

SITE PLAN
100 AND 110 EAST CENTRAL STREET



LOCUS MAP
SCALE: 1" = 100'

WAIVER REQUESTS:
1. TO ALLOW THE USE OF PVC AND HPDE PIPE FOR THE ROOF DRAINS AND UNDERGROUND STORMWATER STORAGE AREA.
2. TO ALLOW SITE LIGHTING TO EXTEND PAST THE PROPERTY LINE.

- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

THE 100 AND 110 EAST CENTRAL STREET PROPERTIES ARE LOCATED WITHIN A COMMERCIAL 1 ZONE.

	REQUIREMENTS: 5,000 S.F.	EXISTING 56,329± S.F.	PROPOSED 56,329± S.F.
AREA:			
FRONTAGE:	50'	245.1'	245.1'
DEPTH:	50'	293.7'	293.7'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	3 STORIES < 40' **
WIDTH:	45'	> 45'	> 45'
SETBACKS			
FRONT:	20' *1	31.3'	20.5'
SIDE WEST:	10' *14	15.0'	15.0'
SIDE EAST:	10' *14	14.7'	10.4'
REAR:	15'	114.5'	120.4'
COVERAGE			
STRUCTURES:	80%	11.7%	18.2%
STRUC. & PAVING:	90%	34.1%	64.9%

LOT COVERAGE BASED ON UPLAND AREA.
**REFER TO ARCHITECTURAL PLANS FOR BUILDING HEIGHT.
*1 - BUT NO NEW STRUCTURE SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN EXISTED ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.
*14 - THE 10-FOOT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF THE LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT, A 20-FOOT SETBACK IS REQUIRED ON THE ABUTTING SIDE.
*15 - BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

REQUIREMENTS FOR 100 AND 110 EAST CENTRAL STREET ZONE COMMERCIAL 1 EXISTING AND PROPOSED LOT AREA, FRONTAGE, DEPTH, WIDTH AND COVERAGE BASED ON THE LOTS BEING COMBINED.
BUILDING HEIGHT, AND SETBACKS BASED ON EXISTING AND PROPOSED BUILDINGS LOCATED ON 100 AND 110 EAST CENTRAL STREET.
PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT.
THE PROPERTY IS LOCATED IN A ZONE C BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

DRAWING INDEX:

1. COVER SHEET
 2. EXISTING CONDITIONS PLAN
 3. SITE LAYOUT PLAN
 4. SITE GRADING AND UTILITY PLAN
 5. PLANTING PLAN
 6. EROSION CONTROL PLAN
 7. CONSTRUCTION DETAILS - 1
 8. CONSTRUCTION DETAILS - 2
 9. CONSTRUCTION DETAILS - 3
 10. CONSTRUCTION DETAILS - 4
- SITE LIGHTING LIGHTING PLAN,
PHOTOMETRICS AND SCHEDULES
BY SK & ACCOCIATES

100 EAST CENTRAL STREET

	REQUIREMENTS: 5,000 S.F.	EXISTING 33,061± S.F.	PROPOSED 33,061± S.F.
AREA:			
FRONTAGE:	50'	109.78'	109.78'
DEPTH:	50'	278.1'	278.1'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	2 STORIES < 40' **
WIDTH:	45'	> 45'	> 45'
SETBACKS			
FRONT:	20' *1	70.6'	70.6'
SIDE WEST:	10' *14	15.0'	15.0'
SIDE EAST:	10' *14	15.2'	15.2'
REAR:	15'	127.8'	127.8'
COVERAGE			
STRUCTURES:	80%	13.3%	13.3%
STRUC. & PAVING:	90%	66.1%	71.8%

LOT COVERAGE BASED ON UPLAND AREA.

110 EAST CENTRAL STREET

	REQUIREMENTS: 5,000 S.F.	EXISTING 22,268± S.F.	PROPOSED 22,268± S.F.
AREA:			
FRONTAGE:	50'	135.32'	135.32'
DEPTH:	50'	220.9'	220.9'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	3 STORIES < 40' **
WIDTH:	45'	> 45'	> 45'
SETBACKS			
FRONT:	20' *1	29.4'	20.5'
SIDE WEST:	10' *14	62.0'	14.4'
SIDE EAST:	10' *14	14.7'	10.4'
REAR:	15'	85.1'	120.4'
COVERAGE			
STRUCTURES:	80%	9.1%	25.7%
STRUC. & PAVING:	90%	14.7%	56.0%

LOT COVERAGE BASED ON UPLAND AREA.

REFERENCES:
ASSESSORS MAP 286 PARCELS 30 AND 31
DEED BOOK 38897 PAGE 557
CERTIFICATE NUMBER 209218

PLAN 19290B
PLAN IN BOOK 1091 PAGE 108
PLAN 3334 OF 1913

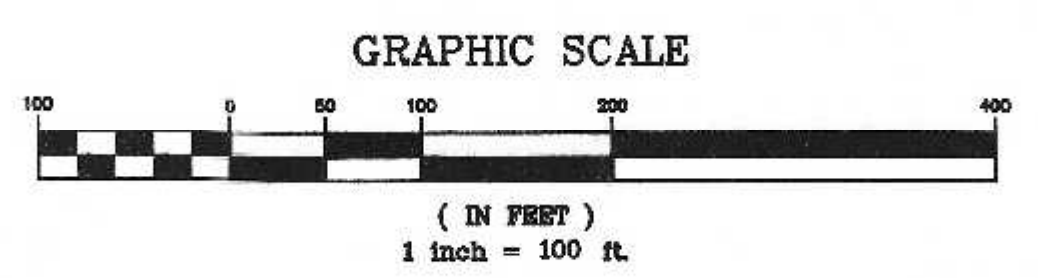
OWNERS:
100 EAST CENTRAL STREET RE, LLC
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

SITE PLAN
COVER SHEET
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



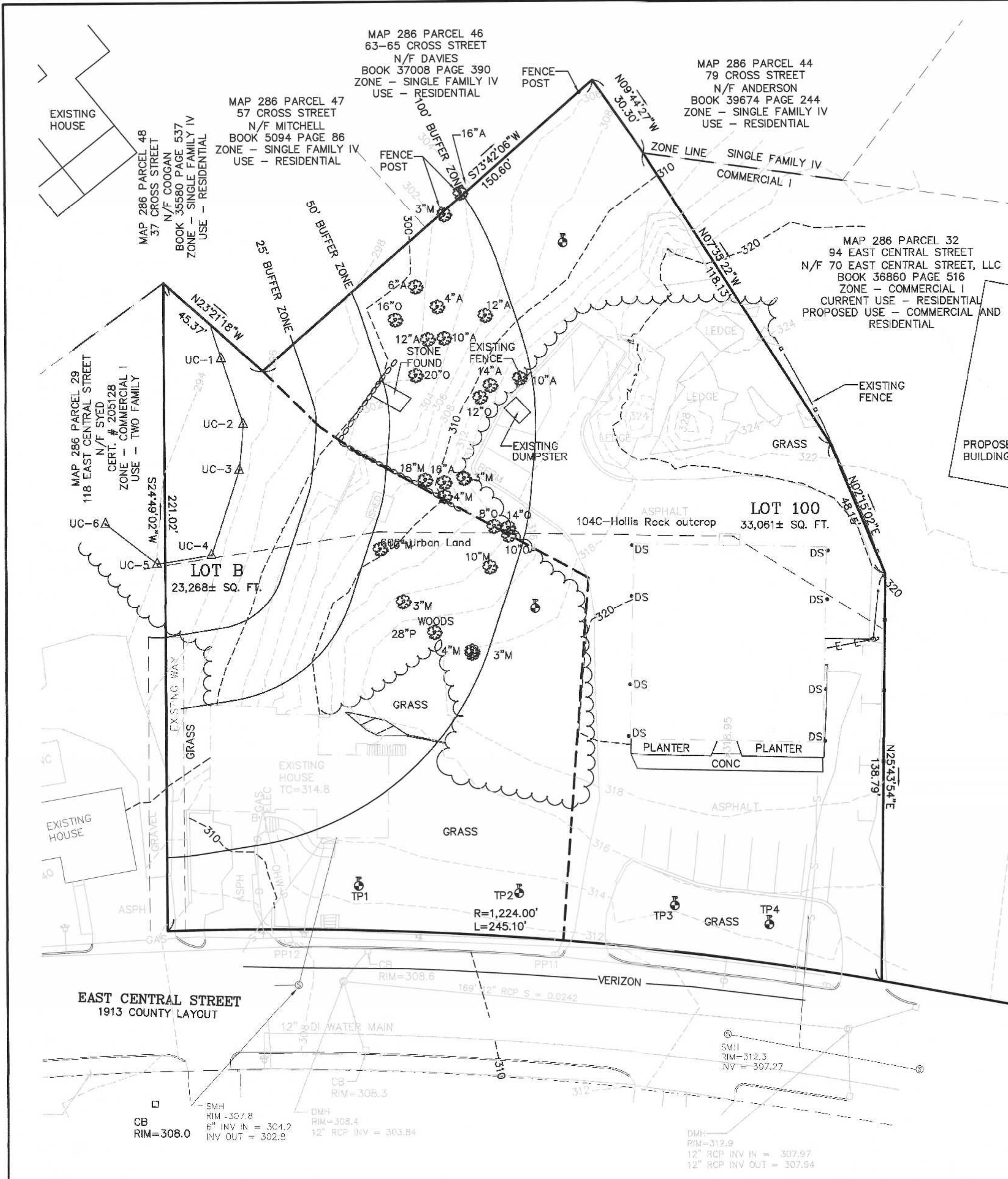
NO.	DATE	DESCRIPTION	BY
1	2/26/24	REVIEW COMMENTS	RRG



DATE	FIELD BY:	INT.
7/23	BL	
BK#	FIELD BOOK	PG#
1/24	RRG	
1/24	RRG	
1/24	COMP	
1/24	CAQ	

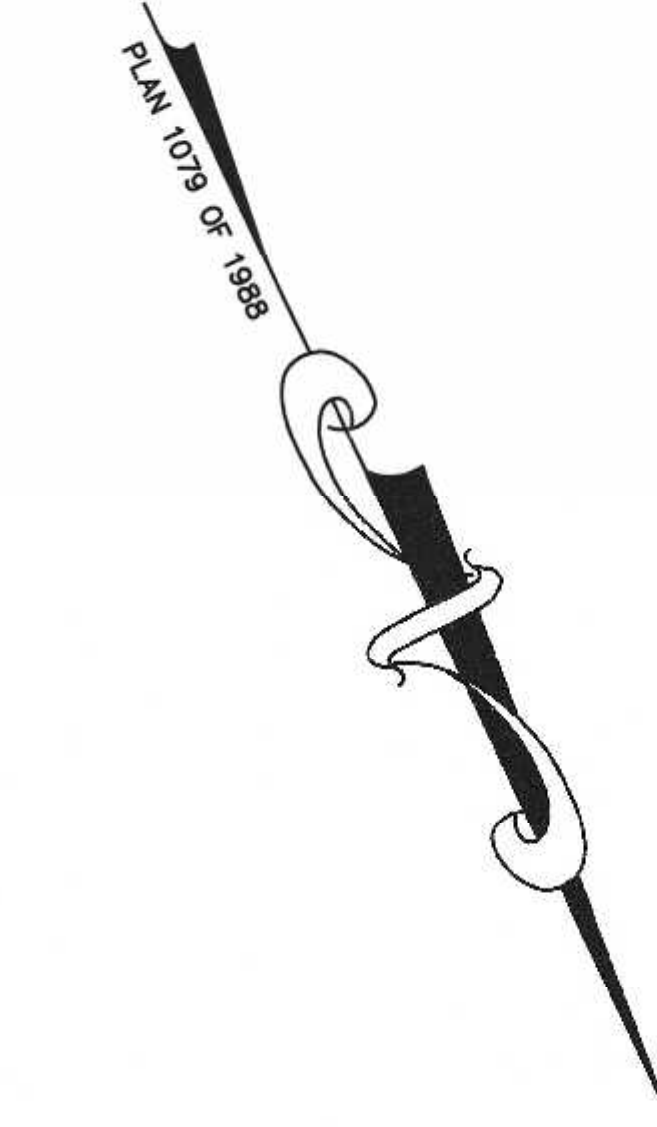
UNITED
CONSULTANTS
INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE	JAN. 5, 2024
SCALE	1" = 100'
PROJECT	UC1587
SHEET	1 of 10



NOTES:
1. ELEVATIONS DATUM NGVD 1929.
2. EXISTING CONDITIONS SURVEY WAS COMPLETED BETWEEN AUGUST 28, 2020 AND JULY 18, 2023.
3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

EXISTING UTILITY NOTE:
SEWER, DRAIN AND WATER LOCATIONS AND ELEVATIONS WERE TAKEN FROM PLANS OF RECORD AND ARE NOT THE RESULT OF A FIELD SURVEY.



EXISTING TREE NOTES:
1. 14" - TREE DIAMETER
2. A - ASH, O - OAK, M - MAPLE, P - PINE
3. 22 TREES PROPOSED FOR REMOVAL

- LEGEND:
- 297--- EXISTING CONTOUR
 - 297- PROPOSED CONTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - x274.3EX SPOT GRADE - EXISTING
 - 48M EXIST. TREE - DIAMETER - SPECIES
 - UTILITY POLE
 - OVERHEAD WIRES
 - GAS GATE
 - WATER CURB STOP
 - WATER GATE
 - FIRE HYDRANT
 - DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING (REINFORCED)
 - VGC VERTICAL GRANITE CURBING
 - Handicap Parking Space
 - BUILDING MOUNTED LIGHT
 - B BOLLARD
 - M MONITOR WELL

REFERENCES:
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PLAN 19290B
PLAN IN BOOK 1091 PAGE 108
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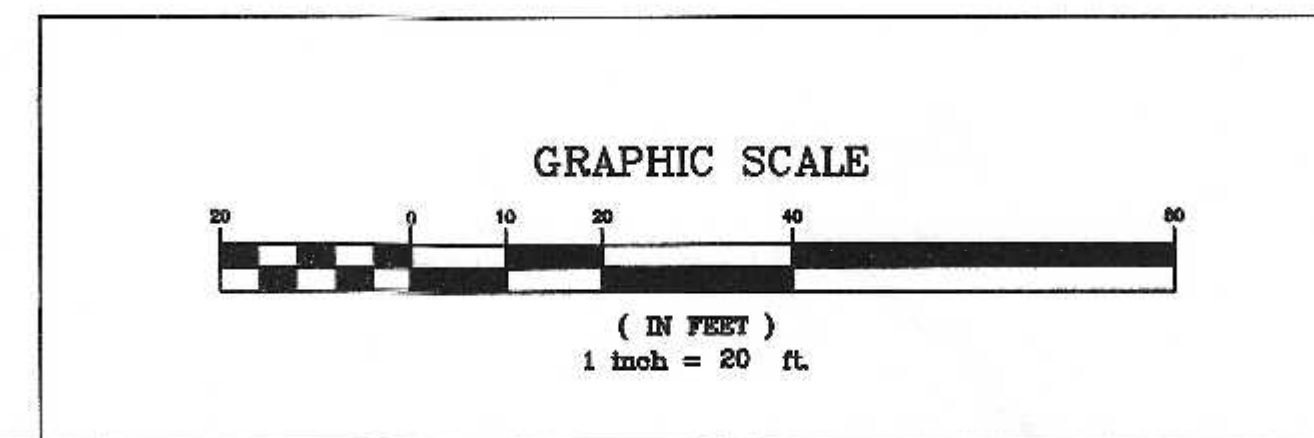
OWNERS:
100 EAST CENTRAL STREET RE, LLC
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
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37 EAST CENTRAL STREET
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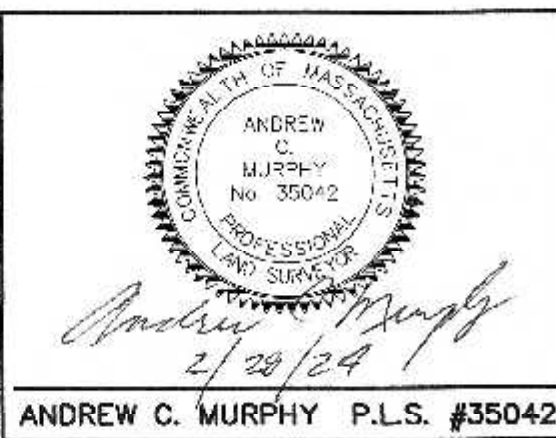
SITE PLAN
EXISTING CONDITIONS PLAN
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
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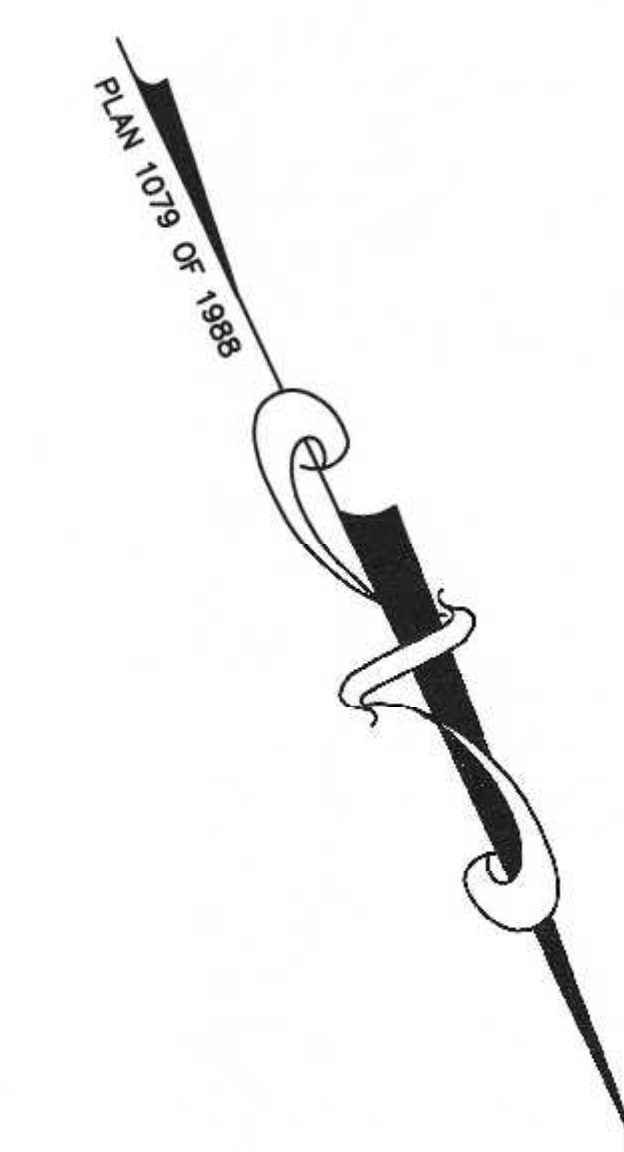
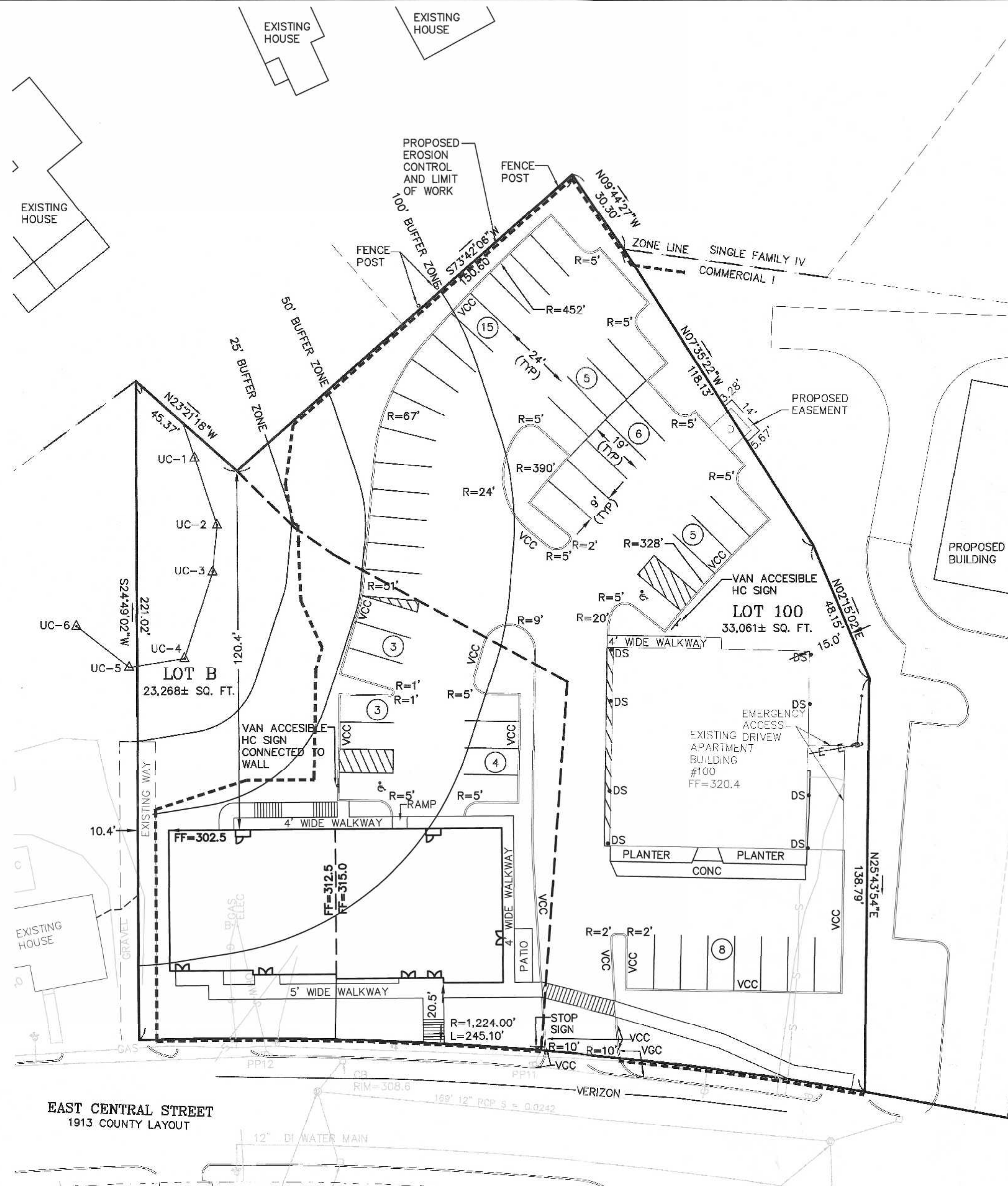
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1/24	DRAWN BY:	COMP
1/24	CHECKED BY:	ACM

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE	JAN. 5, 2024
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SHEET	2 of 10



PARKING CALCULATIONS:
#100 - #110 EAST CENTRAL STREET
COMMERCIAL I REQUIREMENTS (SECTIONS 185-21B.(2)(a))
1.5 SPACES PER DWELLING UNIT
RESIDENTIAL DWELLINGS - 30 x 1.5 = 45

COMMERCIAL I REQUIREMENTS (SECTIONS 185-21B.(2)(b))
COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500
SQ. FT. = 949 SQ. FT. / 500 = 2 SPACE REQUIRED

47 SPACES REQUIRED

49 TOTAL SPACES PROVIDED INCLUDING 2 HANDICAP SPACES.

RESIDENTIAL UNIT DENSITY:
1 UNIT PER 2,250 SQ. FT.
56,329 SQ. FT. / 2,250 = 25.03 UNITS
SEE 185 ATTACHMENT 7 NOTE 3.
30 DWELLING UNITS PROPOSED (INCLUDING 10 EXISTING UNITS)
SPECIAL PERMIT REQUIRED.

- LEGEND:**
- 297--- EXISTING CONTOUR
 - 297- PROPOSED CONTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - x274.3EX. SPOT GRADE - EXISTING
 - 4BM EXIST. TREE - DIAMETER - SPECIES
 - UTILITY POLE
 - OVERHEAD WIRES
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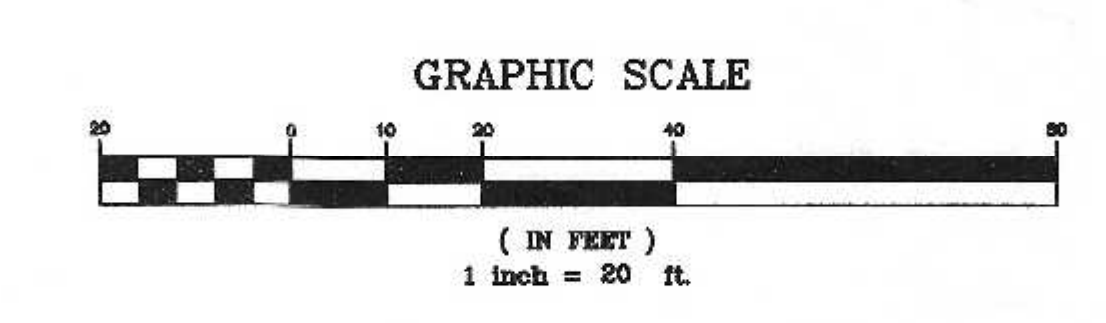
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37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

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37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

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SITE LAYOUT PLAN
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
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NO.	DATE	DESCRIPTION	BY
1	2/26/24	REVIEW COMMENTS	RRG

CARLOS A. QUINTAL P.E. #30812

DATE	FIELD BY:	INT.
7/23	FIELD BOOK	BL
1/24	CALCS BY:	RRG
1/24	DESIGNED BY:	RRG
1/24	DRAWN BY:	COMP
1/24	CHECKED BY:	CAQ

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1" = 20'
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UC1587
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3 of 10

PERFORMED BY CARLOS A. QUINTAL, P.E., SOIL EVALUATOR
RICHARD GOODREAU AND JARED LIBERTI

TP 1 ELEV. = 312.89
0" - 7.5" A 10YR 3/2 - ELEV. = 312.26
7.5" - 19" B 10YR 4/4 - ELEV. = 311.31
19" - 39" C SANDY 2.5Y 5/6 - ELEV. = 309.64
REFUSAL @ 39" - ELEV. = 309.64

TP 2 ELEV. = 313.96
0" - 6" A 10YR 3/2 - ELEV. = 313.46
6" - 18" B 10YR 4/4 - ELEV. = 312.46
18" - 45" C SANDY 2.5Y 5/6 - ELEV. = 310.21
REFUSAL @ 45" - ELEV. = 310.21

TP 3 ELEV. = 314.17
0 - 12" A 10YR 3/2 - ELEV. = 313.17
12" - 62" B 10YR 4/4 - ELEV. = 308.75
62" - 96" C SANDY LOAM 2.5Y 5/6 - ELEV. = 306.17
PERMEABILITY TEST @ 62" RATE = 1.506 IN / HR
MOTTLING @ 90" - ELEV. = 306.67

TP 4 ELEV. = 314.60
 0 - 50° FILL - ELEV. = 310.43
 50° - 73° B 10YR 4/4 - ELEV. = 308.22
 73° - 96° C1 10YR 4/4 - ELEV. = 306.6
 96° - 102° C2 ELEV. = 306.10
 REFUSAL @ 102° - ELEV. = 306.10

CB 1
RIM = 314.5
INV OUT = 311.39 - 12" RCP

CB 2
RIM = 316.7
INV OUT = 311.2 - 12" RCP

GI 3
GRATE RIM = 314.3
MH RIM = 314.8
INV OUT = 311.98 - 12" RCP

CB 4
RIM = 314.4
INV OUT = 305.70 - 12" RCP

CB 5
RIM = 315.0
INV OUT = 310.21 - 12" HDPE

DMH 1
RIM = 315.2
INV IN = 311.63 - 8" SDR 35 PVC
INV IN = 311.30 - 12" RCP
INV OUT = 311.20 - 12" HDPE

DMH 2
RIM = 318.5
INV IN = 312.1 - 8" PVC
INV IN = 311.70 - 12" RCP
INV OUT = 311.60 - 12" RCP

DMH 3
RIM = 318.5
INV IN = 312.31
INV IN = 311.91 - 12" RCP
INV OUT = 311.81 - 12" RCP

DMH 4
RIM = 316.2
INV IN = 309.88
INV OUT = 298.75

1. EXISTING 110 EAST CENTRAL STREET HOUSE TO BE REMOVED.
2. EXISTING FOUNDATION, STONE WALLS AND FENCES TO BE REMOVED.
3. EXISTING ASPHALT TO BE REMOVED.
4. EXISTING WATER SERVICES TO BE REMOVED.
5. EXISTING SEWER SERVICES TO BE REMOVED.
6. EXISTING UTILITY SERVICES TO REMAIN. (100 EAST CENTRAL STREET). EXISTING UTILITIES TO 110 EAST CENTRAL STREET TO BE REMOVED.
7. EXISTING WATER AND SEWER SERVICE TAKEN FROM TIES PROVIDED BY THE TOWN OF FRANKLIN AND SHOULD BE FIELD VERIFIED.
8. THE EXISTING EASTERLY AND WESTERLY CURB CUTS TO BE REMOVED. VERTICAL GRANITE CURBING SHALL BE INSTALLED AND THE SIDEWALK SHALL BE RECONSTRUCTED.

SMH 1
RIM = 311.0
INV IN = 304.78 - 8" SDR 35
INV OUT = 304.68 - 6" PVC (EXISTING)

SMH 2
RIM = 313.8
INV IN = 307.76 - 8" SDR 35
INV OUT = 307.66 - 8" SDR 35

SMH 3
RIM = 317.0
INV IN = 309.02 - 8" SDR 35
INV OUT = 308.92 - 8" SDR 35

SEWER NOTES:

1. CONTRACTOR TO CONFIRM ELEVATION OF THE EXISTING 6" PVC SEWER SERVICE AT THE RIGHT OF WAY LINE PRIOR TO INSTALLING AND SEWER LINES OR MANHOLES. CONTRACTOR TO COORDINATE WITH THE DESIGN ENGINEER AND PROVIDE 48 HOUR NOTICE (MINIMUM) PRIOR TO ANY SEWER WORK COMMENCING.
2. CONTRACTOR TO CONFIRM THE LOCATION OF THE DUCT BANK AND REPORT LOCATIONS TO THE DESIGN ENGINEER A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WITH ANY SEWER LINES OR MANHOLE INSTALLATION.
3. ALL NEW SEWER LINES TO BE 8" SDR 35 PVC SEWER.

PAVEMENT RESTORATION WITHIN THE 140
RIGHT OF WAY SHALL MATCH THE
EXISTING GRAVEL, DENSE GRADE, BINDER
COURSE AND FINISH COURSE DEPTHS OF
BITUMINOUS CONCRETE.
EXISTING CONCRETE SIDEWALK TO BE
REMOVED AND RECONSTRUCTED AS
NECESSARY AND SHALL MATCH EXISTING
CONCRETE SIDEWALK ALONG THE
FRONTAGE OF 100 AND 110 EAST
CENTRAL STREET.

297--
 -297-
 x274.3
 x274.3EX. SPOT GRADE - EXISTING
 48M
 EXIST. TREE - DIAMETER - SPECIES
 UTILITY POLE
 OVERHEAD WIRES
 GAS GATE
 WATER CURB STOP
 WATER GATE
 FIRE HYDRANT
 DRAIN MANHOLE
 CATCH BASIN
 SEWER MANHOLE
 DUMPSTER
 VCC VERTICAL CONCRETE CURBING (REINFORCED)
 VGC VERTICAL GRANITE CURBING
 HANDICAP PARKING SPACE
 BUILDING MOUNTED LIGHT
 BOLLARD
 MONITOR WELL

0 - 25' BUFFER ZONE
0 - SQ. FT.

25' - 50' BUFFER ZONE
1,852 SQ. FT.

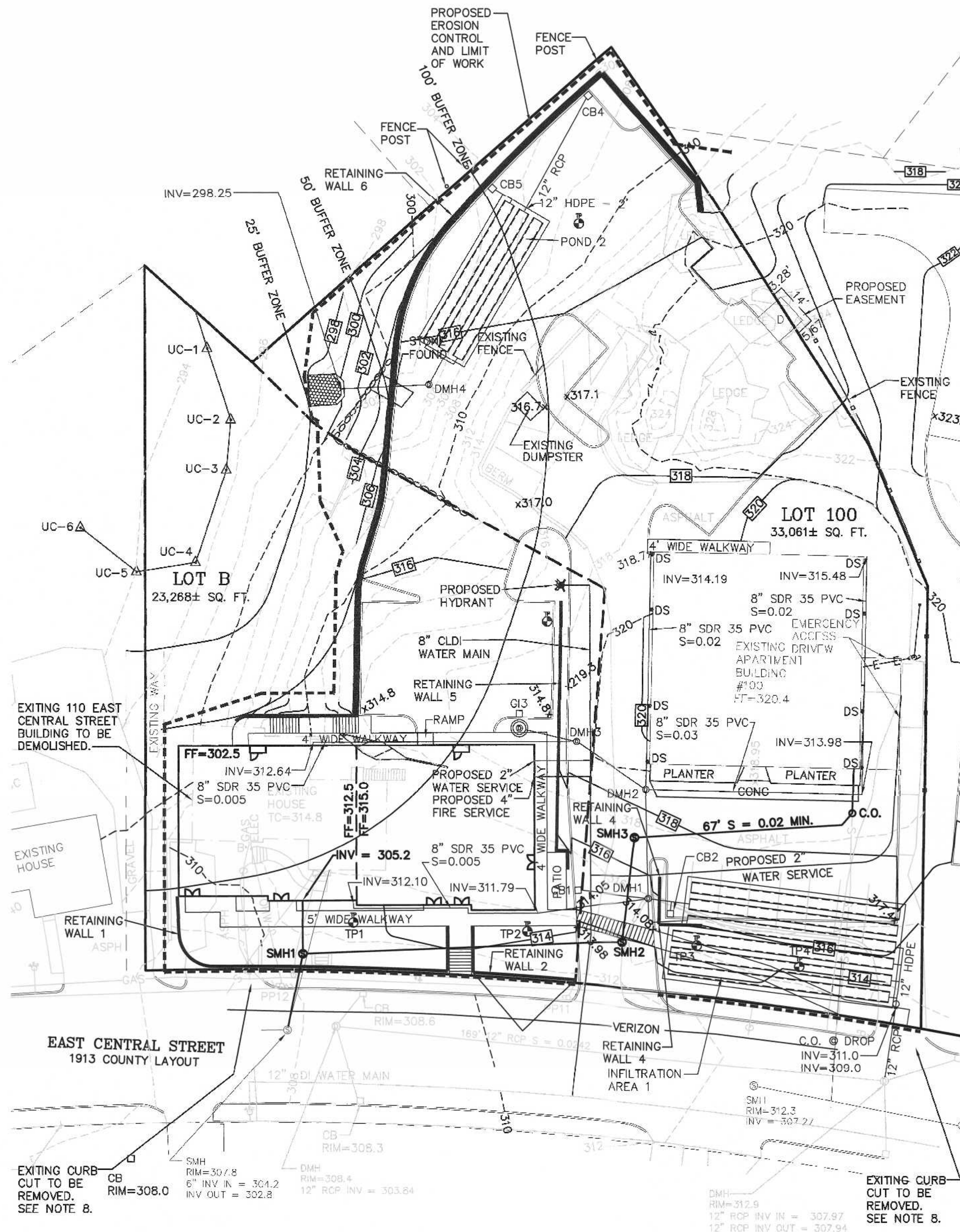
50' - 100' BUFFER ZONE
13,652, SQ. FT.

EXISTING WETLAND FLAGS WERE
CONFIRMED BY UNITED CONSULTANTS, INC.
AND WERE FIELD LOCATED ON JULY 17
AND 18 2023.

SITE PLAN
SITE GRADING AND UTILITY PLAN
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'

**UNITED
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508-384-6560 FAX 508-384-6566

DATE	JAN. 5, 2024
SCALE	1" = 20'
PROJECT	UC1587
SHEET	4 of 10



ACCESSIBLE ROUTE SHALL
NOT HAVE A CROSS
SLOPE GREATER THAN 2%
OR A RUNNING SLOPE
GREATER THAN 5%
SEE 521 CMR 20.9.

DATE _____

1	2/26/24	REVIEW COMMENTS		RRG	
NO.	DATE	DESCRIPTION		BY	CARLOS A. QUINTAL P.E. #3081



DATE		INT.
7/23	FIELD BY:	BL
BK#	FIELD BOOK	PG#
1/24	CALCS BY:	RRG
1/24	DESIGNED BY:	RRG
1/24	DRAWN BY:	COMP
1/24	CHECKED BY:	CAO

NOTE:
ALL DISTURBED AREAS
WITHIN THE BUFFER ZONE
AND DOWNGRADE OF
RETAINING WALL 6 SHALL
BE SEEDED WITH A NEW
CONSERVATION / WILDLIFE
SEED MIX.
OBTAIN FROM NEW
ENGLAND WETLAND
PLANTS, INC. AND APPLY
PER THEIR
RECOMMENDATIONS.

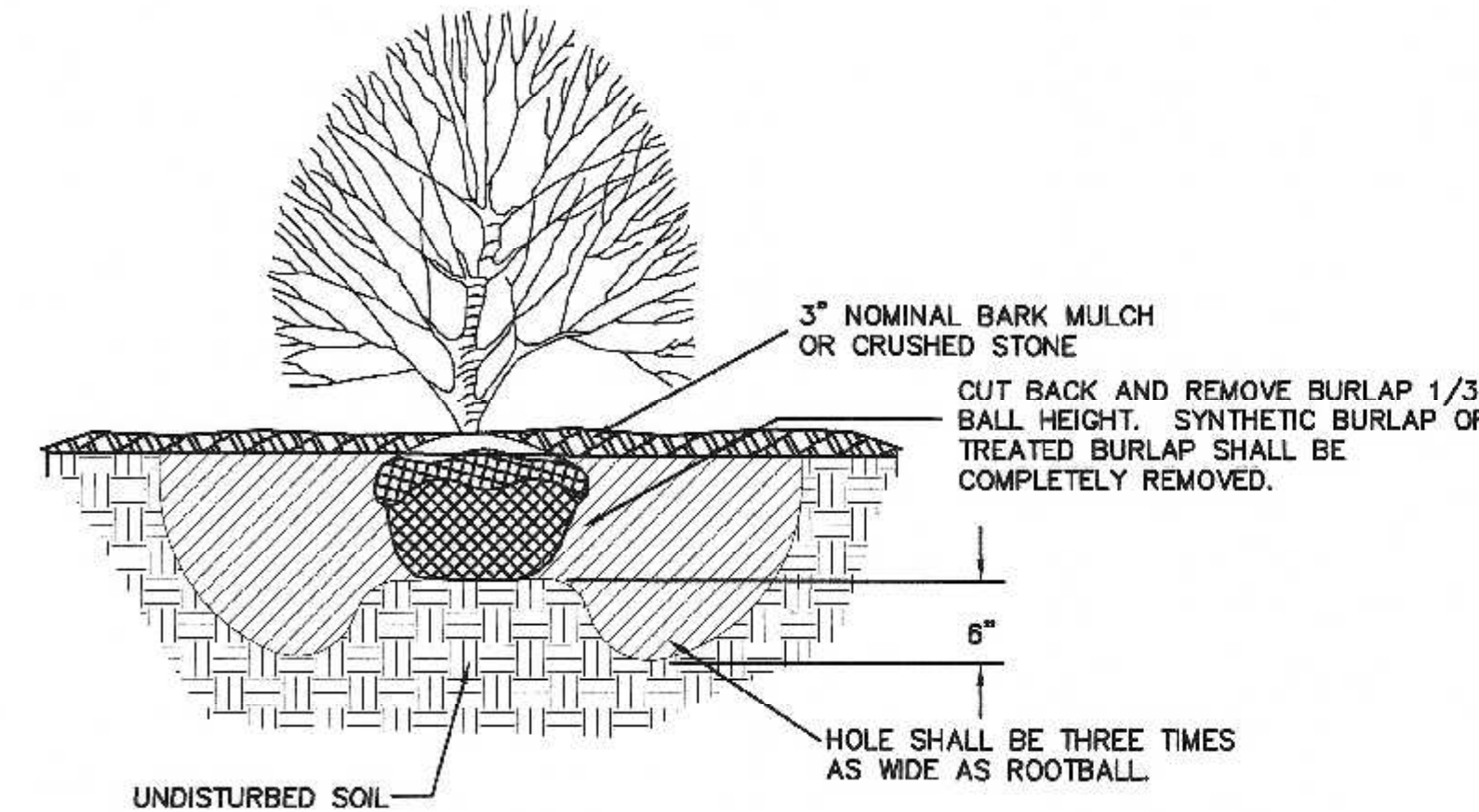
LANDSCAPE AND SNOW STORAGE / REMOVAL NOTES:
1. LANDSCAPE AREAS TO BE COVERED WITH MULCH
OR DECORATIVE STONE.
2. LANDSCAPE AREAS TO BE UTILIZED AS SNOW
STORAGE AREAS.
3. SNOW STORAGE TO BE IN EXTRA PARKING
SPACES.

PLANTING SCHEDULE

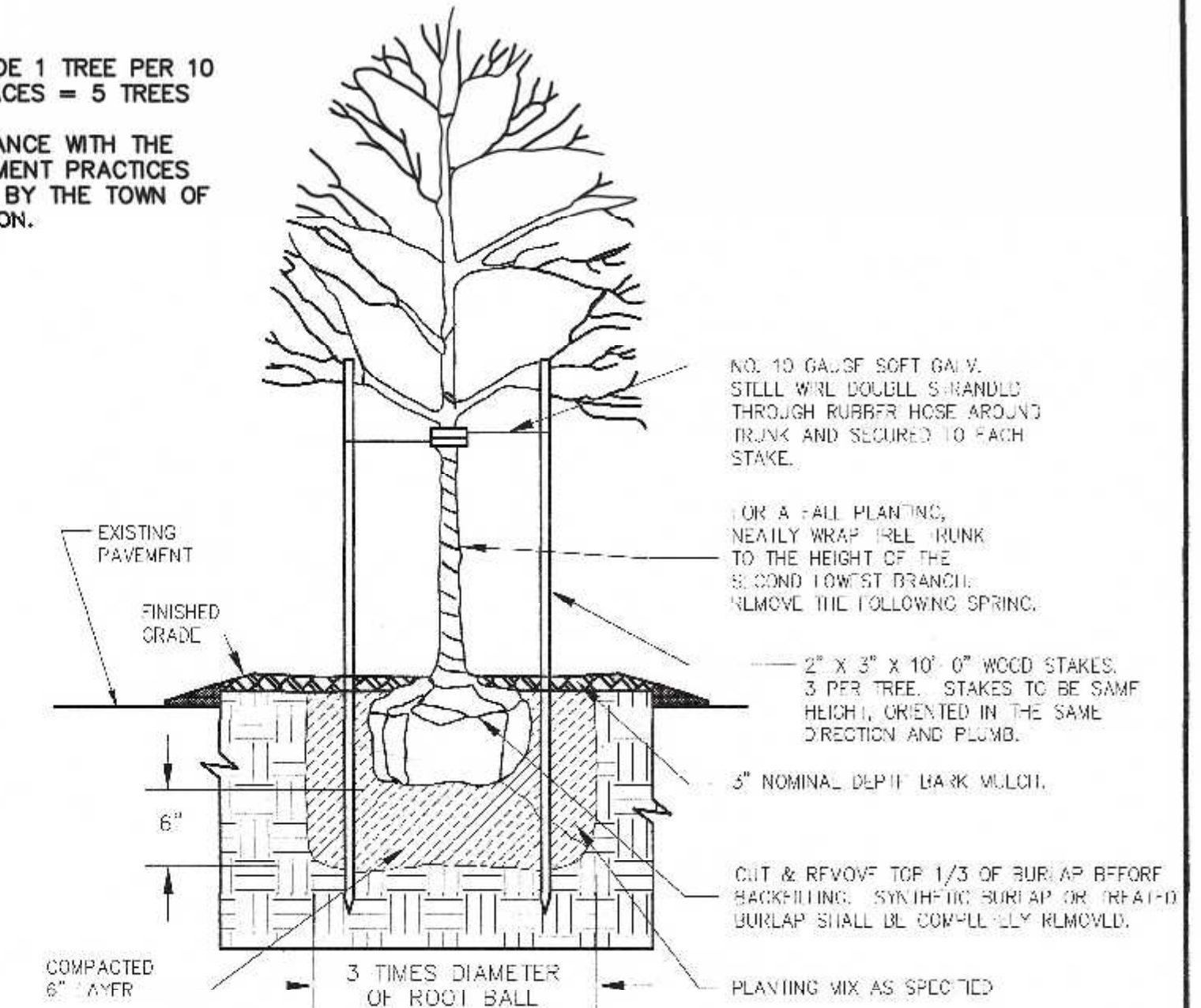
NUMBER		SCIENTIFIC NAME	SIZE	CONDITION
2	SUGAR MAPLE - SM	ACER SACCHARUM	2 - 2 1/2"	B&B
3	RED MAPLE - RM	ACER RUBRUM	2 - 2 1/2"	B&B
6	BAY BERRY - BB	MORELLA CAROLINIENSIS	1 GAL	CONTAINER
9	VIRGINIA ROSE - VR	ROSA VIRGINIANA	1 GAL	CONTAINER
7	HIGHBUSH BLUEBERRY - HB	VACCINIUM MACROCARPON	1 GAL	CONTAINER

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10
PARKING SPACES. 49 PARKING SPACES = 5 TREES
5 TREES PROVIDED.
- ALL PLANTINGS ARE IN ACCORDANCE WITH THE
TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES
GUIDEBOOK OR WILL BE APPROVED BY THE TOWN OF
FRANKLIN CONSERVATION COMMISSION.

INVASIVE SPECIES NOTE:
THE APPLICANT SHALL SCHEDULE A
PRE-CONSTRUCTION MEETING WITH THE
CONSERVATION AGENT TO DISCUSS THE INVASIVE
SPECIES REMOVAL.



SHRUB PLANTING



DECIDUOUS TREE PLANTING

NOTES:
1. CONTRACTOR TO CONTACT DIGSAFE PRIOR
TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATIONS OF
EXISTING UTILITIES ANY REPORT ANY
DISCREPANCIES TO UNITED CONSULTANTS,
INC.
3. ALL WORK SHALL CONFORM TO THE TOWN
OF FRANKLIN DPW STANDARDS.
4. MAINTAIN A MINIMUM OF 10' SEPARATION
FROM THE WATER SERVICE TO THE SEWER
SERVICE.

LEGEND:

- 297- EXISTING CONTOUR
- 297- PROPOSED CONTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX. SPOT GRADE - EXISTING
- 48M EXIST. TREE - DIAMETER - SPECIES
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- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- B BOLLARD
- M MONITOR WELL

SITE PLAN
PLANTING PLAN
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'

EAST CENTRAL STREET
1913 COUNTY LAYOUT

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.



DATE	FIELD BY:	INT.
7/23	FIELD BOOK	BL
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1/24	DESIGNED BY:	RRG
1/24	DRAWN BY:	COMP
1/24	CHECKED BY:	CAQ

UNITED
CONSULTANTS
INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6580 FAX 508-384-6566

DATE	JAN. 5, 2024
SCALE	1" = 20'
PROJECT	UC1587
SHEET	5 of 10

OPERATION AND MAINTENANCE PLAN

CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, 110 EAST CENTRAL STREET RE, LLC 1-508-507-9020 SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AND/OR SILT FENCE AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS EXISTING AND PROPOSED AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.

INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENTS ARE TO BE REMOVED.
3. INSPECTION OF THE PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF PONDS 1 AND 2 TO DETERMINE IF CLEANING IS NECESSARY.
5. THE HEADWALL OUTLET RIPRAP SHALL BE INSPECTED WEEKLY AND ANY SEDIMENT OBSERVED SHALL BE IMMEDIATELY REMOVED.

OPERATION AND MAINTENANCE SCHEDULE

CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. THE EXISTING PAVED PARKING AREAS AS WELL THE PROPOSED PARKING AREA ONCE PAVED WILL REQUIRE DAILY INSPECTIONS TO BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS. SILT SAKS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
4. THE WATER QUALITY UNIT SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
5. THE PONDS SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.
6. IMMEDIATELY UPON COMPLETION OF SITE GRADING ACTIVITIES OF PROPOSED LANDSCAPED AREA, THE AREAS SHALL HAVE LOAM APPLIED AND SHALL BE SEEDED.
7. ALL MATERIAL STOCKPILES THAT ARE NOT BEING ACTIVELY USED FOR A PERIOD OF 2 WEEKS SHALL BE COVERED WITH A TARP(S) OR VEGETATED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

LONG TERM:

1. THE PARKING LOT SHALL BE SWEEPED FOUR TIMES PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE CATCH SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 24 INCHES.
3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

EROSION CONTROL NOTES:

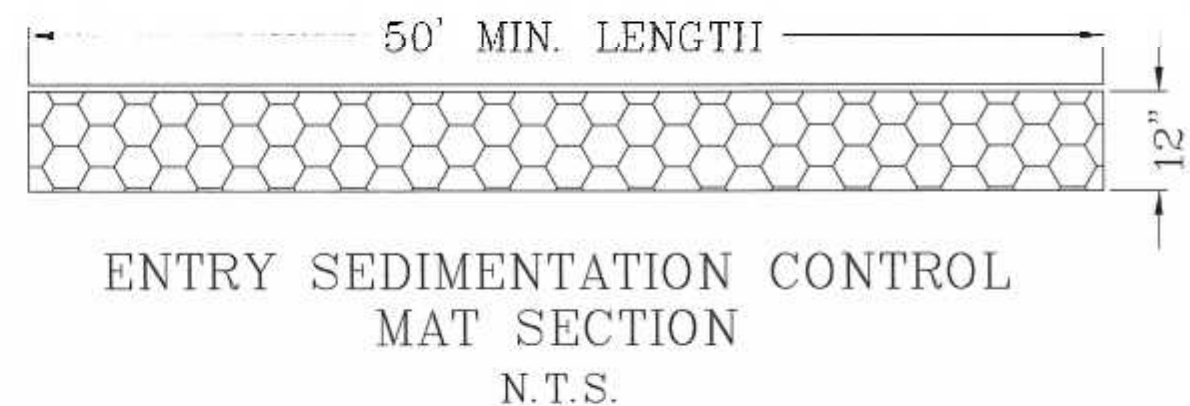
1. COMPOST SOCK AND SILT FENCE SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. COMPOST SOCK AND SILT FENCE TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
3. REFER TO CONSTRUCTION SEQUENCE FOR SLOPE GREATER THAN 3' HORIZONTAL TO 1' VERTICAL.
4. CATCH BASINS, UNDERGROUND POND AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
5. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
7. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
9. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.
10. SILT FENCE TO BE REMOVED AT THE APPROVAL OF THE CONSERVATION AGENT, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE.

LEGEND:

- 297- EXISTING CONTOUR
- 297- PROPOSED CONTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX. SPOT GRADE - EXISTING
- 48M EXIST. TREE - DIAMETER - SPECIES
- UTILITY POLE
- OVERHEAD WIRES
- GAS GATE
- WATER CURB STOP
- WATER GATE
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- BOLLARD
- MONITOR WELL

CONSTRUCTION SEQUENCE:

1. INSTALL EROSION CONTROL AND SIGN.
2. COMPLETE TREE CLEARING, STUMP REMOVAL AND REMOVE LOAM AND SUBSOIL.
3. REMOVE EXISTING UTILITIES AND RAZE EXISTING 110 EAST CENTRAL STREET BUILDING.
4. EXCAVATE THE FOUNDATION HOLE. FORM AND POUR THE FOUNDATION AND THEN BACKFILL FOUNDATION.
5. INSTALL SITE UTILITIES. THE STORMWATER SYSTEM SHALL BE INSTALLED WITH EXCESS MATERIAL BEING REMOVED FROM THE SITE AND NECESSARY CONSTRUCTION MATERIALS DELIVERED TO THE SITE. MINIMIZE THE USE OF THE MATERIAL STOCKPILE AREA.
6. CONSTRUCT RETAINING WALLS.
7. BRING THE SITE TO SUB GRADE.
8. INSTALL A BINDER COURSE OF PAVING. CONSTRUCT THE SITE WALKWAYS.
9. CURBING SHALL BE INSTALLED.
10. LANDSCAPING SHALL BE PLANTED AND ALL REMAINING DISTURBED AREAS SHALL BE LOAMED AND SEEDED.

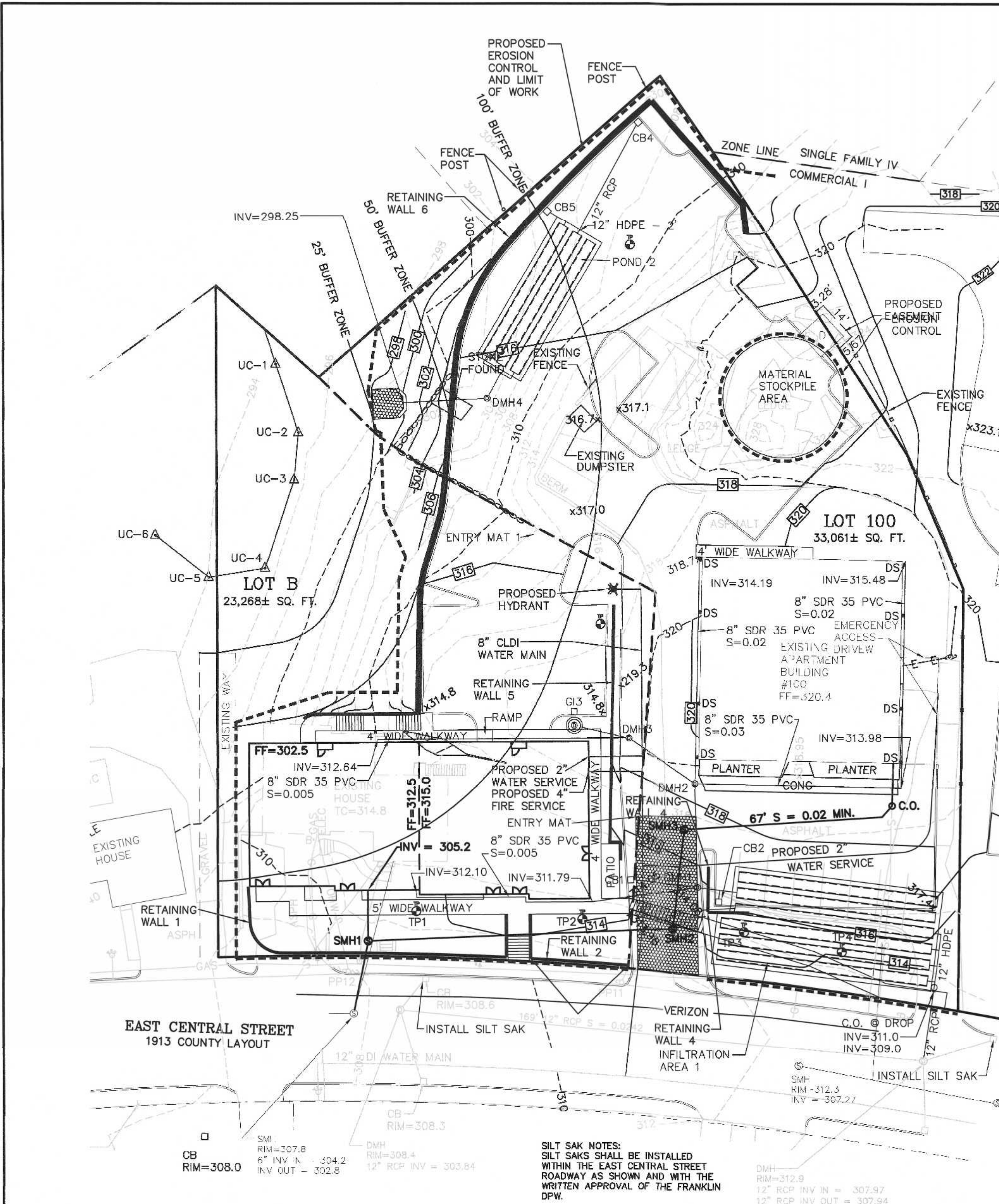


- NOTES:
1. PAD SHALL BE A MINIMUM OF 20 FEET IN WIDTH. EXISTING ASPHALT DRIVE TO REMAIN IN PLACE UNTIL FINAL PAVEMENT IS TO BE INSTALLED.
 2. PAD SHALL CONSIST OF 4" STONE 8" MIN. DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.

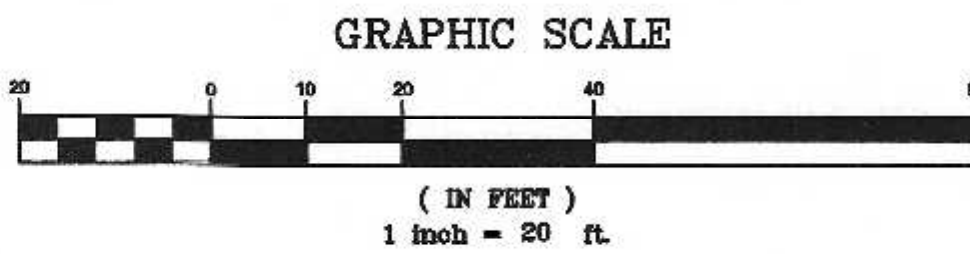
SITE PLAN
EROSION CONTROL PLAN
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
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508-384-6560 FAX 508-384-6566

DATE
JAN. 5, 2024
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1" = 20'
PROJECT
UC1587
SHEET
6 of 10



SILT SAK NOTES:
SILT SAKS SHALL BE INSTALLED WITHIN THE EAST CENTRAL STREET ROADWAY AS SHOWN AND WITH THE WRITTEN APPROVAL OF THE FRANKLIN DPW.

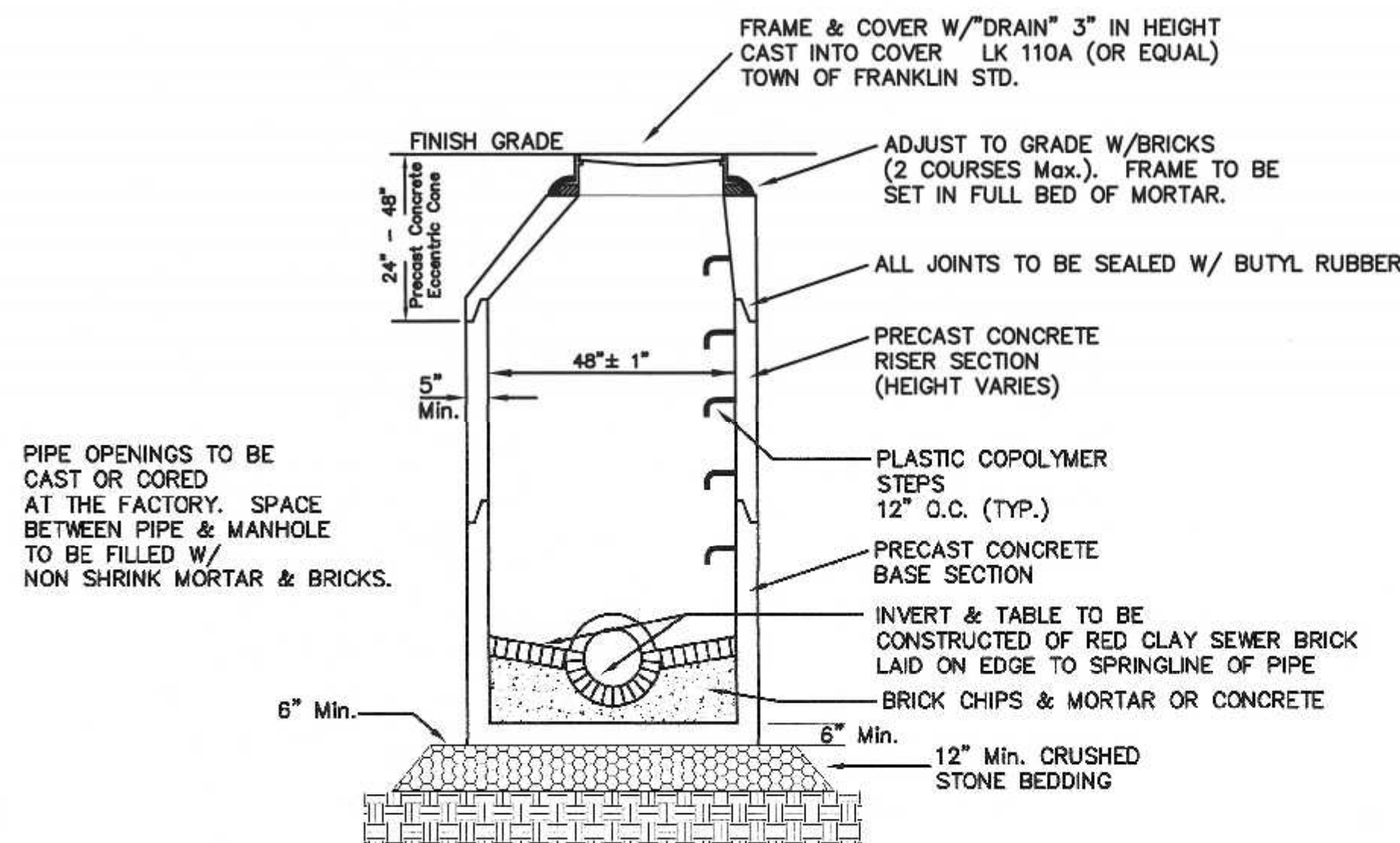


SITE PLAN APPROVAL
FRANKLIN PLANNING BOARD
DATE

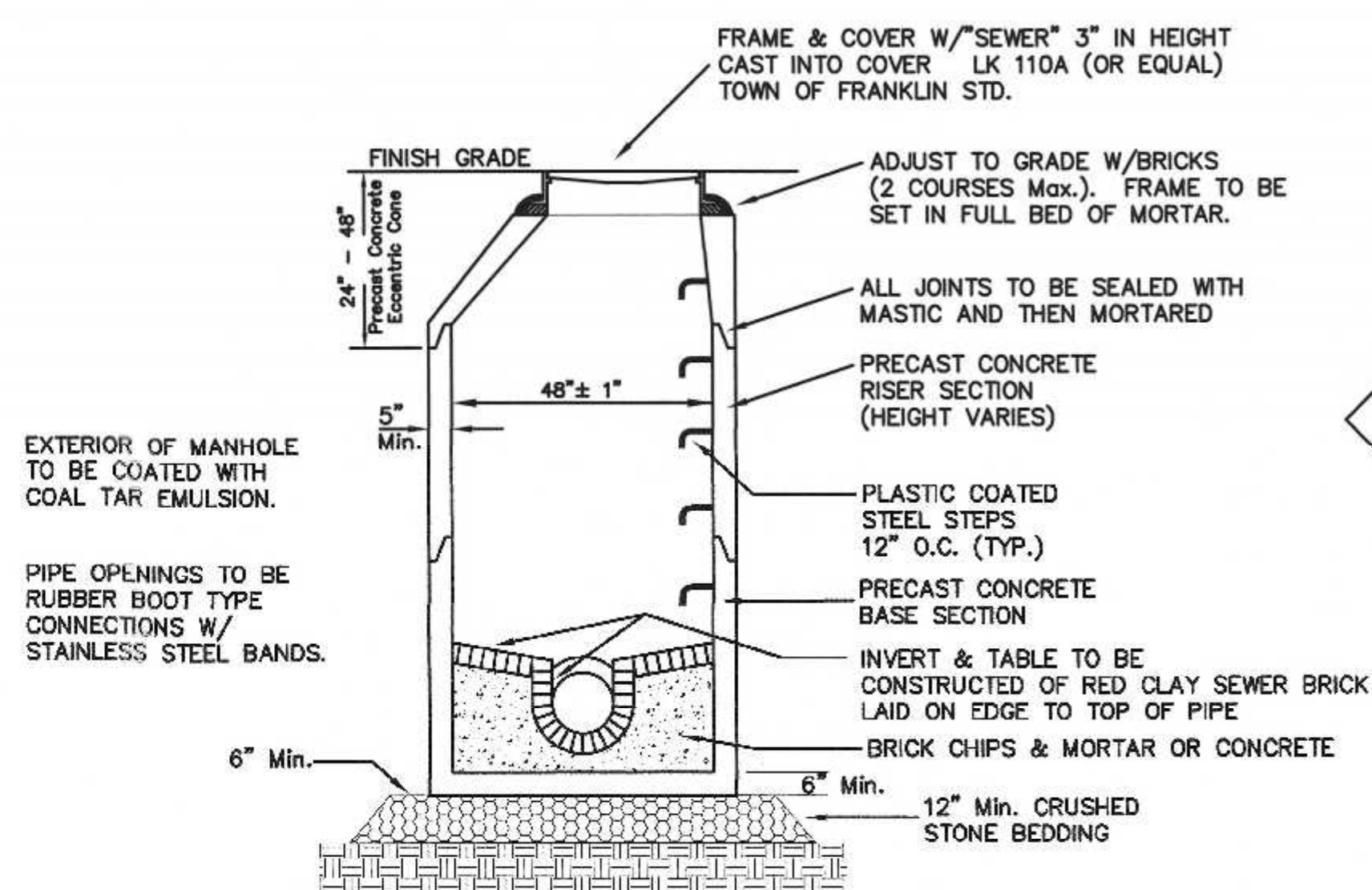
NO.	DATE	REVIEW COMMENTS	BY
1	2/26/24	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
7/23	FIELD BOOK	BL
1/24	CALCS BY:	RRG
1/24	DESIGNED BY:	RRG
1/24	DRAWN BY:	COMP
1/24	CHECKED BY:	CAQ

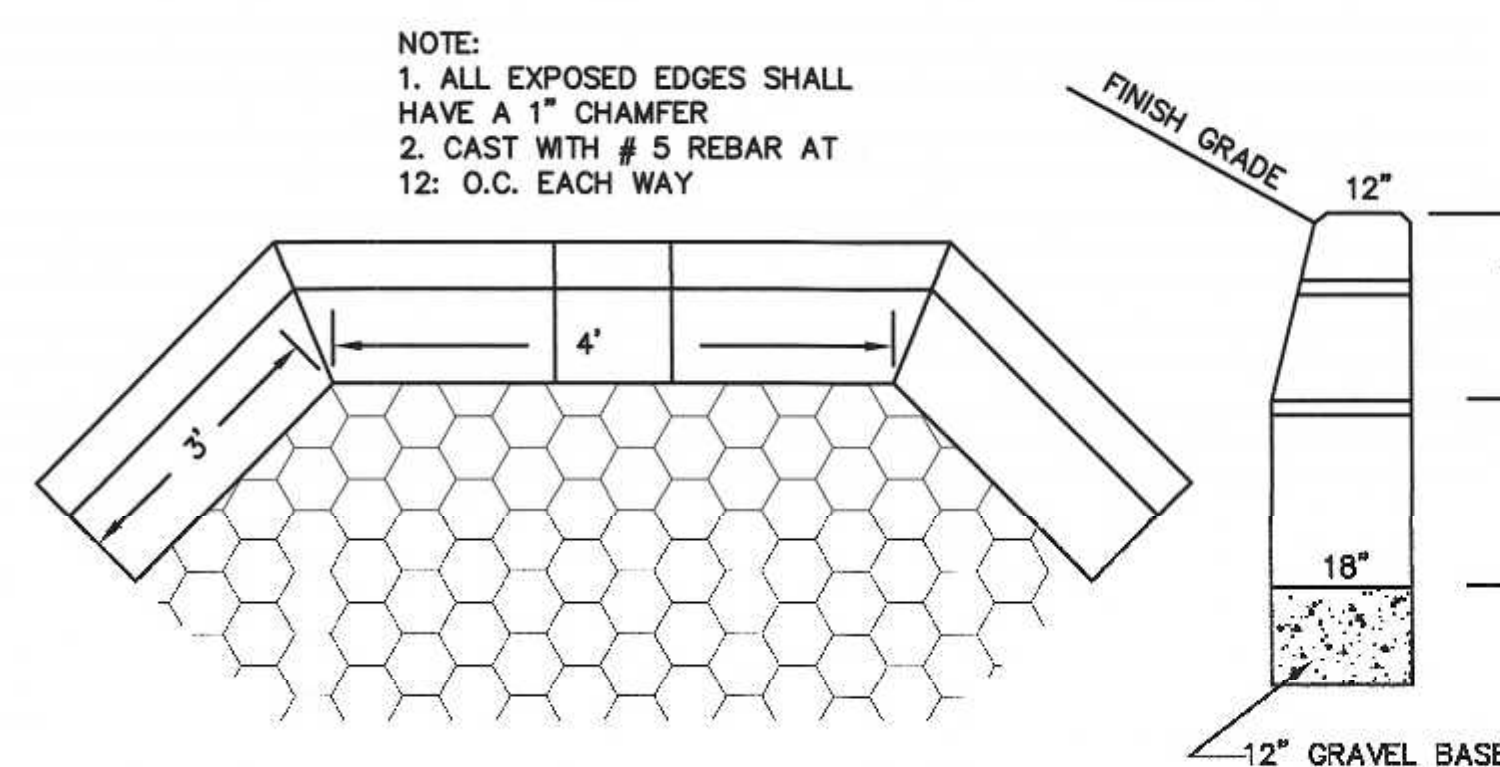
CARLOS A. QUINTAL P.E. #30812



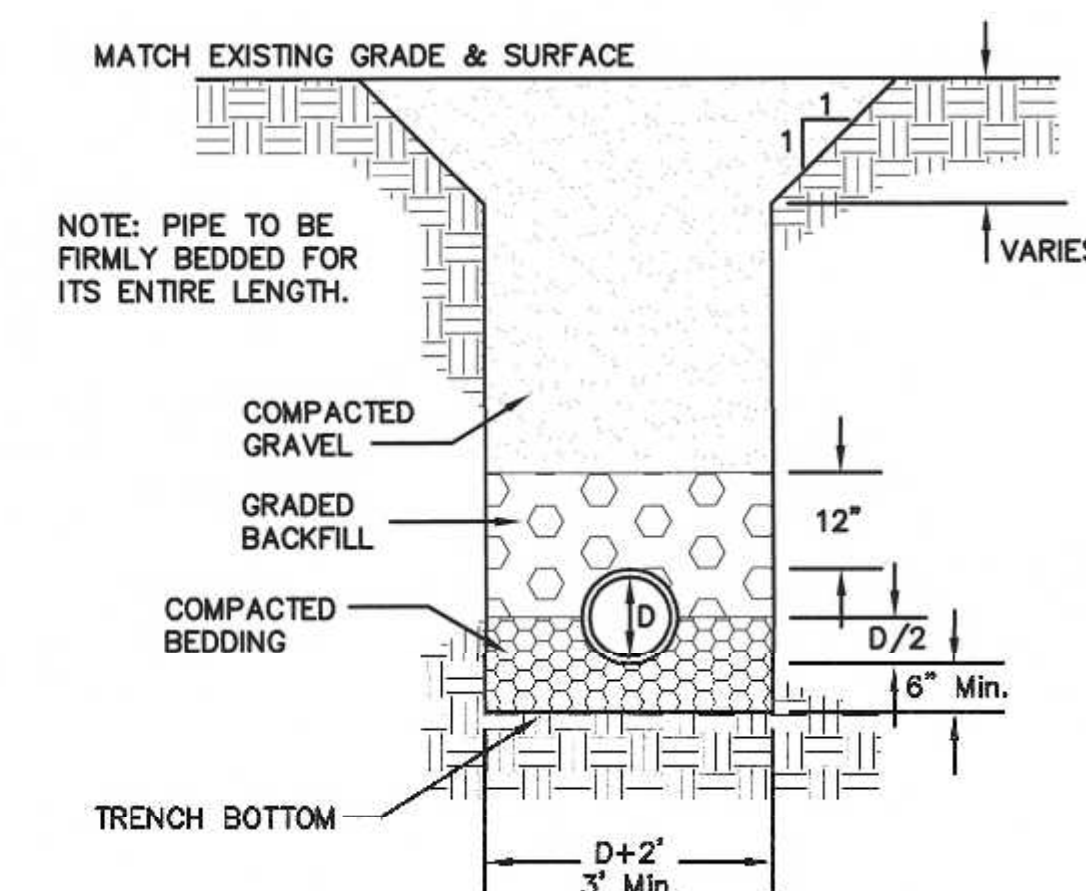
PRECAST DRAIN MANHOLE



PRECAST SEWER MANHOLE

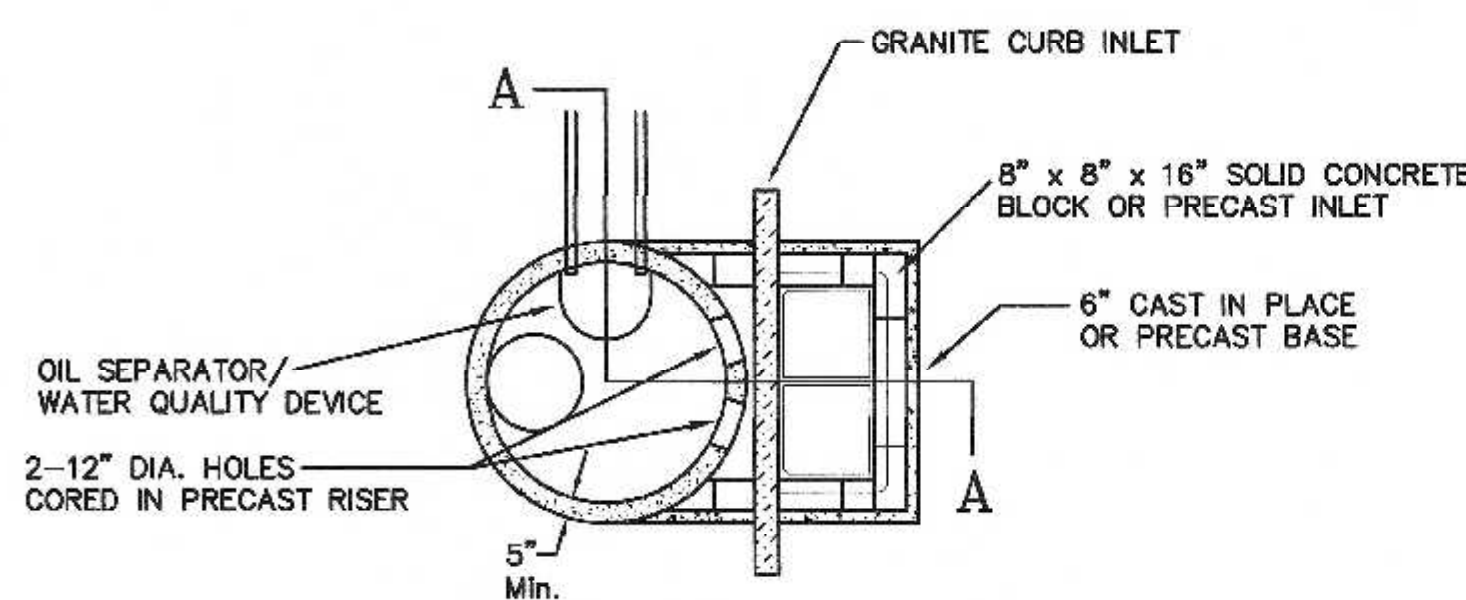


PRECAST HEADWALL
SITUATE COMPANIES OR APPROVED EQUAL



TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING MATERIAL	PROC. GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE	3/8" STONE

UTILITY TRENCH DETAIL

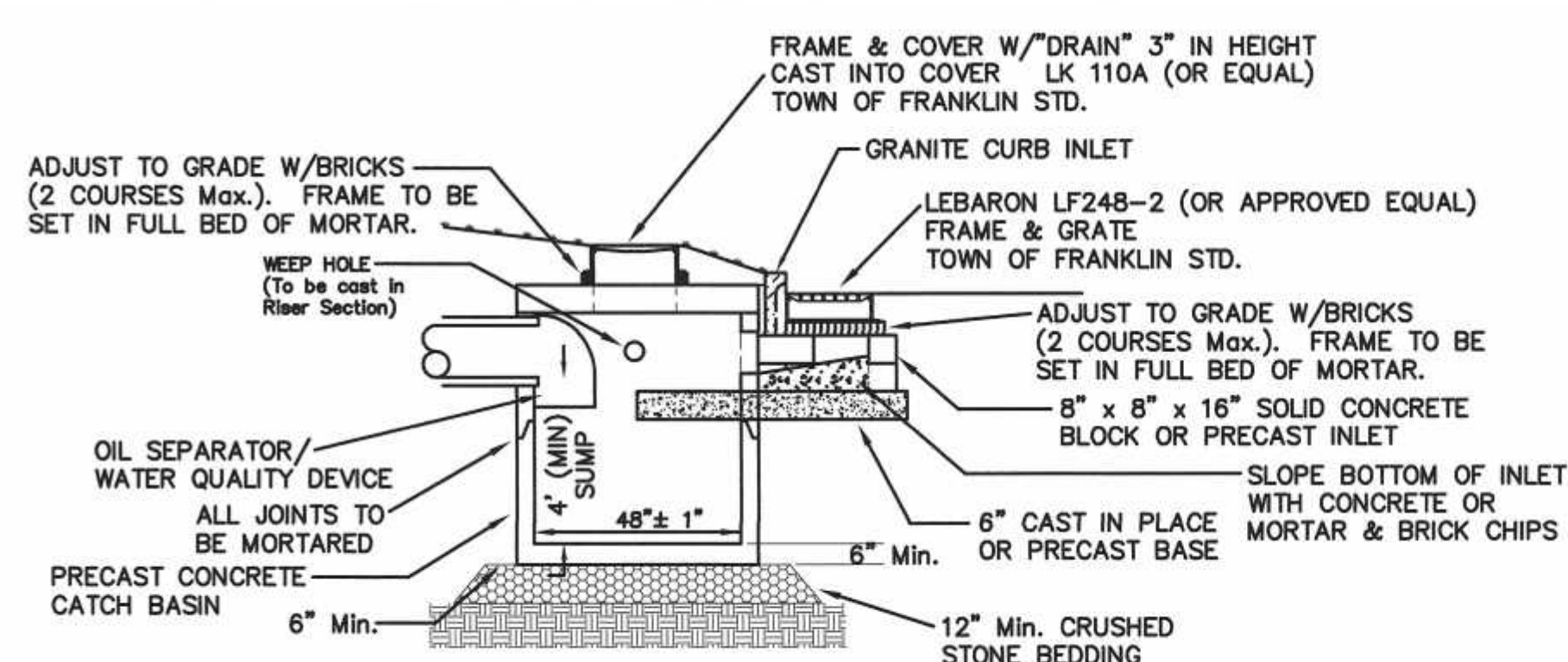


PLAN VIEW

- CONSTRUCTION NOTES:
1. RIP RAP TO BE MAXIMUM OF 14" AVERAGE OF 9" AND MINIMUM OF 6".
2. RIP RAP TO BE PLACED OVER A FILTER FABRIC.
3. RIP RAP MINIMUM DEPTH SHALL BE 18"

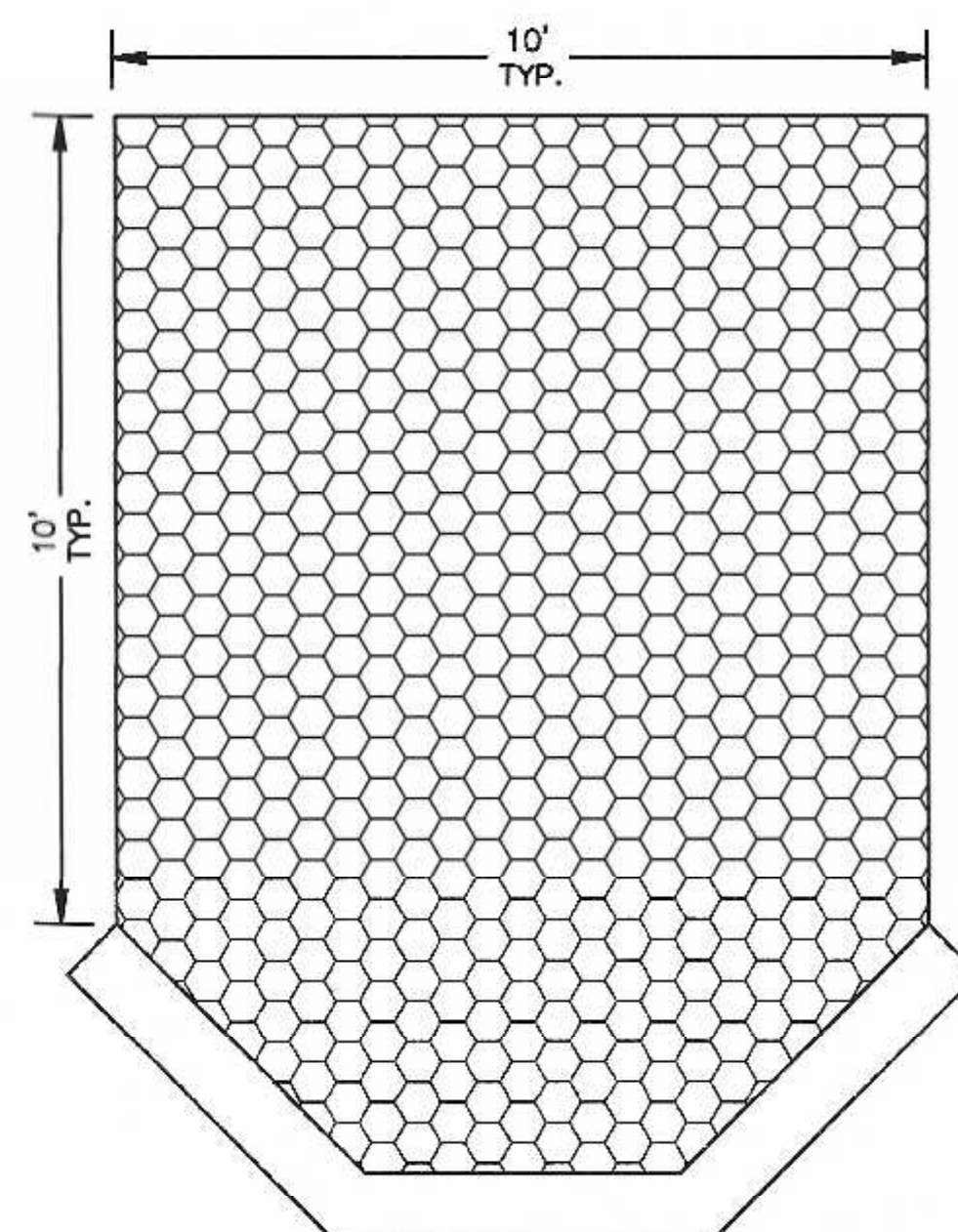
REFERENCE TECHNICAL SUPPLEMENT 14C - US BUREAU OF RECLIMATION METHOD.

$$D50 = 0.0122 \times 7.31^{2.06} = 0.73$$

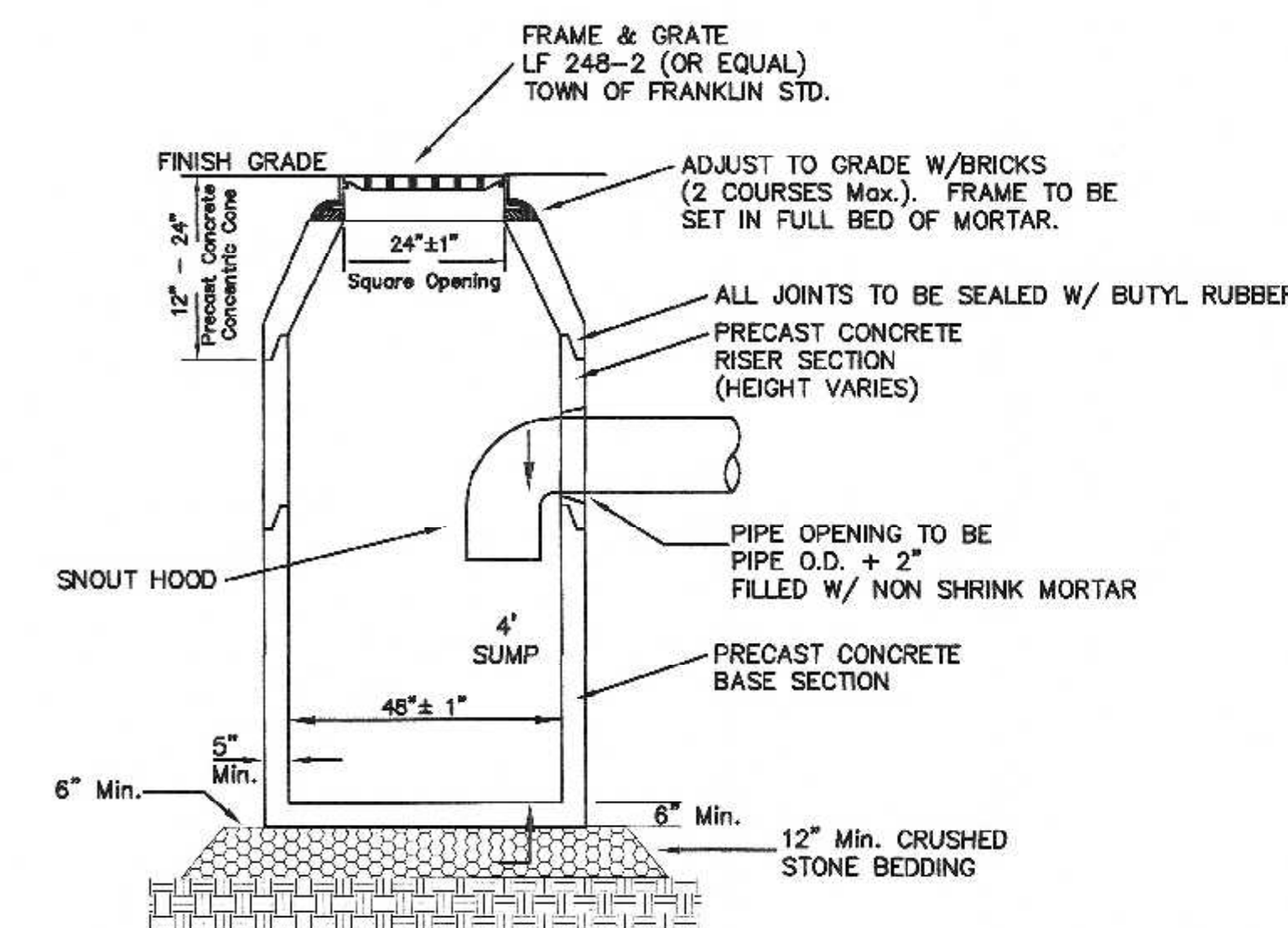


SECTION A-A

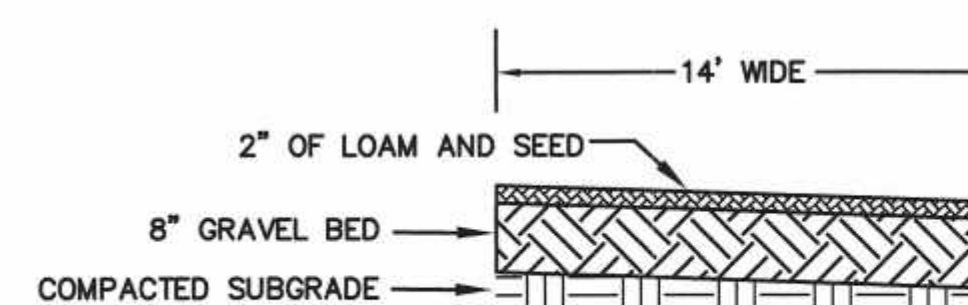
DOUBLE GRATE
PRECAST GUTTER INLET
W/ DEEP SUMP
CB - 3



RIP RAP AT HEADWALL
N.T.S.

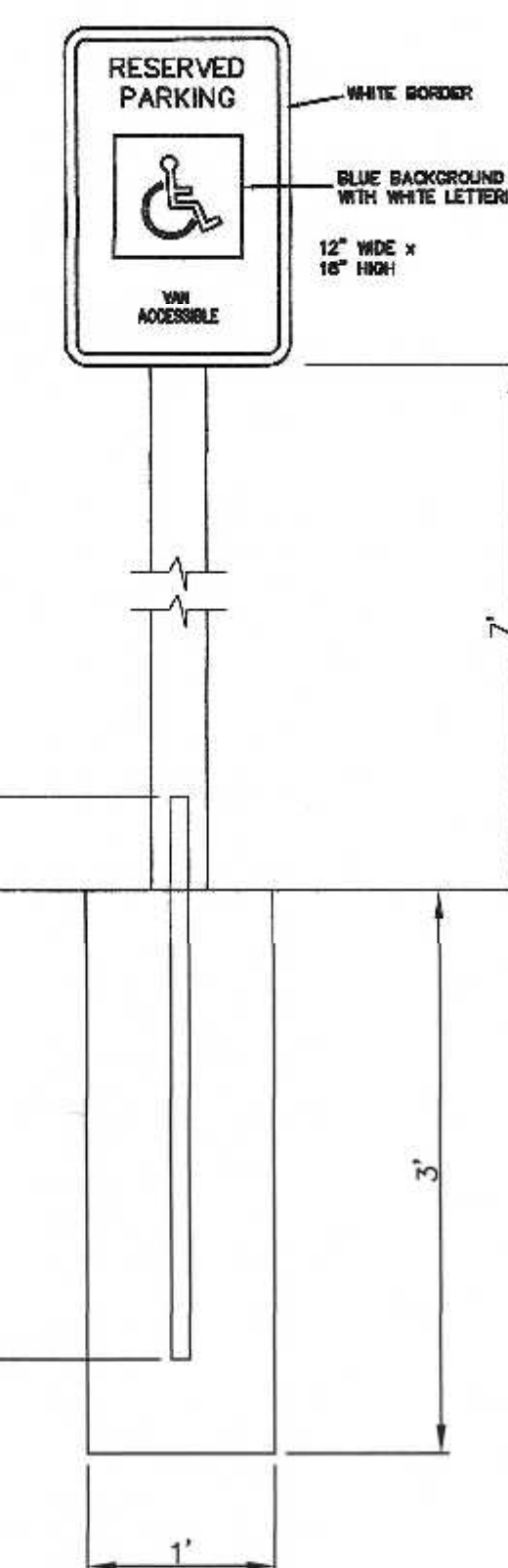


PRECAST CATCH BASIN
CB - 1, 2, 4 and 5



EMERGENCY
ACCESS DRIVE

- NOTES:
1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

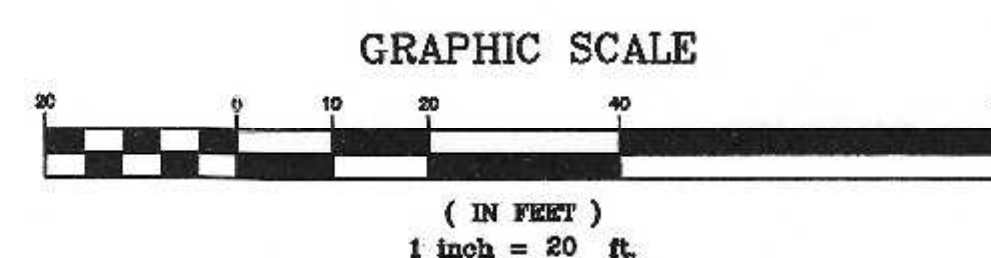


VAN ACCESSIBLE HANDICAP SIGN DETAIL
N.T.S.

SITE PLAN
CONSTRUCTION DETAILS - 1
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

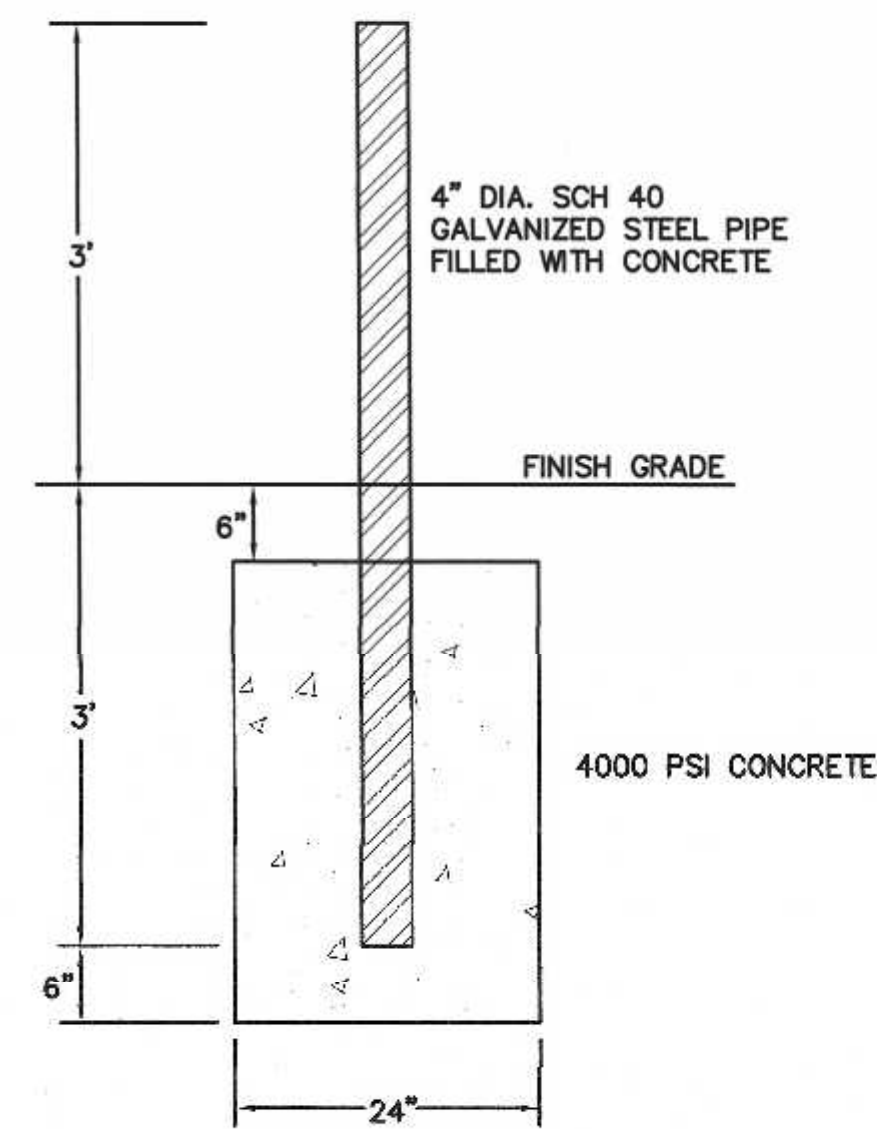


NO.	DATE	REVIEW COMMENTS	BY
1	2/26/24	REVIEW COMMENTS	RRG
		DESCRIPTION	

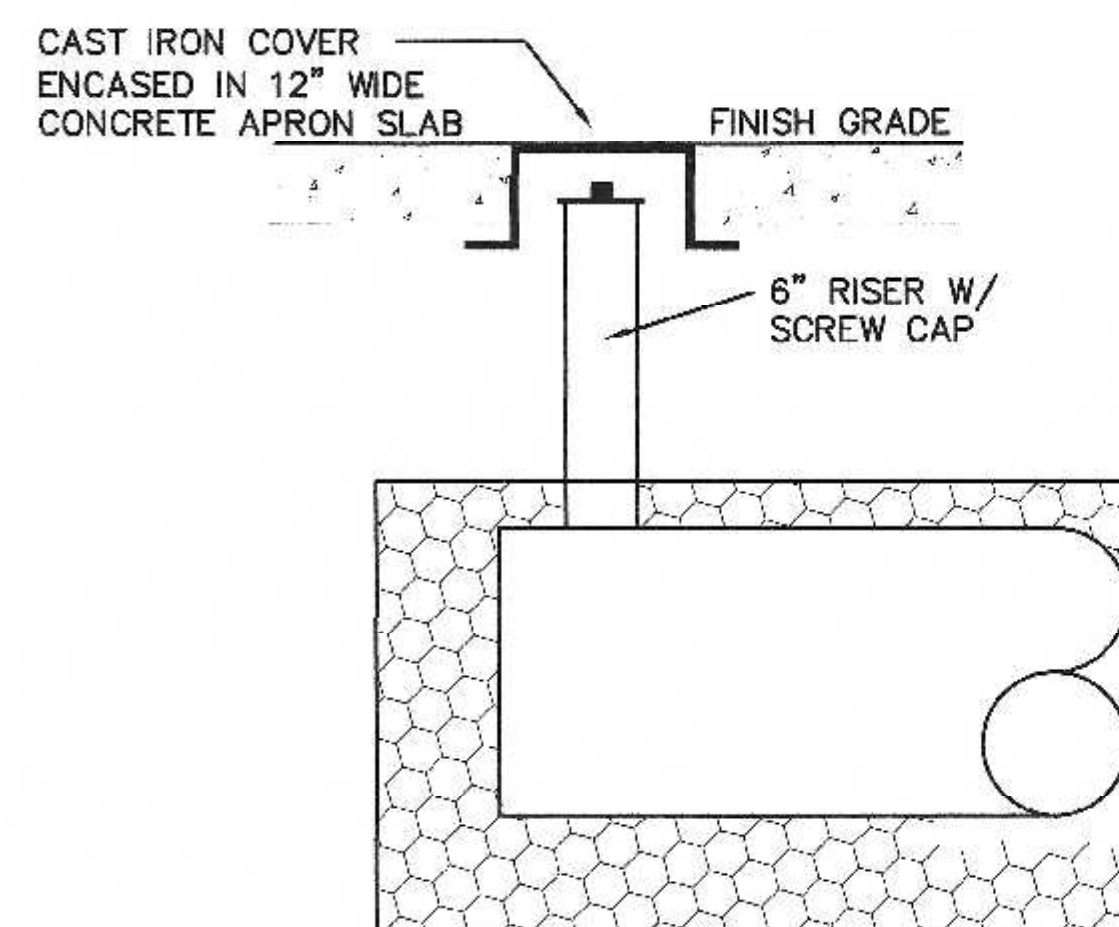
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7/23	FIELD BOOK	BL
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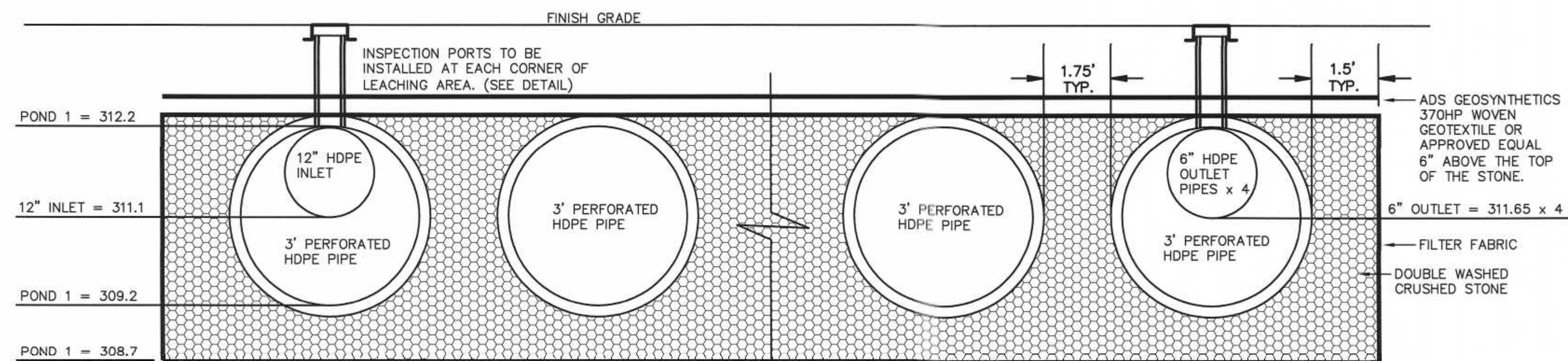
DATE	JAN. 5, 2024
SCALE	1" = 20'
PROJECT	UC1587
SHEET	7 of 10



BOLLARD DETAIL



INSPECTION PORT DETAIL
DRAINAGE INFILTRATION AREAS
N.T.S.

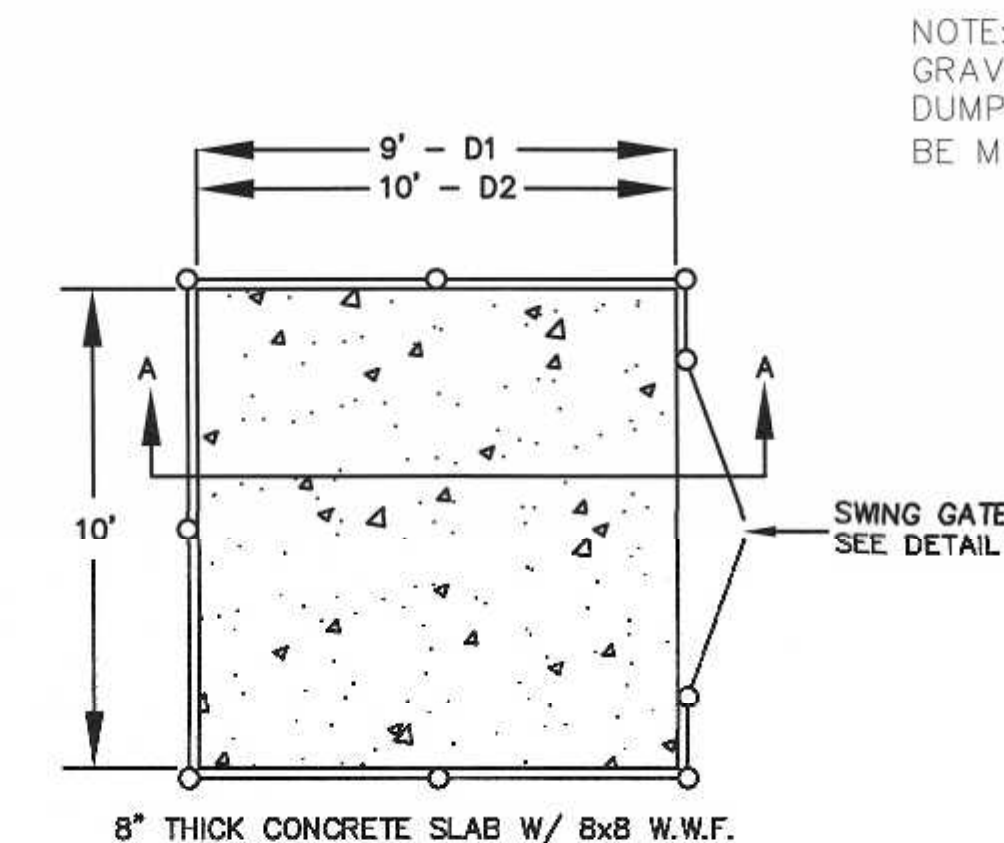


ESHCW = 306.67 BASED ON MOTTING TP 3

NOTE:
INFILTRATION POND 1 CONSISTS OF
6 ROWS OF 3" DIAMETER PERFORATED HDPE PIPE.
3 ROWS AT 66' IN LENGTH.
3 ROWS AT 70' IN LENGTH.
STONE EXTENTS 32.75' x 69' TO 73' (SEE PLAN)

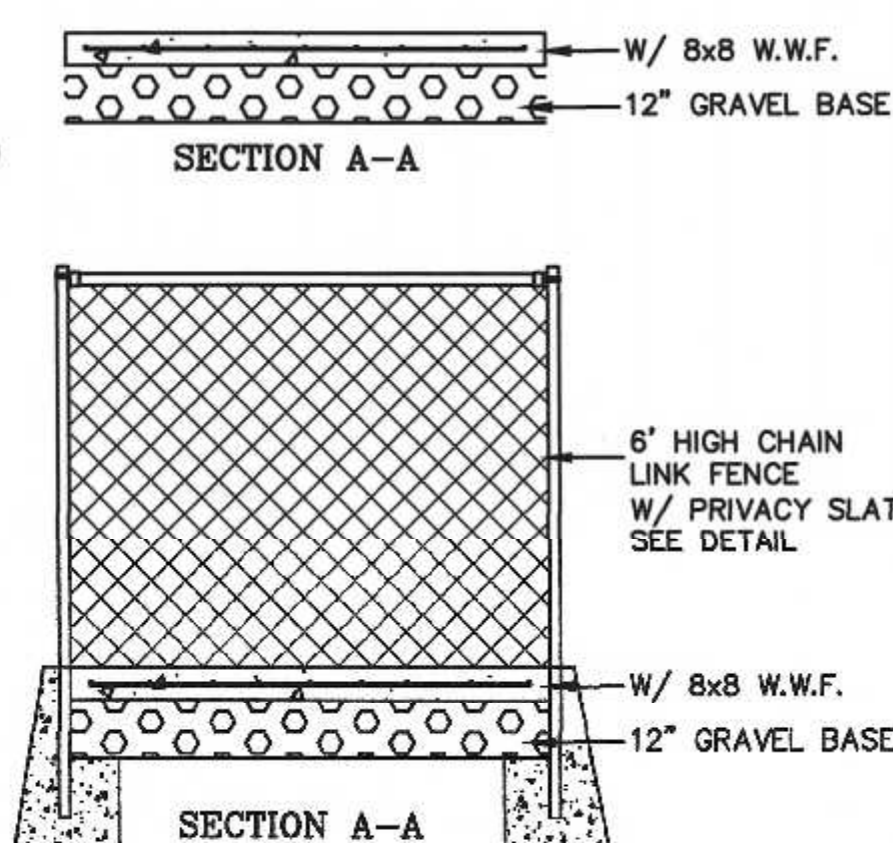
DRAINAGE INFILTRATION AREA - 1

THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL BEING PLACED.

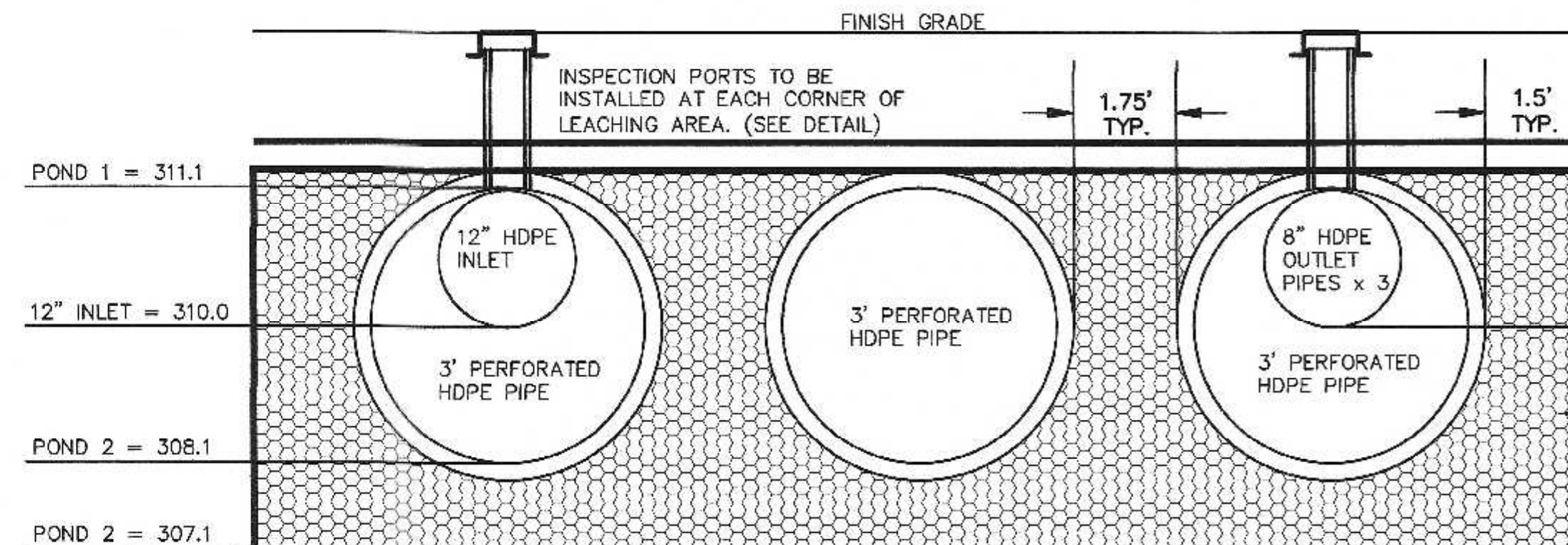


CONCRETE DUMPSTER PAD

NOTE:
GRAVEL UNDER
DUMPSTER PAD TO
BE M1.03.0 (TYPE B)



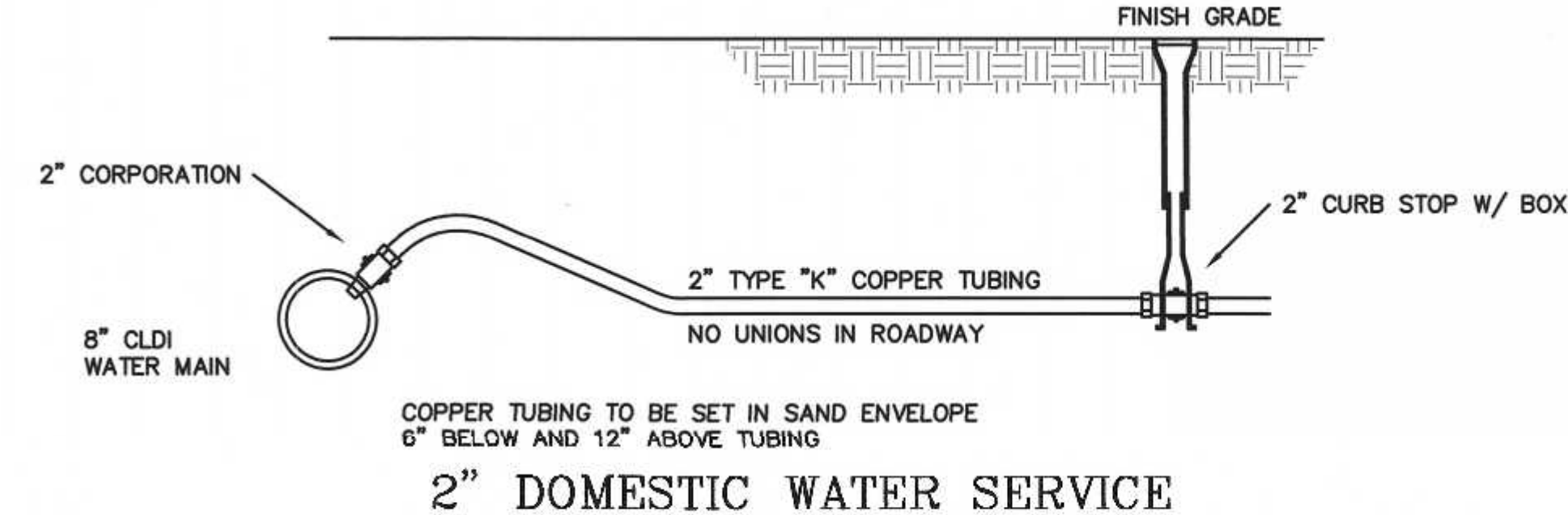
DUMPSTER AREA FENCE



NOTE:
POND CONSISTS OF
3 ROWS OF 3" DIAMETER PERFORATED HDPE PIPE
AT 40' IN LENGTH.
STONE EXTENTS 17.0' x 43'

POND - 2

THE DESIGN ENGINEER
SHALL INSPECT THE
EXCAVATION OF THE
SOIL INFILTRATION AREA
PRIOR TO ANY FILL
BEING PLACED.



2" DOMESTIC WATER SERVICE

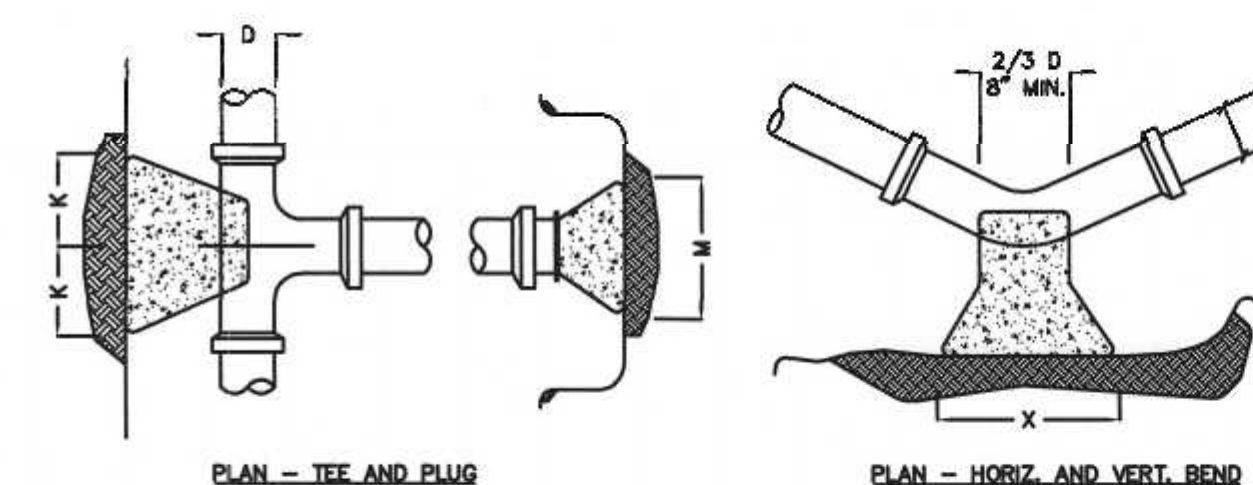
Fill material for pond 2 and if necessary infiltration pond 1 in fill shall consist of imported soil material. The fill shall be comprised of clean granular sand, free from organic matter and deleterious substances. Mixtures and layers of different classes of soil shall not be used. The fill shall not contain any material larger than two inches. A sieve analysis, using a #4 sieve, shall be performed on a representative sample of the fill. Up to 45% by weight of the fill sample may be retained on the #4 sieve. Sieve analyses also shall be performed on the fraction of the fill sample passing the #4 sieve, such analyses must demonstrate that the material meets each of the following specifications:

SIEVE SIZE	EFFECTIVE PARTICLE SIZE	% THAT MUST PASS SIEVE
# 4	4.75 mm	100%
# 50	0.30 mm	10% - 100%
#100	0.15 mm	0% - 20%
#200	0.075 mm	0% - 5%

If required by the local approving authority, a minimum of one representative sample may be taken from the in-place fill and tested for compliance with the grain size distribution specification.

Where fill is required to replace unsuitable or impermeable soils, the excavation of the unsuitable material shall extend a minimum of five feet laterally in all directions beyond the outer perimeter of the pond to the depth of naturally occurring pervious material and replaced with fill material meeting the specifications of 310 CMR 15.255(3).

Prior to placement of the fill, the bottom surface of the excavation shall be scarified and relatively dry. Fill shall not be placed during rain or snow storms. If the water table elevation is above the elevation of the bottom of the excavation, the excavation shall be dewatered as necessary.



PLAN - TEE AND PLUG

PLAN - HORIZ. AND VERT. BEND

SIZE OF BRANCH	J	K	L	M	N	O
4" TO 8"	10"	10"	1'-0"	2'-0"	1'-6"	10"
10" TO 16"	1'-0"	1'-6"	1'-6"	3'-10"	2'-10"	1'-8"
24"	1'-4"	2'-0"	2'-6"	5'-0"	3'-6"	1'-8"

TEES AND PLUGS

SIZE OF BRANCH	90 & 45 BENDS	22 1/2 & 11 1/4 BENDS
D 4" TO 8"	10" TO 16"	24"
X 1'-8"	3'-4"	3'-6"
Y 1'-2"	1'-8"	2'-4"

TYPICAL SECTION
TEES, BENDS AND PLUGS

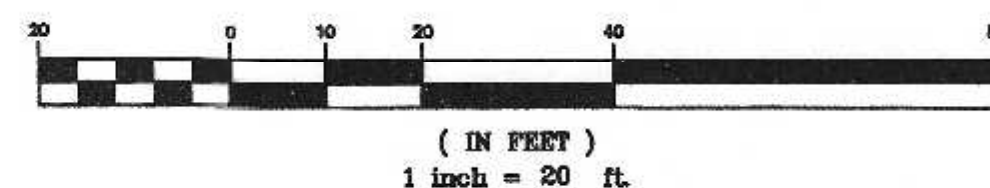
THRUST BLOCK DETAILS

SITE PLAN
CONSTRUCTION DETAILS - 2
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE

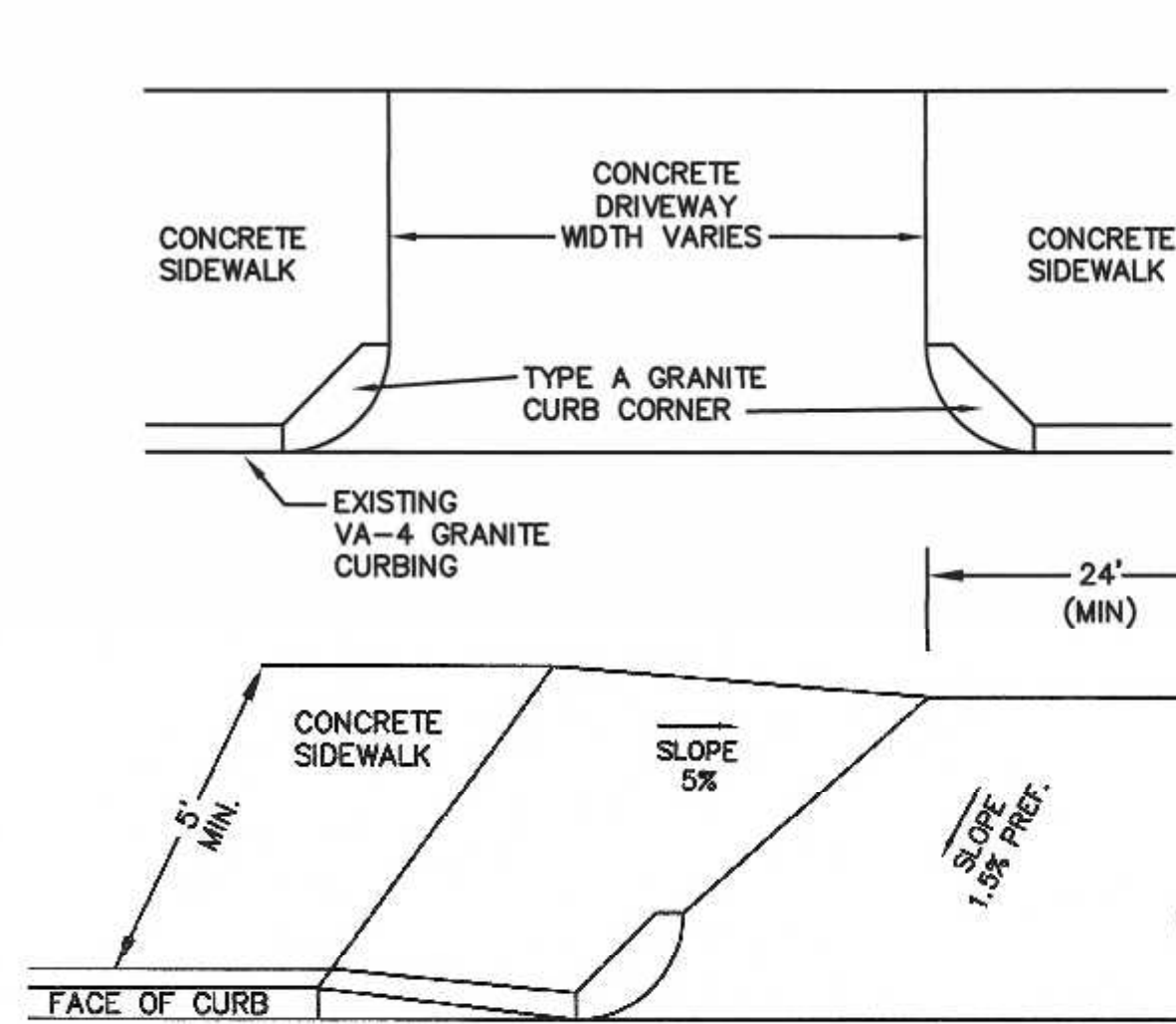


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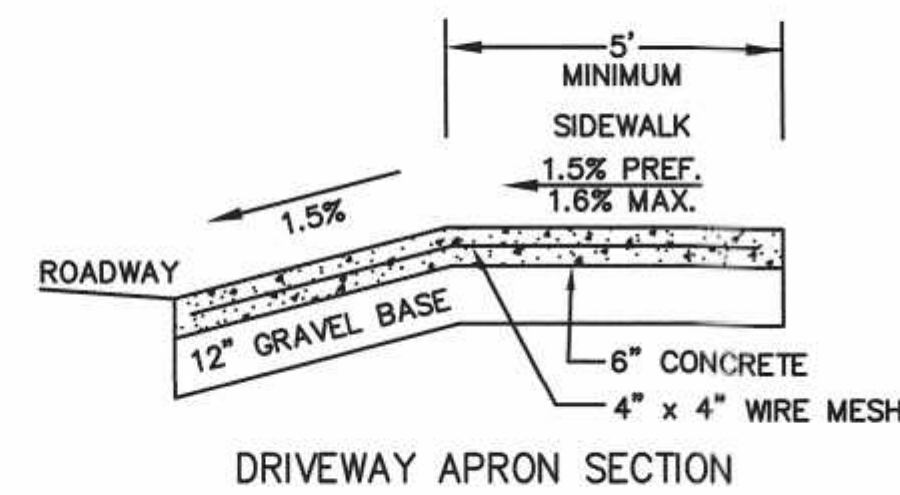
DATE	FIELD BY:	INT.
7/23	BL	
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508-384-6560 FAX 508-384-6568

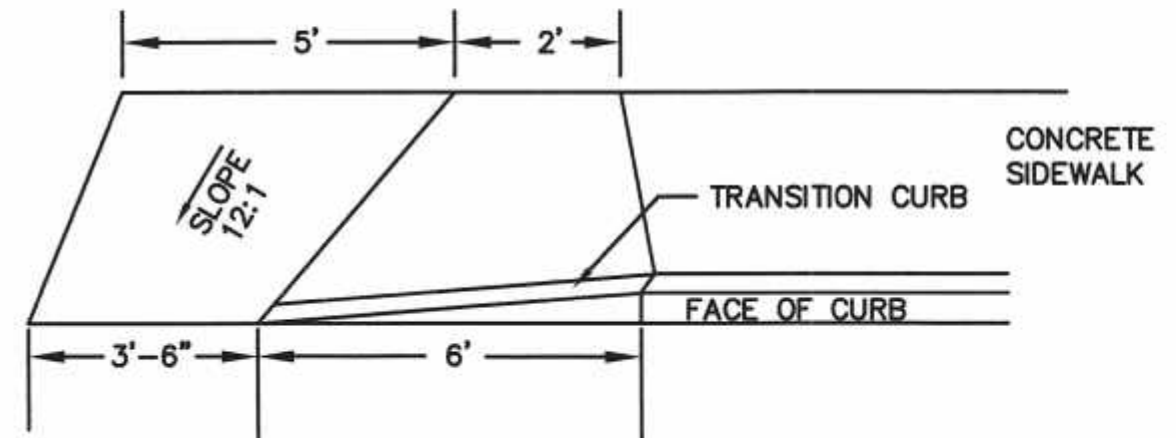
DATE	JAN. 5, 2024
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SHEET	8 of 10



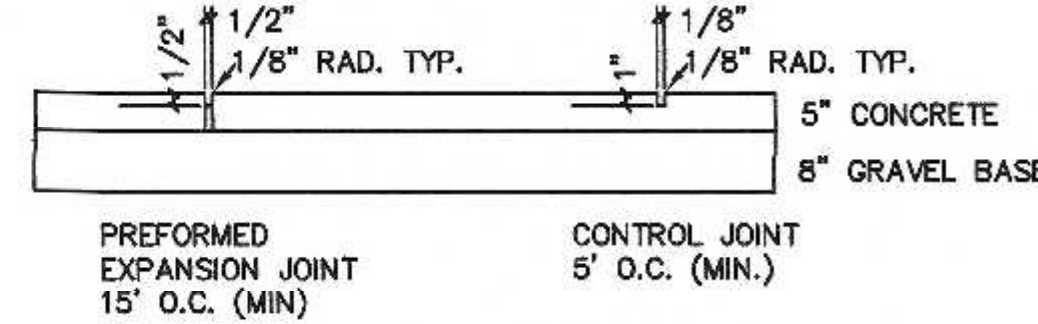
DRIVEWAY APRON



NOTES:
1. CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.
2. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.
3. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.
4. GRAVEL UNDER SIDEWALK TO BE M1.03.0 (TYPE B)

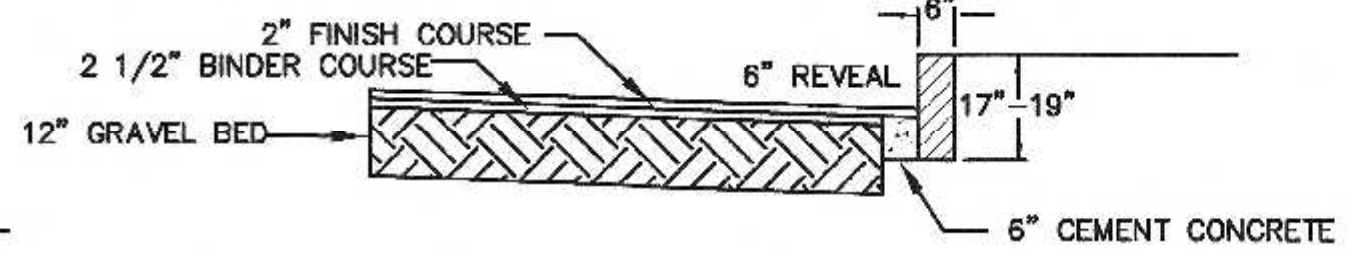


WHEELCHAIR RAMP

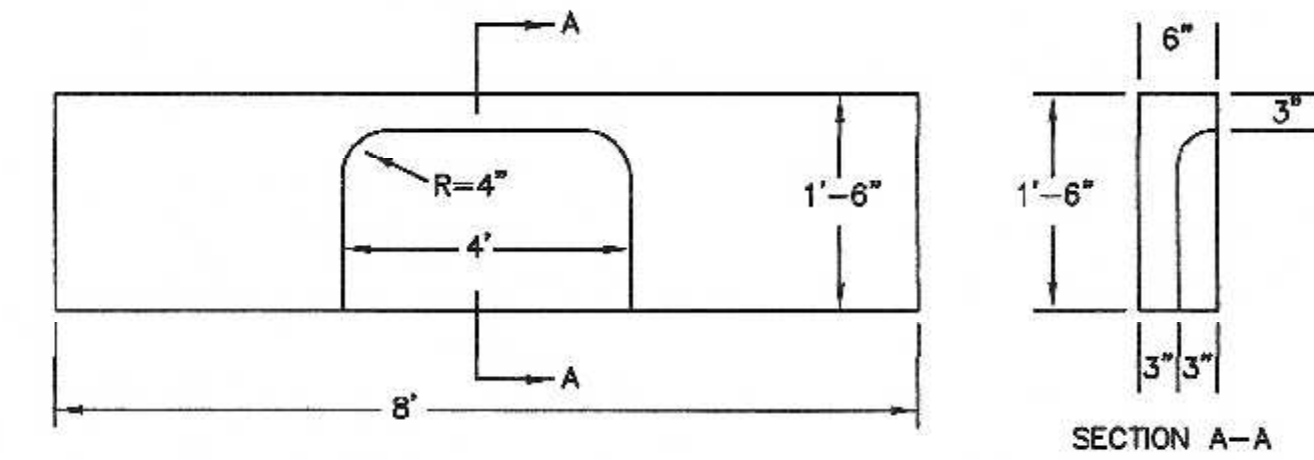


SIDEWALK JOINT DETAIL

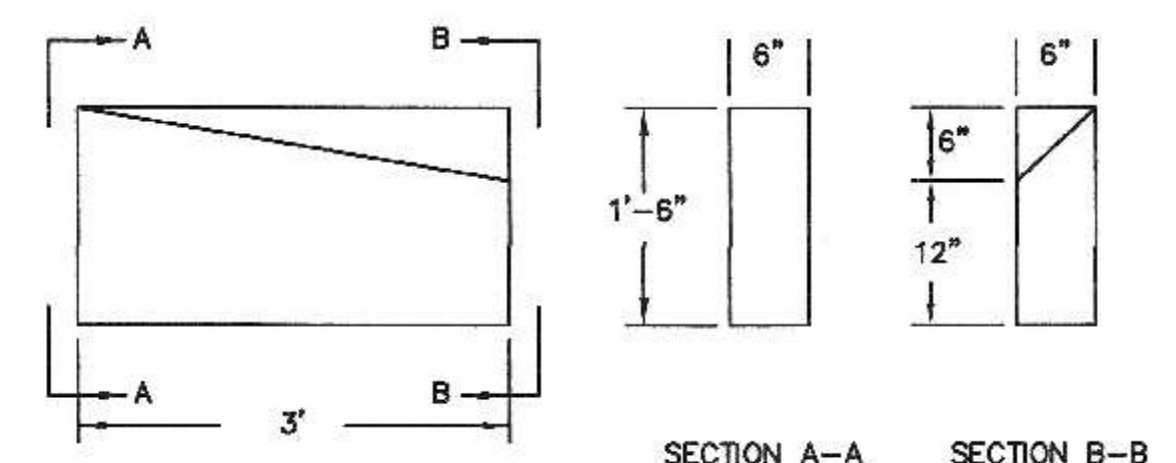
NOTE:
GRAVEL UNDER PAVEMENT AND SIDEWALKS TO BE M1.03.0 (TYPE B)



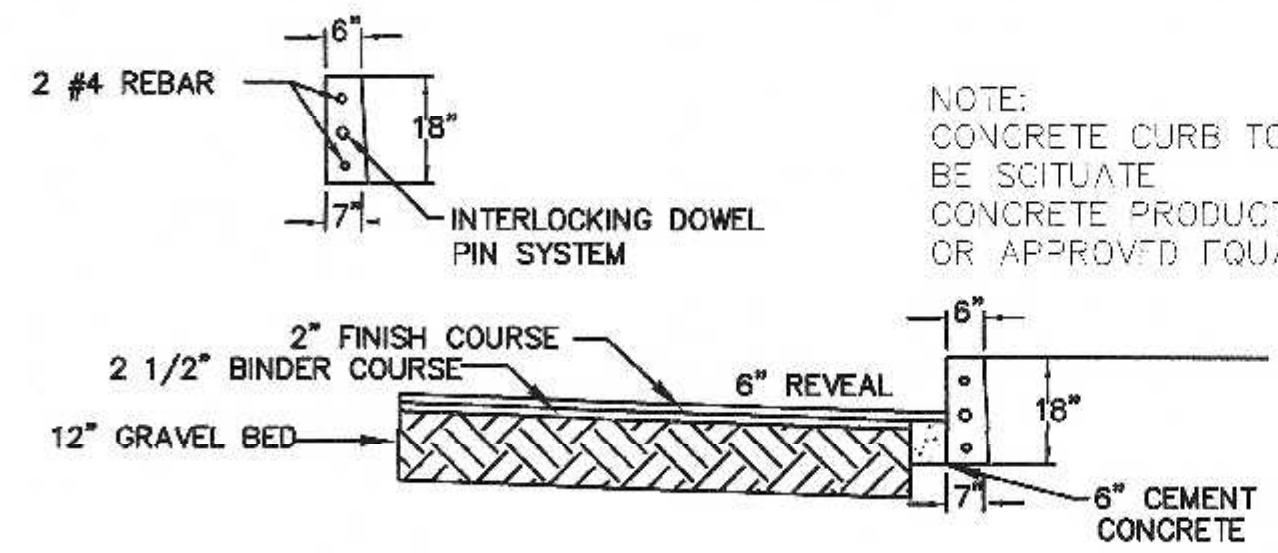
PAVEMENT AND VA-4 VERTICAL GRANITE CURBING



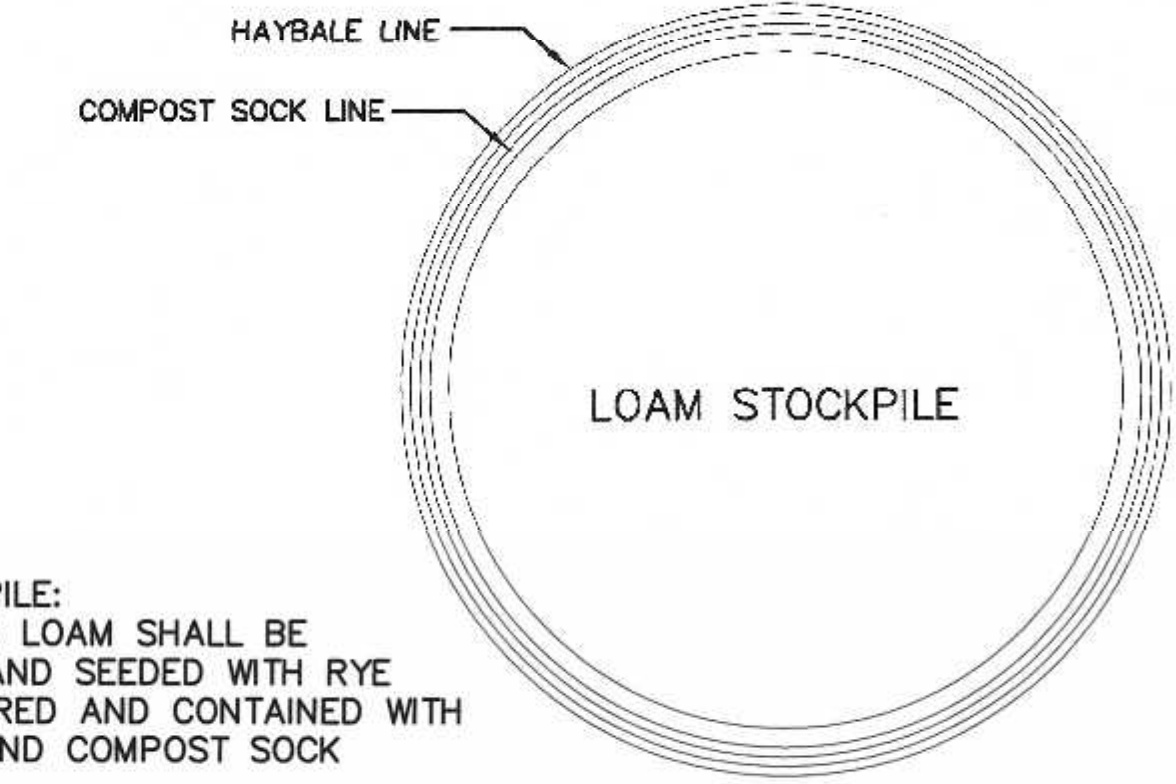
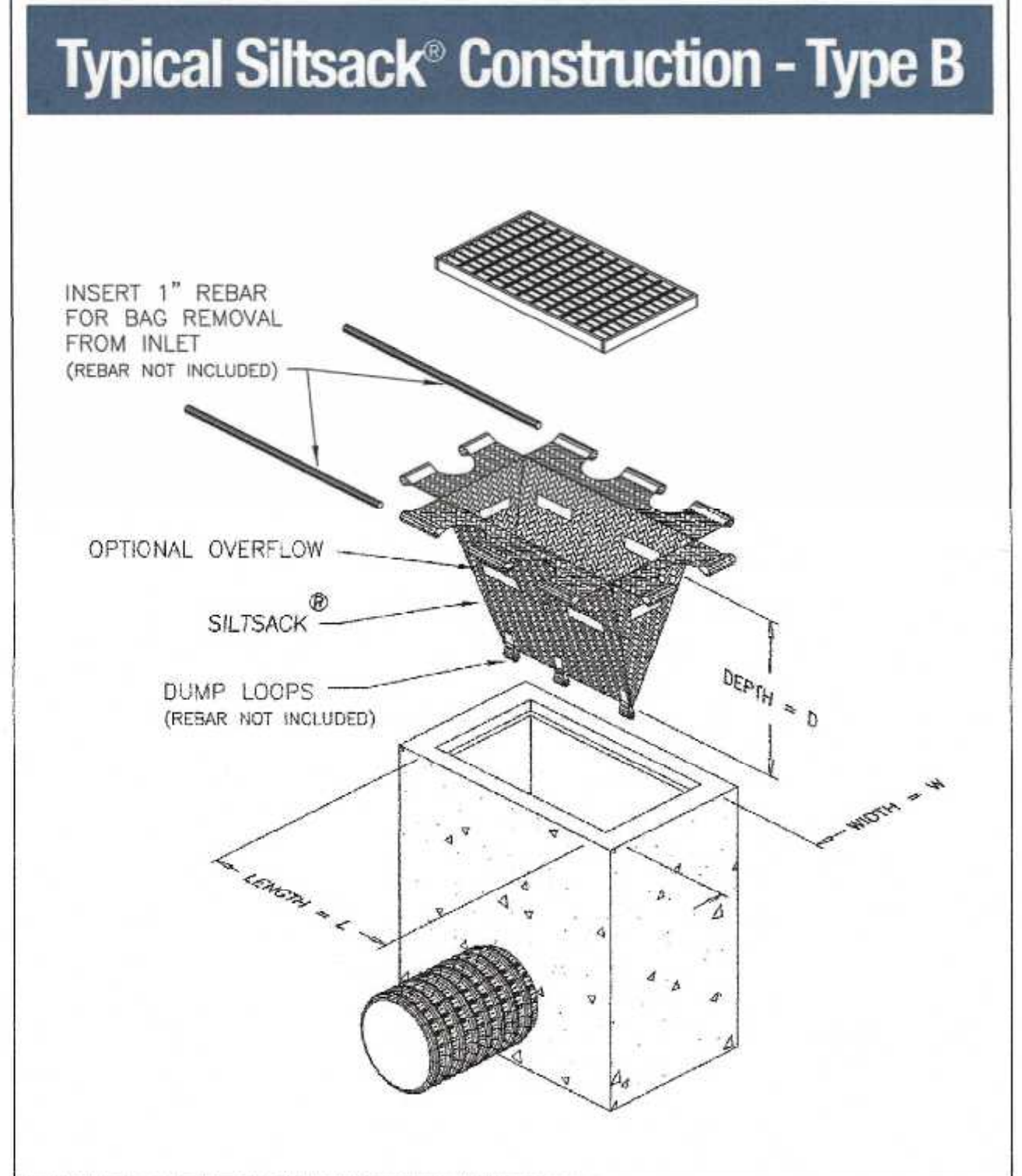
GRANITE CURB INLET DETAIL



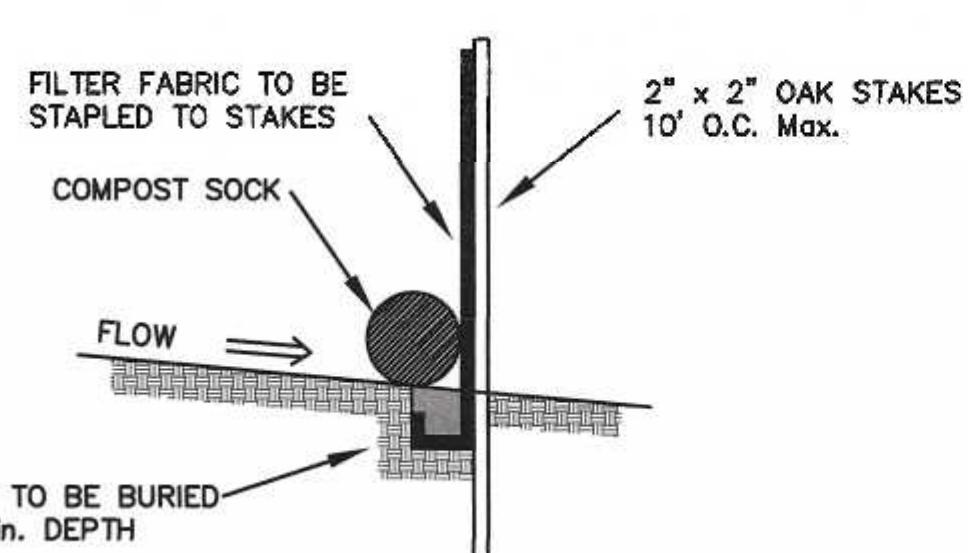
GRANITE CURB TRANSITION DETAIL



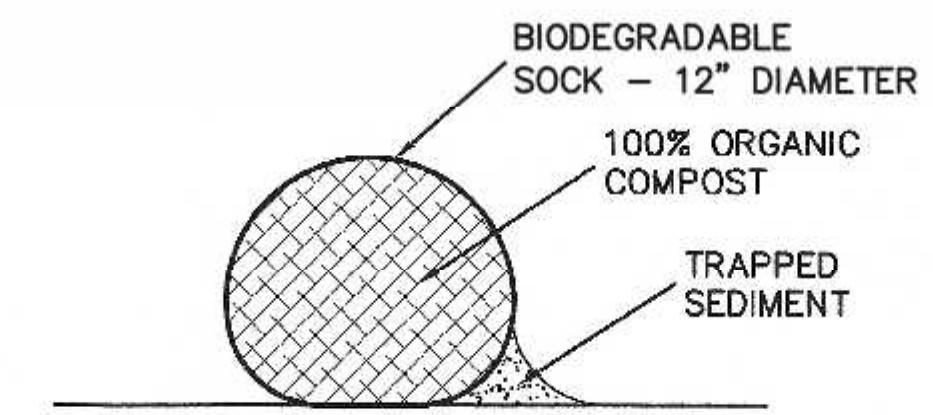
PAVEMENT AND VERTICAL CONCRETE CURBING



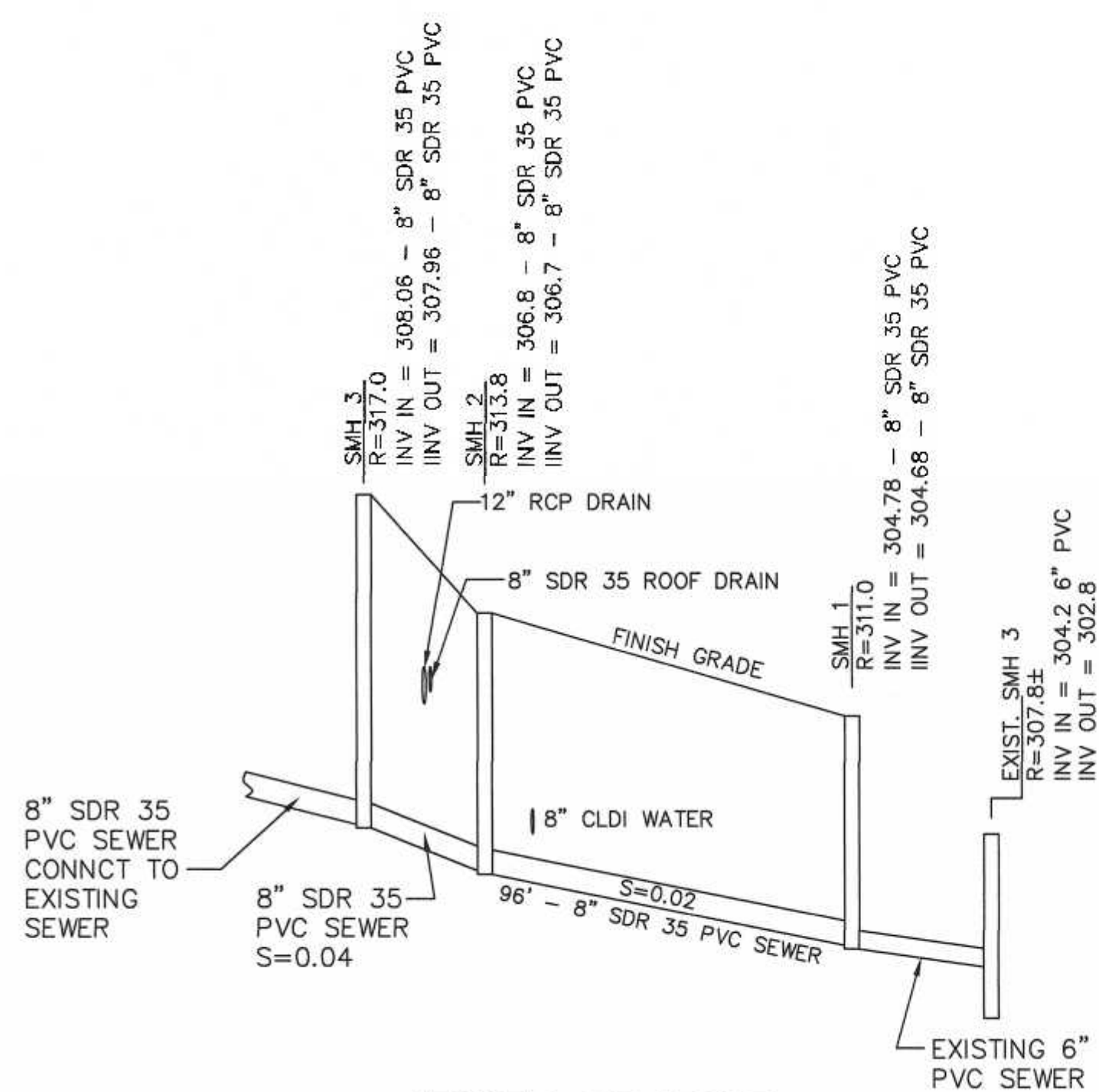
STOCKPILE DETAIL



EROSION CONTROL DETAIL



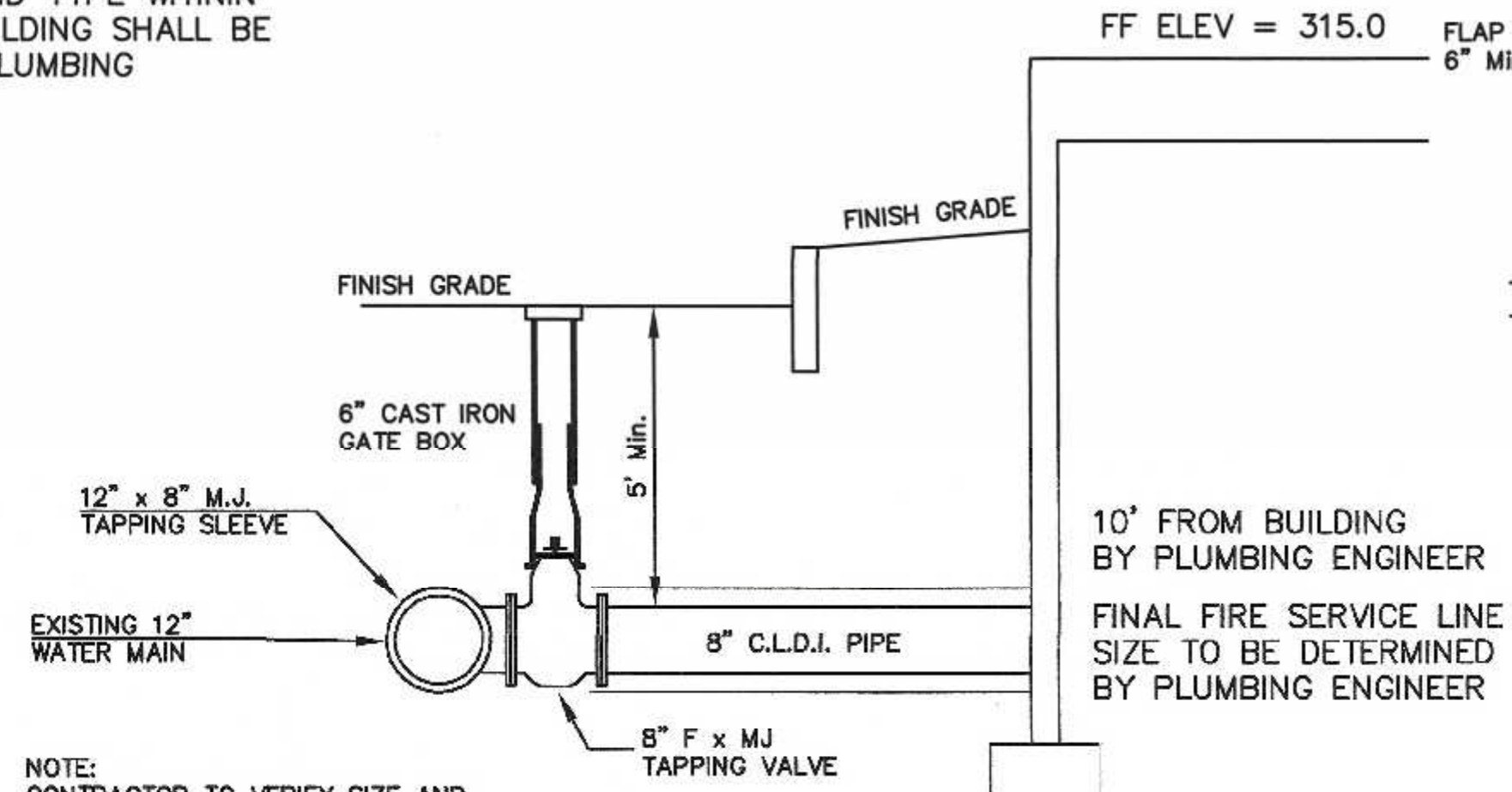
COMPOST SOCK DETAIL



SEWER PROFILE
SCALE: H - 1" = 40'
V - 1" = 4'

CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AT CONNECTION POINT AND NOTIFY THE DESIGN ENGINEER.

SEWER PIPE TO BE 8" SDR 35. SEWER PIPE SIZE AND TYPE WITHIN 10 FEET OF THE BUILDING SHALL BE PROVIDED BY THE PLUMBING ENGINEER.



FIRE SERVICE CONNECTION

NOTE:
CONTRACTOR TO VERIFY SIZE AND TYPE OF EXISTING WATER MAIN PRIOR TO INSTALLING TAPPING SLEEVE.

FF ELEV = 315.0
FLAP TO BE BURIED 6" MIN. DEPTH

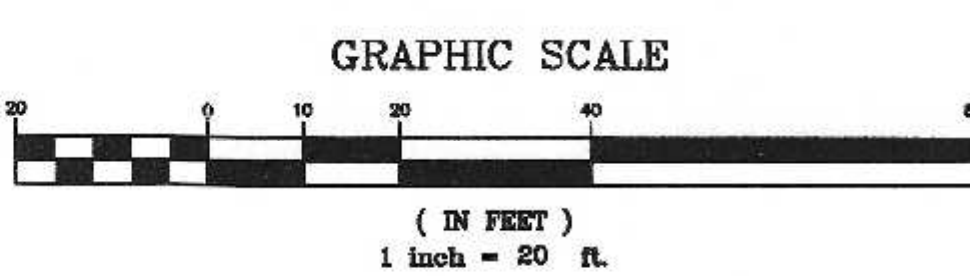
SITE PLAN
CONSTRUCTION DETAILS - 3
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE
JAN. 5, 2024
SCALE
1" = 20'
PROJECT
UC1587
SHEET
9 of 10

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

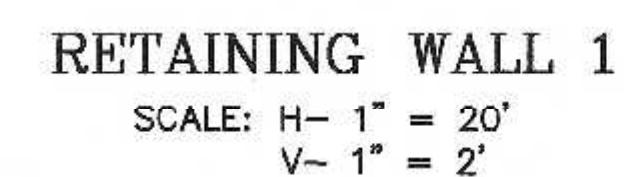
DATE



NO.	DATE	REVIEW COMMENTS	BY
1	2/26/24	REVIEW COMMENTS	RRG
		DESCRIPTION	

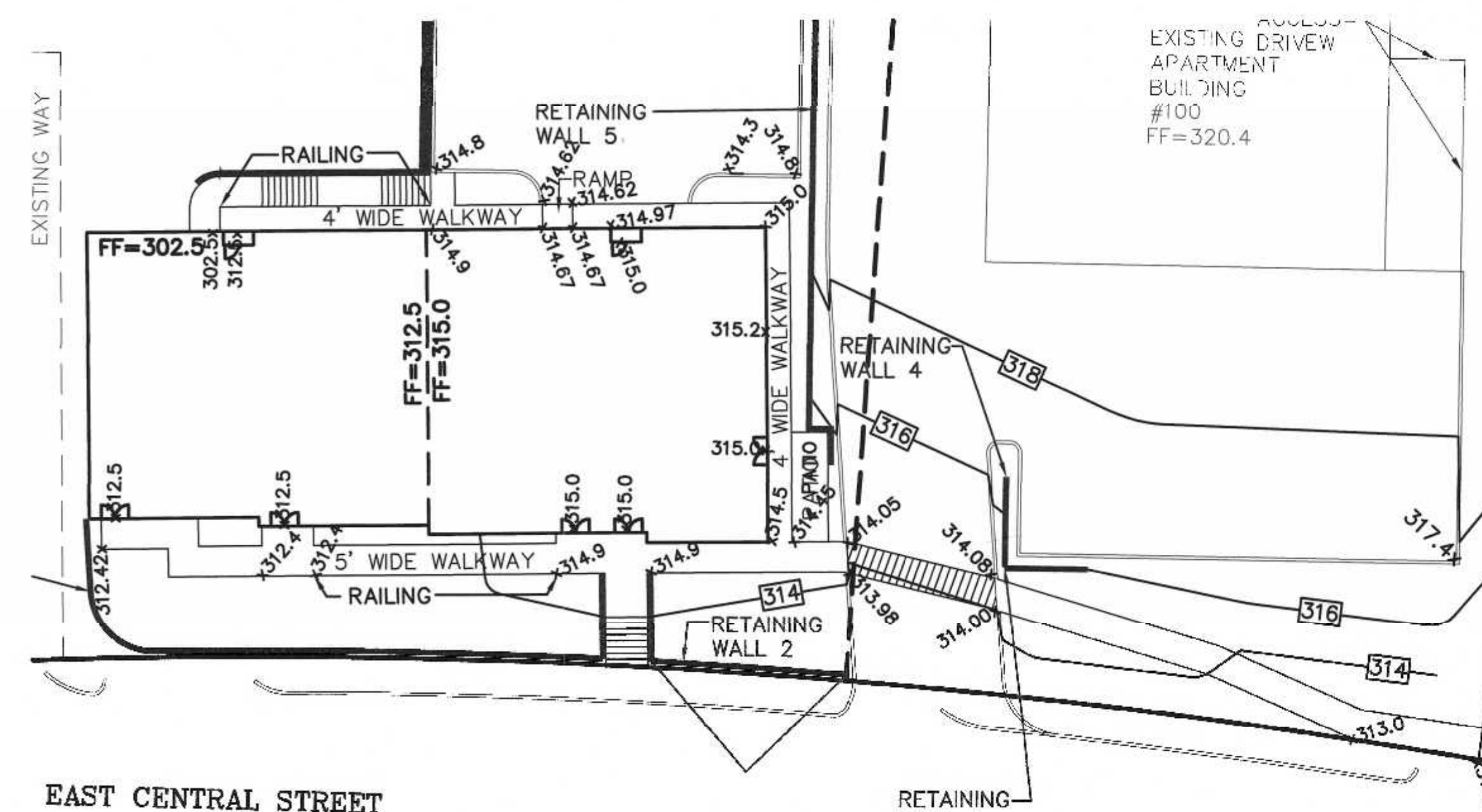
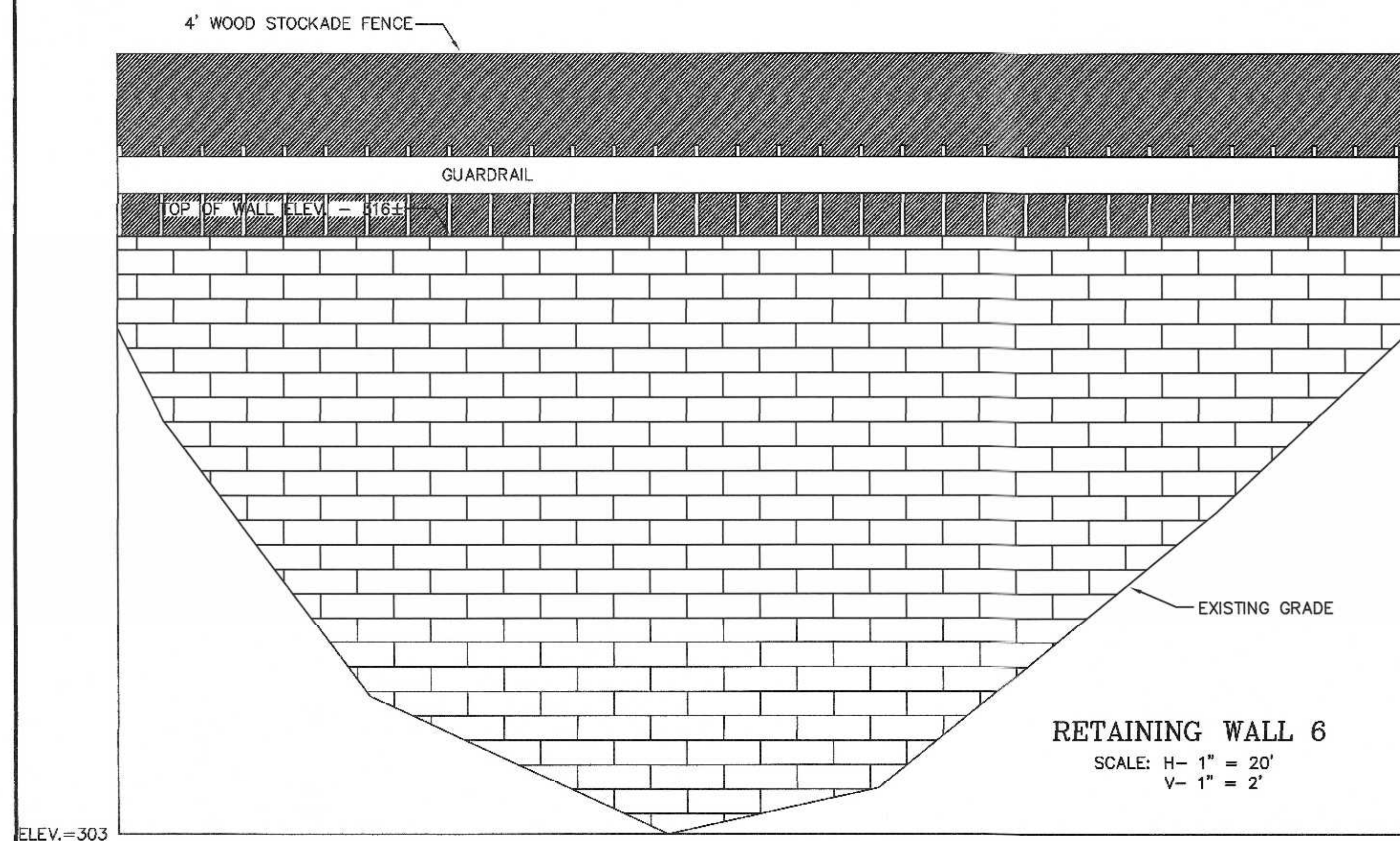
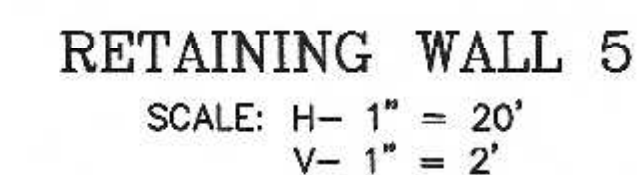
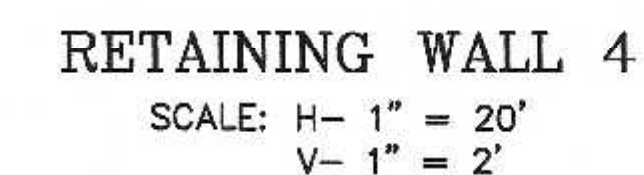
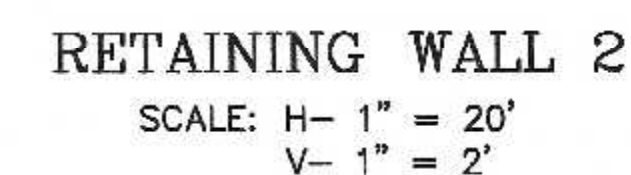
CARLOS A. QUINTAL P.E. #30812

DATE	FIELD BY:	INT.
7/23	BL	
BK#	FIELD BOOK	PG#
1/24	RRG	
1/24	RRG	
1/24	COMP	
1/24	CAQ	



RETAINING WALL NOTES:

1. RETAINING WALLS 1, 2, 3 AND 4 SHALL BE CONSTRUCTED OF STONE.
2. RETAINING WALL 5 SHALL BE SEGMENTAL BLOCK.
3. ALL WALLS REQUIRING A BUILDING PERMIT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
4. ALL WALLS THAT EXCEED FOUR FEET IN HEIGHT SHALL HAVE A NON-CLIMBABLE FENCE.
5. GUARDRAILS SHALL BE PROVIDED AT RETAINING WALLS 4, 5 AND 6 AND SHALL BE DESIGNED BY THE WALL STRUCTURAL ENGINEER.

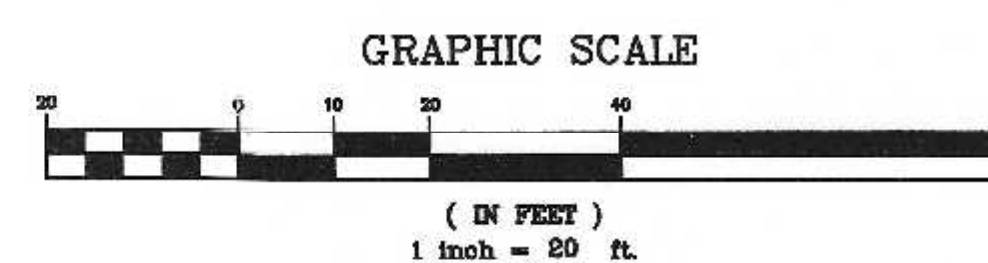


WALKWAY GRADING PLAN
SCALE: 1" = 20'

SITE PLAN
 CONSTRUCTION DETAILS - 4
 100 & 110 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 110 EAST CENTRAL STREET RE, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 JANUARY 5, 2024
 SCALE: 1" = 100'

**SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD**

DATE _____

[illegible]

	DATE		INT
	7/23	FIELD BY:	BL
BK#		FIELD BOOK	PG#
	1/24	CALCS BY:	RRG
	1/24	DESIGNED BY:	RRG
	1/24	DRAWN BY:	COM
12	1/24	CHECKED BY:	CAC

**UNITED
CONSULTANTS
INC.**
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

S	DATE	JAN. 5, 2024
	SCALE	1" = 20'
	PROJECT	UC1587
	SHEET	10 of 10