Those activities require a permit under the MA Wetlands Protection Act.

In accordance with the MA Wetlands Protection Act, you are hereby notified that:

- A. A Notice of Intent was filed with the Franklin Conservation Commission on November 1, 2023, seeking permission to remove, fill, dredge, or alter an area subject to protection under the MA Wetlands Protection Act. The following is a description of the proposed activity/activities:

Expansion of an existing parking lot and stormwater management system associated with a warehouse building within the buffer zone to a Bordering Vegetated Wetland.

- B. The name of the applicant is: Atlantic Oliver 15 Liberty Way LLC
- C. The address of the land where the activity is proposed is: 15 Liberty Way, Franklin MA (Map 320, Parcel 4)
- D. Copies of the Notice of Intent may be examined or obtained at the office of the Franklin Conservation Commission, located at 355 E. Central Street, Franklin, MA. The regular business hours of the Commission are Monday-Thursday, 8am-4pm and Friday, 8am-1pm, and the Commission may be reached at (508) 520-4929.
- E. Copies of the Notice of Intent may be obtained from the applicant or their representative by calling Goddard Consulting, LLC at (508) 393-3784. An administrative fee may be applied for providing copies of the NOI and plans.
- F. Information regarding the date, time, and location of the public hearing regarding the Notice of Intent may be obtained from the Franklin Conservation Commission. Notice of the public hearing will be published at least five business days in advance, in the Franklin Observer.



15 LIBERTY WAY - 300' ABUTTERS

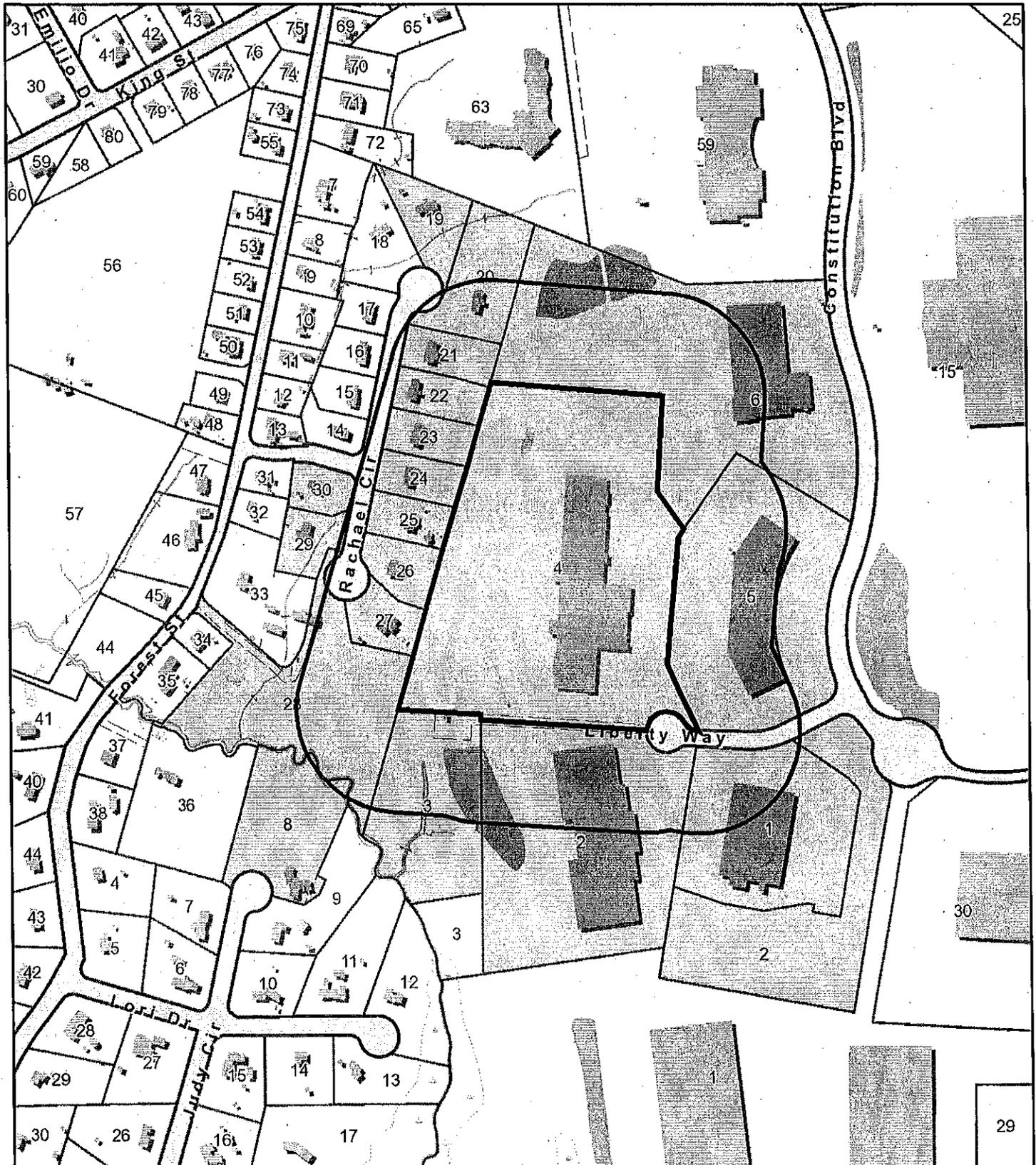
Franklin, MA



February 3, 2023

1 inch = 400 Feet

www.cai-tech.com



This information is believed to be correct but is subject to change and is not warranted.



300 foot Abutters List Report

Franklin, MA
February 03, 2023

Subject Property:

Parcel Number: 320-004-000
CAMA Number: 320-004-000-000
Property Address: 15 LIBERTY WAY

Mailing Address: ATLANTIC OLIVER 15 LIBERTY WAY LLC
C/O OLIVER STREET CAPITAL LLC
125 HIGH ST - SUITE 220
BOSTON, MA 02110

Abutters:

Parcel Number: 320-001-000
CAMA Number: 320-001-000-000
Property Address: 10 LIBERTY WAY

Mailing Address: LRF2 BOS LIBERTY WAY LLC C/O
LONGPOINT REALTY PARTNERS
13218 WEST BROWARD BOULEVARD
PLANTATION, FL 33325

Parcel Number: 320-002-000
CAMA Number: 320-002-000-000
Property Address: 20 LIBERTY WAY

Mailing Address: STANNAH PROPERTY LLC C/O LINCOLN
PROPERTY COMPANY
25 MALL RD SUITE 402
BURLINGTON, MA 01803

Parcel Number: 320-003-000
CAMA Number: 320-003-000-000
Property Address: 32 LIBERTY WAY

Mailing Address: FRANKLIN TOWN OF
355 EAST CENTRAL STREET
FRANKLIN, MA 02038

Parcel Number: 320-004-000
CAMA Number: 320-004-000-000
Property Address: 15 LIBERTY WAY

Mailing Address: ATLANTIC OLIVER 15 LIBERTY WAY LLC
C/O OLIVER STREET CAPITAL LLC
125 HIGH ST - SUITE 220
BOSTON, MA 02110

Parcel Number: 320-005-000
CAMA Number: 320-005-000-000
Property Address: 101 CONSTITUTION BLVD

Mailing Address: 101 CONSTITUTION BLVD LLC C/O
KEYPOINT PARTNERS LLC
ONE VAN DE GRAAFF DRIVE - SUITE
402
BURLINGTON, MA 01803

Parcel Number: 320-006-000
CAMA Number: 320-006-000-000
Property Address: 77 CONSTITUTION BLVD

Mailing Address: IRON MOUNTAIN INFO MANAGEMENT
ONE FEDERAL ST
BOSTON, MA 02110

Parcel Number: 320-019-000
CAMA Number: 320-019-000-000
Property Address: 1 RACHAEL CIR

Mailing Address: MURPHEY ROBERT W MURPHEY
JANICE L
1 RACHAEL CIR
FRANKLIN, MA 02038

Parcel Number: 320-020-000
CAMA Number: 320-020-000-000
Property Address: 2 RACHAEL CIR

Mailing Address: PECORA BRIAN F & INNA TRS PECORA
LIVING TRUST
2 RACHAEL CIR
FRANKLIN, MA 02038

Parcel Number: 320-021-000
CAMA Number: 320-021-000-000
Property Address: 4 RACHAEL CIR

Mailing Address: COOKE ROBERT D COOKE PATRICIA E
4 RACHAEL CIR
FRANKLIN, MA 02038

Parcel Number: 320-022-000
CAMA Number: 320-022-000-000
Property Address: 6 RACHAEL CIR

Mailing Address: HARDING GRANT E MURPHY MAURA B
6 RACHAEL CIR
FRANKLIN, MA 02038



www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.



300 foot Abutters List Report

Franklin, MA
February 03, 2023

Parcel Number: 320-023-000 CAMA Number: 320-023-000-000 Property Address: 8 RACHAEL CIR	Mailing Address: SMITH ANDREW J JR SMITH PAULA E 8 RACHAEL CIR FRANKLIN, MA 02038
Parcel Number: 320-024-000 CAMA Number: 320-024-000-000 Property Address: 10 RACHAEL CIR	Mailing Address: PISANI CHRISTOPHER J PISANI ANNMARIE 10 RACHAEL CIR FRANKLIN, MA 02038
Parcel Number: 320-025-000 CAMA Number: 320-025-000-000 Property Address: 12 RACHAEL CIR	Mailing Address: CROOK JAMES CORMIER VALERIE 12 RACHAEL CIR FRANKLIN, MA 02038
Parcel Number: 320-026-000 CAMA Number: 320-026-000-000 Property Address: 14 RACHAEL CIR	Mailing Address: PATIL KEDAR SANJAY MEHTA JANVI DHARMESHKUMAR 14 RACHAEL CIR FRANKLIN, MA 02038
Parcel Number: 320-027-000 CAMA Number: 320-027-000-000 Property Address: 16 RACHAEL CIR	Mailing Address: GLYNN DEBORAH A 16 RACHAEL CIR FRANKLIN, MA 02038
Parcel Number: 320-028-000 CAMA Number: 320-028-000-000 Property Address: 17 RACHAEL CIR	Mailing Address: LORUSSO JOSEPH A LORUSSO JESSICA A 17 RACHAEL CIR FRANKLIN, MA 02038
Parcel Number: 320-029-000 CAMA Number: 320-029-000-000 Property Address: 15 RACHAEL CIR	Mailing Address: MINOR PETER W MINOR NADINE R 15 RACHAEL CIR FRANKLIN, MA 02038
Parcel Number: 320-030-000 CAMA Number: 320-030-000-000 Property Address: 1 LORUSSO DR	Mailing Address: REBELLO STEPHEN E REBELLO CHRISTINE A 1 LORUSSO DR FRANKLIN, MA 02038
Parcel Number: 329-002-000 CAMA Number: 329-002-000-000 Property Address: 105 CONSTITUTION BLVD	Mailing Address: APG FRANKLIN LLC C/O AVENTINE PROPERTY GROUP IN 111 SOUTH WACKER DR SUITE 3350 CHICAGO, IL 60606
Parcel Number: 329-008-000 CAMA Number: 329-008-000-000 Property Address: 10 JUDY CIR	Mailing Address: CROMWELL, JILL K TR FLECK, ROBERT A TR ROBERT & JILL FLECK LIV TRUST 10 JUDY CIR FRANKLIN, MA 02038

Kevin M. Doyle, 2-3-2023



www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.

2/3/2023

Page 2 of 2

101 CONSTITUTION BLVD LLC
C/O KEYPOINT PARTNERS LLC
ONE VAN DE GRAAFF DRIVE -
SUITE 402
BURLINGTON, MA 01803

LORUSSO JOSEPH A
LORUSSO JESSICA A
17 RACHAEL CIR
FRANKLIN, MA 02038

APG FRANKLIN LLC
C/O AVENTINE PROPERTY GRO
111 SOUTH WACKER DR SUITE
3350
CHICAGO, IL 60606

LRF2 BOS LIBERTY WAY LLC
C/O LONGPOINT REALTY PART
13218 WEST BROWARD
BOULEVARD
PLANTATION, FL 33325

ATLANTIC OLIVER 15 LIBERT
C/O OLIVER STREET CAPITAL
125 HIGH ST - SUITE 220
BOSTON, MA 02110

MINOR PETER W
MINOR NADINE R
15 RACHAEL CIR
FRANKLIN, MA 02038

COOKE ROBERT D
COOKE PATRICIA E
4 RACHAEL CIR
FRANKLIN, MA 02038

MURPHEY ROBERT W
MURPHEY JANICE L
1 RACHAEL CIR
FRANKLIN, MA 02038

CROMWELL, JILL K TR FLECK
ROBERT & JILL FLECK LIV T
10 JUDY CIR
FRANKLIN, MA 02038

PATIL KEDAR SANJAY
MEHTA JANVI DHARMESHKUMAR
14 RACHAEL CIR
FRANKLIN, MA 02038

CROOK JAMES
CORMIER VALERIE
12 RACHAEL CIR
FRANKLIN, MA 02038

PECORA BRIAN F & INNA TRS
PECORA LIVING TRUST
2 RACHAEL CIR
FRANKLIN, MA 02038

FRANKLIN TOWN OF
355 EAST CENTRAL STREET
FRANKLIN, MA 02038

PISANI CHRISTOPHER J
PISANI ANNMARIE
10 RACHAEL CIR
FRANKLIN, MA 02038

GLYNN DEBORAH A
16 RACHAEL CIR
FRANKLIN, MA 02038

REBELLO STEPHEN E
REBELLO CHRISTINE A
1 LORUSSO DR
FRANKLIN, MA 02038

HARDING GRANT E
MURPHY MAURA B
6 RACHAEL CIR
FRANKLIN, MA 02038

SMITH ANDREW J JR
SMITH PAULA E
8 RACHAEL CIR
FRANKLIN, MA 02038

IRON MOUNTAIN INFO MANAGE
ONE FEDERAL ST
BOSTON, MA 02110

STANNAH PROPERTY LLC
C/O LINCOLN PROPERTY COMP
25 MALL RD SUITE 402
BURLINGTON, MA 01803



Legend

 Property Boundary



Date: 3/31/2023

GC Job Number:
101-82

Wetland Border Report Orthophoto View of Site

0 87.5 175
Feet

GODDARD CONSULTING
Strategic Wetland Permitting LLC

1 in = 175 ft

15 Liberty Way
Franklin, MA 02038

Map: 320, Lot: 4

Figure 1



Date: 3/31/2023

GC Job Number:
101-82

Wetland Border Report Orthophoto View of Site

0 87.5 175
Feet



15 Liberty Way
Franklin, MA 02038

1 in = 175 ft

Map: 320, Lot: 4

Figure 1



Legend

 Property Boundary

FEMA National Flood Hazard Layer

 A: 1% Annual Chance of Flooding, no BFE



Date: 3/31/2023

GC Job Number:
101-82

Wetland Border Report Orthophoto View of Site With FEMA Flood Zone

15 Liberty Way
Franklin, MA 02038

0 87.5 175
Feet

1 in = 175 ft

Map: 320, Lot: 4

Figure 2

GODDARD CONSULTING
Strategic Wetland Permitting LLC



Date: 3/31/2023

GC Job Number:
101-82

**Wetland Border Report
Orthophoto View of Site
With NRCS Soil Survey**

15 Liberty Way
Franklin, MA 02038

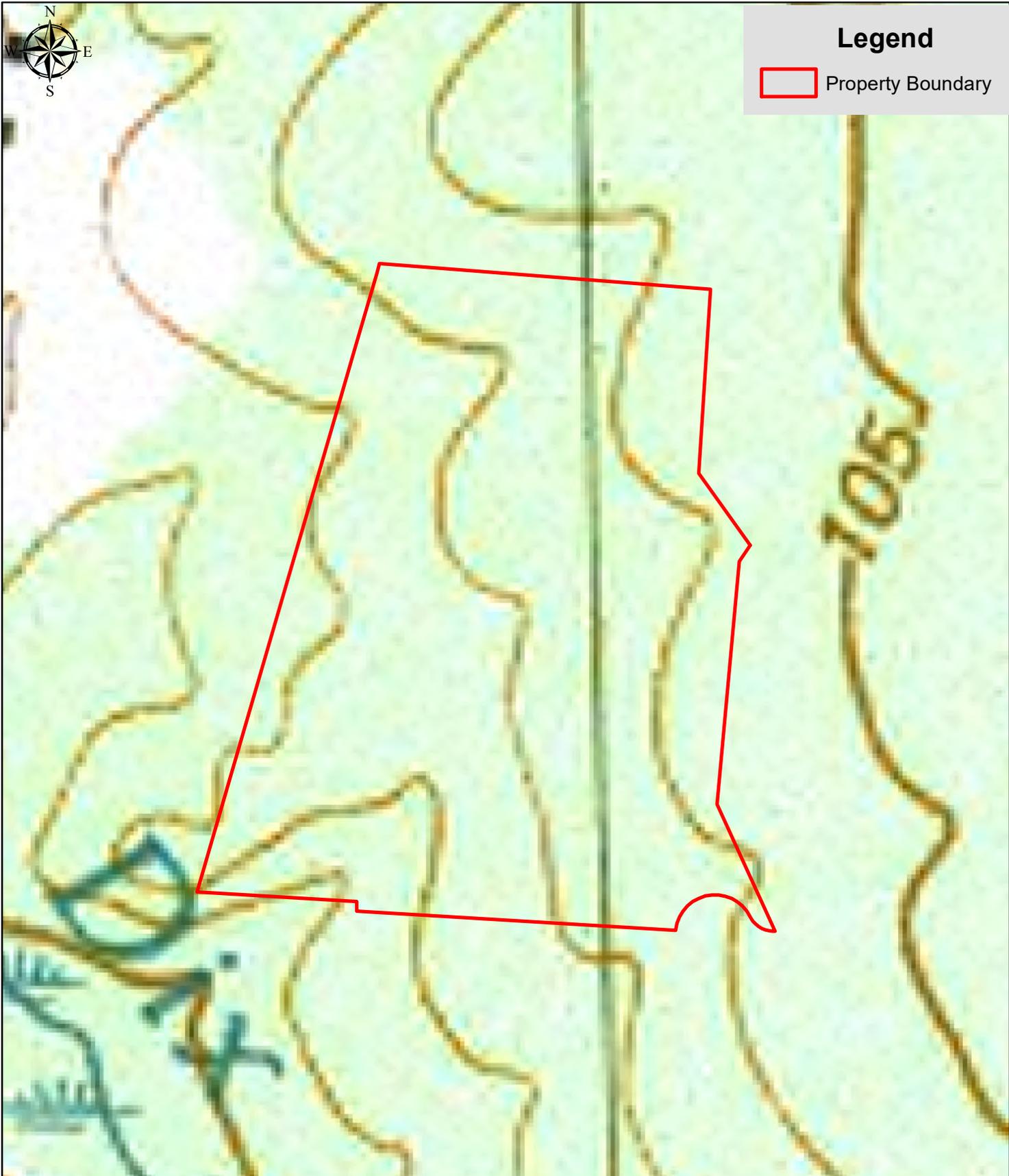
0 87.5 175
Feet

1 in = 175 ft

Map: 320, Lot: 4

Figure 3





Legend

Property Boundary

Date: 3/31/2023

GC Job Number:
101-82

**Wetland Border Report
USGS of Site**

0 100 200
Feet

GODDARD CONSULTING
Strategic Wetland Permitting LLC

15 Liberty Way
Franklin, MA 02038

1 in = 200 ft

Map: 320, Lot: 4

Figure 4



Wildlife Habitat Protection Guidance

Appendix A: Simplified Wildlife Habitat Evaluation

Project Information

15 Liberty Way, Franklin MA

Project Location (from NOI)

Chris Frattaroli, Ryan Roseen

5/22/2023

Name of Person Completing Form

Date

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Important Habitat Features

Direct alterations to the following important habitat features in resource areas may be permitted only if they will have no adverse effect (refer to Section V).

- Habitat for state-listed animal species (receipt of a positive opinion or permit from MNHESP shall be presumed to be correct. Do not refer to Section V).
- Sphagnum hummocks and pools suitable to serve as nesting habitat for four-toed salamanders
- Trees with large cavities (≥ 18 " tree diameter at cavity entrance)
- Existing beaver, mink or otter dens
- Areas within 100 feet of existing beaver, mink or otter dens (if significant disturbance)
- Existing nest trees for birds that traditionally reuse nests (bald eagle, osprey, great blue heron)
- Land containing freshwater mussel beds
- Wetlands and waterbodies known to contain open water in winter with the capacity to serve as waterfowl winter habitat
- Turtle nesting areas
- Vertical sandy banks (bank swallows, rough-winged swallows or kingfishers)

The following habitat characteristics when not commonly encountered in the surrounding area:

- Stream bed riffle zones (e.g. in eastern MA)
- Springs
- Gravel stream bottoms (trout and salmon nesting substrate)
- Plunge pools (deep holes) in rivers or streams
- Medium to large, flat rock substrates in streams



Wildlife Habitat Protection Guidance

Appendix A: Simplified Wildlife Habitat Evaluation

Activities

When any one of the following activities is proposed within resource areas, applicants should complete a Detailed Wildlife Habitat Evaluation (refer to Appendix B).

- Activities located in mapped “Habitat of Potential Regional or Statewide Importance”
- Activities affecting certified or documented vernal pool habitat, including habitat within 100’ of a certified or documented vernal pool when within a resource area
- Activities in bank, land under water, bordering land subject to flooding (presumed significant) where alterations are more than twice the size of thresholds
- Activities affecting vegetated wetlands >5000 sq. ft. occurring in resource areas other than Bordering Vegetated Wetland
- Activities affecting the sole connector between habitats >50 acres in size
- Installation of structures that prevent animal movement
- Activities for the purpose of bank stabilization using hard structure solutions that significantly affect ability of stream channel to shift and meander, or disrupt continuity in cover that would inhibit animal passage
- Dredging (greater than 5,000 sf)

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

 Applicant: Atlantic Oliver 15 Liberty

 Prepared by: Goddard Consulting LLC

 Project location: 15 Liberty Way Franklin MA

DEP File #: _____

Check all that apply:

- | | |
|-------------------------------------|---|
| <input type="checkbox"/> | Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only |
| <input checked="" type="checkbox"/> | Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II |
| <input type="checkbox"/> | Method other than dominance test used (attach additional information) |

Section I. Vegetation	Observation Plot Number:	Transect Number: <u>Upgradient</u>	Date of Delineation:		
Sample Layer and Plant Species	Scientific name	% Cover	% Dominance	Dominant Plant (yes or no)	Wetland Indicator Category*
<u>Tree Layer</u>					
white pine	<i>Pinus strobus</i>	38%	55.1%	Yes	FACU
red maple	<i>Acer rubrum</i>	21%	29.7%	Yes	FAC*
northern white oak	<i>Quercus alba</i>	11%	15.2%	No	FACU
<u>Sapling Layer</u>					
northern white oak	<i>Quercus alba</i>	3%	50.0%	Yes	FACU
white pine	<i>Pinus strobus</i>	3%	50.0%	Yes	FACU
<u>Shrub Layer</u>					
<u>Climbing Woody Vine</u>					
<u>Ground Cover</u>					
green brier	<i>Smilax rotundifolia</i>	3%	50.0%	Yes	FAC*
late lowbush blueberry	<i>Vaccinium angustifolium</i>	3%	50.0%	Yes	FACU
Remarks: * An asterisk after common plant name indicates stunted growth; ** indicates extremely stunted growth					
Morphological Adaptations: 0		Description: _____			
* An asterisk after indicator status denotes wetlands plants: plants listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus Sphagnum; or plants listed as FAC, FACW, or OBL.					
Vegetation conclusion:					
Number of dominant wetland indicator plants: 2			Number of dominant non-wetland indicator plants: 4		
Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? no					

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent.

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? yes no
 title/date: Soil Survey of Norfolk and Suffolk Counties - 1989
 map number: MA616
 soil type mapped: Woodbridge FSL 312B
 hydric soil inclusions: yes

Are field observations consistent with soil survey? yes no

Remarks: _____

2. Soil Description

<u>Horizon</u>	<u>Depth (inches)</u>	<u>Matrix Color</u>	<u>Mottles Color or Texture</u>
O	0-4	10YR3/4	FSL
A	4-8	10YR3/2	FSL
B	8-24	10YR4/1	FSL

25% concentrations 10YR6/8

Remarks: _____

3. Other: _____

Conclusion: Is soil hydric? yes no

Other Indicators of Hydrology: (check all that apply and describe)

- Site inundated: _____
- Depth to free water in observation hole: _____
- Depth to soil saturation in observation hole: _____
- Water marks: _____
- Drift Lines: _____
- Sediment deposits: _____
- Drainage patterns in BVW: _____
- Oxidized rhizospheres: _____
- Water-stained leaves: _____
- Recorded data (stream, lake, or tidal gauge; aerial photo; other):

- Other: _____

Vegetation and Hydrology Conclusion for Upgradient of		
	<u>yes</u>	<u>no</u>
Number of wetland indicator plants >= number of non-wetland plants		X
Wetland hydrology present:		
hydric soils present	X	
other indicators of hydrology present		X
Sample location is in a BVW		X

Submit this form with the Request for Determination of Applicability or Notice of Intent

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

 Applicant: Atlantic Oliver 15 Liberty

 Prepared by: Goddard Consulting LLC

 Project location: 15 Liberty Way Franklin MA

DEP File #: _____

Check all that apply:

- | | |
|-------------------------------------|---|
| <input type="checkbox"/> | Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only |
| <input checked="" type="checkbox"/> | Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II |
| <input type="checkbox"/> | Method other than dominance test used (attach additional information) |

Section I. Vegetation	Observation Plot Number:	Transect Number: Downgradient	Date of Delineation:		
Sample Layer and Plant Species	Scientific name	% Cover	% Dominance	Dominant Plant (yes or no)	Wetland Indicator Category*
<u>Tree Layer</u>					
red maple	<i>Acer rubrum</i>	21%	87.2%	yes	FAC*
eastern cottonwood	<i>Populus deltoides</i>	3%	12.8%	no	FAC*
<u>Sapling Layer</u>					
sitka willow	<i>Salix sitchensis</i>	21%	87.2%	yes	NI
pin oak	<i>Quercus palustris</i>	3%	12.8%	no	FACW*
<u>Shrub Layer</u>					
sweet pepperbush	<i>Clethra alnifolia</i>	11%	43.8%	yes	FAC*
rambler rose	<i>Rosa multiflora</i>	11%	43.8%	yes	FACU
white meadowsweet	<i>Spiraea alba</i>	3%	12.5%	no	FACW*
<u>Climbing Woody Vine</u>					
<u>Ground Cover</u>					
sensitive fern	<i>Onoclea sensibilis</i>	21%	38.7%	Yes	FACW*
sedge	<i>Carex sp.</i>	3%	5.7%	no	FACW*
common reed	<i>Phragmites australis</i>	21%	38.7%	yes	FACW*
jewelweed	<i>Impatiens capensis</i>	3%	5.7%	no	FACW*
purple loosestrife	<i>Lythrum salicaria</i>	3%	5.7%	no	OBL*
eastern poison ivy	<i>Toxicodendron radicans</i>	3%	5.7%	no	FAC*
Remarks: * An asterisk after common plant name indicates stunted growth; ** indicates extremely stunted growth					
Morphological Adaptations: 0		Description: _____			
* An asterisk after indicator status denotes wetlands plants: plants listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus Sphagnum; or plants listed as FAC, FACW, or OBL.					
Vegetation conclusion:					
Number of dominant wetland indicator plants: 4			Number of dominant non-wetland indicator plants: 2		
Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? yes					

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent.

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? yes no
 title/date: Soil Survey of Norfolk and Suffolk Counties - 1989
 map number: MA616
 soil type mapped: Woodbridge FSL 312B
 hydric soil inclusions: Yes

Are field observations consistent with soil survey? yes no

Remarks: _____

2. Soil Description

<u>Horizon</u>	<u>Depth (inches)</u>	<u>Matrix Color</u>	<u>Mottles Color or Texture</u>
A	0-6	10YR6/1	FSL

Remarks: _____

3. Other: _____

Conclusion: Is soil hydric? yes no

Other Indicators of Hydrology: (check all that apply and describe)

- Site inundated: _____
- Depth to free water in observation hole: surface
- Depth to soil saturation in observation hole: surface
- Water marks: _____
- Drift Lines: _____
- Sediment deposits: _____
- Drainage patterns in BVW: _____
- Oxidized rhizospheres: _____
- Water-stained leaves: _____
- Recorded data (stream, lake, or tidal gauge; aerial photo; other):

- Other: _____

Vegetation and Hydrology Conclusion for Downgradient of		
	<u>yes</u>	<u>no</u>
Number of wetland indicator plants		
>= number of non-wetland plants	X	
Wetland hydrology present:		
hydric soils present		X
other indicators of hydrology present	X	
Sample location is in a BVW	X	

Submit this form with the Request for Determination of Applicability or Notice of Intent

Town of Franklin Conservation Commission

LOCAL FILING FEE CALCULATION WORKSHEET

1. NOTICE OF INTENT (NOI)

1.1. New Individual Single Family Home (SFH) \$200.00 _____
This includes all projects associated with a SFH

1.2. Work Associated with Existing Residential Property \$50.00 _____
Above-ground pools, fences or other incidental projects involving land disturbance that are not covered by the MBZA

1.3. Control of Nuisance Vegetation \$50.00 _____
This category shall not apply to any non-natural deposition of material e.g. vegetative debris

1.4. Subdivisions

Base Fee \$600.00 _____
Infrastructure in Buffer Zone **or** Resource Area
Roads _____ linear feet x \$2.00 = _____
*Drainage Structures _____ X \$10.00 each = _____
Wetland Resource Area Disturbed _____ square feet x \$0.50= _____

(If single family homes are proposed as part of a subdivision application, for each house in jurisdiction, individual NOI fees will apply.)

1.5. Multifamily Dwellings, including Condominium Units:
_____ MFDU x \$100.00 _____

1.6. Commercial/Industrial

Base Fee \$600.00 \$600.00
Infrastructure in Buffer Zone **or** Resource Area

Roads	___ linear feet x \$2.00	=	_____
*Drainage Structures	___ X \$10.00 each	=	_____
Wetland Resource Area Disturbed	___ square feet x \$0.50	=	_____
Buildings	___ X \$125 each	=	_____
All Accessory Improvements	\$100.00	=	_____

2. REQUEST FOR DETERMINATION (RDA) \$100.00

3. MINOR BUFFER ZONE ACTIVITY (MBZA) \$50.00

4. ABBREVIATED NOTICE OF RESOURCE AREA DETERMINATION (ANRAD)

\$0.50/foot/resource area: = _____

5. OTHER PERMITS/SERVICES

Order of Conditions Extension	\$50.00	_____
Certificate of Compliance Request	\$50.00	_____
Certificate Re-Inspection	\$50.00	_____
Status Letter for Financial Institution	\$100.00	_____
Permit Amendment	\$100.00	_____

6. FILING FEE CALCULATION

Town Share of State Fees (See NOI Wetland Fee Transmittal Form) \$ _____

Local Filing Fee Calculated Above \$ **600** _____

TOTAL Due Town of Franklin (Check No.1) \$ _____

State Share of Filing Fee (See NOI Wetland Fee Transmittal Form)

TOTAL Due DEP (Check No. 2) \$ _____

7. ADVERTISING FEE (Check No. 3) **TBD**

The fee will be the exact amount the newspaper charges for that specific advertisement. Once the advertisement is placed with the paper, by the Conservation Commission, the applicant will be notified of the cost and will be expected to submit a check for that exact amount, payable to the Town of Franklin, to the Conservation Department prior to the first hearing.

*Drainage structures: catch basins, manholes, leaching basins, gutter inlet or any other man-made structure (other than a pipe) for purposes of controlling drainage.

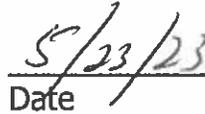
Town of Franklin Conservation Commission

PROPERTY ACCESS SIGNATURE FORM

I hereby request that the Franklin Conservation Commission review this NOI/RDA/ANRAD application. I (we) grant authority to the Franklin Conservation Commission members and agents to go onto my (our) property solely for purposes directly related to the inspection and approval of this application and for follow-up compliance with the permit conditions.



Signature of Property Owner



Date

Scott Goddard on behalf of applicant

Town of Franklin Conservation Commission

APPLICATION PROCESS SIGNATURE FORM

There are three different applications that can be submitted to undertake work in a jurisdictional area: a Notice of Intent (NOI), a Request for Determination (RDA) and a Minor Buffer Zone Activity (MBZA). All three applications have different criteria for submission and approval and the NOI and RDA are governed by both the state law and the local bylaw. The MBZA is issued under the local bylaw only.

When a potential applicant requests advice from the Conservation Agent on which application to file, the opinion of the Agent is based on the information given by the potential applicant and any other information available to the Agent, e.g. the town's GIS system. The Agent has no legal right to go onto private property at any time until after an application is filed or permission of the property owner is given.

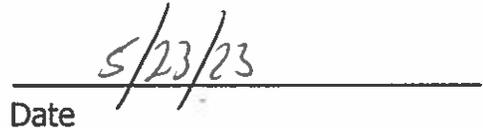
It is important that all applicants understand that after an application is filed, additional information may come to light e.g. via a field inspection or a review of the application, that may impact the scope of the submitted application and the approval process. **Therefore, it is the ultimate responsibility of the applicant to decide which application to file.**

In light of the above, please sign below indicating an understanding of this policy and submit it with the application.



Signature of Property Owner

Scott Goddard on behalf of applicant



Date

Town of Franklin Conservation Commission

RESOURCE AREA IMPACT SUMMARY FORM

**The Franklin Wetlands Protection Bylaw
Franklin Town Code Section 181**

Resource Area	Alteration Proposed	Mitigation Proposed
Bordering Vegetated Wetland (SF)	0	0
Bank (LF)	0	0
Land Under Water Bodies (SF)	0	0
B-series Stormwater IVW (SF)	2,600 sf	6,700 sf (modified infiltration basin)
H-series Stormwater IVW (SF)	950 sf	
G-series Isolated Wetland (SF)	1,280 sf	2,300 sf (wetland replication area)
Vernal Pool (SF)	0	0
0-25' Buffer Zone (SF)	12,890 sf	44,850 sf (invasive species management)
25-50' Buffer Zone (SF)	12,795 sf	
50-100' Buffer Zone (SF)	20,225 sf	
Riverfront (SF)	0	0
100-Year Floodplain (CF)	0	0
(SF) = Square Feet (LF) = Linear Feet (CF) = Cubic Feet Flood Storage		

March 28, 2024

Franklin Conservation Commission
355 E. Central Street
Franklin, MA 02038

Re: Revised Variance Request
15 Liberty Way, Franklin MA (DEP File #159-1282)

Dear Franklin Conservation Commission,

Goddard Consulting, LLC, (Goddard) is pleased to submit this revised variance request on behalf of Atlantic Oliver 15 Liberty Way LLC (the Applicant) in regard to the Notice of Intent (NOI) filed for 15 Liberty Way (DEP File #159-1282).

This report is a supplement to the Notice of Intent application submitted concurrently as required by the Franklin Wetlands Protection Bylaw. Site constraints, including zoning requirements for provided parking area and the lack of usable space on the lot, make it difficult to relocate or scale back the proposed parking and driveway expansion.

As noted in this Notice of Intent submittal, the proposed project requires alteration to existing Isolated Vegetated Wetlands (IVWs) and jurisdictional buffer zones. As outlined in the Resource Area Impact Summary Form, total impacts are as follows:

- B-series Isolated Wetland: 2,600 sf
- H-series Isolated Wetland: 950 sf
- G-series Isolated Wetland: 1,280 sf
- 0-25' Buffer Zone: 12,890 sf
- 25-50' Buffer Zone: 12,795 sf
- 50-100' Buffer Zone: 20,225 sf

The applicant requests a variance from the following sections of the Franklin Wetlands Protection Bylaw:

- Section 4.2.1. – 0-25' Buffer Zone Regulations**
 - The project proposes impacts to the 0-25' Buffer Zone totaling approximately 12,890 square feet. Approximately 8,200 square feet of the proposed work within the 0-25' Buffer Zone consists of grading and the installation of stormwater features. The remainder consists of paving.
- Section 4.3.1. – 25-50' Buffer Zone Regulations**
 - The project proposes impacts to the 25-50' Buffer Zone totaling approximately 12,795 square feet. This impact is comprised primarily of paving, along with some ancillary grading.
- Section 4.4.1. – 50-100' Buffer Zone Regulations**
 - The project proposes impacts to the 50-100' Buffer Zone totaling approximately 20,225 square feet. This impact is comprised primarily of paving, along with some ancillary grading.
- Section 7.14.1 – Replication Plan and Protocol**
 - The project proposes impacts to Isolated Vegetated Wetlands and associated wetland replication at a ratio of approximately 1.75:1.

In all, Goddard believes that impacts to wetland resource areas and buffer zones have been avoided, minimized, and mitigated for, to the greatest extent practicable. Revisions have been made to scale back the impacts proposed by the project and provide increased mitigating efforts.

As mitigation for the above-mentioned impacts, the applicant proposes wetland replication and invasive species management in the northwestern portion of the site. See *Invasive Species Management Plan*, prepared by Goddard Consulting LLC, dated 3/28/2024, and *Wetland Replication and Basin Installation Plan*, prepared by Goddard Consulting LLC, dated 3/28/2024 for detailed information regarding these mitigation efforts.

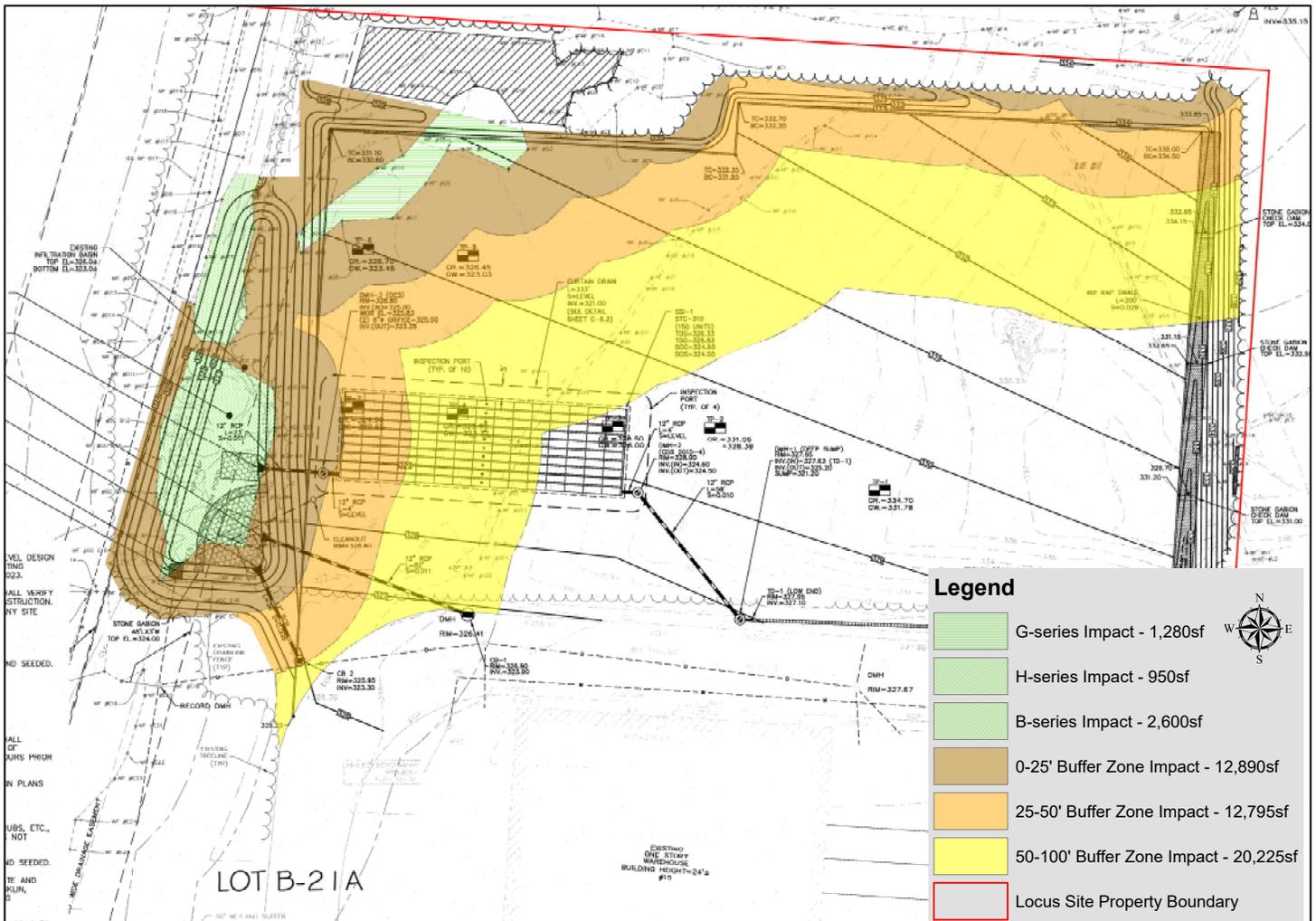


Figure 1: Visual depiction of project impacts to resource areas and buffer zones.

Below is a table summarizing potential alternatives to the proposed work:

Summary of Alternatives			
Alternative option	Impact to wetland resources and buffer zone	Mitigation	Cost
<i>Alternative 1:</i> No change to existing conditions	No impacts to buffer zone or wetland resources.	None. Project would not include invasive species management, wetland replication or improvement of stormwater management as proposed.	No cost, but applicant is unable to develop land as needed.
<i>Alternative 2:</i> Scale back proposed parking and driveway area to avoid wetland resources entirely	Impacts to buffer zone as described. No wetland replication or improvement of stormwater	Project would provide significantly scaled-back mitigation.	Similar cost as current proposal, but applicant is unable to develop land to extent needed.
<i>Alternative 3:</i> Current proposal	Impacts to buffer zone and IVW onsite as described.	Project provides approx. 44,850 sf of invasive species management, improving habitat value of the wetland resource and surrounding area. Project also provides wetland replication and enhancement of stormwater management features.	Current design is most costly but meets the needs of the applicant.

In summary, the proposed project provides an opportunity to improve the functionality of the unmaintained stormwater features onsite that also serve other adjacent properties, enhance the wildlife habitat value of the vegetated buffers, and provide wetland replication. Based on the above analysis, Goddard believes that adverse impacts to wetland resources and buffer zones have been avoided to the greatest extent practicable, and respectfully requests that the Commission approve this request for variance.

Sincerely,
Goddard Consulting, LLC



Chris Frattaroli
Wetland Scientist

Invasive Species Management Plan

for

15 Liberty Way
Franklin, MA
(Map 320, Parcel 4)

DEP File No. 159-1282

Date:

September 7, 2023

Revised: October 25, 2023

Revised: March 28, 2024

Prepared for:

Atlantic Oliver 15 Liberty Way LLC
c/o Oliver Street Capital
125 High Street, Suite 220
Boston, MA 02110

Prepared by:

Goddard Consulting LLC
291 Main Street, Suite 8
Northborough, MA 01532

1.0 INTRODUCTION

Invasive species management is proposed as mitigation for the project's impacts. The area proposed for invasive species management is located at the west of the project site, as shown on the attached graphic (Figure 3), and totals approximately 44,850sf. The primary invasive species on the site consist of oriental bittersweet (*Celastrus orbiculatus*), multiflora rose (*Rosa multiflora*), purple loosestrife (*Lythrum salicaria*), common reed (*Phragmites australis*), and honeysuckle (*Lonicera spp.*) These species are known to outcompete native plant species that are important to native wildlife for food and habitat. Management of these species will allow native vegetation present in the area to thrive. It is Goddard's opinion that the proposed mitigation will result in a net improvement of habitat value in the area.



Figure 1: View of invasive plant species in proposed invasive species management area.



Figure 2: View of invasive Phragmites reeds to be managed.



Figure 3: Orthophoto showing Invasive Species Management Area.

2.0 SUPERVISION AND METHODS

All activities in the invasive species management area (ISMA) will be supervised by a qualified wetland scientist with experience in invasive species management. Before work begins, the wetland scientist will coordinate with the selected contractor to flag or otherwise clearly identify the limits of work for the entirety of the invasive species management area. All proposed invasive species management activities will be conducted by hand only. The use of machines in this area is likely to result in increased impacts. Grubbing and cut-stem herbicide treatments as described below will be conducted by hand.

2.1 PHYSICAL REMOVAL

Physical removal by grubbing is the simplest invasive species management technique. This technique is most effective on species that do not have expansive root systems. Species proposed to be managed with this approach include honeysuckle shrubs and multiflora rose. Simply digging out the plant and the majority of its root system with hand tools is effective in achieving long-term control. Repeated cutting of the above-ground portions of the plant is also an effective method to achieve control. Any invasive species present onsite that are not explicitly addressed in this plan will be managed with manual removal techniques.

2.2 CUT-STEM TREATMENT

A cut stem herbicide treatment is proposed for the remaining species that are not adequately addressed with manual grubbing. These species include Phragmites, purple loosestrife, and oriental bittersweet. These species have extensive root systems, and root material not physically removed is likely to resprout, resulting in ineffective control. All species proposed for manual removal may also be managed with a cut-stem treatment assuming that the maximum herbicide application rate is not exceeded.

The herbicide product to be used is EPA-approved for aquatic use – RoundUp Custom (EPA Reg. No. 524-343). This is a simple method that consists of cutting the target plant and applying a 50% diluted RoundUp formulation to the cut stem. The stem should be cut approximately 5” above the ground, to allow room for future cuts if follow-up treatment is necessary. The herbicide will be absorbed by the plant and transported throughout the plant tissue, effectively killing the plant from the inside. This method is exceptionally effective and rarely requires substantial follow-up treatments. All herbicide use will be overseen by a MA Licensed Pesticide Applicator. All stipulations of the product’s label will be followed at all times, deviation from which is a violation of federal law. Cut-stem treatments are most effective in the late summer and early fall and should be conducted at this time of year if possible. Year-round treatments are acceptable but may result in less effective control.

Herbicide application shall not occur during rain events, to ensure effective treatments and reduce any potential for the herbicide to travel offsite. As mentioned above, the method of application will consist of only targeted cut-stem treatments. This method enables the use of a very minimal amount of active herbicide ingredient and allows for precise application with very little potential for off-target impacts. No broadcast herbicide application will be used, as this method has a strong potential for off-target impacts and overspray.

2.3 DISPOSAL

All cut plant material will be exported from the site and disposed of appropriately. In order to minimize the spread of invasive plant seeds or roots, cut plant material will be moved to an impervious surface as soon as possible (i.e., by the end of the workday). No soils originating from areas known to support invasive plant species will be moved elsewhere on site.

2.4 REVEGETATION

All upland areas within the ISMA will be seeded with the New England Conservation/Wildlife Mix from New England Wetland Plants at the recommended rate of 1lb/1750sf. All wetland areas within the ISMA, including the proposed basin, will be seeded with the New England Wetmix from New England Wetland Plants at the recommended rate of 1lb/2500sf. The seed will be spread after the initial invasive removal effort and raked into the soil. This will establish high-quality herbaceous vegetation that will aid in preventing the spread of invasive species. Reseeding of the easement path may be necessary, as mowing may inhibit the self-seeding ability of the species sown. Reseeding shall be conducted as necessary until the revegetation criteria outlined in section 2.5 of this report has been met.

Because the ISMA does have areas with quality native vegetation present, precise quantities of trees and shrubs to be replanted have not been determined at this point. However, the entire ISMA outside of the mowed easement area will be revegetated with appropriate native woody vegetation. The area outside of the mowed easement area to be replanted measures approximately 32,000sf. Planting quantities and species selection will be determined by a qualified wetland scientist to ensure appropriate placement and achieve the revegetation criteria described in section 2.5 of this

report as described below. There will be no less than 6 different species chosen for planting to ensure appropriate species diversity. Plantings for these areas will be selected from the following list:

Upland Planting Areas	Wetland Planting Areas
White pine (<i>Pinus strobus</i>)	Red maple (<i>Acer rubrum</i>)
Black cherry (<i>Prunus serotina</i>)	Tupelo (<i>Nyssa sylvatica</i>)
Serviceberry (<i>Amalanchier canadensis</i>)	Highbush blueberry (<i>Vaccinium corymbosum</i>)
Black chokeberry (<i>Aronia melanocarpa</i>)	Winterberry (<i>Ilex verticillata</i>)
Lowbush blueberry (<i>Vaccinium angustifolium</i>)	Buttonbush (<i>Cephalanthus occidentalis</i>)
Witch hazel (<i>Hammamelis virginiana</i>)	Northern arrowwood (<i>Viburnum dentatum</i>)
*Depending on nursery availability, other appropriate species not listed here may be selected for planting with Conservation Agent approval.	

2.5 MONITORING AND REPORTING

As described above, the ISMP areas will be inspected for invasive species during the spring and fall growing seasons during each year of implementation. Monitoring reports shall be prepared for the ISMP by a qualified wetland scientist once a year with the results of the spring and fall inspections. If the report has deemed the management successful, treatment may cease. If the management has been unsuccessful, adjusted spring and fall treatments will be scheduled and the qualified wetland scientist will inspect the site the following spring.

Monitoring reports will include photographs and details about the vitality of the success of the invasive species management in the area and shall be submitted to the issuing authority by December of each monitoring year. Monitoring reports shall describe, using narratives, plans, and color photographs, the physical characteristics of the management area. Any invasive species present will be noted, flagged, and removed or treated.

For this ISMP to be deemed successful, 75% of the present invasive species cover must be removed, with the regeneration of native plant species in their place. If these terms are not met, the applicant shall submit a remediation plan to the issuing authority for approval that will achieve management/restoration goals under the supervision of a wetland specialist. This plan must include an analysis of why the areas have not successfully re-vegetated with native species and how the Applicant intends to resolve the problem.

This ISMP is for the removal of invasive plants in the area identified on the attached map within the subject parcel, with a goal of establishing a primarily native plant community and improving wildlife habitat adjacent to the soon to

be developed portions of the site. To achieve these goals, this plan has proposed an approach consisting of physical and chemical management methods.

It is our professional opinion that the distinction in removal methods specified previously in this report will allow for the efficient removal of invasive species from the area while affording maximum protection to wetland resource areas, and that the proposed plantings will allow for appropriate revegetation to provide ideal forage and habitat value for wildlife. We therefore respectfully request that the Commission approve this ISMP in conjunction with Notice of Intent for the project at 15 Liberty Way in Franklin, MA.

Sincerely,

Goddard Consulting LLC



Chris Frattaroli
Wetland Scientist



Wetland Replication and Basin Installation Plan

for

15 Liberty Way
Franklin, MA
(Map 320, Parcel 4)

DEP File No. 159-1282

Date:

March 28, 2024

Prepared for:

Atlantic Oliver 15 Liberty Way LLC
c/o Oliver Street Capital
125 High Street, Suite 220
Boston, MA 02110

Prepared by:

Goddard Consulting LLC
291 Main Street, Suite 8
Northborough, MA 01532

References: *Liberty Parking Expansion*, prepared by Level Design Group, last revised 3/19/2024
Replication Area Planting Plan, prepared by Goddard Consulting LLC, dated 3/25/2024
Proposed Basin Planting Plan, prepared by Goddard Consulting LLC, dated 2/7/2024

1. Wetland Replication Area

Location: The replication area is located near the northern property boundary of the site, adjacent to the C- and G-series Isolated Vegetated Wetlands (IVWs). The replication area measures 2,300 square feet.

Supervision: All work within the replication area shall be supervised by a qualified wetland scientist. The supervisor shall submit monitoring reports to the Conservation Commission as described below. Reports shall contain details of all work performed and photographs of completed conditions.

Timing: Work shall take place ideally when the altered wetlands are completely dry. If the wetlands are not completely dry and dewatering is necessary, a dewatering plan shall be approved by the Conservation Commission and before being implemented. The construction and installation of the replication area should be accomplished during the spring or fall growing seasons (between April 16 and May 31 or between September 16 and October 30). Planting during these periods is highly recommended. The replication area grading is advised not commence unless the contractor can guarantee completion of the work within the replication area within the same season.

Step 1: Stake Limits of Work, Verify Wetland Flagging & Install Erosion Controls

Stake out limits of work for replication areas and confirm wetland flags are in place on site. Erosion control barriers shall then be installed in the form of 12" compost SiltSoxx (or similar invasive-free barrier) placed at the limit of work for the replication area. These will remain in place and be maintained until the areas are completely stabilized and then may be removed after approval of the Conservation Commission or its Agent. The supervising wetland scientist shall have authority to require additional erosion control measures if deemed necessary.

Step 2: Vegetation Removal in Replication and Impact Areas

Clear and remove vegetation as necessary within the replication area and wetland impact area in preparation for excavation and grading. Woody debris specimens will be saved and stockpiled for reuse. The wetland area to be impacted will be inspected by the supervising wetland scientist for vegetation that can be transplanted. Any specimens that can be transplanted will be identified, marked, and saved for reuse in the replication area.

Step 3: Excavation of Replication Area

An excavator, backhoe or similar machine shall remove existing soils up to the edge of the staked replication area boundary, to a depth at which redoximorphic features become visible in the C-horizon at the soil surface. Subsoil of the C-horizon shall be loosened prior to Step 5 to ensure soils aren't compacted prior to topsoil placement. Care will be taken to remove any invasive roots and plants within the area to ensure soils used in the replication area are uncontaminated.

Step 4: Final Grading of Replication Area

After removal of existing soils down to the proper depth, organic soils will be imported. Imported soils shall consist of a 50:50 mix of loam and organic material with an organic content between 12 and 20%. No soils with known invasive species presence shall be used. Topsoil shall be placed within the replication area to a depth 6-12" and even with the surrounding proposed elevation on design plan, to be determined by the

supervising wetland scientist. Final grade shall be confirmed to be proper by the wetland scientist prior to plantings. Placement of soil shall be such that no equipment drives over or compacts the newly placed soils. Final grading will result in microtopographical relief of pits and mounds. Topography will create areas that pool and flood during heavy rain events and see water near the surface during the wet seasons. Slopes around the replication area shall be graded to less than 2H:1V where practical and shall have erosion control mats installed as necessary.

Step 5: Place Coarse Debris

Coarse woody debris and boulders, if available, shall be randomly placed throughout the replication area to provide cover for wildlife.

Step 6: Planting

Plantings shall be installed according to the attached plan *Replication Area Planting Plan*, prepared by Goddard Consulting LLC, dated 3/25/2024. Reference the Planting Schedule below. Precise siting of plants may be adjusted by the supervising wetland scientist in the field prior to installation. All plantings shall be distributed throughout the area; trees will be spaced at 10-15' on center and shrubs at 6-10' on center. Any specimens to be transplanted (as described in Step 2) will also be installed in the replication area at this time. All plantings will be removed from burlap sacks, wire cages and plastic containers prior to planting. Each plant will have its roots loosened prior to planting to encourage root growth away from the root ball. Leaf litter shall be spread throughout area if available. Wetland seed mix shall be scattered evenly by hand throughout the replication area at the product's suggested application rate (approximately 1lb). Once all work is complete, an erosion control barrier will be installed to enclose the replication area but will not serve to separate the replication area from the existing unimpacted wetland resources.

Step 7: As-Built

Interim as-built plans, complete with contours, spot elevations, surface area, and cross sections of the replication area shall be prepared by a Registered Professional Land Surveyor of the Commonwealth and submitted to the Commission after completion of final grading.

Step 8: Erosion Controls Removal

Once the replication area is stable, a request shall be submitted to the Conservation Commission to remove the erosion controls around the wetland replication area. Upon approval of stabilization, erosion controls shall be removed promptly, and any significant disturbance seeded with a wetland seed mix as specified above.

Step 9: Replication Monitoring

- a. Seasonal monitoring reports shall be prepared for the replication area by a qualified wetland scientist for a period of 3 years after installation or every year until a COC is issued by the Franklin Conservation Commission. This monitoring program will consist of early summer and early fall inspections. Reports shall include photographs and details about the vitality of the replication area. Monitoring reports shall be submitted to the Commission by the end of each year. Monitoring reports shall describe, using narratives, plans, and color photographs, the physical characteristics of the replication area with respect to stability, soil characteristics (i.e. horizons, depths, texture, percent gravel and rock, organic matter, Munsell hue, value and chroma, consistence and evidence of hydrologic influence), survival of vegetation and plant mortality, aerial extent and distribution, species diversity and vertical stratification (i.e. herb, shrub and tree layers). Invasive species will be documented if present, monitored and removed.

- b. At least 75% of the surface area of the replication area shall be re-established with indigenous plant species within three growing seasons. If the replication area does not meet the 75% re-vegetation requirement by the end of the second growing season after installation, the Applicant shall submit a remediation plan to the Commission for approval that will achieve the replication goals under the supervision of a wetland scientist. This plan shall include an analysis of why the areas have not successfully revegetated and how the Applicant intends to resolve the problem.

Replication Area Planting Schedule

Common Name	Scientific Name	Number	Size
Trees (13)			
Red Maple	<i>Acer rubrum</i>	10	1 or 2 gal. pots
River Birch	<i>Betula nigra</i>	3	1 or 2 gal. pots
Shrubs (29)			
Spicebush	<i>Lindera benzoin</i>	9	1 or 2 gal. pots
Winterberry	<i>Ilex verticillata</i>	9	1 or 2 gal. pots
Highbush blueberry	<i>Vaccinium corymbosum</i>	11	1 or 2 gal. pots
Seed Mix			
New England Wetland Plants WetMix			1 lb

2. Modified Infiltration Basin

Location: The modified infiltration basin is located at the west of the proposed parking area, in the area of the B- and H-series stormwater IVWs. The modified infiltration basin measures approximately 6,700 square feet.

Supervision: All work associated with the construction of the modified infiltration basin shall be supervised by a qualified engineer and/or wetland scientist.

Timing: Work shall take place ideally when the altered wetlands are completely dry. If the wetlands are not completely dry and dewatering is necessary, a dewatering plan shall be approved by the Conservation Commission and before being implemented.

Step 1: Stake Limits of Work & Install Erosion Controls

Stake out limits of work for replication areas. Erosion control barriers shall be installed in the form of 12" compost SiltSoxx (or similar invasive-free barrier) as shown on site plans. These will remain in place and be maintained until the areas are completely stabilized and then may be removed after approval of the Conservation Commission or its Agent. The supervising engineer or wetland scientist shall have authority to require additional erosion control measures if deemed necessary.

Step 2: Excavation and Grading of Modified Basin Area

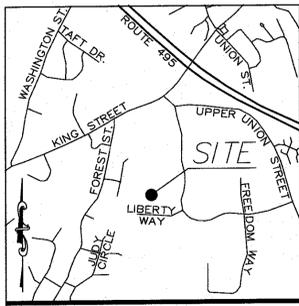
An excavator, backhoe or similar machine shall excavate as necessary in accordance with site plans. Care will be taken to remove any invasive roots and plants within the area to ensure soils used are uncontaminated. Riprap will be installed as specified on site plans.

Step 3: Planting

Plantings shall be installed according to the attached plan *Proposed Basin Planting Plan*, prepared by Goddard Consulting LLC, dated 2/7/2024. Reference the Planting Schedule below. Precise siting of plants may be adjusted by the supervising engineer or wetland scientist in the field prior to installation. All plantings shall be distributed throughout the area; shrubs will be spaced at 6-10' on center. All plantings will be removed from burlap sacks, wire cages and plastic containers prior to planting. Each plant will have its roots loosened prior to planting to encourage root growth away from the root ball. Wetland seed mix shall be scattered evenly by hand throughout the basin at the product's suggested application rate.

Modified Basin Planting Schedule

Common Name	Scientific Name	Number	Size
Shrubs (28)			
Silky Dogwood	<i>Cornus amomum</i>	8	1 or 2 gal. pots
Northern Arrowwood	<i>Viburnum recognitum</i>	11	1 or 2 gal. pots
Highbush blueberry	<i>Vaccinium corymbosum</i>	9	1 or 2 gal. pots
Herbaceous Cover (67)			
Burreed	<i>Sparganium americanum</i>	11	Landscape plug
Woolgrass	<i>Scirpus cyperinus</i>	10	Landscape plug
Joe-Pye Weed	<i>Eutrochium purpureum</i>	15	Landscape plug
Cattail	<i>Typha angustifolia</i>	31	Landscape plug
Seed Mix			
New England Wetland Plants WetMix			+/- 3 lb



LOCUS MAP
not to scale

PLAN NO. 879
OF 1994

N/F
COOKE
PARCEL 320-021
DB 11508 PG 376
4 RACHAEL CIRCLE

N/F
HARDING & MURPHY
PARCEL 320-022
DB 10636 PG 581
6 RACHAEL CIRCLE

N/F
SMITH
PARCEL 320-023
DB 10681 PG 633
8 RACHAEL CIRCLE

N/F
PISANI
PARCEL 320-024
DB 15863 PG 178
10 RACHAEL CIRCLE



LEGEND

B	BOLLARD
BIT.	BITUMINOUS
CLF	CHAIN LINK FENCE
-D-	UNDERGROUND DRAIN LINE
DB	DEED BOOK
DMH	DRAIN MANHOLE
ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
HYD	FIRE HYDRANT
INV	INVERT
N/F	NOW OR FORMERLY
RBF	REBAR FOUND
-S-	UNDERGROUND SEWER LINE
SMH	SEWER MANHOLE
PG	PAGE
RCP	REINFORCED CONCRETE PIPE
-W-	UNDERGROUND WATER LINE
WC	WATER GATE

ZONING DISTRICT

INDUSTRIAL

MINIMUM BUILDING SETBACKS

FRONT=40 FEET
SIDE=30 FEET*
REAR=30 FEET*

* INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE WHEN ABUTTING A RESIDENTIAL USE.

DEED REFERENCES

ATLANTIC OLIVER 15 LIBERTY WAY, LLC
DEED BOOK 39279 PAGE 278

PLAN REFERENCES

PLAN NO. 879 OF 1994
PLAN NO. 878 OF 1994
PLAN NO. 47 OF 1995

NOTES

- THIS SURVEY AND PLAN ARE BASED UPON AN ACTUAL ON THE GROUND INSTRUMENT SURVEY PERFORMED BETWEEN NOVEMBER 2, 2022 AND AUGUST 2, 2023.
- LEGAL STATUS OF THE STREETS AND/OR WAYS SHOWN HEREON, WHETHER THEY ARE PUBLIC OR PRIVATE, WERE NOT MADE PART OF THIS SURVEY.
- ALL FLOWERING PLANTS, SHRUBS, OR TREES MAY NOT BE SHOWN WITHIN LANDSCAPING AREAS. IT IS MEANT FOR ILLUSTRATIVE PURPOSES ONLY AND NOT MEANT AS A COMPLETE INVENTORY OF ALL VEGETATION THAT MAY EXIST. SIZES REFLECT APPROXIMATE TRUNK DIAMETER AT BREAST HEIGHT OR APPROXIMATE DIAMETER OF SHRUB WIDTH.
- THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON EITHER RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, VISUAL INSPECTION OF AVAILABLE ABOVEGROUND STRUCTURES, PHYSICAL SURFACE MARKINGS FOUND, OR DATA PROVIDED BY OTHERS. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK.
- THE SUBJECT PROPERTY DOES NOT FALL IN A SPECIAL FLOOD HAZARD ZONE AS THE SUBJECT PROPERTY IS PLOTTED BY SCALE ONTO THE FLOOD INSURANCE RATE MAP FOUND AS:
COUNTY NORFOLK
COMMUNITY TOWN OF FRANKLIN
PANEL 250240 0317E
EFFECTIVE DATE JULY 17, 2012
ZONE "X"
- THE SUBJECT PROPERTY DOES NOT FALL IN THE TOWN OF FRANKLIN'S WATER RESOURCE PROTECTION DISTRICT.

DATUM NOTES

HORIZONTAL DATUM:
MASSACHUSETTS STATE PLANE -- MAINLAND ZONE NAD83 (2011) EPOCH 2010.00 -- US FEET

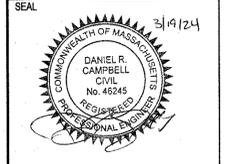
VERTICAL DATUM:
NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 12B) -- US FEET

ON-THE-GROUND OBSERVATIONS WERE PERFORMED USING A LEICA TS13 (3") ROBOTIC TOTAL STATION AND WITH A SOKKIA GCX3 GPS RECEIVER USING THE MASSACHUSETTS CONTINUOUSLY OPERATING REFERENCE STATION (MCCORS) RTK NETWORK.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS, TITLE 250 CMR 6.00.

ROBERT R. LITCHFIELD, PLS #47615 DATE

NO	DATE	REVISIONS
1	10/17/2023	RESOURCE AREA FLAGS
2	11/22/2023	REVIEW COMMENTS
3	02/01/2024	REVIEW COMMENTS
4	03/19/2024	REVISE LAYOUT



DATE: JANUARY 13, 2023
DRAWN: AH/DRG
SCALE: 1"=40'

LIBERTY PARKING EXPANSION

MAP SHEET 320, PARCEL 004
15 LIBERTY WAY
FRANKLIN, MASSACHUSETTS



EXISTING CONDITIONS

C-1.0

SHEET 2 OF 8

2081.00

ZONING DISTRICT

ZONED: INDUSTRIAL
 USE: 3.10 WAREHOUSE, DISTRIBUTION FACILITY (EXISTING)

MINIMUM BUILDING SETBACKS

FRONT=40
 FEET SIDE=30 FEET
 REAR=30 FEET

DEED REFERENCES

ATLANTIC OLIVER 15 LIBERTY WAY, LLC
 DEED BOOK 39279 PAGE 278

PLAN REFERENCES

PLAN NO. 879 OF 1994
 PLAN NO. 878 OF 1994
 PLAN NO. 47 OF 1995



ZONING REQUIREMENTS

ZONING DISTRICT: INDUSTRIAL

	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	40,000 S.F.	653,400± S.F.	653,400± S.F.
FRONTAGE	175'	946.73'	946.73'
FRONT YARD SETBACK	40'	95.9'***	95.9'***
SIDE YARD SETBACK	30'	149.3'	149.3'
REAR YARD SETBACK	30'	259.6'	259.6'
BUILDING COVERAGE	70% MAX.	14.6%**	14.6%**
IMPERVIOUS COVERAGE	80% MAX.	46.7%***	56.9%***
MAX. BUILDING HEIGHT	3 STORIES*	1 STORY/24'	1 STORY/24'
PARKING REQUIREMENTS			
USE: EXISTING WAREHOUSE; ONE SPACE PER 1,000 SF OF GROSS FLOOR AREA.	95,475 SF / 1,000 SF = 96 SPACES	98	(98) EXISTING

- * BUILDINGS UP TO 60' IN HEIGHT MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.
- ** BUILDING AREA IS BASED ON FRANKLIN ASSESSORS RECORDS
- *** TAKEN FROM THE RECORD SURVEY IN ADDITION TO AERIAL IMAGERY.

PLAN NOTES:

1. EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY LEVEL DESIGN GROUP, LLC BETWEEN NOVEMBER 2, 2022 AND AUGUST 2, 2023. SOIL TESTING COMPLETED BY ADAM P. HUNT ON NOVEMBER 16, 2022 AND OCTOBER 4, 2023.
2. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.
3. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE DESIGN PLANS PRIOR TO THE START OF CONSTRUCTION.
4. ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE LOAMED AND SEEDED.
5. THE SITE IS NOT LOCATED WITHIN A ZONE II WATER RESOURCE DISTRICT.
6. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN DISTRICT.

CONSTRUCTION NOTES:

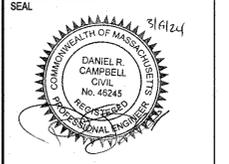
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4. ALL EXISTING PAVEMENT, CURB, WALKS, UTILITIES, LIGHT POLES, TREES, SHRUBS, ETC., SHALL BE REMOVED FROM THE AREAS TO BE DEVELOPED. ALL SUCH ITEMS NOT WITHIN THE WORK AREA SHALL BE PROTECTED AND UNDISTURBED.
5. ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE LOAMED AND SEEDED.
6. ALL CONSTRUCTION AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS. INCLUDING BUT NOT LIMITED TO THE TOWN OF FRANKLIN, THE COMMONWEALTH OF MASSACHUSETTS AND ANY OTHER AGENCIES HAVING JURISDICTION.
7. MATERIAL TO BE EXPORTED FROM THE SITE WILL BE LIMITED TO TOPSOIL IN AREAS TO BE PAVED AND ANY DELETERIOUS MATERIAL ENCOUNTERED DURING EXCAVATION. MATERIAL TO BE EXPORTED WILL BE LIMITED TO GRAVEL BASE AND SEPTIC AGGREGATE.

SITE PLAN NOTES:

1. THIS PLAN SET HAS BEEN ISSUED FOR PERMITTING ONLY. A FULL CONSTRUCTION PLAN SET SHALL BE ISSUED ONCE ALL LOCAL, STATE, AND FEDERAL PERMIT APPROVALS HAVE BEEN GRANTED.



NO	DATE	REVISIONS
1	10/17/2023	RESOURCE AREA FLAGS
2	11/22/2023	REVIEW COMMENTS
3	02/01/2024	REVIEW COMMENTS
4	03/19/2024	REVISE LAYOUT



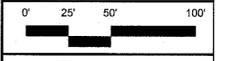
DATE: JANUARY 13, 2023
 DRAWN: AH/DRC
 SCALE: 1" = 50'

LIBERTY PARKING EXPANSION
 MAP SHEET 320, PARCEL 004
 15 LIBERTY WAY
 FRANKLIN, MASSACHUSETTS



OVERALL SITE PLAN

C-2.0
 SHEET 3 OF 9



2081.00

ZONING DISTRICT

ZONED: INDUSTRIAL

USE: 3.10 WAREHOUSE, DISTRIBUTION FACILITY (EXISTING)

MINIMUM BUILDING SETBACKS

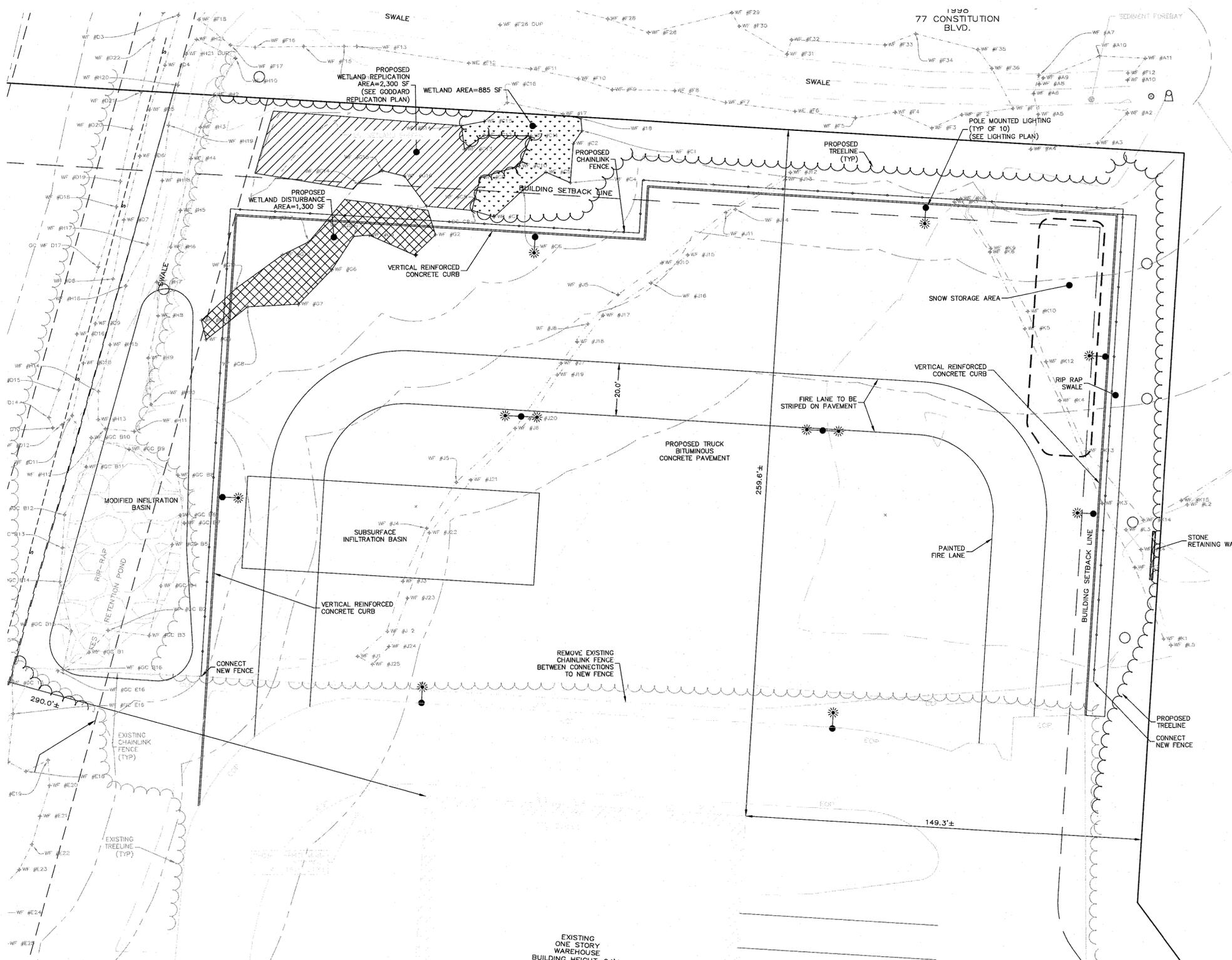
FRONT=40
FEET SIDE=30 FEET
REAR=30 FEET

DEED REFERENCES

ATLANTIC OLIVER 15 LIBERTY WAY, LLC
DEED BOOK 39279 PAGE 278

PLAN REFERENCES

PLAN NO. 879 OF 1994
PLAN NO. 878 OF 1994
PLAN NO. 47 OF 1995



PLAN NOTES:

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- THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE DESIGN PLANS PRIOR TO THE START OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE LOAMED AND SEEDED.
- THE SITE IS NOT LOCATED WITHIN A ZONE II WATER RESOURCE DISTRICT.
- THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN DISTRICT.

CONSTRUCTION NOTES:

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NO	DATE	REVISIONS
1	10/17/2023	RESOURCE AREA FLAGS
2	11/22/2023	REVIEW COMMENTS
3	02/01/2024	REVIEW COMMENTS
4	03/19/2024	REVISE LAYOUT



DATE: JANUARY 13, 2023
DRAWN: AH / DRC
SCALE: 1" = 20'

LIBERTY PARKING EXPANSION

MAP SHEET 320, PARCEL 004
15 LIBERTY WAY
FRANKLIN, MASSACHUSETTS

LEVEL
DESIGN GROUP
249 SOUTH STREET, UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 695-2221 FAX. (508) 695-2219

LAYOUT & MATERIALS

C-3.0
SHEET 4 OF 9



2081.00

ZONING DISTRICT
 ZONED: INDUSTRIAL
 USE: 3.10 WAREHOUSE, DISTRIBUTION FACILITY (EXISTING)

MINIMUM BUILDING SETBACKS

FRONT=40
 FEET SIDE=30 FEET
 REAR=30 FEET

DEED REFERENCES

ATLANTIC OLIVER 15 LIBERTY WAY, LLC
 DEED BOOK 39279 PAGE 278

PLAN REFERENCES

PLAN NO. 879 OF 1994
 PLAN NO. 878 OF 1994
 PLAN NO. 47 OF 1995

LOT B-211
 N/F
 IRON MOUNTAIN
 MANAGEMENT, LLC
 PARCEL ID 320-006
 DB 32508 PG 480
 PLAN NO. 659 OF
 1998
 77 CONSTITUTION
 BLVD.

NO	DATE	REVISIONS
1	10/17/2023	RESOURCE AREA FLAGS
2	11/22/2023	REVIEW COMMENTS
3	02/01/2024	REVIEW COMMENTS
4	03/19/2024	REVISE LAYOUT

DATE: JANUARY 13, 2023
 DRAWN: AH / DRC
 SCALE: 1" = 20'

LIBERTY PARKING EXPANSION
 MAP SHEET 320, PARCEL 004
 15 LIBERTY WAY
 FRANKLIN, MASSACHUSETTS

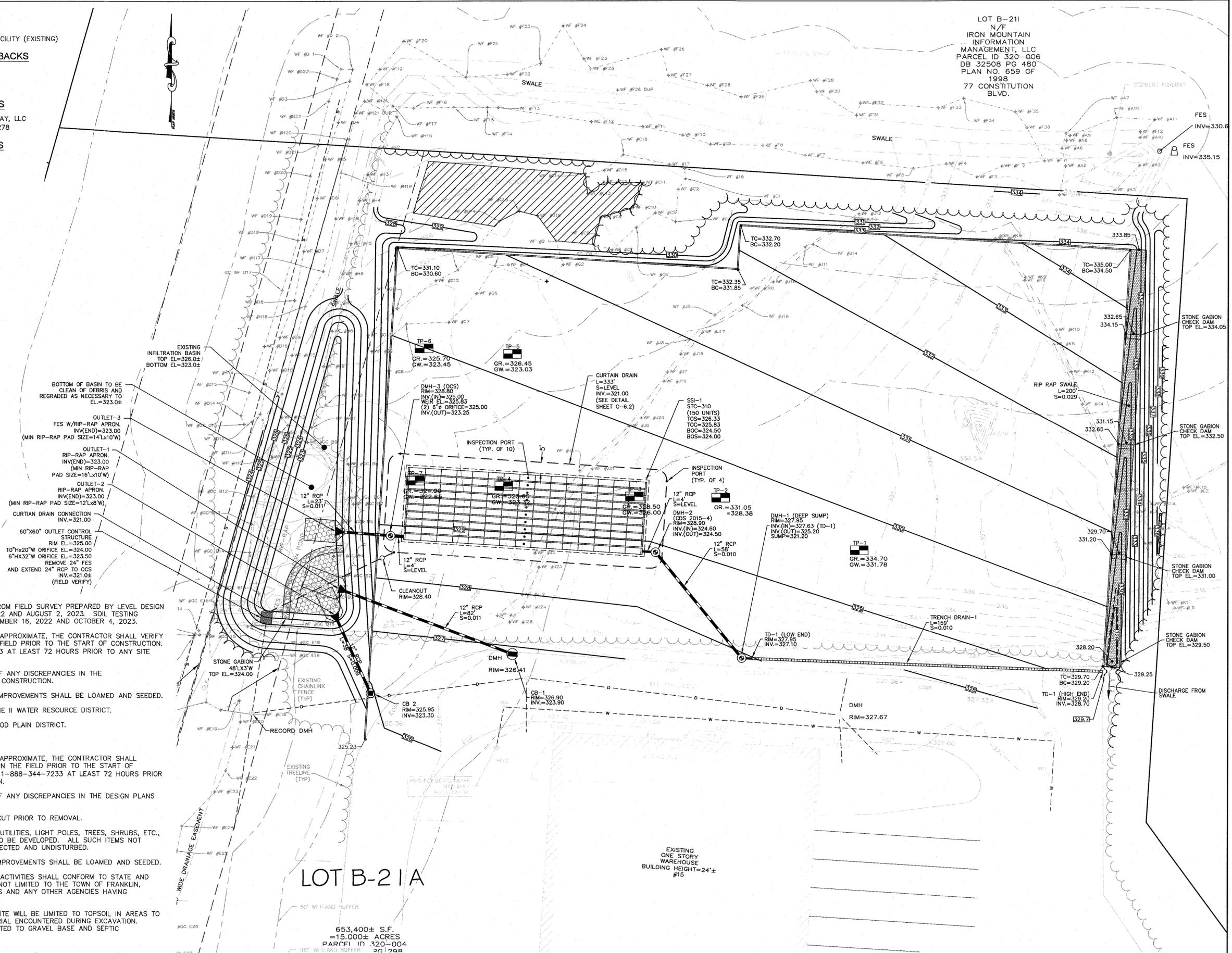
LEVEL
 DESIGN GROUP
 Civil Engineers & Land Surveyors
 249 SOUTH STREET, SUITE 1
 PLAINVILLE, MA 02762
 TEL. (508) 695-2221 FAX. (508) 695-2219

GRADING & DRAINAGE

C-4.0
 SHEET 5 OF 9

0' 10' 20' 40'

2081.00



PLAN NOTES:

- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY LEVEL DESIGN GROUP, LLC BETWEEN NOVEMBER 2, 2022 AND AUGUST 2, 2023. SOIL TESTING COMPLETED BY ADAM P. HUNT ON NOVEMBER 16, 2022 AND OCTOBER 4, 2023.
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- THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN DISTRICT.

CONSTRUCTION NOTES:

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- ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE LOAMED AND SEEDED.
- ALL CONSTRUCTION AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS. INCLUDING BUT NOT LIMITED TO THE TOWN OF FRANKLIN, THE COMMONWEALTH OF MASSACHUSETTS AND ANY OTHER AGENCIES HAVING JURISDICTION.
- MATERIAL TO BE EXPORTED FROM THE SITE WILL BE LIMITED TO TOPSOIL IN AREAS TO BE PAVED AND ANY DELETERIOUS MATERIAL ENCOUNTERED DURING EXCAVATION. MATERIAL TO BE EXPORTED WILL BE LIMITED TO GRAVEL BASE AND SEPTIC AGGREGATE.

SITE PLAN NOTES:

- THIS PLAN SET HAS BEEN ISSUED FOR PERMITTING ONLY. A FULL CONSTRUCTION PLAN SET SHALL BE ISSUED ONCE ALL LOCAL, STATE, AND FEDERAL PERMIT APPROVALS HAVE BEEN GRANTED.

LOT B-21A

653,400± S.F.
 =15,000± ACRES
 PARCEL ID 120-004
 26/208

EXISTING ONE STORY WAREHOUSE BUILDING HEIGHT=24'± #15

ZONING DISTRICT

ZONED: INDUSTRIAL
USE: 3.10 WAREHOUSE, DISTRIBUTION FACILITY (EXISTING)

MINIMUM BUILDING SETBACKS

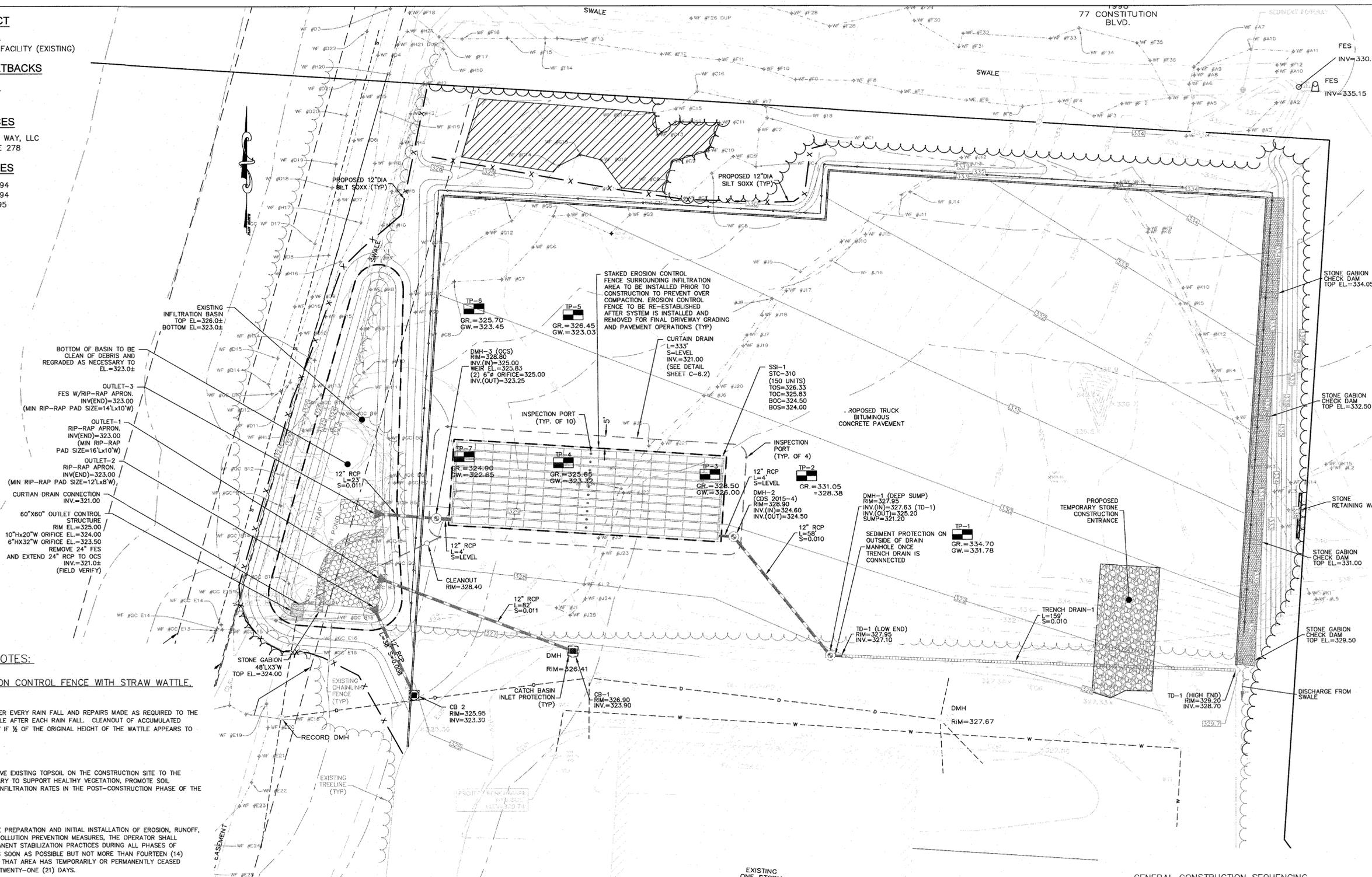
FRONT=40
FEET SIDE=30 FEET
REAR=30 FEET

DEED REFERENCES

ATLANTIC OLIVER 15 LIBERTY WAY, LLC
DEED BOOK 39279 PAGE 278

PLAN REFERENCES

PLAN NO. 879 OF 1994
PLAN NO. 878 OF 1994
PLAN NO. 47 OF 1995



EROSION CONTROL PLAN NOTES:

SILTATION CONTROL USING EROSION CONTROL FENCE WITH STRAW WATTLE, OR APPROVED EQUAL.

SILT SOXX IS TO BE VISUALLY INSPECTED AFTER EVERY RAIN FALL AND REPAIRS MADE AS REQUIRED TO THE SILTATION CONTROL FENCE AND STRAW WATTLE AFTER EACH RAIN FALL.

PRESERVE TOPSOIL

SITE OWNERS AND OPERATORS MUST PRESERVE EXISTING TOPSOIL ON THE CONSTRUCTION SITE TO THE MAXIMUM EXTENT FEASIBLE AND AS NECESSARY TO SUPPORT HEALTHY VEGETATION, PROMOTE SOIL STABILIZATION, AND INCREASE STORMWATER INFILTRATION RATES IN THE POST-CONSTRUCTION PHASE OF THE PROJECT.

STABILIZATION OF SOILS

UPON COMPLETION AND ACCEPTANCE OF SITE PREPARATION AND INITIAL INSTALLATION OF EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES, THE OPERATOR SHALL INITIATE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION PRACTICES DURING ALL PHASES OF CONSTRUCTION ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.

ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE WILL BE CLEARED/GRUBBED AT ANY ONE TIME. IT IS NOT ACCEPTABLE TO GRUB AND STRIP TOP SOIL THE ENTIRE CONSTRUCTION SITE IF PORTIONS WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME.

ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE WILL BE CLEARED/GRUBBED AT ANY ONE TIME. IT IS NOT ACCEPTABLE TO GRUB AND STRIP TOP SOIL THE ENTIRE CONSTRUCTION SITE IF PORTIONS WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME.

STEEP SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS IN AREAS OF STEEP SLOPES AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.

Table with 2 columns: TYPE and % BY WEIGHT. Rows include ANNUAL RYE GRASS (40) and PERENNIAL RYE GRASS (60).

STORMWATER INLET PROTECTION

INLET PROTECTION - WILL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM ENTERING STORM DRAIN INLETS. THESE MEASURES ARE USUALLY TEMPORARY AND ARE IMPLEMENTED BEFORE A SITE IS DISTURBED.

MAINTENANCE - THE OPERATOR MUST CLEAN, OR REMOVE AND REPLACE THE INLET PROTECTION MEASURES AS SEDIMENT ACCUMULATES, THE FILTER BECOMES CLOGGED, AND/OR AS PERFORMANCE IS COMPROMISED.

INFILTRATION BASINS - ALL AREAS CONTAINING INFILTRATION BASINS (ABOVE OR BELOW GROUND) SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.

CONSTRUCTION ENTRANCES

CONSTRUCTION ENTRANCES SHALL BE ESTABLISHED PRIOR TO REMOVAL OF EXISTING DRIVEWAY PAVEMENT TO BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF SEDIMENT TRACKING OFF THE PROJECT.

THE SITE OWNER AND OPERATOR MUST RESTRICT VEHICLE USE TO PROPERLY DESIGNATED EXIT POINTS, USE PROPERLY DESIGNED AND CONSTRUCTED CONSTRUCTION ENTRANCES AT ALL POINTS THAT EXIT ONTO PAVED ROADS SO THAT SEDIMENT REMOVAL OCCURS PRIOR TO VEHICLE EXIT.

STOCKPILE CONTAINMENT

SHALL BE USED ON-SITE TO MINIMIZE OR ELIMINATE THE DISCHARGE OF SOIL, TOPSOIL, BASE MATERIAL OR RUBBLE, FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS.

FOR ANY STOCKPILES OR LAND CLEARING DEBRIS COMPOSED, IN WHOLE OR IN PART, OF SEDIMENT OR SOIL, YOU MUST COMPLY WITH THE FOLLOWING REQUIREMENTS - LOCATE PILES WITHIN THE DESIGNATED LIMITS OF DISTURBANCE OUTSIDE OF THE 100-FOOT BUFFER ZONE.

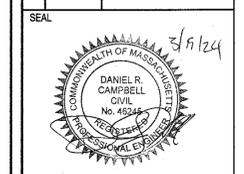
GENERAL CONSTRUCTION SEQUENCING

- 1. INSTALL EROSION AND SEDIMENT CONTROLS;
2. CLEAR, GRUB AND ROUGH GRADE AREAS SHOWN TO BE REGRADED;
3. DEMO EXISTING FEATURES IN WORK AREA NOT SHOWN TO BE SAVED AND CUT AND CAP UTILITIES AS NEEDED;

PLAN NOTES:

- 1. EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY LEVEL DESIGN GROUP, LLC BETWEEN NOVEMBER 2, 2022 AND NOVEMBER 16, 2022. THERE ARE NO RESOURCE AREAS, IN ACCORDANCE WITH 310 CMR 10.00 WITHIN 100' OF PROPOSED SYSTEM.
2. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.

Table with 3 columns: NO, DATE, REVISIONS. Contains revision history for the drawing.

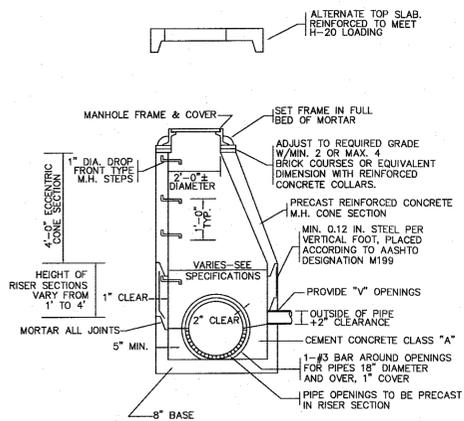


DATE: JANUARY 13, 2023
DRAWN BY: AH/DRG
SCALE: 1"=20'

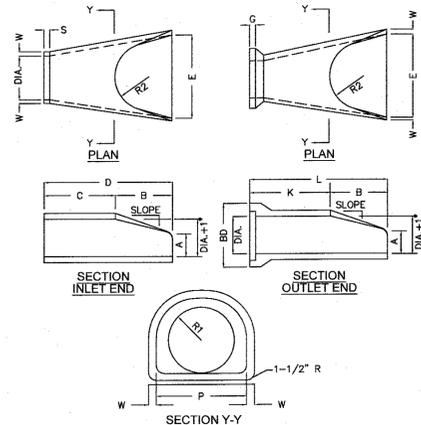
LIBERTY PARKING EXPANSION
MAP SHEET 320, PARCEL 004
15 LIBERTY WAY
FRANKLIN, MASSACHUSETTS



EROSION CONTROL
C-5.0
SHEET 6 OF 9
2081.00



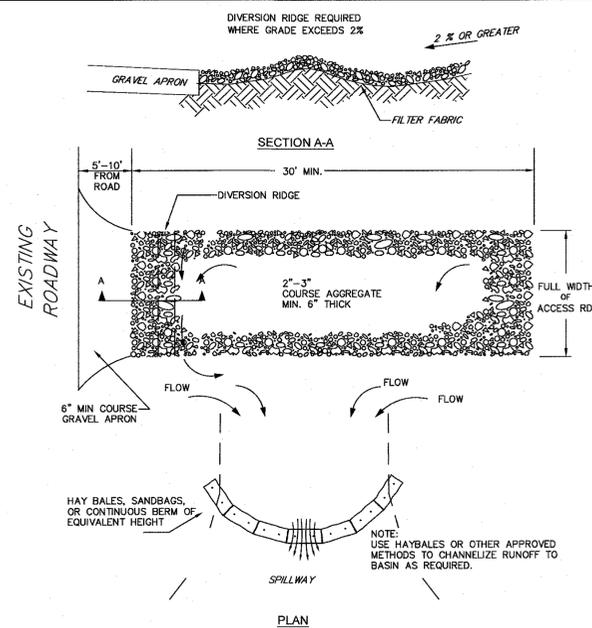
PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE



DIA.	W	A	B	C	D	E	BD
12"	2"	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20"
15"	2-1/4"	6"	2'-3"	3'-10"	6'-1 1/2"	2'-6"	24"
18"	2-1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	28"
21"	2-3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	32"
24"	3"	9-1/2"	3'-7 1/2"	3'-2"	6'-1"	4'-0"	36"

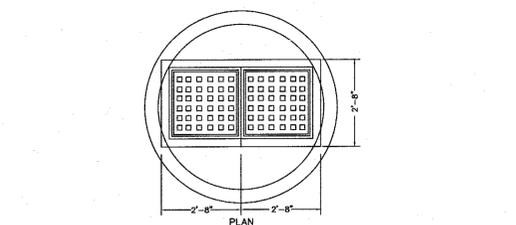
DIA.	K	L	P	DIA. 1/4"	R1	R2	S	G	SLOPE
12"	4'-6 1/8"	6'-6 1/8"	19 5/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	4'-3 11/16"	6'-6 11/16"	24 5/16"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	4'-3 7/8"	6'-6 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	3'-8 5/16"	6'-7 5/16"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3'-0 1/2"	6'-8"	33 3/16"	25"	16 13/16"	14"	4"	3"	3:1

REINFORCED CONCRETE PIPE FLARED END
NOT TO SCALE

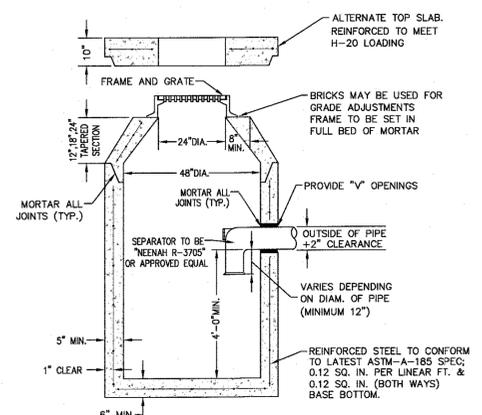


- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITIONS THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS TO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY CONSTRUCTION ENTRANCE/EXIT DETAIL
NOT TO SCALE

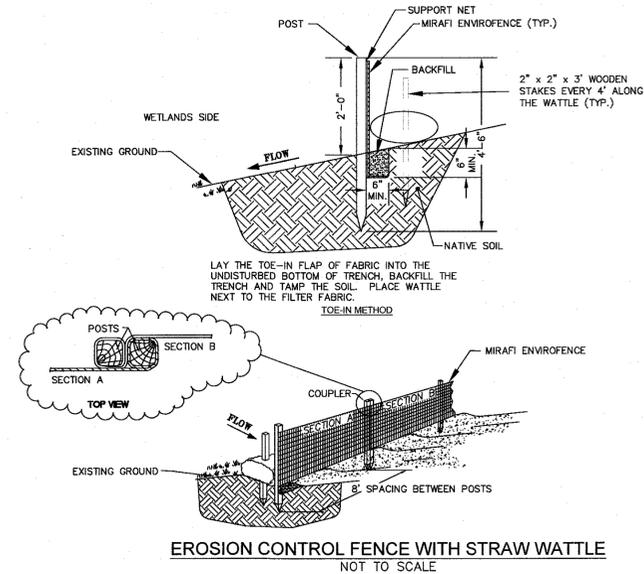


PRECAST CONCRETE DOUBLE CATCH BASIN WITH GAS AND OIL SEPARATOR
NOT TO SCALE

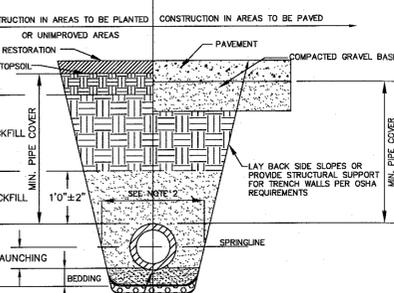


- NOTES:
1. CONCRETE TO BE 4,000 PSI MIN. PER ASTM C-478(6.1).
 2. REINFORCING TO MEET OR EXCEED H-20 LOADING REQUIREMENTS.

PRECAST CONCRETE CATCH BASIN WITH GAS AND OIL SEPARATOR
NOT TO SCALE



EROSION CONTROL FENCE WITH STRAW WATTLE
NOT TO SCALE



- SHAPE BEDDING BY HAND TO FIT BOTTOM OF PIPE. INSTALL PIPE ON STABLE BEDDING WITH UNIFORM BEARING UNDER FULL LENGTH OF PIPE BARREL.
- FOUNDATION STABILIZATION WHEN REQUIRED BY ENGINEER OTHERWISE PLACE BEDDING ON UNDISTURBED NATURAL SOIL.
- NOTES:
- [1] PLACE 3/4" MINUS GRADED GRANULAR BACKFILL AT OPTIMUM MOISTURE IN HORIZONTAL 8" DEEP LOOSE LAYERS, COMPACT TO 95% PER ASTM D-1557.
 - [2] MINIMUM WIDTH OF TRENCH MEASURED AT SPRINGLINE OF PIPE, INCLUDING ANY NECESSARY SHEATHING
 - [3] INSTALL PIPE IN CENTER OF TRENCH.
 - [4] IN PLANTED OR UNPAVED AREAS, USE ON-SITE EXCAVATED MATERIAL FOR FINAL BACKFILL. COMPACT TO 95% PER ASTM D-1557. IN PAVED AREAS, OBTAIN ENGINEER APPROVAL OF ON-SITE EXCAVATED MATERIALS FOR USE AS FINAL BACKFILL.
 - [5] MINIMUM COVER OVER TOP OF PIPE

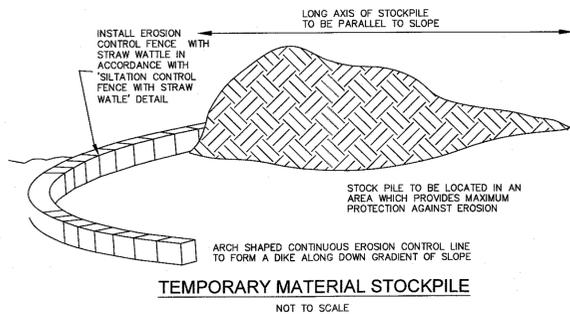
FOUNDATION, BEDDING AND BACKFILL MATERIALS	HDR, PVC	RC, DI
PIPE MATERIAL	[1]	[1]
FOUNDATION STABILIZATION	[6]	[6]
BEDDING	[1]	[1]
HAUNCHING	[1]	[1]
INITIAL BACKFILL	[4]	[4]
FINAL BACKFILL	[4]	[4]
PIPE COVER	[5]	[5]

PIPE ID	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

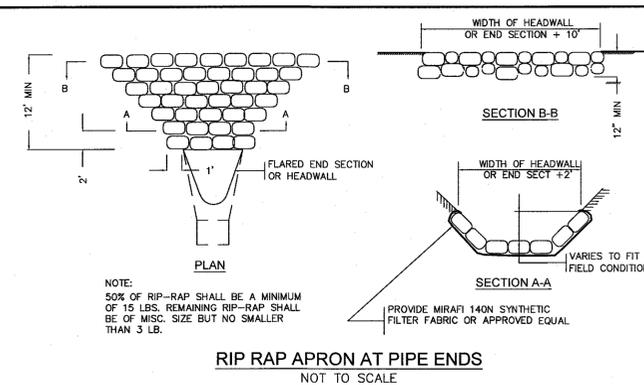
PIPE MATERIAL	HDR, PVC	RC, DI
WATER	5'-0"	5'-0"
SEWER	4'-0"	4'-0"
DRAIN	2'-0"	1'-6"

[6] FOR FOUNDATION STABILIZATION, USE 2" MINUS CRUSHED STONE

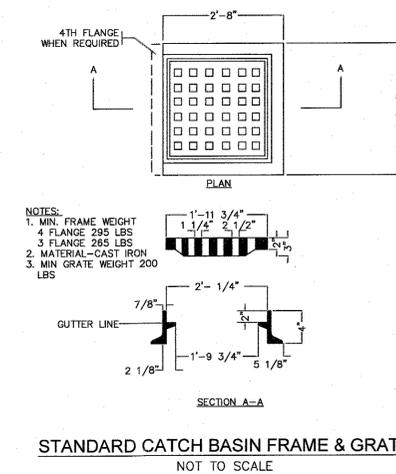
UTILITY TRENCH
NOT TO SCALE



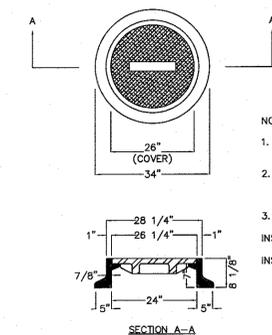
TEMPORARY MATERIAL STOCKPILE
NOT TO SCALE



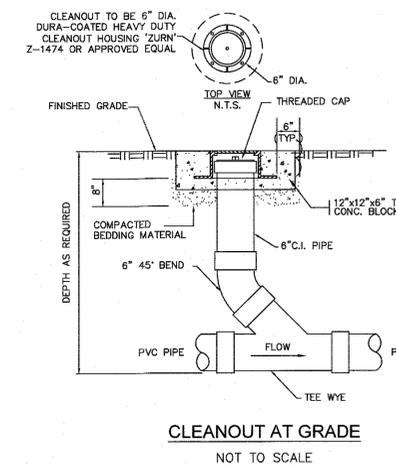
RIP RAP APRON AT PIPE ENDS
NOT TO SCALE



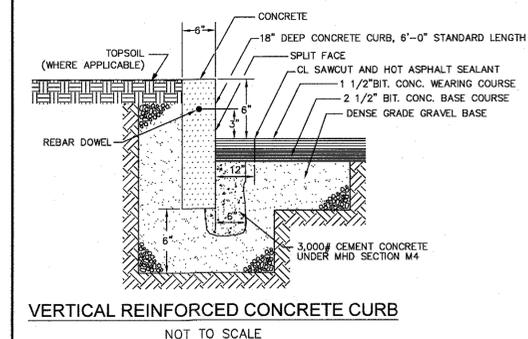
STANDARD CATCH BASIN FRAME & GRATE
NOT TO SCALE



STANDARD MANHOLE FRAME & COVER
NOT TO SCALE

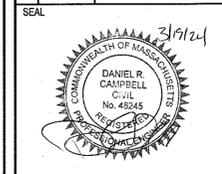


CLEANOUT AT GRADE
NOT TO SCALE



VERTICAL REINFORCED CONCRETE CURB
NOT TO SCALE

NO	DATE	REVISIONS
1	10/17/2023	RESOURCE AREA FLAGS
2	11/22/2023	REVIEW COMMENTS
3	02/01/2024	REVIEW COMMENTS
4	03/19/2024	REVISE LAYOUT



DATE: JANUARY 13, 2023
DRAWN: AH / DRC
SCALE: AS NOTED

LIBERTY PARKING EXPANSION

MAP SHEET 320, PARCEL 004
15 LIBERTY WAY
FRANKLIN, MASSACHUSETTS

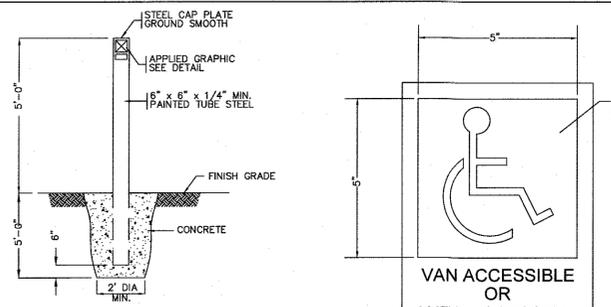
LEVEL DESIGN GROUP
Civil Engineers & Land Surveyors
249 SOUTH STREET, UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 895-2221 FAX. (508) 895-2219

TYPICAL DETAILS

C-6.0

SHEET 7 OF 9

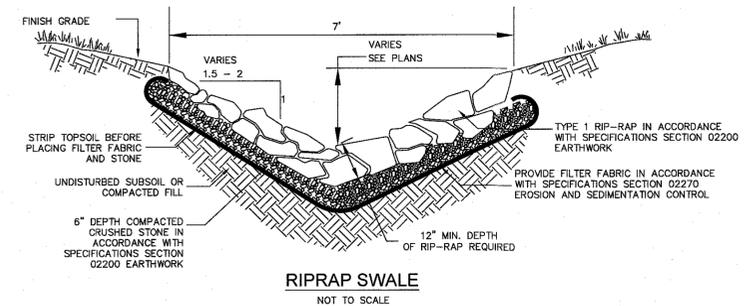
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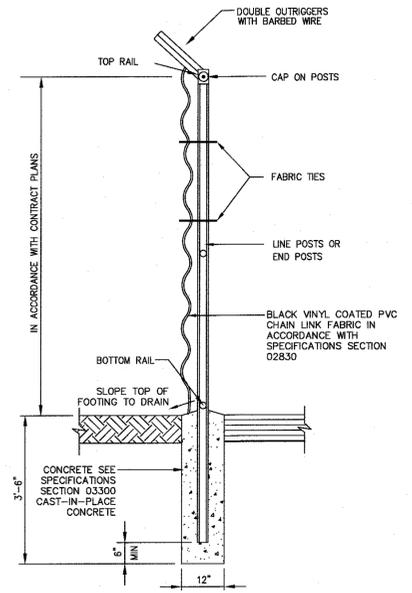
SIGNAGE BOLLARD
NOT TO SCALE

SIGNAGE GRAPHIC
NOT TO SCALE

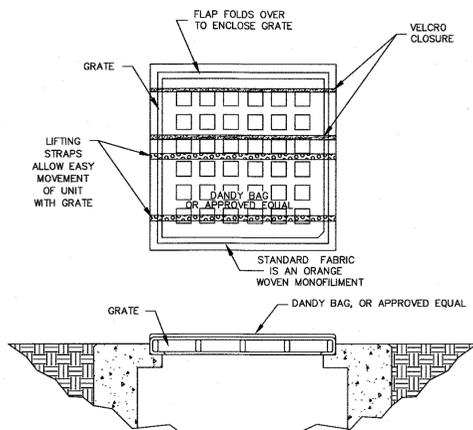
NOTES:
1. ALL CONCRETE TO BE 2500 PSI MIN.
2. SEE PLANS FOR LOCATIONS.
3. WHEN PLACED IN SERIES SIGNS SHALL BE SET AT SAME ELEVATION.



RIPRAP SWALE
NOT TO SCALE

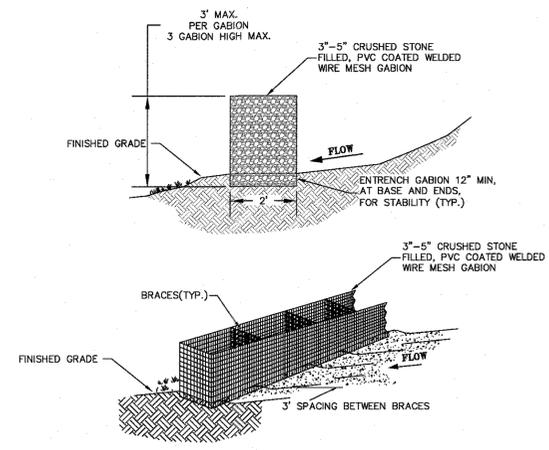


CHAIN LINK FENCE SECTION (TYPICAL)
NOT TO SCALE

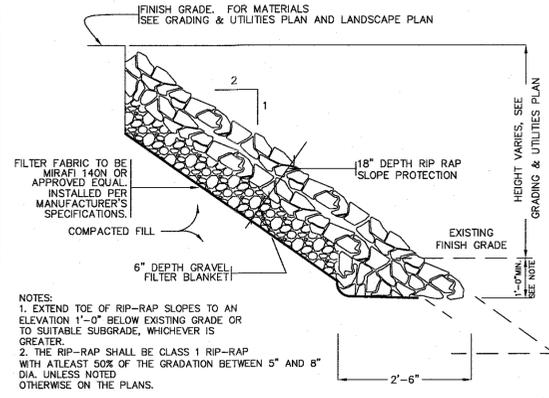


CATCH BASIN INLET PROTECTION
NOT TO SCALE

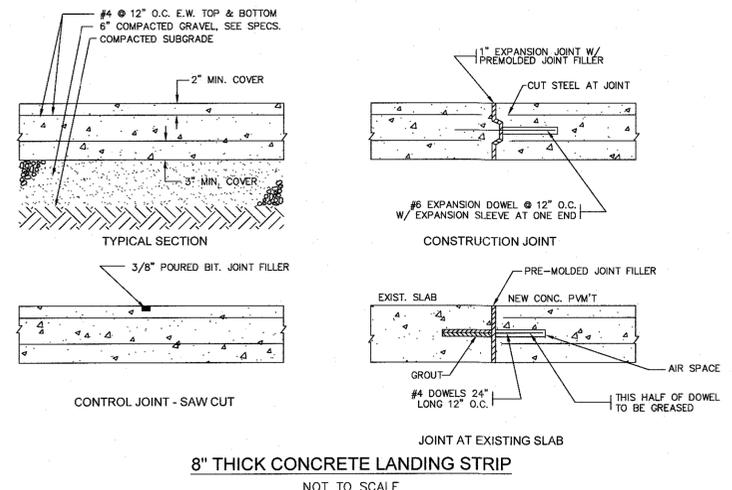
NOTES:
INSTALLATION: THE EMPTY DANDY BAG, OR APPROVED EQUAL, SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN POUCH, ON THE BOTTOM (BELOW-GRADE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE HEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME.
MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS, REMOVE AND REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.



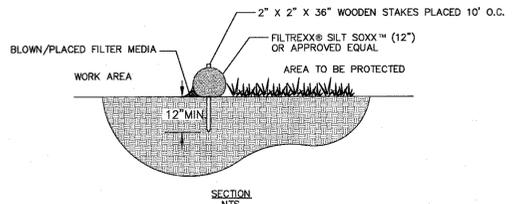
GABION SEDIMENT BAFFLE
NOT TO SCALE



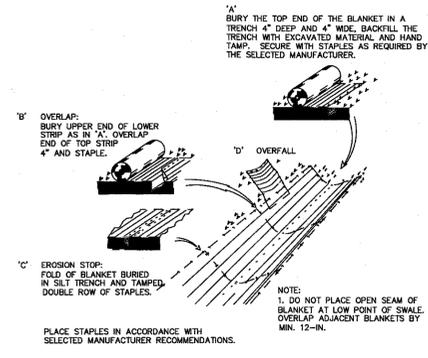
TYPICAL SECTION FOR RIP RAP SLOPE PROTECTION
NOT TO SCALE



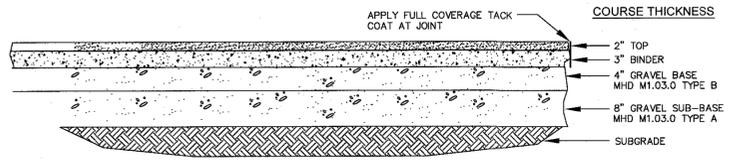
8" THICK CONCRETE LANDING STRIP
NOT TO SCALE



FILTREXX SILT SOXX
NOT TO SCALE



EROSION CONTROL BLANKET
NOT TO SCALE



TRUCK AREAS - BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

NO	DATE	REVISIONS
1	10/17/2023	RESOURCE AREA FLAGS
2	11/22/2023	REVIEW COMMENTS
3	02/01/2024	REVIEW COMMENTS
4	03/19/2024	REVISE LAYOUT



DATE: JANUARY 13, 2023
DRAWN: AH / DRC
SCALE: AS NOTED

LIBERTY PARKING EXPANSION
MAP SHEET 320, PARCEL 004
15 LIBERTY WAY
FRANKLIN, MASSACHUSETTS

LEVEL
DESIGN GROUP
249 SOUTH STREET, UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 695-2221 FAX. (508) 695-2219

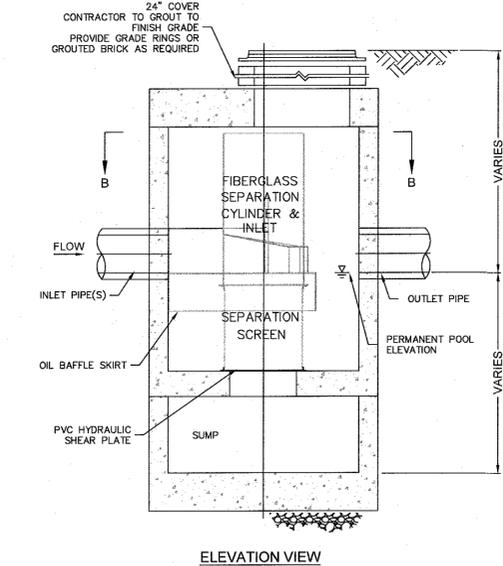
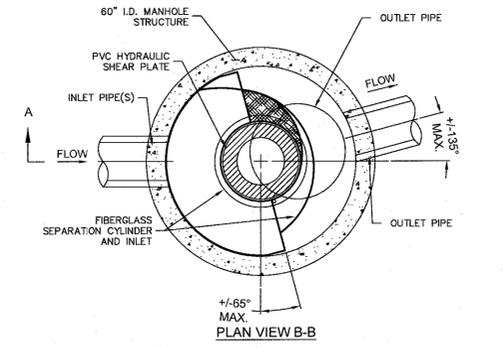
TYPICAL DETAILS
C-6.1
SHEET 8 OF 9
2081.00

GENERAL NOTES

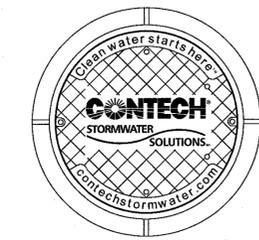
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REQUEST SHOP DRAWINGS OF EACH INDIVIDUAL CDS STORMWATER TREATMENT UNIT AND SHALL SUBMIT THEM FOR REVIEW AND APPROVAL TO THE DESIGN ENGINEER PRIOR TO UNITS BEING ORDERED OR ENTERING PRODUCTION.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cpi.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET AASHTO M300 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

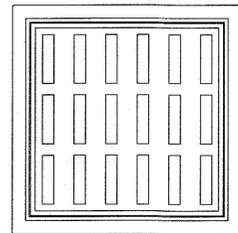
- ANY SUBBASE BACKFILL DEPTH AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



STORM WATER TREATMENT UNIT



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



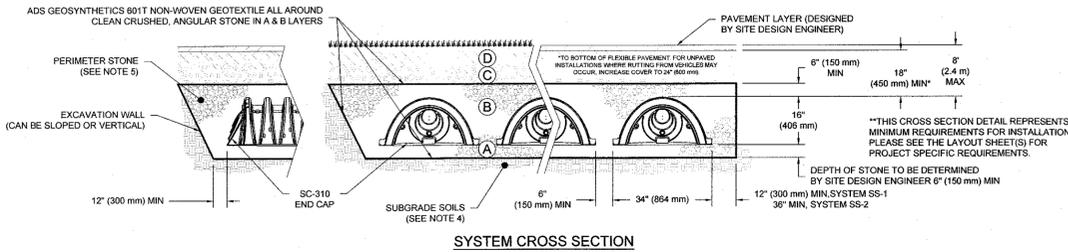
CDS STORMWATER TREATMENT UNITS
NOT TO SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

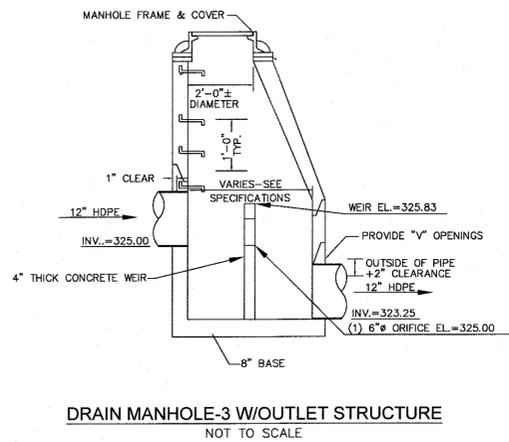
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, 35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 5, 57, 68, 7, 78, 8, 80, 9, 10
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57

PLEASE NOTE:

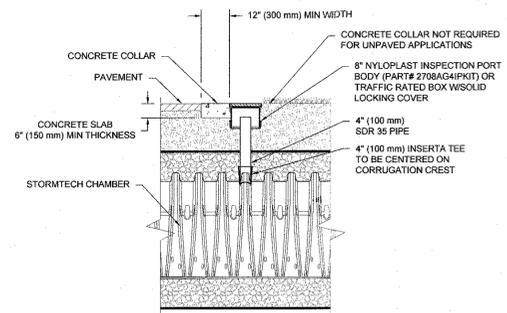
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



STORMTECH SC-310 DETAILS
NOT TO SCALE



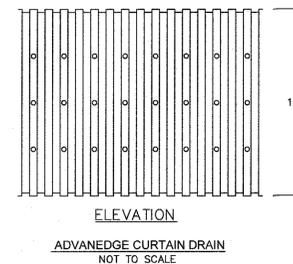
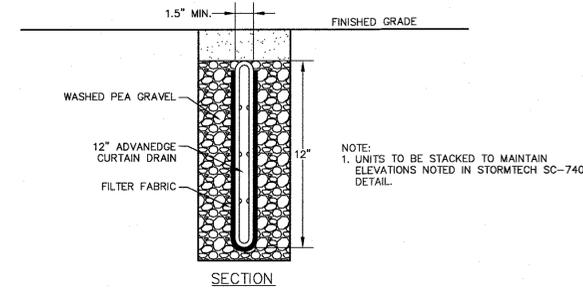
DRAIN MANHOLE-3 W/OUTLET STRUCTURE
NOT TO SCALE



INSPECTION PORT

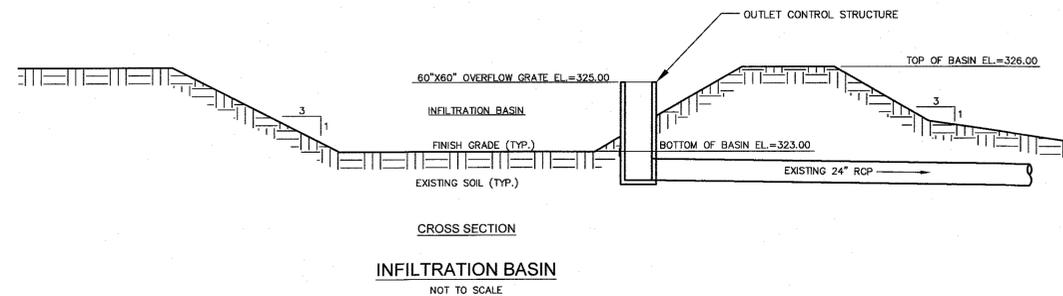
NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2416 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT², AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



NOTES:

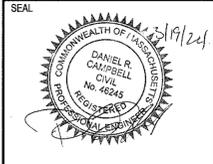
- TRENCH MUST BE NO LESS THAN 4" WIDE
- MINIMUM COVER SHALL BE NO LESS THAN 4"
- ALL PIPE FITTINGS SHALL BE MADE OF POLYETHYLENE WITH A MINIMUM CELL CLASSIFICATION OF 424420C AS DEFINED AND DESCRIBED IN ASTM D3350.
- GEOTEXTILE SHALL MEET THE REQUIREMENTS OF CLASS B GEOCOMPOSITE AS DEFINED IN ASTM D7001.



CROSS SECTION

INFILTRATION BASIN
NOT TO SCALE

NO	DATE	REVISIONS
1	10/17/2023	RESOURCE AREA FLAGS
2	11/22/2023	REVIEW COMMENTS
3	10/21/2024	REVIEW COMMENTS
4	03/19/2024	REVISE LAYOUT



DATE: JANUARY 13, 2023
DRAWN: AH/DRG
SCALE: AS NOTED

LIBERTY PARKING EXPANSION
MAP SHEET 320, PARCEL 004
15 LIBERTY WAY
FRANKLIN, MASSACHUSETTS

LEVEL
DESIGN GROUP
Civil Engineers & Land Surveyors
249 SOUTH STREET, UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 695-2221 FAX. (508) 695-2219

TYPICAL
DETAILS

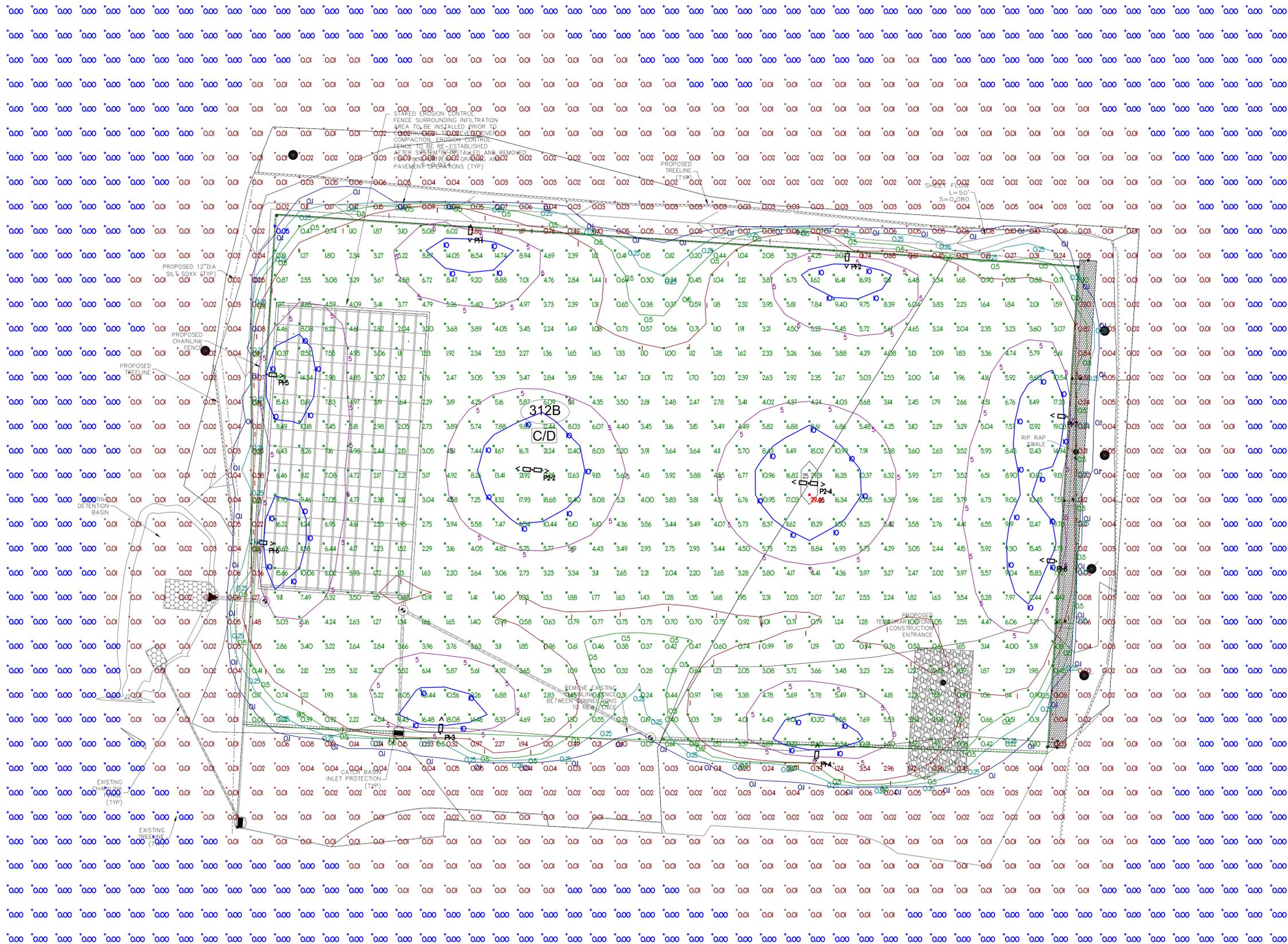
C-6.2
SHEET 9 OF 9

2081.00

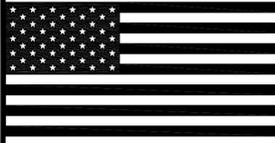
Statistics						
Description	Symbol	Avg	Max	Mn	Max/Min	Avg/Min
TRAILER PARKING	X	4.69	16.29	0.05	11.58	93.61

Schedule						
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number
⬆	F1	8	PHILIPS GARDCO	ECF-L-80L-1A-NW-G2-BLC	EcoForm Area LED ECF - Large, 80 4000K CCT, TYPE BLC OPTIC.	24081
⬆	F2	2	SIGNIFY GARDCO	ECF-L-80L-1A-NW-G2-4	EcoForm Area LED ECF - Large, 80 4000K CCT, TYPE 4 OPTIC, No Shield	33656

ALL FIXTURES ARE SHOWN AT 18'-0" ABOVE FINISHED GRADE



est. 1972
VINCENT A. D'ORIO, INC.
CONSULTING ENGINEERS
89 Access Rd. Suite 18
Norwood, MA 02062
(781)255-9754 | vadjr@vadeng.com
www.vadeng.com



REVISIONS:	
REV.	DATE: DESCRIPTION:

CLIENT:
LEVEL DESIGN GROUP
249 SOUTH ST., UNIT 1
PLAINVILLE, MA 02762

PROJECT:
LIBERTY PARKING EXPANSION
15 LIBERTY WAY
FRANKLIN, MA

DRAWING TITLE:
PHOTOMETRIC SITE LIGHTING

DRAWN: CDO
CHECKED: VAD Jr
SCALE: 1" = 20'-0"
DATE: 3/13/23

PH1.1

