

Preliminary Subdivision Plan of Land Franklin, Massachusetts

ABUTTERS WITHIN 300'

Abutters List
Date: July 17, 2023
Subject Property ID: 242_027
Search Distance : 300 Feet

242_034
MAGLIARI FELICE N.
MAGLIARI SHELBY
14 MADISON AVE
FRANKLIN, MA 02038

242_029
COLE MARK D
COLE SUSAN M
25 KIMBERLEE AV
FRANKLIN, MA 02038

234_012
TOWN OF FRANKLIN
355 EAST CENTRAL ST
FRANKLIN, MA 02038

235_142
KATHLEEN LABASTIE TRUST
469 MAPLE ST
FRANKLIN, MA 02038

242_028
LECHTER JOSH & ERIN
35 KIMBERLEE AV
FRANKLIN, MA 02038

242_038
MARINO DARREN
MARINO ROSEANNE
26 MADISON AVE
FRANKLIN, MA 02038

242_026
BRADY CHRISTOPHER B
BRADY LISA B
36 KIMBERLEE AV
FRANKLIN, MA 02038

242_025
KESSLER AMY B
32 KIMBERLEE AV
FRANKLIN, MA 02038

242_037
GRIFFINSEAN& KARLY
22 MADISON AVE
FRANKLIN, MA 02038

242_036
WROBLESKI KENT
18 MADISON AVE
FRANKLIN, MA. 02038

242_035
WROBLESKI KENT &
BETRO KENDRE
18 MADISON AVE
FRANKLIN, MA 02038

242_024
GROVE PHILIP H
GROVE DARLENE A
28 KIMBERLEE AVE
FRANKLIN, MA 02038

242_047
LATOUR MATTHEW DENIS
LATOUR CAITLIN ELIZABETH
25 MADISON AVE
FRANKLIN, MA 02038

242_033
GRADY KEVIN T
GRADY SUZANNE M
10 MADISON AVE
FRANKLIN, MA 02038

242_048
CEDARHOLM MATTHEW R
CEDARHOLM TARA A
21 MADISON AV
FRANKLIN, MA 02038

242_030
MORANDI JEFFREY & DEBORA
21 KIMBERLEE AVE
FRANKLIN, MA 02038

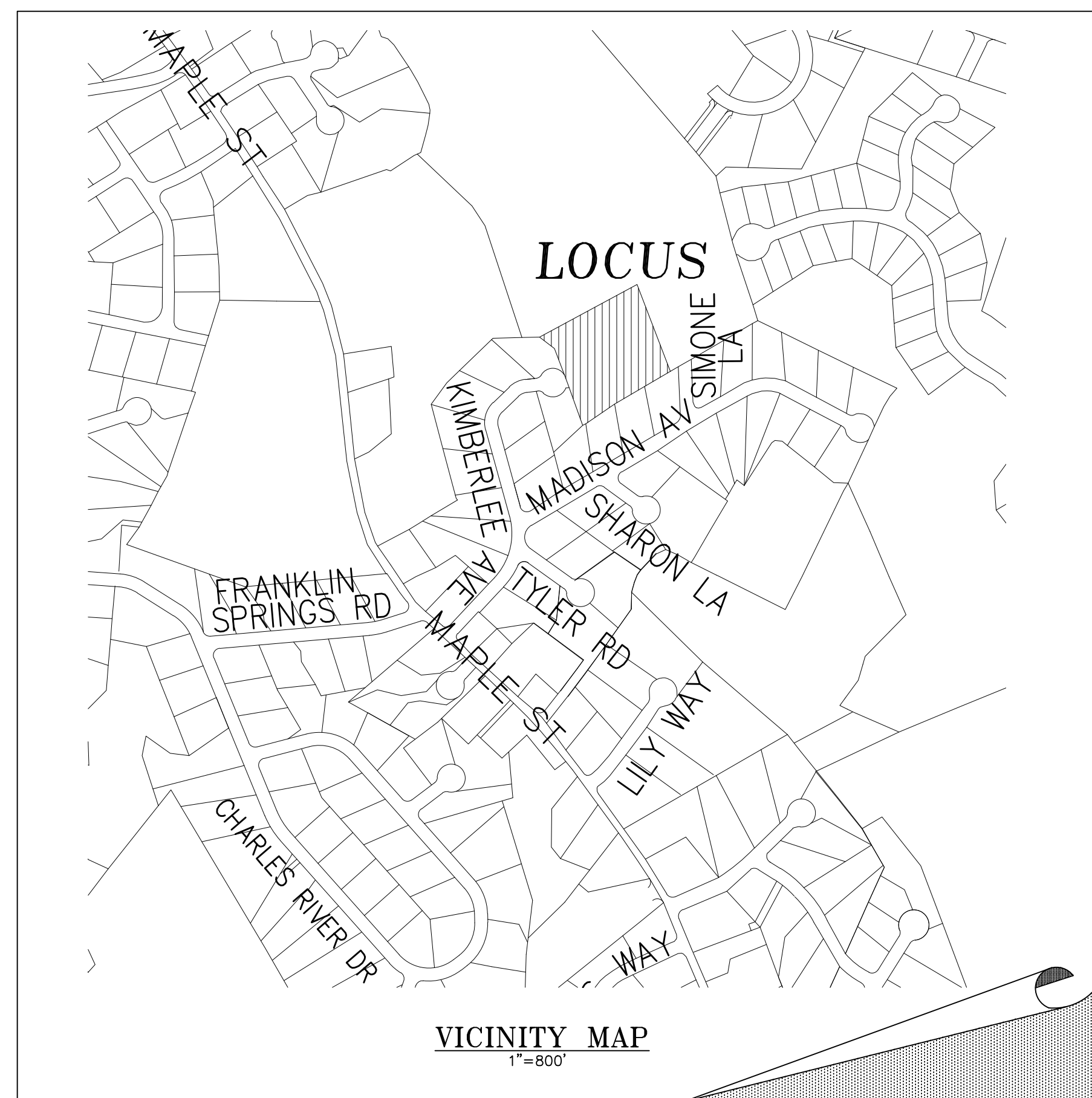
242_032
THOMAS POWDERLY LIVING
TRUST
6 MADISON AVE
FRANKLIN, MA 02038

242_049
JONES EUGENE P
JONES LISA A
17 MADISON ST
FRANKLIN, MA 02038

242_050
MAHONEY FAMILY LIVING TRUST
11 MADISON AV
FRANKLIN, MA 02038

242_031
MONISHA KALLIANPUR REVOC
TRUST
4 MADISON AVE
FRANKLIN, MA 02038

242_053
O'BRIEN DAVID S
O'BRIEN LISA A
5 MADISON AV
FRANKLIN, MA 02038



1. COVER SHEET
2. EXISTING CONDITIONS
3. LOTTING PLAN
4. SITE DEVELOPMENT PLAN

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DRAWING MARKINGS AND OTHER OBSERVED EVIDENCE. FOR A VIEW OF THE UNDERGROUND UTILITIES, THERE SHOULD BE CONSIDERED APPROXIMATE EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DETERMINED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD COMMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY BE CONTRACTORS (IN ACCORDANCE WITH MASS.GLC CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(727333).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

LORENA R. FITZGERALD
441 MAPLE STREET
FRANKLIN, MA 02039

A.M. 242 LOT 27
DEED BK. 35754 PG. 562

APPLICANT

JOEL D'ERRICO
72 DEERVIEW WAY
FRANKLIN, MA 02038

PRELIMINARY
SUBDIVISION
PLAN OF LAND
BALSAM ESTATES
FRANKLIN
MASSACHUSETTS

COVER

SEPTEMBER 5, 2023

DATE	REVISION DESCRIPTION
10.06.2023	PER COMMENTS.



SHEET 1 OF 4

JOB NO.	F4631
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PLAN REFERENCES

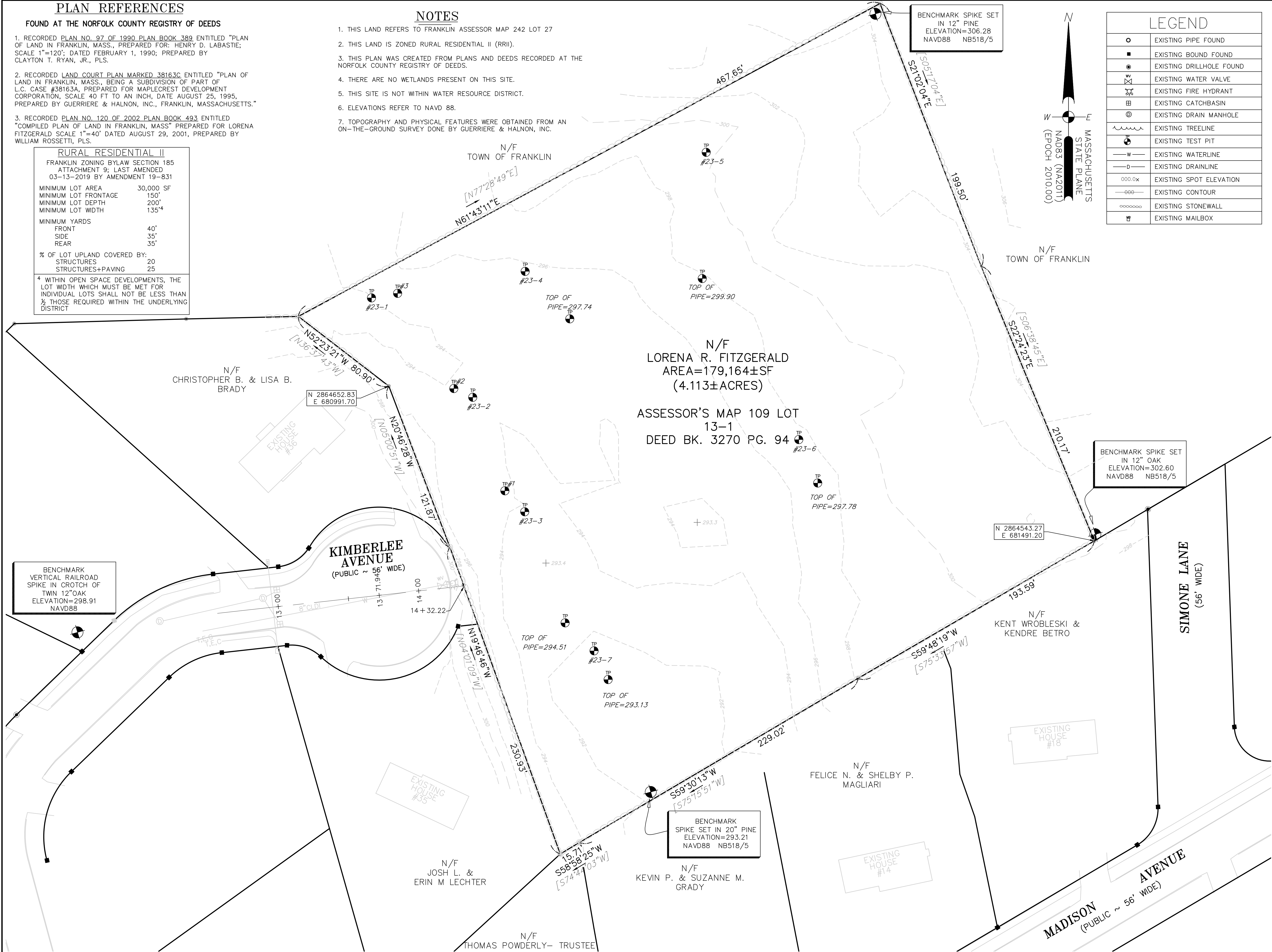
FOUND AT THE NORFOLK COUNTY REGISTRY OF DEEDS

1. RECORDED PLAN NO. 97 OF 1990 PLAN BOOK 389 ENTITLED "PLAN OF LAND IN FRANKLIN, MASS., PREPARED FOR: HENRY D. LABASTIE, SCALE 1"=120', DATED FEBRUARY 1, 1990; PREPARED BY CLAYTON T. RYAN, JR., PLS.
2. RECORDED LAND COURT PLAN MARKED 38163C ENTITLED "PLAN OF LAND IN FRANKLIN, MASS., BEING A SUBDIVISION OF PART OF L.C. CASE #38163A, PREPARED FOR MAPLECREST DEVELOPMENT CORPORATION, SCALE 40 FT TO AN INCH, DATE AUGUST 25, 1995, PREPARED BY GUERRIERE & HALNON, INC., FRANKLIN, MASSACHUSETTS."
3. RECORDED PLAN NO. 120 OF 2002 PLAN BOOK 493 ENTITLED "COMPILED PLAN OF LAND IN FRANKLIN, MASS" PREPARED FOR LORENA FITZGERALD SCALE 1"=40' DATED AUGUST 29, 2001, PREPARED BY WILLIAM ROSSETTI, PLS.

RURAL RESIDENTIAL II	
FRANKLIN ZONING BYLAW SECTION 185	
ATTACHMENT 9; LAST AMENDED	
03-13-2019 BY AMENDMENT 19-831	
MINIMUM LOT AREA	30,000 SF
MINIMUM LOT FRONTAGE	150'
MINIMUM LOT DEPTH	200'
MINIMUM LOT WIDTH	135' ⁴
MINIMUM YARDS	
FRONT	40'
SIDE	35'
REAR	35'
% OF LOT UPLAND COVERED BY:	
STRUCTURES	20
STRUCTURES+PAVING	25
⁴ WITHIN OPEN SPACE DEVELOPMENTS, THE LOT WIDTH WHICH MUST BE MET FOR INDIVIDUAL LOTS SHALL NOT BE LESS THAN 1/2 THOSE REQUIRED WITHIN THE UNDERLYING DISTRICT	

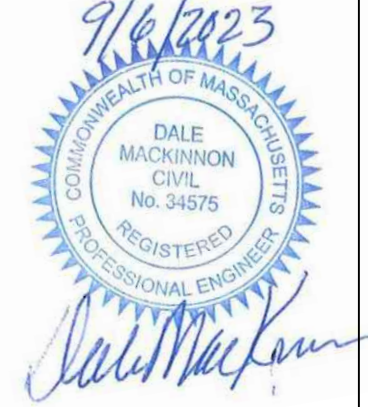
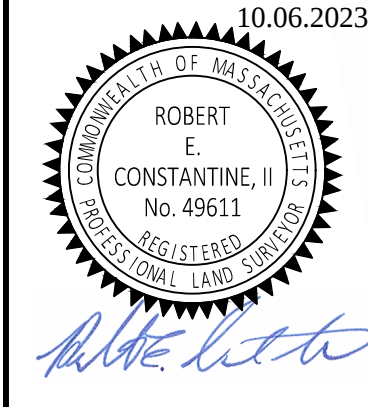
NOTES

1. THIS LAND REFERS TO FRANKLIN ASSESSOR MAP 242 LOT 27
2. THIS LAND IS ZONED RURAL RESIDENTIAL II (RRII).
3. THIS PLAN WAS CREATED FROM PLANS AND DEEDS RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS.
4. THERE ARE NO WETLANDS PRESENT ON THIS SITE.
5. THIS SITE IS NOT WITHIN WATER RESOURCE DISTRICT.
6. ELEVATIONS REFER TO NAVD 88.
7. TOPOGRAPHY AND PHYSICAL FEATURES WERE OBTAINED FROM AN ON-THE-GROUND SURVEY DONE BY GUERRIERE & HALNON, INC.



LEGEND

○	EXISTING PIPE FOUND
■	EXISTING BOUND FOUND
●	EXISTING DRILLHOLE FOUND
W	EXISTING WATER VALVE
⊕	EXISTING FIRE HYDRANT
⊞	EXISTING CATCHBASIN
⊙	EXISTING DRAIN MANHOLE
~	EXISTING TREELINE
—	EXISTING TEST PIT
—	EXISTING WATERLINE
—	EXISTING DRAINLINE
000.0x	EXISTING SPOT ELEVATION
—	EXISTING CONTOUR
—	EXISTING STONEWALL
⊞	EXISTING MAILBOX



F4631

LEGAL NOTES

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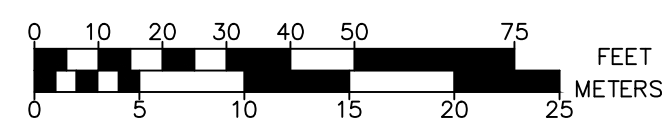
PRELIMINARY
SUBDIVISION
PLAN OF LAND
BALSAM ESTATES
FRANKLIN
MASSACHUSETTS

EXISTING CONDITIONS

SEPTEMBER 5, 2023

DATE	REVISION DESCRIPTION
10.06.2023	PER COMMENTS.

GRAPHIC SCALE: 1"=30'



Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
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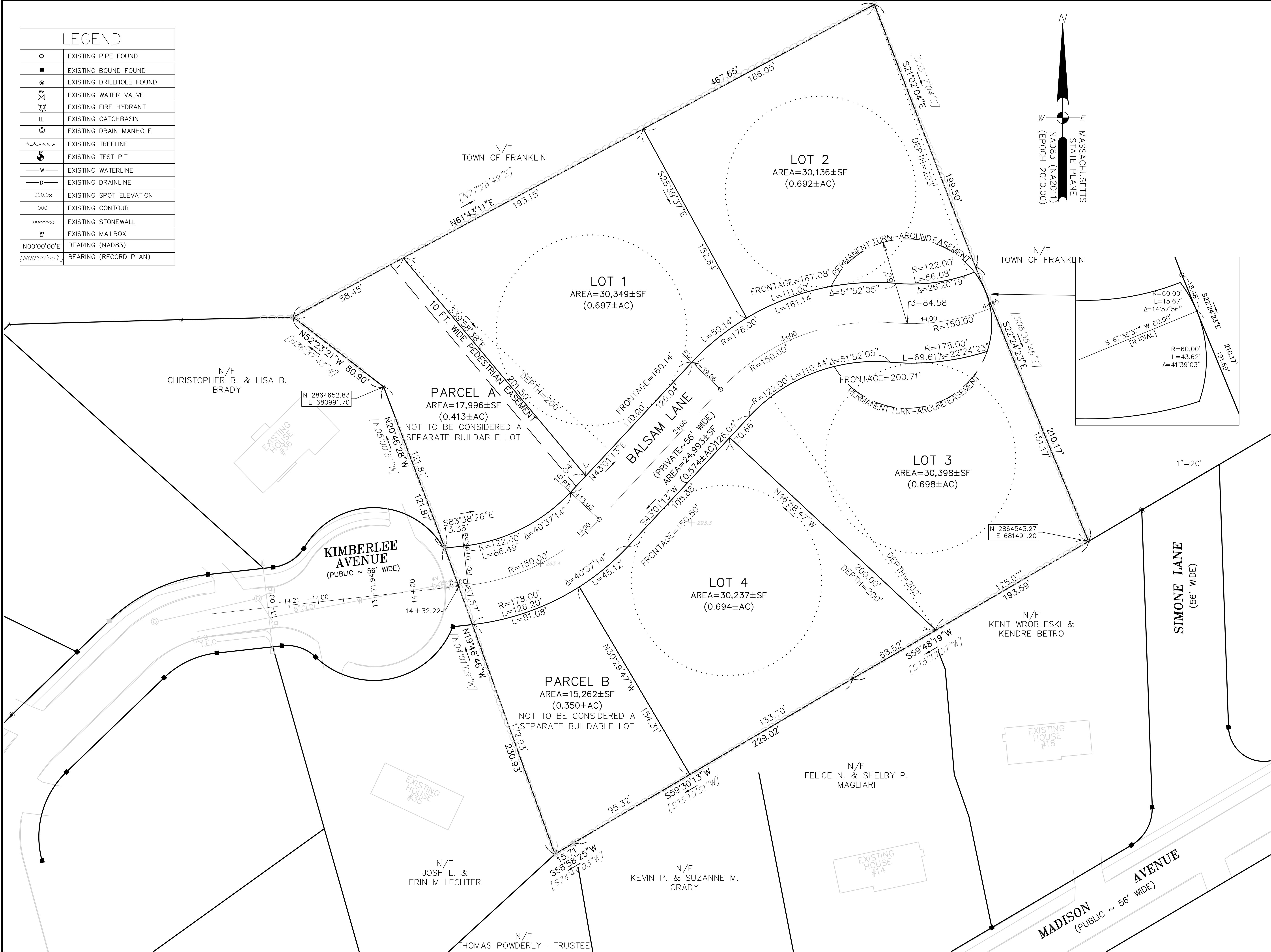
SHEET

2 OF 4

JOB NO.

F4631

LEGEND	
○	EXISTING PIPE FOUND
■	EXISTING BOUND FOUND
●	EXISTING DRILLHOLE FOUND
⊗	EXISTING WATER VALVE
⊕	EXISTING FIRE HYDRANT
⊞	EXISTING CATCHBASIN
⊙	EXISTING DRAIN MANHOLE
~~~~~	EXISTING TREELINE
⊙	EXISTING TEST PIT
—W—	EXISTING WATERLINE
—D—	EXISTING DRAINLINE
000.0x	EXISTING SPOT ELEVATION
—000—	EXISTING CONTOUR
ooooo	EXISTING STONEWALL
⊞	EXISTING MAILBOX
N00°00'00"E	BEARING (NAD83)
[N00°00'00"E]	BEARING (RECORD PLAN)



10.06.2023

ROBERT E. CONSTANTINE, II  
No. 49611  
REGISTERED  
PROFESSIONAL LAND SURVEYOR

9/6/2023

DALE MACKINNON  
No. 34575  
REGISTERED  
PROFESSIONAL ENGINEER

F4631

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FRANKLIN  
MASSACHUSETTS

LOTTING

SEPTEMBER 5, 2023

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0 10 20 30 40 50 75

0 5 10 15 20 25

FEET  
METERS

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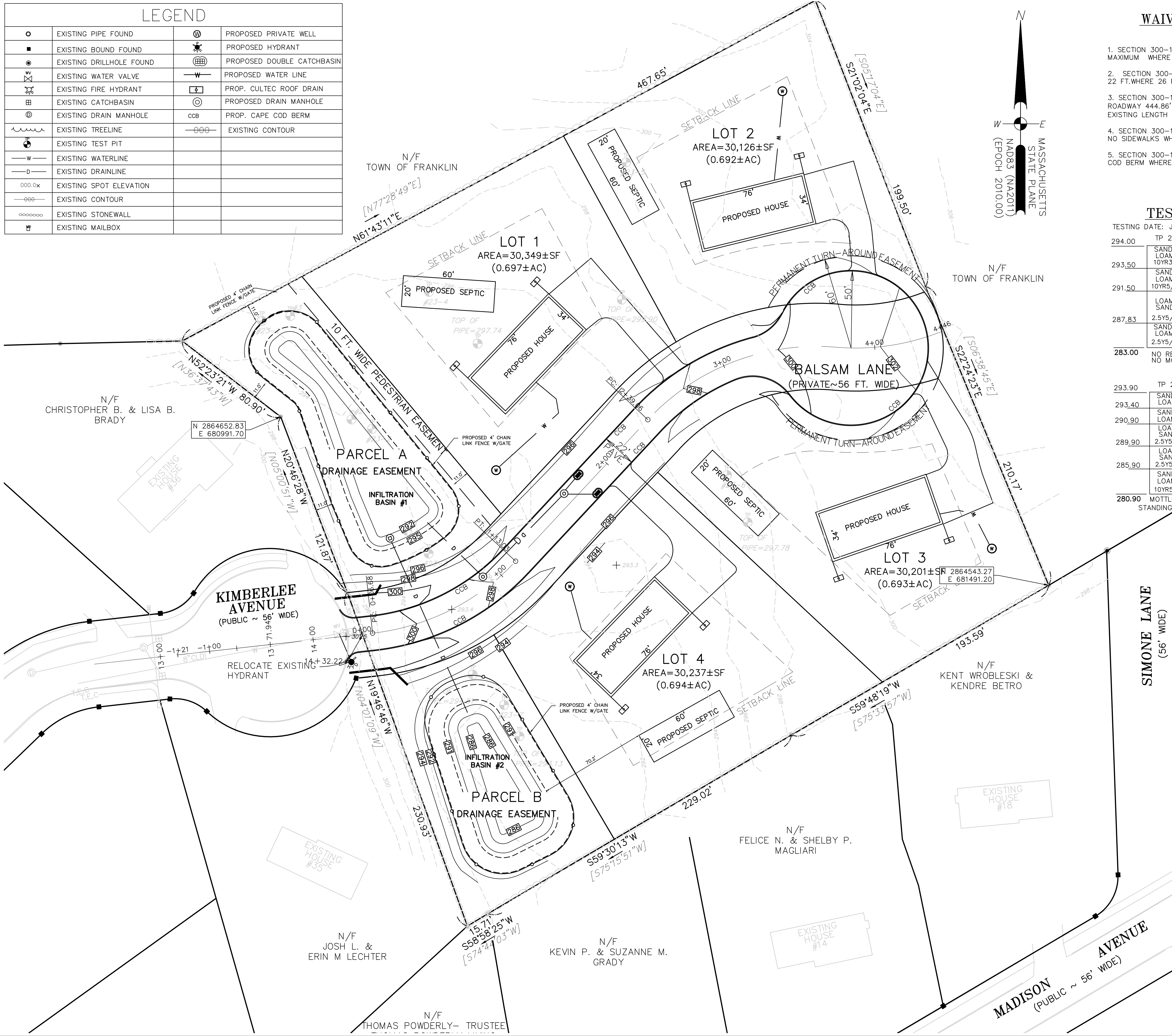
SHEET

3 OF 4

JOB NO.

F4631

LEGEND			
○	EXISTING PIPE FOUND	⊕	PROPOSED PRIVATE WELL
■	EXISTING BOUND FOUND	⋆	PROPOSED HYDRANT
●	EXISTING DRILLHOLE FOUND	⊞	PROPOSED DOUBLE CATCHBASIN
⋈	EXISTING WATER VALVE	—W—	PROPOSED WATER LINE
⋈	EXISTING FIRE HYDRANT	⊞	PROP. CULTEC ROOF DRAIN
⊞	EXISTING CATCHBASIN	⊙	PROPOSED DRAIN MANHOLE
⊙	EXISTING DRAIN MANHOLE	CCB	PROP. CAPE COD BERM
~~~~~	EXISTING TREELINE	—000—	EXISTING CONTOUR
⊕	EXISTING TEST PIT		
—W—	EXISTING WATERLINE		
—D—	EXISTING DRAINLINE		
000.0x	EXISTING SPOT ELEVATION		
—000—	EXISTING CONTOUR		
ooooo	EXISTING STONEWALL		
✉	EXISTING MAILBOX		



WAIVERS REQUESTED

- 1. SECTION 300-10 (D) GRADES (1)(2)(3) CUT/FILL. FILL TO EXCEED 5' MAXIMUM WHERE A MAXIMUM OF 5 FT. IS REQUIRED
- 2. SECTION 300-10 STREETS (C)(1). TO REDUCE PAVEMENT WIDTH TO 22 FT.WHERE 26 FT. IS REQUIRED.
- 3. SECTION 300-10 (E) DEAD END STREETS (4) TO EXTEND THE ROADWAY 444.86' BEYOND THE EXISTING KIMBERLEE AVE WHICH HAS AN EXISTING LENGTH OF 1371.94' WHERE 600 FT MAXIMUM IS REQUIRED.
- 4. SECTION 300-13 OTHER IMPROVEMENTS A SIDEWALKS(1). TO INSTALL NO SIDEWALKS WHERE TWO SIDEWALKS ARE REQUIRED.
- 5. SECTION 300-10 STREETS (H) CURBING. TO ALLOW MODIFIED CAPE COD BERM WHERE SLANT GRANITE CURB IS REQUIRED.

TESTING INFORMATION

TESTING DATE: JULY 27, 2023 SOIL EVALUATOR: MICHAEL HASSETT

TP 23-1			TP 23-2		
294.00	SANDY LOAM 10YR3/2	0"-6"	294.50	SANDY LOAM A	0"-6"
293.50	SANDY LOAM 10YR5/6	6"-30"	292.50	SANDY LOAM B	6"-24"
291.50	LOAMY SAND 2.5Y5/3	30"-74"	289.83	FINE LOAMY SAND 2.5Y5/2	24"-56"
287.83	LOAMY SAND 2.5Y5/3	C-1	286.50	GRAVELLY LOAMY SAND 2.5Y5/3	56"-96"
	SANDY LOAM 2.5Y5/4	74"-132"		SANDY LOAM 10YR5/4	2.5Y5/3 C-2
283.00	NO REFUSAL NO MOTILES		283.17	NO REFUSAL	

TP 23-3			TP 23-4		
293.90	SANDY LOAM A	0"-6"	295.80	SANDY LOAM A	0"-6"
293.40	SANDY LOAM B	6"-36"	295.30	SANDY LOAM A	0"-6"
290.90	LOAMY SAND 2.5Y5/2	36"-48"	292.80	SANDY LOAM B	6"-36"
289.90	LOAMY SAND 2.5Y5/2	C-1			
285.90	LOAMY SAND 2.5Y5/3	48"-96"		LOAMY SAND	36"-132"
	SANDY LOAM 10YR5/4	96"-156"			
280.90	MOTTLES@48" STANDING WATER@132"		284.80	NO REFUSAL NO MOTILES	

TP 23-5		
299.80	SANDY LOAM 10YR3/3	0"-6"
299.30	SANDY LOAM 10YR5/6	6"-36"
296.80	LOAMY SAND	36"-120"
	ANGULAR ROCKS	C
289.80	NO REFUSAL NO MOTILES	

TP 23-6		
297.50	SANDY LOAM A	0"-6"
297.00	SANDY LOAM B	6"-30"
295.00	SAND 2.5Y4/3	30"-54"
293.00	LOAMY SAND	C-1
		54"-105"
288.75	NO REFUSAL NO MOTILES	

TP 23-7		
291.80	SANDY LOAM A	0"-6"
291.30	SANDY LOAM B	6"-36"
288.80	LOAMY SAND	36"-78"
285.30	LOAMY SAND W/ GRAVEL	C-1
		78"-128"
281.13		

10.06.2023

9/6/2023

F4631

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