

380 KING STREET - CONDOMINIUMS

SITE PLAN APPLICATION 5/12/25

COVER SHEET

PREPARED BY NARRAGANSETT ENGINEERING INC.

PROJECT SUMMARY 380 KING STREET - CONDOMINIUMS

TO REDEFINE EXISTING PARCEL LOT LINES ADJACENT TO THE SUBJECT PARCEL AND TO PROVIDE RESIDENTIAL HOUSING

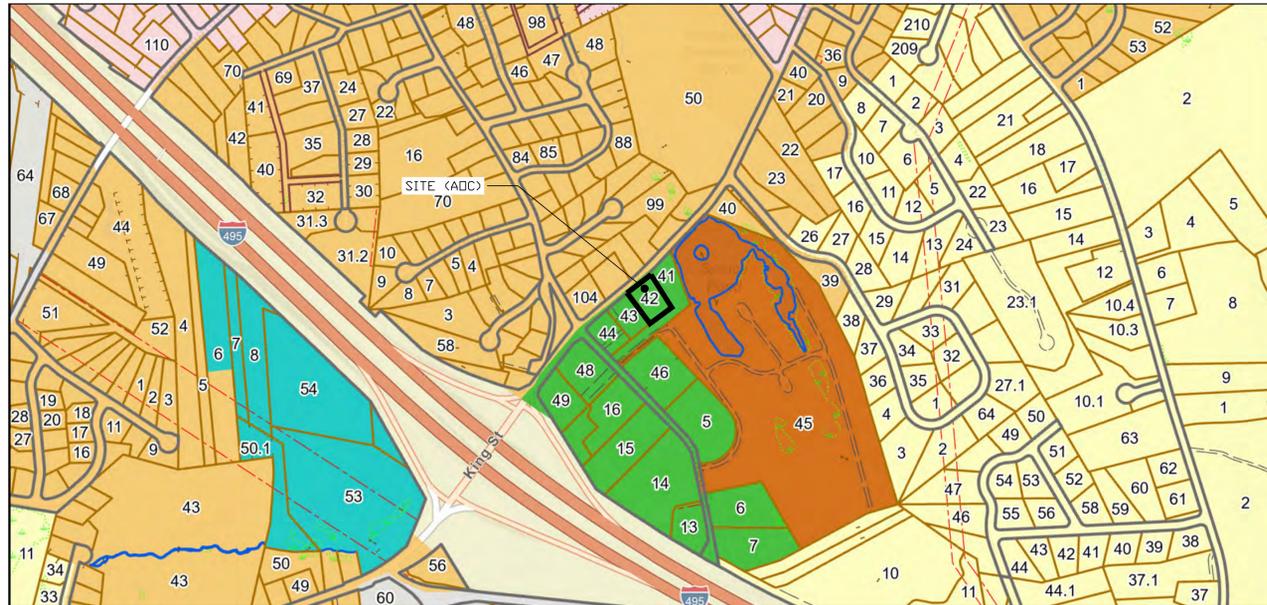
SHEET INDEX

- SV-300: EASEMENT PLAN
- C-000: EXISTING CONDITIONS PLAN
- C-001: EROSION CONTROL AND DEMO PLAN
- C-100: PROPOSED SITE PLAN
- C-101: PROPOSED GRADING AND UTILITY PLAN 1
- C-102: PROPOSED GRADING AND UTILITY PLAN 2
- C-103: DRAINAGE OVERVIEW PLAN
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- C-200: DETAILS 1
- C-201: DETAILS 2
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- C-300: SOIL PROFILES & BMP DETAILS
- L-1: LANDSCAPE PLAN

CONSULTANTS + REPORTS:

- SURVEY: COMMONWEALTH LAND SURVEYORS (CLS)
- SITE CIVIL: NARRAGANSETT ENGINEERING INC (NEI)
- ARCHITECTS: BRIAN FRIGON
- LANDSCAPE ARCHITECTS: NARRAGANSETT ENGINEERING INC (NEI)/ GARDNER + GERRISH (GG)
- PHOTOMETRIC: RAB LIGHTING (RAB)
- BIOLOGY REPORT (WETLANDS) AVIZINIS ENVIRONMENTAL SERVICES INC (AES)

SITE LOCUS MAP
PER TOWN OF FRANKLIN GIS
1" = 800'



District	Area (square feet)	Minimum Lot Dimensions			Minimum Yard Dimensions			Maximum Height of Building		Maximum Impervious Coverage of Existing Upland	
		Continuous Frontage (feet)	Depth (feet)	Lot Width (minimum circle diameter)	Front (feet)	Side (feet)	Rear (feet)	Stories	Feet	Structures	Structures Plus Paving ¹
Rural Residential I	40,000	200	200	180 ²	40	40	40	3	35	20	25
Residential VI	40,000	200	200	180 ²	40	40	40	3	35	20	25
Residential VII ¹¹	40,000	200	200	180 ²	40	40	40	3	35	20 ¹²	25 ¹²
Rural Residential II	30,000	150	200	135 ²	40	35	35	3	35	20	25
Single-Family Residential III	20,000	125	160	112.5	40	25	30	3	35	25	35
Single-Family Residential IV	15,000	100	100	90	30	20	20	3	35	30	35
General Residential V	10,000	100	100	90	20	15	20	3	40	45	55
Neighborhood Commercial	18,000	100	100	90	20	30	40	3	35	30	35
Rural Business ¹³	40,000	200	200	180	40	30	40	1.5	30	10	30
Downtown Commercial	5,000	50	50	45	5 ¹⁰	0 ²	15	3 ⁹	40 ⁷	80	90
Commercial I ⁷	5,000	50	50	45	20 ¹⁴	10 ¹⁴	15	3 ¹⁵	40 ¹⁵	80	90
Commercial II	40,000	175	200	157.5	40	30	30	3 ¹⁵	40 ¹⁵	70	80

Principal Uses (cont'd)	DISTRICT										
	RRI	RRII	RVI	RVII	SFRIII	SFRIV	GRV	NC	RB	CI	CH
6. Residential											
6.1 Multifamily or apartment											
a. With four or more housing units ⁴	N ¹	N	N	N	Y ^{2,3}	PB ^{2,4}	N	Y ^{2,3}	N	Y ^{2,3}	N
b. With three housing units	N	N	N	N	PB ²	Y ²	Y ²	Y ²	N	Y ²	Y
6.2 Single-family	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
6.3 Two-family											
a. New	N	N	N	N	Y ²	Y ²	Y ²	Y ²	N	Y	Y
b. By conversion	BA	BA	BA	BA	BA	Y	Y	Y	N	BA	Y

- NOTES:
¹ Except PB in RVI District per § 185-38, and RVII District per § 185-50.
² Lot area must be at least 25% greater than that required for a single-family dwelling.
³ No more than one dwelling unit per 2,250 square feet of lot area may be permitted; additional dwelling units may be allowed by spec Board.
⁴ All multifamily developments with 10 or more housing units are required to address the affordable housing requirements in § 185-51



380 KING ST - CONDOMINIUMS COVER SHEET

Property Record:
Principal Parcel:
380 King St, Franklin, MA 02038
Plat: 303, Lot:42, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page: 8145-260
Also Part of Subject Application:
370 King St, Franklin, MA 02038
Plat: 303, Lot:41, Area: 1.8 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page: 8145-260
390 King St, Franklin, MA 02038
Plat: 303, Lot:43, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page: 8145-260
400 King St, Franklin, MA 02038
Plat: 303, Lot:44, Area: 0.928 Acres, Zone: C-II
N/F: DECOY INC.

PROJECT NO.	DATE	BY
24.0168	10.10.24	NKH

DRAWING ISSUE:

- CONCEPT / DISCUSSION
- PERMITTING
- CONSTRUCTION
- AS-BUILT
- OTHER

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

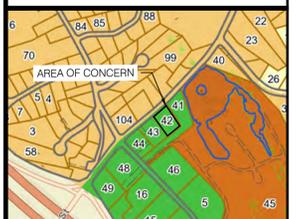
INTERNAL REVIEW

No	CHECK	CAD	DESCRIPTION/NOTES
1	BY DATE	EB 11.28.24	PARKING LAYOUT
2	BY DATE	EB 2.28.25	STORMWATER DESIGN UTILITY REVIEW PENDING
3	BY DATE	EB 13.11.25	GENERAL PLAN REVISIONS
4	BY DATE	EB 3.19.25	GENERAL AND STORMWATER PLAN REVISIONS
5	BY DATE	EB 4.28.25	STORMWATER PLAN REVISIONS
6	BY DATE	EB 5.1.25	COORDINATION MEETING REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN, WATER LINE DESIGN, LANDSCAPING REVISIONS
7	BY DATE	EB 5.7.25	STORMWATER DIVERSION STRUCTURE REVISIONS

FORMAL PLAN REVISIONS

No	DATE	STAGE/DESCRIPTION	BY

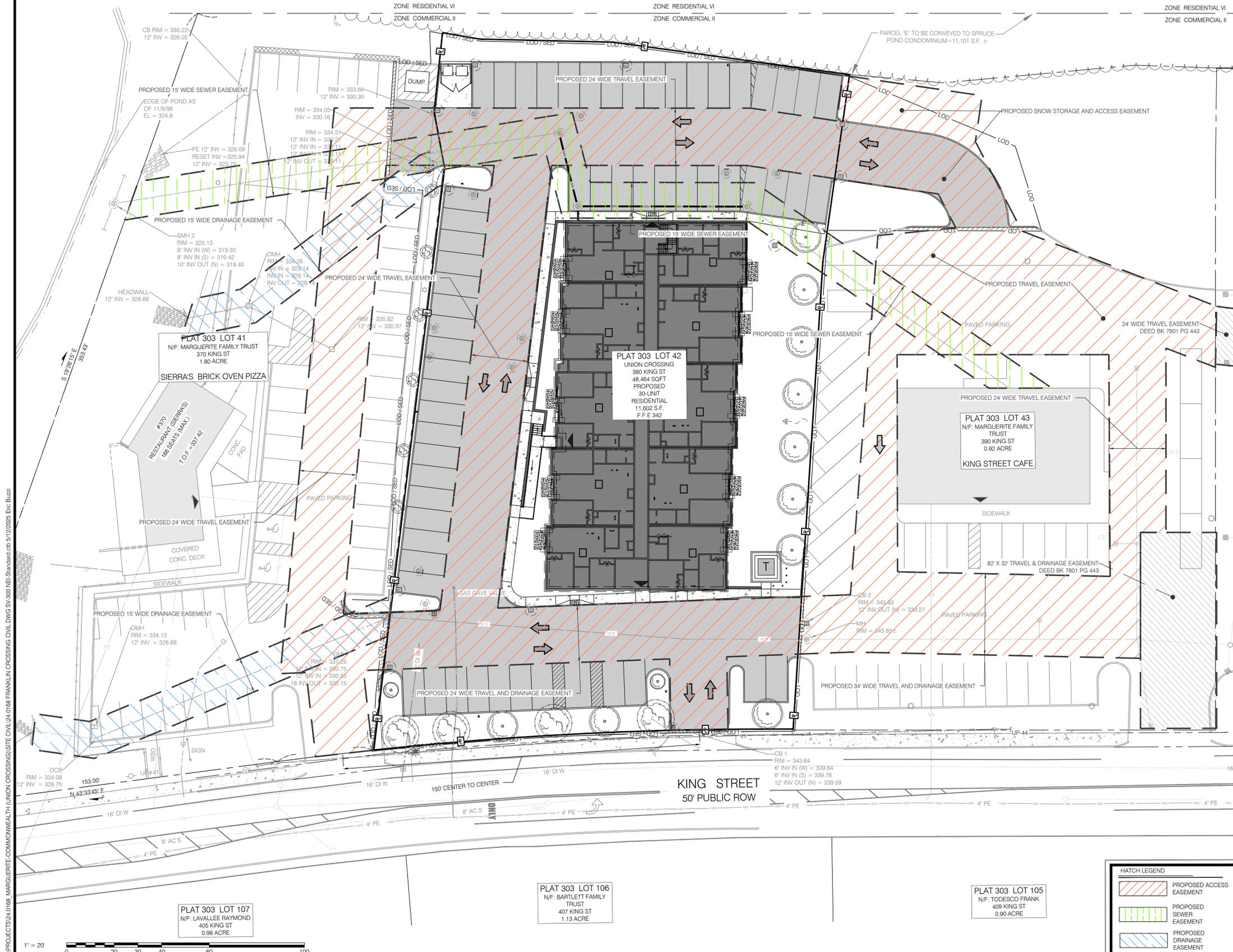
neicds.com
DRAWINGS MUST BE PRINTED IN COLOR TO BE VALID. THIS NOTE SHOULD BE BLUE. IF THIS NOTE IS NOT BLUE, PLEASE REPRINT IN COLOR OR CONTACT NEI.



COVER



PLAT 303 LOT 45
N/F: SPRUCE POND
VILLAGE
13 SPRUCE POND ROAD
33.78 ACRE



PLAT 303 LOT 41
N/F: MARGUERITE FAMILY TRUST
370 KING ST
1.80 ACRE
SIERRAS BRICK OVEN PIZZA

PLAT 303 LOT 42
UNION CROSSING
380 KING ST
48,464 SQ FT
PROPOSED
30-UNIT
RESIDENTIAL
11,602 S.F.
F.F.E 342

PLAT 303 LOT 43
N/F: MARGUERITE FAMILY TRUST
390 KING ST
0.92 ACRE
KING STREET CAFE

PLAT 303 LOT 107
N/F: LAVALLEE RAYMOND
405 KING ST
0.98 ACRE

PLAT 303 LOT 106
N/F: BARTLETT FAMILY TRUST
407 KING ST
1.13 ACRE

PLAT 303 LOT 105
N/F: TODESCO FRANK
409 KING ST
0.90 ACRE

NOTES:

1. A "TRAVEL" EASEMENT SHALL BE PROVIDED FOR THE SHARED ACCESS AISLES BETWEEN PLAT 303 LOT 41, 42, AND 43 FOR TRAVEL EGRESS AND COMMON SNOW STORAGE PRIOR TO FINAL RECORDING.
2. UTILITY EASEMENTS FOR MEANS OF ACCESS AND MAINTENANCE BETWEEN PLAT 303 LOT 41, 42, AND 43 SHALL BE PROVIDED PRIOR TO FINAL RECORDING.
3. PLOTTED IN COLOR FOR PRESENTATION PURPOSES ONLY.

NEI
Narragansett
Engineering Inc.
Civil - Survey Structural Environmental Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

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380 KING ST - CONDOMINIUMS
EASEMENT PLAN

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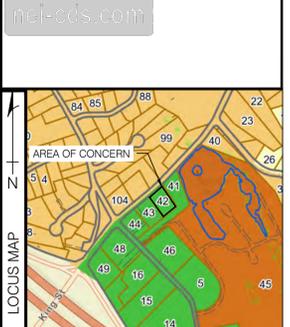
100.00' ---	DIMENSION - EXISTING	---	STRUCTURE, EXISTING
100.00' - - -	DIMENSION - PROPOSED	---	STRUCTURE, PROPOSED
100.00' (D) ---	PLAN / DEED DIMENSION	X 4.24	SPOT GRADE - EXISTING
100.00' (S) ---	SURVEY DIMENSION	X 4.24	SPOT GRADE - PROPOSED
---	PROPERTY LINE - ABUTTING	---	EXISTING TREE
---	PROPERTY LINE - EXISTING	○	PROPOSED TREE
---	PROPERTY LINE - PROPOSED	□	GRANITE BOUND
---	SETBACKS	○	REBAR / STEEL PIPE FOUND
---	GRADE CONTOUR - EXISTING	▲	WETLAND FLAG
100.00' ---	GRADE CONTOUR - PROPOSED	▲	COASTAL FEATURE FLAG
---	ELECTRIC - OVERHEAD (OHE)	■	COASTAL BUFFER POST
---	ELECTRIC - TELEPHONE - CABLE (ETC)	→	FLOW ARROW
---	ELECTRIC - UNDERGROUND (UGE)	○	DRILL HOLE
---	GAS (G)	▲	SOIL EVALUATION
---	SANITARY SEWER (S)	▲	
---	STORM DRAIN (SD)	▲	
---	WATER	▲	
---	LIMIT OF DISTURBANCE (LOD)	▲	
---	SEDIMENT CONTROL (SED)	▲	
---	LOD / SED	▲	
---	EDGE OF PAVEMENT - EXISTING	▲	
---	FENCE - METAL	▲	
---	FENCE - WOOD	▲	
---	STONE WALL	▲	
---	BRUSH LINE (APPROXIMATE)	▲	
---	WETLAND LIMIT	▲	
○	CATCH BASIN	▲	
○	DRAINAGE MANHOLE	▲	
○	SANITARY MANHOLE	▲	
○	ELECTRICAL MANHOLE	▲	
○	TELEPHONE MANHOLE	▲	
○	WELL	▲	
○	GATE VALVE	▲	
○	WATER SHUT OFF	▲	
○	FIRE HYDRANT	▲	
○	ELECTRIC BOX (ETC)	▲	
○	UTILITY POLE	▲	
○	DOWNSPOUT	▲	
○	BENCHMARK	▲	
○	DRILL HOLE	▲	
▲	SPIKE	▲	

INTERNAL REVIEW

No	CHECK	CAD	DESCRIPTION/NOTES
1	BY	EB	PARKING LAYOUT
	DATE	11.26.24	
2	BY	EB	STORMWATER DESIGN
	DATE	2.28.25	UTILITY REVIEW PENDING
3	BY	EB	GENERAL PLAN REVISIONS
	DATE	3.11.25	
4	BY	EB	GENERAL AND STORMWATER PLAN REVISIONS
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	DATE	4.28.25	
6	BY	EB	COORDINATION MEETING REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN WATER LINE DESIGN
	DATE	5.1.25	LANDSCAPE REVISIONS
7	BY	EB	STORMWATER DIVERSION STRUCTURE REVISIONS
	DATE	5.7.25	

FORMAL PLAN REVISIONS

No	DATE	STAGE/DESCRIPTION	BY



SCALE
1"=20'
SV-300

N:\PROJECTS\24.0168 - MARGUERITE COMMONWEALTH UNION CROSSING\SITE CIVIL\24.0168 FRANKLIN CROSSING CIVIL.DWG SV-300 NEI Standard.cds 5/12/2025 Eric Bluzzi



PLAT 303 LOT 45
N/F: SPRUCE POND
VILLAGE
13 SPRUCE POND ROAD
33.78 ACRE

SURVEY NOTES:
 1. SURVEY OF EXISTING CONDITIONS AND PARCEL SUBDIVISION PROVIDED BY COMMONWEALTH LAND SURVEYORS INC. REFER TO PLAN NAME UNION CROSSING SUBDIVISION.
 2. ZONING INFORMATION SHOW FROM RECORD INFORMATION, MAPS AND / OR GIS. ZONING DATA MAY VARY BASED ON USE, LOT SIZE, ORIENTATION AND OTHER FACTORS AND IS SHOWN FOR REFERENCE INFORMATION ONLY.
 3. ZONING DATA MUST BE CONFIRMED WITH ZONING OFFICIAL AND / OR LEGAL COUNSEL FOR USE IN DESIGN OR PERMITTING.
 - THE SUBJECT PARCEL MAY BE OPERATING UNDER AN EXISTING SPECIAL USE PERMIT. NEI SUGGESTS A REVIEW OF ZONING WITH COUNSEL AND/OR ZONING OFFICER FOR CLARIFICATION ON PERMITTING PROCESS FOR IMPROVEMENTS.
 4. PLAN IS NOT AS-BUILT UTILITY PLAN.
 5. ABUTTING PROPERTY LINES SHOWN APPROXIMATELY PER TOWN GIS OR BEST AVAILABLE INFORMATION.
 6. CONTRACTOR TO CALL DIG SAFE AND/OR APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. DIG SAFE TEL # 1-800-344-7233 (1-800-DIG-SAFE).
 A. WATER - SURFACE FEATURES PER FIELD INVESTIGATION MARCH 10TH AND FRANKLIN GIS PER MICHAEL MAGLIO TOWN OF FRANKLIN WATER AND SEWER DIVISION CORRESPONDENCE MARCH 6TH
 B. SEWER - SURFACE FEATURES PER FIELD INVESTIGATION MARCH 10TH AND FRANKLIN GIS PER MICHAEL MAGLIO TOWN OF FRANKLIN WATER AND SEWER DIVISION CORRESPONDENCE MARCH 6TH
 C. GAS - SURFACE FEATURES PER FIELD INVESTIGATION MARCH 10TH AND EVERSOURCE GIS PER ADAM BISTRAN CORRESPONDENCE MARCH 7TH
 D. ELECTRIC - SURFACE FEATURES PER FIELD INVESTIGATION MARCH 10TH
 E. STORM DRAIN - SURFACE FEATURES PER FIELD INVESTIGATION MARCH 10TH AND PER MICHAEL MAGLIO TOWN OF FRANKLIN WATER AND SEWER DIVISION CORRESPONDENCE MARCH 6TH

NEI
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 Civil - Survey Structural Environmental Design
 3102 East Main Road, Portsmouth RI 02871
 Tel. 401.683.6630 www.nei-cds.com

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 380 KING ST - CONDOMINIUMS
 EXISTING
 CONDITIONS PLAN

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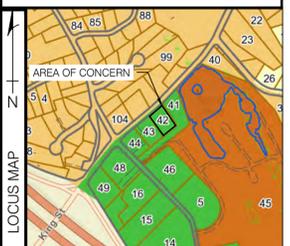
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FORMAL PLAN REVISIONS

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SCALE
 1"=20'
C-000



N:\PROJECTS\24.0168 - MARGUERITE COMMONWEALTH UNION CROSSING\SITE CIVIL\24.0168 FRANKLIN CROSSING CIVIL.DWG C-000 NEI Standard.ctb 5/12/2025 Eric Buzzi





PLAT 303 LOT 45
N/F: SPRUCE POND VILLAGE
13 SPRUCE POND ROAD
33.78 ACRE

Proposed Parking Calculation (Franklin Zoning Code Ch 185 Sec 21 Part B(3)(a)(ii))

No.	Description	Number	Notes
1	Proposed No. of Units	30	2 parking spots required per unit
2	Proposed Parking Spaces Required	60	30*2
3	Proposed Parking Spaces Provided	60	Including 3 ADA spaces (1 Van Accessible)

NEI
Narragansett
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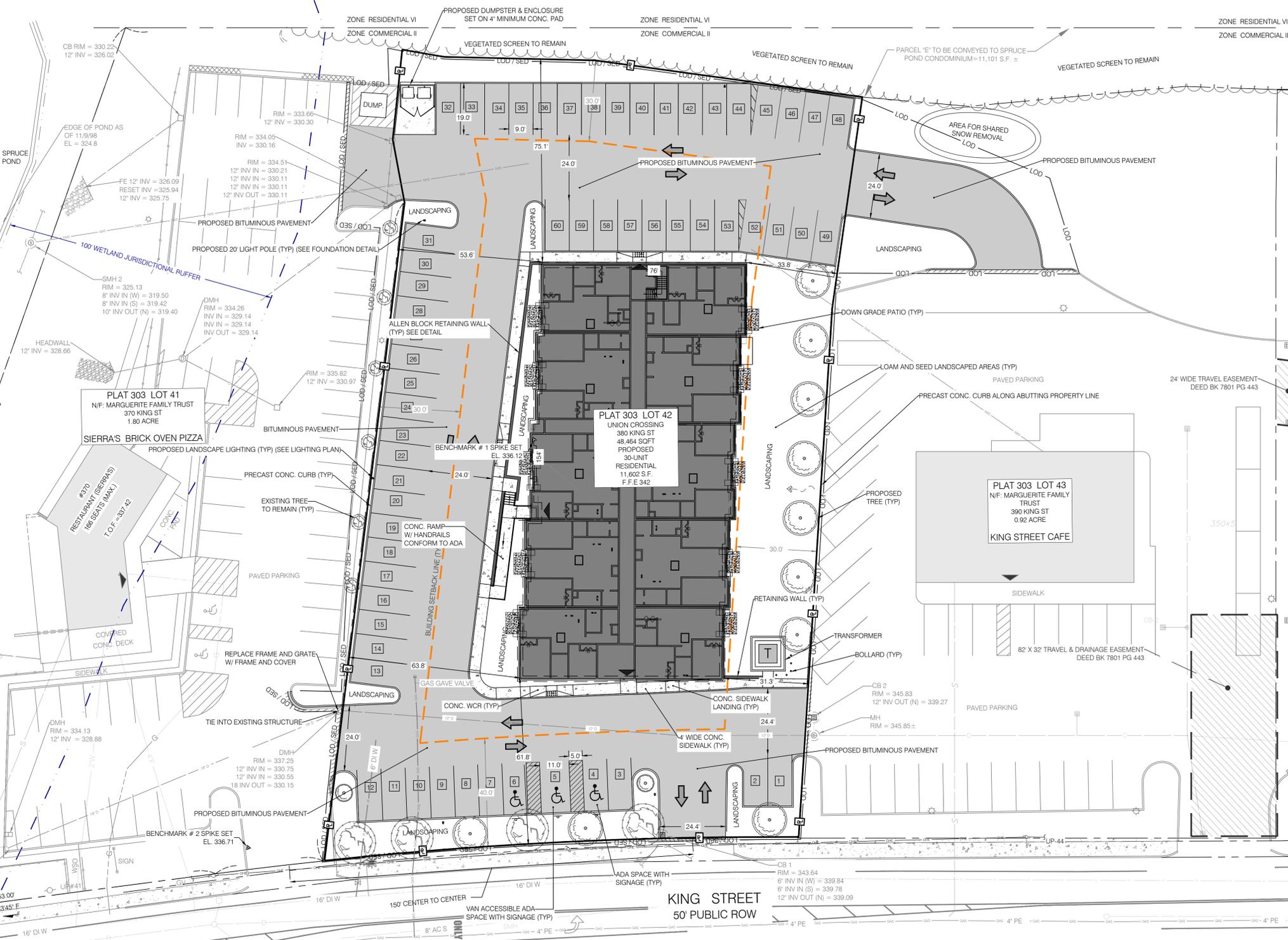
Civil - Survey Structural Environmental Design
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**SHEET TITLE - CONDOMINIUMS
PROPOSED SITE PLAN**

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24.0168 380 King St Franklin MA
PROPOSED LOT COVERAGE TABLE

Description	Area	Unit	Notes
Plat 303 Lot 42	48,464	Sq Ft	Currently Vacant
Pro. Structure	11,616	Sq Ft	Residential Complex
Lot Coverage	23.97%		
CH Zone - Max 70% structural lot coverage 80% impervious			

24.0168 380 King St Franklin MA
PROPOSED PAVEMENT COVERAGE TABLE

Description	Area	Unit	Notes
Plat 303 Lot 42	48,464	Sq Ft	Currently Vacant
Proposed Structure	11,616	Sq Ft	Residential Complex
Proposed Pavement	24,393	Sq Ft	Parking lot & Access Drives
Proposed Landscaping	12,455	Sq Ft	
Pavement Coverage	74.3%		Includes structure
CH Zone - Max 70% structural lot coverage 80% impervious			

24.0168 380 King St Franklin MA A.P. 303 Lot 42
PARCEL / ZONING DATA

Zoning Requirement	Required	Provided
Minimum Lot Area (SF)	40,000	48,464
Minimum Lot Frontage Width (Feet)	175	176.6
Lot Depth (Feet)	200	< 270
Lot Width (Circle Dia. In Feet)	157.5	< 160
Max Building Height (Stories)	3	3
Max Building Height (Feet)	40	> 40

District	Notes
Overlay District	Senior Village
Overlay District	Sign
Interim Wellhead Protection Area	No
Zone II	No

LEGEND

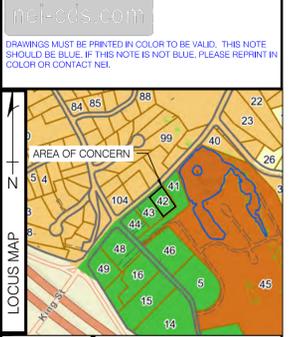
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HATCH LEGEND

	PROPOSED STRUCTURE
	PROPOSED PAVEMENT
	PROPOSED CONCRETE PAD

SCALE
1"=20'
C-100

N:\PROJECTS\24.0168 MARGUERITE COMMONWEALTH (UNION CROSSING) SITE CIVIL\24.0168 FRANKLIN CROSSING CIVIL.DWG C-100 NEI Standard.cdw 5/12/2025 Eric Buzzi

GRADING AND UTILITIES NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED WORK SHOWN ON THESE PLANS DO NOT CONFLICT WITH ANY EXISTING CONDITIONS OR OTHER PROPOSED WORK. IF CONFLICTS ARISE, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH WORK, THE LOCATION, ELEVATION, SIZE AND MATERIAL SHALL BE ACCURATELY DETERMINED BY THE CONTRACTOR IMMEDIATELY AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE CONTRACTOR SHALL NOT CONTINUE WORK ON AFFECTED UTILITIES UNTIL THE CONFLICT IS RESOLVED.
3. ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINE AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
4. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ADJUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
5. ALL UTILITY COVERS, GRATES, AND THE LIKE SHALL BE BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH. RIM ELEVATIONS ARE APPROXIMATE AND FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING.
6. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANY, AS REQUIRED.
7. THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADING. ANY DAMAGE RESULTING TO THESE FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
8. ALL WATER WORKS SHALL HAVE 5 FEET OF COVER.
9. GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY UTILITY COMPANY.
10. DURING CONSTRUCTION CONTRACTOR SHALL PROTECT EXISTING UTILITIES BY PROVIDING TEMPORARY SUPPORTS OR SHEETING AS REQUIRED AT NOT ADDITIONAL COST TO THE OWNER.
11. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINE OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATION AT NO COST TO THE OWNER.
12. PITCH EVENLY BETWEEN ALL SPOT GRADES.
13. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY, ROCKS, DEBRIS, ORGANICS, OR THE LIKE UNCOVERED IN THE COURSE OF WORK.
14. ALL CONDUIT AND WIRE WORK SHALL BE INSTALLED BY AHJ SPECIFICATIONS TO PROVIDE SERVICE AS DESIGNED TO PROPOSED STRUCTURES.

LOAM AND SEED:

GENERAL:

1. ALL DISTURBED AREAS TO BE LOAMED AND SEEDED PER "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES" AS AMENDED OR REVISED.
2. FOR NON-NATIVE PLANTING SEEDING DATES ARE APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 30, DATE MAY BE EXTENDED 15 DAYS IN NEWPORT COUNTY.
3. FOR NATIVE PLANTING SEEDING DATES ARE BETWEEN AUGUST AND SEPTEMBER.

SEED BED PREPARATION:

1. LOOSEN SOIL TO A DEPTH OF FIVE INCHES BY RAKING, DISCING, DRAGGING OR TRAVERSING WITH TRACKED MACHINERY. OVER COMPACTION SHALL BE AVOIDED. CLEAR MARKS SHALL BE PERPENDICULAR TO ANTICIPATED DIRECTION OF SURFACE WATER FLOW.
2. APPLY TOPSOIL IF NECESSARY.
3. APPLY SLOW RELEASE FERTILIZER NOT TO EXCEED 1500 LBS PER ACRE OR 36 LBS PER 1,000 SF USING THE FOLLOWING PERCENTAGES BY WEIGHT:
 - 10% AVAILABLE NITROGEN (N)
 - 20% AVAILABLE PHOSPHORIC ACID (P)
 - 20% AVAILABLE POTASSIUM (K)
4. REMOVE FROM SURFACE ALL STONES LARGER THAN 2" IN DIAMETER, ALL DEBRIS, TREE ROOTS OR OTHER UNSUITABLE MATERIAL.
5. INSPECT AREA TO BE SEEDED IMMEDIATELY PRIOR TO SEEDING FOR ANY COMPACTED AREAS, IF COMPACTED AREAS EXIST SCARIFY PRIOR TO COMMENCING SEEDING.

SEEDING:

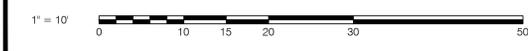
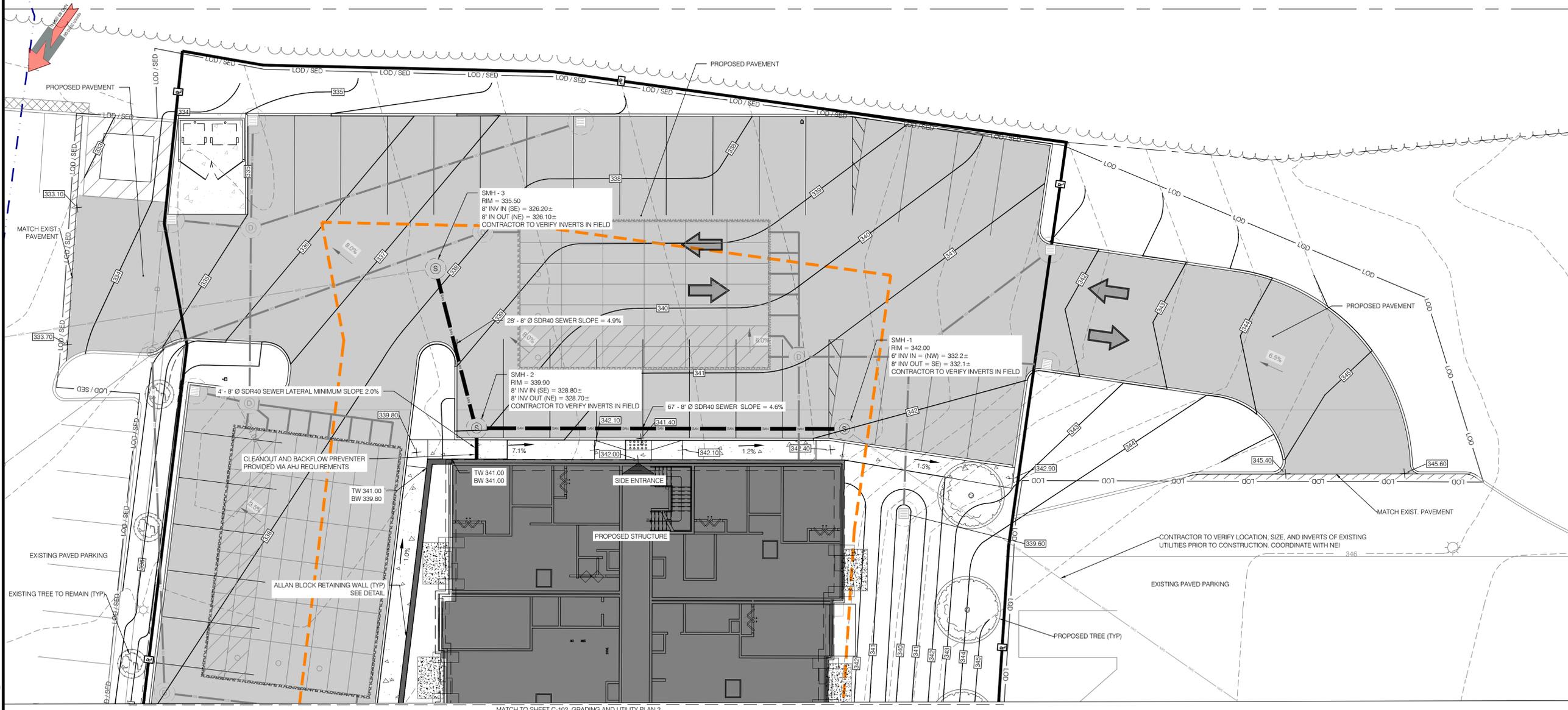
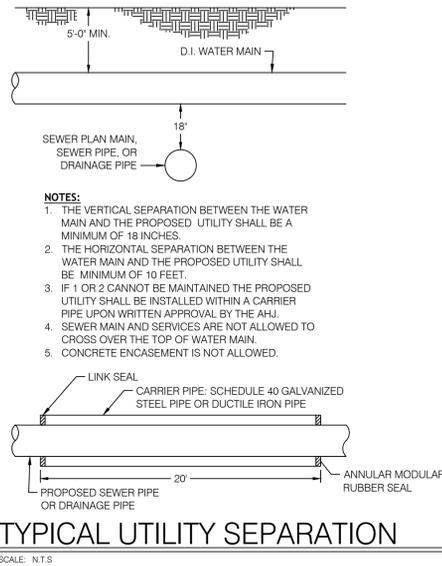
1. APPLY SELECTED SEED AT RATES PROVIDED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER.
2. NORMAL SEEDING DEPTH IS .25 TO .5 INCH. HYDROSEEDINGS MAY BE LEFT ON THE SOIL SURFACE.
3. WHERE FEASIBLE, EXCEPT WHERE EITHER CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, FIRM THE SEEDBED FOLLOWING SEEDING OPERATION WITH ROLLER, OR LIGHT DRAG.
4. SEEDING RATES SHALL BE INCREASED BY 10% WHEN USING HYDROSEEDING.
5. USE OF STRAW MULCH HELD WITH ADHESIVE MATERIALS OR 500 LBS PER ACRE OF WOOD FIBER MULCH IS RECOMMENDED FOR PROTECTION FROM SOIL EROSION.
6. IF SEEDING CAN NOT BE COMPLETED WITHIN SEEDING DATES USE MULCHING TO PROTECT SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.

RECOMMENDED SEEDING:

SEED MIXTURE NO. 1

- KENTUCKY BLUE GRASS 22.5 LBS/AC 0.5 LBS/1000 SF
- CREEPING RED FESCUE 105 LBS/AC 2.5 LBS/1000 SF
- PERENNIAL RYEGRASS 22.5 LBS/AC 0.5 LBS/1000 SF

NOTES: WHERE CONFUSION OR UNCERTAINTY EXISTS IN LOAMING AND SEEDING CONSULT THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" AS AMENDED OR REVISED, ENGINEER, LANDSCAPE ARCHITECT



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SHEET TITLE - CONDOMINIUMS GRADING AND UTILITY PLAN 1

Property Record:
Principal Parcel:
380 King St. Franklin, MA 02038
Plat: 303, Lot:42, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page: 8145-260
Also Part of Subject Application:
370 King St. Franklin, MA 02038
Plat: 303, Lot:41, Area: 1.8 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page: 8145-260
390 King St. Franklin, MA 02038
Plat: 303, Lot:43, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page: 8145-260
400 King St. Franklin, MA 02038
Plat: 303, Lot:44, Area: 0.928 Acres, Zone: C-II
N/F: DECOY INC.

PROJECT NO.	DATE	BY
24.0168	10.10.24	NKH

DRAWING ISSUE:

- CONCEPT / DISCUSSION
- PERMITTING
- CONSTRUCTION
- AS-BUILT
- OTHER

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

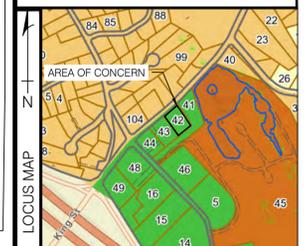
INTERNAL REVIEW

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1	BY DATE	EB 11.26.24	PARKING LAYOUT
2	BY DATE	EB 2.28.25	STORMWATER DESIGN
3	BY DATE	EB 3.11.25	UTILITY REVIEW PENDING
4	BY DATE	EB 3.19.25	GENERAL PLAN REVISIONS
5	BY DATE	EB 4.28.25	GENERAL AND STORMWATER PLAN REVISIONS
6	BY DATE	EB 5.1.25	STORMWATER PLAN REVISIONS
7	BY DATE	EB 5.7.25	COORDINATION MEETING REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN, WATER LINE DESIGN, LANDSCAPE REVISIONS
8	BY DATE	EB 5.7.25	STORMWATER DIVERSION STRUCTURE REVISIONS

FORMAL PLAN REVISIONS

No	DATE	STAGE/DESCRIPTION	BY

Drawings must be printed in color to be valid. This note should be blue. If this note is not blue, please reprint in color or contact NEI.



SCALE 1"=10'
C-101

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N:\PROJECTS\24.0168 - MARGUERITE COMMONWEALTH UNION CROSSING CIVIL\DWG C-102 NEI Standard.ctb 5/12/2025 Eric Buzzi



MATCH TO SHEET C-101, GRADING AND UTILITY PLAN 1

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Engineering Inc.
 Civil - Survey Structural Environmental Design
 3102 East Main Road, Portsmouth RI 02871
 Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE
 380 KING ST - CONDOMINIUMS
 GRADING AND UTILITY
 PLAN 2

Property Record:
Principal Parcel:
 380 King St, Franklin, MA 02038
 Plat: 303, Lot:42, Area: 0.919 Acres, Zone: C-II
 N/F: Marguerite Margaret, TR, Marguerite Family Trust
 Book/Page: 8145-260
Also Part of Subject Application:
 370 King St, Franklin, MA 02038
 Plat: 303, Lot:41, Area: 1.8 Acres, Zone: C-II
 N/F: Marguerite Margaret, TR, Marguerite Family Trust
 Book/Page 8145-260
 390 King St, Franklin, MA 02038
 Plat: 303, Lot:43, Area: 0.919 Acres, Zone: C-II
 N/F: Marguerite Margaret, TR, Marguerite Family Trust
 Book/Page 8145-260
 400 King St, Franklin, MA 02038
 Plat: 303, Lot:44, Area: 0.928 Acres, Zone: C-II
 N/F: DECOY INC.

PROJECT NO.	DATE	BY
24.0168	10.10.24	NKH

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 - PERMITTING
 - CONSTRUCTION
 - AS-BUILT
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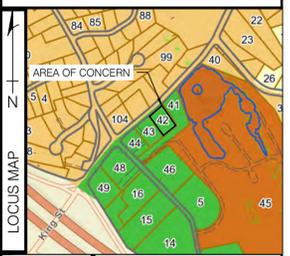
INTERNAL REVIEW

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2	BY DATE	EB 2.28.25	STORMWATER DESIGN
3	BY DATE	EB 3.11.25	UTILITY REVIEW PENDING
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5	BY DATE	EB 4.28.25	GENERAL AND STORMWATER PLAN REVISIONS
6	BY DATE	EB 5.1.25	STORMWATER PLAN REVISIONS
7	BY DATE	EB 5.7.25	COORDINATION MEETING REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN, WATER LINE DESIGN, LANDSCAPE REVISIONS
8	BY DATE	EB 5.7.25	STORMWATER DIVERSION STRUCTURE REVISIONS

FORMAL PLAN REVISIONS

No	DATE	STAGE/DESCRIPTION	BY

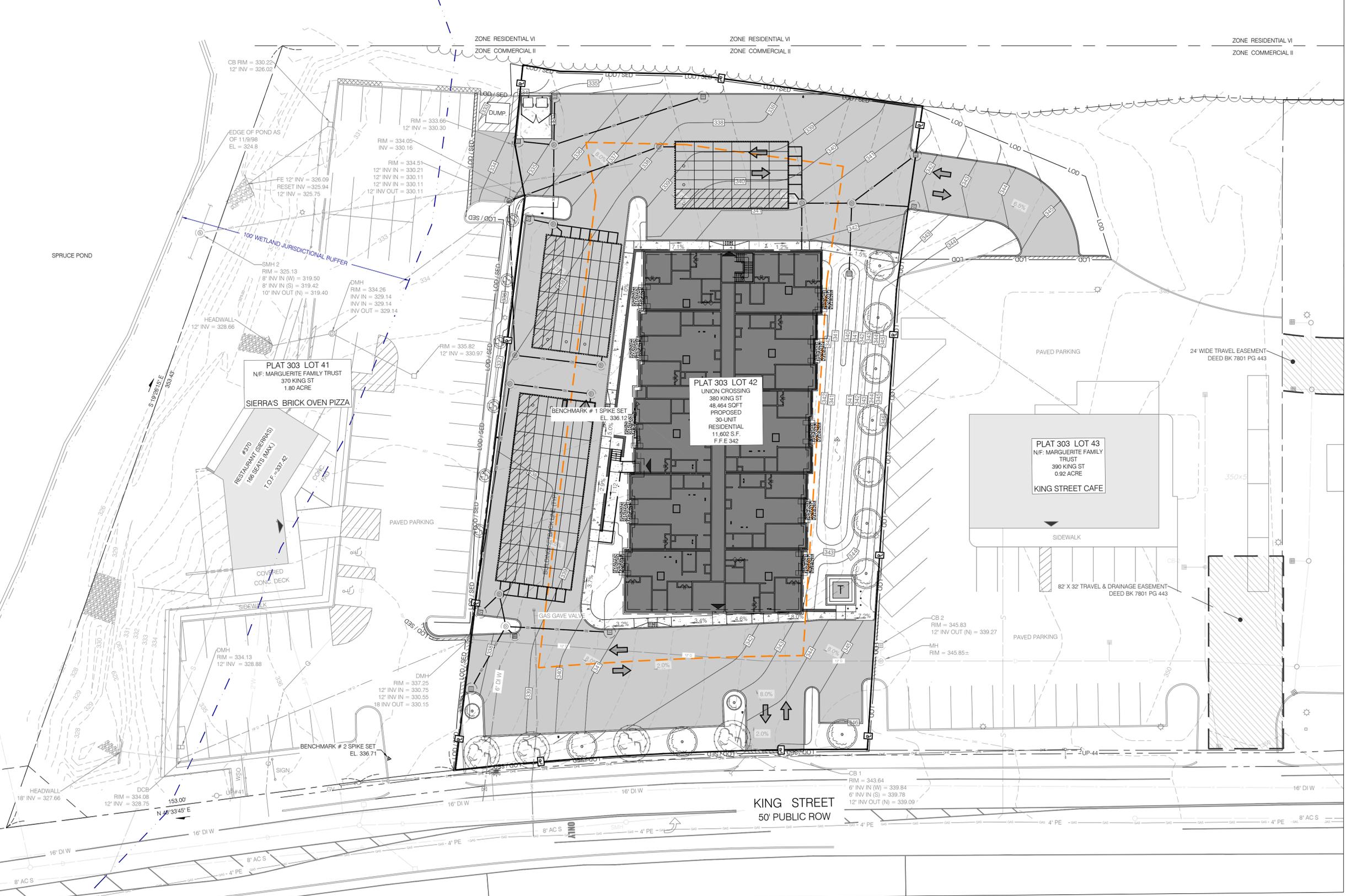
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SCALE 1"=10'
C-102



PLAT 303 LOT 45
N/F: SPRUCE POND
VILLAGE
13 SPRUCE POND ROAD
33.78 ACRE



PLAT 303 LOT 41
N/F: MARGUERITE FAMILY TRUST
370 KING ST
1.80 ACRE
SIERRA'S BRICK OVEN PIZZA

PLAT 303 LOT 42
UNION CROSSING
380 KING ST
48,464 SQFT
PROPOSED
30-UNIT
RESIDENTIAL
11,602 S.F.
F.F.E 342

PLAT 303 LOT 43
N/F: MARGUERITE FAMILY TRUST
390 KING ST
0.92 ACRE
KING STREET CAFE



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SHEET TITLE
380 KING ST - CONDOMINIUMS
DRAINAGE OVERVIEW
PLAN

Property Record:
Principal Parcel:
380 King St, Franklin, MA 02038
Plat: 303, Lot:42, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page: 8145-260
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Book/Page 8145-260
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Plat: 303, Lot:43, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page 8145-260
400 King St, Franklin, MA 02038
Plat: 303, Lot:44, Area: 0.928 Acres, Zone: C-II
N/F: DECOY INC.

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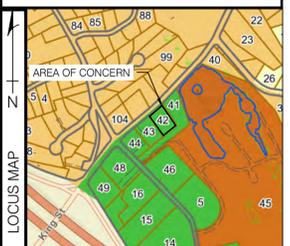
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2	BY DATE	EB 12.28.23	STORMWATER DESIGN UTILITY REVIEW PENDING
3	BY DATE	EB 3.11.25	GENERAL PLAN REVISIONS
4	BY DATE	EB 3.19.25	GENERAL AND STORMWATER PLAN REVISIONS
5	BY DATE	EB 4.28.25	STORMWATER PLAN REVISIONS
6	BY DATE	EB 5.1.25	COORDINATION MEETING REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN, WATER LINE DESIGN, LANDSCAPE REVISIONS
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FORMAL PLAN REVISIONS

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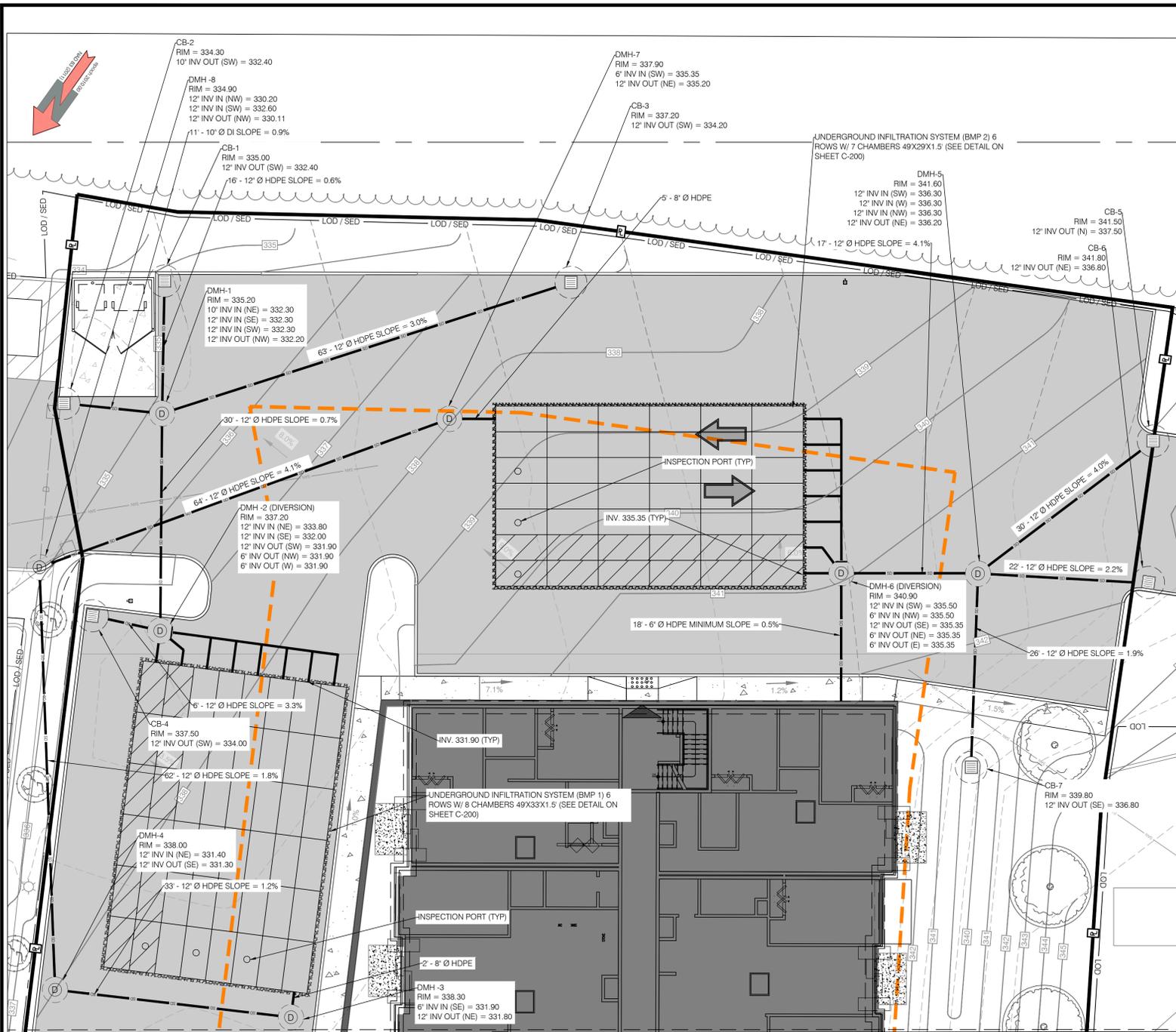
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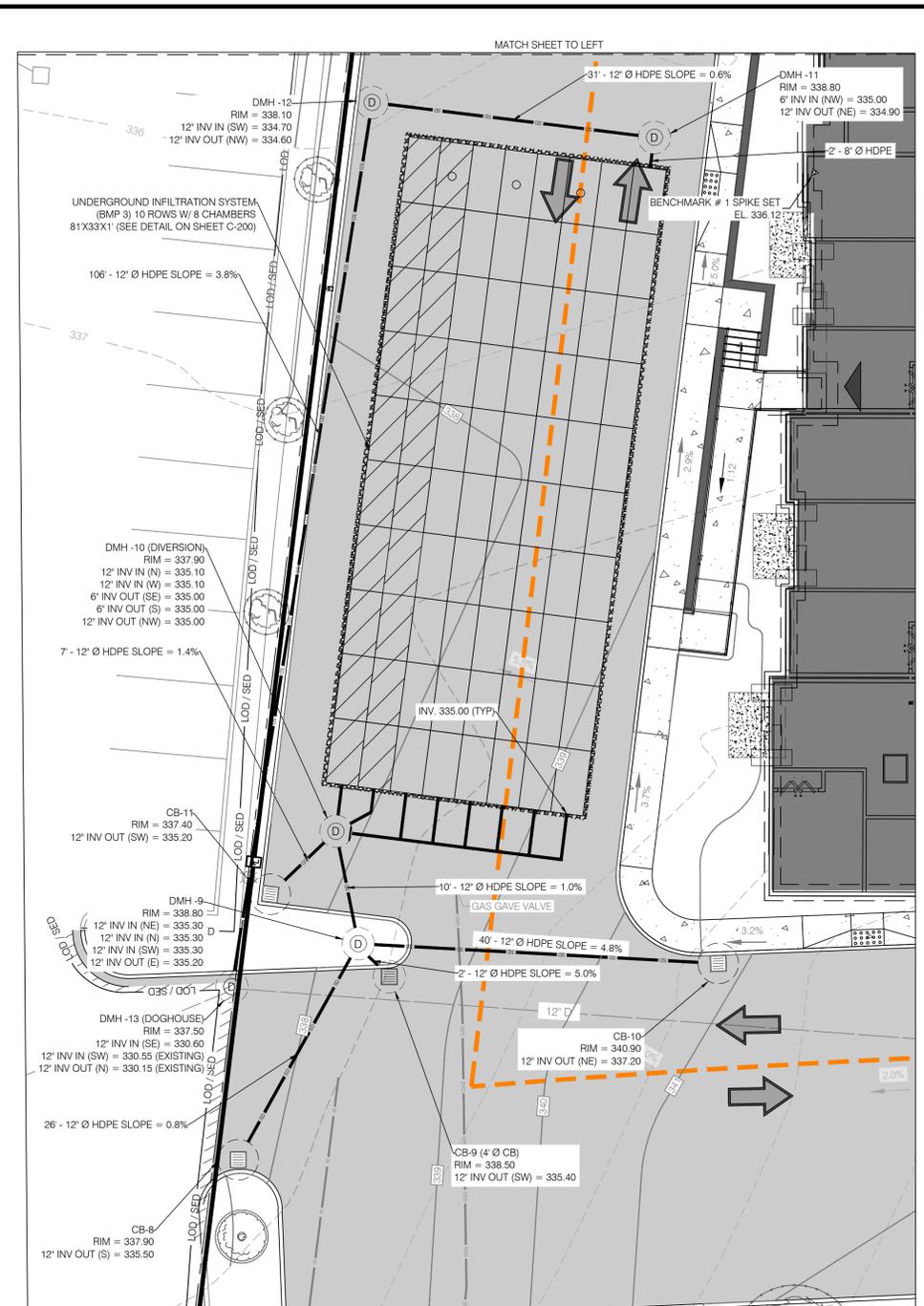
SCALE 1"=10' C-103

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8A DRAINAGE DETAIL PLAN 1
SCALE: 1" = 10'
0 10 20 30 40 50



8A DRAINAGE DETAIL PLAN 2
SCALE: 1" = 10'
0 10 20 30 40 50

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SHEET TITLE
380 KING ST - CONDOMINIUMS
DRAINAGE DETAIL PLAN

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Plat: 303, Lot:44, Area: 0.928 Acres, Zone: C-II
N/F: DECOY INC.

PROJECT NO.	DATE	BY
24.0168	10.10.24	NKH

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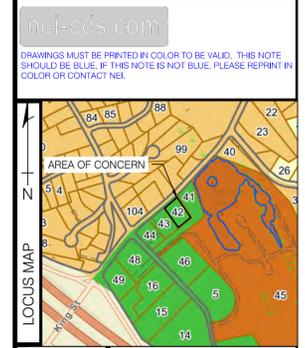
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	DATE	11.26.24	
2	BY	EB	STORMWATER DESIGN
	DATE	2.28.25	UTILITY REVIEW PENDING
3	BY	EB	GENERAL PLAN REVISIONS
	DATE	3.11.25	
4	BY	EB	GENERAL AND STORMWATER PLAN REVISIONS
	DATE	3.19.25	
5	BY	EB	STORMWATER PLAN REVISIONS
	DATE	4.28.25	
6	BY	EB	COORDINATION MEETING REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN, WATER LINE DESIGN, LANDSCAPE REVISIONS
	DATE	5.1.25	
7	BY	EB	STORMWATER DIVERSION STRUCTURE REVISIONS
	DATE	5.7.25	

FORMAL PLAN REVISIONS

No	DATE	STAGE/DESCRIPTION	BY

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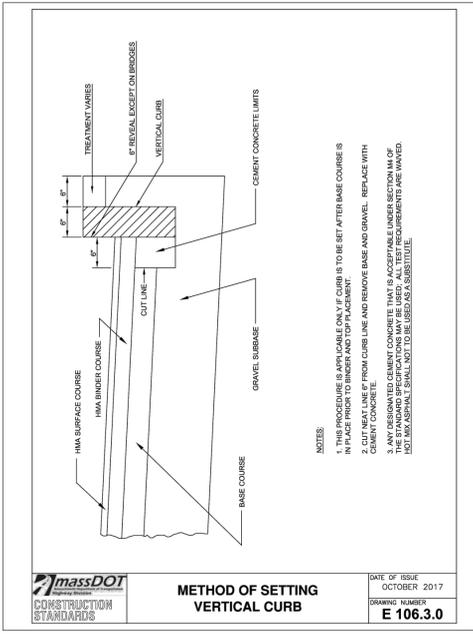
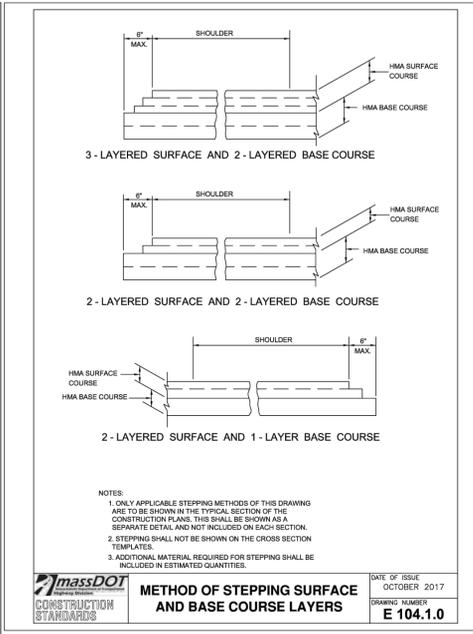
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SCALE: 1" = 10' **C-103A**

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- GENERAL NOTES:**
- THE STATE OF MASSACHUSETTS STANDARD SPECIFICATION, 2024 EDITION, AND THE MASSACHUSETTS STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL CONFORM TO MASSACHUSETTS STANDARD SPECIFICATION 2024 EDITION OR LATEST REVISION WITH APPLICABLE SUPPLEMENTS. THE 2024 EDITION OF THE STANDARD SPECIFICATION MAY BE OBTAINED AT THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
 - IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY AND ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH ARCHITECT OR ENGINEER AS NECESSARY.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE JOB SITE. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ANY EXPOSED EXCAVATED AREAS IN ACCORDANCE WITH OSHA STANDARDS.
 - IN THE CASE THAT ANY DEVIATION / ALTERATION / OR IMPROVEMENT FROM THE APPROVED PLANS IS NECESSARY THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER PRIOR TO OCCURRENCE OF DEVIATION.
 - ALL WORK SHALL BE LIMITED TO THE AREAS WITHIN THE LIMIT OF DISTURBANCE DISPLAYED ON THESE PLANS OR PROPERTY LINE IF LIMIT OF DISTURBANCE IS UNCLEAR. ANY AREA DISTURBED OUTSIDE OF THE LIMIT OF DISTURBANCE SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER OR ENGINEER, AND PERFORMED TO THE ENGINEER'S SATISFACTION.
 - ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATION SHOWN ON THESE PLANS AND/OR ACCOMPANYING SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF ANY CONFLICTS WITH EXISTING CONDITIONS OR PROPOSED CONDITIONS EXIST. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED.
 - EXCAVATED ROCK SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER. SUITABLE ROCK MAY BE UTILIZED IN FILL AREAS WITH WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVES.
 - DEBRIS, ORGANICS AND OTHER UNSUITABLE MATERIALS UNCOVERED DURING THE COURSE OF SITE EXCAVATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL EXISTING UTILITIES THAT SERVICE THE SITE AND NEIGHBORING AREAS. IF ANY DAMAGE OCCURS TO EXISTING UTILITIES IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PAY ALL COSTS ASSOCIATED WITH REPAIR OF UTILITIES AS DIRECTED BY THE ENGINEER, UTILITY OWNER, OR GOVERNING AGENCY.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE-OFF IN COMPUTING ANY ESTIMATES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
 - THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. "DIG SAFE" SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION.
 - NO EXCAVATION SHALL PROCEED UNTIL UTILITY COMPANIES ARE NOTIFIED IN ADVANCE.
 - ALL TREE PROTECTION BY OTHERS UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS WITH APPROPRIATE SEED MIXTURES.
 - ALL PLANTINGS SHALL CONFORM TO THE BEST DEVELOPMENT PRACTICES GUIDEBOOK PER THE TOWN OF FRANKLIN DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT DATED FEBRUARY 2021.
 - CONTRACTOR SHALL COORDINATE WITH MEP FOR UTILITY CONNECTIONS TO PROPOSED STRUCTURES.

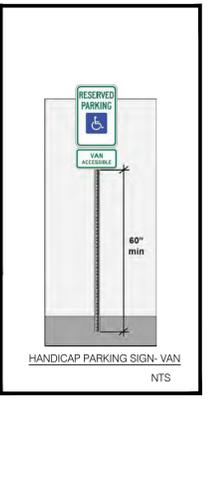
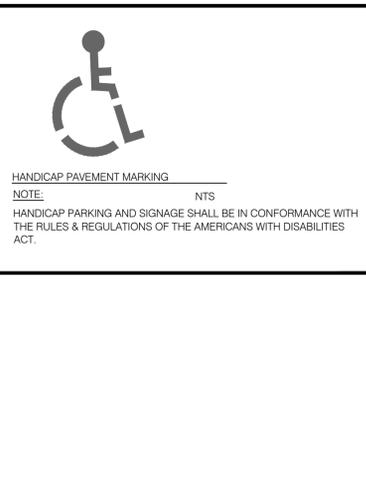
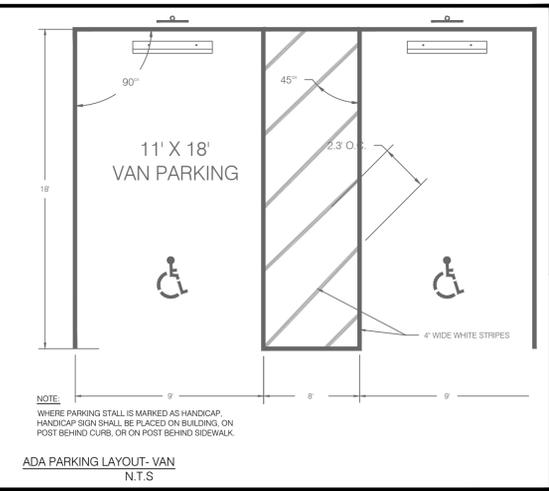
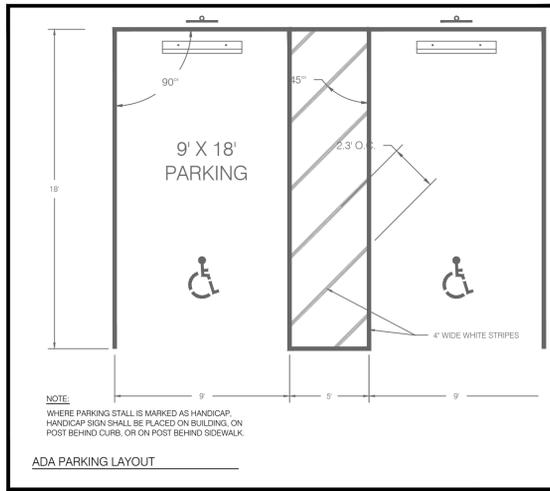
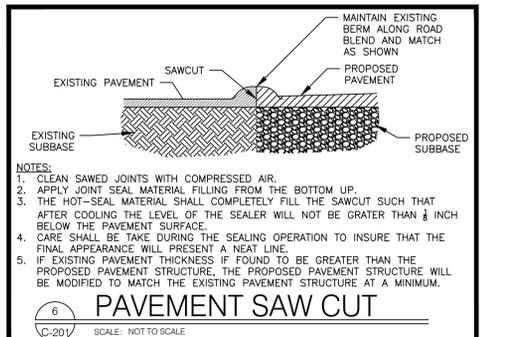
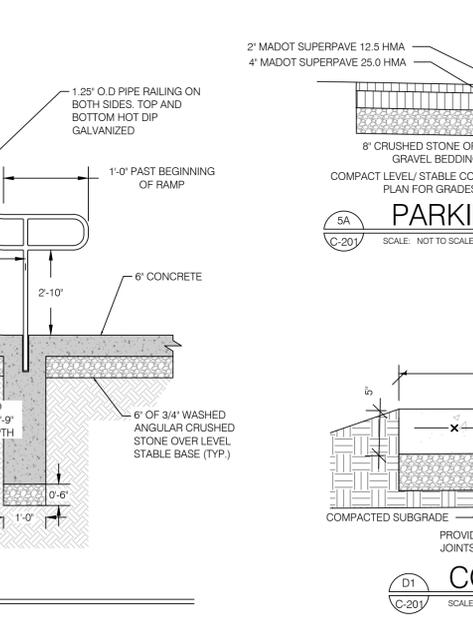
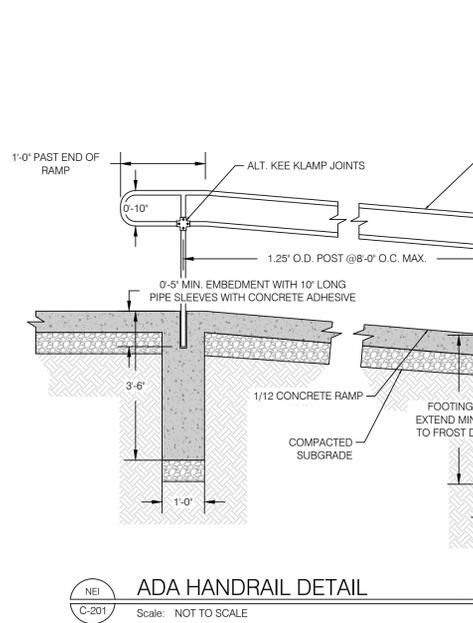
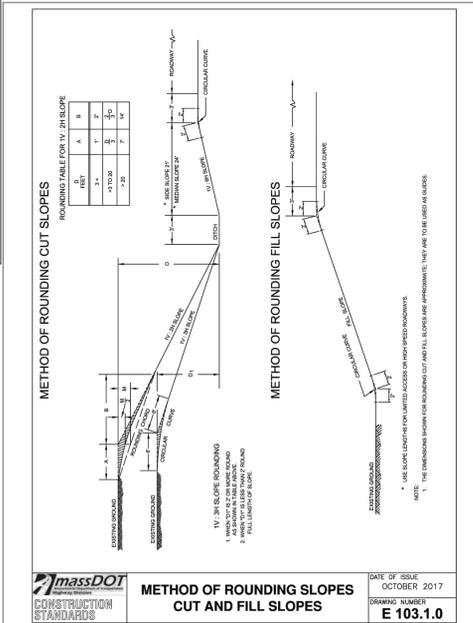
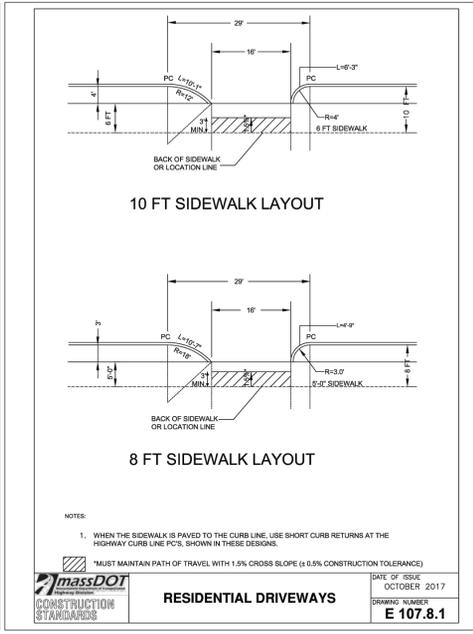


CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS

DATE OF ISSUE: OCTOBER 2017
DRAWING NUMBER: E 107.9.0

ROADWAY PROFILE GRADE	ENGLISH UNITS	* HIGH SIDE TRANSITION LENGTH
= 0%		6'-6"
> 0% TO 1%		7'-8"
> 1% TO 2%		9'-0"
> 2% TO 3%		11'-0"
> 3% TO 4%		14'-0"
> 4% TO 5%		15'-0" Max

NOTE:
* BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6".



ADA PARKING REQUIREMENTS PER ADA NATIONAL NETWORK

Total Number of Parking Spaces in Parking Facility (Lot or Garage)	Minimum Total Number of Accessible Parking Spaces Required	Minimum Number of Van Accessible Spacing Spaces
1 - 25	1	1
26 - 50	2	1
51 - 75	3	1
76 - 100	4	1
101 - 150	5	1
151 - 200	6	1
201 - 300	7	2
301 - 400	8	2
401 - 500	9	2
501 - 1000	2% of total	
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1000	

NEI
Narragansett
Engineering Inc.

Civil - Survey Structural Environmental Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE - CONDOMINIUMS DETAILS 2

Property Record:
Principal Parcel:
330 King St, Franklin, MA 02038
Plat: 303, Lot:42, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page: 8145-260
Also Part of Subject Application:
370 King St, Franklin, MA 02038
Plat: 303, Lot:41, Area: 1.8 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page 8145-260
390 King St, Franklin, MA 02038
Plat: 303, Lot:43, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page 8145-260
400 King St, Franklin, MA 02038
Plat: 303, Lot:44, Area: 0.928 Acres, Zone: C-II
N/F: DECOY INC.

PROJECT NO.	DATE	BY
24.0168	10.10.24	NKH

DRAWING ISSUE:

- CONCEPT / DISCUSSION
- PERMITTING
- CONSTRUCTION
- AS-BUILT
- OTHER

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION.

JOSEPH W. MALONEY
CIVIL NO. 51595
REGISTERED PROFESSIONAL ENGINEER
5/12/25

INTERNAL REVIEW

No	CHECK	CAD	DESCRIPTION/NOTES
1	BY DATE	EB 11.26.24	PARKING LAYOUT
2	BY DATE	EB 2.28.25	STORMWATER DESIGN UTILITY REVIEW PENDING
3	BY DATE	EB 3.11.25	GENERAL PLAN REVISIONS
4	BY DATE	EB 3.19.25	GENERAL AND STORMWATER PLAN REVISIONS
5	BY DATE	EB 4.28.25	STORMWATER PLAN REVISIONS
6	BY DATE	EB 5.1.25	COORDINATION MEETING REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN
7	BY DATE	EB 5.7.25	STORMWATER DIVERSION STRUCTURE REVISIONS

FORMAL PLAN REVISIONS

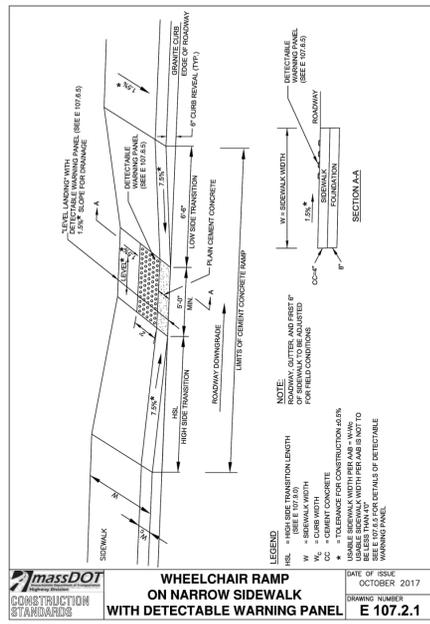
No	DATE	STAGE/DESCRIPTION	BY

SCALE 1"=20'

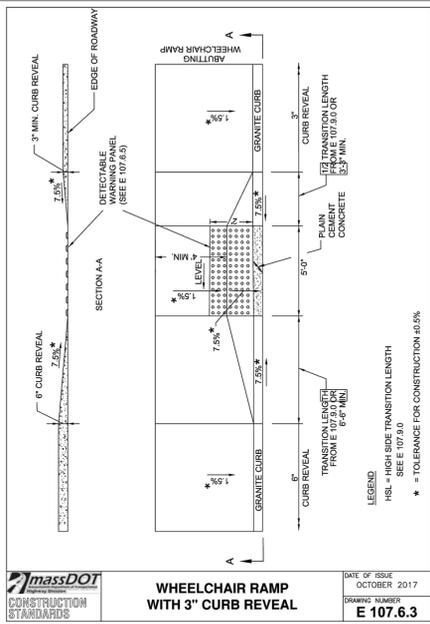
C-201

LOCUS MAP

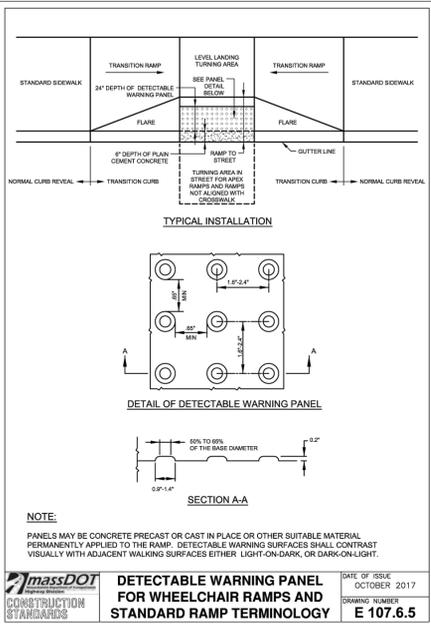
N:\PROJECTS\24.0168 - MARGUERITE-COMMONWEALTH LUNION CROSSING\SITE CIVIL\24.0168 FRANKLIN CROSSING CIVIL.DWG C-203 NEI-Standard.cdw 5/12/2025 Eric Buzzi



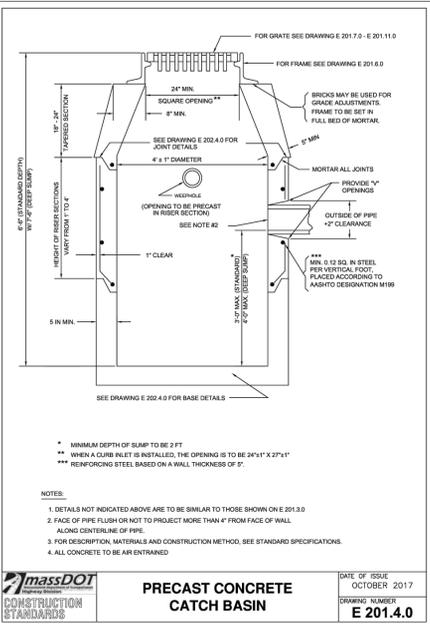
WHEELCHAIR RAMP ON NARROW SIDEWALK WITH DETECTABLE WARNING PANEL
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 107.2.1**



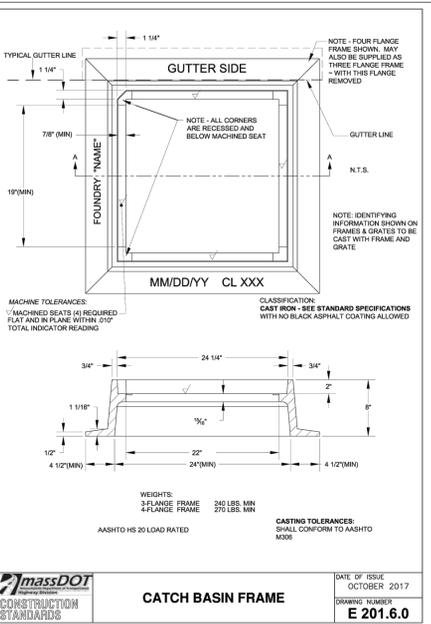
WHEELCHAIR RAMP WITH 3" CURB REVEAL
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 107.6.3**



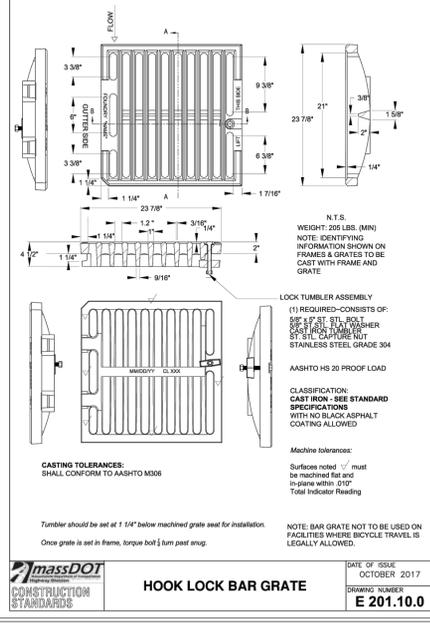
DETECTABLE WARNING PANEL FOR WHEELCHAIR RAMP AND STANDARD RAMP TERMINOLOGY
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 107.6.5**



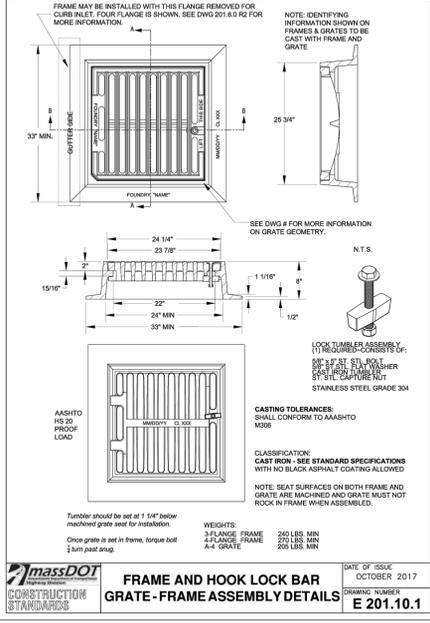
PRECAST CONCRETE CATCH BASIN
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 201.4.0**



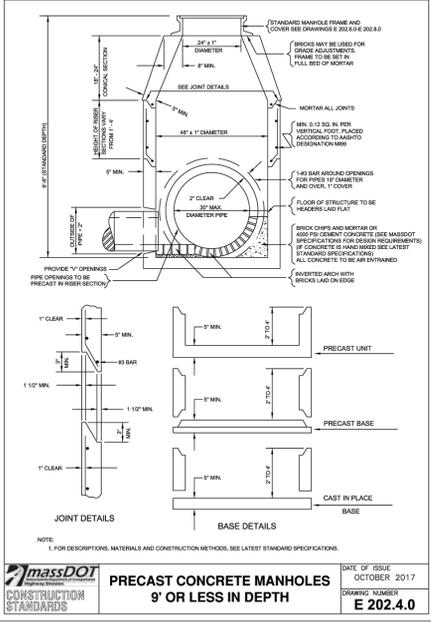
CATCH BASIN FRAME
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 201.6.0**



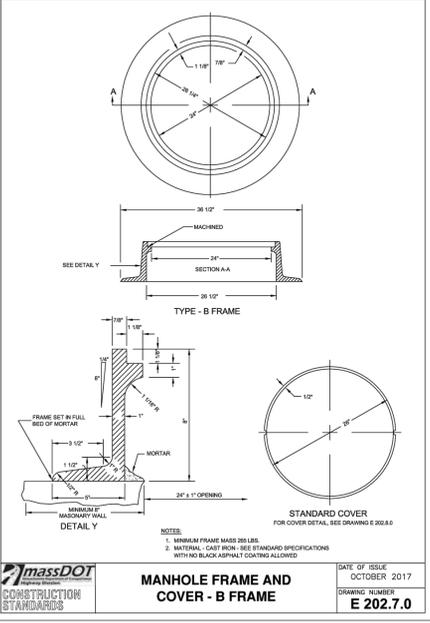
HOOK LOCK BAR GRATE
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 201.10.0**



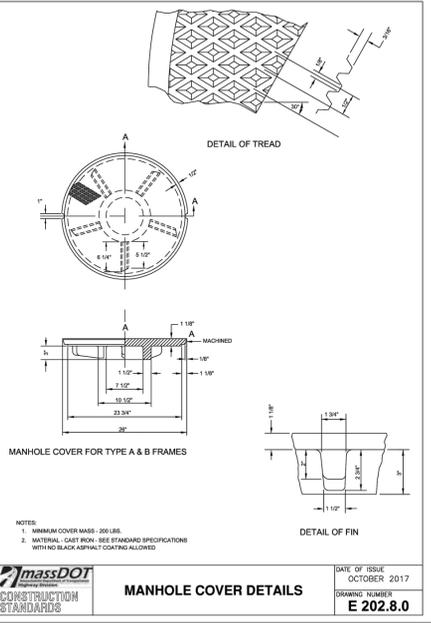
FRAME AND HOOK LOCK BAR GRATE - FRAME ASSEMBLY DETAILS
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 201.10.1**



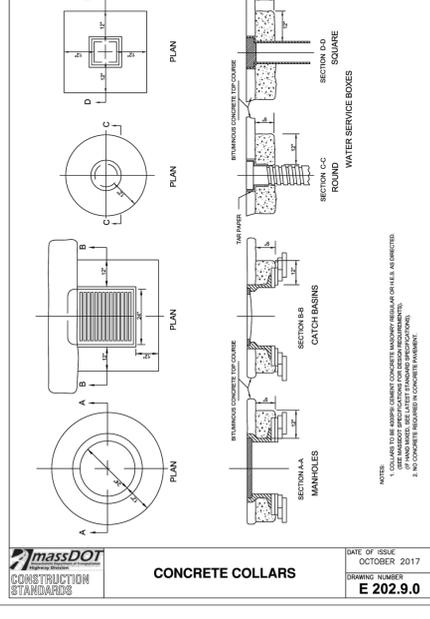
PRECAST CONCRETE MANHOLES 9' OR LESS IN DEPTH
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 202.4.0**



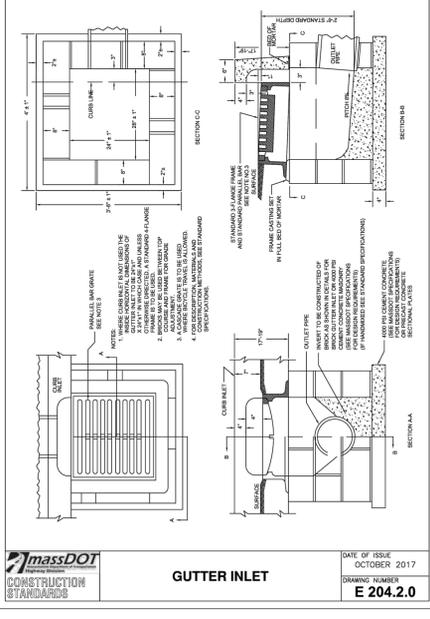
MANHOLE FRAME AND COVER - B FRAME
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 202.7.0**



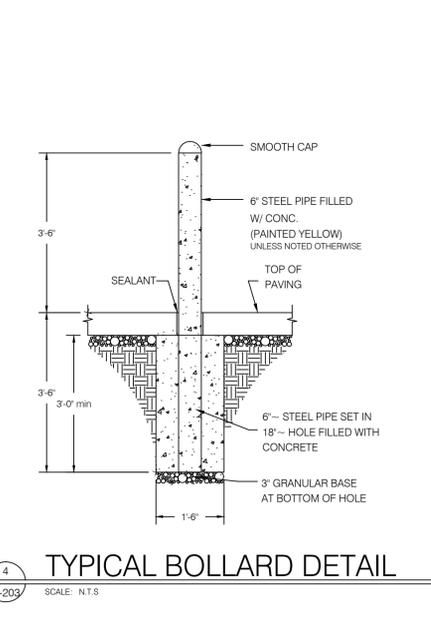
MANHOLE COVER DETAILS
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 202.8.0**



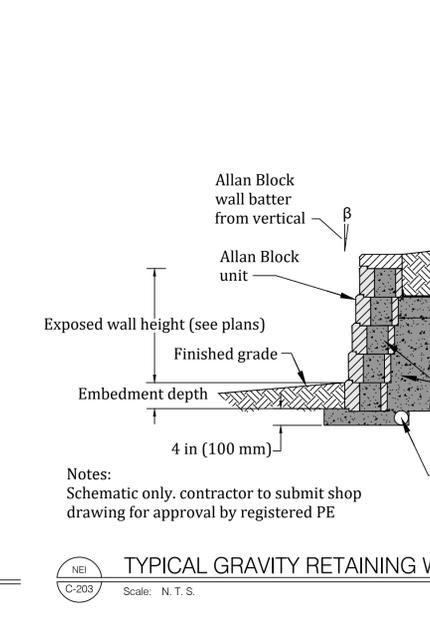
CONCRETE COLLARS
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 202.9.0**



GUTTER INLET
 DATE OF ISSUE: OCTOBER 2017
 DRAWING NUMBER: **E 204.2.0**



TYPICAL BOLLARD DETAIL
 SCALE: N.T.S.



TYPICAL GRAVITY RETAINING WALL SECTION
 SCALE: N.T.S.

NEI
Narragansett Engineering Inc.
 Civil - Survey Structural Environmental Design
 3102 East Main Road, Portsmouth RI 02871
 Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE - CONDOMINIUMS DETAILS 4
 Property Record:
 Principal Parcel:
 390 King St, Franklin, MA 02038
 Plat: 303, Lot:42, Area: 0.919 Acres, Zone: C-II
 N/F: Marguerite Margaret, TR, Marguerite Family Trust
 Book/Page: 8145-260
 Also Part of Subject Application:
 370 King St, Franklin, MA 02038
 Plat: 303, Lot:41, Area: 1.8 Acres, Zone: C-II
 N/F: Marguerite Margaret, TR, Marguerite Family Trust
 Book/Page 8145-260
 390 King St, Franklin, MA 02038
 Plat: 303, Lot:43, Area: 0.919 Acres, Zone: C-II
 N/F: Marguerite Margaret, TR, Marguerite Family Trust
 Book/Page 8145-260
 400 King St, Franklin, MA 02038
 Plat: 303, Lot:44, Area: 0.928 Acres, Zone: C-II
 N/F: DECOY INC.

PROJECT NO.	DATE	BY
24.0168	10.10.24	NKH

DRAWING ISSUE:
 CONCEPT / DISCUSSION
 PERMITTING
 CONSTRUCTION
 AS-BUILT
 OTHER
 ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION.

SEAL OF THE PROFESSIONAL REGISTERED ENGINEER
 JOSEPH W. MALONE
 CIVIL NO. 51565
 REGISTERED PROFESSIONAL ENGINEER
 5/12/25

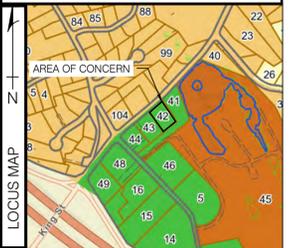
INTERNAL REVIEW

No	CHECK	CAD	DESCRIPTION/NOTES
1	BY DATE	EB 11.26.24	PARKING LAYOUT
2	BY DATE	EB 12.28.25	STORMWATER DESIGN UTILITY REVIEW PENDING
3	BY DATE	EB 3.11.25	GENERAL PLAN REVISIONS
4	BY DATE	EB 3.19.25	GENERAL AND STORMWATER PLAN REVISIONS
5	BY DATE	EB 4.28.25	STORMWATER PLAN REVISIONS
6	BY DATE	EB 5.1.25	COORDINATION MEETING REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN, WATER LINE DESIGN, LANDSCAPE REVISIONS
7	BY DATE	EB 5.7.25	STORMWATER DIVERSION STRUCTURE REVISIONS

FORMAL PLAN REVISIONS

No	DATE	STAGE/DESCRIPTION	BY

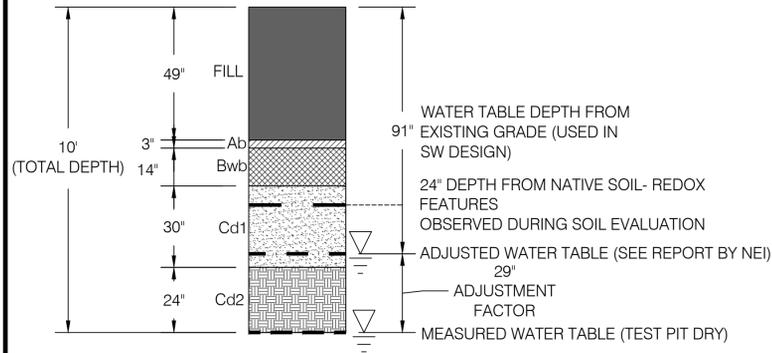
Drawings must be printed in color to be valid. This note should be blue. If this note is not blue, please reprint in color or contact NEI.



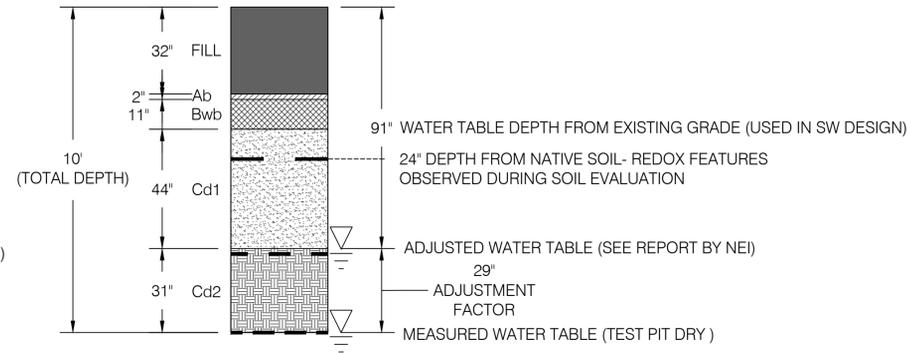
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C-203

N:\PROJECTS\24.0168 - MARGUERITE-COMMONWEALTH UNION CROSSING\SITE CIVIL\24.0168 FRANKLIN CROSSING CIVIL.DWG C-300 NEI.Standard.ctb 5/12/2023 Eric Buzzi

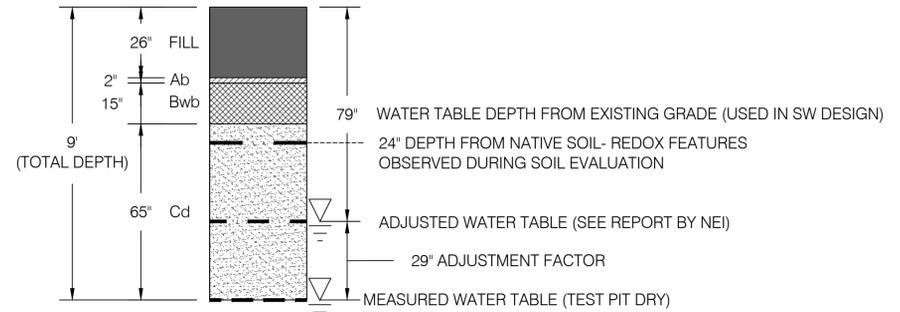
OBSERVATION HOLE #1



OBSERVATION HOLE #2



OBSERVATION HOLE #3



NEI
Narragansett
Engineering Inc.
Civil - Survey Structural Environmental Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE
380 KING ST - CONDOMINIUMS
SOIL PROFILES & BMP
DETAILS

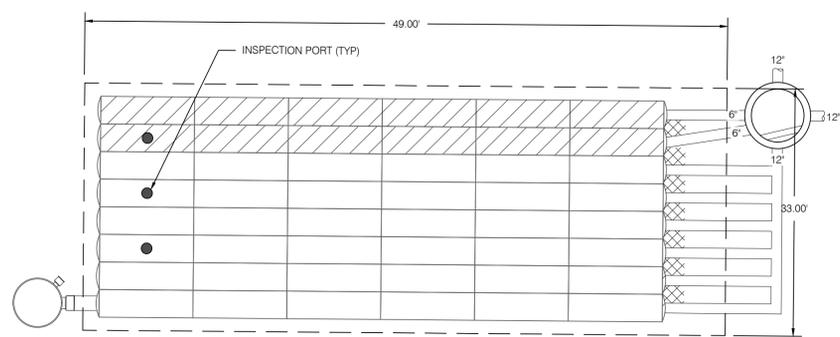
Property Record:
Principal Parcel:
330 King St, Franklin, MA 02038
Plat: 303, Lot: 42, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page: 8145-260
Also Part of Subject Application:
370 King St, Franklin, MA 02038
Plat: 303, Lot: 41, Area: 1.8 Acres, Zone: C-II
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Plat: 303, Lot: 43, Area: 0.919 Acres, Zone: C-II
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Plat: 303, Lot: 44, Area: 0.928 Acres, Zone: C-II
N/F: DECOY INC.

PROJECT NO.	DATE	BY
24.0168	10.10.24	NKH

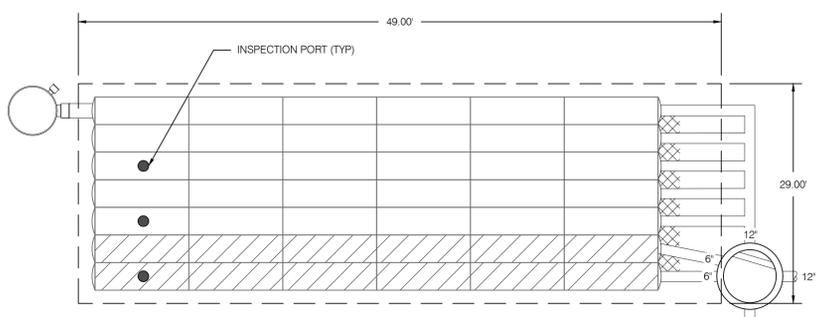
DRAWING ISSUE:

- CONCEPT / DISCUSSION
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- AS-BUILT
- OTHER

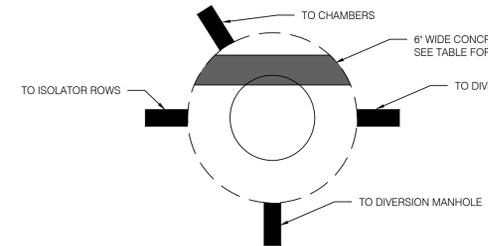
ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION.



BMP 1 INFILTRATION SYSTEM PLAN VIEW
Scale: N. T. S.



BMP 2 INFILTRATION SYSTEM PLAN VIEW
Scale: N. T. S.

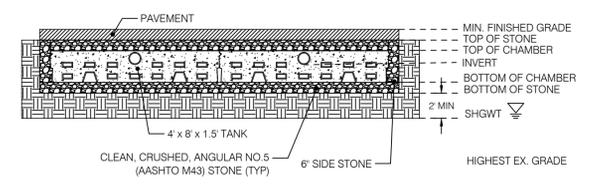


NOTES:
1. PIPE CONFIGURATION IS REPRESENTATIVE. SEE PLANS AND DETAILS FOR PIPE CONFIGURATION.

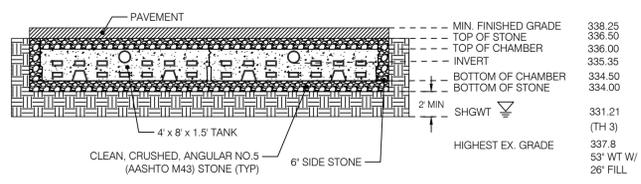
DIVERSION MANHOLE WEIR WALL
Scale: N. T. S.

WEIR WALL ELEVATIONS

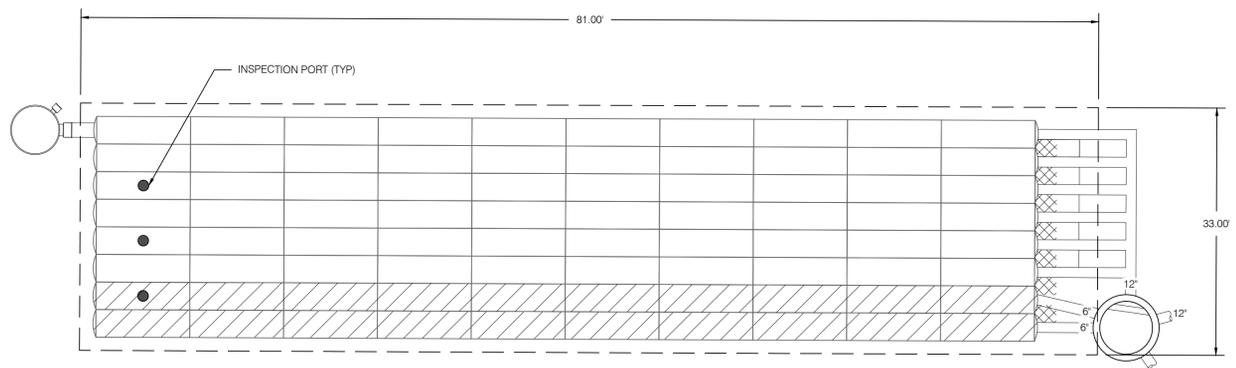
DMH-2 (DIVERSION) FOR BMP-1	EL. 330.95
DMH-6 (DIVERSION) FOR BMP-2	EL. 334.55
DMH-10 (DIVERSION) FOR BMP-3	EL. 334.30



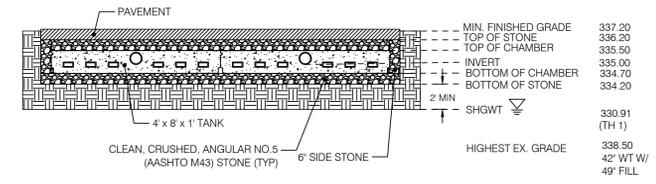
BMP 1 INFILTRATION SYSTEM CROSS SECTION
Scale: N. T. S.



BMP 2 INFILTRATION SYSTEM CROSS SECTION
Scale: N. T. S.



BMP 3 INFILTRATION SYSTEM PLAN VIEW
Scale: N. T. S.



BMP 3 INFILTRATION SYSTEM CROSS SECTION
Scale: N. T. S.



NOTES

- DRAINAGE CHAMBERS SHALL BE SHEA LEACHING CHAMBERS OF PROVIDED DIMENSIONS OR APPROVAL EQUAL. ANY SUBSTITUTION OF MATERIALS FROM PROVIDED PLANS ARE SUBJECT TO WRITTEN ENGINEERING APPROVAL.
- MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- **NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

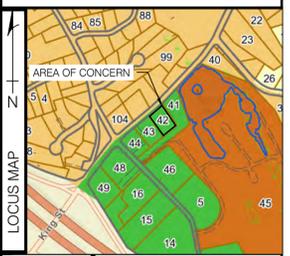
INTERNAL REVIEW

No	CHECK	CAD	DESCRIPTION/NOTES
1	BY	EB	PARKING LAYOUT
	DATE	11.26.24	
2	BY	EB	STORMWATER DESIGN
	DATE	2.28.25	UTILITY REVIEW PENDING
3	BY	EB	GENERAL PLAN REVISIONS
	DATE	3.11.25	
4	BY	EB	GENERAL AND STORMWATER
	DATE	3.19.25	PLAN REVISIONS
5	BY	EB	STORMWATER PLAN REVISIONS
	DATE	4.28.25	
6	BY	EB	COORDINATION MEETING
	DATE	5.1.25	REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN
			WATER LINE DESIGN
			LANDSCAPE REVISIONS
7	BY	EB	STORMWATER DIVERSION
	DATE	5.7.25	STRUCTURE REVISIONS

FORMAL PLAN REVISIONS

No	DATE	STAGE/DESCRIPTION	BY

Drawings must be printed in color to be valid. This note should be blue. If this note is not blue, please reprint in color or contact NEI.



SCALE: 1"=20'
C-300