

Adirondack Club Parking Lot Expansion

800 Chestnut Street
Franklin, Massachusetts 02038
AP 248, Lot 80

OWNER:



THE ADIRONDACK CLUB
800 CHESTNUT STREET
FRANKLIN, MA 02038

CIVIL ENGINEER:



PARE CORPORATION
ENGINEERS - SCIENTISTS - PLANNERS
8 BLACKSTONE VALLEY PLACE
LINCOLN, RI 02865
401-334-4100

LANDSCAPE ARCHITECT:



179 GREEN STREET
BOSTON, MA 02130



Scale : N.T.S.

INDEX OF DRAWINGS

SHEET No.	DRAWING No.	DESCRIPTION
-	-	COVER SHEET
1	C0.1	NOTES
2	C0.2	LEGEND
3	C0.3	OVERALL PLAN
4 - 5	C1.1 - C1.2	DEMOLITION, EROSION & SEDIMENT CONTROL PLAN 1 - 2
6 - 7	C2.1 - C2.2	GENERAL PLAN 1 - 2
8 - 9	C3.1 - C3.2	GRADING PLAN 1 - 2
10 - 11	C4.1 - C4.2	DRAINAGE PLAN 1 - 2
12 - 15	C5.1 - C5.4	CIVIL DETAILS 1 - 4
16 - 17	L1.1 - L1.2	LANDSCAPE PLAN 1 - 2
18	L2.1	LANDSCAPE DETAILS
19	L3.1	LIGHTING PLAN
20	L3.2	PHOTOMETRIC PLAN

**SITE PLAN MODIFICATION
JUNE 6, 2025**

REFERENCE

- 1. PROJECT LOCATION: ADIRONDACK CLUB, 800 CHESTNUT STREET, FRANKLIN 02038. ASSESSOR'S MAP 248, LOT 80.
2. EXISTING CONDITIONS MAPPING FROM PLAN ENTITLED "OVERALL EXISTING CONDITIONS PLAN" PREPARED BY ROTTI MCGRODY DESIGN COLLABORATIVE LLC, DATED AUGUST 4, 2017.
3. THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON THE VERTICAL DATUM REFERENCED ON "SITE PLAN MODIFICATION IN FRANKLIN, MASSACHUSETTS" DATED MAY 29, 2007 PREPARED BY GUERRIERE & HALNON, INC. THE BENCHMARK USED TO ESTABLISH THE ELEVATIONS IS A SPIKE IN UTILITY POLE #74 WITH ELEVATION OF 222.86. THE VERTICAL DATUM REFERENCED ON SAID PLAN IS THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).

GENERAL NOTES

- 1. THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, 2021 EDITION OR LATEST REVISION, AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL MEET OR EXCEED THE MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, WITH LATEST REVISIONS. THE LATEST REVISION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
2. THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND OWNER'S REPRESENTATIVE AS REQUIRED.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ALL OPEN EXCAVATED AREAS IN ACCORDANCE WITH OSHA FEDERAL, STATE, AND LOCAL REQUIREMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL.
5. IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED, THE CONTRACTOR SHALL IMMEDIATELY CONTACT AND COORDINATE ANY DEVIATIONS WITH THE ENGINEER AND OWNER.
6. ANY AREA OUTSIDE OF THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
7. ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT.
8. ALL SIGNS SHALL BE REFLECTORIZED TYPE III SHEETING AND CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST REVISION.
9. ALL UTILITIES (LOCATION AND ELEVATION) DEPICTED SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ALL DAMAGE TO EXISTING UTILITIES OR STRUCTURES, AND THE COST TO REPAIR THE DAMAGES TO INITIAL CONDITIONS, AS SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
10. NO EXCAVATION SHALL BE DONE UNTIL COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE. NOTE THAT NOT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RESPECTIVE UTILITY COMPANIES TO VERIFY AND LOCATE EXISTING UTILITIES.

LAYOUT NOTES

- 1. ALL LINES ARE PERPENDICULAR OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
2. ACCESSIBLE RAMPS SHALL BE PER THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND CODE OF MASSACHUSETTS REGULATIONS (CMR) TITLE 521 OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS.
3. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL PERFORM BENCHMARK FIELD LEVEL VERIFICATION AND COORDINATE LAYOUT CHECK. THE CONTRACTOR SHALL CONTACT PARE CORPORATION IF ANY DISCREPANCIES ARE FOUND.
4. DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB. DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING TO FACE OF CURB.
5. ALIGN WALKWAYS ON DOORWAYS THEY SERVE TO PROVIDE MINIMUM REQUIRED MANEUVERING CLEARANCE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND CODE OF MASSACHUSETTS REGULATIONS (CMR) TITLE 521 OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS.

DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION OF STRUCTURES, PAVEMENT AND CONCRETE MATERIALS, AND UTILITIES WITH APPROPRIATE PROPOSED SITE GENERAL, GRADING, UTILITY, AND LANDSCAPING DRAWINGS.
2. ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED. THE CONTRACTOR SHALL COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
3. WATER, SEWER, DRAINAGE, GAS, AND OTHER SITE UTILITIES SERVICING THE EXISTING FACILITIES ARE TO REMAIN ACTIVE THROUGHOUT CONSTRUCTION.
4. THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICES DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL OF THE OWNER.

GRADING AND UTILITY NOTES

- 1. UNDERGROUND UTILITIES DEPICTED WERE COMPILED FROM AVAILABLE RECORD PLANS AND SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES DEPICTED OR NOT DEPICTED ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS TO REPAIR SUCH DAMAGES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED.
2. ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
3. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABOUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
4. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
5. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
6. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION SHALL BE PROVIDED ON A SKETCH TO SCALE OF THE EXISTING UTILITY WITH TIES TO KNOWN POINTS, PHOTOS AND FURNISHED TO THE ENGINEER FOR RESOLUTION.
7. THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS SHALL BE RESTORED TO ORIGINAL CONDITION.
8. ELECTRIC ROUTING IS SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES.
9. DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES BY PROVIDING TEMPORARY SUPPORTS OR SHEETING AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
10. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
11. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED.
12. THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS AND GRADING PLAN.

CATCH BASINS WITH SUMPS INSPECTION, MAINTENANCE, AND REPAIR NOTES

- 1. INSPECTIONS SHALL BE PERFORMED A MINIMUM OF TWO TIMES PER YEAR (SPRING/FALL). UNITS SHALL BE CLEANED ANNUALLY AND WHENEVER THE DEPTH OF SEDIMENT IS GREATER THAN OR EQUAL TO HALF THE SUMP DEPTH.
2. THE INLET GRATE SHALL NOT BE WELDED TO THE FRAME OR PAVED OVER SO THAT THE SUMP CAN BE EASILY INSPECTED AND MAINTAINED.
3. CARE SHALL BE TAKEN TO AVOID DAMAGING AND DISPLACING HOODS PLACED ON HOODED OUTLETS DURING CLEANING.

EROSION AND SEDIMENTATION CONTROL NOTES - MASSACHUSETTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY'S (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL PREPARE AND SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL PREPARE AND SUBMIT AN ELECTRONIC NOTICE OF INTENT (eNOI) WITH THE EPA IN ACCORDANCE WITH THE NPDES PERMIT REQUIREMENTS PRIOR TO CONSTRUCTION.
4. SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE PROVIDED IN ACCORDANCE WITH THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND THE NOTES AND DETAILS SHOWN IN THIS PLAN SET.
5. THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
6. REQUIRED PERIMETER CONTROL SHALL BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
7. AS FEASIBLE, CONSTRUCTION SHALL BE PHASED TO LIMIT THE AREA OF EXPOSED SOIL AND THE DURATION OF EXPOSURE. ALL DISTURBED AREAS SHALL BE TEMPORARILY AND/OR PERMANENTLY STABILIZED WITHIN 14 DAYS FOLLOWING COMPLETION OF GRADING ACTIVITIES.
8. THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
9. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO ENSURE THAT THE EROSION CONTROL BARRIERS ARE INTACT.
10. CLEAN AND MAINTAIN SEDIMENTATION CONTROL BARRIERS WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIER SHALL BE REMOVED AS NECESSARY AND DISPOSED IN AN UPLAND AREA.
11. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
12. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
13. SOIL AND OTHER MATERIALS RESULTING FROM SITE CLEARING MAY BE RECYCLED AND/OR REUSED ON THE SITE AS APPROPRIATE. WASTE MATERIALS SHALL BE REMOVED FROM THE SITE.
14. CRUSHED STONE CONSTRUCTION ENTRANCES SHALL BE ESTABLISHED AT ALL POINTS OF INGRESS AND EGRESS.
15. TEMPORARY DIVERSIONS (TD) MAY CONSIST OF A DITCH OR SWALE, OR MAY BE ACHIEVED USING WOOD CHIP PILES, COIR LOGS, OR SIMILAR MATERIALS.
16. TEMPORARY SEDIMENT TRAPS (TST) AND TEMPORARY SWALES (TS) SHALL BE SIZED BY THE CONTRACTOR USING THE PARAMETERS CONTAINED IN THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.
17. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
18. CATCH BASINS AND STORM DRAINS SHALL BE PROTECTED WITH HAY BALES OR SEDIMENT BAGS IN PAVED AREAS UNTIL CONTRIBUTING AREA IS PERMANENTLY STABILIZED.
19. DEWATERING WASTEWATER PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO A DEWATERING BASIN, HAY BALE CORRALS, OR SEDIMENTATION BAGS.
20. CONSTRUCTION SITE WASTE MATERIALS SHALL BE PROPERLY CONTAINED ONSITE AND DISPOSED OFF SITE AT A LOCATION IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
21. RIPRAP OR OTHER ENERGY DISSIPATORS SHALL BE USED WHERE NECESSARY TO CONTROL EROSION.
22. ANY EQUIPMENT THAT IS NOT READILY MOBILE (TRACK MACHINERY) SHALL BE PARKED WITHIN THE PROJECT LIMIT OF DISTURBANCE. LARGE AND/OR BULKY MATERIALS SHALL BE STORED SUCH THAT THEY DO NOT INTERFERE WITH THE ONGOING CONSTRUCTION ACTIVITIES OR EROSION CONTROL MEASURES.
23. NEWLY VEGETATED AREAS SHALL BE REGULARLY INSPECTED AND MAINTAINED TO ENSURE THE ESTABLISHMENT OF STABLE VEGETATED SURFACES.
24. THE CONTRACTOR SHALL NOT REMOVE ANY COMPOST FILTER SOCKS OR OTHER EROSION CONTROLS UNTIL THE CONTRIBUTING AREA IS PERMANENTLY STABILIZED.
25. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF THE FINAL PROJECT. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
26. INSTALLATION OF THE EROSION CONTROL BARRIERS AS ILLUSTRATED IS INTENDED TO REPRESENT THE MINIMUM SEDIMENTATION CONTROL FACILITIES NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
27. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS UPON COMPLETION OF WORK IN THAT AREA.

INFILTRATION BASIN INSPECTION, MAINTENANCE, AND REPAIR NOTES

- 1. FOLLOWING FIRST 6 MONTHS AFTER CONSTRUCTION
- INSPECT INFILTRATION PRACTICES AFTER FIRST TWO RAINFALL EVENTS OF 1" OR MORE.
2. FOLLOWING STORM EVENTS WITH RAINFALL EXCEEDING 2.7"
- INSPECT INFILTRATION BASIN FOR TRASH, DEBRIS, SEDIMENT, EROSION, STANDING WATER, AND OVERALL PERFORMANCE. DEFECTS SHALL BE REPAIRED BY OWNER.
3. BI-ANNUALLY
- INSPECT INFILTRATION BASIN A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN APRIL AND OCTOBER. SEDIMENT SHALL BE REMOVED FROM INFILTRATION BASIN IF THE SEDIMENT EXCEEDS 1".
- MOW SIDESLOPES AND BOTTOM OF INFILTRATION BASIN A MINIMUM OF TWO TIMES PER YEAR.
4. QUARTERLY
- INSPECT INFILTRATION BASIN OUTLET CONTROL STRUCTURE AND ALL OVERFLOW CHANNELS. THE OWNER SHALL STABILIZE ERODED BANKS AND REPAIR ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES AS NECESSARY
5. IF SEDIMENT BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES TO BELOW THE DESIGN RATE OR PONDING HAS EXCEEDED 48 HOURS THE FOLLOWING SHALL BE COMPLETED:
- THE TOP OF SOIL SHALL BE REMOVED AND DISPOSED AT A PERMITTED LOCATION.
- THE EXPOSED SURFACE SHALL BE SCARIFIED.
- THE BASIN BOTTOM SHALL BE RESTORED TO THE ORIGINAL DESIGN SPECIFICATIONS WITH A SANDY LOAM TOPSOIL.
6. TRASH AND DEBRIS SHALL BE REMOVED FROM INFILTRATION BASIN AS NECESSARY.

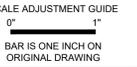
STORMWATER MANAGEMENT SYSTEM INSPECTION AND MAINTENANCE NOTES

DURING CONSTRUCTION (CONTRACTOR'S RESPONSIBILITY)

- 1. THE CONTRACTOR SHALL REMOVE SEDIMENT AND DEBRIS FROM ALL CATCH BASINS, MANHOLES, AND THE DRAINAGE SYSTEM ON A ROUTINE BASIS, IMMEDIATELY FOLLOWING SITE STABILIZATION, AND PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
2. THE CLOSED DRAINAGE SYSTEM AND ASSOCIATED STRUCTURES SHALL BE CLEANED AND FLUSHED BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM UNTIL ACCEPTANCE OF THE SYSTEM BY THE ENGINEER. FOLLOWING ACCEPTANCE OF THE PROPOSED DRAINAGE SYSTEM, THE OWNER OF THE SITE SHALL BE RESPONSIBLE FOR THE LONG-TERM INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM.
3. ANY ACCUMULATION OF PONDING WATER IN AREAS WITHIN THE LIMITS OF DISTURBANCE, OTHER THAN DESIGNATED AREAS, SHALL BE REMOVED ACCORDINGLY AND PREVENTED IN THE FUTURE.

POST CONSTRUCTION (OWNER'S RESPONSIBILITY)

- 1. TRASH, LITTER, SEDIMENT AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER MANAGEMENT SYSTEM FACILITY (INCLUDING BUT NOT LIMITED TO CATCH BASINS, MANHOLES, INLET, OUTLET AND DIVERSION STRUCTURES, AND STORMWATER BEST MANAGEMENT PRACTICES (BMPs)) A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN THE SPRING AND FALL.
2. THE PARKING LOT AND ENTRY DRIVE SHALL BE SWEEPED BY THE OWNER AS EARLY AS POSSIBLE EVERY SPRING AND ONCE IN THE FALL TO REMOVE SEDIMENTS.
3. ALL CLEANING AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS POST-CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE OWNER.



Adirondack Club
Parking Lot Expansion
Franklin, Massachusetts



REVISIONS:

Table with 2 columns: Description, Date/By

PROJECT NO.: 25038.00
DATE: JUNE 6, 2025
SCALE: NOT TO SCALE
DESIGNED BY: SWL
CHECKED BY: JRR
DRAWN BY: AKL
APPROVED BY: JRR
DRAWING TITLE:

NOTES

DRAWING NO.: C0.1
SHEET NO. 1 OF 20



SCALE ADJUSTMENT GUIDE
0" 1"
BAR IS ONE INCH ON ORIGINAL DRAWING

Adirondack Club Parking Lot Expansion

Franklin, Massachusetts



REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT NO.: 25038.00
DATE: JUNE 6, 2025
SCALE: 1"=40'
DESIGNED BY: SWL
CHECKED BY: JRR
DRAWN BY: AKL
APPROVED BY: JRR
DRAWING TITLE:

OVERALL PLAN

DRAWING NO.: C0.3
SHEET NO. 3 OF 20

ZONING TABLE			
EXISTING ZONE: I-INDUSTRIAL			
TOTAL LOT AREA 489,878 SF			
BUILDING AREA (FOOTPRINT) 44,281 SF			
	REQUIRED (C)	EXISTING	PROVIDED
BUILDING SETBACK			
FRONT SETBACK	40 FT	81 FT	81 FT
SIDE SETBACK	49 FT (30 FT)	40 FT	40 FT
REAR SETBACK	49 FT (30 FT)	156 FT	156 FT
MAX. BUILDING HEIGHT	70 FT	19 FT	19 FT
MAX. IMPERVIOUS COVERAGE (STRUCTURES)	70%	9%	9%
MAX. IMPERVIOUS COVERAGE (STRUCTURES & PAVING)	80%	44%	53%
MIN. LOT AREA	40,000 SF	489,878 SF	489,878 SF
MAX. STORIES	3	2	2

PARKING SUMMARY			
	REQUIRED	EXISTING	PROVIDED
STANDARD SPACES (9'x19')	-	178	294
ACCESSIBLE SPACES	-	6	8
TOTAL SPACES	480*	184	302

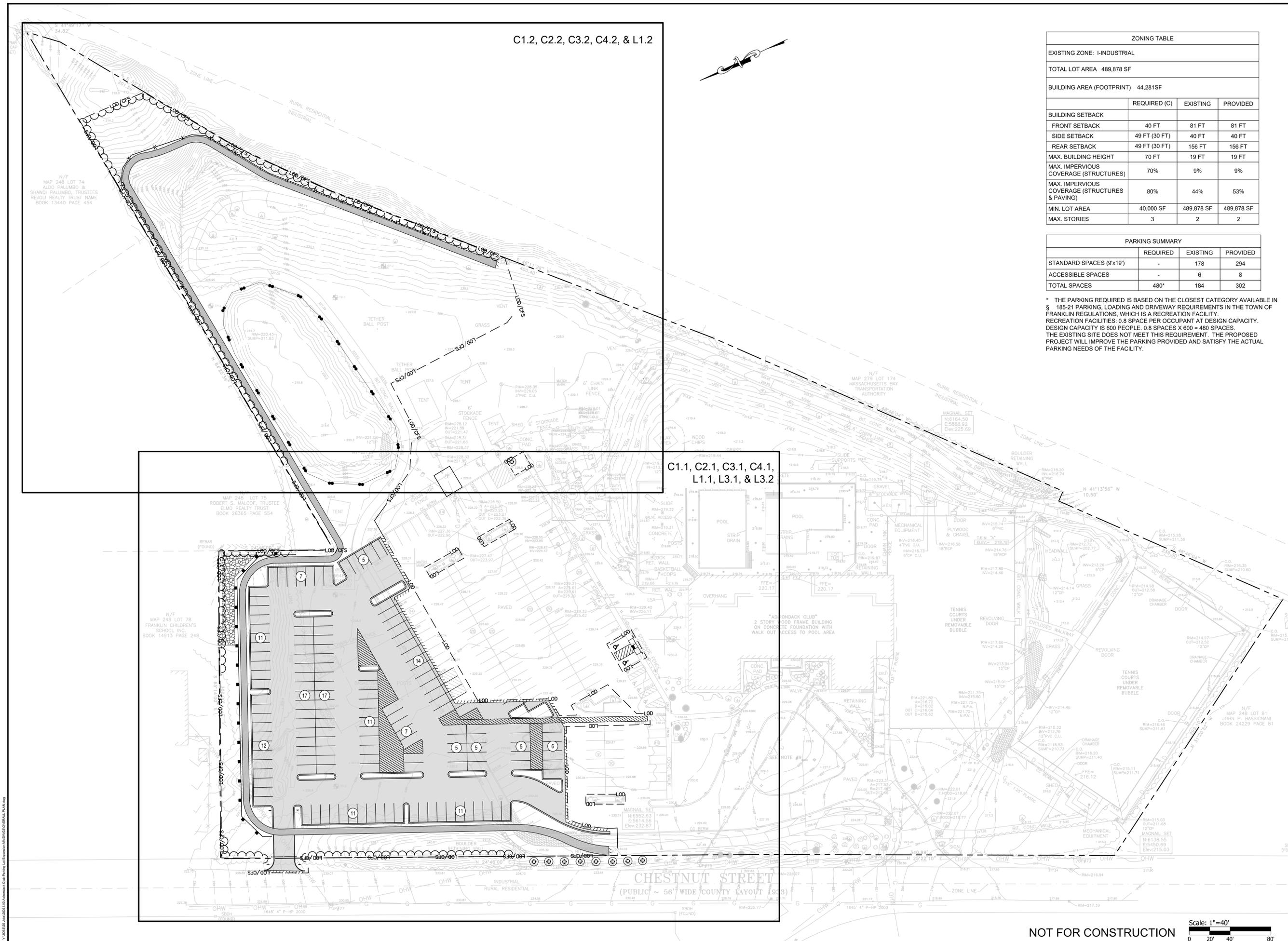
* THE PARKING REQUIRED IS BASED ON THE CLOSEST CATEGORY AVAILABLE IN § 185-21 PARKING, LOADING AND DRIVEWAY REQUIREMENTS IN THE TOWN OF FRANKLIN REGULATIONS, WHICH IS A RECREATION FACILITY. RECREATION FACILITIES: 0.8 SPACE PER OCCUPANT AT DESIGN CAPACITY. DESIGN CAPACITY IS 800 PEOPLE. 0.8 SPACES X 800 = 640 SPACES. THE EXISTING SITE DOES NOT MEET THIS REQUIREMENT. THE PROPOSED PROJECT WILL IMPROVE THE PARKING PROVIDED AND SATISFY THE ACTUAL PARKING NEEDS OF THE FACILITY.

C1.2, C2.2, C3.2, C4.2, & L1.2

C1.1, C2.1, C3.1, C4.1, L1.1, L3.1, & L3.2

NOT FOR CONSTRUCTION

Scale: 1"=40'
0 20' 40' 80'



N:\Projects\25038\038 Adirondack Club-Parking Lot Expansion\DWG\Overall_Parking.dwg



SCALE ADJUSTMENT GUIDE
0" 1"
BAR IS ONE INCH ON ORIGINAL DRAWING

Adirondack Club Parking Lot Expansion

Franklin, Massachusetts



REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT NO.: 25038.00
 DATE: JUNE 6, 2025
 SCALE: 1"=20'
 DESIGNED BY: SWL
 CHECKED BY: JRR
 DRAWN BY: AKL
 APPROVED BY: JRR
 DRAWING TITLE:

DEMOLITION, EROSION &
 SEDIMENT CONTROL
 PLAN 1

DRAWING NO.:
C1.1
 SHEET NO. 4 OF 20

DEMOLITION NOTES:

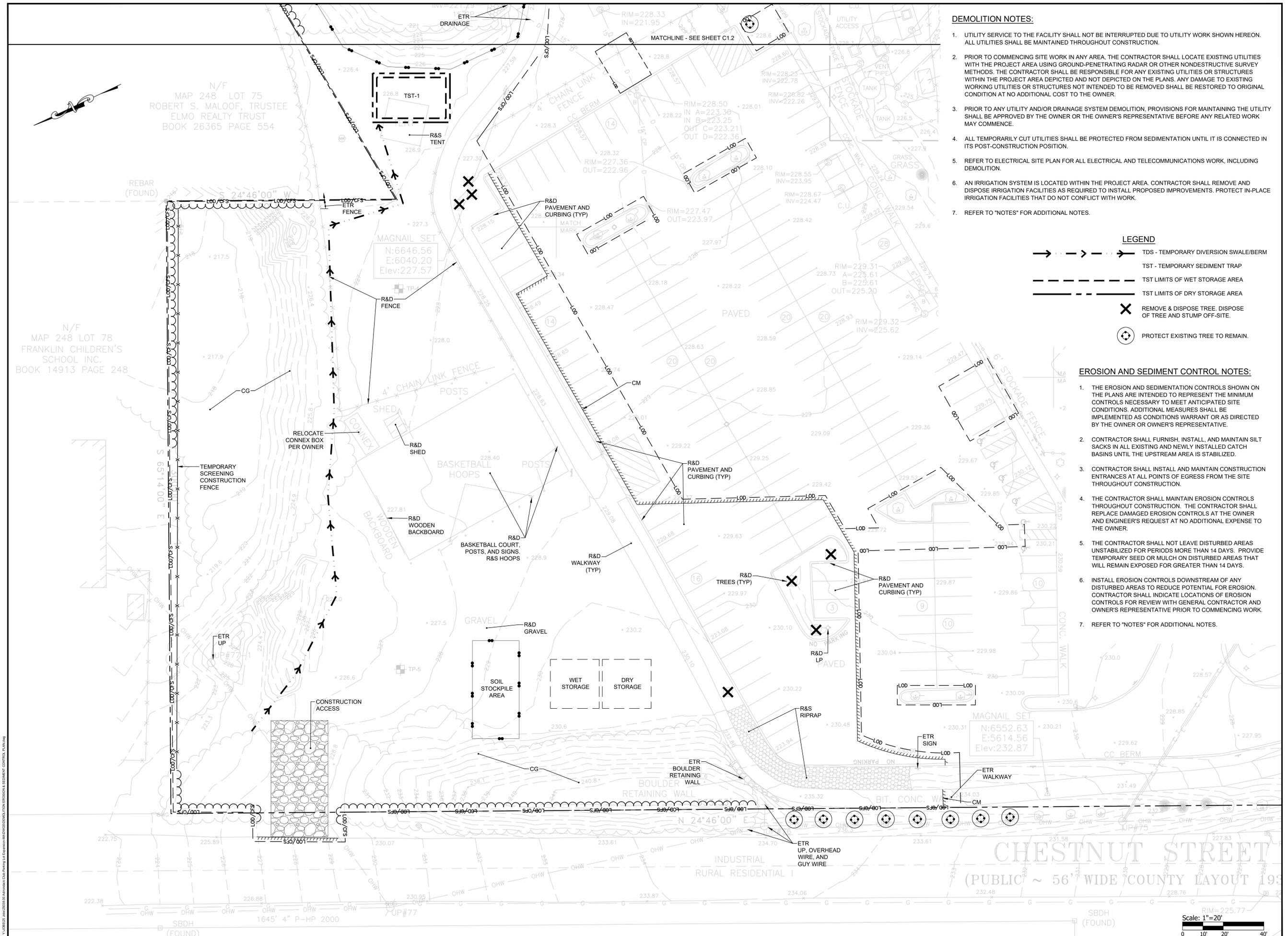
- UTILITY SERVICE TO THE FACILITY SHALL NOT BE INTERRUPTED DUE TO UTILITY WORK SHOWN HEREON. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- PRIOR TO COMMENCING SITE WORK IN ANY AREA, THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES WITHIN THE PROJECT AREA USING GROUND-PENETRATING RADAR OR OTHER NONDESTRUCTIVE SURVEY METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING UTILITIES OR STRUCTURES WITHIN THE PROJECT AREA DEPICTED AND NOT DEPICTED ON THE PLANS. ANY DAMAGE TO EXISTING WORKING UTILITIES OR STRUCTURES NOT INTENDED TO BE REMOVED SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO ANY UTILITY AND/OR DRAINAGE SYSTEM DEMOLITION, PROVISIONS FOR MAINTAINING THE UTILITY SHALL BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE BEFORE ANY RELATED WORK MAY COMMENCE.
- ALL TEMPORARILY CUT UTILITIES SHALL BE PROTECTED FROM SEDIMENTATION UNTIL IT IS CONNECTED IN ITS POST-CONSTRUCTION POSITION.
- REFER TO ELECTRICAL SITE PLAN FOR ALL ELECTRICAL AND TELECOMMUNICATIONS WORK, INCLUDING DEMOLITION.
- AN IRRIGATION SYSTEM IS LOCATED WITHIN THE PROJECT AREA. CONTRACTOR SHALL REMOVE AND DISPOSE IRRIGATION FACILITIES AS REQUIRED TO INSTALL PROPOSED IMPROVEMENTS. PROTECT IN-PLACE IRRIGATION FACILITIES THAT DO NOT CONFLICT WITH WORK.
- REFER TO "NOTES" FOR ADDITIONAL NOTES.

LEGEND

- TDS - TEMPORARY DIVERSION SWALE/BERM
- TST - TEMPORARY SEDIMENT TRAP
- TST LIMITS OF WET STORAGE AREA
- TST LIMITS OF DRY STORAGE AREA
- REMOVE & DISPOSE TREE. DISPOSE OF TREE AND STUMP OFF-SITE.
- PROTECT EXISTING TREE TO REMAIN.

EROSION AND SEDIMENT CONTROL NOTES:

- THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN SILT SACKS IN ALL EXISTING AND NEWLY INSTALLED CATCH BASINS UNTIL THE UPSTREAM AREA IS STABILIZED.
- CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION ENTRANCES AT ALL POINTS OF EGRESS FROM THE SITE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROLS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL REPLACE DAMAGED EROSION CONTROLS AT THE OWNER AND ENGINEER'S REQUEST AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL NOT LEAVE DISTURBED AREAS UNSTABILIZED FOR PERIODS MORE THAN 14 DAYS. PROVIDE TEMPORARY SEED OR MULCH ON DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR GREATER THAN 14 DAYS.
- INSTALL EROSION CONTROLS DOWNSTREAM OF ANY DISTURBED AREAS TO REDUCE POTENTIAL FOR EROSION. CONTRACTOR SHALL INDICATE LOCATIONS OF EROSION CONTROLS FOR REVIEW WITH GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- REFER TO "NOTES" FOR ADDITIONAL NOTES.



N/F
 MAP 248 LOT 75
 ROBERT S. MALOOF, TRUSTEE
 ELMO REALTY TRUST
 BOOK 26365 PAGE 554

N/F
 MAP 248 LOT 78
 FRANKLIN CHILDREN'S
 SCHOOL INC.
 BOOK 14913 PAGE 248

Scale: 1"=20'
 0 10' 20' 40'

ALL RIGHTS RESERVED BY ADIRONDACK CLUB. PARKING LOT EXPANSION AND EROSION/SEDIMENT CONTROL PLAN.



SCALE ADJUSTMENT GUIDE
 0" 1"
 BAR IS ONE INCH ON ORIGINAL DRAWING

Adirondack Club Parking Lot Expansion

Franklin, Massachusetts



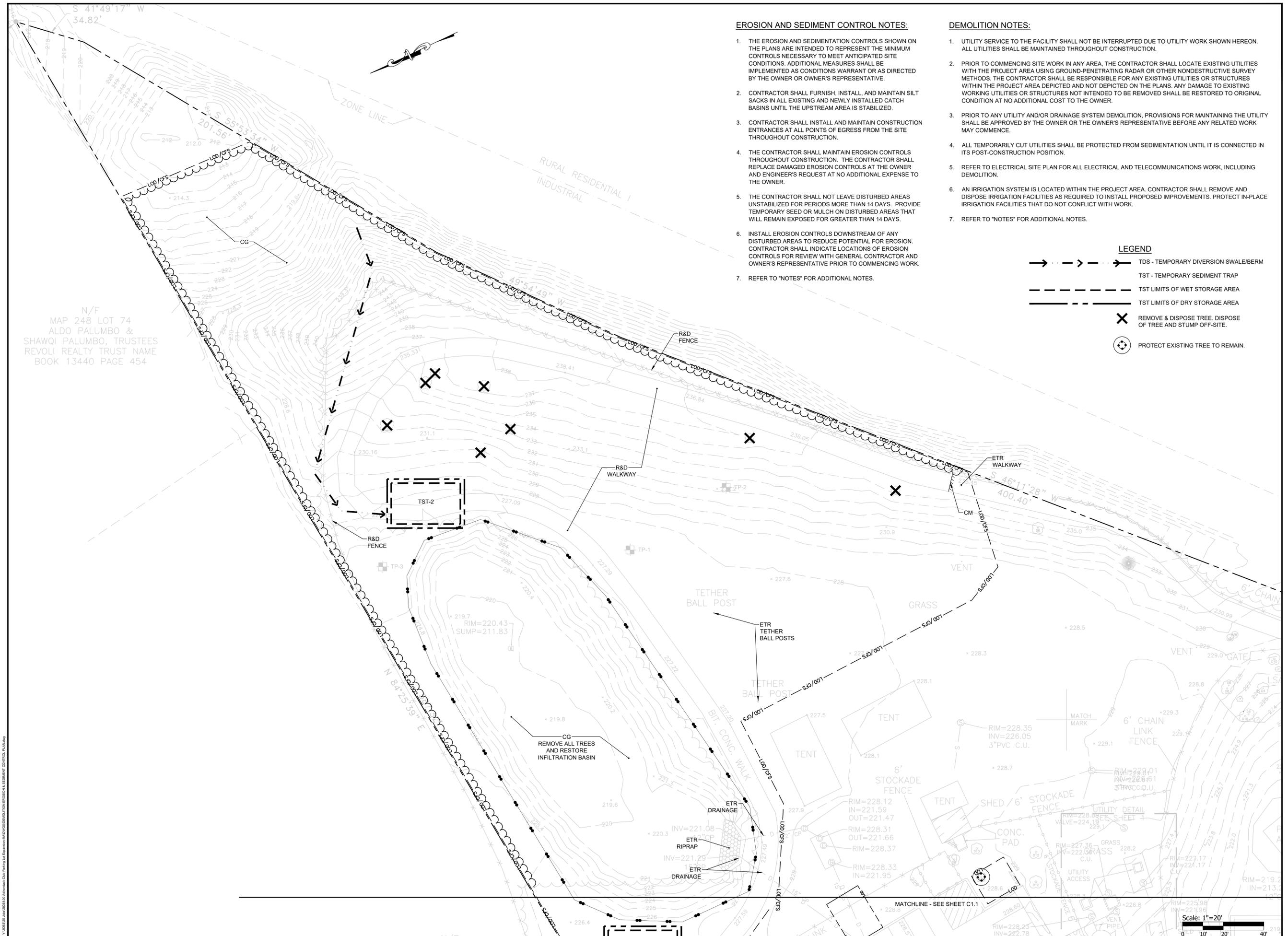
REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT NO.: 25038.00
 DATE: JUNE 6, 2025
 SCALE: 1"=20'
 DESIGNED BY: SWL
 CHECKED BY: JRR
 DRAWN BY: AKL
 APPROVED BY: JRR
 DRAWING TITLE:

DEMOLITION, EROSION &
 SEDIMENT CONTROL
 PLAN 2

DRAWING NO.:
C1.2
 SHEET NO. 5 OF 20



EROSION AND SEDIMENT CONTROL NOTES:

1. THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
2. CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN SILT SACKS IN ALL EXISTING AND NEWLY INSTALLED CATCH BASINS UNTIL THE UPSTREAM AREA IS STABILIZED.
3. CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION ENTRANCES AT ALL POINTS OF EGRESS FROM THE SITE THROUGHOUT CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROLS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL REPLACE DAMAGED EROSION CONTROLS AT THE OWNER AND ENGINEER'S REQUEST AT NO ADDITIONAL EXPENSE TO THE OWNER.
5. THE CONTRACTOR SHALL NOT LEAVE DISTURBED AREAS UNSTABILIZED FOR PERIODS MORE THAN 14 DAYS. PROVIDE TEMPORARY SEED OR MULCH ON DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR GREATER THAN 14 DAYS.
6. INSTALL EROSION CONTROLS DOWNSTREAM OF ANY DISTURBED AREAS TO REDUCE POTENTIAL FOR EROSION. CONTRACTOR SHALL INDICATE LOCATIONS OF EROSION CONTROLS FOR REVIEW WITH GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
7. REFER TO "NOTES" FOR ADDITIONAL NOTES.

DEMOLITION NOTES:

1. UTILITY SERVICE TO THE FACILITY SHALL NOT BE INTERRUPTED DUE TO UTILITY WORK SHOWN HEREON. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
2. PRIOR TO COMMENCING SITE WORK IN ANY AREA, THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES WITH THE PROJECT AREA USING GROUND-PENETRATING RADAR OR OTHER NONDESTRUCTIVE SURVEY METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING UTILITIES OR STRUCTURES WITHIN THE PROJECT AREA DEPICTED AND NOT DEPICTED ON THE PLANS. ANY DAMAGE TO EXISTING WORKING UTILITIES OR STRUCTURES NOT INTENDED TO BE REMOVED SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
3. PRIOR TO ANY UTILITY AND/OR DRAINAGE SYSTEM DEMOLITION, PROVISIONS FOR MAINTAINING THE UTILITY SHALL BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE BEFORE ANY RELATED WORK MAY COMMENCE.
4. ALL TEMPORARILY CUT UTILITIES SHALL BE PROTECTED FROM SEDIMENTATION UNTIL IT IS CONNECTED IN ITS POST-CONSTRUCTION POSITION.
5. REFER TO ELECTRICAL SITE PLAN FOR ALL ELECTRICAL AND TELECOMMUNICATIONS WORK, INCLUDING DEMOLITION.
6. AN IRRIGATION SYSTEM IS LOCATED WITHIN THE PROJECT AREA. CONTRACTOR SHALL REMOVE AND DISPOSE IRRIGATION FACILITIES AS REQUIRED TO INSTALL PROPOSED IMPROVEMENTS. PROTECT IN-PLACE IRRIGATION FACILITIES THAT DO NOT CONFLICT WITH WORK.
7. REFER TO "NOTES" FOR ADDITIONAL NOTES.

LEGEND

- TDS - TEMPORARY DIVERSION SWALE/BERM
- TST - TEMPORARY SEDIMENT TRAP
- TST LIMITS OF WET STORAGE AREA
- TST LIMITS OF DRY STORAGE AREA
- REMOVE & DISPOSE TREE. DISPOSE OF TREE AND STUMP OFF-SITE.
- PROTECT EXISTING TREE TO REMAIN.

N/F
 MAP 248 LOT 74
 ALDO PALUMBO &
 SHAWQI PALUMBO, TRUSTEES
 REVOLI REALTY TRUST NAME
 BOOK 13440 PAGE 454

11/15/2025 10:00:00 AM Adirondack Club Parking Lot Expansion - DEMOLITION, EROSION & SEDIMENT CONTROL PLAN 2

MATCHLINE - SEE SHEET C.1

Scale: 1"=20'
 0 10' 20' 40'



GENERAL NOTES:

1. CONTRACTOR SHALL PROVIDE LOAM AND SEED ON ALL DISTURBED AREAS UNLESS NOTED OTHERWISE. REFER TO LANDSCAPE DRAWINGS.
2. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING PANELS.
3. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL EMPLOY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS TO ESTABLISH CONTROL ON THE SITE AND TO PERFORM FIELD MEASUREMENTS AS REQUIRED TO LAYOUT THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR'S SURVEYOR SHALL COORDINATE THE BUILDING LAYOUT WITH THE PROJECT LAND SURVEYOR TO ACCURATELY LOCATE THE BUILDING ON THE SITE.

SCALE ADJUSTMENT GUIDE
 0" 1"
 BAR IS ONE INCH ON ORIGINAL DRAWING

**Adirondack Club
 Parking Lot Expansion**

Franklin, Massachusetts



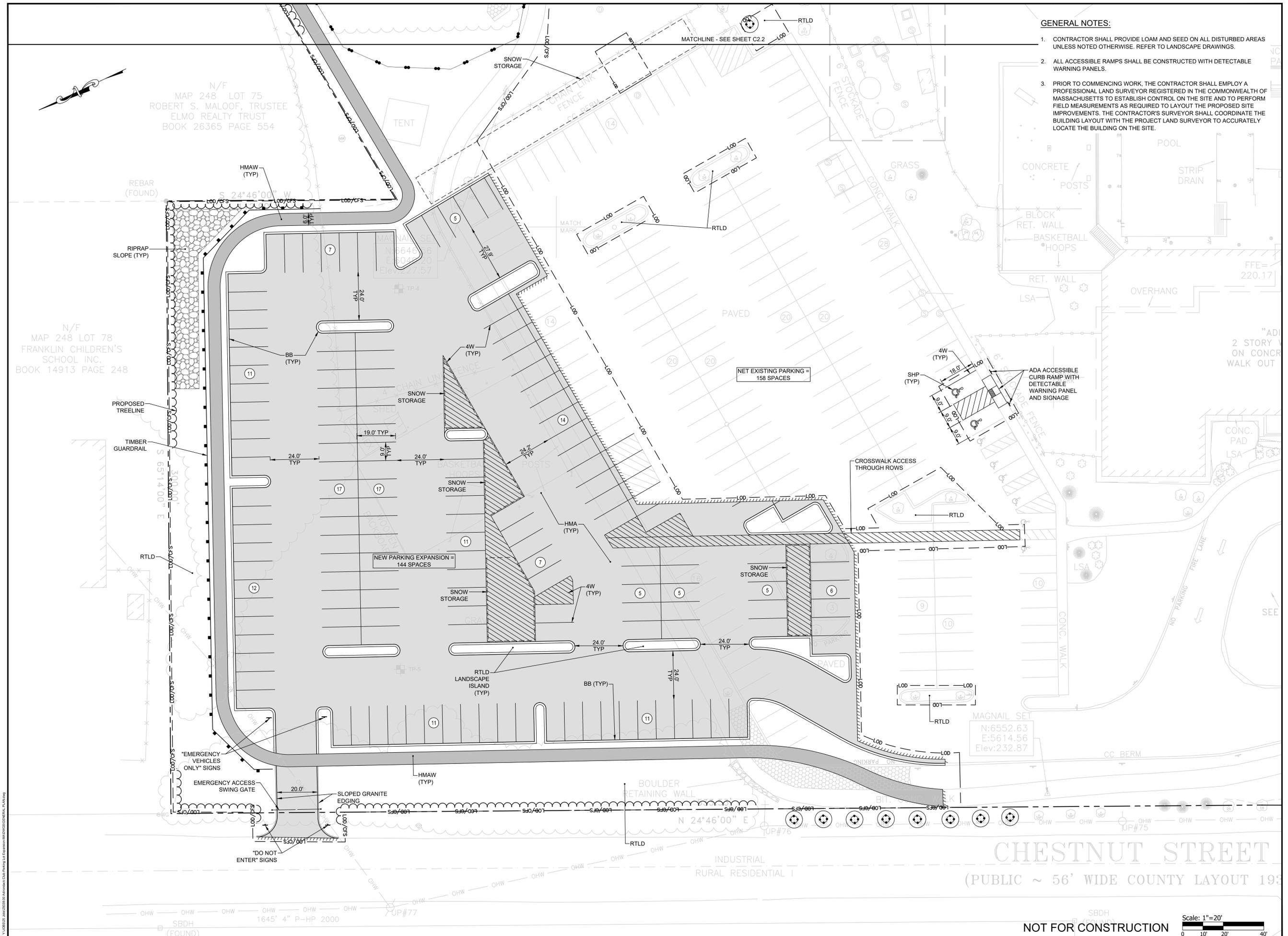
REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT NO.: 25038.00
 DATE: JUNE 6, 2025
 SCALE: 1"=20'
 DESIGNED BY: SJL
 CHECKED BY: JRR
 DRAWN BY: AKL
 APPROVED BY: JRB
 DRAWING TITLE:

GENERAL PLAN 1

DRAWING NO.:
C2.1
 SHEET NO. 6 OF 20



NOT FOR CONSTRUCTION

Scale: 1"=20'
 0 10' 20' 40'



GENERAL NOTES:

1. CONTRACTOR SHALL PROVIDE LOAM AND SEED ON ALL DISTURBED AREAS UNLESS NOTED OTHERWISE. REFER TO LANDSCAPE DRAWINGS.
2. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING PANELS.
3. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL EMPLOY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS TO ESTABLISH CONTROL ON THE SITE AND TO PERFORM FIELD MEASUREMENTS AS REQUIRED TO LAYOUT THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR'S SURVEYOR SHALL COORDINATE THE BUILDING LAYOUT WITH THE PROJECT LAND SURVEYOR TO ACCURATELY LOCATE THE BUILDING ON THE SITE.



SCALE ADJUSTMENT GUIDE
 0" 1"
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**Adirondack Club
 Parking Lot Expansion**

Franklin, Massachusetts



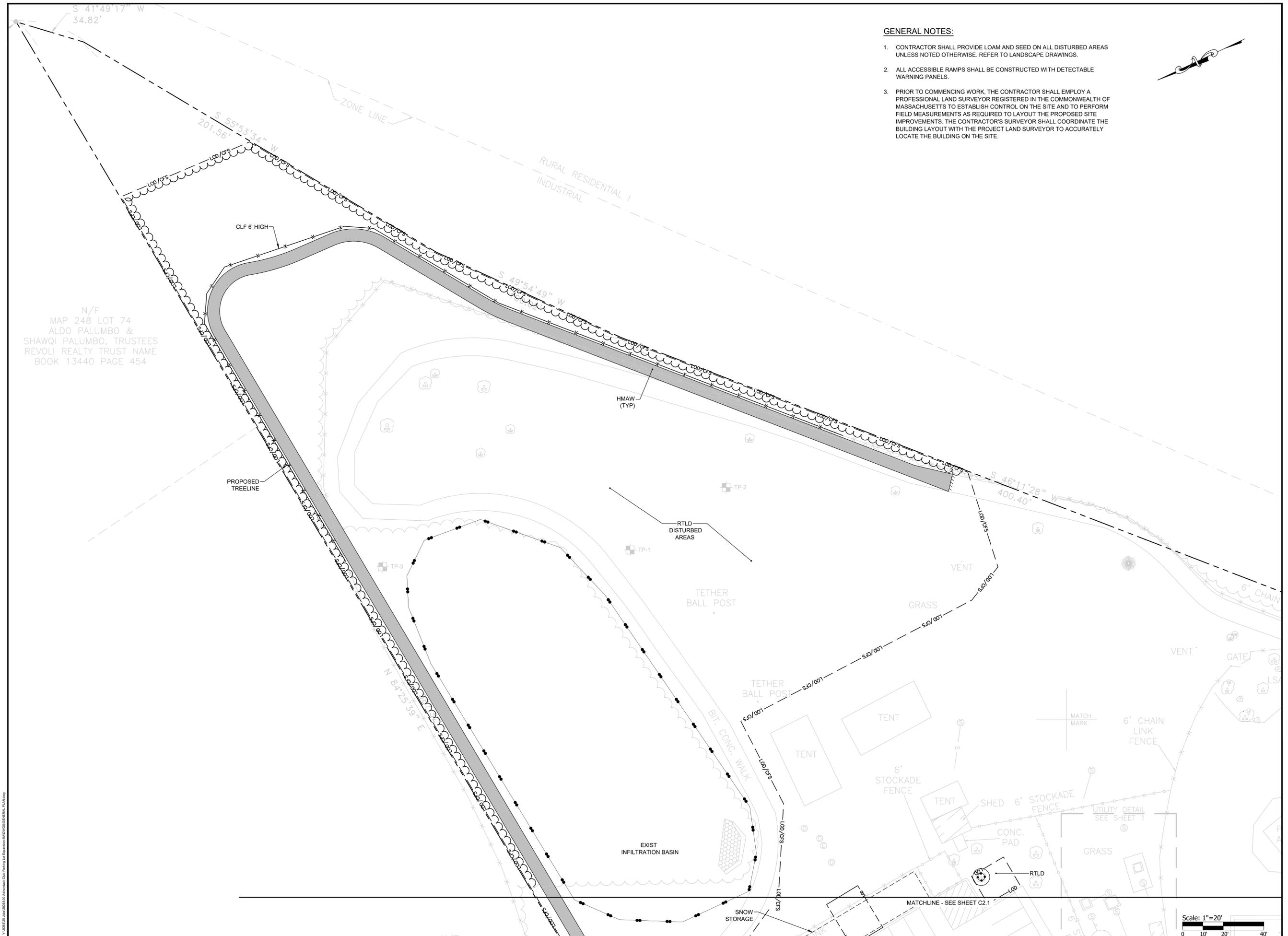
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NO.	DATE	DESCRIPTION

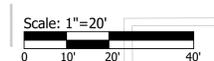
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 DATE: JUNE 6, 2025
 SCALE: 1"=20'
 DESIGNED BY: SWL
 CHECKED BY: JRR
 DRAWN BY: AKL
 APPROVED BY: JRR
 DRAWING TITLE:

GENERAL PLAN 2

DRAWING NO.:
C2.2
 SHEET NO. 7 OF 20



N/F
 MAP 248 LOT 74
 ALDO PALUMBO &
 SHAWQI PALUMBO, TRUSTEES
 REVOLI REALTY TRUST NAME
 BOOK 13440 PAGE 454



141001025 25038.00 Adirondack Club Parking Lot Expansion C2.2 Adirondack Club Parking



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 0" 1"
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Adirondack Club Parking Lot Expansion

Franklin, Massachusetts



REVISIONS:

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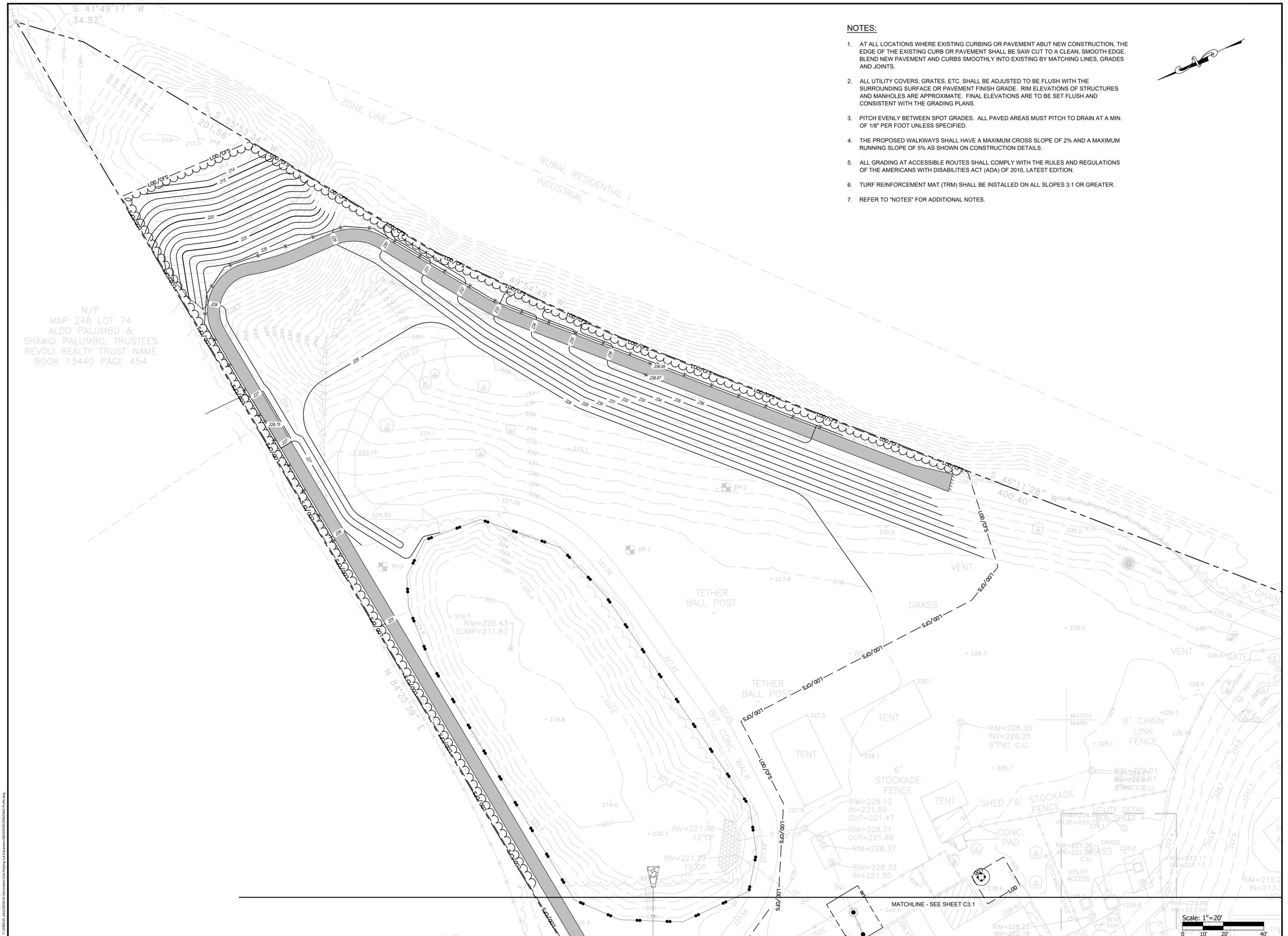
PROJECT NO.: 25038.00
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 CHECKED BY: JRR
 DRAWN BY: AKL
 APPROVED BY: JRR
 DRAWING TITLE:

GRADING PLAN 2

DRAWING NO.:
C3.2
 SHEET NO. 9 OF 20

NOTES:

1. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
2. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
3. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED.
4. THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS.
5. ALL GRADING AT ACCESSIBLE ROUTES SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 2010, LATEST EDITION.
6. TURF REINFORCEMENT MAT (TRM) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER.
7. REFER TO "NOTES" FOR ADDITIONAL NOTES.



N/F
 MAP 248 LOT 74
 ALDO PALUMBO &
 SHAWQI PALUMBO, TRUSTEES
 REVOLI REALTY TRUST NAME
 BOOK 13440 PAGE 454

Scale: 1"=20'
 0 10' 20' 40'

11/18/2025 10:58:03 AM Adirondack Club Parking Lot Expansion - C3.2.dwg



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 0" 1"
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Adirondack Club Parking Lot Expansion

Franklin, Massachusetts



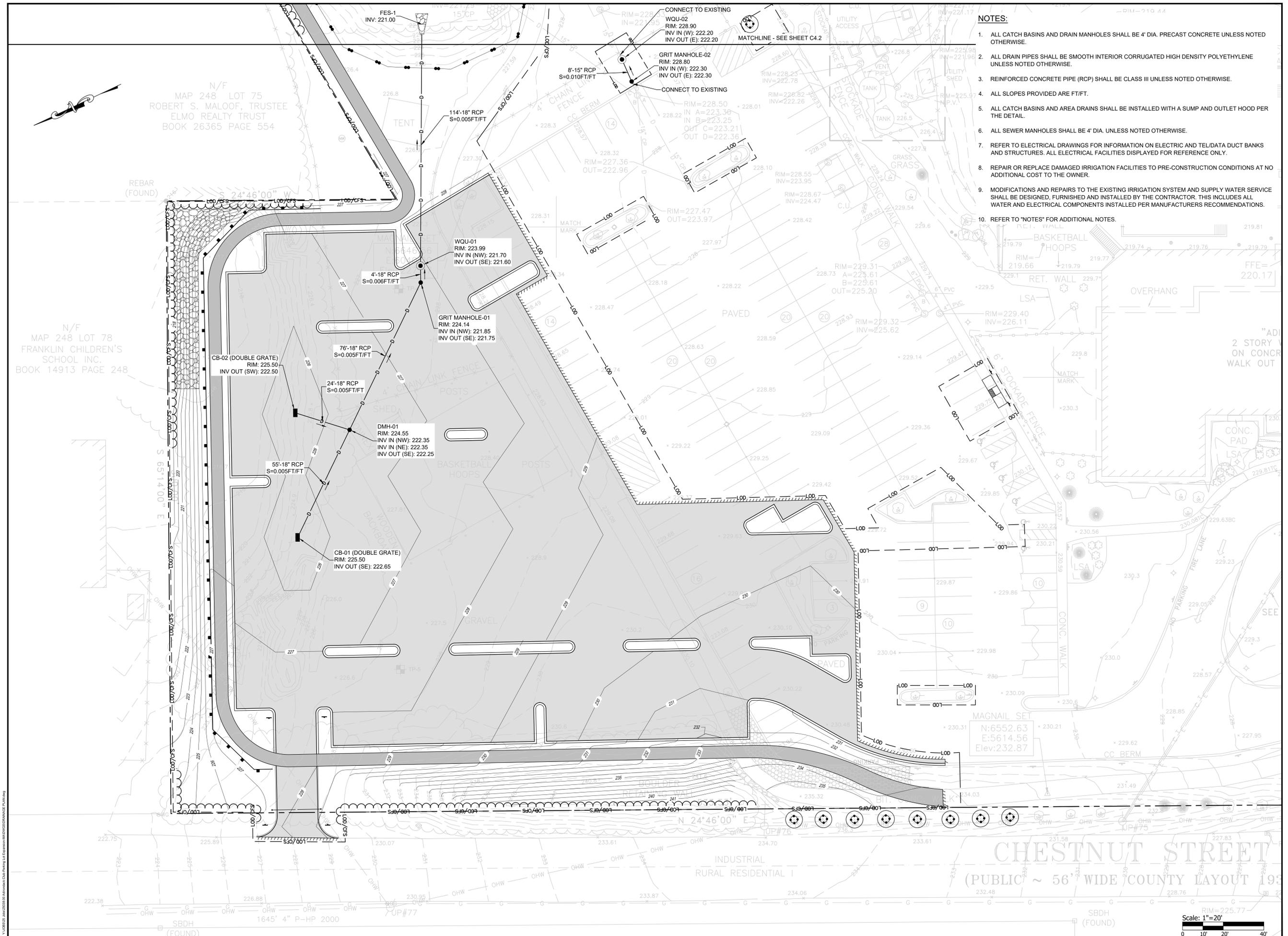
REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT NO.: 25038.00
 DATE: JUNE 6, 2025
 SCALE: 1"=20'
 DESIGNED BY: SWL
 CHECKED BY: JRR
 DRAWN BY: AKL
 APPROVED BY: JRR
 DRAWING TITLE:

DRAINAGE PLAN 1

DRAWING NO.: C4.1
 SHEET NO. 10 OF 20



N/F
 MAP 248 LOT 75
 ROBERT S. MALOOF, TRUSTEE
 ELMO REALTY TRUST
 BOOK 26365 PAGE 554

N/F
 MAP 248 LOT 78
 FRANKLIN CHILDREN'S
 SCHOOL INC.
 BOOK 14913 PAGE 248

CHESTNUT STREET
 (PUBLIC ~ 56' WIDE) COUNTY LAYOUT 193





SCALE ADJUSTMENT GUIDE
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Adirondack Club Parking Lot Expansion

Franklin, Massachusetts



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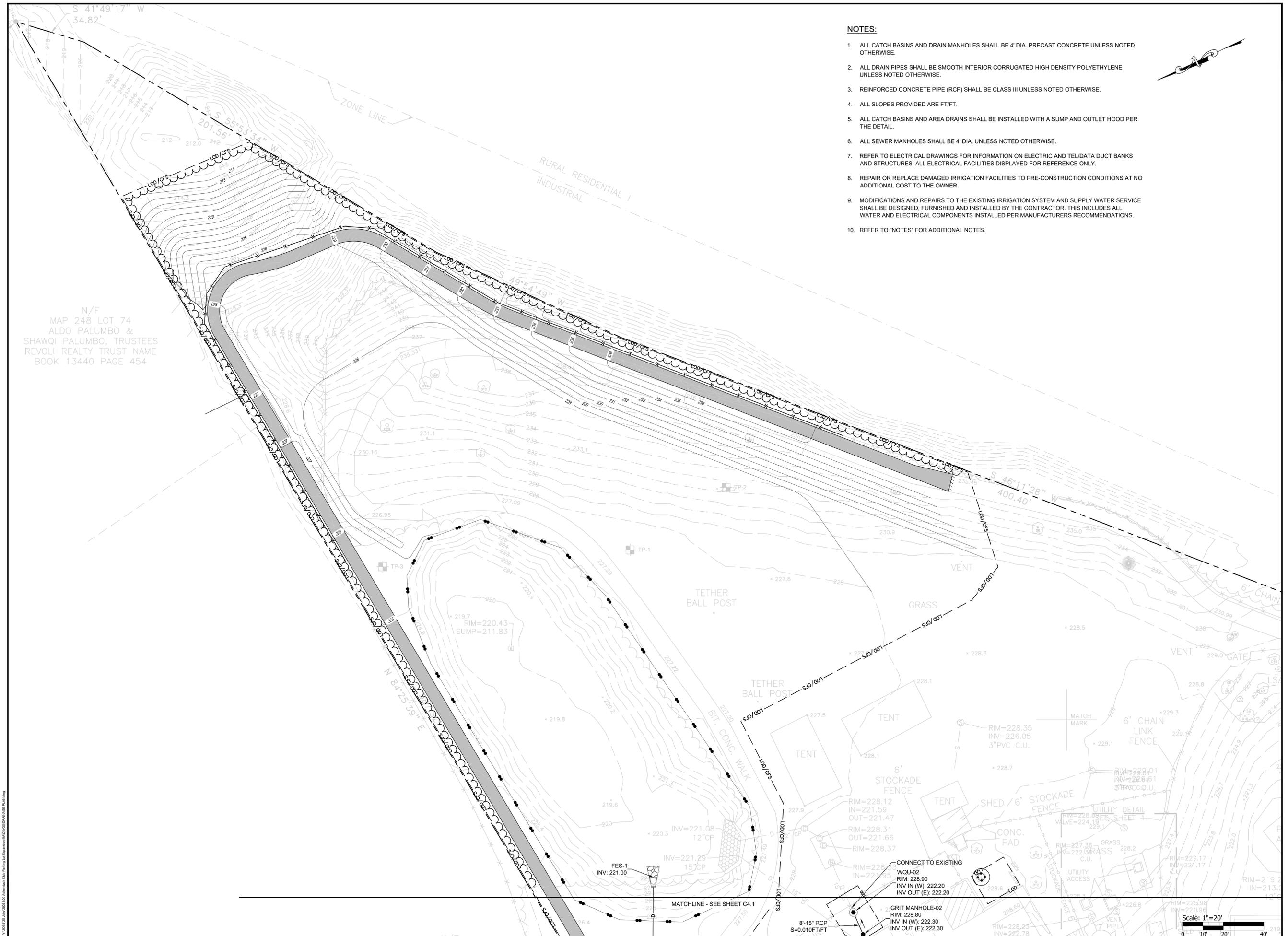
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DRAINAGE PLAN 2

DRAWING NO.:
C4.2
 SHEET NO. 11 OF 20

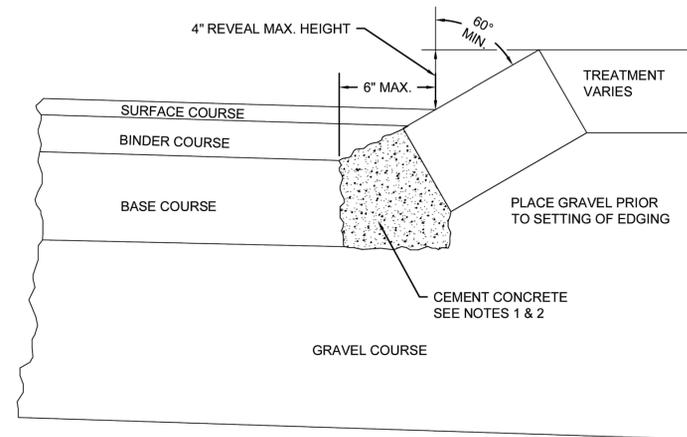
NOTES:

- ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE 4' DIA. PRECAST CONCRETE UNLESS NOTED OTHERWISE.
- ALL DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE UNLESS NOTED OTHERWISE.
- REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III UNLESS NOTED OTHERWISE.
- ALL SLOPES PROVIDED ARE FT/FT.
- ALL CATCH BASINS AND AREA DRAINS SHALL BE INSTALLED WITH A SUMP AND OUTLET HOOD PER THE DETAIL.
- ALL SEWER MANHOLES SHALL BE 4' DIA. UNLESS NOTED OTHERWISE.
- REFER TO ELECTRICAL DRAWINGS FOR INFORMATION ON ELECTRIC AND TEL/DATA DUCT BANKS AND STRUCTURES. ALL ELECTRICAL FACILITIES DISPLAYED FOR REFERENCE ONLY.
- REPAIR OR REPLACE DAMAGED IRRIGATION FACILITIES TO PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- MODIFICATIONS AND REPAIRS TO THE EXISTING IRRIGATION SYSTEM AND SUPPLY WATER SERVICE SHALL BE DESIGNED, FURNISHED AND INSTALLED BY THE CONTRACTOR. THIS INCLUDES ALL WATER AND ELECTRICAL COMPONENTS INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- REFER TO "NOTES" FOR ADDITIONAL NOTES.



N/F
 MAP 248 LOT 74
 ALDO PALUMBO &
 SHAWQI PALUMBO, TRUSTEES
 REVOLI REALTY TRUST NAME
 BOOK 13440 PAGE 454

11/18/2025 10:00:00 AM Adirondack Club Parking Lot Expansion - C4.2.dwg P:\A\A\



SLOPED EDGING

NOTES:

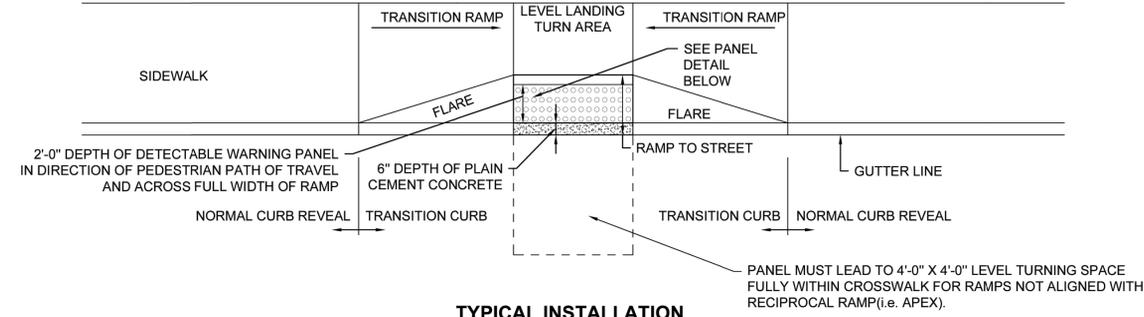
1. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPARTMENT UNDER SECTION M4 OF THE STANDARD SPECIFICATIONS; ALL TEST REQUIREMENTS ARE WAIVED. HOT MIX ASPHALT SHALL NOT BE USED AS A SUBSTITUTE.
2. THE REVEAL IS TO BE A MAXIMUM OF 4" UNDER ALL CONDITIONS, THE ANGLE IS TO BE A MINIMUM OF 60° FROM VERTICAL UNDER ALL CONDITIONS.



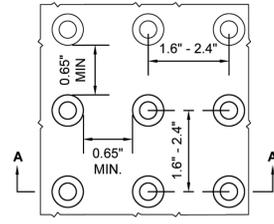
CONSTRUCTION STANDARDS
SECTION 500

METHOD OF SETTING SLOPED EDGING

ISSUE DATE: JAN 2025
DRAWING NUMBER: 510.0.1



TYPICAL INSTALLATION



DETAIL OF DETECTABLE WARNING PANEL

SECTION A-A

NOTES:

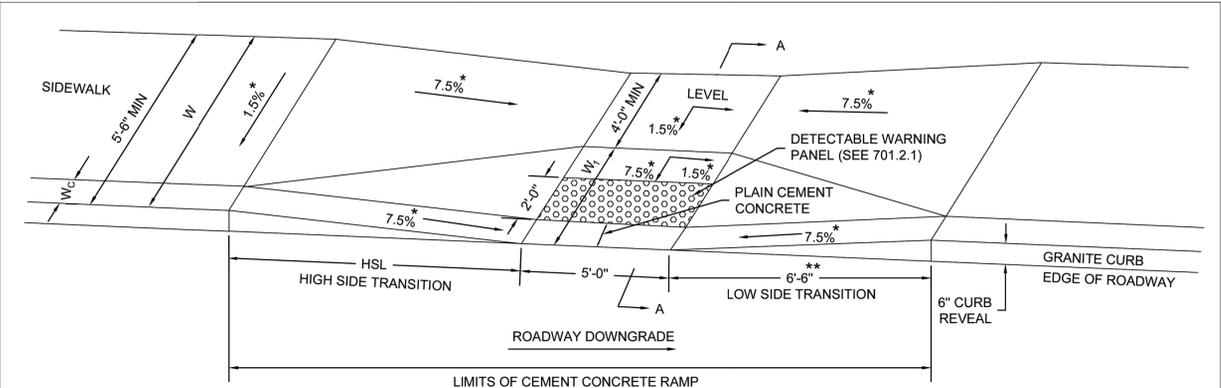
1. PANELS MAY BE CONCRETE PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL PERMANENTLY APPLIED TO THE RAMP.
2. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
3. DETECTABLE WARNING PANEL MUST LEAD TO SPACE WITHIN CROSSWALK.
4. DETECTABLE WARNING PANEL SHALL NOT BE INTERRUPTED BY OBJECT (i.e., MANHOLE, HANDHOLE, ETC.).



CONSTRUCTION STANDARDS
SECTION 700

DETECTABLE WARNING PANEL FOR PEDESTRIAN CURB RAMPS AND STANDARD RAMP TERMINOLOGY

ISSUE DATE: JAN 2025
DRAWING NUMBER: 701.2.1

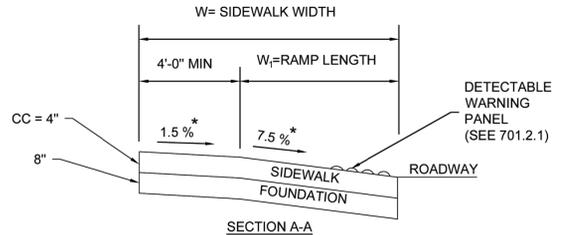


LEGEND

- HSL = HIGH SIDE TRANSITION LENGTH (SEE 701.2.8)
- W = SIDEWALK WIDTH
- W_c = CURB WIDTH
- W_r = PERPENDICULAR RAMP LENGTH
- CC = CEMENT CONCRETE
- * = TOLERANCE FOR CONSTRUCTION=0.5%±
- ** = TRANSITION LENGTH SHOWN IS MINIMUM

NOTES:

1. LEVEL LANDING AND RAMP MUST BE CLEAR OF ANY OBSTRUCTIONS.
2. DETECTABLE WARNING PANEL MUST BE 2' AT ALL POINTS IN PEDESTRIAN PATH OF TRAVEL.
3. PEDESTRIAN PATH OF TRAVEL SHALL BE NO LESS THAN 4'-0" WIDE AND FREE OF VERTICAL OBSTRUCTIONS (FOR ALL CONSTRAINED CONDITIONS).
4. ALL SLOPE VALUES LISTED HERE ARE MAXIMUM VALUES WITH A CONSTRUCTION TOLERANCE OF ±0.5%.
5. USABLE SIDEWALK WIDTH = W - W_c



CONSTRUCTION STANDARDS
SECTION 700

PEDESTRIAN CURB RAMP LESS THAN 12'-4" SIDEWALK

ISSUE DATE: JAN 2025
DRAWING NUMBER: 701.2.3

ROADWAY PROFILE GRADE	* HIGH SIDE TRANSITION LENGTH
%	ENGLISH UNITS
= 0 %	6'-6"
> 0% TO 1%	7'-8"
>1% TO 2%	9'-0"
>2% TO 3%	11'-0"
>3% TO 4%	14'-0"
>4% TO 5%	15'-0" MAX

NOTE:

- * BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6".
- IF THE CURB TRANSITION IS CURVE TRANSITION, THIS VALUE SHOULD BE APPLIED TO THE SHORTER SIDE OF THE CURVE.



CONSTRUCTION STANDARDS
SECTION 700

MINIMUM CURB TRANSITION LENGTH FOR PEDESTRIAN CURB RAMP

ISSUE DATE: JAN 2025
DRAWING NUMBER: 701.2.8



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SCALE ADJUSTMENT GUIDE
0" 1"
BAR IS ONE INCH ON
ORIGINAL DRAWING

Adirondack Club Parking Lot Expansion

Franklin, Massachusetts



REVISIONS:

PROJECT NO.:	25038.00
DATE:	JUNE 6, 2025
SCALE:	1"=20'
DESIGNED BY:	JQ
CHECKED BY:	TN
DRAWN BY:	JQ
APPROVED BY:	RD
DRAWING TITLE:	

LANDSCAPE PLAN 1

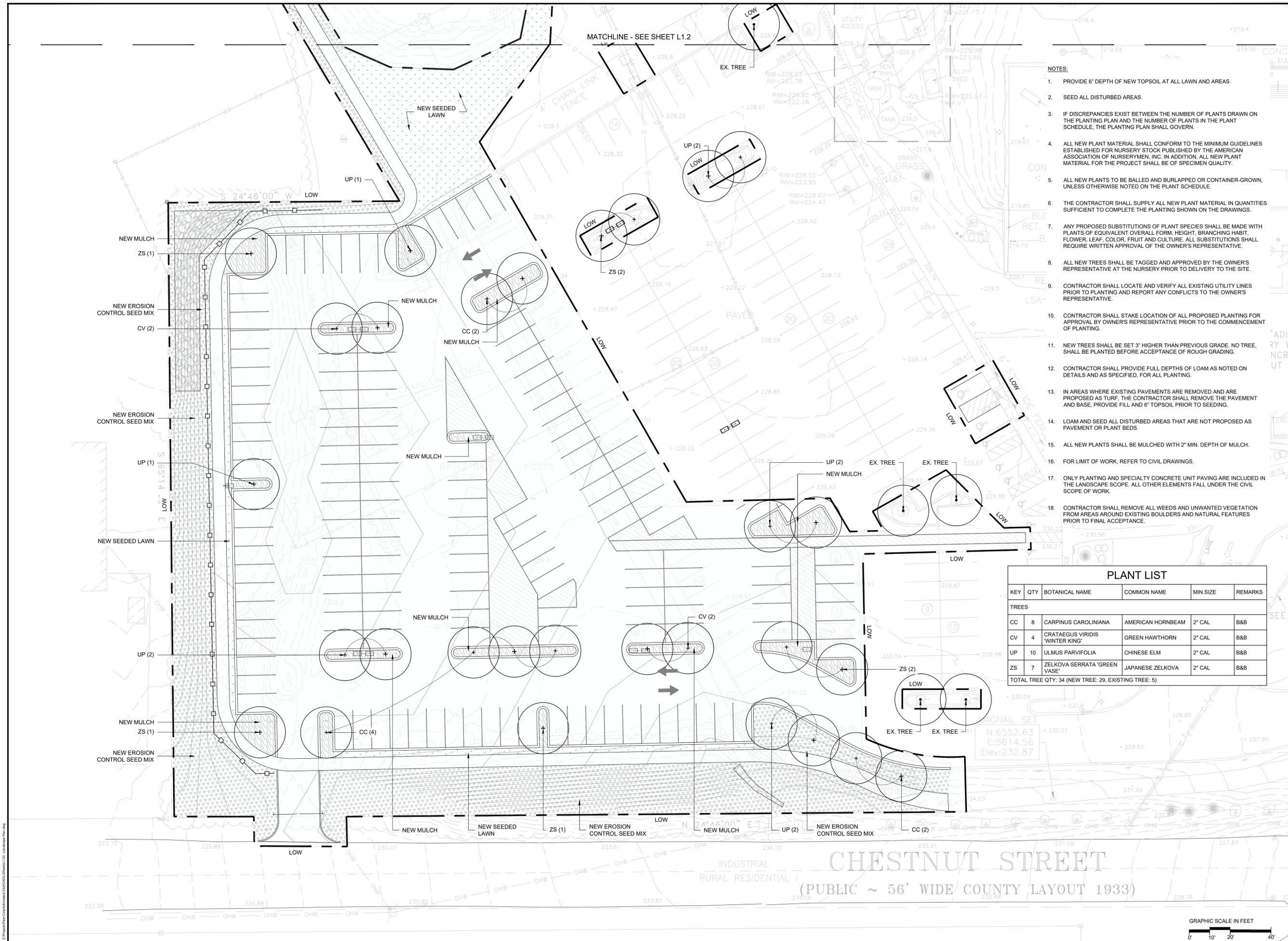
DRAWING NO.:
L1.1
SHEET NO. 16 OF 20

NOTES:

1. PROVIDE 6" DEPTH OF NEW TOPSOIL AT ALL LAWN AND AREAS.
2. SEED ALL DISTURBED AREAS.
3. IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
4. ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
5. ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER-GROWN, UNLESS OTHERWISE NOTED ON THE PLANT SCHEDULE.
6. THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
7. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. ALL SUBSTITUTIONS SHALL REQUIRE WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
8. ALL NEW TREES SHALL BE TAGGED AND APPROVED BY THE OWNER'S REPRESENTATIVE AT THE NURSERY PRIOR TO DELIVERY TO THE SITE.
9. CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER'S REPRESENTATIVE.
10. CONTRACTOR SHALL STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF PLANTING.
11. NEW TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREE SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
12. CONTRACTOR SHALL PROVIDE FULL DEPTHS OF LOAM AS NOTED ON DETAILS AND AS SPECIFIED, FOR ALL PLANTING.
13. IN AREAS WHERE EXISTING PAVEMENTS ARE REMOVED AND ARE PROPOSED AS TURF, THE CONTRACTOR SHALL REMOVE THE PAVEMENT AND BASE, PROVIDE FILL AND 6" TOPSOIL PRIOR TO SEEDING.
14. LOAM AND SEED ALL DISTURBED AREAS THAT ARE NOT PROPOSED AS PAVEMENT OR PLANT BEDS.
15. ALL NEW PLANTS SHALL BE MULCHED WITH 2" MIN. DEPTH OF MULCH.
16. FOR LIMIT OF WORK, REFER TO CIVIL DRAWINGS.
17. ONLY PLANTING AND SPECIALTY CONCRETE UNIT PAVING ARE INCLUDED IN THE LANDSCAPE SCOPE. ALL OTHER ELEMENTS FALL UNDER THE CIVIL SCOPE OF WORK.
18. CONTRACTOR SHALL REMOVE ALL WEEDS AND UNWANTED VEGETATION FROM AREAS AROUND EXISTING BOULDERS AND NATURAL FEATURES PRIOR TO FINAL ACCEPTANCE.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN SIZE	REMARKS
TREES					
CC	8	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2" CAL	B&B
CV	4	CRATAEGUS VIRIDIS 'WINTER KING'	GREEN HAWTHORN	2" CAL	B&B
UP	10	ULMUS PARVIFOLIA	CHINESE ELM	2" CAL	B&B
ZS	7	ZELKOVA SERRATA 'GREEN VASE'	JAPANESE ZELKOVA	2" CAL	B&B
TOTAL TREE QTY: 34 (NEW TREE: 29, EXISTING TREE: 5)					



25038.00 - Adirondack Club Parking Lot Expansion - L1.1 - Landscape Plan



rdla RAY DUNETZ
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SCALE ADJUSTMENT GUIDE
0" 1"
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Adirondack Club Parking Lot Expansion

Franklin, Massachusetts



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DATE: JUNE 6, 2025
SCALE: 1"=20'
DESIGNED BY: JQ
CHECKED BY: TN
DRAWN BY: JQ
APPROVED BY: RD
DRAWING TITLE:

LIGHTING PLAN

DRAWING NO.:
L3.1
SHEET NO. 19 OF 20

