

TOWN OF FRANKLIN
INSPECTION DEPARTMENT
Building Inspection – Division of Wires – Division of Gas
Division of Plumbing
MUNICIPAL BUILDING – 355 East Central Street
Franklin, Massachusetts 02038

Lloyd (Gus) Brown
Building Commissioner

Telephone: 508-520-4926
FAX: 508-520-4906

ZONING REVIEW

APPLICANT Lawrence Lavoie

LOCATION: 275 Washington Street

ZONING DISTRICT: Industrial

TYPE OF PROJECT: Operate a Dog Day Care and a Day Time Kennel Facility
Monday-Friday 6:30AM to 6:30PM

DATE: 08/15/2024 **DENY**

Special Permit

ZONING BY LAW SECTIONS: 185 Attachment 3 Use Regs Sch Part II Section
2.2 and 2.21

REASON FOR DENIAL: Applicant is seeking to operate a dog daycare and a
day time kennel facility Monday-Friday 6:30AM-6:30PM. The use is denied
without a Special Permit from the ZBA.

APPEAL OF DENIAL OPTIONS:

ZONING BOARD OF APPEALS

APPLICANT SIGNATURE _____ **DATE**

ZONING OFFICIAL SIGNATURE LAB _____ **DATE** 08/15/2024

TOWN OF FRANKLIN
ZONING BOARD OF APPEALS

Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926

RECEIVED
TOWN OF FRANKLIN

AUG 15 2024

ZONING BOARD OF APPEALS

ZBA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Zoning Board of Appeals for the following:

Special Permit: Variance: Appeal:

PETITIONER: Lawrence Lavoie

PETITIONER'S ADDRESS: 1-122 Gatehouse Ln. Franklin PHONE: 781 606 1948

LOCATION OF PROPERTY: 275 Washington St. Franklin, MA

TYPE OF OCCUPANCY: Business ZONING DISTRICT: Industrial

ASSESSORS MAP & PARCEL: 304 064 000 000

REASON FOR PETITION:

- Additions
- Change in Use/Occupancy
- Conversion to Addi'l Dwelling Unit's
- Dormer
- Other: Dog day care
- New Structure
- Parking
- Sign
- Subdivision

DESCRIPTION OF PETITIONER'S PROPOSAL:

To open a dog day care business in the space at 275 Washington St, offering day boarding of dogs Monday through Friday 6:30am - 6:30pm.

SECTIONS OF ZONING ORDINANCE CITED:

Article _____ Section _____

Article _____ Section _____

Article _____ Section _____

Applicants for a **Variance** must complete Pages 1-5
Applicants for a **Special Permit** must complete Pages 1-4 and 6
Applicants for an **Appeal** to the ZBA pursuant to Zoning Bylaw section 185-45 (D) must attach a statement concerning the reasons for the appeal

Original Signature(s): *Lawrence J. Lavoie*

(Petitioner(s)/Owner)

Lawrence J. Lavoie

(Print Name)

Address: 1-122 Gatehouse Lane Franklin, MA

Tel. No.: 781-606-1948

E-Mail Address: trac411@msn.com

Date: 8-2-24

**TOWN OF FRANKLIN
ZONING BOARD OF APPEALS**

Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926

ZBA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Lawrence Lavoie PRESENT USE/OCCUPANCY: New building
 LOCATION: 275 Washington Street ZONE: Industrial
 PHONE: 781 606 1947 REQUESTED USE/OCCUPANCY: Dog daycare

		<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u>
<u>Lot Area:</u>		<u>6.153 Acres</u>		(min.)
<u>Continuous Frontage:</u>		<u>253.47'</u>		(min.)
<u>Size of Lot:</u>	Width	<u>1,120'</u>		(min.)
	Depth	<u>240'</u>		(min.)
<u>Setbacks in Feet:</u>	Front	<u>99.9'</u>		(min.)
	Rear	<u>110.3'</u>		(min.)
	Left Side	<u>100.4'</u>		(min.)
	Right Side	<u>31.0'</u>		(min.)
<u>Building Height:</u>	Stories	<u>1</u>		(max.)
	Feet	<u>21'</u>		(max.)
<u>NO. of Dwelling Units:</u>		<u>3</u>		(max.)
<u>NO. of Parking Spaces:</u>		<u>144</u>		(min./max)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Please see attached



ZBA APPLICATION FORM
SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria in accordance with Zoning Bylaw Section 185-45(D)(2)(a) referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits for which additional criteria must be met under the Zoning Bylaw.

185-45(D)(2)(A) BOARD OF APPEALS: TO HEAR AND DECIDE APPLICATIONS FOR SPECIAL PERMITS UPON WHICH THE BOARD IS EMPOWERED TO ACT UNDER THIS CHAPTER. SPECIAL PERMITS SHALL BE GRANTED BY THE BOARD OF APPEALS ONLY UPON ITS WRITTEN DETERMINATION THAT THE PROPOSED USE WILL NOT HAVE ADVERSE EFFECTS WHICH OVERBALANCE ITS BENEFICIAL EFFECTS ON EITHER THE NEIGHBORHOOD OR THE TOWN, IN VIEW OF THE PARTICULAR CHARACTERISTICS OF THE SITE AND OF THE PROPOSAL IN RELATION TO THAT SITE. THIS DETERMINATION SHALL BE IN ADDITION TO THE FOLLOWING SPECIFIC FINDINGS:

- (1) Proposed project addresses or is consistent with neighborhood or Town need.

- (2) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.

- (3) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.

- (4) Neighborhood character and social structure will not be negatively impacted.

- (5) Project will not destroy or cause substantial damage to any environmentally significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication, or compensatory measures are adequate.

- (6) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.

- (7) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.

#1) There are over 3,200 dog licenses in the town and only 3 dog day care facilities available. The business will offer residents greater options.

#2) The proposed business will be a pick up and drop off business with peak morning and afternoon hours. Parking needs will be minimal and not strain the current parking allotments.

#3) 275 Washington Street is a brand new building, approved by the town. The roadway and infrastructure are adequate for the proposed business.

#4) The proposed business will not interfere with neighborhood character and/or social structure. It will add a valued service for dog owners looking for an option to board their dogs while they're at work etc. The hours of operation will be from 6:30 am to 6:30 pm. Monday through Friday.

#5) The proposed business will not disturb, disrupt or cause any environmental damage what-so-ever. We commit to using environmentally safe cleaning products in all of our operations and cleaning procedures.

#6) The proposed business will not directly abut any other properties and will at all times maintain a clean facility that will be cleaned daily. Noise will be minimal and not intrusive to fellow tenants in the development.

#7) Water use will not ever be excessive. Cleaning procedures will be mindful of environment conditions. Proper drainage exists in the proposed space.

TOWN OF FRANKLIN
ZONING BOARD OF APPEALS

Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926

ZBA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed and returned to the Secretary of the Zoning Board of Appeals.

I/We PETER GENTA, MGR FRANKLIN FLEX SPACE LLC
(OWNER)

Address: 13 CLOVELLY RD; WELLESLEY, MA 02481

State that I/We own the property located at 275 WASHINGTON STREET
which is the subject of this zoning application. FRANKLIN, MA 02038

The record title of this property is in the name of _____
FRANKLIN FLEX SPACE LLC

*Pursuant to a deed of duly recorded in the date 8 MAR 2022, Norfolk
County Registry of Deeds at Book 40370, Page 268; or
Dedham Registry District of Land Court, Certificate No. 20761
Book _____ Page _____



SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

EXECUTED as a sealed instrument this 4th day of March, 2022.

OFFICIAL OFFICIAL

THE ABBRUZZI REALTY TRUST

COPY

by:

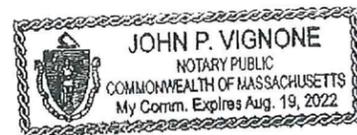
James Colace
JAMES A. COLACE, TRUSTEE

Commonwealth of Massachusetts

Norfolk, ss

On this 4th day of March, 2022, before me, the undersigned notary public, personally appeared **JAMES A. COLACE, Trustee of THE ABBRUZZI REALTY TRUST**, proved to me through satisfactory evidence of identification, being (check whichever applies): *Driver's License or other state or federal governmental document bearing a photographic image*, *Oath or Affirmation of a credible witness known to me who knows the above signatory*, or *My Own personal knowledge of the identity of the signatory*, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

John P. Vignone
John P. Vignone, Notary Public
My commission expires: 8/19/2022



RECEIVED
TOWN OF FRANKLIN
AUG 13 2024
BUILDING & INSPECTION
DEPARTMENT

Town of Franklin
355 East Central Street
Franklin, Massachusetts 02038-1332
Phone: (508) 520-1507
www.franklinma.gov

TOWN OF FRANKLIN
DEPARTMENT OF PUBLIC WORKS
Franklin Municipal Building
355 East Central Street
Franklin, MA 02038-1334

March 1, 2022
Nancy Danello, Town Clerk
Town of Franklin
355 East Central Street
Franklin, MA 02038

January 20, 2022
Mr. Greg Rondenu, Chairman
Members of the Franklin Planning Board
355 East Central Street
Franklin, MA 02038

CERTIFICATE OF VOTE
Site Plan
Washington Street

Site Plan: "Site Plan, Washington Street, Franklin, MA"
Owner: Abruzzi Realty Trust
55 South Street
Franklin, MA 02038
Applicant: Franklin Flex Space, LLC
13 Cloverly Road
Wellesley, MA
Prepared By: United Consultants, Wrentham, MA
Surveyor/Engineer: June 21, 2021
Date: Map 304 Lot 064
Property Location:

RE: Site Plan - Washington Street Flex Space
Dear Mr. Chairman and Members:

Dear Mrs. Danello:
Please be advised that at its meeting on Monday, February 28, 2022 the Planning Board voted (4-0-1), upon motion duly made and seconded to APPROVE, with conditions and Special Conditions, the above referenced Site Plan. The Conditions of Approval are listed on pages 2-3, attached hereto. Both the Certificate of Vote as well as the conditions of approval shall be referenced on the site plan.

We have reviewed the latest materials for the subject project and offer the following:
The applicant has provided a letter from a geotechnical engineer regarding the proposed steep slopes on the site. That engineer indicated that they would be providing designs for the long term soil stability on the site. We recommend that this be completed prior to approval of the project, or if the Board decides to approve this project as shown, it is conditioned that the submission of the soil stabilization designs be completed prior to the start of construction.

Sincerely,
Gregory Rondenu, Chairman
Franklin Planning Board

As we previously noted, the construction of the proposed slopes will extend right up to the property line behind the abutting homes. If approved by the Board, we recommend as a condition that the property line along the top of the proposed slope be staked out at least every 100 feet to help ensure construction activity does not extend onto the adjacent properties.

Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,
Michael Maglio, P.E.
Town Engineer

cc: Owner/Applicant/ Applicant's Engineer

CERTIFICATE OF VOTE
Site Plan
Washington Street

- The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
- Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form II). Said inspection is further outlined in condition #1.
- No alteration of these plans shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
- All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
- Prior to the endorsement of the site plan, the following shall be done:
 - The owner/applicant shall provide the entire list of conditions and this Certificate of Vote on the front page of the plans.
 - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
 - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
- All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the approved plan have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agents shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.
- Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
- The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.
- Maintenance and repair of the parking area, water supply system, sewer pipes, electric distribution system, and stormwater system shall be the responsibility of the owner/applicant and shall never be the responsibility of the Town and the Town shall never be required to perform any service, repair or maintenance with respect to said areas, or any of the aforementioned systems within the subject

property. The Town will never be required to provide snow plowing or trash pickup, with respect to the subject property.

- Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Observation Contractor.

CERTIFICATE OF VOTE
Wolver
Washington Street

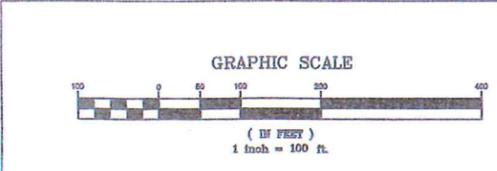
- To allow less than 42" of cover over the RCP drain pipe. Proposed use of Class V RCP
- To allow the use of HDPE pipe for the manifolds and Pond 1, Pond 2, Pond 3 and the Trench Drains
- Light spillage allowed only on the NE Power Co. parcel. Light is not to spill on the abutting residential properties
- To allow the plantings of the 15 foot buffer to be completed as shown on sheet 5, per section 185-55.C.

CERTIFICATE OF VOTE
Special Conditions
Washington Street

- Applicant is to provide soil stabilization designs prior to the start of construction.
- The property line along the top of the proposed slope is to be staked out at least every 100 feet to help ensure construction does not extend onto the adjacent property.
- The retaining wall details are to be submitted and reviewed prior to the start of the construction.
- The parking areas on the plan are to be completed with each phase of development.
- Prior to endorsement, a note will be added to the plans to say -The builder will have a structural engineer on site during the construction phase to design a wall where needed using large boulders or concrete blocks, as stated in the attached letter from Mike Maglio, Town Engineer
- Prior to endorsement, provide a color sketch outlining each phase with parking spaces.
- The owner will not be allowed to lease or sell units to tenants with industrial activities that are subject to the NPDES Multi-sector permit. All industrial activities will take place within the building.
- The Applicant/Owner shall provide source control and pollution plans to be submitted for each Industrial tenant prior to occupancy.
- The Applicant/Owner shall provide a signed statement to include a pollution prevention plan with measures to prevent illicit discharges to the stormwater management system, including wastewater discharges and discharges of stormwater contaminated by contact with process wastes, raw materials, toxic pollutants, hazardous substances, oil, or grease.

SITE PLAN
CERTIFICATE OF VOTE
WASHINGTON STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS
JUNE 28, 2021
SCALE: 1" = 100'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD
4/11/22
DATE



NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
3	1/28/22	REVIEW COMMENTS	RRG
2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG

DATE	FIELD BY:	INT.
5/21	BL	BL
BK#	FIELD BOOK	PG#
6/21	RRG	RRG
6/21	RRG	RRG
6/21	COMP	COMP
6/21	CAQ	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8560 FAX 508-384-8566

DATE	JUNE 28, 2021
SCALE	1" = 100'
PROJECT	UC1502
SHEET	1 of 11

SITE PLAN 275 WASHINGTON STREET FRANKLIN MASSACHUSETTS

ZONING:

THE WASHINGTON STREET SITE IS LOCATED WITHIN AN INDUSTRIAL ZONE.

	REQUIREMENTS:	EXISTING	PROPOSED
INDUSTRIAL ZONE			
AREA:	40,000 S.F.	288,038± S.F.	288,038± S.F.
FRONTAGE:	175'	253.47'	253.47'
DEPTH:	200'	299.9'	299.9'
HEIGHT:	3 STORIES *6	-	22' - 1 STORY
WIDTH:	157.5'	-	REFER TO 185-10.B.

COVERAGE - STRUCTURES:	70%	-	16.9 %
STRUC. & PAVING:	80%	-	51.1%

SETBACKS- FRONT:	40'	-	99.9'
RIGHT SIDE:	30' *5	-	31.0'
LEFT SIDE:	30' *5	-	100.4'
REAR:	30' *5	-	110.3'

*5 - INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE, WHEN ABUTTING A RESIDENTIAL USE
*6 - BUILDINGS UP TO 60 FEET IN HEIGHT MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

LOT COVERAGE CALCULATION AREA BASED ON UPLAND AREA

THE ENTIRE PROPERTY IS LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT AND A DEP ZONE II. THE SITE AREA PROPOSED FOR DEVELOPMENT IS LOCATED IN A ZONE X BASED ON FEMA FIRM MAP 25021C0308E DATED JULY 17, 2012.

AREA WITHIN THE WATER RESOURCE DISTRICT - 288,038± SQ. FT.
UPLAND AREA WITHIN THE WATER RESOURCE DISTRICT - 243,477± SQ. FT.
IMPERVIOUS AREA WITHIN THE WATER RESOURCE DISTRICT - 138,999± SQ. FT.
COVERAGE WITHIN THE WATER RESOURCE DISTRICT - = 56.3%

WASHINGTON STREET:
PROPOSED BUILDINGS USE - OFFICE, WAREHOUSE AND LIGHT MANUFACTURING
OFFICE - SEE 185 ATTACHMENT 3 - 2.3 - ANTICIPATED WATER USAGE - 1,498 GPD
WAREHOUSE - SEE 185 ATTACHMENT 4 - 3.10
LIGHT MANUFACTURING - SEE 185 ATTACHMENT 4 - 3.5.b. ANTICIPATED WATER USAGE - 1,498 GPD

HOUSE OF OPERATION 7 AM TO 5 PM - OFFICE HOURS OF OPERATION 7 AM TO 10 PM
MONDAY THROUGH SATURDAY.

REFERENCES:

ASSESSORS MAP 304 PARCEL 064-000-000
DEED BOOK 39157 PAGE 493
ASSESSORS MAP 304 PARCEL 064-001-000
DEED BOOK 36281 PAGE 195
PLAN 160 OF 1992
PLAN 80 OF 2006
PLOT PLAN BY GUERRIERE & HALNON INC. DATED SEPTEMBER 13, 2003.
RIGHT OF WAY AND TRACK MAP STATIONS 20+98.18 TO STATION 73+80 DATED JUNE 30, 1915.
PLAN 829 OF 1961.

DRAWING INDEX:

1. CERTIFICATE OF VOTE AND DECISION
 2. COVER SHEET
 3. EXISTING CONDITIONS PLAN
 4. SITE LAYOUT PLAN
 5. SITE GRADING AND UTILITY PLAN
 6. SITE PLANTING PLAN
 7. EROSION CONTROL PLAN
 8. CONSTRUCTION DETAILS - 1
 9. CONSTRUCTION DETAILS - 2
 10. CONSTRUCTION DETAILS - 3
 11. CONSTRUCTION DETAILS - 4
- SITE LIGHTING-LIGHTING PLAN, PHOTOMETRICS AND SCHEDULES BY SK & ASSOCIATES

OWNERS:

MAP 304 PARCEL 064-000
ABRUZZI REALTY TRUST
55 COUTU STREET
FRANKLIN, MASSACHUSETTS

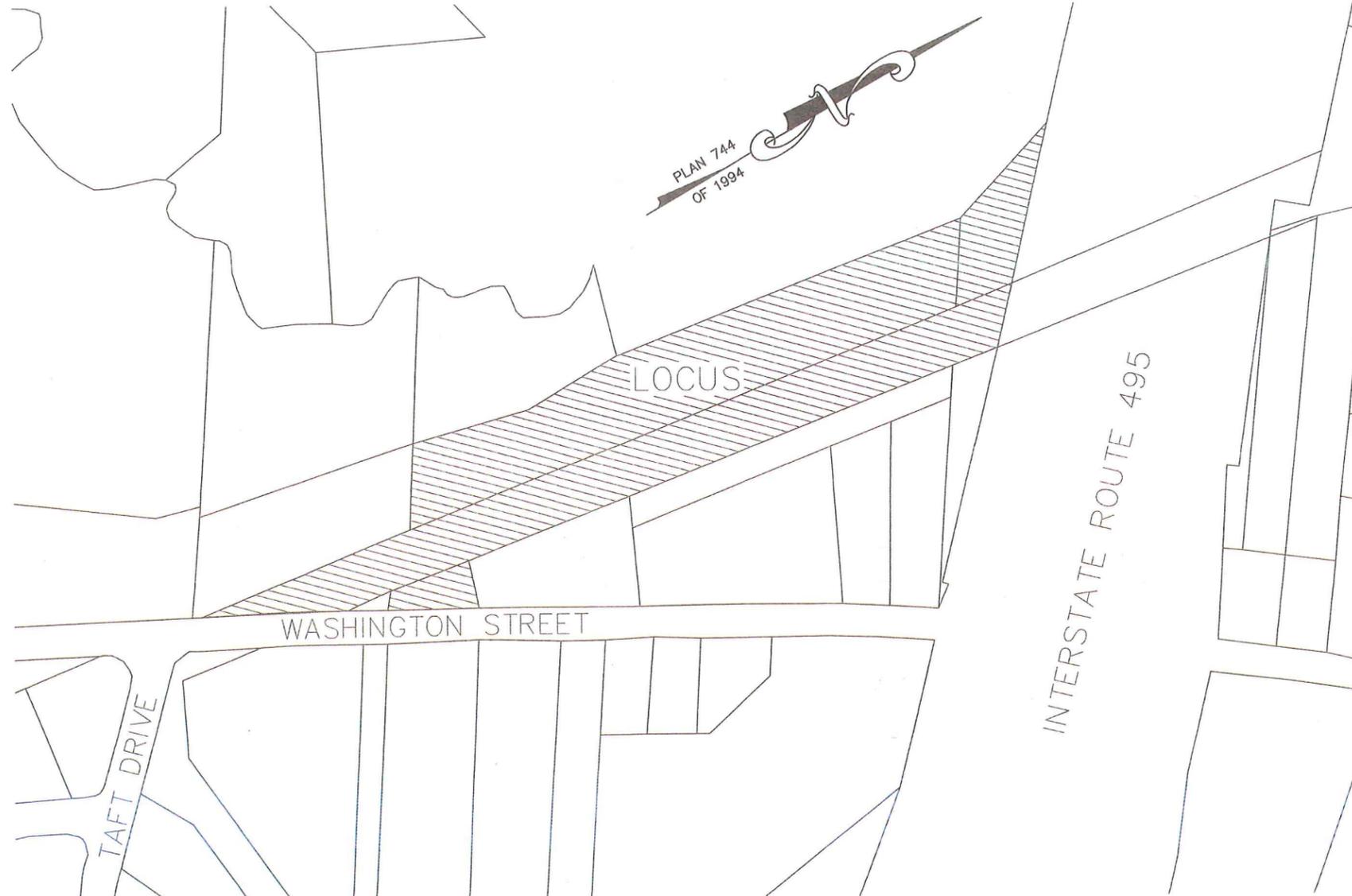
MAP 304 PARCEL 064-001
FERRARA FAMILY REALTY TRUST
PO BOX 492
FRANKLIN, MA 02038

APPLICANT:

FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS

GENERAL CONTRACTOR:

A & H BUILDING PARTNERS
- DESIGN BUILD - CONSTRUCTION MANAGERS
- OWNERS REPRESENTATION - DUE DILLIGENCE ANALYSIS
MEDWAY MASSACHUSETTS



WAIVER REQUESTED:

1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
2. TO ALLOW THE USE OF HDPE PIPE FOR THE MANIFOLDS AND POND 1, POND 2, POND 3 AND THE TRENCH DRAINS.
3. TO ALLOW MINIMAL LIGHT SPILLAGE ONTO THE WASHINGTON STREET RIGHT OF WAY.
4. TO ALLOW THE PLANTING OF THE 15 FOOT BUFFER STRIP TO BE COMPLETED AS SHOW ON SHEET 5. SECTION 185-35C

LOCUS MAP
SCALE: 1" = 100'

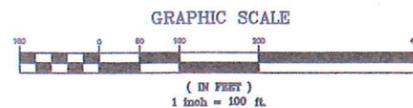
- REFERENCE CERTIFICATE OF VOTE - SITE PLAN WASHINGTON STREET AS WELL AS THE STANDARD AND SPECIAL CONDITIONS OF APPROVAL.
DATED MARCH 1, 2022 RECORDED WITH THE TOWN CLERK ON MARCH 8, 2022.
- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.



Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

SITE PLAN
COVER SHEET
275 WASHINGTON STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS
JUNE 28, 2021
SCALE: 1" = 100'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD
4/11/22
DATE
William Damm



NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
3	1/28/22	REVIEW COMMENTS	RRG
2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG

DATE	FIELD BY:	INT.
5/21	FIELD BOOK	BL
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6568

DATE: JUNE 28, 2021
SCALE: 1" = 100'
PROJECT: UC1502
SHEET: 2 of 11

JUNE 10, 2021, JUNE 16, 2021 AND NOVEMBER 23, 2021

PERFORMED BY:
CARLOS A. QUINTAL, P.E., SOIL EVALUATOR
RICHARD GOODREAU

PT 3 ELEV. = 249.41
0 - 6" A - 10 YR 3/2 SANDY LOAM
6" - 23" B - 7.5 YR 5/4 SANDY LOAM
23" - 78" C - 2.5Y 4/3 MEDIUM SAND
NO GROUNDWATER OR MOTTLING OBSERVED
PERMEABILITY RATE = 36.22 IN/HR

PT 4 ELEV. = 253.35
0 - 12" A - 10 YR 3/2 SANDY LOAM
12" - 38" B - 7.5 YR 5/4 SANDY LOAM
38" - 96" C - 2.5Y 4/3 SAND & GRAVEL
NO GROUNDWATER OR MOTTLING OBSERVED
PERMEABILITY RATE = 51.6 IN/HR

PT 5 ELEV. = 248.34
0 - 4" A - 10 YR 3/3 SANDY LOAM
4" - 32" B - 7.5 YR 4/4 SANDY LOAM
32" - 90" C - 2.5Y 4/4 SAND & GRAVEL
NO GROUNDWATER OR MOTTLING OBSERVED
PERMEABILITY RATE = 53.3 IN/HR

PT 6 ELEV. = 245.75
0 - 8" A - 10 YR 3/3 SANDY LOAM
8" - 30" B - 7.5 YR 4/4 SANDY LOAM
30" - 98" C - 2.5Y 4/4 SAND & GRAVEL
NO GROUNDWATER OR MOTTLING OBSERVED
PERMEABILITY RATE = 8.94 IN/HR

PT 7 ELEV. = 251.56
0 - 7" A - 10 YR 3/3 SANDY LOAM
7" - 20" B - 7.5 YR 4/4 SANDY LOAM
20" - 72" C - 2.5Y 4/4 SAND & GRAVEL
NO GROUNDWATER OR MOTTLING OBSERVED
PERMEABILITY RATE = 30.4 IN/HR

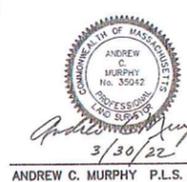
PT 8 ELEV. = 282.70
0 - 6" A - 10 YR 3/3 SANDY LOAM
6" - 38" B - 7.5 YR 4/4 SANDY LOAM
38" - 112" C - 2.5Y 4/4 SAND & GRAVEL
NO GROUNDWATER OR MOTTLING OBSERVED
PERMEABILITY RATE = 47.5 IN/HR

PT 10 ELEV. = 253.7
0 - 6" A - 7.5 YR 3/2 SANDY LOAM
6" - 40" B - 7.5 YR 4/6 SANDY LOAM
40" - 82" C1 - 2.5 Y 5/4 SAND & GRAVEL
82" - 124" C3 - 2.5Y 5/4 LOAMY SAND & GRAVEL
GROUNDWATER STANDING AT 124" ELEV = 243.37
PERMEABILITY RARE = 21.6 IN / HR

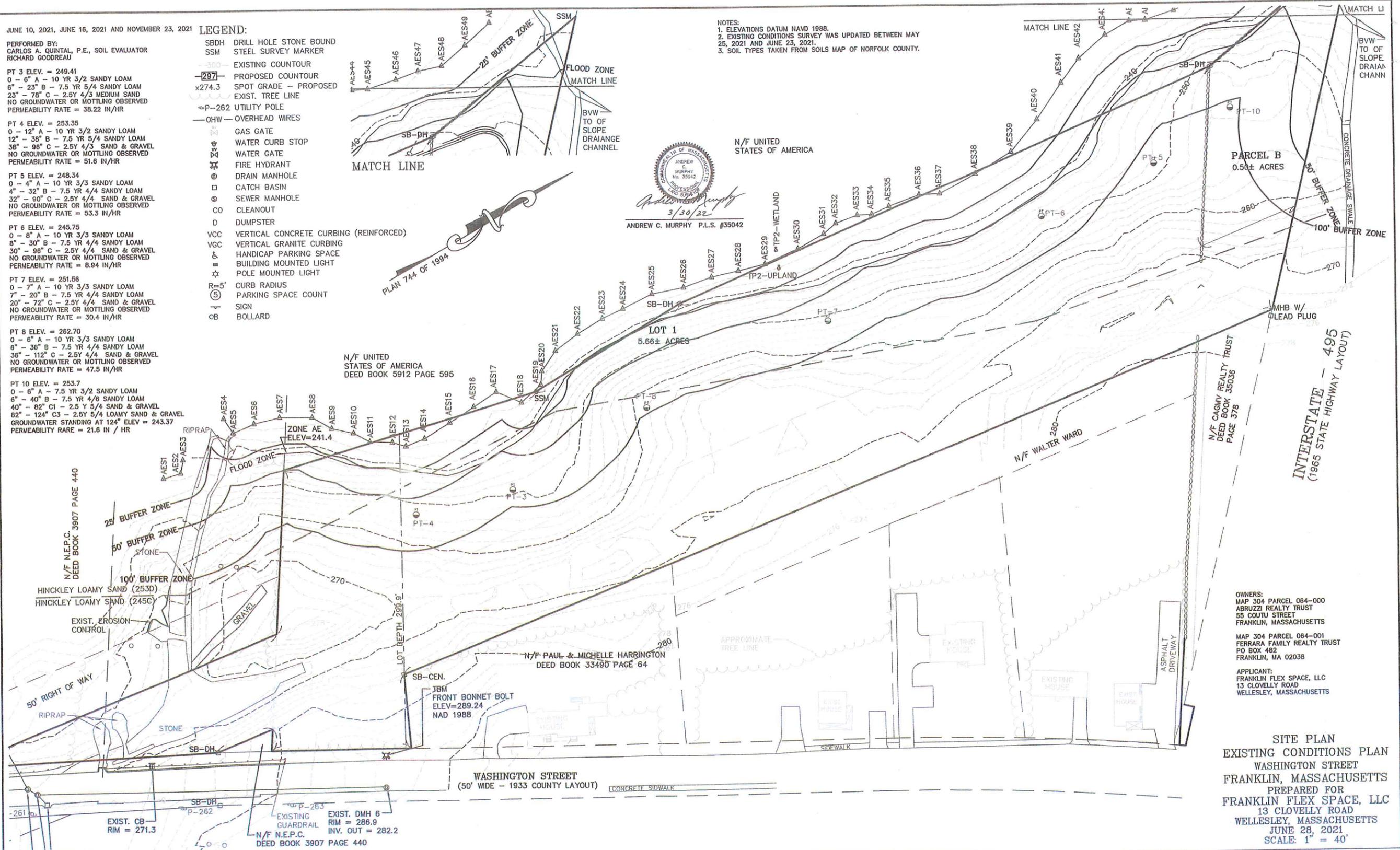
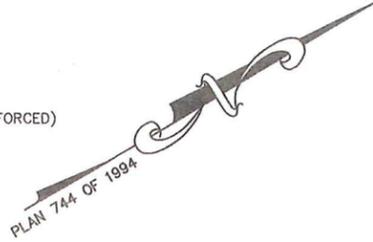
LEGEND:

- SBDH DRILL HOLE STONE BOUND
- SSM STEEL SURVEY MARKER
- 300 EXISTING COUNTOUR
- 297 PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- EXIST. TREE LINE
- P-262 UTILITY POLE
- OHV OVERHEAD WIRES
- GAS GATE
- WATER CURB STOP
- WATER GATE
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- CLEANOUT
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT
- R=5' CURB RADIUS
- (5) PARKING SPACE COUNT
- SIGN
- OB BOLLARD

NOTES:
1. ELEVATIONS DATUM NAVD 1988.
2. EXISTING CONDITIONS SURVEY WAS UPDATED BETWEEN MAY 25, 2021 AND JUNE 23, 2021.
3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.



ANDREW C. MURPHY P.L.S. #35042



OWNERS:
MAP 304 PARCEL 064-000
ABRUZZI REALTY TRUST
55 COUTU STREET
FRANKLIN, MASSACHUSETTS

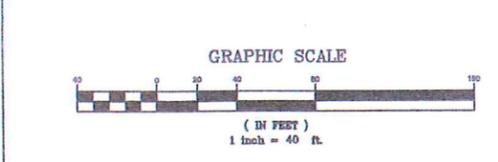
MAP 304 PARCEL 064-001
FERRARA FAMILY REALTY TRUST
PO BOX 482
FRANKLIN, MA 02038

APPLICANT:
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS

SITE PLAN
EXISTING CONDITIONS PLAN
WASHINGTON STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS
JUNE 28, 2021
SCALE: 1" = 40'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD
DATE: 4/11/22

William D. Dwyer



NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
3	1/28/22	REVIEW COMMENTS	RRG
2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG

DATE	FIELD BY:	INT.
5/21	BL	BL
BK#	FIELD BOOK	PG#
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6580 FAX 508-384-6566

DATE: JUNE 28, 2021
SCALE: 1" = 40'
PROJECT: UC1502
SHEET: 3 of 11

PARKING CALCULATIONS:
 ZONING BYLAW SECTION 185-21B.(3)(b)iii - OTHER OFFICES AND BANKS - 1 SPACE PER 250 SQUARE FEET OF GROSS FLOOR AREA.
 EACH BAY WILL CONSIST OF A 204 SQ. FT. OFFICE A 36 SQ. FT. BATHROOM AND A 25 SQ. FT. HALLWAY WHICH TOTALS 265 SQ. FT.
 27 BAYS x 265 SQ. FT. PER BAY = 7,155 SQ. FT. / 250 = 29 SPACES

ZONING BYLAW SECTION 185-21B.(3)(b)vi - WAREHOUSE - 1 SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA
 REMAINING BUILDING AREA = 12,735 SQ. FT. x 3 BUILDINGS = 38,205 SQ. FT.
 38,205 SQ. FT. / 1,000 = 39 SPACES

OFFICE AND WAREHOUSE USE PARKING SPACES REQUIRED = 29 + 39 = 68 SPACES

ALTERNATIVE USE INDUSTRIAL ZONING BYLAW SECTION 185-21B.(3)(b)i - INDUSTRIAL BUILDINGS, EXCEPT WAREHOUSES - 1 SPACE PER 400 SQUARE FEET OF GROSS FLOOR AREA
 38,205 SQ. FT. / 400 = 96 SPACES

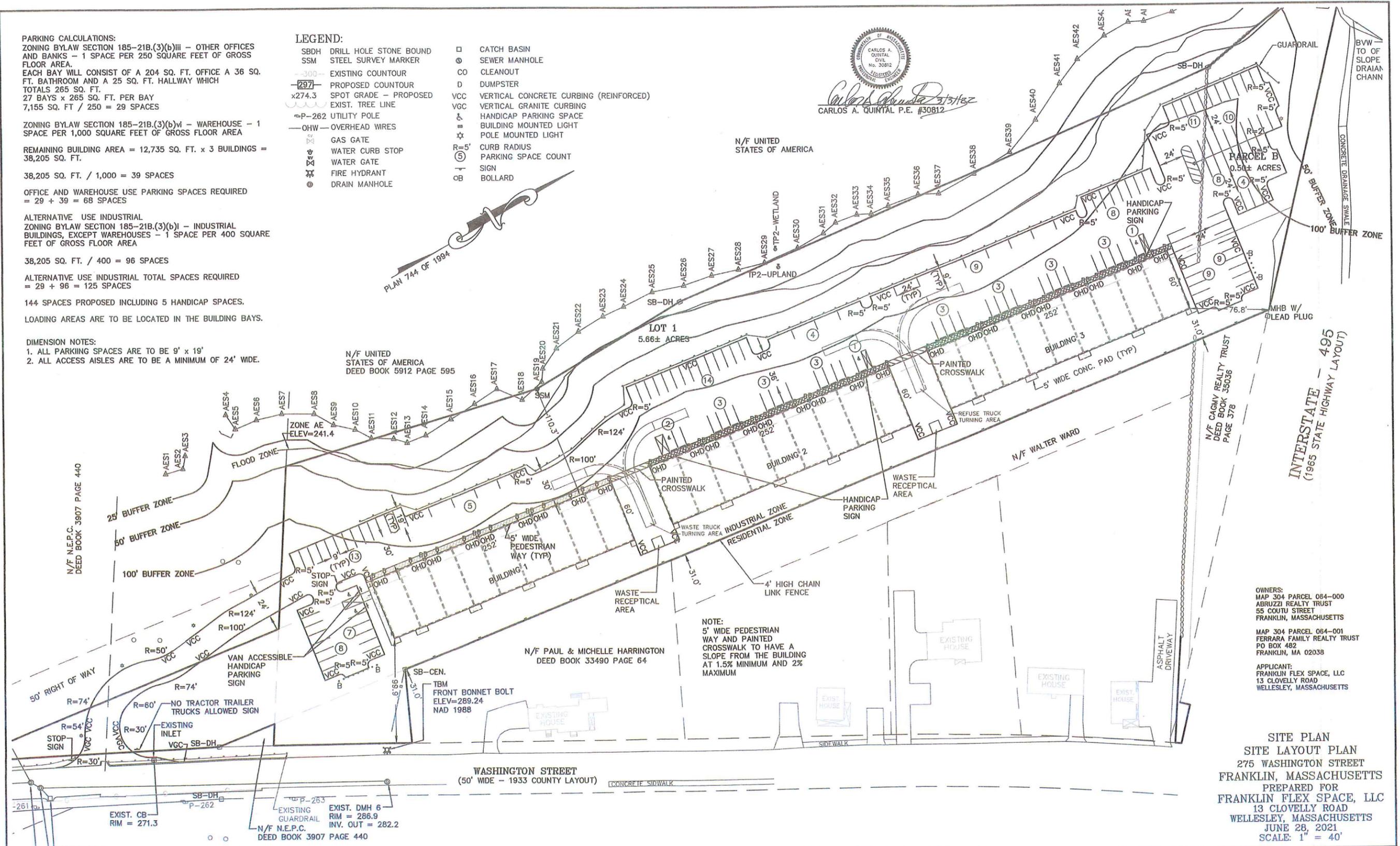
ALTERNATIVE USE INDUSTRIAL TOTAL SPACES REQUIRED = 29 + 96 = 125 SPACES

144 SPACES PROPOSED INCLUDING 5 HANDICAP SPACES.
 LOADING AREAS ARE TO BE LOCATED IN THE BUILDING BAYS.

DIMENSION NOTES:
 1. ALL PARKING SPACES ARE TO BE 9' x 19'
 2. ALL ACCESS AISLES ARE TO BE A MINIMUM OF 24' WIDE.

- LEGEND:**
- SBDH DRILL HOLE STONE BOUND
 - SSM STEEL SURVEY MARKER
 - 300--- EXISTING COUNTOUR
 - 297- PROPOSED COUNTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - EXIST. TREE LINE
 - U-262 UTILITY POLE
 - OHW - OVERHEAD WIRES
 - GAS GATE
 - WATER CURB STOP
 - WATER GATE
 - FIRE HYDRANT
 - DRAIN MANHOLE
 - CATCH BASIN
 - ⊙ SEWER MANHOLE
 - CO CLEANOUT
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING (REINFORCED)
 - VGC VERTICAL GRANITE CURBING
 - HANDICAP PARKING SPACE
 - BUILDING MOUNTED LIGHT
 - POLE MOUNTED LIGHT
 - R=5' CURB RADIUS
 - (5) PARKING SPACE COUNT
 - ☆ SIGN
 - OB BOLLARD

CARLOS A. QUINTAL
 CIVIL ENGINEER
 No. 30812
 REGISTERED PROFESSIONAL ENGINEER
 CARLOS A. QUINTAL P.E. #30812



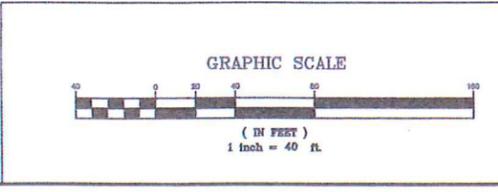
OWNERS:
 MAP 304 PARCEL 084-000
 ABRUZZI REALTY TRUST
 55 COUTU STREET
 FRANKLIN, MASSACHUSETTS

MAP 304 PARCEL 084-001
 FERRARA FAMILY REALTY TRUST
 PO BOX 482
 FRANKLIN, MA 02038

APPLICANT:
 FRANKLIN FLEX SPACE, LLC
 13 CLOVELLY ROAD
 WELLESLEY, MASSACHUSETTS

SITE PLAN
SITE LAYOUT PLAN
 275 WASHINGTON STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FLEX SPACE, LLC
 13 CLOVELLY ROAD
 WELLESLEY, MASSACHUSETTS
 JUNE 28, 2021
 SCALE: 1" = 40'

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD
 4/1/22
 DATE



NO.	DATE	DESCRIPTION	BY
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1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG

DATE	FIELD BY:	INT.
5/21	FIELD BOOK	BL
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6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6680 FAX 508-384-6566

DATE
 JUNE 28, 2021
 SCALE
 1" = 40'
 PROJECT
 UC1502
 SHEET
 4 of 11

DRAINAGE STRUCTURE SCHEDULE:

CB 1
RIM = 280.3
INV = 255.95 12" RCP

CB 2
RIM = 259.4
INV = 255.66 12" RCP

CB 3
RIM = 258.5
INV = 255.24 12" RCP

CB 4
RIM = 258.7
INV = 254.66 12" RCP

CB 5 - STORMCEPTOR 450I
RIM = 258.1
INV = 254.98 12" RCP

CB 6
RIM = 257.6
INV = 252.46 12" RCP

CB 7
RIM = 258.0
INV = 253.6 12" RCP

CB 8 STORMCEPTOR 450I
RIM = 257.8
INV = 253.6 12" RCP

CB 9 STORMCEPTOR 450I
RIM = 257.8
INV = 253.6 12" RCP

CB 10 - STORMCEPTOR 450I
RIM = 258.0
INV = 252.85 12" RCP

CB 14 - CDS 1515-3G
RIM = 258.5
INV = 252.5 12" RCP

TD 11 - 12" PERFORATED HDPE
BEG INV = 257.89
END INV = 256.75

TD 12 - 12" PERFORATED HDPE
BEG INV = 257.98
END INV = 256.82

TD 13 - 12" PERFORATED HDPE
BEG INV = 258.04
END INV = 256.91

BEGIN EROSION CONTROL AND LIMIT OF WORK

DMH 1
RIM = 258.8
INV IN = 255.18 12" RCP
INV OUT = 255.08 12" RCP

DMH 2
RIM = 259.4
INV IN = 254.35 12" RCP
INV OUT = 254.25 12" HDPE

DMH 3 - CDS 1515-3
RIM = 259.4
INV IN = 254.35 12" RCP
INV OUT = 254.25 12" HDPE

DMH 4
RIM = 261.1
INV IN = 256.56 12" RCP
INV OUT = 256.46 12" RCP

DMH 5
RIM = 259.5
INV IN = 254.30 12" RCP
INV OUT = 254.20 12" RCP

DMH 6
RIM = 259.3
INV IN = 251.76 12" RCP
INV OUT = 251.68 12" HDPE

DMH 7 CDS 1515-3
RIM = 258.6
INV IN = 251.7 12" RCP
INV OUT = 251.6 12" HDPE

DMH 8
RIM = 257.8
INV IN = 252.4 12" RCP
INV OUT = 252.3 12" RCP

DMH 9
RIM = 261.2
INV IN = 256.66 12" RCP
INV OUT = 256.56 12" RCP

DMH 10
RIM = 258.8
INV IN = 252.44 12" RCP
INV OUT = 252.34 12" RCP

DMH 11
RIM = 259.6
INV IN = 253.8 12" HDPE
INV OUT = 247.4 12" RCP

DMH 12
RIM = 258.6
INV IN = 251.1 12" HDPE
INV OUT = 244.8 12" RCP

DMH 13
RIM = 259.0
INV IN = 252.15 12" HDPE
INV OUT = 246.88 12" RCP

LEGEND:

SBDH DRILL HOLE STONE BOUND

SSM STEEL SURVEY MARKER

300 EXISTING COUNTOUR

297 PROPOSED COUNTOUR

x274.3 SPOT GRADE - PROPOSED

EXIST. TREE LINE

P-262 UTILITY POLE

OHW OVERHEAD WIRES

GAS GATE

WATER CURB STOP

WATER GATE

FIRE HYDRANT

DRAIN MANHOLE

CATCH BASIN

SEWER MANHOLE

CLEANOUT

D DUMPSTER

VCC VERTICAL CONCRETE CURBING (REINFORCED)

VGC VERTICAL GRANITE CURBING

HANDICAP PARKING SPACE

BUILDING MOUNTED LIGHT

POLE MOUNTED LIGHT

R 5' CURB RADIUS

PARKING SPACE COUNT

SIGN

BOLLARD

DRAINAGE PIPING NOTES:

- ALL RCP PIPE TO BE CLASS V.
- HDPE PIPE TO BE ADS OR APPROVED EQUAL.
- TRENCH DRAINS TO BE 12" HDPE (PERFORATED).
- WHERE HDPE PIPE CONNECTS TO RCP PIPE INSTALL A FERNCO LDC 10 37.00 X 32.00 COUPLING. (OR APPROVED EQUAL)

UTILITY NOTES:

- DOMESTIC WATER SUPPLY SHOWN FOR LOCATION ONLY. FINAL SIZING SHALL BE BASED ON PLUMBING ENGINEERS CALCULATIONS.
- FIRE CONNECTION SHOWN FOR LOCATION ONLY. FINAL SIZING SHALL BE BASED ON PLUMBING ENGINEERS CALCULATIONS AND APPROVED BY FRANKLIN FIRE DEPARTMENT.
- ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES.
- THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE STORMWATER INFILTRATION POND PRIOR TO ANY FILL OR STONE BEING PLACED.
- BUILDING TO BE CONNECTED TO GAS MAIN IN WASHINGTON STREET. LOCATIONS TO BE DETERMINED BY THE GAS SUPPLIER.

NOTES:

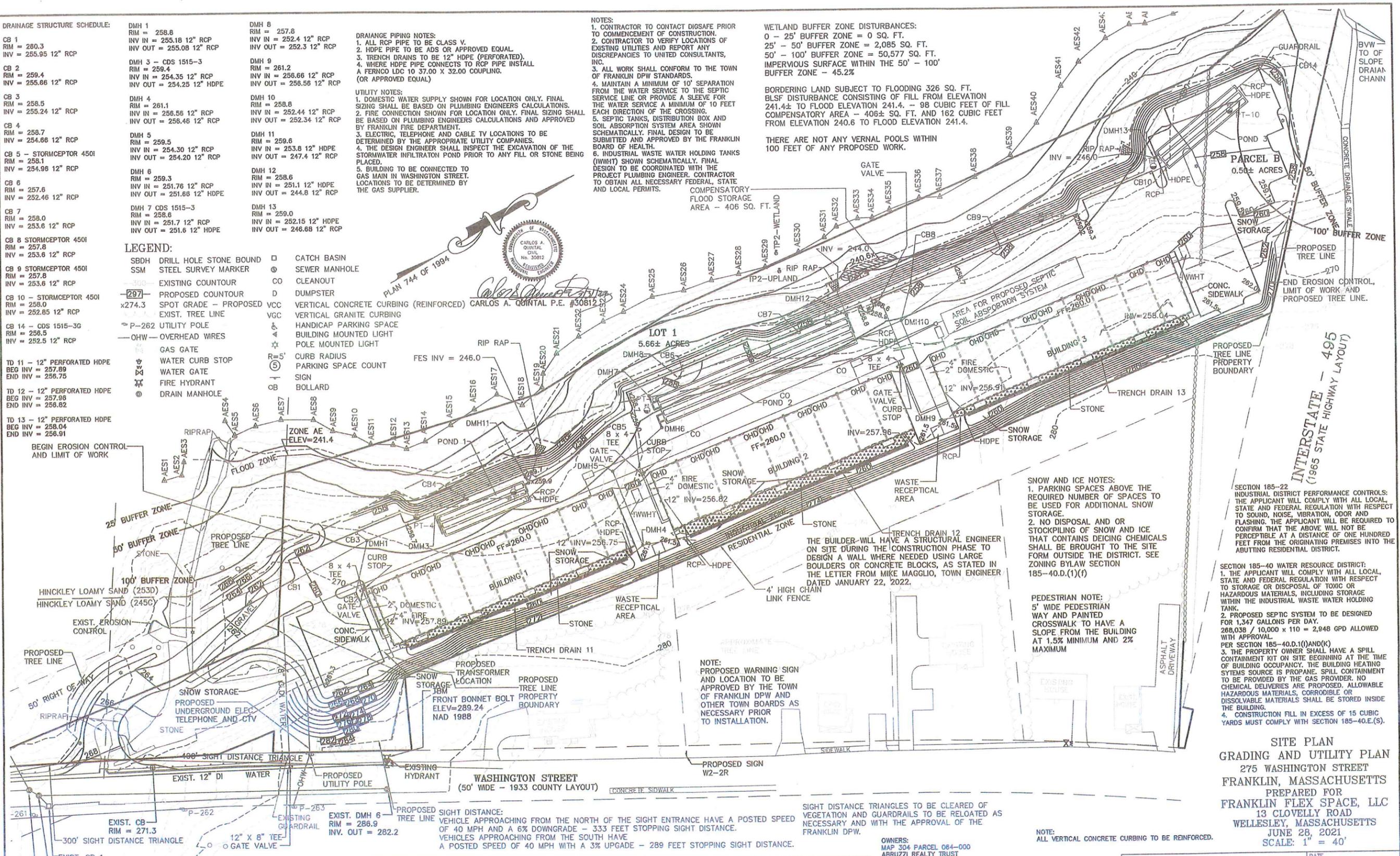
- CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
- ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
- MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEPTIC SERVICE LINE OR PROVIDE A SLEEVE FOR THE WATER SERVICE A MINIMUM OF 10 FEET EACH DIRECTION OF THE CROSSING.
- SEPTIC TANKS, DISTRIBUTION BOX AND SOIL ABSORPTION SYSTEM AREA SHOWN SCHEMATICALLY. FINAL DESIGN TO BE SUBMITTED AND APPROVED BY THE FRANKLIN BOARD OF HEALTH.
- INDUSTRIAL WASTE WATER HOLDING TANKS (IWWHT) SHOWN SCHEMATICALLY. FINAL DESIGN TO BE COORDINATED WITH THE PROJECT PLUMBING ENGINEER. CONTRACTOR TO OBTAIN ALL NECESSARY FEDERAL, STATE AND LOCAL PERMITS.

WETLAND BUFFER ZONE DISTURBANCES:

0 - 25' BUFFER ZONE = 0 SQ. FT.
25' - 50' BUFFER ZONE = 2,085 SQ. FT.
50' - 100' BUFFER ZONE = 50,577 SQ. FT.
IMPERVIOUS SURFACE WITHIN THE 50' - 100' BUFFER ZONE = 45.2%

BORDERING LAND SUBJECT TO FLOODING 326 SQ. FT.
BLSF DISTURBANCE CONSISTING OF FILL FROM ELEVATION 241.4± TO FLOOD ELEVATION 241.4. - 98 CUBIC FEET OF FILL
COMPENSATORY AREA - 406± SQ. FT. AND 162 CUBIC FEET FROM ELEVATION 240.6 TO FLOOD ELEVATION 241.4.

THERE ARE NOT ANY VERNAL POOLS WITHIN 100 FEET OF ANY PROPOSED WORK.



SNOW AND ICE NOTES:

- PARKING SPACES ABOVE THE REQUIRED NUMBER OF SPACES TO BE USED FOR ADDITIONAL SNOW STORAGE.
- NO DISPOSAL AND OR STOCKPILING OF SNOW AND ICE THAT CONTAINS DEICING CHEMICALS SHALL BE BROUGHT TO THE SITE FORM OUTSIDE THE DISTRICT. SEE ZONING BYLAW SECTION 185-40.D.(1)(f)

PEDESTRIAN NOTE:

5' WIDE PEDESTRIAN WAY AND PAINTED CROSSWALK TO HAVE A SLOPE FROM THE BUILDING AT 1.5% MINIMUM AND 2% MAXIMUM

SECTION 185-22 INDUSTRIAL DISTRICT PERFORMANCE CONTROLS:

THE APPLICANT WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATION WITH RESPECT TO SOUND, NOISE, VIBRATION, ODOR AND FLASHING. THE APPLICANT WILL BE REQUIRED TO CONFIRM THAT THE ABOVE WILL NOT BE PERCEPTIBLE AT A DISTANCE OF ONE HUNDRED FEET FROM THE ORIGINATING PREMISES INTO THE ADJUTING RESIDENTIAL DISTRICT.

SECTION 185-40 WATER RESOURCE DISTRICT:

- THE APPLICANT WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATION WITH RESPECT TO STORAGE OR DISPOSAL OF TOXIC OR HAZARDOUS MATERIALS, INCLUDING STORAGE WITHIN THE INDUSTRIAL WASTE WATER HOLDING TANK.
- PROPOSED SEPTIC SYSTEM TO BE DESIGNED FOR 1,347 GALLONS PER DAY. 268,038 / 10,000 x 110 = 2,948 GPD ALLOWED WITH APPROVAL
- THE PROPERTY OWNER SHALL HAVE A SPILL CONTAINMENT KIT ON SITE BEGINNING AT THE TIME OF BUILDING OCCUPANCY. THE BUILDING HEATING SYSTEMS SOURCE IS PROPANE. SPILL CONTAINMENT TO BE PROVIDED BY THE GAS PROVIDER. NO CHEMICAL DELIVERIES ARE PROPOSED. ALLOWABLE HAZARDOUS MATERIALS, CORRODIBLE OR DISSOLVABLE MATERIALS SHALL BE STORED INSIDE THE BUILDING.
- CONSTRUCTION FILL IN EXCESS OF 15 CUBIC YARDS MUST COMPLY WITH SECTION 185-40.E.(S).

NOTE: PROPOSED WARNING SIGN AND LOCATION TO BE APPROVED BY THE TOWN OF FRANKLIN DPW AND OTHER TOWN BOARDS AS NECESSARY PRIOR TO INSTALLATION.

SIGHT DISTANCE TRIANGLES TO BE CLEARED OF VEGETATION AND GUARDRAILS TO BE RELOCATED AS NECESSARY AND WITH THE APPROVAL OF THE FRANKLIN DPW.

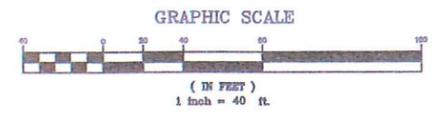
PROPOSED SIGN W2-2R

PROPOSED SIGN W2-2R

PROPOSED SIGN W2-2R

NOTE: ALL VERTICAL CONCRETE CURBING TO BE REINFORCED.

SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD
DATE: 4/11/22
Signature: William J. ...



NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
3	1/28/22	REVIEW COMMENTS	RRG
2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG

OWNERS:
MAP 304 PARCEL 064-000
ABRUZZI REALTY TRUST
55 COUTH STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS

DATE	FIELD BY:	INT.
5/21	BL	BL
6/21	FIELD BOOK	PG# 63
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
650 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE: JUNE 28, 2021
SCALE: 1" = 40'
PROJECT: UC1502
SHEET: 5 of 11

PLANTING SCHEDULE

NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
5	AMERICAN ELM - AE	ULMUS AMERICANA	3"	B&B
5	RED MAPLE - RM	ACER RUBRUM	3"	B&B
5	WHITE BIRCH - WB	BETULA PAPIRIFERA	4 - 6 FEET	B&B
143	ARBORVITAE - A	THUJA PLICATA	3 - 3 1/2 FEET	B&B

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES.
 145 TOTAL PARKING SPACES / 10 = 15 TREES
 - 15 TREES PROVIDED.
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.

SLOPE PLANTING

- AREAS LABELED GEOWEB 1 AND GEOWEB 2 ARE TO HAVE A GEOWEB SYSTEM FILLED WITH LOAM.
- AREAS GEOWEB 1 THROUGH GEOWEB 2 SHALL BE HYDROSEED WITH A NEW ENGLAND CONSERVATION / WILDLIFE MIX PER THE MANUFACTURER'S RECOMMENDATIONS.
- REFER TO GEOWEB NOTES ON SHEET 10.
- ARBORVITAE PLANTS SHOWN IN GEOWEB AREA 1 SHALL BE PLANTED WITHIN THE GEOWEB OPENINGS AND THE SPACING IS TO BE ADJUSTED TO ACCOMMODATE THIS. SPACING TO BE AS CLOSE 10' ON CENTER AS POSSIBLE.

FLOOD PLAIN COMPENSATION AREA PLANTING

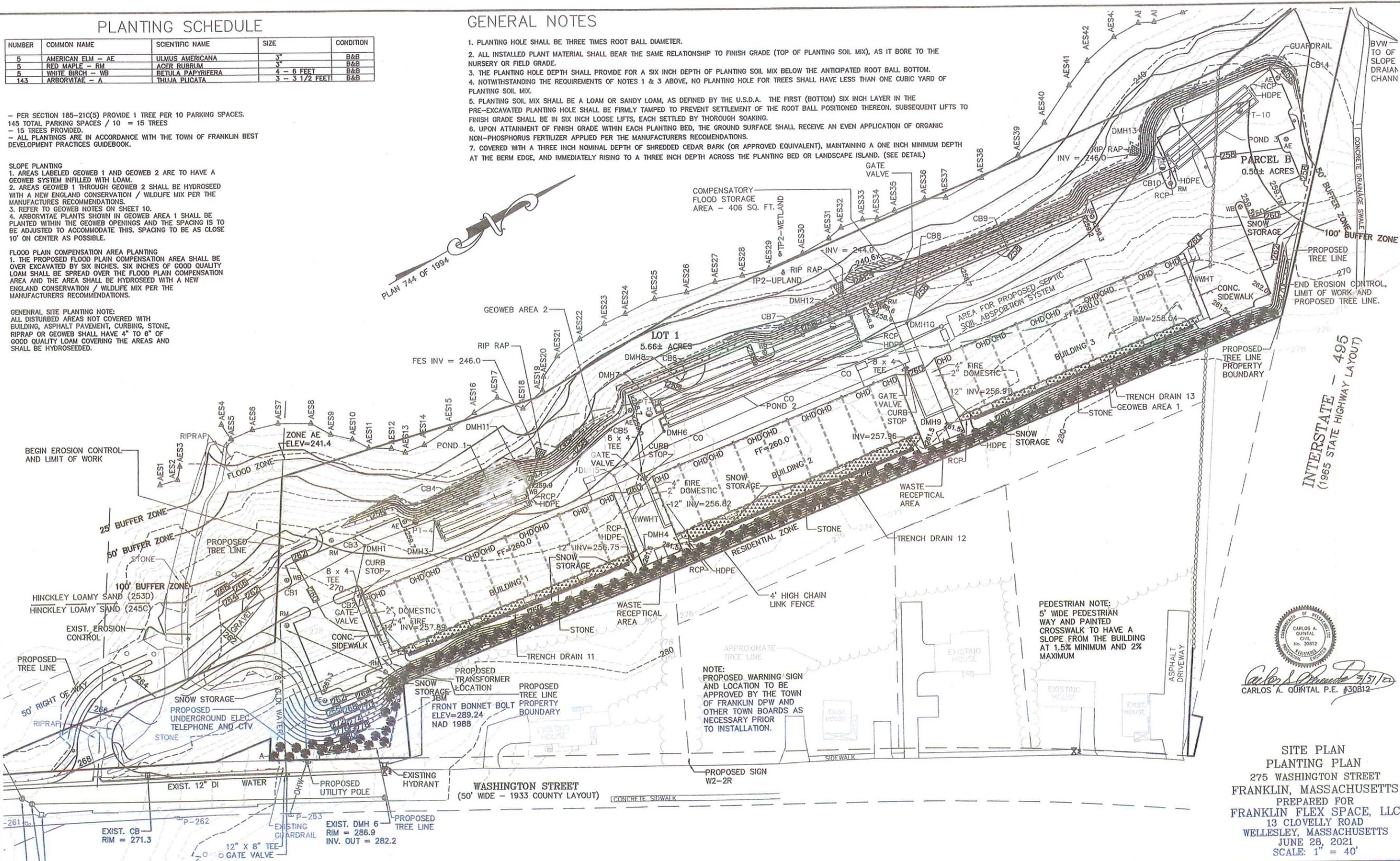
- THE PROPOSED FLOOD PLAIN COMPENSATION AREA SHALL BE OVER EXCAVATED BY SIX INCHES. SIX INCHES OF GOOD QUALITY LOAM SHALL BE SPREAD OVER THE FLOOD PLAIN COMPENSATION AREA AND THE AREA SHALL BE HYDROSEED WITH A NEW ENGLAND CONSERVATION / WILDLIFE MIX PER THE MANUFACTURER'S RECOMMENDATIONS.

GENERAL SITE PLANTING NOTE:

ALL DISTURBED AREAS NOT COVERED WITH BUILDING, ASPHALT PAVEMENT, CURBING, STONE, RIPRAP OR GEOWEB SHALL HAVE 4" TO 6" OF GOOD QUALITY LOAM COVERING THE AREAS AND SHALL BE HYDROSEED.

GENERAL NOTES

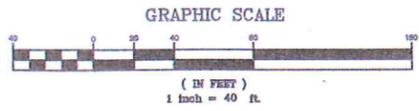
- PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
- ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
- THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
- NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
- PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
- UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS.
- COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)



Carlos A. Quintal 9/31/21
 CARLOS A. QUINTAL P.E. #30812

**SITE PLAN
 PLANTING PLAN**
 275 WASHINGTON STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FLEX SPACE, LLC
 13 CLOVELLY ROAD
 WELLESLEY, MASSACHUSETTS
 JUNE 28, 2021
 SCALE: 1" = 40'

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD
 DATE: 4/4/22
William Sand



NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
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UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6660 FAX 508-384-6566

DATE: JUNE 28, 2021
 SCALE: 1" = 30'
 PROJECT: UC1502
 SHEET: 6 of 11

OPERATION AND MAINTENANCE PLAN

CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, NAME AND PHONE NUMBER TO BE PROVIDED, SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SACKS SHALL BE INSTALLED AT ALL CATCH BASINS EXISTING AND PROPOSED AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SACKS SHALL BE COMPLETED AS NECESSARY.
9. THE STORMCEPTOR AND CDS UNIT SHALL BE CLEANED WITH A VACUUM TRUCK.

INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS. WHEN WORK WITHIN THE 50-FOOT BUFFER ZONE RESULTS IN BARE SOILS OR WHEN SOILS ARE NOT FROZEN OR OTHERWISE STABILIZED THE INSPECTION SHALL BE WEEKLY.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENTS ARE TO BE REMOVED.
3. INSPECTIONS OF THE WATER QUALITY UNITS TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1, POND 2 AND POND 3 TO DETERMINE IF CLEANING IS NECESSARY.

OPERATION AND MAINTENANCE SCHEDULE

CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. ONCE THE PARKING LOT HAS BEEN PAVED DAILY INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SACKS SHALL BE INSTALLED AT ALL CATCH BASINS, STORMCEPTOR AND CDS UNITS (WITH GRATES). SILT SACKS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
4. THE WATER QUALITY UNITS SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
5. THE PONDS SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING RIPRAP CONSTRUCTION.

BEGIN EROSION CONTROL AND LIMIT OF WORK

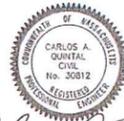
LONG TERM:

1. THE PARKING LOT SHALL BE SWEEPED TWICE PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE WATER QUALITY UNITS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES.
3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

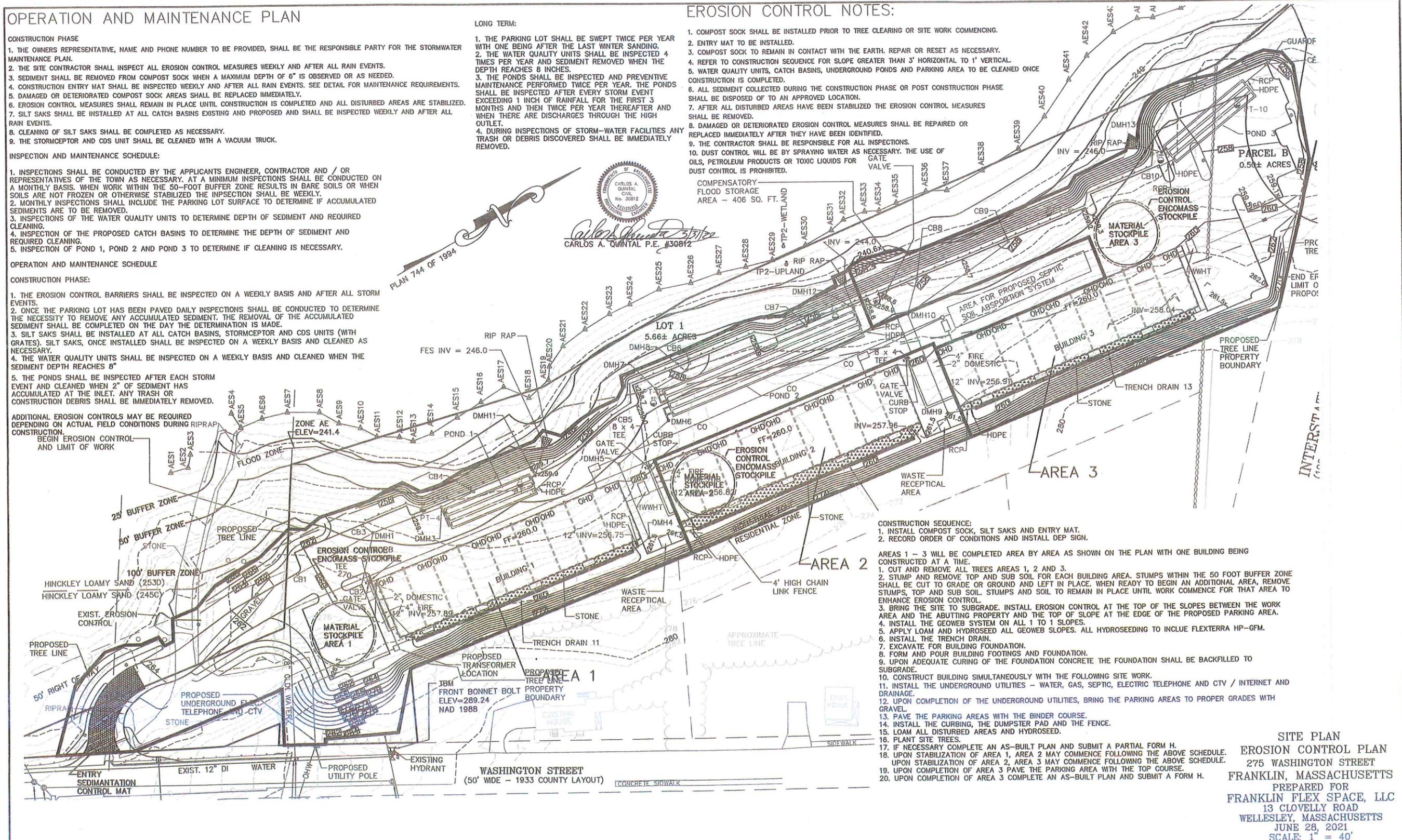
EROSION CONTROL NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. ENTRY MAT TO BE INSTALLED.
3. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
4. REFER TO CONSTRUCTION SEQUENCE FOR SLOPE GREATER THAN 3' HORIZONTAL TO 1' VERTICAL.
5. WATER QUALITY UNITS, CATCH BASINS, UNDERGROUND PONDS AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
6. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
8. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
10. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

COMPENSATORY FLOOD STORAGE AREA - 406 SQ. FT.



Carlos A. Quintal P.E. #30812



CONSTRUCTION SEQUENCE:

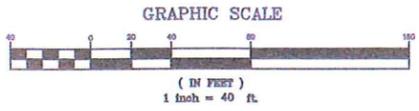
1. INSTALL COMPOST SOCK, SILT SACKS AND ENTRY MAT.
 2. RECORD ORDER OF CONDITIONS AND INSTALL DEP SIGN.
- AREAS 1 - 3 WILL BE COMPLETED AREA BY AREA AS SHOWN ON THE PLAN WITH ONE BUILDING BEING CONSTRUCTED AT A TIME.
1. CUT AND REMOVE ALL TREES AREAS 1, 2 AND 3.
 2. STUMP AND REMOVE TOP AND SUB SOIL FOR EACH BUILDING AREA. STUMPS WITHIN THE 50 FOOT BUFFER ZONE SHALL BE CUT TO GRADE OR GROUND AND LEFT IN PLACE. WHEN READY TO BEGIN AN ADDITIONAL AREA, REMOVE STUMPS, TOP AND SUB SOIL. STUMPS AND SOIL TO REMAIN IN PLACE UNTIL WORK COMMENCE FOR THAT AREA TO ENHANCE EROSION CONTROL.
 3. BRING THE SITE TO SUBGRADE. INSTALL EROSION CONTROL AT THE TOP OF THE SLOPES BETWEEN THE WORK AREA AND THE ADJUTING PROPERTY AND THE TOP OF SLOPE AT THE EDGE OF THE PROPOSED PARKING AREA.
 4. INSTALL THE GEOWEB SYSTEM ON ALL 1 TO 1 SLOPES.
 5. APPLY LOAM AND HYDROSEED ALL GEOWEB SLOPES. ALL HYDROSEEDING TO INCLUDE FLEXITERRA HP-GFM.
 6. INSTALL THE TRENCH DRAIN.
 7. EXCAVATE FOR BUILDING FOUNDATION.
 8. FORM AND POUR BUILDING FOOTINGS AND FOUNDATION.
 9. UPON ADEQUATE CURING OF THE FOUNDATION CONCRETE THE FOUNDATION SHALL BE BACKFILLED TO SUBGRADE.
 10. CONSTRUCT BUILDING SIMULTANEOUSLY WITH THE FOLLOWING SITE WORK.
 11. INSTALL THE UNDERGROUND UTILITIES - WATER, GAS, SEPTIC, ELECTRIC TELEPHONE AND CTV / INTERNET AND DRAINAGE.
 12. UPON COMPLETION OF THE UNDERGROUND UTILITIES, BRING THE PARKING AREAS TO PROPER GRADES WITH GRAVEL.
 13. PAVE THE PARKING AREAS WITH THE BINDER COURSE.
 14. INSTALL THE CURBING, THE DUMPSTER PAD AND THE FENCE.
 15. LOAM ALL DISTURBED AREAS AND HYDROSEED.
 16. PLANT SITE TREES.
 17. IF NECESSARY COMPLETE AN AS-BUILT PLAN AND SUBMIT A PARTIAL FORM H.
 18. UPON STABILIZATION OF AREA 1, AREA 2 MAY COMMENCE FOLLOWING THE ABOVE SCHEDULE.
 19. UPON STABILIZATION OF AREA 2, AREA 3 MAY COMMENCE FOLLOWING THE ABOVE SCHEDULE.
 20. UPON COMPLETION OF AREA 3 PAVE THE PARKING AREA WITH THE TOP COURSE.
 21. UPON COMPLETION OF AREA 3 COMPLETE AN AS-BUILT PLAN AND SUBMIT A FORM H.

SITE PLAN
EROSION CONTROL PLAN
 275 WASHINGTON STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FLEX SPACE, LLC
 13 CLOVELLY ROAD
 WELLESLEY, MASSACHUSETTS
 JUNE 28, 2021
 SCALE: 1" = 40'

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD
 DATE: 4/1/22
 [Signatures]

OWNER:
 ABRUZZI REALTY TRUST
 55 COUTU STREET
 FRANKLIN, MASSACHUSETTS

APPLICANT:
 FRANKLIN FLEX SPACE, LLC
 13 CLOVELLY ROAD
 WELLESLEY, MASSACHUSETTS

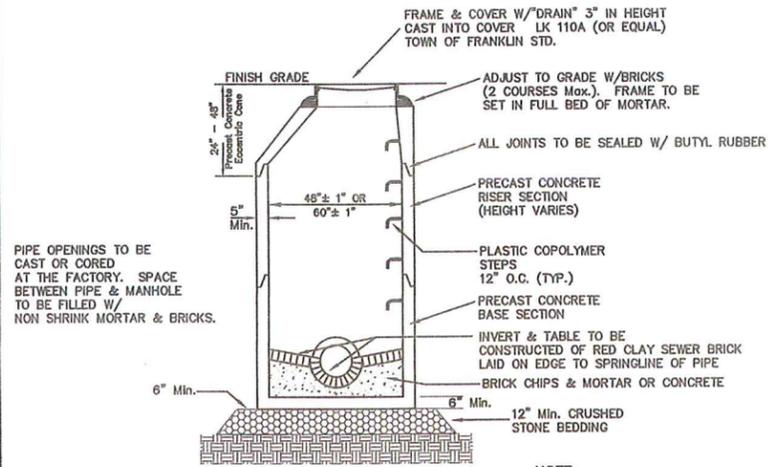


NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
3	1/28/22	REVIEW COMMENTS	RRG
2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG

DATE	FIELD BY:	INT.
5/21		BL
6/21	FIELD BOOK	PG#
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

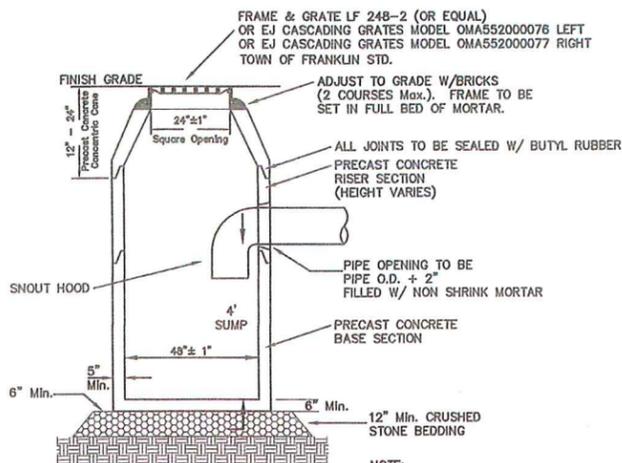
UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE: JUNE 28, 2021
 SCALE: 1" = 30'
 PROJECT: UC1502
 SHEET: 7 of 11



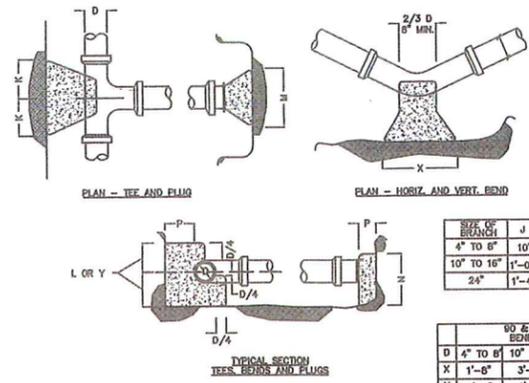
PRECAST DRAIN MANHOLE

NOTE:
DMH'S 7, 8 AND 9
SHALL BE 5' DIAMETER



PRECAST CATCH BASIN

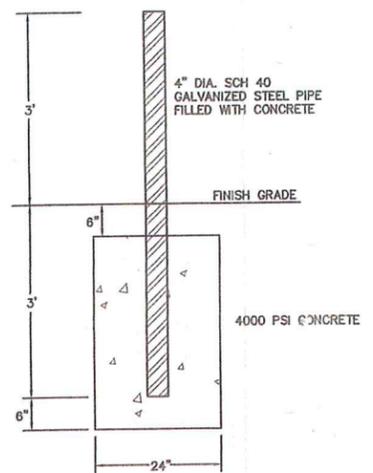
NOTE:
CATCH BASINS 4, 5, 6, 7, 8, 13, 14,
15 AND 16 SHALL HAVE CASCADING
GRATES.



THRUST BLOCK DETAILS

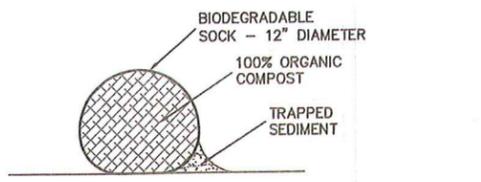
SIZE OF BRANCH		J	K	L	M	N	O
4" TO 6"	10"	10"	1'-0"	2'-0"	1'-6"	10"	
10" TO 16"	1'-0"	1'-6"	3'-10"	2'-10"	1'-6"		
24"	1'-4"	2'-0"	2'-8"	5'-0"	3'-6"	1'-6"	

90 & 45 DEGREES		22 1/2 & 11 1/4 DEGREES	
D	4" TO 6"	10" TO 16"	24"
X	1'-6"	3'-4"	3'-6"
Y	1'-2"	1'-8"	2'-4"

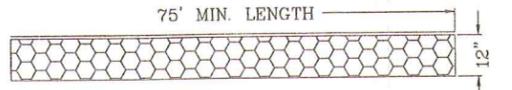


BOLLARD DETAIL

NOTE:
BOLLARDS TO BE INSTALLED ON EACH
SIDE OF THE OVERHEAD DOOR OPENINGS.



COMPOST SOCK DETAIL



ENTRY SEDIMENTATION CONTROL MAT SECTION
N.T.S.

NOTES:
1. PAD SHALL BE A MINIMUM OF 24 FEET IN WIDTH.
2. PAD SHALL CONSIST OF 4" STONE 8" IN DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.

OWNERS:
MAP 304 PARCEL 064-000
ABRUZZI REALTY TRUST
55 COUTU STREET
FRANKLIN, MASSACHUSETTS

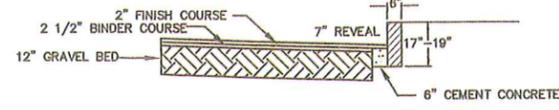
MAP 304 PARCEL 064-001
FERRARA FAMILY REALTY TRUST
PO BOX 482
FRANKLIN, MA 02038

APPLICANT:
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS

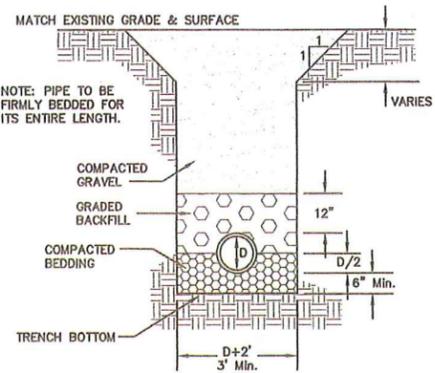


Carlos A. Quintal P.E. #30812

SITE PLAN
CONSTRUCTION DETAILS - 1
275 WASHINGTON STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS
JUNE 28, 2021
SCALE: 1" = 40'

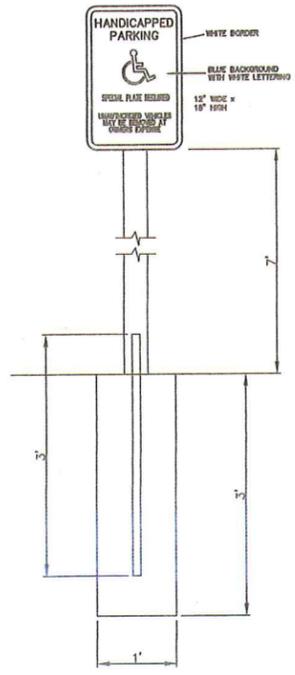


PAVEMENT AND VA-4 VERTICAL GRANITE CURBING

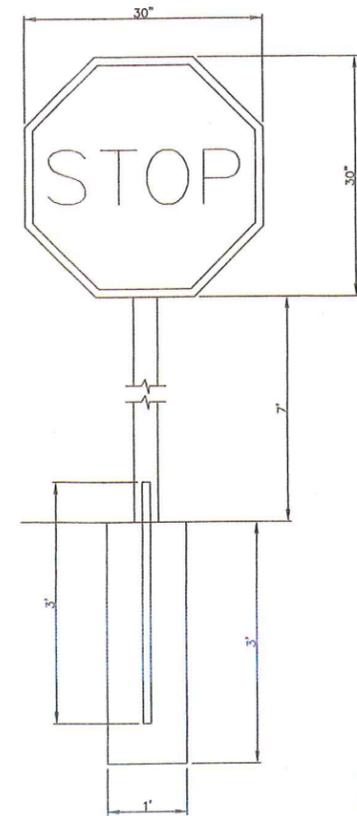


UTILITY TRENCH DETAIL

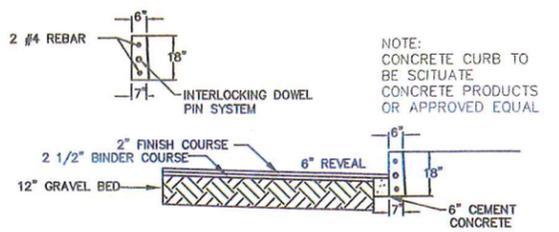
TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING PROC.	SAND	3/4" STONE	3/8" STONE	3/8" STONE
MATERIAL	GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL ORD. MATERIAL	FILL	SAND	3/4" STONE	3/8" STONE



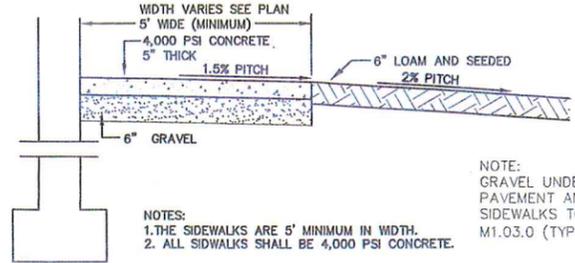
HANDICAP SIGN DETAIL
N.T.S.



STOP SIGN DETAIL
N.T.S.



PAVEMENT AND VERTICAL CONCRETE CURBING



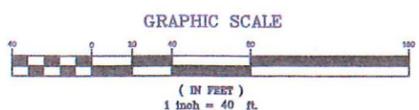
SIDEWALK DETAIL
N.T.S.

NOTE:
1. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.
2. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.

NOTE:
GRAVEL UNDER PAVEMENT AND SIDEWALKS TO BE M1.03.0 (TYPE B)

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD
DATE: 9/11/22

William Seaman

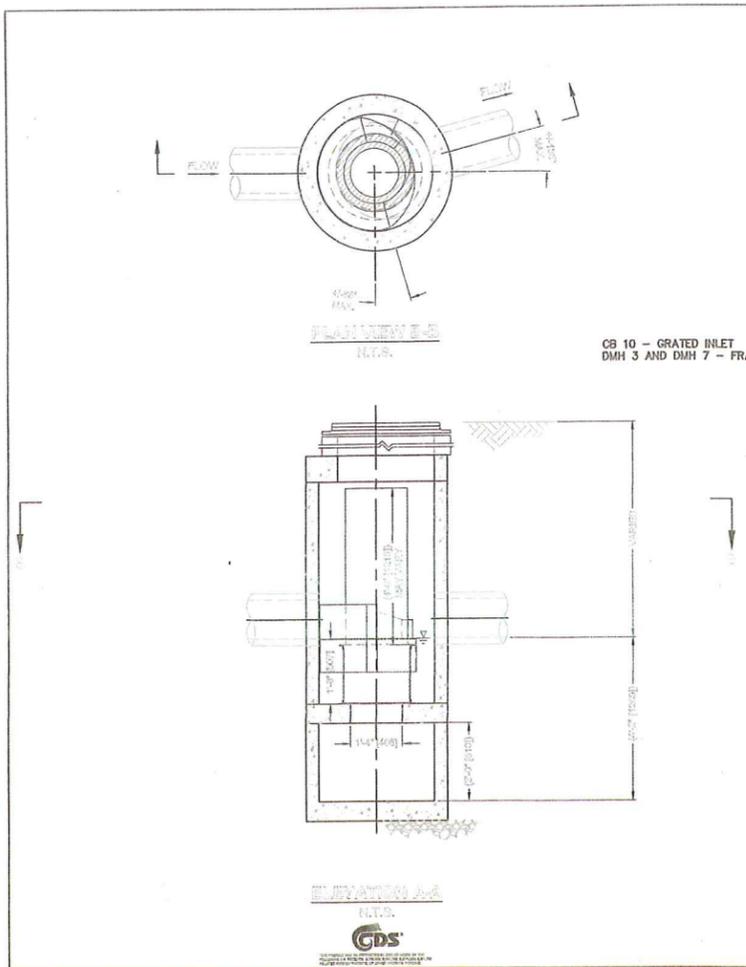


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5/21		BL
6/21	FIELD BOOK	PG#
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE: JUNE 28, 2021
SCALE: 1" = 30'
PROJECT: UC1502
SHEET: 8 of 11



CONTECH DESIGN NOTES

THE STANDARD CONTECH CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO FIT WITH REQUIREMENTS.

GRATED INLET ONLY (NO RISE PIPE)
GRATED INLET WITH RISE PIPE OR PIPE
CURB INLET ONLY (NO RISE PIPE)
CURB INLET WITH RISE PIPE OR PIPE
REMOVABLE CLEANOUT (RISE PIPE REQUIRED FOR THIS CONFIGURATION)
REMOVABLE WEIR FOR HIGH FLOW CAPACITY

STRUCTURE DATA

STRUCTURE ID			
WATER QUALITY FLOW RATE (GPM OR LPM)			
PEAK FLOW RATE (GPM OR LPM)			
RETURN PERIOD OF PEAK FLOW (HRS)			
SCREEN APERTURE (240 OR 420)			
PIPE DATA	I.C.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
FIN ELEVATION			
ANTI-CORROSION BALLAST	DEPTH	HEIGHT	
INTERFERENTIAL REQUIREMENTS			
OTHER REQUIREMENTS			

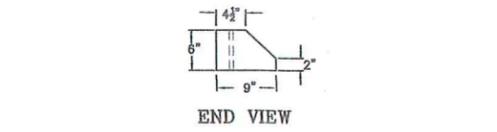
GENERAL NOTES

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR ALL SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTROL ENGINEER OR CONTACTING LLC REPRESENTATIVE. www.contechsolutions.com
- SEE WATER CAPACITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET ASHLEY HIGH LOAD RATING, ASSUMING EARTH COVER OF 0'-0" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. NUMBER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION, READINGS SHALL MEET ASHLEY 1000 AND BE CAST WITH THE COVER (1000).
- IF REQUIRED, PVC INVERT MANHOLE SIGNS SHALL BE PLACED ON INVERT AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- THIS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND ASHLEY LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUBBASE SHALL BE FULL DEPTH AND/OR ANTI-FLOTATION PROVIDED AND SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND POSITION THE CURB BUMPER STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL CURB BUMPER SECTIONS AND ASSEMBLY DETAIL.
- CONTRACTOR TO PROVIDE, INSTALL AND GROUT INLET AND OUTLET VENTS. MATCH PIPE SLOPE WITH ELEVATION. HOWAL ALL PIPE CENTERLINES TO MATCH PIPE CENTERLINE.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO AVOID OVERFLOW OF WATER TO THE STREET, HOLDING WATER, OR FLOWING INVERT MANHOLE. IT IS RECOMMENDED THAT ALL JOINTS BE GROUTED WITH AN INVERT.

CONTECH
ENGINEERED SOLUTIONS LLC
2000 North Main St., Suite 400, West Chester, OH 45380
503-384-1122 818-445-7000 818-456-7887 FAX



END VIEW

TOP VIEW

0.3/4" DIA. HOLE (TYP)

PRECAST CONCRETE CURB BUMPER

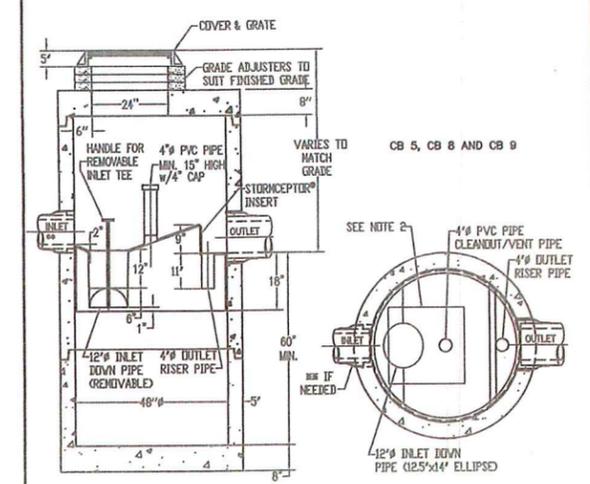
NOTES:

- CONTRACTOR TO CONTACT DISSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
- ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
- MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

CARLOS A. QUINTAL P.E. #30812

Hydro Conduit

DR. BY: _____
CK. BY: _____
DATE: _____
SCALE: N.T.S.
DVG# _____

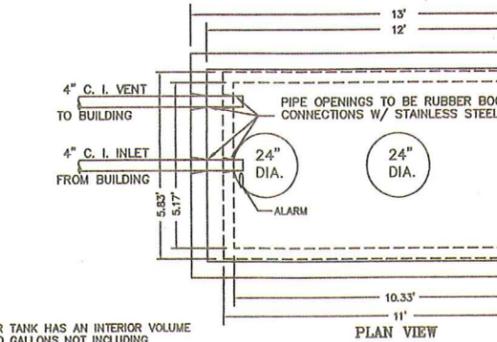


SECTION THRU CHAMBER

SECTION THRU PLAN VIEW

NOTE:

- THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
- THE COVER SHOULD BE POSITIONED OVER THE CLEANOUT/VENT PIPE.
- THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.



NOTE: EXTERIOR TANK HAS AN INTERIOR VOLUME OF 3,500 GALLONS NOT INCLUDING INTERIOR TANK.

DESIGN NOTES:

- CONCRETE 5,000 PSI, @ 28 DAYS.
- HS-20-44 LOADING WITH 12" - 60" COVER.
- REINFORCEMENT ASTM A-615 GRADE 60.
- CONST. JOINT TO HAVE MIN. 1" BUTYL SEALANT.
- EXTERIOR OF INNER AND OUTER TANKS TO BE COVERED WITH A BITUMINOUS COATING. (INCLUDING BOTTOM OF TANKS)

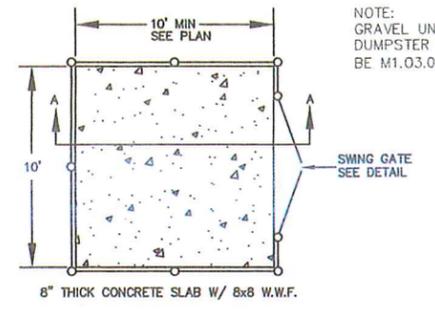
TANK NOTES:

- OUTER TANK - 6" SIDEWALLS AND BOTTOM AND 8" TOP.
- INNER TANK - 4" SIDEWALL, BOTTOM AND TOP.
- INNER AND OUTER TANK TO BE PRECAST CONCRETE.
- PROVIDE MIN. 24" DIAMETER OPENING.

OWNERS:
MAP 304 PARCEL 064-000
ABRUZZI REALTY TRUST
55 COUTH STREET
FRANKLIN, MASSACHUSETTS

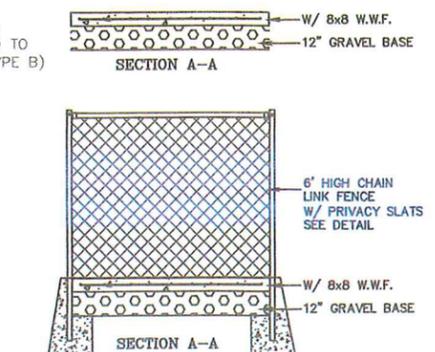
MAP 304 PARCEL 064-001
FERRARA FAMILY REALTY TRUST
PO BOX 482
FRANKLIN, MA 02038

APPLICANT:
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS



CONCRETE DUMPSTER PAD

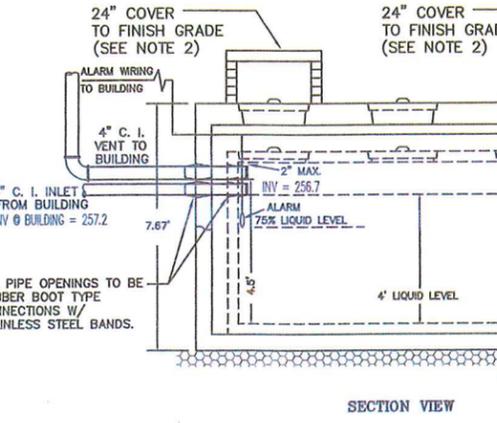
NOTE: DUMPSTER PAD AT BUILDING 1 WILL HAVE THE FENCE CONNECT TO THE RETAINING WALL. NO FENCE IS PROPOSED TO THE REAR OF THE DUMPSTER PAD.



DUMPSTER AREA FENCE

HOLDING TANK NOTES:

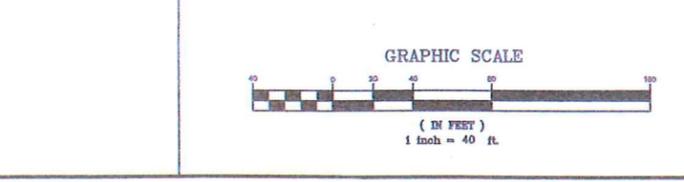
- HOLDING TANK TO BE H-20 LOADING.
- PROVIDE A 24" FRAME AND COVER MARKED "NON-HAZARDOUS INDUSTRIAL WASTEWATER". FRAME AND COVER TO BE SET TO FINISH GRADE.
- PROVIDE A HIGH LIQUID LEVEL ALARM DEVICE WHICH SHALL BE CONNECTED TO AN AUDIO AND VISUAL ALARM SYSTEM LOCATED WITHIN A STAFFED AREA OF THE BUILDING. ALARM SHALL BE ACTIVATED WHEN LIQUID LEVEL REACHES 75% OF THE TANK CAPACITY.
- HIGH LIQUID LEVEL MERCURY FLOAT SWITCH SHALL BE SET AT 3" LIQUID LEVEL.
- SPACE BETWEEN THE INNER TANK AND OUTER TANK SHALL BE KEPT FREE FROM DEBRIS AND MATERIALS AND SHALL PROVIDE SPACE AND ACCESS TO DETECT AND REMOVE ANY LEAKAGE FROM THE INNER TANK.
- SEAL ALL TANK SEAMS AND PENETRATION WITH BIT. BUTYL MASTIC SEALANT.
- TANK TO BE INSPECTED ON A WEEKLY BASIS FOR LEAKAGE.
- TANK TO BE IMMEDIATELY REPLACED IF LEAKAGE IS DISCOVERED.
- POTENTIAL AVERAGE DAILY FLOW 10 GALLONS - 500G CAPACITY 50 GALLONS. PRIMARY HOLDING TANK CAPACITY = 1,500 GALLONS BELOW INLET INVERT.
- WASTE ANTICIPATED TO BE RAIN WATER AND SNOW MELT CARRIED IN ON VEHICLES AND EQUIPMENT.
- HOLDING TANK PUMPING TO BE COMPLETED BY: TO BE DETERMINED.
- EMERGENCY RESPONSE, SPILL CONTROL AND CONTAINMENT TO BE COMPLETED BY: TO BE DETERMINED.
- TANK TO BE VENTED THROUGH ROOF FOR ODOR CONTROL.
- OWNER TO COMPLY WITH ALL PERMITS OR OTHER REQUIREMENTS MANDATED BY THE LOCAL AUTHORITIES PERTAINING TO THE HOLDING TANK.



SCITUATE COMPANIES
1,500 GALLON DOUBLE WALL TANK

SITE PLAN
CONSTRUCTION DETAILS - 2
275 WASHINGTON STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS
JUNE 28, 2021
SCALE: 1" = 40'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD
DATE: 4/11/22

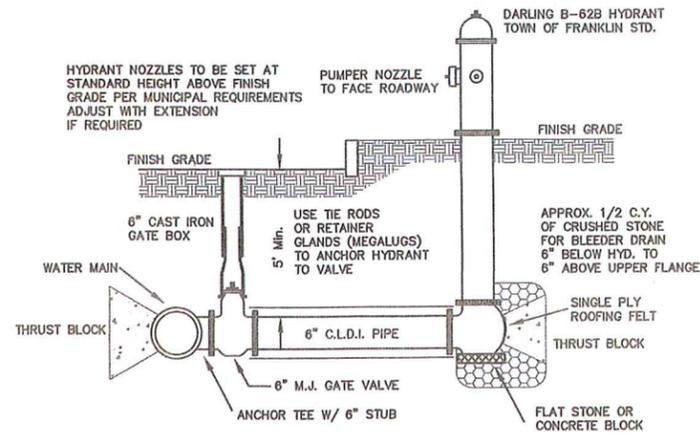


NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
3	1/28/22	REVIEW COMMENTS	RRG
2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG
NO.	DATE	DESCRIPTION	BY

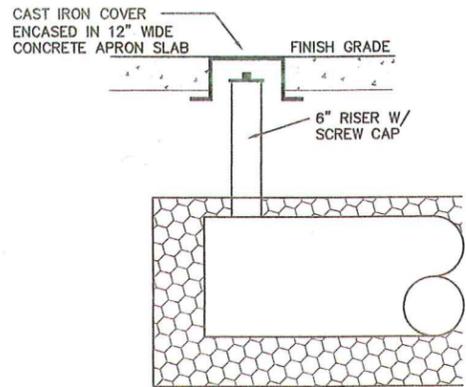
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5/21	FIELD BOOK	BL
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

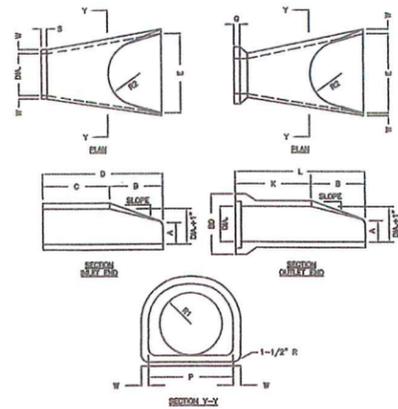
DATE: JUNE 28, 2021
SCALE: 1" = 30'
PROJECT: UC1502
SHEET: 9 of 11



HYDRANT CONNECTION



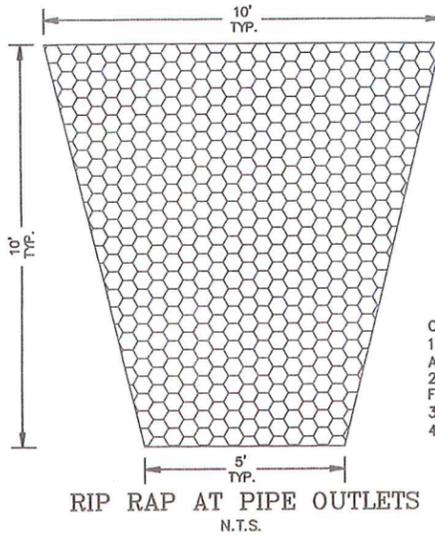
INSPECTION PORT DETAIL
DRAINAGE INFILTRATION AREAS
N.T.S.



REINFORCED CONCRETE PIPE FLARED END
SEE TO SCALE

DIA.	W	A	B	C	D	E	BD
12"	2"	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20"
16"	2-1/4"	6"	2'-3"	3'-10"	6'-1 1/2"	2'-0"	24"
18"	2-1/2"	6"	2'-3"	3'-10"	6'-1"	2'-0"	28"
21"	2-3/4"	6"	2'-11"	3'-2"	6'-1"	2'-0"	34"
24"	3"	8-1/2"	3'-11/2"	3'-2"	6'-1"	4'-0"	38"

DIA.	K	L	P	DA	SI	SE	S	O	SLOPE
12"	1'-0 1/2"	6'-0 1/2"	19 5/16"	12"	10 1/8"	6"	2 1/2"	2 1/2"	2:1
16"	1'-11/16"	6'-0 11/16"	25 5/16"	16"	12 1/2"	11 1/2"	4"	2 1/2"	2:1
18"	1'-7/8"	6'-0 7/8"	28"	18"	13 1/2"	12 1/2"	4"	2 3/4"	2:1
21"	1'-8 1/8"	6'-0 8 1/8"	31 5/8"	24"	15 1/8"	13 1/2"	4"	2 3/4"	2:1
24"	1'-1/2"	6'-0"	33 3/16"	28"	15 13/16"	14 1/4"	3"	2 3/4"	2:1



CONSTRUCTION NOTES:
1. RIP RAP TO BE MAXIMUM OF 18" AVERAGE OF 12" AND MINIMUM OF 8".
2. RIP RAP TO BE PLACED OVER A FILTER FABRIC.
3. RIP RAP MINIMUM DEPTH SHALL BE 18"
4. RIP RAP OUTLET TO BE 25' x 34'.

INFILTRATION PONDS 1, 2 AND 3
EXCAVATION AND FILL NOTES:

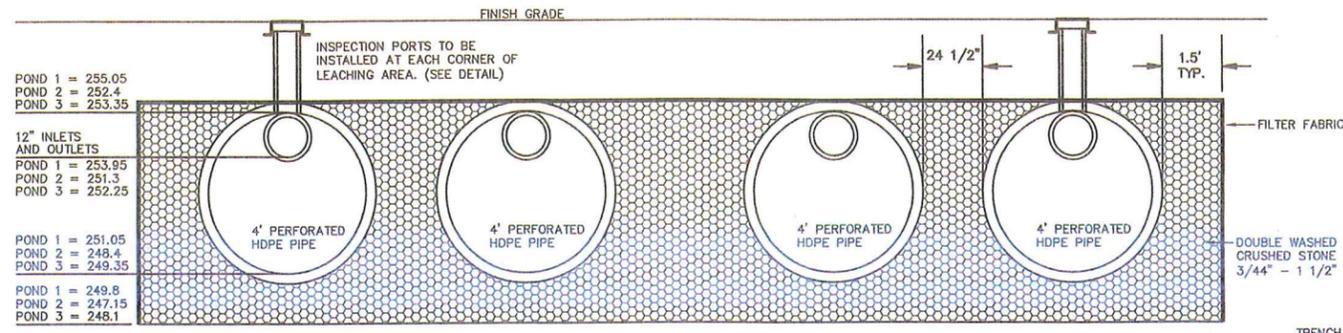
SOIL REMOVAL AT INFILTRATION SYSTEM IN FILL AREAS:
ALL EXISTING TOP (A HORIZON) AND SUB-SOIL (B HORIZON) SOILS SHALL BE REMOVED UNDER THE INFILTRATION SYSTEMS AND FIVE FEET FROM THE OUTER EDGE OF THE STONE ENVELOPE.

Fill material for drainage systems constructed in fill shall consist of select on-site or imported soil material. The fill shall be comprised of clean granular sand, free from organic matter and deleterious substances. Mixtures and layers of different classes of soil shall not be used. The fill shall not contain any material larger than two inches. A sieve analysis, using a #4 sieve, shall be performed on a representative sample of the fill. Up to 45% by weight of the fill sample may be retained on the #4 sieve. Sieve analyses also shall be performed on the fraction of the fill sample passing the #4 sieve, such analyses must demonstrate that the material meets each of the following specifications:

SIEVE SIZE	EFFECTIVE PARTICLE SIZE	% THAT MUST PASS SIEVE
# 4	4.75 mm	100%
# 50	0.30 mm	10% - 100%
#100	0.15 mm	0% - 20%
#200	0.075 mm	0% - 2%

A minimum of two representative sample shall be taken from the in-place fill and tested for compliance with the grain size distribution specification. Where fill is required to replace unsuitable or impermeable soils, the excavation of the unsuitable material shall extend a minimum of five feet laterally in all directions beyond the outer perimeter of the soil drainage systems to the depth of naturally occurring pervious material and replaced with fill. Prior to placement of the fill, the bottom surface of the excavation shall be scarified and relatively dry. Fill shall not be placed during rain or snow storms. If the water table elevation is above the elevation of the bottom of the excavation, the excavation shall be dewatered as necessary.

THE DESIGN ENGINEER SHALL INSPECT AND CERTIFY THE EXCAVATION OF THE SOIL INFILTRATION AREAS AND THE RAIN GARDEN AREA PRIOR TO ANY FILL BEING PLACED.

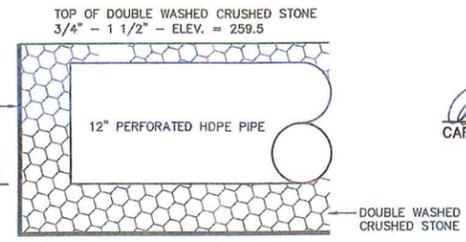


INFILTRATION PONDS 1, 2 AND 3

NOTES:
1. INFILTRATION POND 1 CONSISTS OF 3 ROWS OF 4' DIAMETER PERFORATED HDPE PIPE 66' IN LENGTH. STONE ENVELOPE IS 20.7' x 89'
2. INFILTRATION POND 2 CONSISTS OF 4 ROWS OF 4' DIAMETER PERFORATED HDPE PIPE 197' IN LENGTH. STONE ENVELOPE IS 27.3' x 200'
3. INFILTRATION POND 3 CONSISTS OF 3 ROWS OF 4' DIAMETER PERFORATED HDPE PIPE 97' IN LENGTH. STONE ENVELOPE IS 20.7' x 100'

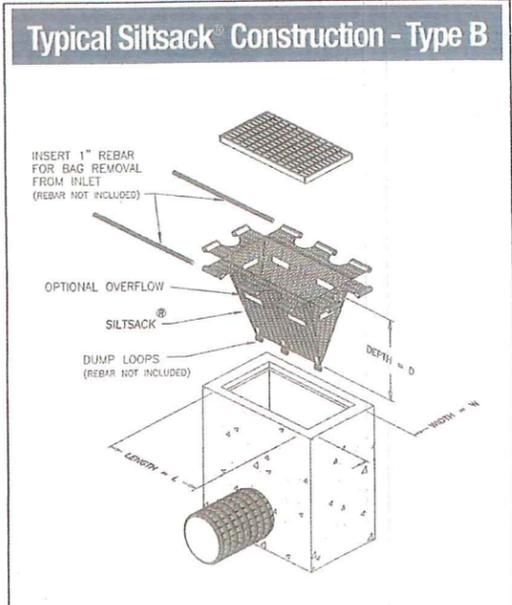
IMPERVIOUS AREA - 134,702 x 0.0833 = 11,411 FT/3 STORAGE REQUIRED
POND 1 STORAGE BELOW OUTLET INVERT = 4,513 FT/3
POND 2 STORAGE BELOW OUTLET INVERT = 13,507 FT/3
POND 3 STORAGE BELOW OUTLET INVERT = 5,077 FT/3
TOTAL VOLUME = 23,097 FT/3

ESHWG - POND 1 = 242.91 BOTTOM TEST PIT (PT) 3
ESHWG - POND 2 = 242.91 BOTTOM TEST PIT (PT) 3
ESHWG - POND 3 = 243.37 STANDING WATER TEST PIT (PT) 10



TRENCH DRAIN DETAIL

TRENCH DRAIN NOTE:
1. TRENCH WIDTH 3'.
2. REFER TO SHEET 4 FOR INVERT ELEVATION LOCATIONS.



SILT SACK DETAIL
NOT TO SCALE

OWNERS:
MAP 304 PARCEL 064-000
ABRUZZI REALTY TRUST
55 COUTU STREET
FRANKLIN, MASSACHUSETTS

MAP 304 PARCEL 064-001
FERRARA FAMILY REALTY TRUST
PO BOX 482
FRANKLIN, MA 02038

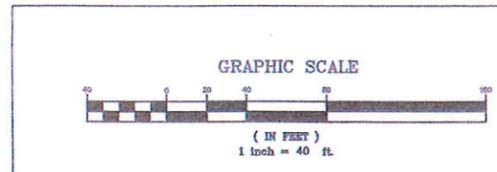
APPLICANT:
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS



Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

SITE PLAN
CONSTRUCTION DETAILS - 3
275 WASHINGTON STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS
JUNE 28, 2021
SCALE: 1" = 40'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD
DATE: 4/14/22
W. Williams

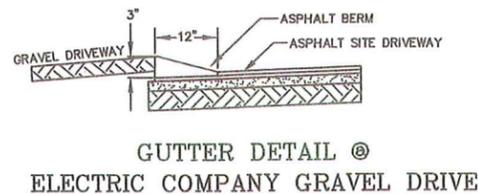
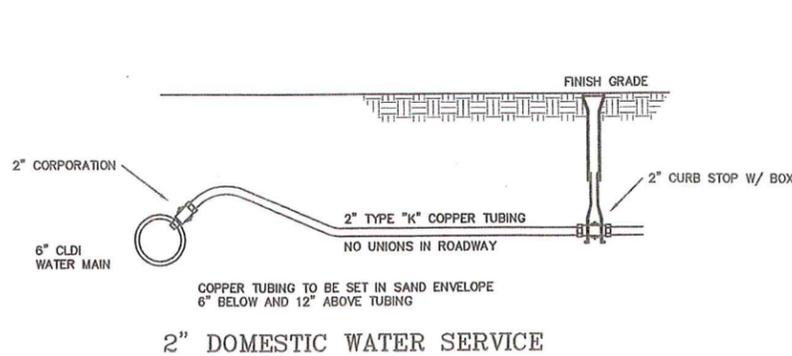


NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
3	1/28/22	REVIEW COMMENTS	RRG
2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG
		DESCRIPTION	

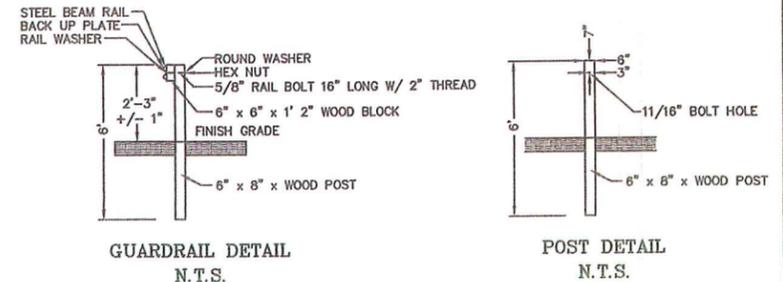
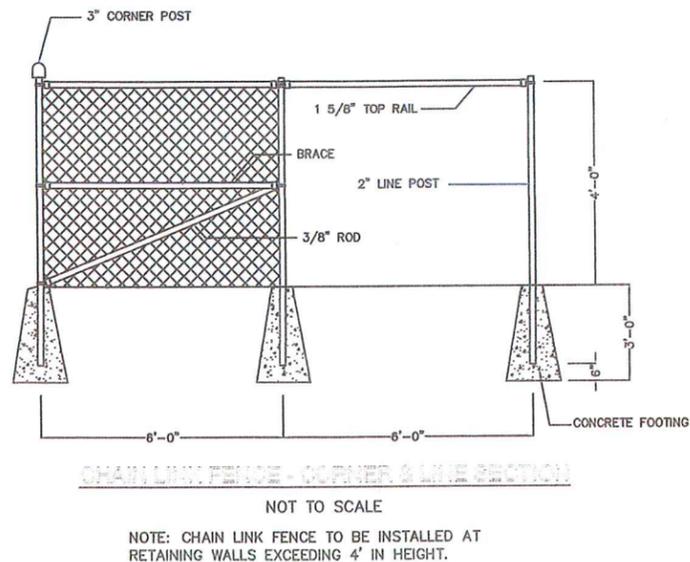
DATE	FIELD BY:	INT.
5/21		BL
BK#	FIELD BOOK	PG#
6/21		
DATE	DESIGNED BY:	RRG
6/21		
DATE	DRAWN BY:	COMP
6/21		
DATE	CHECKED BY:	CAQ
6/21		

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
608-384-6560 FAX 608-384-6566

DATE
JUNE 28, 2021
SCALE
1" = 30'
PROJECT
UC1502
SHEET
10 of 11

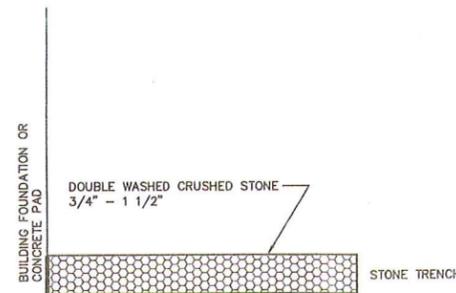
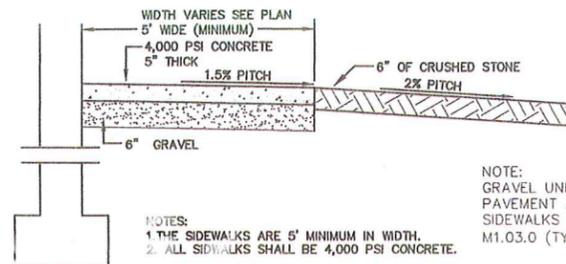


NOTES:
1. PROVIDE PRE-CAST CONCRETE TRANSITION CURBS AT EACH SIDE OF GRAVEL DRIVEWAY OPENING.
2. ASPHALT BERM TO EXTEND FROM TRANSITION CURB TO TRANSITION CURB.



GUARDRAIL NOTES:
1. POST TO BE SPACED 6' 3" ON CENTER.
2. ALL NUTS, BOLTS AND WASHERS TO BE GALVANIZED.
3. ALL SPLICES ARE TO BE MADE AT A POST.
4. BACK UP PLATE IS PLACED BEHIND RAIL ELEMENTS AT INTERMEDIATE POSTS I.E.: NON SPLICE LOCATIONS.
5. REFER TO MASSDOT STANDARDS FOR DIMENSIONS OF FITTINGS THAT ARE NOT SHOWN.

GUARDRAIL NOTES:
1. FINAL DESIGN OF THE GUARDRAILS SHALL BE COMPLETED BY THE PROJECT STRUCTURAL ENGINEER.

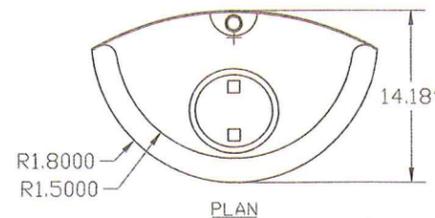
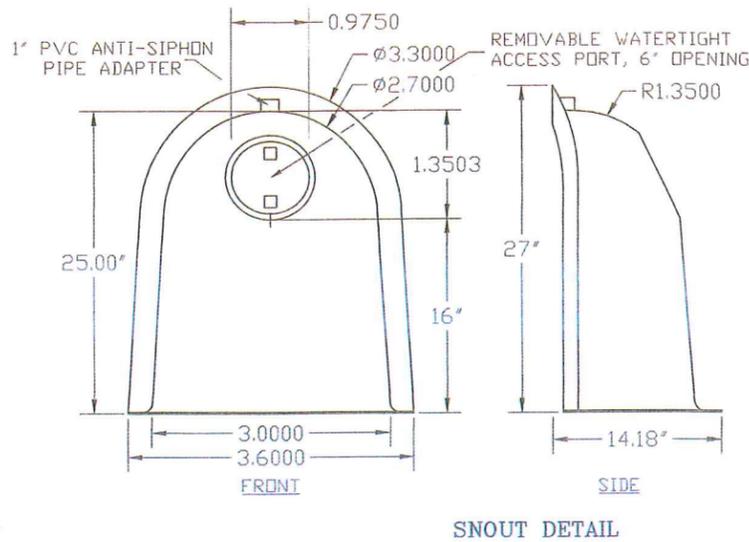


GEOWEB MATERIALS AND RECOMMENDATIONS:
SEE PRESTO GEOSYSTEMS LETTER DATED AUGUST 31, 2021 BY BRYAN WEDIN, P.E.
1. PROVIDE A NON-WOVEN GEOTEXTILE SEPARATION LAYER AND INSTALL PER MANUFACTURERS RECOMMENDATIONS.
2. PRESTO PRODUCTS CO. GEOWEB GW30V4 (4" PANELS)
3. CONNECT THE GEOWEB SECTIONS WITH ATRA KEYS AT EACH INTERLEAF AND END TO END CONNECTION.
4. PROVIDE FOUR, TP-93 TENDONS PER GEOWEB SECTIONS IN CELLS 1, 3, 5 & 7.
5. PROVIDE AN ATRA TENDON CLIP TIED TO EACH TENDON EVERY 4TH CELL DOWN THE SLOPE.
6. PROVIDE AN 6-INCH SOLID WALL PVC PIPE DEADMAN BURIED A MINIMUM OF 3 FEET BELOW CREST ELEVATION. IF A DEADMAN IS NOT FEASIBLE, PROVIDE EARTH ANCHORS WITH A MINIMUM TENSION OF 1,650 LBS (579 LBS/FT X 0.5 FT/PANEL / 3 TENDONS/PANEL) PLUS THE RECOMMENDED MANUFACTURERS FACTOR OF SAFETY TIED TO EACH TENDON. EARTH ANCHORS PULLOUT STRENGTH SHALL BE DETERMINED BY THE ENGINEER OF RECORD BASED ON RECOMMENDED MANUFACTURERS FACTOR OF SAFETY AND SITE SOIL CONDITIONS.
7. PRE-SHAPE THE GEOWEB BEFORE INFILL PLACEMENT.
8. LIMIT THE DROP OF THE INFILL INTO THE GEOWEB PANELS TO PREVENT DISTORSION.
9. PROVIDE SURFACE PROTECTION (HYDROSEED, EROSION CONTROL BLANKET OR TURF REINFORCEMENT MAT) OVER THE GEOWEB SIZED FOR HYDRAULIC CONDITIONS TO PREVENT SOIL WASHOUT PRIOR TO ESTABLISHMENT OF VEGETATION.

OWNERS:
MAP 304 PARCEL 084-000
ABRUZZI REALTY TRUST
55 COUTY STREET
FRANKLIN, MASSACHUSETTS

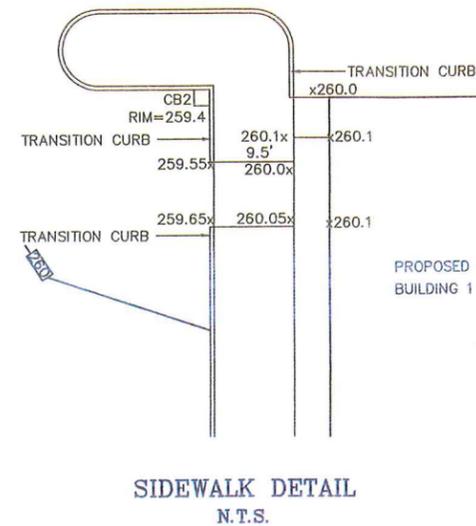
MAP 304 PARCEL 084-001
FERRARA FAMILY REALTY TRUST
PO BOX 482
FRANKLIN, MA 02038

APPLICANT:
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS



US PATENT # 6126817
ADDITIONAL PATENTS PENDING

E.C.P.F. INC.			
49 MT. ARUNTER ROAD, LYMINGTON, VT 05253 (802) 604-6000 FAX (802) 604-6100			
DESCRIPTION	DATE	SCALE	
18R SNOUT OIL & DEBRIS STOP	09/06/99	NONE	
	DRAWING NUMBER		
	18R		

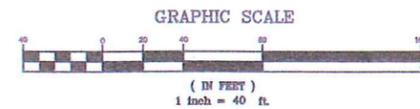


CARLOS A. QUINTAL P.E. #30812

**SITE PLAN
CONSTRUCTION DETAILS - 4
275 WASHINGTON STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS
JUNE 28, 2021
SCALE: 1" = 40'**

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD
4/16/22
DATE

Willie Sant



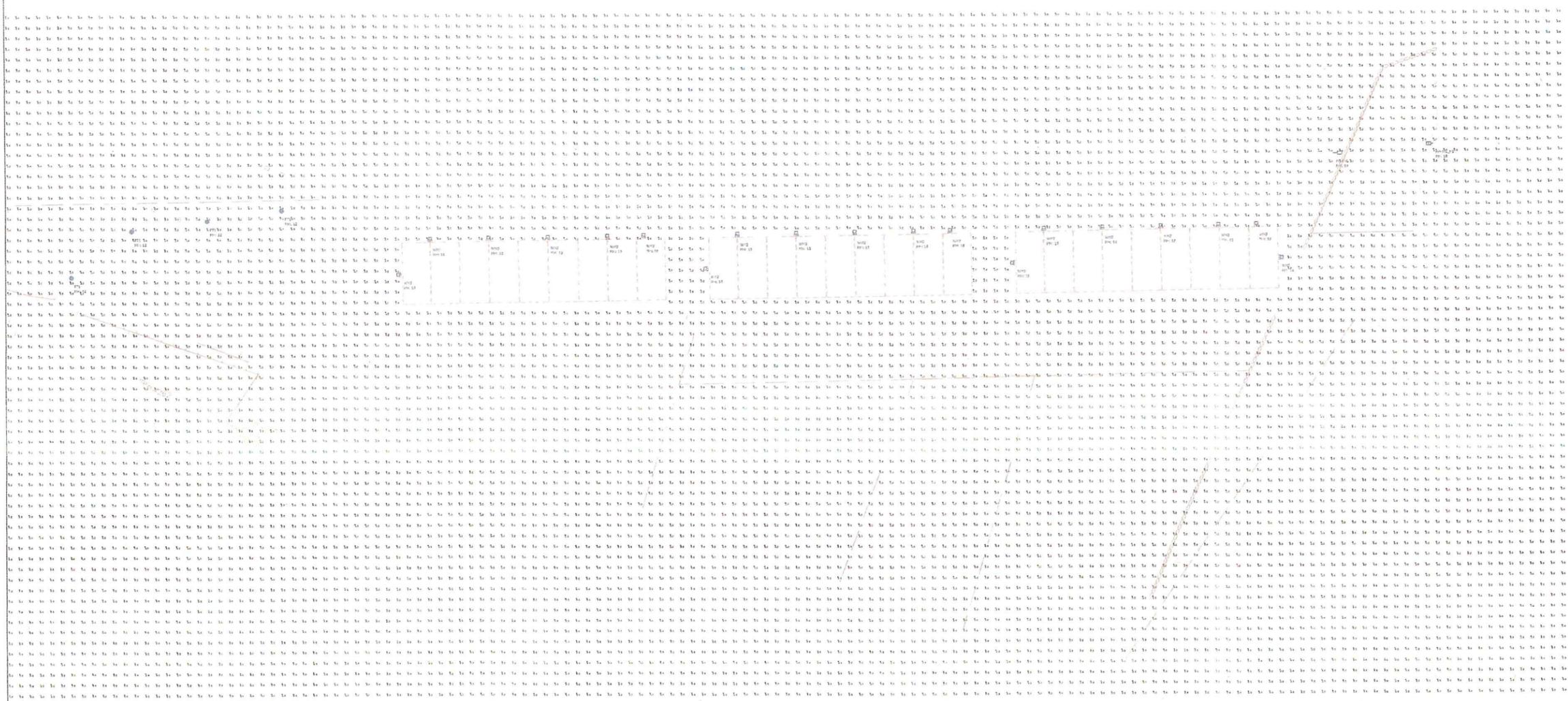
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2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG

DATE	FIELD BY:	INT.
5/21	FIELD BOOK	BL
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

**UNITED
CONSULTANTS
INC.**

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8586

DATE	SCALE	PROJECT	SHEET
JUNE 28, 2021	1" = 30'	UC1502	11 of 11



1 Photometric Layout and Calculations
SCALE: 1:30



Symbol	Label	Qty	Description	LLF	Lum. Watts	Lum. Lumens
PM-T4L	PM-T4L	1	Visionaire # VSX-II-T4L-15L-3K-UNV-AM-TBD	0.900	101.7	12597
PM-T4L_HS	PM-T4L_HS	1	Visionaire # VSX-II-T4L-15L-3K-UNV-AM-TBD-HS	0.900	102	4190
PT1	PT1	4	HCI # HCI-45LED-II-M-SW01509240013	0.900	43.8	4325
WM2	WM2	19	Visionaire # VSX-II-T4L-15L-3K-UNV-WH-TBD	0.900	101.7	12597

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE CALCS	Illuminance	FC	0.18	7.1	0.0	N.A.	N.A.
DRIVE	Illuminance	FC	1.41	7.1	0.1	14.10	71.00
LOT	Illuminance	FC	1.81	6.0	0.1	18.10	60.00
SIDE LOT	Illuminance	FC	0.80	3.2	0.1	8.00	32.00

PRODUCT TECHNICAL DATA SHEET
HCI LIGHTING

F102-LED SERIES

ORDER INFORMATION

ITEM	QTY	UNIT	DESCRIPTION	PRICE	TOTAL
F102	1	EA	F102-LED	101.70	101.70

VSX-II Array LED Specifications

ORDER INFORMATION

ITEM	QTY	UNIT	DESCRIPTION	PRICE	TOTAL
VSX-II	1	EA	VSX-II Array LED	12597.00	12597.00

- NOTES:
- A. A LIGHT LOSS FACTOR OF 0.900 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
 - B. SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
 - C. CALCULATION POINTS ARE TAKEN AT GRADE.
 - D. CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD
DATE: 4/14/22

William J. ...

2 HCI Type F102-LED Specifications

3 Visionaire Type VSX II Array Specifications

SK & Associates
Experience the Light™
355 E Central St
Franklin, MA 02038

Washington Street
Photometric Layout Calculations and Schedules

DATE	REVISION	DESCRIPTION	DATE
6/25/2021	1	PROJECT NUMBER: 21109	
	2	DRAWN BY: JH	
	3	CHECKED BY: AD	
	4	APPROVED BY: HD	
	5	SCALE: AS NOTED	
	6		
	7		

SL1