

# SITE PLAN PANTHER WAY

**ZONING:**

REQUIREMENTS:	EXISTING	PROPOSED	
COMMERCIAL II AREA:	40,000 S.F.	800,948 ± S.F.	654,484 ± S.F.
FRONTAGE:	175'	722.56'	386.39'
DEPTH:	200'	1,150'+	1,150'+
HEIGHT:	3 STORIES - 40'	N/A	2 STORIES
WIDTH:	157.5'	714'+	356'+
COVERAGE -			
STRUCTURES:	70%	0%	13.2%
STRUC. & PAVING:	80%	0%	26.7%
SETBACKS-			
FRONT:	40'	0	200'
SIDE:	30'	0	30.5'
REAR:	30'	0	61'

THE PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT.  
THE PROPERTY IS NOT LOCATED WITHIN A ZONE A OR B BASED ON FEMA FIRM MAP 25021C0308E DATED JULY 17, 2012.

NO BUILDINGS EXIST ON PROPOSED LOT 2.

SENIOR HOUSING AREA CRITERIA - SECTION 185-48.F(1)(c)  
5 ACRES MINIMUM LOT SIZE - 654,484 SQ. FT. OR 15.02 ACRES PROPOSED (LOT 2)  
REQUIRED OPEN SPACE 30% OF LOT AREA - 196,345 SQ. FT. OR 4.51 ACRES  
OPEN SPACE PROPOSED (LOT 2) - 220,468 SQ. FT. OR 5.06 ACRES  
WETLAND AREA WITHIN OPEN SPACE - 22,983± SQ. FT. OR 3.5% OF ORIGINAL AREA (LOT 2)  
THE ENTIRE WETLAND IS PROPOSED TO BE WITHIN THE OPEN SPACE - WAIVER REQUESTED TO ALLOW A GREATER PERCENTAGE OF WETLAND WITHIN THE OPEN SPACE THAN WITHIN THE ORIGINAL LOT. THE OPEN SPACE CONTAINS UPLAND THAT IS 30.2 PERCENT OF THE ORIGINAL PARCEL (LOT 2)

**DRAWING INDEX**

- COVER SHEET - 1
- EXISTING CONDITIONS PLANS 2 & 3
- SITE LAYOUT PLANS 4 & 5
- SITE GRADING AND UTILITY PLANS 6 & 7
- DRIVWAY AND SEWER PLAN AND PROFILES 8 - 10
- SITE PLANTING PLAN 11
- EROSION CONTROL PLANS 12 & 13
- CONSTRUCTION DETAILS 14 - 17

**REFERENCES:**

- DEED BOOK 37290 PAGE 474
- DEED BOOK 37152 PAGE 343
- DEED BOOK 5602 PAGE 614
- DEED BOOK 5804 PAGE 316
- DEED BOOK 5844 PAGE 87
- DEED BOOK 5924 PAGE 180
- DEED BOOK 9471 PAGE 641
- DEED BOOK 10499 PAGE 680
- DEED BOOK 11341 PAGE 545
- PLAN 565 OF 1970
- PLAN 386 OF 1979
- PLAN 92 OF 1979
- PLAN 564 OF 1992
- PLANS 261 A - C OF 1994
- PLAN 921 OF 1980
- COUNTY ENGINEERS PLAN FOR EDWARDS STREET
- LAST REVISED AUG. 28, 2000
- SITE PLAN FOR "THREE" RESTAURANT LAST REVISED 10-17-06
- PLAN OF LAND BY PAUL ROBINSON DATED NOVEMBER 14, 1978
- PLAN OF KNIGHTS OF COLUMBUS LAST REVISED 3-8-2000
- PLAN 1062 OF 1972
- PLAN 901 OF 1974

OWNERS:  
MAP 270 PARCELS 28 & 38  
PANTHER WAY 2019 LLC  
7 MYRTLE STREET  
NORFOLK, MASSACHUSETTS

MAP 270 PARCEL 39  
HOLMES LAND TRUST  
12 MYRTLE STREET  
NORFOLK, MASSACHUSETTS

APPLICANT:  
CAMFORD PROPERTY GROUP, INC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

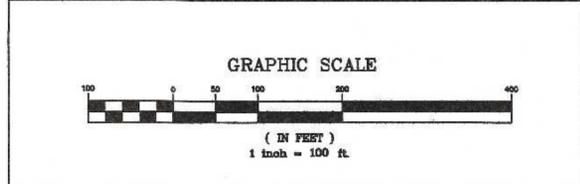
**COVER SHEET**  
PANTHER WAY  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
CAMFORD PROPERTY GROUP, INC.  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
NOVEMBER 8, 2024  
SCALE: 1" = 100'

- WAIVER REQUESTS:**
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
  2. TO ALLOW THE USE OF HPDE PIPE FOR DRAINAGE POND AND THE ROOF DRAIN COLLECTION SYSTEMS.
  3. TO NOT REQUIRE THE CONSTRUCTION OF A SIDEWALK ALONG THE ENTIRE PANTHER WAY FRONTAGE.
  4. WAIVER TO ALLOW UNITS 15, 16, 26 AND THE MIXED USE BUILDING TO HAVE A SETBACK OF LESS THAN 50 FEET.
  5. WAIVER TO ALLOW THE CURBING TO BE VERTICAL CONCRETE.
  6. WAIVER TO REQUIRE ONLY ONE SIDEWALK.
  7. WAIVER TO ALLOW THE WETLAND PERCENTAGE IN THE OPEN SPACE TO EXCEED THE WETLAND PERCENTAGE OF THE LOT (LOT 2)
  8. WAIVER TO ALLOW A MANAGEMENT PLAN TO BE SUBMITTED FOR APPROVAL AS A CONDITION OF APPROVAL OF THE PROJECT.
  9. WAIVER TO NOT REQUIRE STREET TREE PLANTING ALONG PANTHER WAY.
  10. WAIVER TO NOT REQUIRE STREET TREE PLANTING AT 20 FOOT INTERVALS.
  11. WAIVER TO ALLOW LIGHT SPILLAGE OVER THE PANTHER WAY PROPERTY LINE.

LOCUS MAP  
SCALE: 1" = 100'

**SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD**

DATE \_\_\_\_\_



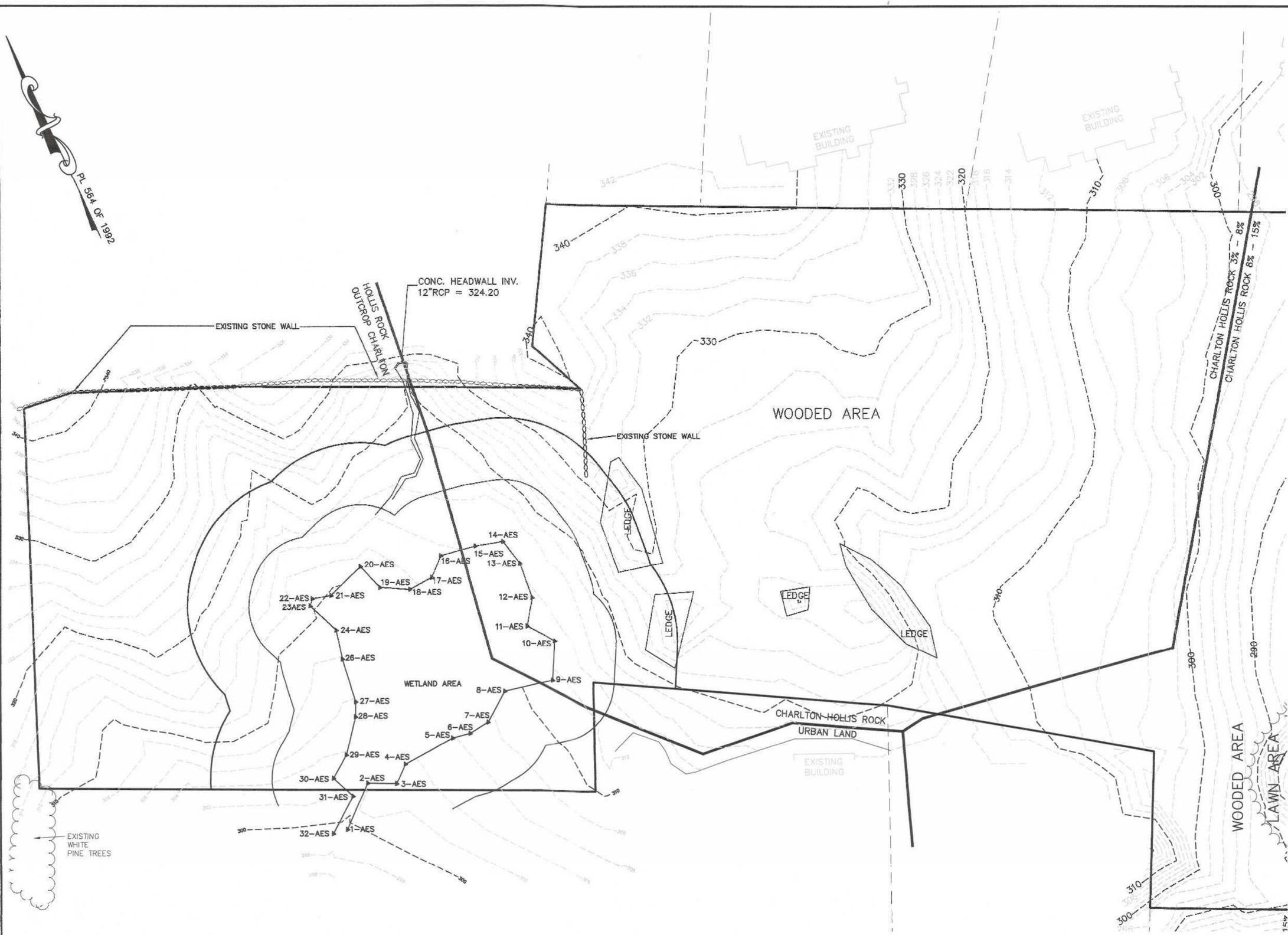
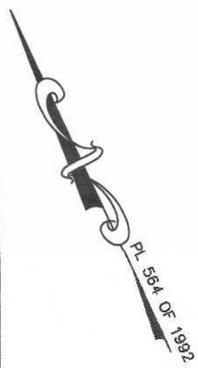
NO.	DATE	DESCRIPTION	BY
2	8/8/25	REVIEW COMMENTS	RRG
1	6/20/25	REVIEW COMMENTS	RRG

**CARLOS A. QUINTAL P.E. #30812**

DATE	FIELD BY:	INT.
12/18	BL	BL
BK#	FIELD BOOK	PG#
12/24	RRG	RRG
12/24	DESIGNED BY:	RRG
12/24	DRAWN BY:	COMP
12/24	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-304-6560 FAX 508-384-8568

DATE	SCALE	PROJECT	SHEET
DEC. 13, 2024	1" = 100'	UC1378	1 OF 17



**VEGETATIVE COVER CONDITIONS**

CULTIVATED LAND - NONE PRESENT  
 MEADOW - NONE PRESENT  
 PASTURE - NONE PRESENT  
 WOODLAND - LABELED WOODED AREA WHICH CONTINUE TO THE PROPERTY LINE  
 WETLAND - LABELED WETLAND AREA  
 TREES WITH A DIAMETER AT BREAST HEIGHT (DBH) IN EXCESS OF 15 INCHES - TREES WITH A DBH OF 15 INCHES OR GRATER AREA LOCATED WITHIN THE WOODED AREA.  
 ACTUAL CANOPY LINE OF EXISTING TREES AND WOODLANDS - THE TREE CANOPY LINE SEPARATING THE WOODED AREAS FROM THE LAWN AREAS HAVE BEEN ADDED AND LABELED.

**HISTORICALLY SIGNIFICANT SITES OR STRUCTURES**

CELLAR HOLES - NO HISTORICAL CELLAR HOLES EXIST ON THE SITE  
 STONE WALLS - SHOWN  
 EARTHWORK - EXTENTS OF EARTHWORK FOR THE 100 PANTHER WAY SITE ARE SHOWN AS THE WOODED AREA - GRASS AREA LINE.  
 GRAVES - NO VISIBLE GRAVES EXIST ON THE SITE

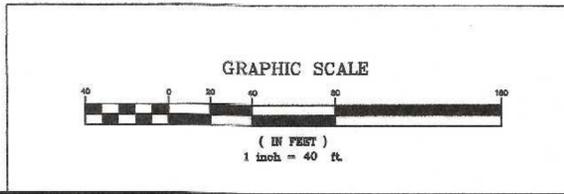
**TEST PITS DECEMBER 2023**

TEST PIT	GROUND ELEVATION	BOTTOM EXCAVATION
1-25	287.0±	276.0 (WATER AT 276.0)±
3-0	306.06	297.9 (WATER AT 300.06)
4-0	310.81	300.31 (WATER AT 306.81)
5-0	325.10	322.10 FRACTURED ROCK
6-0	326.60	322.60 REFUSAL
7-50	329.24	319.91 (WATER AT 321.74)
3-ON	275.92	283.92 S & G
4-ON	288.41	277.16 ROCK
5-ON	290.36	278.36 S & G
8-ON	316.50	312.50 REFUSAL
9-ON	329.29	325.29 REFUSAL
10-ON	328.43	322.43 REFUSAL

EXISTING CONDITIONS PLAN - 1  
 SENIOR VILLAGE  
 PANTHER WAY  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 CAMFORD PROPERTY GROUP, INC.  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 DECEMBER 13, 2024  
 SCALE: 1" = 40'

**SITE PLAN APPROVAL REQUIRED**  
 FRANKLIN PLANNING BOARD

DATE \_\_\_\_\_



NO.	DATE	DESCRIPTION	BY
1	6/20/25	REVIEW COMMENTS	RRG

ANDREW C. MURPHY  
 P.L.S. #35042

DATE	FIELD BY:	INT.
12/24	CALCS BY: RRG	
12/24	DESIGNED BY: RRG	
12/24	DRAWN BY: COMP	
12/24	CHECKED BY: CAQ	

**UNITED CONSULTANTS INC.**

850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6560 FAX 508-384-6566

DATE  
 DEC. 13, 2024

SCALE  
 1" = 40'

PROJECT  
 UC1378

SHEET  
 2 OF 17



**ZONING:**

THE PROPERTY IS LOCATED WITHIN A COMMERCIAL II ZONE REQUIREMENTS:

	EXISTING	PROPOSED
COMMERCIAL II AREA:	40,000 S.F.	800,948 ± S.F.
FRONTAGE:	175'	722.56'
DEPTH:	200'	1,150'+
HEIGHT:	3 STORIES - 40'	N/A
WIDTH:	157.5'	714'+
COVERAGE - STRUCTURES:	70%	13.2%
STRUC. & PAVING:	80%	26.7%
SETBACKS- FRONT:	40'	200'
SIDE:	30'	30.5'
REAR:	30'	61'

**UNIT COUNT:**  
 UNITS 1 THROUGH 8 AND 17 THROUGH 26 ARE DUPLEX BUILDINGS  
 UNITS 9 THROUGH 16 ARE SINGLE FAMILY HOMES  
 MIXED USE BUILDING HAS 18 RESIDENTIAL UNITS  
 44 TOTAL UNITS PROPOSED

**OPEN SPACE:**  
 TOTAL AREA - 654,484 ± SQ. FT.  
 OPEN SPACE - 220,468 SQ. FT.  
 PERCENTAGE OF OPEN SPACE - 33.7%

THE PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT.  
 THE PROPERTY IS NOT LOCATED WITHIN A ZONE A OR B BASED ON FEMA FIRM MAP 25021C0308E DATED JULY 17, 2012.

NO BUILDINGS EXIST ON PROPOSED LOT 2.

PROPOSED TRAIL LOCATION SHOWN APPROXIMATE. FINAL LOCATION TO MEANDER THROUGH THE EXISTING TREES. MINIMIZE TREE REMOVAL.

**PEDESTRIAN TRAIL VEGETATION MAINTENANCE:**  
 - WITHIN THE WETLAND BUFFER ZONE THE PEDESTRIAN PATH SHALL BE MOWED WHEN THE TURF LAWN IS MOWED ON THE SITE OR AS NECESSARY.  
 - TO MAINTAIN PASSABILITY OF THE PEDESTRIAN PATH, VEGETATION TRIMMING SHALL BE ALLOWED. TRIMMING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO KEEP THE PEDESTRIAN TRAIL PASSABLE.

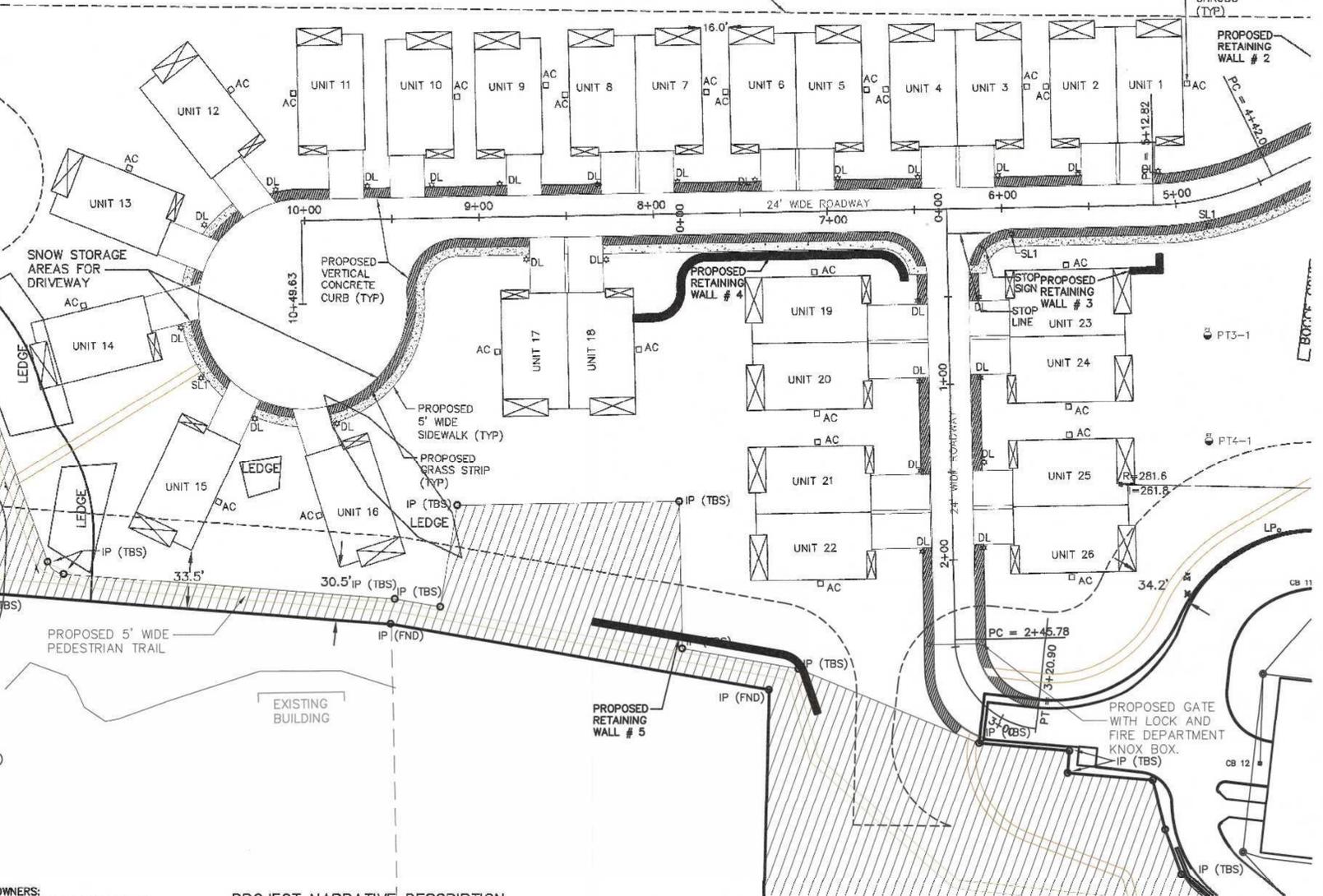
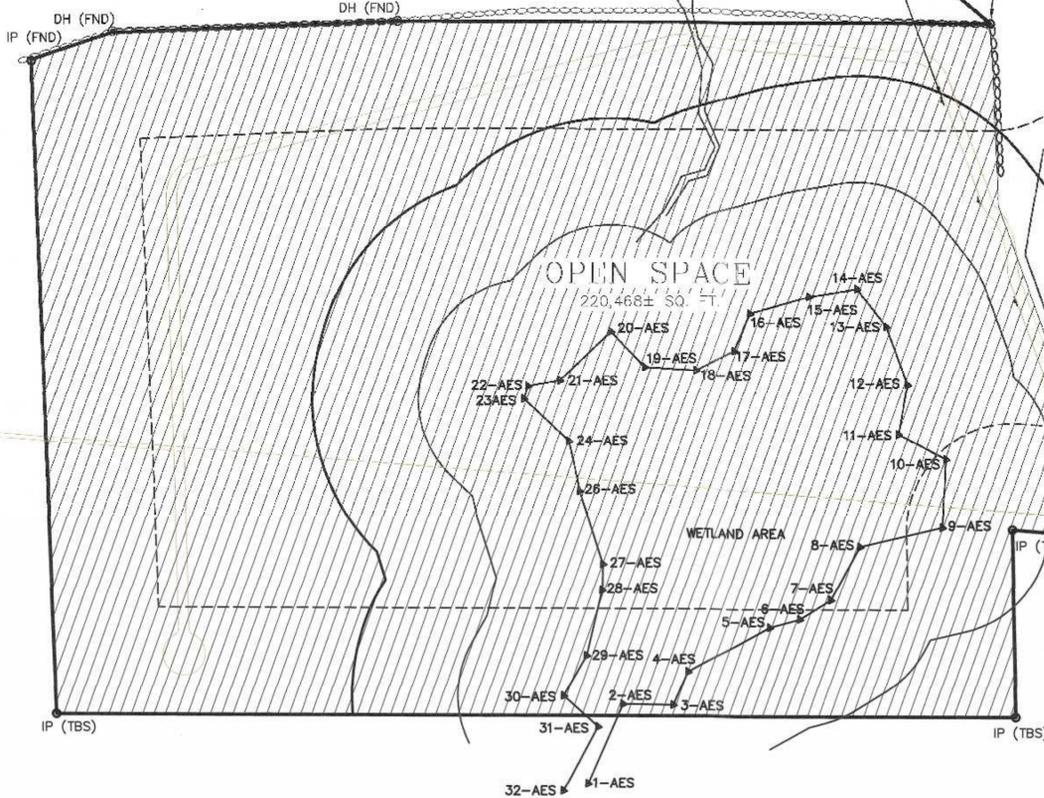
CONC. HEADWALL INV. 12" RCP = 324.20

5 PROPOSED SIGNS AT 50' +/- SPACING INTERVAL  
 "PEDESTRIAN TRAIL MAINTENANCE SHALL BE LIMITED TO THE EXISTING PEDESTRIAN TRAIL AREA"

SINGLE FAMILY UNIT AND DUPLEX UNITS SHALL HAVE TWO GARAGE PARKING SPACES AND TWO VISITOR PARKING SPACES FOR EACH UNIT.

BUILDING SETBACK - 50 FEET PER BYLAW SECTION 185-48F.(3)(a)(iii)

**NOTES:**  
 1. INTERIOR PARKING SPACES HAVE BEEN SHOWN PLAN PREPARED BY COLWELL GROUP.  
 2. FLOOR DRAIN LOCATIONS WILL BE PROVIDED BY PLUMBING ENGINEER AND SHALL BE CONNECTED TO EXISTING SEWER.



**TEST PITS DECEMBER 2023**

TEST PIT	GROUND ELEVATION	BOTTOM EXCAVATION
1-25	287.0±	276.0 (WATER AT 276.0)±
3-0	306.06	297.9 (WATER AT 300.06)
4-0	310.81	300.31 (WATER AT 308.81)
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6-0	326.60	322.60 REFUSAL
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8-ON	316.50	312.50 REFUSAL
9-ON	329.29	325.29 REFUSAL
10-ON	328.43	322.43 REFUSAL

**OWNERS:**  
 MAP 270 PARCELS 28 & 38  
 PANTHER WAY 2019 LLC  
 7 MYRTLE STREET  
 NORFOLK, MASSACHUSETTS

**MAP 270 PARCEL 39**  
 HOLMES LAND TRUST  
 12 MYRTLE STREET  
 NORFOLK, MASSACHUSETTS

**APPLICANT:**  
 CAMFORD PROPERTY GROUP, INC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

**PROJECT NARRATIVE DESCRIPTION**

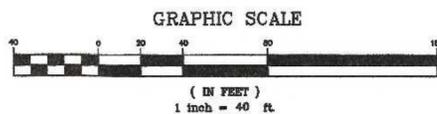
THE PROPOSED SENIOR VILLAGE WILL INCLUDE 44 HOUSING UNITS WHICH WILL BE DISPERSED WITHIN SINGLE UNIT BUILDING, TWO UNIT BUILDINGS AND 18 UNITS WILL BE LOCATED IN A MIXED USE BUILDING. A COMMERCIAL SPACE IS ALSO PROPOSED WITHIN THE MIXED USE BUILDING ALONG WITH A COMMUNITY CLUB HOUSE SPACE. THIS WILL EQUATE TO ONE HOUSING UNIT PER 0.34 ACRES. THE PROPOSED PROJECT IS INTENDED TO COMPLY WITH ALL OF THE TOWN OF FRANKLIN ZONING AND OTHER LAND USE REGULATIONS. THE PROPOSED CONSTRUCTION OF THE BUILDING WILL INCLUDE CONCRETE FOUNDATIONS AND WOOD FRAMED STRUCTURES. NO BUILDING DEMOLITION IS PROPOSED. THE PROJECT WILL ALLOW FOR RESIDENTIAL, CLUB HOUSE, AND A COMMERCIAL USE TO BE DETERMINED. IT IS ANTICIPATED THAT THE RESIDENTIAL UNIT WILL HAVE ONE OR TWO OCCUPANTS. THE COMMERCIAL SPACE WILL PROVIDE FOR EMPLOYMENT OPPORTUNITIES AND THE NUMBER OF EMPLOYEES WILL BE DETERMINED ONCE A TENANT IS SECURED. THE RESIDENTIAL UNITS WILL BE AVAILABLE FOR OCCUPANCY TWENTY FOUR HOURS A DAY. THE COMMERCIAL SPACE HOURS OF OPERATION WILL BE DETERMINED ONCE A TENANT IS SECURED.

**LAYOUT PLAN - 1**  
**SENIOR VILLAGE**  
 PANTHER WAY  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
**CAMFORD PROPERTY GROUP, INC.**  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 DECEMBER 13, 2024  
 SCALE: 1" = 40'

**PROPOSED LIGHTING NOTES:**  
 1. SL1, SL2 AND SL3 WERE TAKEN FROM LIGHTING PLAN PREPARED BY S&K ASSOCIATES.  
 3. DL LIGHTS ARE DRIVEWAY LIGHTS.

**SITE PLAN APPROVAL REQUIRED**  
**FRANKLIN PLANNING BOARD**

DATE



NO.	DATE	DESCRIPTION	BY
2	8/8/25	REVIEW COMMENTS	RRG
1	6/20/25	REVIEW COMMENTS	RRG

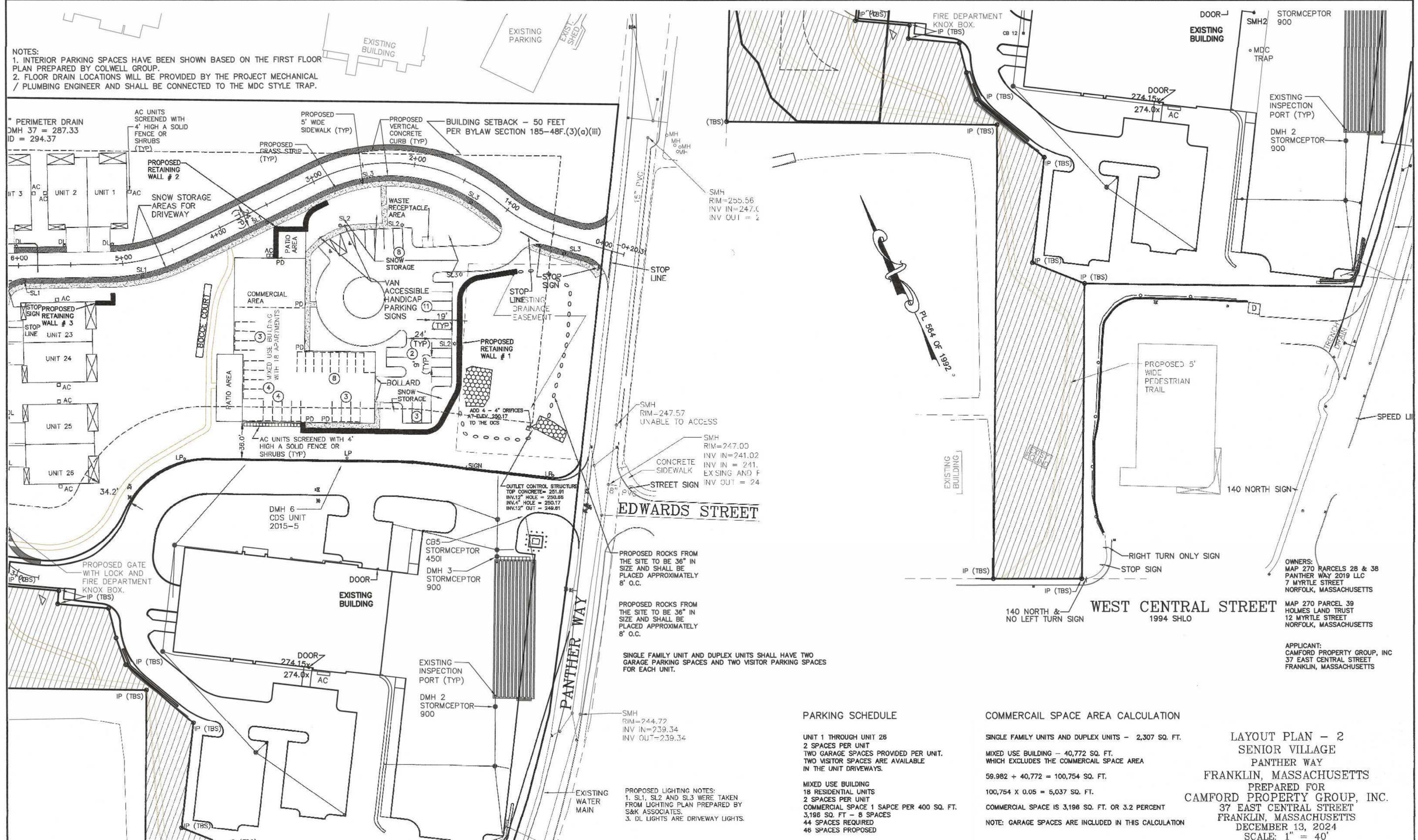
**CARLOS A. QUINTAL**  
 CIVIL  
 No. 305'2  
 REGISTERED PROFESSIONAL ENGINEER

DATE	FIELD BY:	INT.
12/24	CALCS BY: RRG	
12/24	DESIGNED BY: RRG	
12/24	DRAWN BY: COMP	
12/24	CHECKED BY: CAQ	

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6580 FAX 508-384-6586

DATE	SCALE	PROJECT	SHEET
DEC. 13, 2024	1" = 40'	UC1378	4 OF 17

NOTES:  
 1. INTERIOR PARKING SPACES HAVE BEEN SHOWN BASED ON THE FIRST FLOOR PLAN PREPARED BY COLWELL GROUP.  
 2. FLOOR DRAIN LOCATIONS WILL BE PROVIDED BY THE PROJECT MECHANICAL / PLUMBING ENGINEER AND SHALL BE CONNECTED TO THE MDC STYLE TRAP.



EDWARDS STREET

WEST CENTRAL STREET

PARKING SCHEDULE

UNIT 1 THROUGH UNIT 26  
 2 SPACES PER UNIT  
 TWO GARAGE SPACES PROVIDED PER UNIT.  
 TWO VISITOR SPACES ARE AVAILABLE  
 IN THE UNIT DRIVEWAYS.

MIXED USE BUILDING  
 18 RESIDENTIAL UNITS  
 2 SPACES PER UNIT  
 COMMERCIAL SPACE 1 SPACE PER 400 SQ. FT.  
 3,196 SQ. FT - 8 SPACES  
 44 SPACES REQUIRED  
 46 SPACES PROPOSED

COMMERCIAL SPACE AREA CALCULATION

SINGLE FAMILY UNITS AND DUPLEX UNITS - 2,307 SQ. FT.  
 MIXED USE BUILDING - 40,772 SQ. FT.  
 WHICH EXCLUDES THE COMMERCIAL SPACE AREA  
 59,982 + 40,772 = 100,754 SQ. FT.  
 100,754 X 0.05 = 5,037 SQ. FT.  
 COMMERCIAL SPACE IS 3,196 SQ. FT. OR 3.2 PERCENT  
 NOTE: GARAGE SPACES ARE INCLUDED IN THIS CALCULATION

LAYOUT PLAN - 2  
 SENIOR VILLAGE  
 PANTHER WAY  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 CAMFORD PROPERTY GROUP, INC.  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 DECEMBER 13, 2024  
 SCALE: 1" = 40'

PROPOSED LIGHTING NOTES:  
 1. SL1, SL2 AND SL3 WERE TAKEN FROM LIGHTING PLAN PREPARED BY S&K ASSOCIATES.  
 3. DL LIGHTS ARE DRIVEWAY LIGHTS.

SINGLE FAMILY UNIT AND DUPLEX UNITS SHALL HAVE TWO GARAGE PARKING SPACES AND TWO VISITOR PARKING SPACES FOR EACH UNIT.

PROPOSED ROCKS FROM THE SITE TO BE 36" IN SIZE AND SHALL BE PLACED APPROXIMATELY 8' O.C.

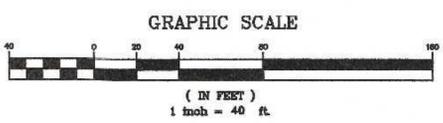
PROPOSED ROCKS FROM THE SITE TO BE 36" IN SIZE AND SHALL BE PLACED APPROXIMATELY 8' O.C.

SMH RIM=247.57 UNABLE TO ACCESS  
 CONCRETE SIDEWALK EXSING AND F INV OUT = 24  
 STREET SIGN

SMH RIM=255.56 INV IN=247.0 INV OUT = 2

SMH RIM=244.72 INV IN=239.34 INV OUT=239.34

SMH RIM=241.00 INV IN=241.00 INV IN=241.00 EXSING AND F INV OUT = 24



NO.	DATE	DESCRIPTION	BY
2	8/8/25	REVIEW COMMENTS	RRG
1	6/20/25	REVIEW COMMENTS	RRG



DATE	FIELD BY:	INT.
12/24	CALCS BY: RRG	
12/24	DESIGNED BY: RRG	
12/24	DRAWN BY: COMP	
12/24	CHECKED BY: CAQ	

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-8560 FAX 508-384-8566

DATE	SCALE	PROJECT	SHEET
DEC. 13, 2024	1" = 40'	UC1378	5 OF 17

SITE PLAN APPROVAL REQUIRED  
 FRANKLIN PLANNING BOARD  
 DATE \_\_\_\_\_

**SOIL TESTING INFORMATION**

PERMEABILITY TEST 3-1 - ELEVATION = 285.6  
 0 - 12" A SANDY LOAM ELEV. = 284.6  
 12" - 40" B SANDY LOAM 10YR 4/4 ELEV. = 282.27  
 40" - 144" C1 LOAMY SAND AND GRAVEL 2.5Y 6/3 ELEV. = 273.6  
 144" - 180" C2 LOAMY SAND AND GRAVEL W/1/2" ROCK ELEV. = 270.6  
 PERMEABILITY RATE - 52.86 IN/HR

PERMEABILITY TEST 4-1 - ELEVATION = 282.0  
 0 - 9" A SANDY LOAM ELEV. = 281.25  
 9" - 60" B SANDY LOAM 10YR 4/4 ELEV. = 277.0  
 60" - 240" C SAND AND GRAVEL 2.5Y 6/3 ELEV. = 262.0  
 PERMEABILITY RATE - 27.2 IN/HR

PERMEABILITY TEST 5-1 - ELEVATION = 275.0  
 0 - 36" A SANDY LOAM ELEV. = 272.0  
 36" - 60" B SANDY LOAM 10YR 4/4 ELEV. = 270.0  
 60" - 188" C SAND AND GRAVEL 2.5Y 6/3 ELEV. = 261.0  
 PERMEABILITY RATE - 35.7 IN/HR

PERMEABILITY TEST 5-2 - ELEVATION = 278.1  
 0 - 12" A SANDY LOAM ELEV. = 277.1  
 12" - 40" B SANDY LOAM 10YR 4/4 ELEV. = 274.77  
 40" - 198" C SAND AND GRAVEL 2.5Y 6/3 ELEV. = 261.6  
 WATER @ 198" ELEV. = 261.6  
 PERMEABILITY RATE - 29.8 IN/HR

**SOIL EVALUATION INFORMATION**  
 TEST DATES: MARCH 14, 2019 AND APRIL 17, 2019  
 PERFORMED BY: CARLOS A. QUINTAL, P.E., SOIL EVALUATOR

TEST PIT PT-2 ELEV. = 251.58  
 0 - 6" A LOAMY SAND 10YR 3/4 ELEV. = 251.08  
 6" - 24" B LOAMY SAND 10YR 5/6 ELEV. = 249.58  
 24" - 138" C SANDY LOAM 2.5Y 5/3 ELEV. = 240.08  
 MOTTLING @ 122" ELEV. = 241.41

TEST PIT PT-20 ELEV. = 254.65  
 0 - 10" LOAMY SAND 7.5YR 3/2 ELEV. = 253.82  
 10 - 18" B LOAMY SAND 10YR 5/4 ELEV. = 253.15  
 18" - 48" C1 SAND & GRAVEL 2.5Y 4/3 ELEV. = 250.65  
 48" - 180" C2 MED. SAND 2.5Y 6/3 ELEV. = 241.32  
 NO GROUNDWATER OBSERVED

TEST PIT PT-21 ELEV. = 256.49  
 0 - 16" A LOAMY SAND 7.5YR 3/2 ELEV. = 255.16  
 16" - 50" B LOAMY SAND 10YR 5/4 ELEV. = 252.32  
 50" - 112" C1 SAND & GRAVEL 2.5Y 4/3 ELEV. = 247.16  
 112" - 150" C2 MED. SAND 2.5Y 6/3 ELEV. = 243.99  
 GROUNDWATER OBSERVED @ 144" ELEV. = 244.49  
 MOTTLING OBSERVED @ 136" ELEV. = 244.99

TEST PIT PT-22 ELEV. = 246.14  
 0 - 12" FILL ELEV. 245.14  
 12" - 36" C1 SAND & GRAVEL 2.5Y 4/3 ELEV. = 243.14  
 36" - 96" C2 MED. SAND 2.5Y 6/3 ELEV. = 236.14  
 NO GROUNDWATER OBSERVED  
 MOTTLING @ 78" ELEV. = 238.64

TEST PIT PT-23 ELEV. = 245.37  
 0 - 28" FILL ELEV. = 243.04  
 28" - 114" C SAND AND GRAVEL 2.5Y 4/3 ELEV. = 235.87  
 GROUNDWATER OBSERVED @ 96" ELEV. = 237.37

**PROPOSED LIGHTING NOTES:**  
 1. SL1, SL2 AND SL3 WERE TAKEN FROM LIGHTING PLAN PREPARED BY S&K ASSOCIATES.  
 3. DL LIGHTS ARE DRIVEWAY LIGHTS.

**PROPOSED VERTICAL CONCRETE CURB (TYP)**

**PROPOSED GRASS STRIP (TYP)**

**PROPOSED 5' WIDE SIDEWALK (TYP)**

**EXISTING BUILDING**

**DROP INV IN = 290.57  
INV OUT = 286.57**

**DROP INV IN = 295.33  
INV OUT = 293.33**

**DROP INV IN = 302.09  
INV OUT = 298.09**

**INV = 305.12**

**INV = 308.24**

**INV = 309.24**

**INV = 310.31**

**INV = 311.38**

**INV = 312.45**

**INV = 313.52**

**INV = 314.59**

**INV = 315.66**

**INV = 316.73**

**INV = 317.80**

**INV = 318.87**

**INV = 319.94**

**INV = 321.01**

**INV = 322.08**

**INV = 323.15**

**INV = 324.22**

**INV = 325.29**

**INV = 326.36**

**INV = 327.43**

**INV = 328.50**

**INV = 329.57**

**INV = 330.64**

**INV = 331.71**

**INV = 332.78**

**INV = 333.85**

**INV = 334.92**

**INV = 335.99**

**INV = 337.06**

**INV = 338.13**

**INV = 339.20**

**INV = 340.27**

**INV = 341.34**

**INV = 342.41**

**INV = 343.48**

**INV = 344.55**

**INV = 345.62**

**INV = 346.69**

**INV = 347.76**

**INV = 348.83**

**INV = 349.90**

**INV = 350.97**

**INV = 352.04**

**INV = 353.11**

**INV = 354.18**

**INV = 355.25**

**INV = 356.32**

**INV = 357.39**

**INV = 358.46**

**INV = 359.53**

**INV = 360.60**

**INV = 361.67**

**INV = 362.74**

**INV = 363.81**

**INV = 364.88**

**INV = 365.95**

**INV = 367.02**

**INV = 368.09**

**INV = 369.16**

**INV = 370.23**

**INV = 371.30**

**INV = 372.37**

**DRAINAGE STRUCTURE SCHEDULE**

CB 30 - RIM = 253.86  
 12" DI INV OUT = 251.54

CB 31 - RIM = 253.86  
 12" RCP INV OUT = 251.28

CB 32 - RIM = 255.9  
 12" RCP INV OUT = 251.51

CB 33 - RIM = 255.4  
 12" RCP INV = 251.56

WQU - CASCADE MODEL CS-4  
 DMH 30 - RIM = 254.8  
 12" RCP INV IN = 251.20  
 12" RCP INV OUT = 251.10

DMH 31 - RIM = 255.5  
 12" RCP INV IN = 251.35  
 12" RCP INV OUT = 251.25

HW 30 INV = 250.98

CB 34 - RIM = 268.61  
 12" RCP INV OUT = 261.58

CB 35 - RIM = 268.61  
 12" RCP INV OUT = 261.34

CB 46 - RIM = 259.0  
 12" RCP INV OUT = 252.98

CB 51 - RIM = 275.5 DOUBLE GRATE  
 12" HDPE INV OUT = 271.8

WQU - CASCADE MODEL CS-4  
 DMH 32 - RIM = 258.5  
 12" RCP INV IN = 252.75  
 12" RCP INV OUT = 252.65

DMH 33 - RIM = 258.7  
 12" RCP INV IN = 254.26  
 12" RCP INV OUT = 254.16

DMH 34 - RIM = 268.33  
 12" RCP INV IN = 261.26 CB 34 & CB 35  
 12" RCP INV OUT = 263.26 DMH 41

DMH 35 - RIM = 258.9  
 12" RCP INV IN = 254.35  
 12" RCP INV OUT = 254.25

DMH 41 - RIM = 274.0  
 12" HDPE INV IN = 270.5  
 12" RCP INV OUT = 271.82

INV 32 INV = 252.44

**DRAINAGE STRUCTURE SCHEDULE TO POND 3**

CB 36 - RIM = 290.73  
 12" RCP INV OUT = 286.73

CB 37 - RIM = 290.73  
 12" RCP INV = 286.73

CB 38 - RIM = 298.39  
 12" RCP INV OUT = 294.39

CB 39 - RIM = 298.39  
 12" RCP INV OUT = 294.08

CB 40 - RIM = 307.91  
 12" RCP INV OUT = 303.91

CB 41 - RIM = 307.91 DOUBLE GRATE  
 12" RCP INV OUT = 303.48

WQU - CASCADE MODEL CS-4  
 DMH 36 - RIM = 284.50  
 15" RCP IN = 280.25  
 18" HDPE INV OUT = 280.00

DMH 37 - RIM = 290.33  
 12" RCP INV IN = 286.33 CB 36 & CB 37  
 15" RCP IN = 282.87 DMH 38

DMH 38 - RIM = 297.76  
 12" RCP INV IN = 293.76 CB 38 & CB 39  
 12" RCP INV IN = 291.00 DMH 39  
 15" RCP INV OUT = 288.71

DMH 39 - RIM = 299.66  
 12" RCP INV IN = 294.40 DMH 40  
 12" RCP INV OUT = 292.40

DMH 40 - RIM = 307.12  
 12" RCP INV IN = 303.12  
 12" RCP INV OUT = 299.44

**DRAINAGE STRUCTURE SCHEDULE EXISTING POND**

CB42 - RIM = 276.91  
 12" RCP INV = 272.00

CB 43 - RIM = 276.91  
 12" RCP INV = 271.23

CB 44 - RIM = 276.0 DOUBLE GRATE  
 12" RCP INV OUT = 272.00

DMH 42 - RIM = 278.0  
 12" RCP INV IN = 271.64 CB 43 & CB 44  
 12" RCP INV OUT = 271.39

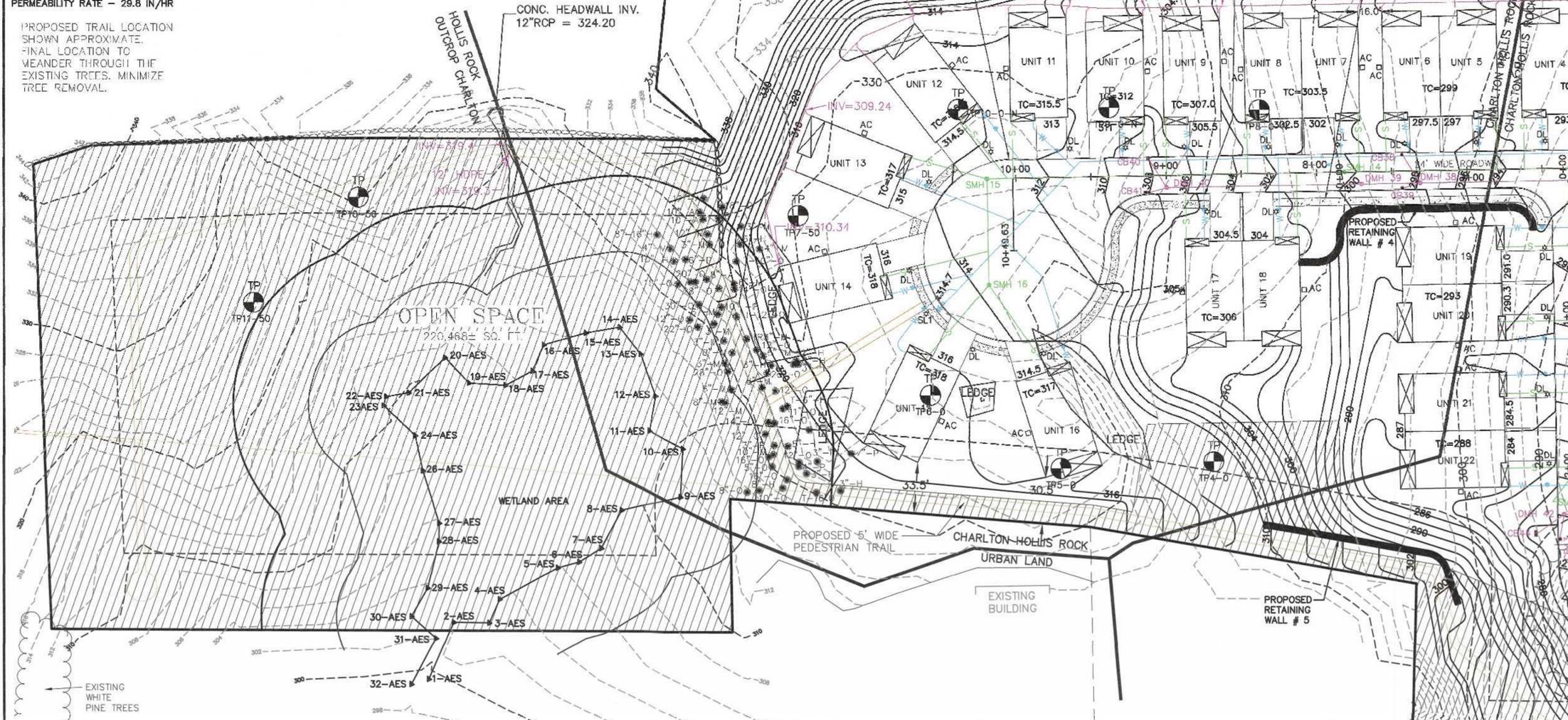
WQU - CASCADE MODEL CS-4  
 DMH 43 - RIM = 278.5  
 15" RCP INV IN = 270.95  
 15" RCP INV OUT = 270.85

DMH 44 - RIM = 274.0  
 15" RCP INV IN = 268.70  
 15" RCP INV OUT = 266.70

DMH 45 - RIM = 277.0  
 12" RCP INV IN = 271.50 DMH 46  
 15" RCP INV IN = 264.93 DMH 44  
 15" RCP INV OUT = 264.93

DMH 46 - RIM = 281.0  
 12" HDPE INV IN = 278.25  
 12" RCP INV OUT = 272.25

**PROPOSED TRAIL LOCATION SHOWN APPROXIMATE. FINAL LOCATION TO WEANDER THROUGH THE EXISTING TREES. MINIMIZE TREE REMOVAL.**



**ROADWAY NOTES:**  
 1. ALL CURBING TO BE REINFORCED VERTICAL CONCRETE.  
 2. SIDEWALKS TO BE 5' WIDE AND CAST IN PLACE CONCRETE.

**WATER NOTES:**  
 1. WATER CONNECTIONS TO THE PROPOSED BUILDING ARE SHOWN AS 2" FOR DOMESTIC AND 4" FOR FIRE PROTECTION. FINAL WATER PIPE SIZING WILL BE COMPLETED BY THE PLUMBING AND/OR FIRE PROTECTION ENGINEERS.  
 2. SECTION 300-12) WHEN BUILDING FINISH FLOOR ARE BETWEEN ELEVATION 310 AND 340 BOOSTER PUMPS ARE RECOMMENDED.

**MONUMENTATION LEGEND**  
 IP (FND) - IRON PIN OR PIPE FOUND  
 DH (FND) - DRILL HOLE FOUND  
 IP (TBS) - IRON PIN TO BE SET

**WETLAND BUFFER ZONE DISTURBANCE**  
 0 - 50' BUFFER ZONE - 0 SQ. FT.  
 50' - 100' BUFFER ZONE - 9,308 SQ. FT.

**EARTH QUANTITY**  
 CUT - 102,591 CUBIC YARDS  
 FILL - 3,709 CUBIC YARDS  
 EXPORT - 98,882 CUBIC YARDS

**TEST PITS DECEMBER 2023**

TEST PIT	GROUND ELEVATION
1-25	287.0±
3-0	306.06
4-0	310.81
5-0	325.10
6-0	326.60
7-50	329.24
3-ON	275.92
4-ON	288.41
5-ON	290.36
8-ON	316.50
9-ON	329.29
10-ON	328.43

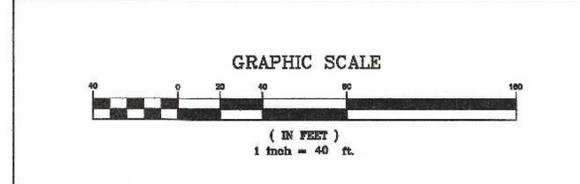
**BOTTOM EXCAVATION**

276.0	(WATER AT 276.0)±
297.9	(WATER AT 300.06)
300.31	(WATER AT 306.81)
322.10	FRACTURED ROCK
322.80	REFUSAL
319.91	(WATER AT 321.74)
263.92	S & G
277.16	ROCK
278.36	S & G
312.50	REFUSAL
325.29	REFUSAL
322.43	REFUSAL

**GRADING AND UTILITY PLAN - 1**  
 SENIOR VILLAGE  
 PANTHER WAY  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 CAMFORD PROPERTY GROUP, INC.  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 DECEMBER 13, 2024  
 SCALE: 1" = 40'

**SITE PLAN APPROVAL REQUIRED**  
 FRANKLIN PLANNING BOARD

DATE	DATE



NO.	DATE	DESCRIPTION	BY
2	8/8/25	REVIEW COMMENTS	RRG
1	6/20/25	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
12/24	CALCS BY: RRG	PG#
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12/24	DRAWN BY: COMP	
12/24	CHECKED BY: CAQ	

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-844-6560 FAX 508-844-6566

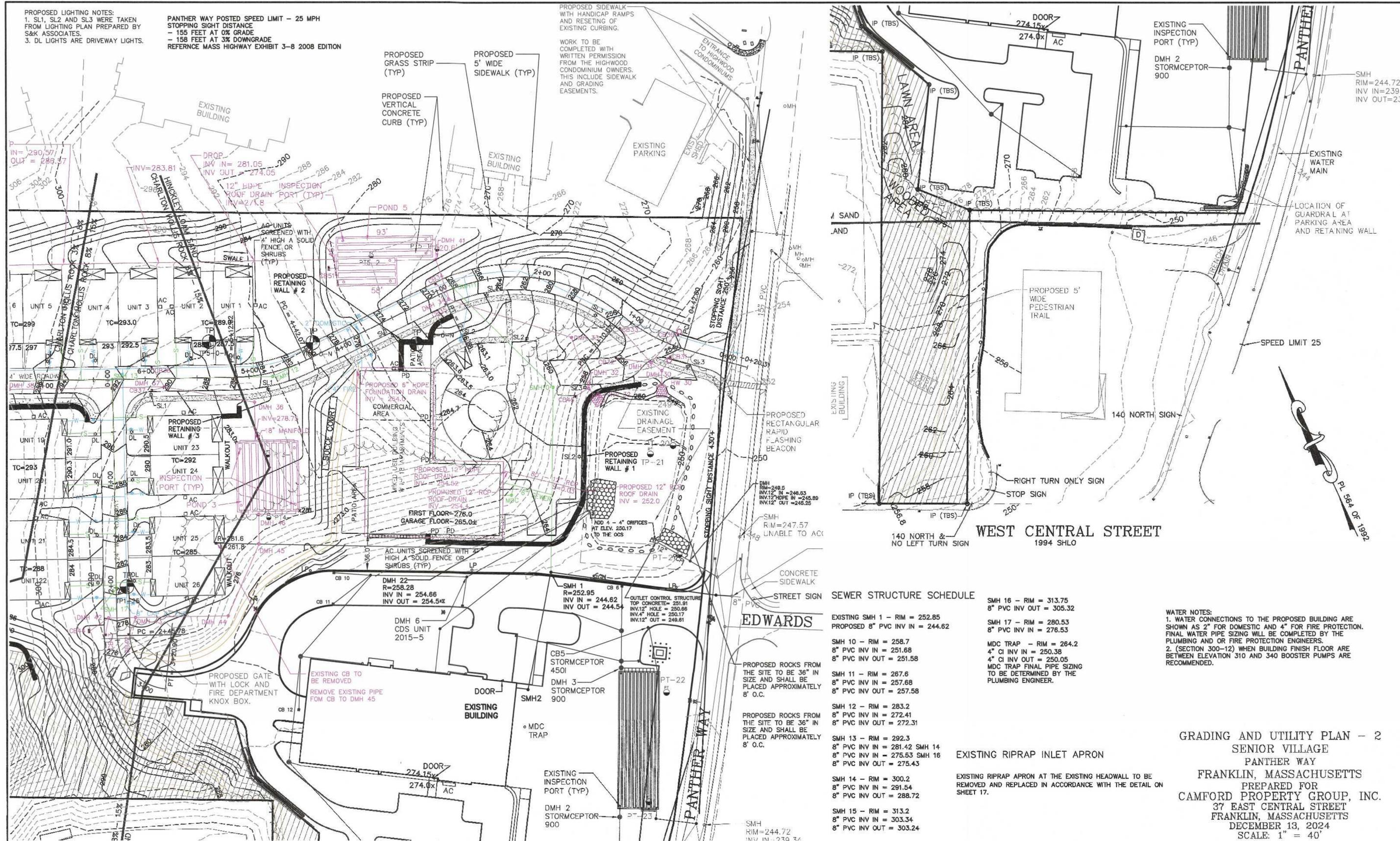
DATE: DEC. 13, 2024  
 SCALE: 1" = 40'  
 PROJECT: UC1378  
 SHEET: 6 OF 17

PROPOSED LIGHTING NOTES:  
 1. SL1, SL2 AND SL3 WERE TAKEN FROM LIGHTING PLAN PREPARED BY S&K ASSOCIATES.  
 3. DL LIGHTS ARE DRIVEWAY LIGHTS.

PANTHER WAY POSTED SPEED LIMIT - 25 MPH  
 STOPPING SIGHT DISTANCE  
 - 155 FEET AT 0% GRADE  
 - 158 FEET AT 3% DOWNGRADE  
 REFERENCE MASS HIGHWAY EXHIBIT 3-8 2008 EDITION

PROPOSED SIDEWALK WITH HANDICAP RAMPS AND RESETTING OF EXISTING CURBING.

WORK TO BE COMPLETED WITH WRITTEN PERMISSION FROM THE HIGHWOOD CONDOMINIUM OWNERS. THIS INCLUDES SIDEWALK AND GRADING EASEMENTS.



SEWER STRUCTURE SCHEDULE

EXISTING SMH 1 - RIM = 252.85 PROPOSED 8" PVC INV IN = 244.62	SMH 16 - RIM = 313.75 8" PVC INV OUT = 305.32
SMH 10 - RIM = 258.7 8" PVC INV IN = 251.68 8" PVC INV OUT = 251.58	SMH 17 - RIM = 280.53 8" PVC INV IN = 278.53
SMH 11 - RIM = 267.6 8" PVC INV IN = 257.68 8" PVC INV OUT = 257.58	MDC TRAP - RIM = 264.2 4" CI INV IN = 250.38 4" CI INV OUT = 250.05 MDC TRAP FINAL PIPE SIZING TO BE DETERMINED BY THE PLUMBING ENGINEER.
SMH 12 - RIM = 283.2 8" PVC INV IN = 272.41 8" PVC INV OUT = 272.31	
SMH 13 - RIM = 292.3 8" PVC INV IN = 281.42 8" PVC INV IN = 275.53 8" PVC INV OUT = 275.43	
SMH 14 - RIM = 300.2 8" PVC INV IN = 291.54 8" PVC INV OUT = 288.72	
SMH 15 - RIM = 313.2 8" PVC INV IN = 303.34 8" PVC INV OUT = 303.24	

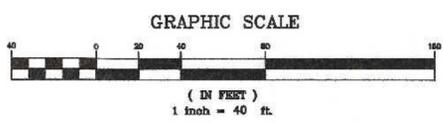
EXISTING RIPRAP INLET APRON  
 EXISTING RIPRAP APRON AT THE EXISTING HEADWALL TO BE REMOVED AND REPLACED IN ACCORDANCE WITH THE DETAIL ON SHEET 17.

WATER NOTES:  
 1. WATER CONNECTIONS TO THE PROPOSED BUILDING ARE SHOWN AS 2" FOR DOMESTIC AND 4" FOR FIRE PROTECTION. FINAL WATER PIPE SIZING WILL BE COMPLETED BY THE PLUMBING AND/OR FIRE PROTECTION ENGINEERS.  
 2. (SECTION 300-12) WHEN BUILDING FINISH FLOOR ARE BETWEEN ELEVATION 310 AND 340 BOOSTER PUMPS ARE RECOMMENDED.

GRADING AND UTILITY PLAN - 2  
 SENIOR VILLAGE  
 PANTHER WAY  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 CAMFORD PROPERTY GROUP, INC.  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 DECEMBER 13, 2024  
 SCALE: 1" = 40'

SITE PLAN APPROVAL  
 REQUIRED  
 FRANKLIN PLANNING BOARD

DATE



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1	6/20/25	REVIEW COMMENTS	RRG

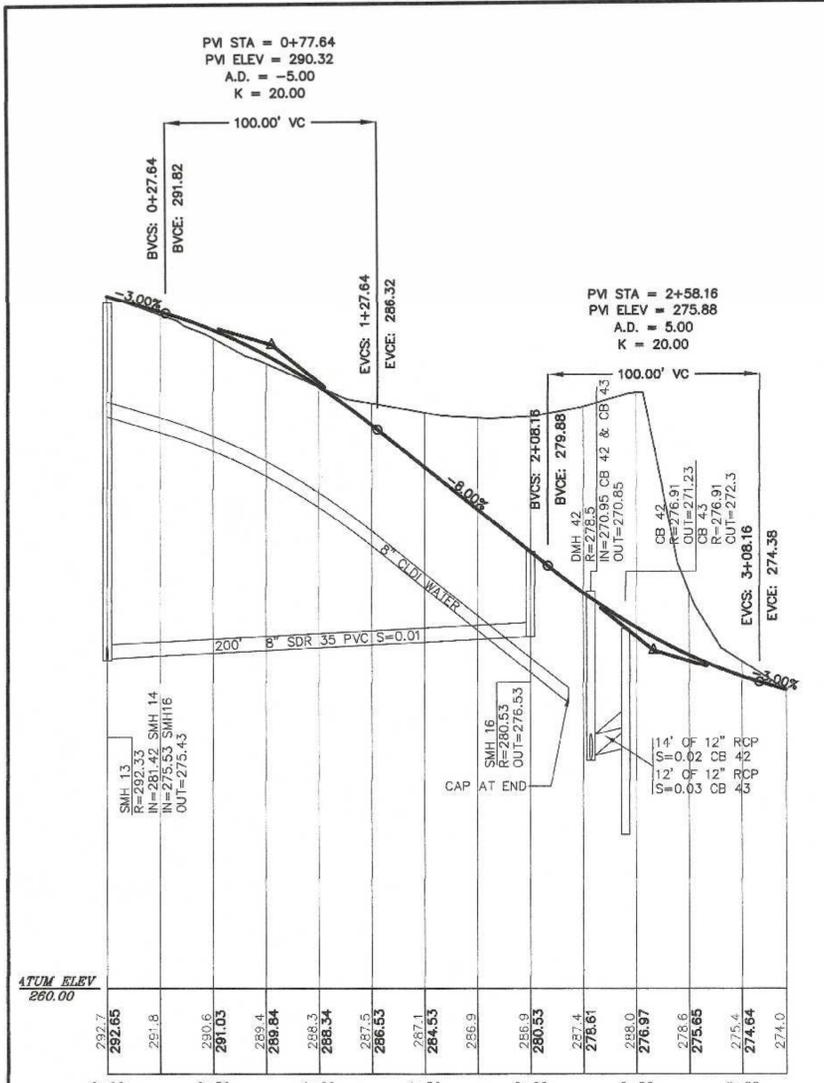


DATE	FIELD BY:	INT.
12/24	FIELD BOOK	PG#
12/24	CALCS BY:	RRG
12/24	DESIGNED BY:	RRG
12/24	DRAWN BY:	COMP
12/24	CHECKED BY:	CAQ

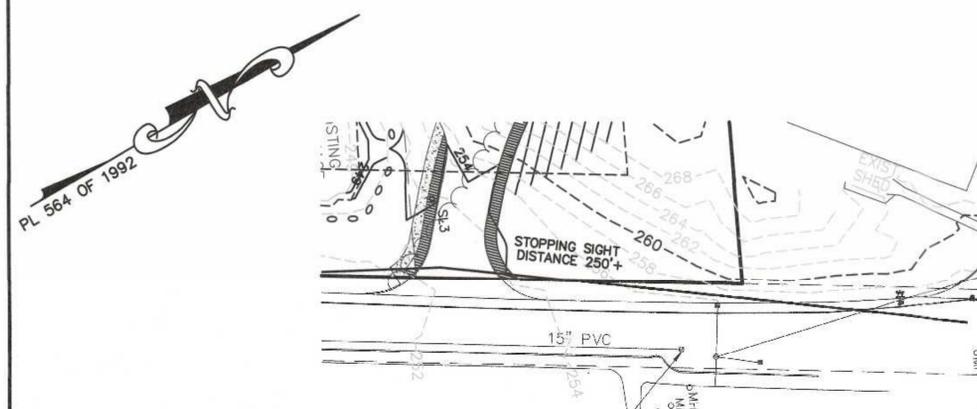
UNITED CONSULTANTS INC.  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6560 FAX 508-384-6566

DATE	DEC. 13, 2024
SCALE	1" = 40'
PROJECT	UC1378
SHEET	7 OF 17

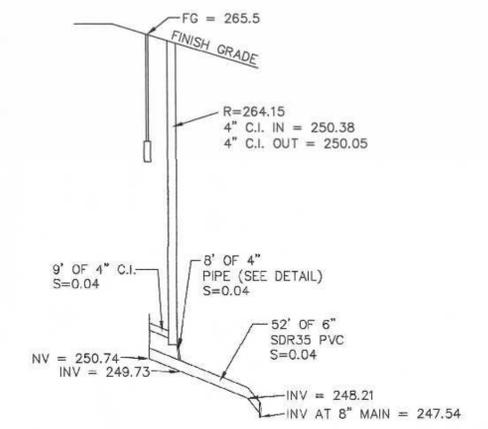




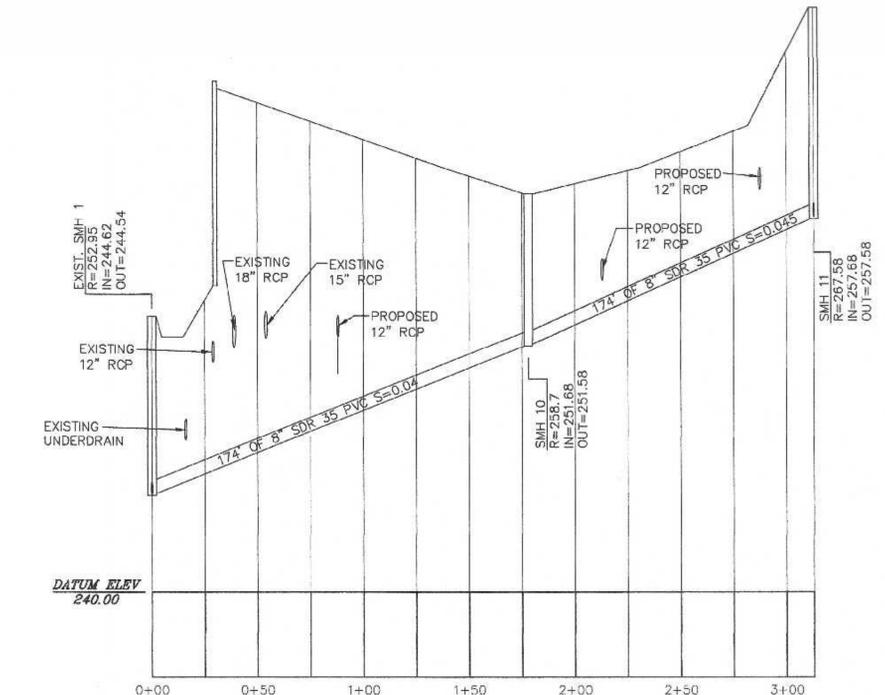
LOWER DRIVEWAY  
SCALE: H - 1" - 40'  
V: 1" - 4'



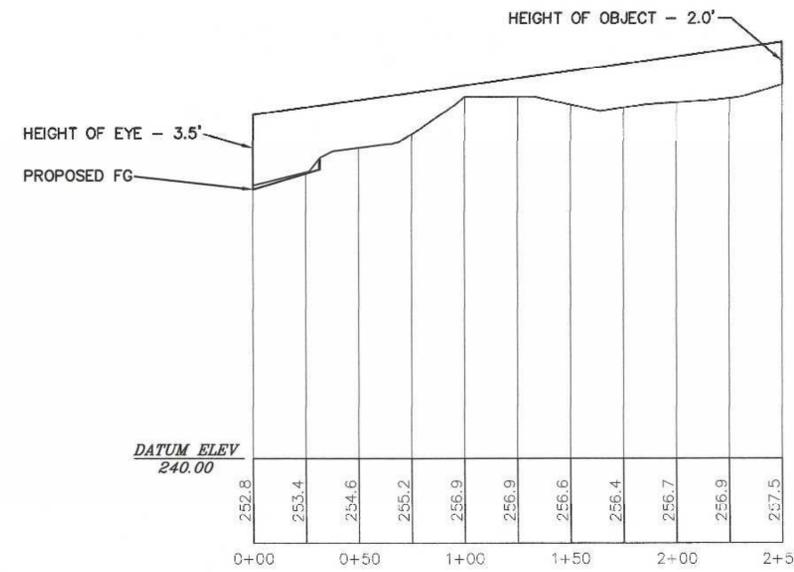
SIGHT DISTANCE PLAN  
SCALE: H - 1" - 40'



MIXED USE BUILDING  
SEWER CONNECTIONS  
SCALE: H - 1" - 40'  
V: 1" - 4'



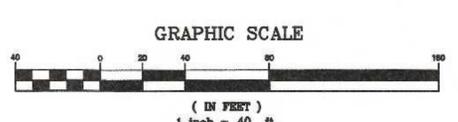
LOWER PARKING LOT  
SCALE: H - 1" - 40'  
V: 1" - 4'



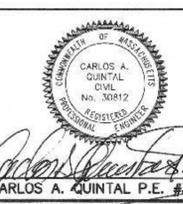
ENTRANCE SIGHT DISTANCE PROFILE  
LOOKING NORTHEAST  
SCALE: H - 1" - 40'  
V: 1" - 4'

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE	



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1	6/20/25	REVIEW COMMENTS	RRG

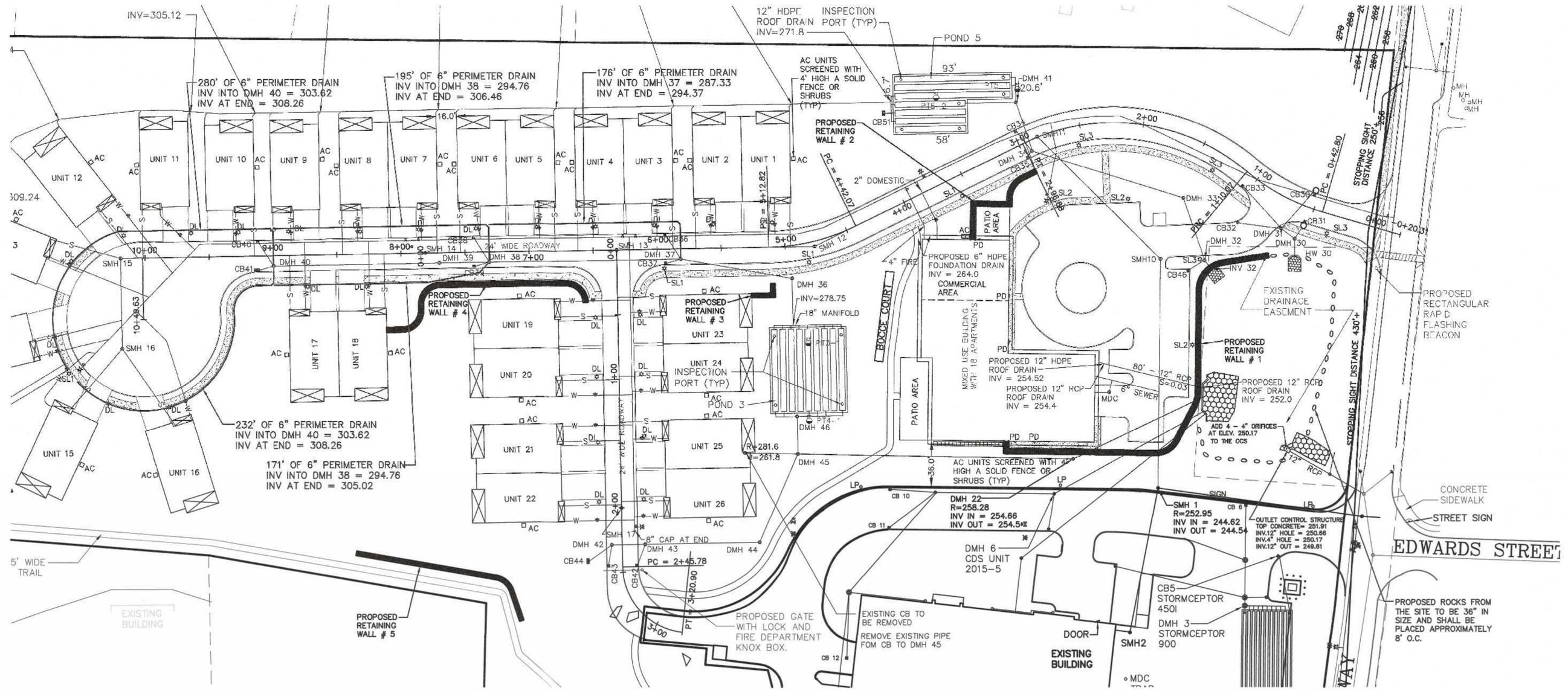


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**UNITED CONSULTANTS INC.**  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-8560 FAX 508-384-8566

DATE	DEC. 13, 2024
SCALE	1" = 40'
PROJECT	UC1378
SHEET	9 OF 17

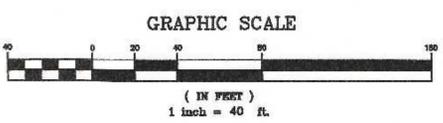
UPPER AND LOWER DRIVEWAY  
AND SEWER PROFILE PLAN  
SENIOR VILLAGE  
PANTHER WAY  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
CAMFORD PROPERTY GROUP, INC.  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
DECEMBER 13, 2024  
SCALE: 1" = 40'



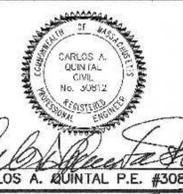
DRIVEWAY PLANS  
 SENIOR VILLAGE  
 PANTHER WAY  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 CAMFORD PROPERTY GROUP, INC.  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 DECEMBER 13, 2024  
 SCALE: 1" = 40'

SITE PLAN APPROVAL  
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 FRANKLIN PLANNING BOARD

DATE



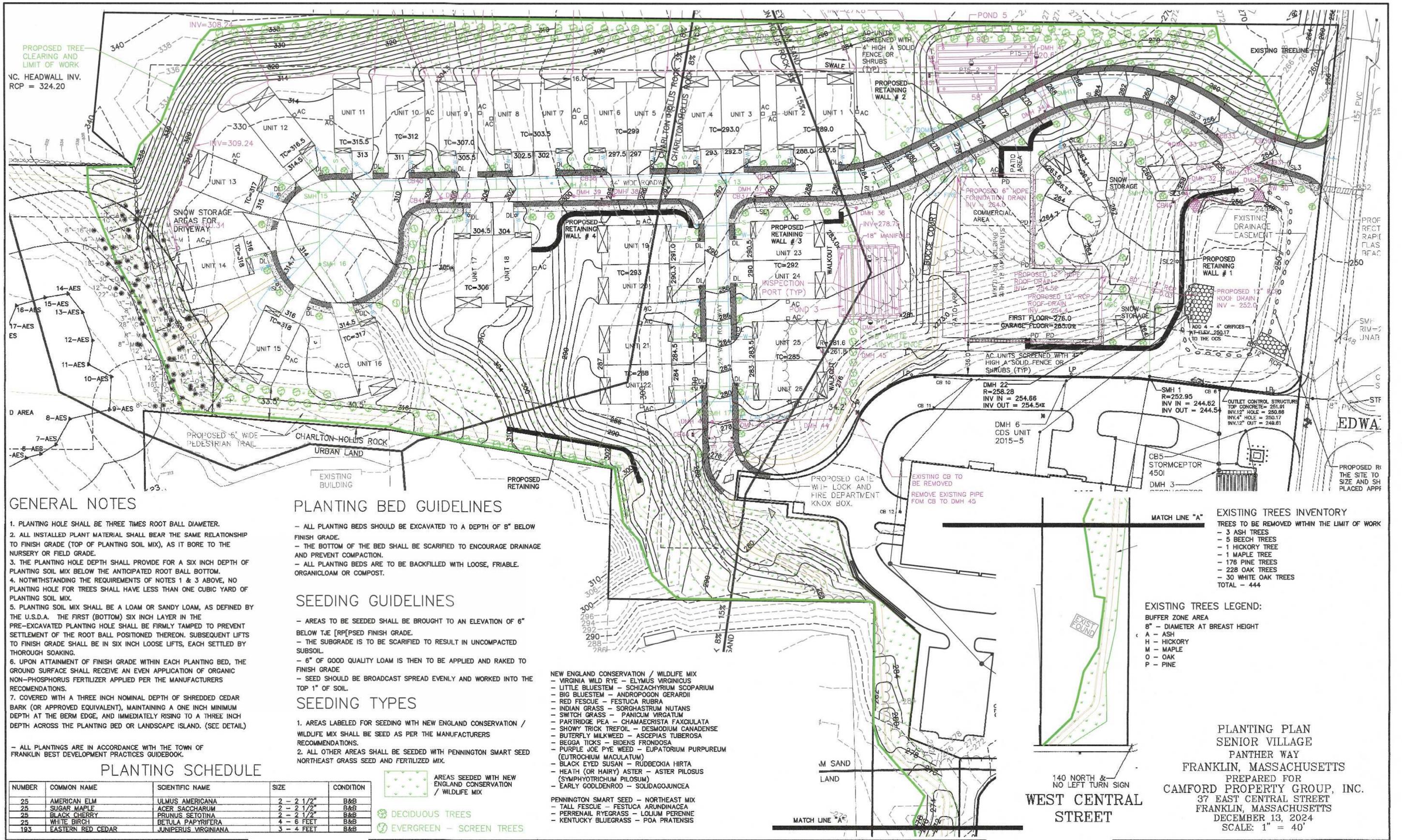
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12/24	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-8560 FAX 508-384-8588

DATE
DEC. 13, 2024
SCALE
1" = 40'
PROJECT
UC1378
SHEET
10 OF 17



**GENERAL NOTES**

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)

- ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.

**PLANTING BED GUIDELINES**

- ALL PLANTING BEDS SHOULD BE EXCAVATED TO A DEPTH OF 8" BELOW FINISH GRADE.
- THE BOTTOM OF THE BED SHALL BE SCARIFIED TO ENCOURAGE DRAINAGE AND PREVENT COMPACTION.
- ALL PLANTING BEDS ARE TO BE BACKFILLED WITH LOOSE, FRIABLE, ORGANICLOAM OR COMPOST.

**SEEDING GUIDELINES**

- AREAS TO BE SEEDED SHALL BE BROUGHT TO AN ELEVATION OF 6" BELOW THE [R]P[SE]D FINISH GRADE.
- THE SUBGRADE IS TO BE SCARIFIED TO RESULT IN UNCOMPACTED SUBSOIL.
- 6" OF GOOD QUALITY LOAM IS THEN TO BE APPLIED AND RAKED TO FINISH GRADE
- SEED SHOULD BE BROADCAST SPREAD EVENLY AND WORKED INTO THE TOP 1" OF SOIL.

**SEEDING TYPES**

1. AREAS LABELED FOR SEEDING WITH NEW ENGLAND CONSERVATION / WILDLIFE MIX SHALL BE SEED AS PER THE MANUFACTURERS RECOMMENDATIONS.
2. ALL OTHER AREAS SHALL BE SEEDED WITH PENNINGTON SMART SEED NORTHEAST GRASS SEED AND FERTILIZED MIX.



- NEW ENGLAND CONSERVATION / WILDLIFE MIX**
- VIRGINIA WILD RYE - ELYMUS VIRGINICUS
  - LITTLE BLUESTEM - SCHIZACHYRIUM SCOPARIUM
  - BIG BLUESTEM - ANDROPOGON GERARDII
  - RED FESCUE - FESTUCA RUBRA
  - INDIAN GRASS - SORGHASTRUM NUTANS
  - SWITCH GRASS - PANICUM VIRGATUM
  - PARTRIDGE PEA - CHAMAECRISTA FAXICULATA
  - SHOWY TRICK TREFLOIL - DESMODIUM CANADENSE
  - BUTTERFLY MILKWEED - ASCLEPIAS TUBEROSA
  - BEGGA TICKS - BIDENS FRONDOSA
  - PURPLE JOE PYE WEED - EUPATORIUM PURPUREUM (EUTROCHIUM MACULATUM)
  - BLACK EYED SUSAN - RUDBECKIA HIRTA
  - HEATH (OR HAIRY) ASTER - ASTER PILOSUS (SYMPHYOTRICHUM PILOSUM)
  - EARLY GOLDENROD - SOLIDAGO JUNCEA
- PENNINGTON SMART SEED - NORTHEAST MIX**
- TALL FESCUE - FESTUCA ARUNDINACEA
  - PERENNIAL RYEGRASS - LOLIUM PERENNE
  - KENTUCKY BLUEGRASS - POA PRATENSIS

**PLANTING SCHEDULE**

NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
25	AMERICAN ELM	ULMUS AMERICANA	2 - 2 1/2"	B&B
25	SUGAR MAPLE	ACER SACCHARUM	2 - 2 1/2"	B&B
25	BLACK CHERRY	PRUNUS SETOTINA	2 - 2 1/2"	B&B
25	WHITE BIRCH	BETULA Papyrifera	4 - 6 FEET	B&B
193	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3 - 4 FEET	B&B

**EXISTING TREES INVENTORY**

- TREES TO BE REMOVED WITHIN THE LIMIT OF WORK
- 3 ASH TREES
  - 5 BEECH TREES
  - 1 HICKORY TREE
  - 1 MAPLE TREE
  - 176 PINE TREES
  - 228 OAK TREES
  - 30 WHITE OAK TREES
  - TOTAL = 444

**EXISTING TREES LEGEND:**

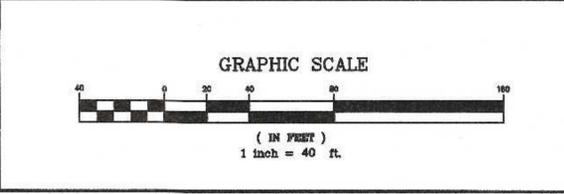
- BUFFER ZONE AREA
- 8" - DIAMETER AT BREAST HEIGHT
  - A - ASH
  - H - HICKORY
  - M - MAPLE
  - O - OAK
  - P - PINE

**PLANTING PLAN SENIOR VILLAGE**  
 PANTHER WAY  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
**CAMFORD PROPERTY GROUP, INC.**  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 DECEMBER 13, 2024  
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**FRANKLIN PLANNING BOARD**

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PER SECTION 185-48.F.3(c)(ii) TWO TREES ARE REQUIRED FOR EVERY 3 PARKING SPACES.  
 24 PARKING SPACE = 16 TREES



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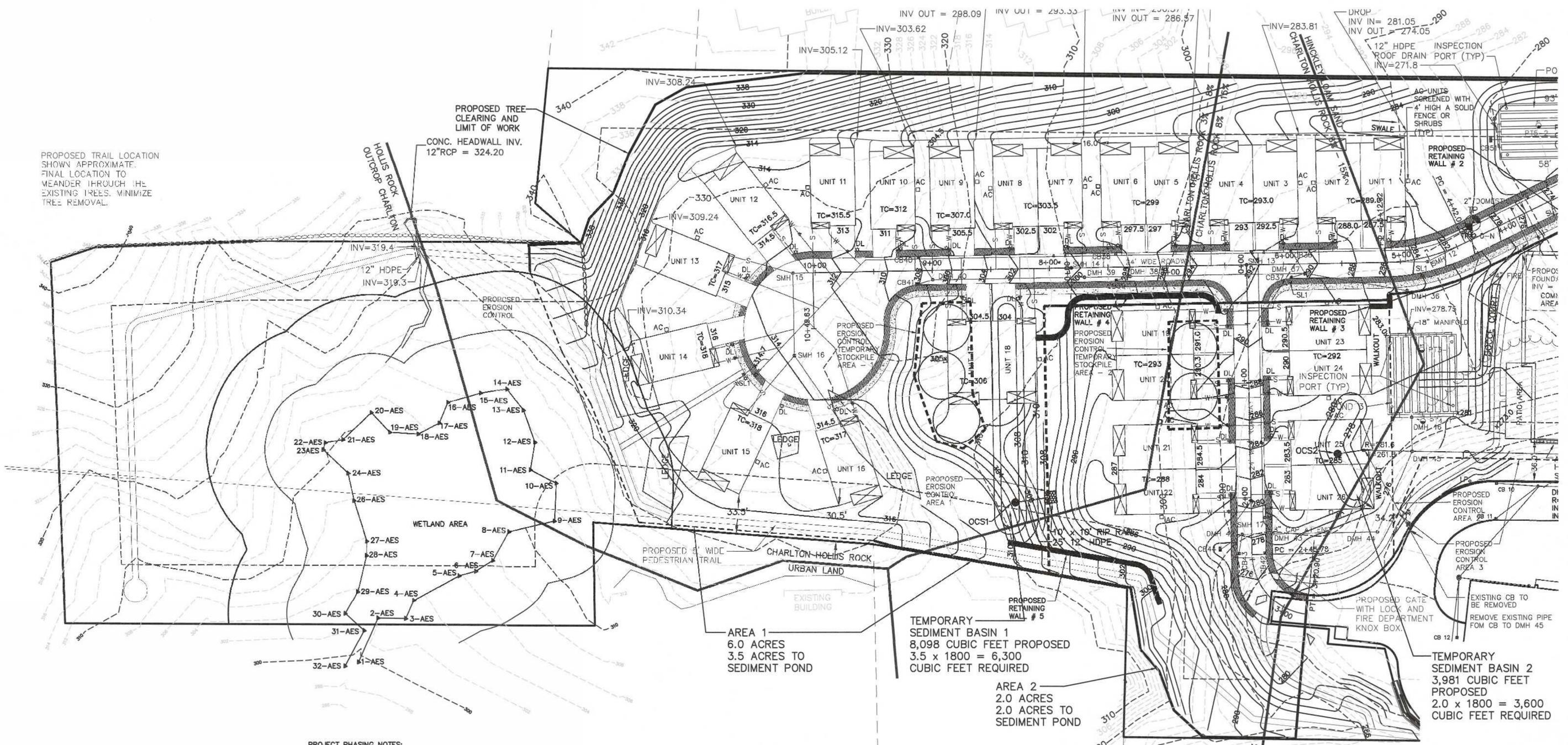
**CARLOS A. QUINTAL**  
 CIVIL ENGINEER  
 No. 30812  
 REGISTERED PROFESSIONAL ENGINEER

DATE: 12/24  
 FIELD BY: CALCS BY: RRG  
 DESIGNED BY: RRG  
 DRAWN BY: COMP  
 CHECKED BY: CAQ

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6560 FAX 508-384-8566

DATE: DEC. 13, 2024  
 SCALE: 1" = 40'  
 PROJECT: UC1378  
 SHEET: 11 OF 17

PROPOSED TRAIL LOCATION SHOWN APPROXIMATE. FINAL LOCATION TO MEANDER THROUGH THE EXISTING TREES. MINIMIZE TREE REMOVAL.



**LEDGE REMOVAL NOTES:**  
 1. LEDGE REMOVAL WILL OCCUR ON SITE AND SHALL BE BY EITHER HAMMERING OR BLASTING.  
 2. EROSION CONTROL MEASURES (COMPOST SOCK) SHALL BE INSTALLED PRIOR TO ANY HAMMERING, DRILLING OR BLASTING WITHIN THE BUFFER ZONE.  
 3. DURING HAMMERING, DRILLING AND OR BLASTING THE CONTRACTOR SHALL HAVE WATER APPLIED TO THE WORK AREA. DUST CONTROL SHALL BE BY WATER APPLIED WITH A HOSE. IF NECESSARY A "DUST BOSS" SHALL BE USED AS NECESSARY.  
 4. ALL HAMMERED AND OR BLASTED ROCK SHALL BE REMOVED FROM THE SITE.  
 5. IF ANY HAMMERED OR BLASTED ROCK IS FOUND OUTSIDE THE LIMIT OF WORK IT SHALL BE IMMEDIATELY REMOVED BY HAND OR IF NECESSARY BY MACHINE.

**PROJECT PHASING NOTES:**  
 - PHASE ONE SHALL CONSIST OF SITE GRADING, UTILITY INSTALLATION AND THE CONSTRUCTION OF THE MAIN DRIVEWAY. CONSTRUCT AND INSTALL UNITS 1 - 16. ALL AREA AROUND EACH UNIT SHALL BE LOAMED AND SEEDED ONCE THE UNIT IS WEATHER TIGHT. REMOVE THE TEMPORARY STOCKPILES AND SEDIMENTATION POND 1. CONSTRUCT UNITS 17 AND 18.  
 PHASE TWO SHALL CONSIST OF THE GRADING, UTILITY INSTALLATION AND THE CONSTRUCTION OF THE CONNECTION DRIVEWAY. CONSTRUCT AND INSTALL UNITS 19 - 24. ALL AREA AROUND EACH UNIT SHALL BE LOAMED AND SEEDED ONCE THE UNIT IS WEATHER TIGHT. REMOVE THE TEMPORARY STOCKPILES AND SEDIMENTATION POND 2. CONSTRUCT UNITS 25 AND 26.  
 PHASE THREE SHALL CONSIST OF THE CONSTRUCTION OF THE MIXED USE BUILDING, UTILITY INSTALLATION AND SITE GRADING SHALL BE COMPLETED WHILE SEDIMENTATION POND 3 IS MAINTAINED. WHEN NECESSARY REMOVE TEMPORARY SEDIMENTATION POND 3 AND COMPLETE THE PARKING AREA CONSTRUCTION.

(REFER TO PERMANENT AND TEMPORARY STABILIZATION AND EROSION CONTROL NOTES ON SHEET 12 AND 13.)

**NOTE:**  
 PROPOSED EROSION CONTROL SHALL CONSIST OF A 12" DIAMETER COMPOST SOCK.

**CONSTRUCTION PHASE SNOW STORAGE:**  
 1. THE MAIN DRIVEWAY AND CONNECTOR DRIVEWAY SHALL HAVE SNOW STORAGE STORED IN WINDROWS ALONG THE EDGE OF THE ROADWAY (EITHER GRAVEL OR PAVEMENT) DEPENDING ON TIMING.  
 2. SNOW STORAGE FOR THE CONSTRUCTION PHASE OF THE MIXED USE COMMERCIAL BUILDING SHALL BE AS SHOWN ON SHEET 13.

**TEMPORARY SEDIMENT BASIN 1**  
 8,098 CUBIC FEET PROPOSED  
 3.5 x 1800 = 6,300 CUBIC FEET REQUIRED

**AREA 2**  
 2.0 ACRES  
 2.0 ACRES TO SEDIMENT POND

**TEMPORARY SEDIMENT BASIN 2**  
 3,981 CUBIC FEET PROPOSED  
 2.0 x 1800 = 3,600 CUBIC FEET REQUIRED

**WETLAND AREA**  
 1-AES to 32-AES

**OWNERS:**  
 MAP 270 PARCELS 28 & 38  
 PANTHER WAY 2019 LLC  
 7 MYRTLE STREET  
 NORFOLK, MASSACHUSETTS

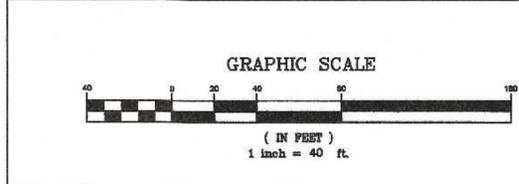
**MAP 270 PARCEL 39**  
 HOLMES LAND TRUST  
 12 MYRTLE STREET  
 NORFOLK, MASSACHUSETTS

**APPLICANT:**  
 CAMFORD PROPERTY GROUP, INC.  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

**EROSION CONTROL PLAN - 1**  
 SENIOR VILLAGE  
 PANTHER WAY  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 CAMFORD PROPERTY GROUP, INC.  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 DECEMBER 13, 2024  
 SCALE: 1" = 40'

**SITE PLAN APPROVAL REQUIRED**  
**FRANKLIN PLANNING BOARD**

DATE	



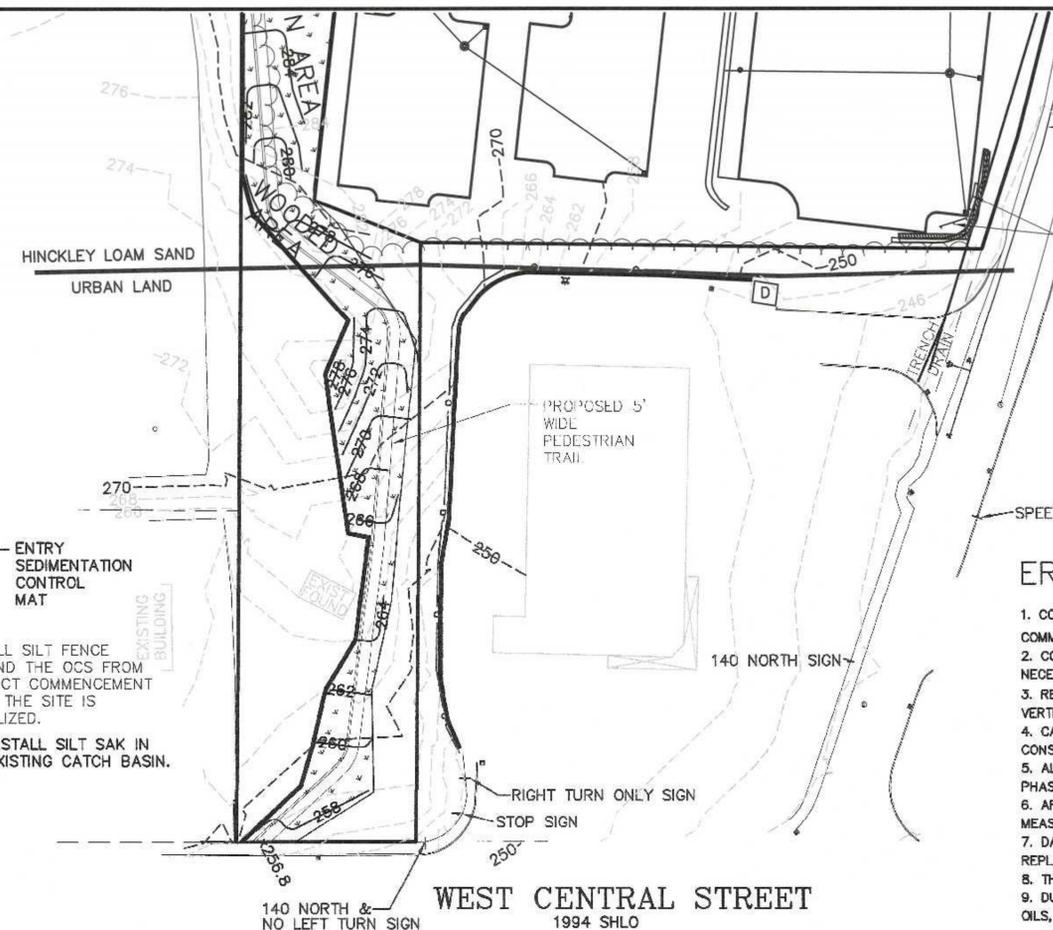
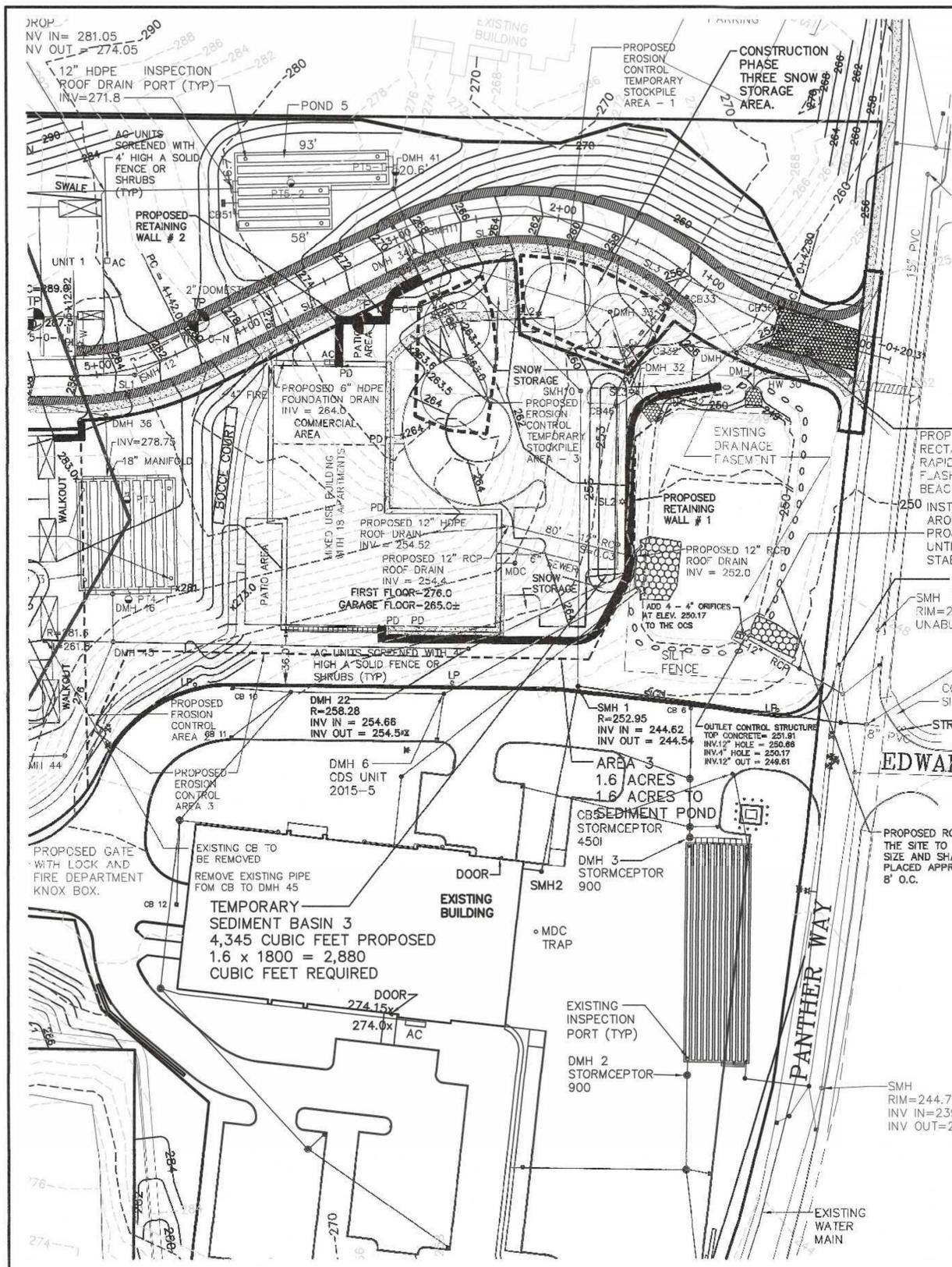
NO.	DATE	DESCRIPTION	BY
2	8/8/25	REVIEW COMMENTS	RRG
1	6/20/25	REVIEW COMMENTS	RRG

**CARLOS A. QUINTAL P.E. #30812**

DATE	FIELD BY:	INT.
12/24	CALCS BY:	RRG
12/24	DESIGNED BY:	RRG
12/24	DRAWN BY:	COMP
12/24	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6560 FAX 508-384-6566

DATE	DEC. 13, 2024
SCALE	1" = 40'
PROJECT	UC1378
SHEET	12 OF 17



- ### CONSTRUCTION SEQUENCE:
1. INSTALL EROSION CONTROL AND SIGN.
  2. COMPLETE THE CLEARING, STUMP REMOVAL AND REMOVE LOAM AND SUBSOIL.
  3. PERFORM HAMMERING AND OR BLASTING FOR ROCK REMOVAL.
  4. INSTALL SITE UTILITIES, THE STORMWATER SYSTEM SHALL BE INSTALLED WITH EXCESS MATERIAL BEING REMOVED FROM THE SITE AND NECESSARY CONSTRUCTION MATERIALS DELIVERED TO THE SITE. MINIMIZE THE USE OF MATERIAL STOCKPILE AREA.
  5. PAVE THE DRIVEWAY AND SIDEWALKS WITH A BINDER COURSE.
  6. EXCAVATE THE HOUSE FOUNDATIONS, FORM AND POUR THE FOUNDATION AND THEN BACKFILL FOUNDATION FOR EACH HOUSE.
  7. CONSTRUCT RETAINING WALLS.
  8. CONSTRUCT THE PEDESTRIAN PATH.
  9. CURBING SHALL BE INSTALLED. REPEAT FOR AREAS 2 AND 3.
  10. PAVE THE DRIVEWAYS WITH A TOP COURSE.
  11. LANDSCAPING SHALL BE PLANTED AND ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDDED.

- ### EROSION CONTROL NOTES:
1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
  2. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
  3. REFER TO CONSTRUCTION SEQUENCE FOR SLOPE GREATER THAN 3' HORIZONTAL TO 1' VERTICAL.
  4. CATCH BASINS, UNDERGROUND POND AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
  5. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
  6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
  7. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
  9. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

### OPERATION AND MAINTENANCE PLAN

- #### CONSTRUCTION PHASE
1. THE OWNERS REPRESENTATIVE, CAMFORD PROPERTY GROUP, INC, 1-508-507-9020 SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
  2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
  3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
  4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
  5. DAMAGED OR DETERIORATED COMPOST SOCK AND/OR SILT FENCE AREAS SHALL BE REPLACED IMMEDIATELY.
  6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
  7. SILT SAKS SHALL BE INSTALLED AT ALL PROPOSED CATCH BASINS AND EXISTING CATCH BASINS 10, 12 AND THE CATCH BASIN IN PANTHER WAY (SEE LABELED CB PANTHER WAY) AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
  8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.

- #### INSPECTION AND MAINTENANCE SCHEDULE:
1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
  2. MONTHLY INSPECTIONS SHALL INCLUDE THE DRIVEWAY(S) AND PARKING LOT SURFACES TO DETERMINE IF ACCUMULATED SEDIMENTS ARE TO BE REMOVED.
  3. INSPECTION OF THE PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
  4. INSPECTION OF PONDS 2, 3, AND 5 TO DETERMINE IF CLEANING IS NECESSARY.
  5. THE HEADWALL OUTLET RIPRAP SHALL BE INSPECTED WEEKLY AND ANY SEDIMENT OBSERVED SHALL BE IMMEDIATELY REMOVED.

- #### OPERATION AND MAINTENANCE SCHEDULE
- ##### CONSTRUCTION PHASE:
1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
  2. THE EXISTING PAVED PARKING AREAS AS WELL THE PROPOSED PARKING AREA ONCE PAVED WILL REQUIRE DAILY INSPECTIONS TO BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
  3. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS. SILT SAKS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
  4. THE WATER QUALITY UNITS SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"

5. THE PONDS SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.
6. ALL SLOPE AREAS (SHOWN ON SHEET 11) TO BE SEEDDED WITH NEW ENGLAND CONSERVATION AND WILDLIFE MIX SHALL BE LOAMED AND SEED WITHIN 1 WEEK OF COMPLETING OF EXCAVATION IN THE AREA. SLOPES TO BE COVERED WITH ECS-1 SINGLE NET STRAW ROLLED EROSION CONTROL BLANKET.
7. ALL OTHER AREA OF SITE GRADING SHALL BE TEMPORARILY LOAMED AND SEEDDED WITH A NEW ENGLAND EROSION CONTROL / RESTORATION MIX WITHIN ONE WEEK OF AREAS BEING BROUGHT TO SUB-GRADE. IF SLOPES ARE EXPOSED OUTSIDE OF THE GROWING SEASON THEY SHALL BE COVERED WITH MULCH.
8. ALL MATERIAL STOCKPILES THAT ARE NOT BEING ACTIVELY USED FOR A PERIOD OF 2 WEEKS SHALL BE COVERED WITH A TARP(S) OR VEGETATED WITH NEW ENGLAND EROSION CONTROL / RESTORATION MIX.

- ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.
- LONG TERM:
1. THE DRIVEWAY AND PARKING LOT SHALL BE SWEEPED FOUR TIMES PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
  2. THE CATCH BASINS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 24 INCHES.
  3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
  4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

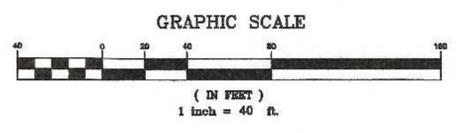
EROSION CONTROL PLAN - 2  
SENIOR VILLAGE  
PANTHER WAY  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
CAMFORD PROPERTY GROUP, INC.  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
DECEMBER 13, 2024  
SCALE: 1" = 40'

NOTE:  
PROPOSED EROSION CONTROL SHALL CONSIST OF A 12" DIAMETER COMPOST SOCK.

OWNERS:  
MAP 270 PARCEL 38  
PANTHER WAY 2019 LLC  
7 MYRTLE STREET  
NORFOLK, MASSACHUSETTS

MAP 270 PARCEL 39  
HOLMES LAND TRUST  
12 MYRTLE STREET  
NORFOLK, MASSACHUSETTS

APPLICANT:  
CAMFORD PROPERTY GROUP, INC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS



NO.	DATE	DESCRIPTION	BY
2	8/8/25	REVIEW COMMENTS	RRG
1	6/20/25	REVIEW COMMENTS	RRG

CARLOS A. QUINTAL  
REGISTERED PROFESSIONAL ENGINEER  
No. 45012  
STATE OF MASSACHUSETTS

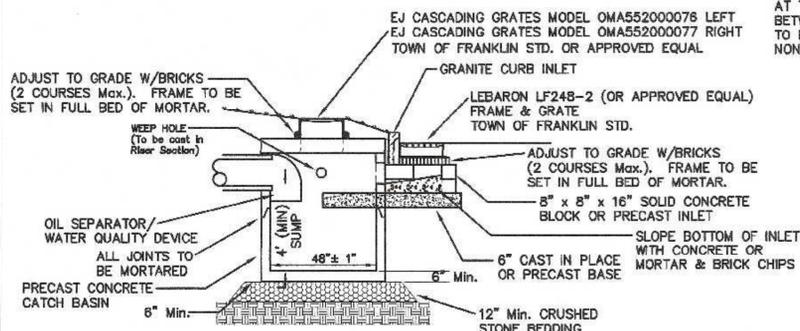
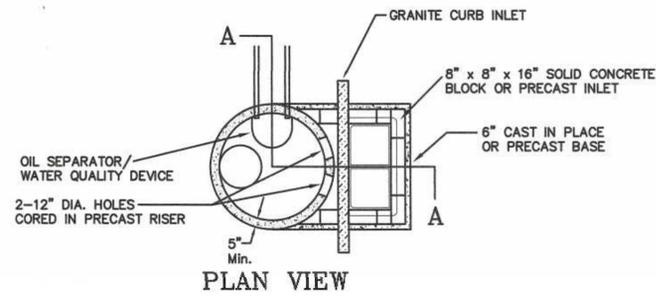
DATE: 12/24  
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DRAWN BY: COMP  
12/24  
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UNITED CONSULTANTS INC.  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6560 FAX 508-384-6566

DATE  
DEC. 13, 2024  
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PROJECT  
UC1378  
SHEET  
13 OF 17

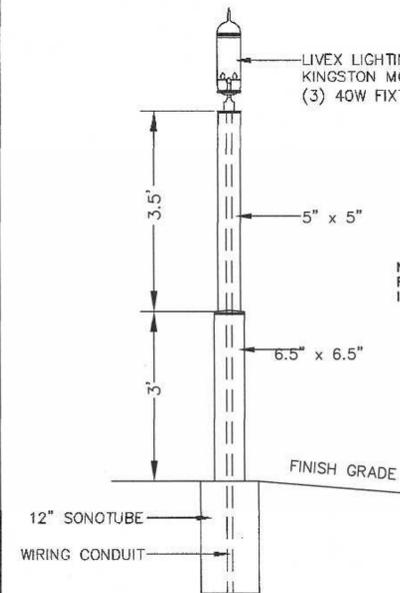
SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE

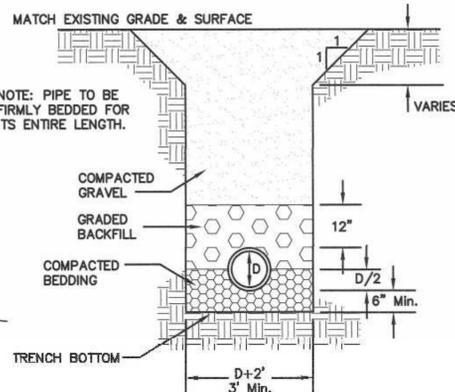


SECTION A-A

DOUBLE GRATE  
PRECAST GUTTER INLET  
W/ DEEP SUMP  
CB - 30 AND CB - 31

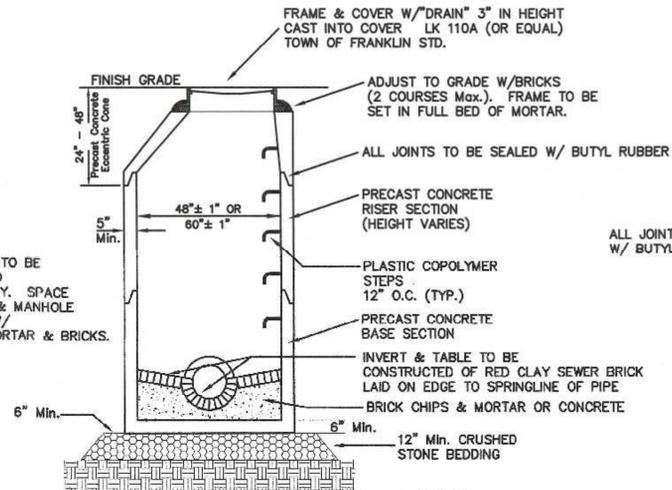


UNIT DRIVEWAY  
LAMP POST DETAIL

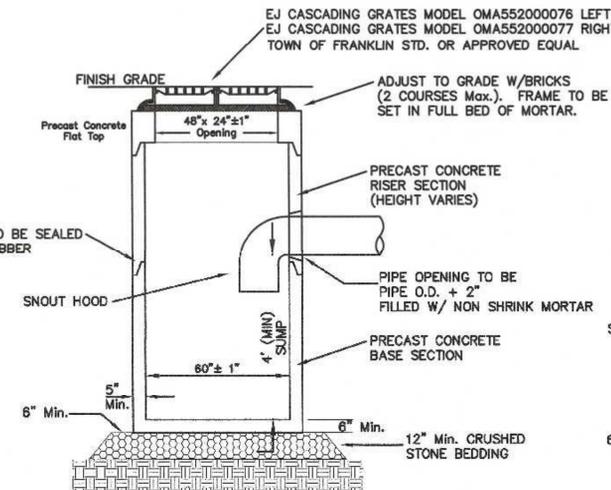


TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING MATERIAL	PROC. GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE	3/8" STONE

UTILITY TRENCH DETAIL

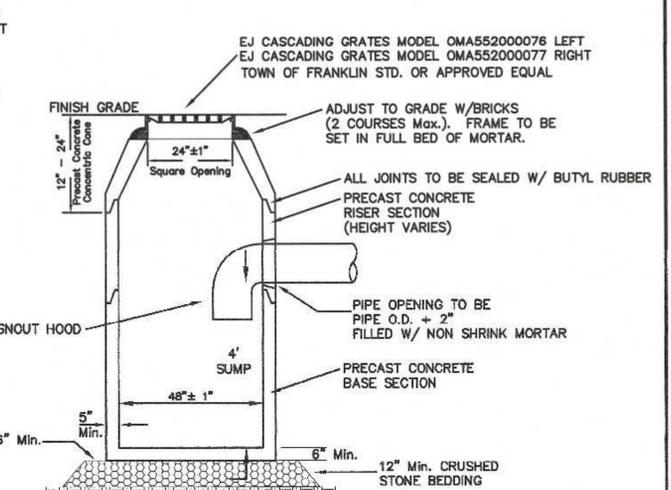


PRECAST DRAIN MANHOLE

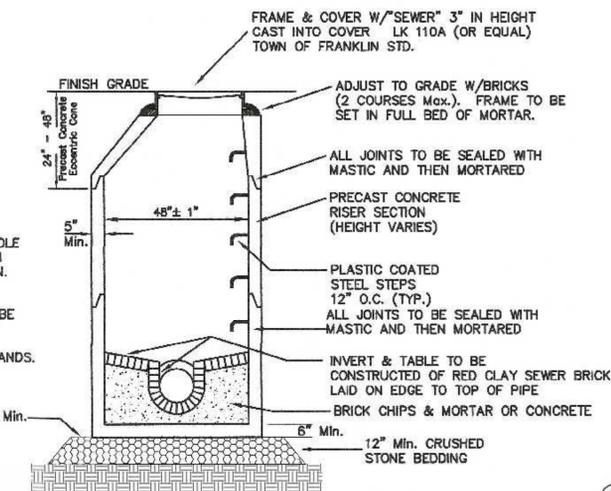


DOUBLE GRATE  
PRECAST CATCH BASIN  
W/ DEEP SUMP

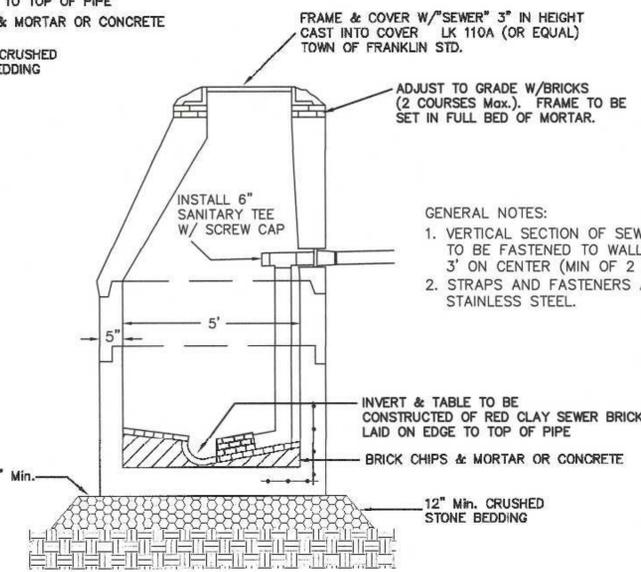
CB - 41 CB - 43 AND CB - 51



PRECAST CATCH BASIN

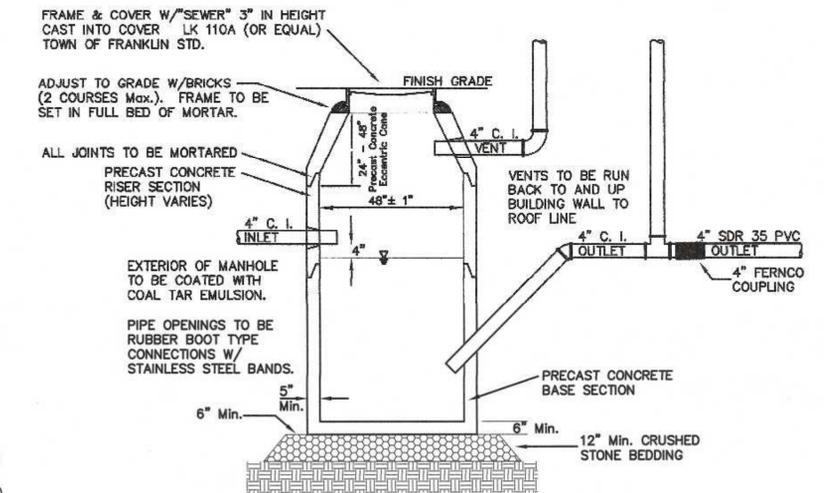


PRECAST SEWER MANHOLE



DROP SEWER MANHOLE

NTS  
SMH 13 AND SMH 14



M.D.C. STYLE TRAP

- GENERAL NOTES:
1. VERTICAL SECTION OF SEWER PIPE TO BE FASTENED TO WALL 3' ON CENTER (MIN OF 2 STRAPS)
  2. STRAPS AND FASTENERS ARE TO BE STAINLESS STEEL.

CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AT CONNECTION POINT AND NOTIFY THE DESIGN ENGINEER.

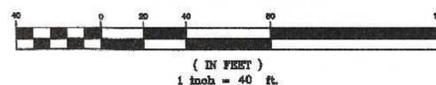
SEWER PIPE TO BE 8" SDR 35. SEWER PIPE SIZE AND TYPE WITHIN 10 FEET OF THE BUILDING SHALL BE PROVIDED BY THE PLUMBING ENGINEER.

MDC MANHOLE VENTING TO BE CONNECTED TO THE BUILDING AT THE DISCRETION OF THE PLUMBING ENGINEER.

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY
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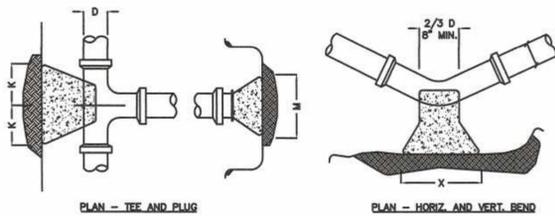


DATE	FIELD BY:	INT.
12/24	FIELD BOOK	PG#
12/24	CALCS BY:	RRG
12/24	DESIGNED BY:	RRG
12/24	DRAWN BY:	COMP
12/24	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
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508-384-8560 FAX 508-384-8566

DATE	SCALE
DEC. 13, 2024	1" = 40'
PROJECT	UC1378
SHEET	14 OF 17

CONSTRUCTION DETAILS - 1  
SENIOR VILLAGE  
PANTHER WAY  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
CAMFORD PROPERTY GROUP, INC.  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
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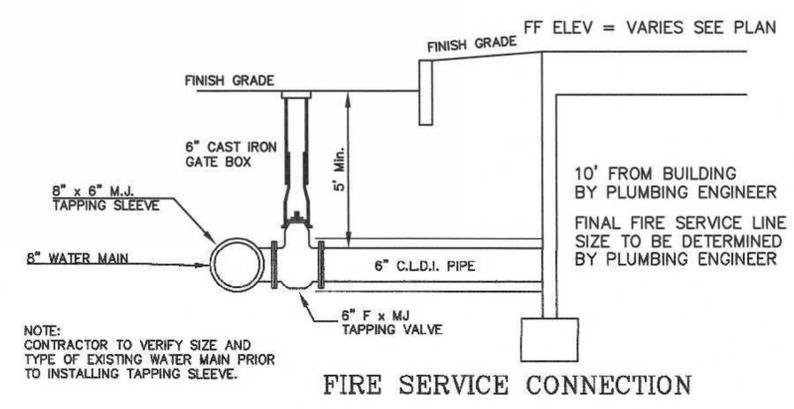
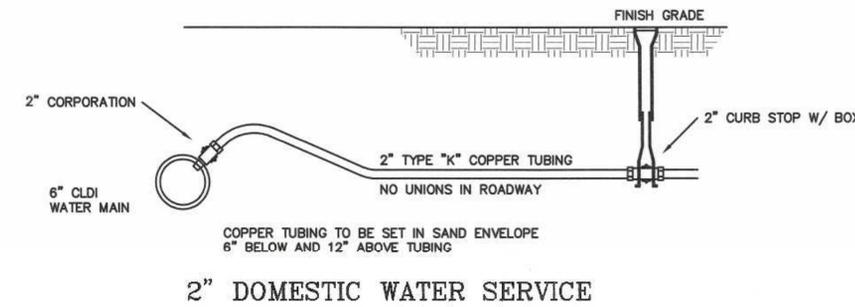
SIZE OF BRANCH	J	K	L	M	N	O
4" TO 8"	10"	10"	1'-0"	2'-0"	1'-8"	10"
10" TO 18"	1'-0"	1'-8"	1'-8"	3'-10"	2'-10"	1'-8"
24"	1'-4"	2'-0"	2'-6"	5'-0"	3'-8"	1'-8"

TEES AND PLUGS	
90 & 45 BENDS	22 1/2 & 11 1/4

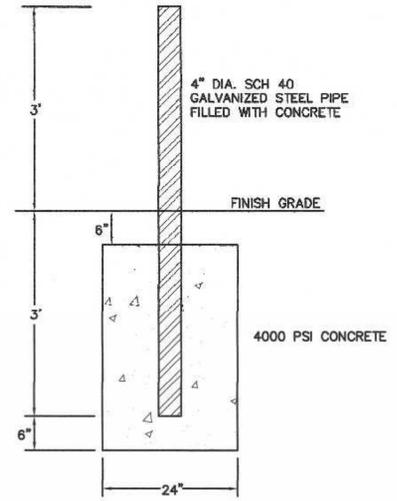
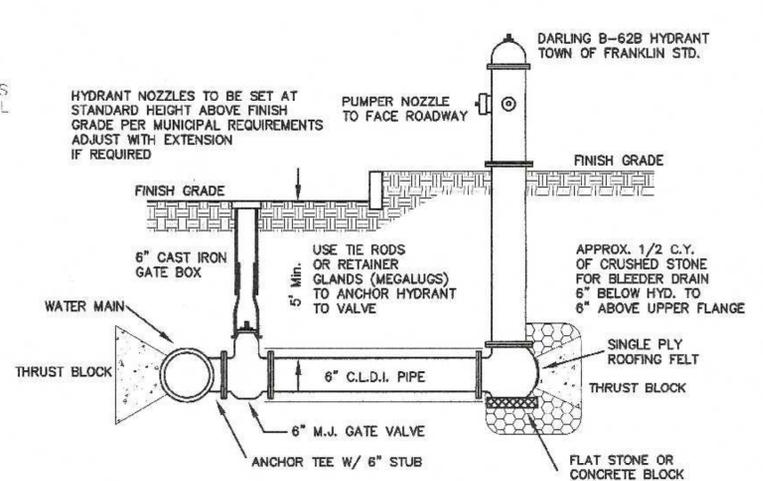
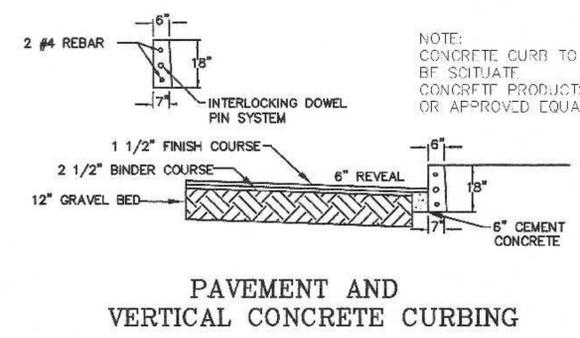
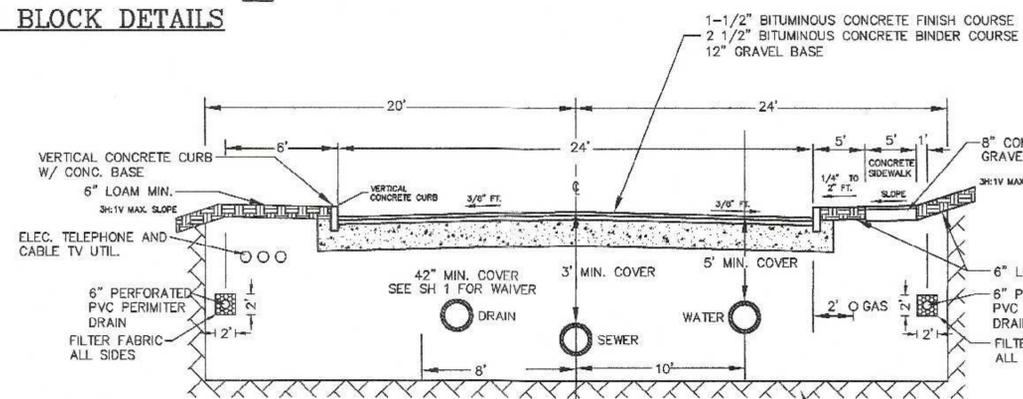
  

BENDS					
D 4" TO 8"	10" TO 18"	24"	4" TO 8"	10" TO 18"	24"
X 1'-8"	3'-4"	3'-8"	1'-4"	2'-0"	3'-8"
Y 1'-2"	1'-8"	2'-4"	1'-0"	1'-2"	2'-4"



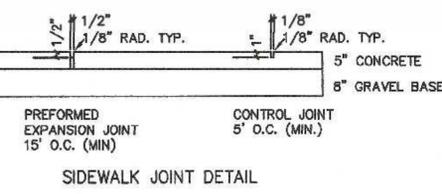
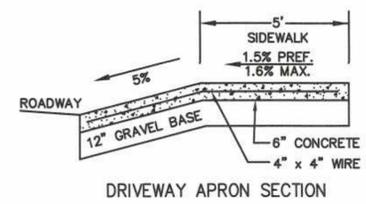
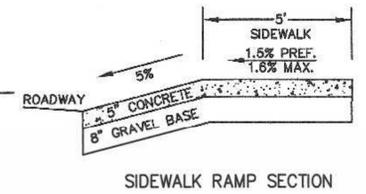
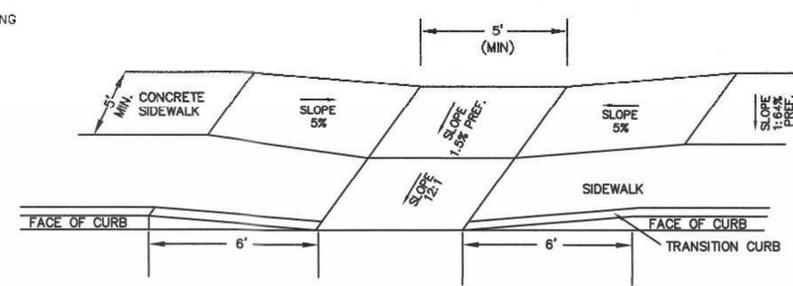
**THRUST BLOCK DETAILS**

- NOTES:
- CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
  - ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
  - MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.



- NOTES:
- ALL ELECTRIC, TELEPHONE, CABLE TV AND GAS UTILITIES SHALL BE INSTALLED UNDERGROUND.
  - ELECTRIC, TELEPHONE, CABLE TV AND GAS UTILITIES SHALL BE INSTALLED PER THE UTILITY COMPANIES REQUIREMENTS INCLUDING DEPTH.

**ROADWAY CROSS SECTION**

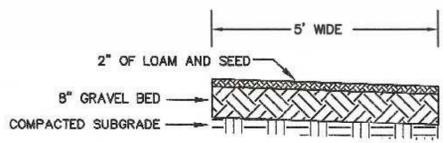


- CONCRETE TO BE 4,000 PSI.
- CONCRETE SHALL BE PLANT MIXED, PLACED, FLOATED, TROWELED AND BROOM FINISHED.
- CURING AND SEALING COMPOUND SHALL BE APPLIED.

**HYDRANT CONNECTION**

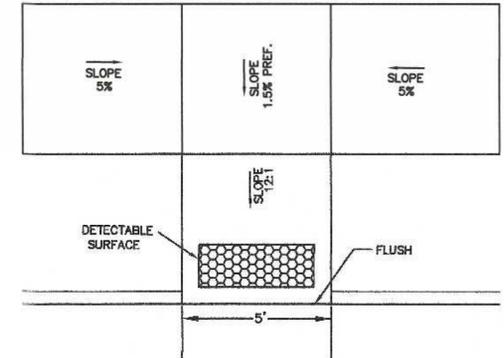
- GENERAL NOTES:
- ALL BLASTING OPERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH ALL TOWN, STATE AND FEDERAL REGULATIONS.
  - ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE TOWN OF FRANKLIN SUBDIVISION RULES AND REGULATIONS AND MASS DOT STANDARDS.
  - LOTS TO BE SERVICED BY TOWN WATER AND SEWER.
  - ALL DRAIN PIPE SHALL BE CLASS V REINFORCED CONCRETE PIPE WHERE THERE IS GREATER THAN 3.5' OF COVER. SEE PROFILES FOR PIPE CLASS.
  - MINIMUM DRAIN PIPE DIAMETER IS 12".
  - IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN EROSION CONTROL DEVICES DURING CONSTRUCTION.
  - EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO COMMENCING WITH CONSTRUCTION.
  - TALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING TYPE IN ACCORDANCE WITH SUBDIVISION REGULATION 300-11B(2)(a).

**BOLLARD DETAIL**



**PEDESTRIAN TRAIL DETAIL**

- PESTRIAN TRAIL NOTES:
- PROPOSED TRAIL CROSS SLOPE SHALL NOT EXCEED 1.5%.
  - PROPOSED TRAIL LONGITUDINAL SLOPE NOT TO EXCEED 1 IN 12.



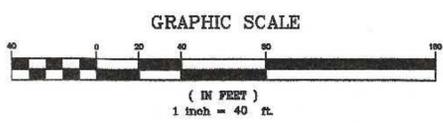
**TYP. SIDEWALK RAMP**

- CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.
- DETECTABLE SURFACES TO BE INSTALLED AT SIDEWALK RAMP ONLY.

CONSTRUCTION DETAILS - 2  
 SENIOR VILLAGE  
 PANTHER WAY  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 CAMFORD PROPERTY GROUP, INC.  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 DECEMBER 13, 2024  
 SCALE: 1" = 40'

SITE PLAN APPROVAL  
 REQUIRED  
 FRANKLIN PLANNING BOARD

DATE

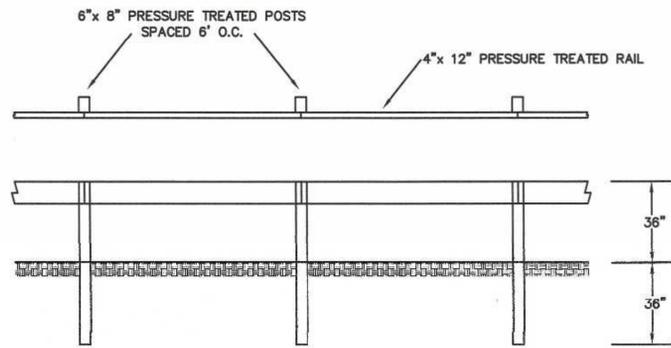


NO.	DATE	DESCRIPTION	BY
2	8/8/25	REVIEW COMMENTS	RRG
1	6/20/25	REVIEW COMMENTS	RRG

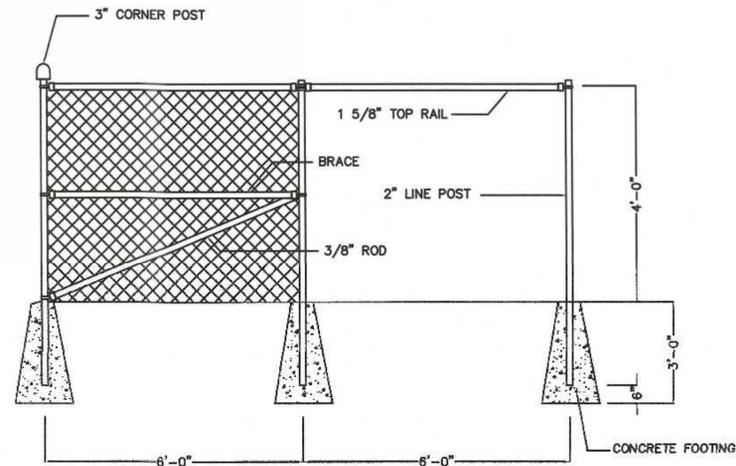
DATE	INT.
12/24	FIELD BY:
12/24	PG#
12/24	CALCS BY: RRG
12/24	DESIGNED BY: RRG
12/24	DRAWN BY: COMP
12/24	CHECKED BY: CAQ

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-8560 FAX 508-384-8566

DATE	SCALE
DEC. 13, 2024	1" = 40'
PROJECT	UC1378
SHEET	15 OF 17

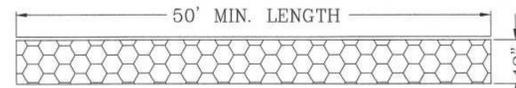


WOODEN GUARDRAIL DETAIL  
N.T.S.



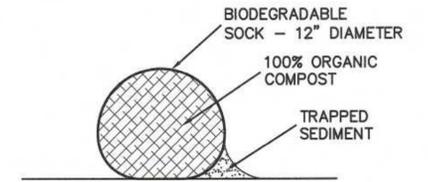
CHAIN LINK FENCE - CORNER & LINE SECTION  
NOT TO SCALE

NOTE: CHAIN LINK FENCE TO BE INSTALLED AT RETAINING WALLS EXCEEDING 4' IN HEIGHT.

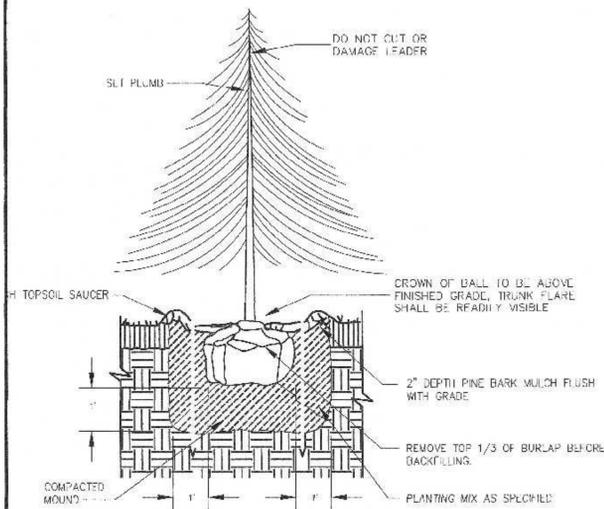


ENTRY SEDIMENTATION CONTROL MAT SECTION  
N.T.S.

NOTES:  
1. PAD SHALL BE A MINIMUM OF 20 FEET IN WIDTH, EXISTING ASPHALT DRIVE TO REMAIN IN PLACE UNTIL FINAL PAVEMENT IS TO BE INSTALLED.  
2. PAD SHALL CONSIST OF 4" STONE 8" MIN. DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.

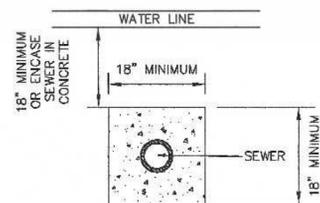


COMPOST SOCK DETAIL

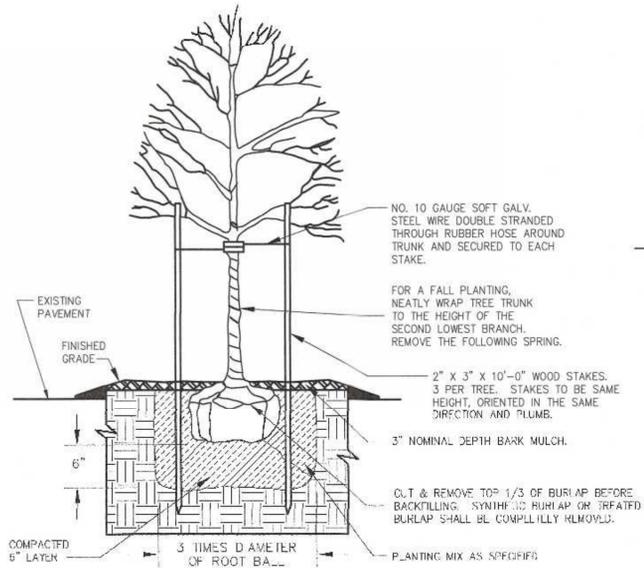


EVERGREEN TREE PLANTING  
N.T.S.

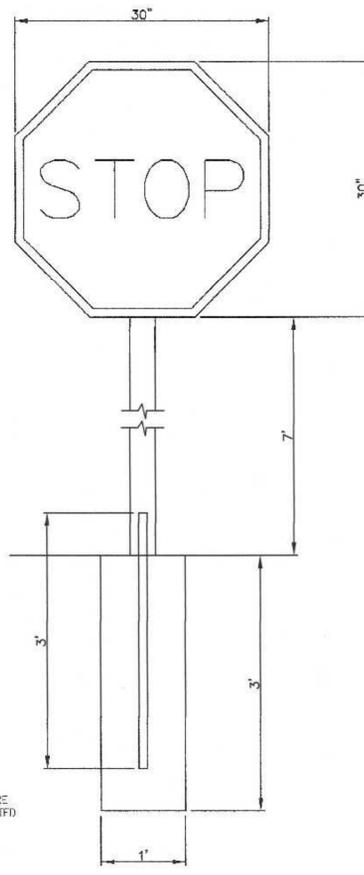
SEWER AND WATER CROSSING NOTES:  
1. WHEN POSSIBLE SEWER LINE SHALL BE CONSTRUCTED A MINIMUM OF 18" BELOW WATER LINES.  
2. IF SEWER LINES ARE CONSTRUCTED WITHIN 18" OF THE WATER LINE OR ABOVE THE WATER LINE THE SEWER LINE SHALL BE ENCASED IN CONCRETE A MINIMUM OF 10 FEET IN EACH DIRECTION FROM THE CROSSING.



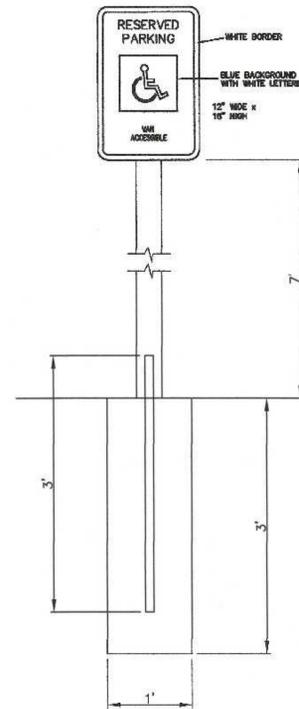
SEWER AND WATER CROSSING DETAIL



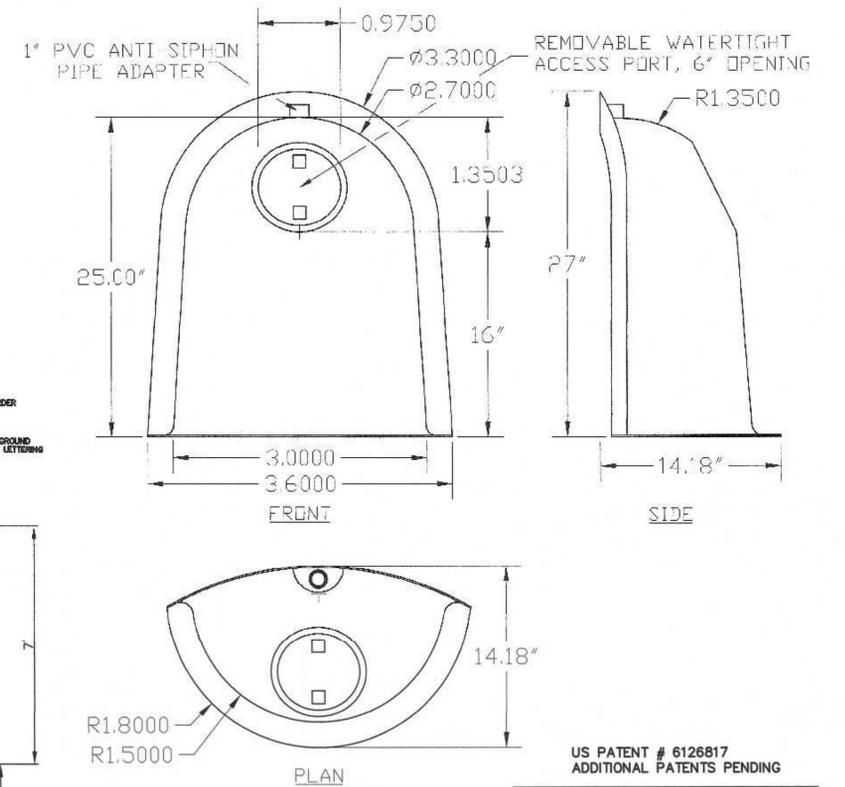
DECIDUOUS TREE PLANTING  
N.T.S.



STOP SIGN DETAIL  
N.T.S.



VAN ACCESSIBLE HANDICAP SIGN DETAIL  
N.T.S.



DESIGNED TO FIT  
48"-60" DIAM.  
STRUCTURES

SNOUT DETAIL

US PATENT # 6126817  
ADDITIONAL PATENTS PENDING

BMP, INC. 53 MT. ARCHER ROAD, LYME, CT. 06371 (800) 504-8008 FAX: (860) 434-3195		
DESCRIPTION 18R SNOUT OIL & DEBRIS STOP	DATE 09/06/99	SCALE NONE
DRAWING NUMBER 18R		

CONSTRUCTION DETAILS - 3  
SENIOR VILLAGE  
PANTHER WAY  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
CAMFORD PROPERTY GROUP, INC.  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
DECEMBER 13, 2024  
SCALE: 1" = 40'

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



( IN FEET )  
1 inch = 40 ft.

NO.	DATE	DESCRIPTION	BY
2	8/8/25	REVIEW COMMENTS	RRG
1	6/20/25	REVIEW COMMENTS	RRG

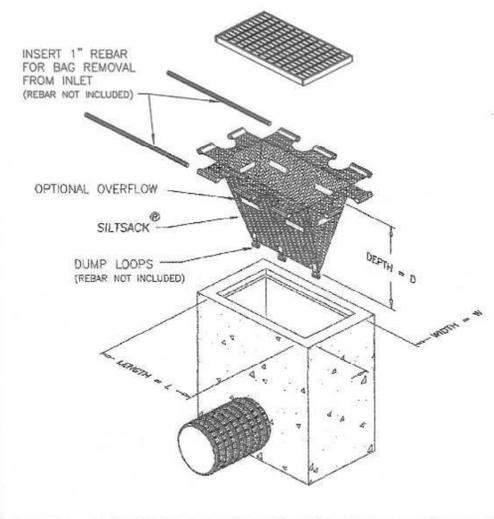


DATE	FIELD BY:	INT.
12/24	CALCS BY: RRG	
12/24	DESIGNED BY: RRG	
12/24	DRAWN BY: COMP	
12/24	CHECKED BY: CAQ	

UNITED  
CONSULTANTS  
INC.  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6560 FAX 508-384-6566

DATE	DEC. 13, 2024
SCALE	1" = 40'
PROJECT	UC1378
SHEET	16 OF 17

**Typical Siltsack® Construction - Type B**



**SILT SAK DETAIL**  
N.T.S.

USE CONCRETE PRODUCTION INFORMATION: SEE DESIGN TOOLS - STANDARD DETAILS FOR CONCRETE CASTING - MINIMIZE WASTE

**PLAN VIEW B-B**  
NOT TO SCALE

**CASCADE SEPARATOR DESIGN NOTES**

CS-4 RATED TREATMENT CAPACITY IS 2.0 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CS-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION	
GRATED INLET ONLY (NO INLET PIPE)	
GRATED INLET WITH INLET PIPE OR PIPES	
CURB INLET ONLY (NO INLET PIPE)	
CURB INLET WITH INLET PIPE OR PIPES	

**ELEVATION A-A**  
NOT TO SCALE

**CASCADE separator**

**FRAME AND COVER**  
(DIAMETER VARIES)  
NOT TO SCALE

**GENERAL NOTES**

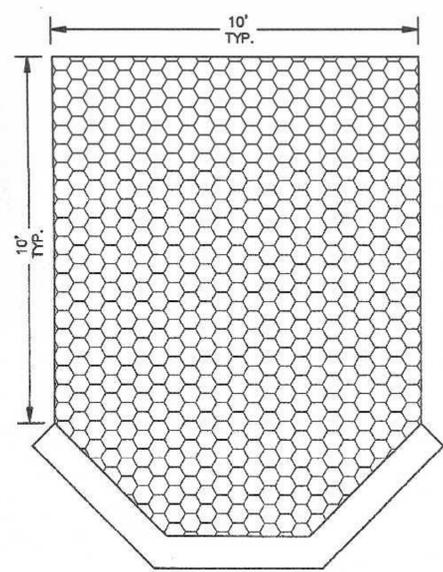
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE: [www.conteches.com](http://www.conteches.com)
- CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PRODUCT.
- CASCADE SEPARATOR STRUCTURE SHALL MEET ASHTRIO 1000 LOAD RATING, ASSUMING EARTH COVER OF 0'-2' (8'10") AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET ASHTRIO 1000 AND BE CAST WITH THE CONTECH LOGO.
- CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C479 AND ASHTRIO LOAD FACTOR DESIGN METHOD.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm).

**INSTALLATION NOTES**

- ANY SURFACE BACKFILL DEPTH AND/OR ANTI-FLOATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**CONTECH ENGINEERED SOLUTIONS LLC**  
www.conteches.com  
8205 Centre Pointe Dr., Suite 400, West Chester, OH 45389  
937-338-1122 513-945-7000 513-945-7883 FAX

CS-4  
CASCADE SEPARATOR  
STANDARD DETAIL



**RIP RAP AT HEADWALL**  
N.T.S.

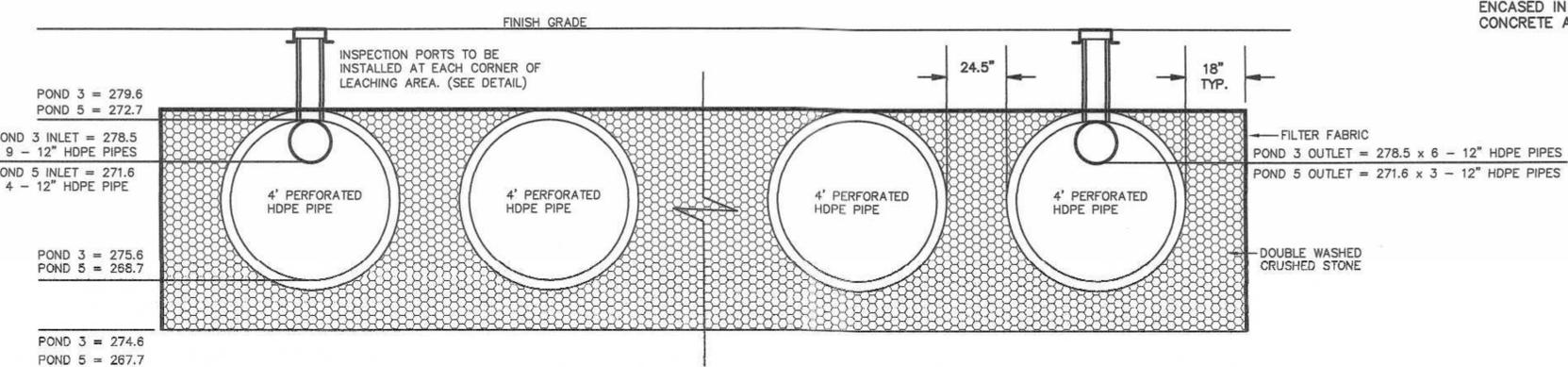
**PIPE OUTLET PROTECTION NOTES:**  
HW-30 AND OUTLET 32

- RIP RAP TO BE MAXIMUM OF 18" AVERAGE OF 12" AND MINIMUM OF 6".
- RIP RAP TO BE PLACED OVER A FILTER FABRIC.
- RIP RAP MINIMUM DEPTH SHALL BE 24"

**EXISTING HW AREA**

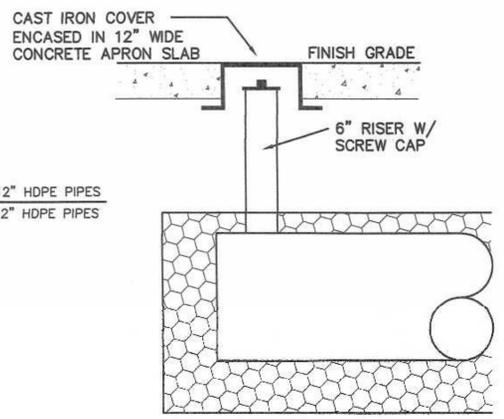
- RIP RAP TO BE MAXIMUM OF 21" AVERAGE OF 14" AND MINIMUM OF 6".
- RIP RAP TO BE PLACED OVER A FILTER FABRIC.
- RIP RAP MINIMUM DEPTH SHALL BE 28"

**CONSTRUCTION PERIOD INFILTRATION POND NOTES:**  
CONTRACTOR TO COMPLETE EXCAVATION OF PONDS 2, 3 AND 5 WHEN NO RAIN IS PRESENT AND NOT IN THE WINTER. TO PREVENT SOIL COMPACTION, USE ONLY LIGHT EARTH MOVING EQUIPMENT WITHIN THE INFILTRATION BASIN AREAS. IF NECESSARY TILL THE BOTTOM OF THE INFILTRATION BASIN AREAS TO A DEPTH OF 12 INCHES.

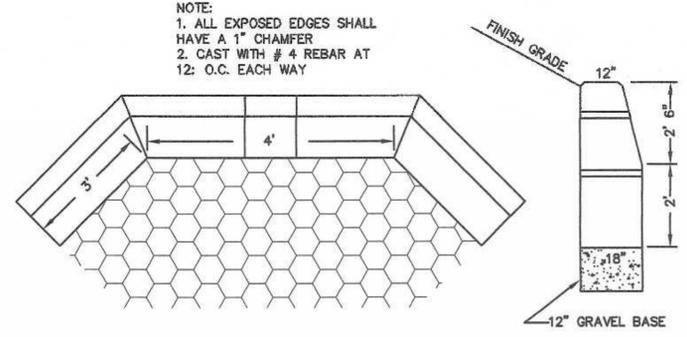


**INFILTRATION PONDS 3, AND 5**

**NOTE:**  
INFILTRATION POND 3 CONSISTS OF 9 ROWS OF 4' DIAMETER PERFORATED HDPE PIPE 64' IN LENGTH. STONE AREA = 59.83' x 87.0'  
INFILTRATION POND 5 CONSISTS OF 7 ROWS OF 4' DIAMETER PERFORATED HDPE PIPE 3 @ 90' 4 @ 55' IN LENGTH. STONE AREA = 46.75' WIDE x 58' AND 83' LONG (SEE PLAN)



**INSPECTION PORT DETAIL**  
DRAINAGE INFILTRATION AREAS  
N.T.S.

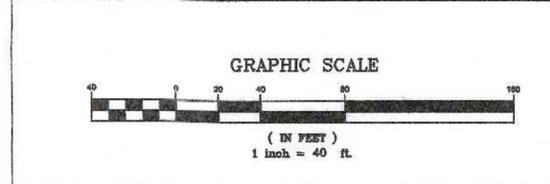


**TYPE "B" PRECAST HEADWALL**  
FOR HEADWALL 30

**CONSTRUCTION DETAILS - 4**  
SENIOR VILLAGE  
PANTHER WAY  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
CAMFORD PROPERTY GROUP, INC.  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
DECEMBER 13, 2024  
SCALE: 1" = 40'

**SITE PLAN APPROVAL REQUIRED**  
FRANKLIN PLANNING BOARD

DATE

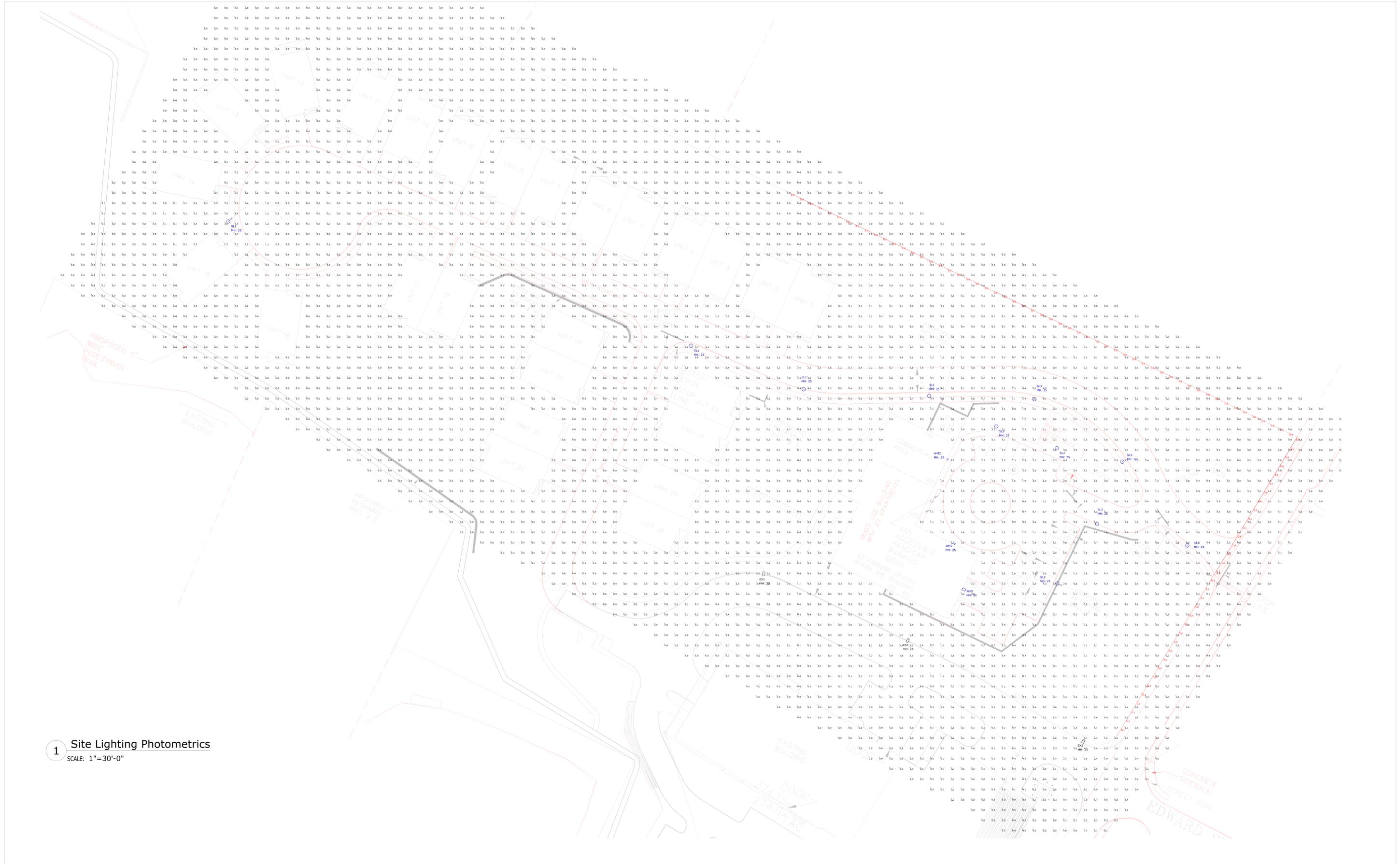


NO.	DATE	DESCRIPTION	BY
2	8/8/25	REVIEW COMMENTS	RRG
1	6/20/25	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
12/24	CALCS BY:	RRG
12/24	DESIGNED BY:	RRG
12/24	DRAWN BY:	COMP
12/24	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-8560 FAX 508-384-8566

DATE
DEC. 13, 2024
SCALE
1" = 40'
PROJECT
UC1378
SHEET
17 OF 17



1 Site Lighting Photometrics  
SCALE: 1"=30'-0"

# Senior Village - Panther Way

## Site Lighting Photometrics, Schedules & Specifications

DATE:	1/14/25	REVISIONS:	DESCRIPTION:	DATE:
PROJECT NUMBER:		1		
DRAWN BY:	TJ	2		
CHECKED BY:	TJ	3		
APPROVED BY:	HD	4		
SCALE:	AS NOTED	5		
		6		
		7		

# SL1

**Dimensions**



**Product Ordering Number**

PRODUCT	LUMENS	CCT	VOLTAGE	OPTICS	OPTIONS	FITTER	FINIALS
F140	Max 6,300 1 argp 12,600 LUMENS	3000K 4000K 6000K 6000K	120v-277v Step down transformer 347V 480V	IES TYPE II (2) III (3) IV (4) V (5)	<b>DIM</b> Dimming control <b>PCB</b> Button type photocell <b>HSS</b> House side shield <b>TWL</b> Twist lock system	N/A	N/A

**DIFFUSER TYPE**

- CAC Clear acrylic
- FAC Frosted acrylic
- WAC White acrylic
- CPC Clear polycarbonate
- WPC White polycarbonate
- Latge also have:
- CTG Clear tempered glass

**Color**

- Standard RAL
- 6005 Green
- 7012 Grey
- 8019 Bronze
- 9011 Black/Txt
- 9016 White
- Custom P.A.L.



1 SL# Fixture Specification - HCI Lighting F140

**VMX-II LED Specifications**

Control Number: AREA-VMX-II-08\_19\_2022



\*Universal Arm Mount (UAM) Version Shown.

Project Name: \_\_\_\_\_  
Catalog Number: \_\_\_\_\_  
Type: \_\_\_\_\_

The **VMX-II LED** Series offers clean, functional styling that is defined by its sleek, low profile design and rugged construction. It combines the latest LED technology, advanced LED thermal management and provides outdoor lighting that is both energy efficient and aesthetically pleasing.

The LED's performance and the driver's life are maximized by enclosing them in two separate cast aluminum housings. Easy tool-less access for mounting and maintenance.

The LED light assemblies come with 48 to 96 LEDs. Eight optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polycarbonate powder coat finish is guaranteed for five years, and is available in standard or custom colors.

The **VMX-II LED** Series is an exceptional choice for commercial parking lots, office complexes, architectural projects, and other general lighting projects.

**Ordering Information**

MODEL	OPTICS	LEDs	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
VMX-II	T1 Type 1	48LC	3 380mA	3K 3000K	UNV 120-277V	AM Arm Mount	BZ Bronze	PCR-120 Motion Sensor & Mounting Height	WSC-8 Motion Sensor & Mounting Height	UPMA-S Universal Mount Adapter
	T2 Type 2	64LC	5 530mA	4K 4000K	8 847V	SAM Straight Arm Mount (W Terminal Block (New Construction))	BK Black	PCR-208	WSC-20 Motion Sensor & Mounting Height	UPMA-R Universal Mount Adapter
	T3 Type 3	80LC	7 700mA	5K 5000K	5 480V	SBK Smooth Rock	WH White	PCR-277	WSC-20 Motion Sensor & Mounting Height	UPMA-R Universal Mount Adapter
	T4 Type 4	96LC	10 1000mA	*Not Available in 48LC		LAM Universal Arm/W Terminal Block Mount (Photo)	SWH Smooth White	PCR-347	WSC-40 Motion Sensor & Mounting Height	BAWP Back Wall Plate
	T4A Type 4 Automotive					MAM Mac Arm Mount	SPINPER Spinper	PCR-480	WSC-40 Motion Sensor & Mounting Height	ROT-R Rotator
	T5 Type 5					KM Knuckle Mount	GP Graphite	PCR-480	WSC-40 Motion Sensor & Mounting Height	ROT-L Rotator
	T5W Type 5 Wide					WM Wall Mount *Requires 24V	GY Grey	UMAP Universal Mount arm filler	CLS Backcase adjust shield	
	T5WR Type 5 Wide Round					AWM Adjustable Wall Mount	SL Silver Metallic	RPP-J* Round Pole Adapter	ECLS Back Case Lower Shield	RCLS Backcase adjust shield
						*Round Pole Adapters (RPP) are to be ordered separately	CC Custom Color	RPP-J* Round Pole Adapter	ADJLS Adjustable Lower Light Shield	LCLS Leftcase adjust shield
						*BAWP to be ordered separately		WVC Wirecable Connect Factory	BD Arm Door Shield	HS House shield

2 WM1 Fixture Specification - Visionaire VMX

**V-Sconce-II LED Specifications**

Control Number: WALL\_CEILING-VSC-II-08\_30\_2022



Project Name: \_\_\_\_\_  
Catalog Number: \_\_\_\_\_  
Type: \_\_\_\_\_

The **VSC-II LED** wall mount Series continues the unique contemporary design that is inspired by the V-Collection light series. It combines LED performance and advanced LED thermal management technology and provides lighting that is energy efficient and aesthetically pleasing.

The I F17 performance and the driver's life are maximized by enclosing them in two separate cast aluminum housings. Easy access for mounting and maintenance.

The LED light assemblies come with 18, 32, or 48 LEDs.

Choose between 3000, 4000 or 5000 Kelvin temperature for the LEDs.

A durable polycarbonate powder coat finish is guaranteed for five years, and is available in standard or custom colors.

The **VSC-II LED** Series is an exceptional choice for office complexes, schools, commercial buildings, and many architectural projects.

**Ordering Information**

MODEL	OPTICS	SOURCE	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
VSC-II	T1 Type 1	16LC	3 380mA	3K 3000K	UNV 120-277V	WM Wall Mount	BZ Bronze	FC-120	UP Light Adapter
	T2 Type 2	32LC	5 530mA	4K 4000K	8 847V	VCB Conduit Box Mounting Plate (2) 1/2" Threaded Conduit Hole	BK Black	FC-208	UP Light Adapter
	T3 Type 3	48LC	7 700mA	5K 5000K	5 480V	SBK Smooth Back	WH White	FC-277	DIM Dimming Driver
	T4 Type 4					SWH Smooth White	SWH Smooth White	WSC-8 Motion Sensor & Mounting Height	EBPL Emergency Battery Pack
	FM Flood Medium					GP Graphite	GY Grey	WSC-20 Motion Sensor & Mounting Height	EBPL Emergency Battery Pack
	FN Flood Narrow					SL Silver Metallic	CC Custom Color	WVC Wirecable Connect Factory	EBPL-CLD Cold Washer Emergency Battery Pack
									BP Back Plate
									CLS Backcase adjust shield

3 WM2 Fixture Specification - Visionaire VSC

Symbol	Qty	Label	Description	LLF	Luminaire Lumens	Luminaire Watts
□	2	EX1	Existing SL1	1.000	9247	106
□	1	EX2	Existing SL2	1.000	13860	107
○	4	SL1	HCI Lighting # F140-90LED-4000K-120v-277v-4-DIM	0.950	12338	90
○	4	SL2	HCI Lighting # F140-90LED-4000K-120v-277v-4-DIM	0.950	12338	90
○	3	SL3	HCI Lighting # F140-90LED-4000K-120v-277v-3-DIM	0.950	11970	90
□	1	WM1	Visionaire #VMX-II-T4-64LC-5-4K-WM	0.950	13860	107
□	2	WM2	Visionaire #VSC-II-T3-32LC-5-4K-UNV	0.950	6364	52

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.08	1.0	0.0	N.A.	N.A.
Site Calc Points	Illuminance	Fc	0.35	6.4	0.0	N.A.	N.A.
Access Drive	Illuminance	Fc	2.25	6.4	0.2	11.25	32.00
Parking Area	Illuminance	Fc	1.86	5.4	0.6	3.10	9.00

NOTES:

- A. A LIGHT LOSS FACTOR OF 0.950 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
- B. MOUNTING HEIGHT (MH) INDICATED ON PLAN UNDER FIXTURE LABEL.
- C. ALL CALCULATION POINTS ARE TAKEN AT GRADE.
- D. CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.



DATE:	1/14/25	REVISIONS:	DESCRIPTION	DATE
PROJECT NUMBER:		1		
DRAWN BY:	TJ	2		
CHECKED BY:	TJ	3		
APPROVED BY:	HD	4		
SCALE:	AS NOTED	5		
		6		
		7		