



SURVEY NOTES

1. FIELD SURVEY DATE: 04/15/2025
2. HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83)
3. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
4. OWNER: VFW POST 3402
P.O. BOX 96
FRANKLIN, MA 02038
5. SITE NAME: FRANKLIN MA POND STREET
VT-MA-0124A
6. SITE ADDRESS: 1034 POND STREET
FRANKLIN, MA 02038
7. APPLICANT: VERTEX TOWERS, LLC
2 COMMERCIAL STREET
SHARON, MA 02067
8. JURISDICTION: TOWN OF FRANKLIN
NORFOLK COUNTY
9. TAX ID: 222-044
10. DEED REFERENCE: DEED BOOK 3678 PAGE 73
DEED BOOK 3175 PAGE 532
11. PLAN REFERENCE: PLAN BOOK 665 PAGE 65
PLAN BOOK 3569 PAGE 220
12. THE HORIZONTAL DATUM AND VERTICAL DATUM WERE DERIVED FROM AN RTK GPS SURVEY.
13. ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE ONLY. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIGSAFE 1-800-322-4844 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
14. THE PROPOSED IMPROVEMENTS ARE LOCATED IN FLOOD ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 25021C 0143 E & 25021C 0306 E, EFFECTIVE DATE 7/17/2012.
15. FIELD SURVEY BY RTK GPS.
16. THIS IS NOT A BOUNDARY SURVEY.
17. ALL PROPERTY LINES SHOWN ARE FROM FIELD EVIDENCE, DEEDS & PLANS OF RECORD AND GIS DATA AND ARE APPROXIMATE ONLY.
18. WETLANDS WERE DELINEATED BY LUCAS ENVIRONMENTAL, LLC ON 03/18/2025.
19. SURVEY PERFORMED BY: NORTHEAST SURVEY CONSULTANTS
3 FERRY STREET
EASTHAMPTON, MA 01027
(413) 203-5144

LEGEND

- PROPERTY LINE - SUBJECT PARCEL
- ABUTTERS PROPERTY LINE
- EASEMENT LINE
- INTERNAL TAX PARCEL LINE
- ZONING LINE
- GRANITE BOUND FOUND
- IRON PIPE OR ROD FOUND
- CALCULATED POINT

ZONING INFORMATION

PER TOWN OF FRANKLIN ZONING BY-LAW, ATTACHMENT 9: SCHEDULE OF LOT, AREA, FRONTAGE, YARD AND HEIGHT REQUIREMENTS.

ZONING DISTRICT: SINGLE-FAMILY III (SFRIII)

	REQUIRED	PROPOSED
MIN. LOT AREA:	20,000 SF	N/C
MIN. LOT FRONTAGE:	125'	N/C
MIN. LOT DEPTH:	160'	N/C
MIN. LOT WIDTH:	112.5'	N/C
MIN. FRONT YARD:	40'	125'± (a)
MIN. SIDE YARD:	25'	41'± (a)
MIN. REAR YARD:	30'	20'± (a)
MAX HEIGHT:	35'	100' (TOWER)
MAX IMPERVIOUS:	25% (BUILDINGS)	12.51% (b)
	35% (BUILDINGS+PAVING)	47.00% (b)
MIN. TOWER SETBACK:	100'	38'± (c)

- (a) DISTANCE FROM NEAREST PROPOSED COMPOUND FENCE TO LOT LINE.
(b) INCLUDES THE PROPOSED 2100 S.F. FENCED COMPOUND AND GRAVEL TURNAROUND AREA.
(c) DISTANCE FROM PROPOSED MONOPOLE CENTER TO NEAREST LOT LINE.

N/A = NOT APPLICABLE
N/C = NO CHANGE

ABUTTERS PLAN

SCALE: 1"=80' FOR 11"x17"
1"=40' FOR 22"x34"



PREPARED FOR:

2 COMMERCIAL STREET
SHARON, MA 02067

Dewberry®

Dewberry Engineers Inc.
99 SUMMER STREET
SUITE 700
BOSTON, MA 02110
PHONE: 617.695.3400
FAX: 617.695.3310



CHECKED BY: MFT

APPROVED BY: DAS

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
0	09/08/2025	ISSUED FOR SUBMITTAL	MFT
A	06/20/2025	ISSUED FOR REVIEW	MFT

SITE NAME:

FRANKLIN MA
POND STREET
VT-MA-0124A

SITE ADDRESS:

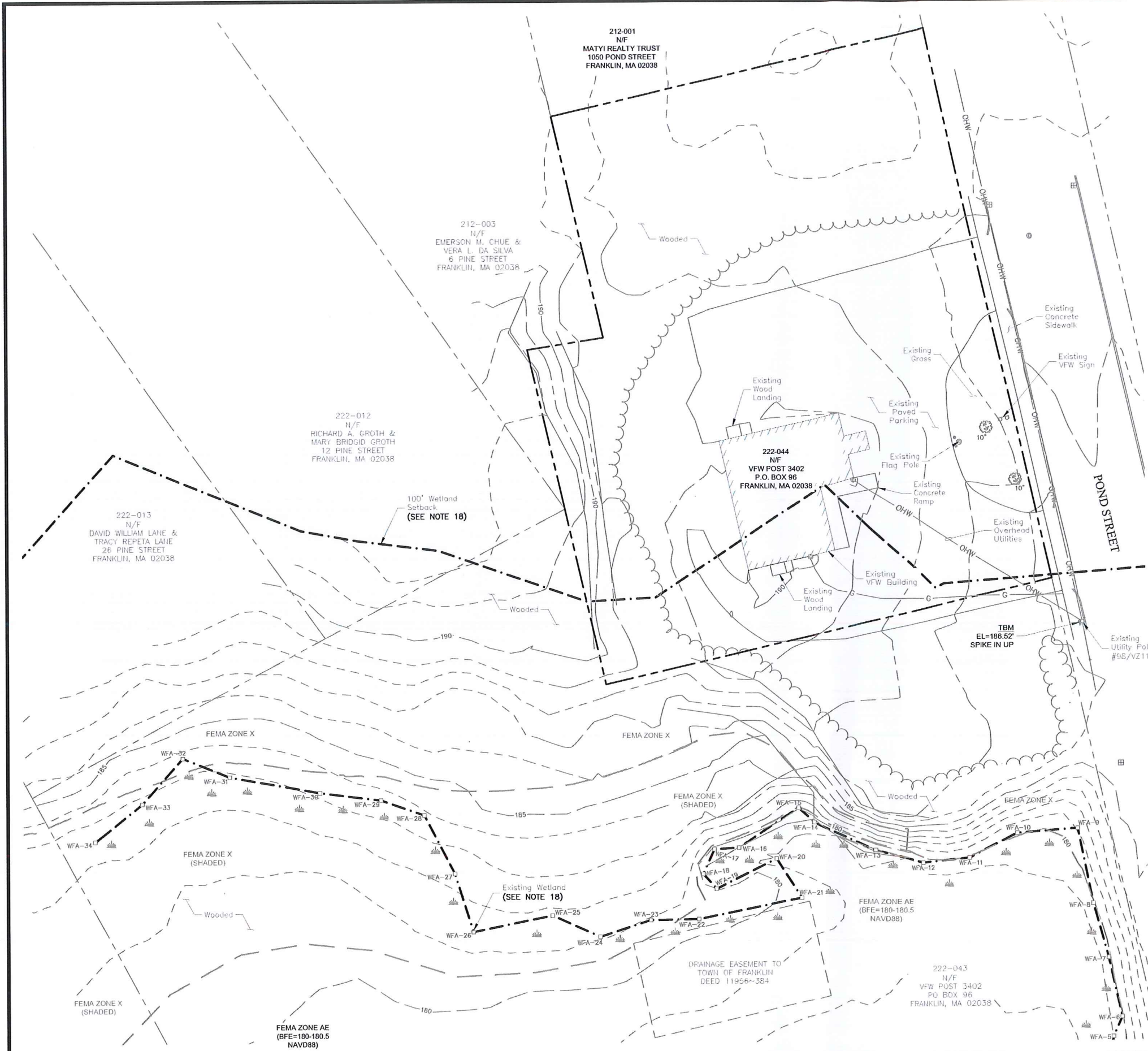
1034 POND STREET
FRANKLIN, MA 02038

SHEET TITLE

ABUTTERS PLAN
AERIAL OVERLAY

SHEET NUMBER

Z-1A



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- ### LEGEND
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 - ABUTTERS PROPERTY LINE
 - EASEMENT LINE
 - INTERNAL TAX PARCEL LINE
 - ZONING LINE
 - MANHOLE
 - GAS/ELECTRIC METER
 - UTILITY POLE
 - SIGN
 - TREE
 - POST
 - GUY WIRE ANCHOR
 - TEMPORARY BENCHMARK (TBM.)
 - CATCH BASIN
 - WATER GATE VALVE
 - PROPOSED SITE FENCE
 - WETLAND FLAGGING
 - WFA-X

EXISTING CONDITIONS PLAN

SCALE: 1"=40' FOR 11"x17"
1"=20' FOR 22"x34"

0' 20' 40'

1

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BENJAMIN B. REVETTE
CIVIL
No. 49220
09/08/2025

CHECKED BY: MFT

APPROVED BY: DAS

SUBMITTALS

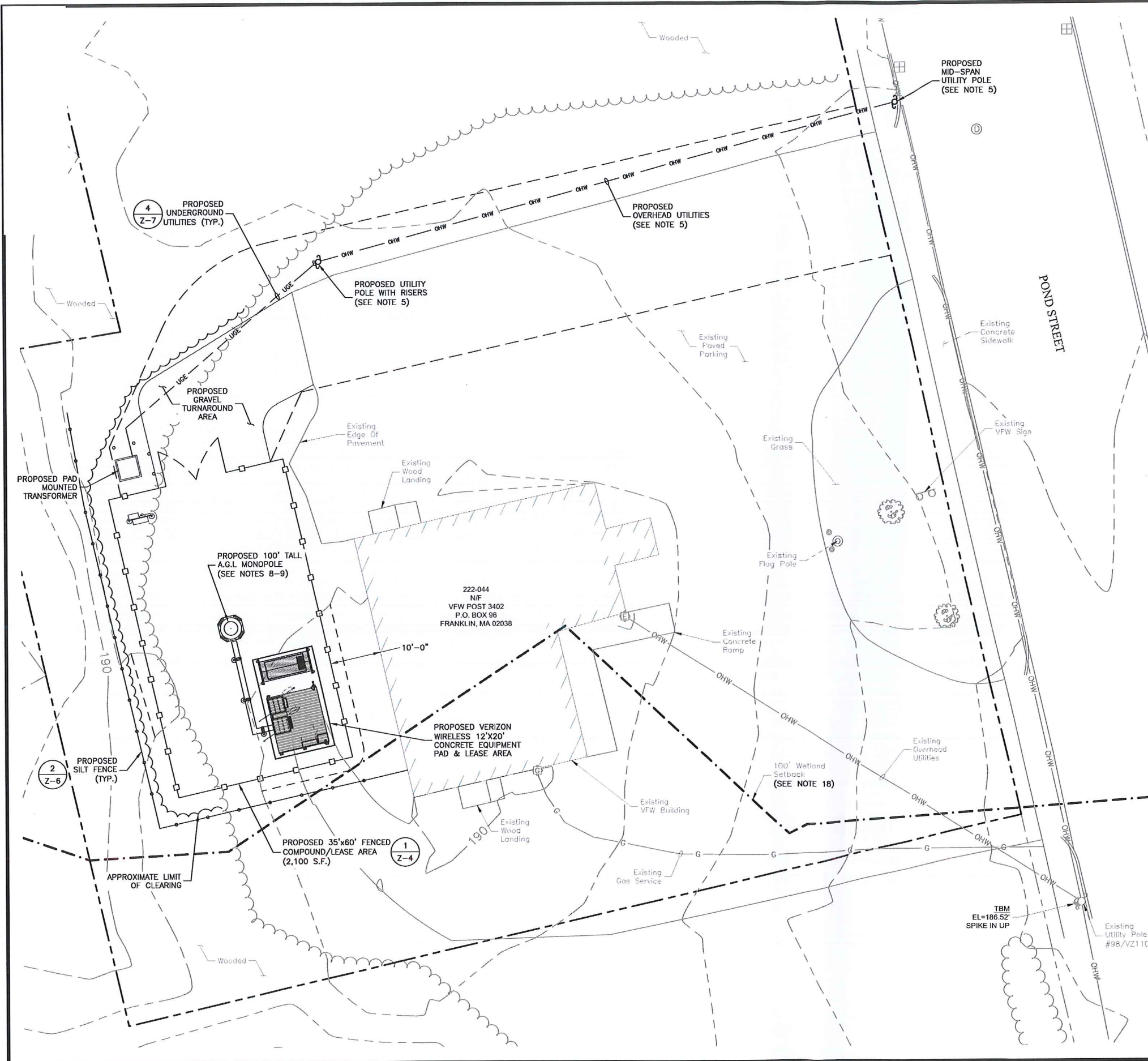
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FRANKLIN MA
POND STREET
VT-MA-0124A

SITE ADDRESS:
1034 POND STREET
FRANKLIN, MA 02038

SHEET TITLE
EXISTING
CONDITIONS PLAN

SHEET NUMBER
Z-2



- ### NOTES
1. SOME EXISTING/PROPOSED INFORMATION NOT SHOWN FOR CLARITY
 2. TOTAL AREA TO BE DISTURBED (INCLUDES COMPOUND): 2,100± SQ. FT. (0.05± ACRES).
 3. TOTAL AREA ASSOCIATED WITH WIRELESS FACILITY INCLUDING ACCESS EASEMENT, UTILITY EASEMENT, AND COMPOUND LEASE AREA IS APPROXIMATELY 6,850 S.F. (0.16 ACRES).
 4. LOAM & SEED ALL DISTURBED AREAS, AFTER ALL SITE & TRENCH WORK HAS BEEN COMPLETED, WITHIN 7 CALENDAR DAYS.
 5. UTILITIES SHALL EXTEND OVERHEAD FROM A NEW UTILITY POLE ON POND STREET WITHIN PROPOSED EASEMENT TO A NEW UTILITY POLE. FINAL PLACEMENT OF NEW UTILITY POLES BASED ON FIELD CONDITIONS & UTILITY CO. APPROVAL. UTILITIES SHALL THEN EXTEND UNDERGROUND WITHIN PROPOSED EASEMENT TO THE COMPOUND.
 6. DEWBERRY ENGINEERS INC. & CORNERSTONE SURVEY ASSOCIATES INC. HAVE NOT LOCATED ANY UNDERGROUND UTILITIES. ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIGSAFE @ 811 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
 7. ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE MA STATE BUILDING CODE, NATIONAL ELECTRIC CODE (NEC 2023), ANSI/EIA/TIA-222.
 8. DEWBERRY ENGINEERS INC. HAS NOT BEEN PROVIDED WITH TOWER OR FOUNDATION DESIGNS. FINAL TOWER & FOUNDATION DESIGNS TO BE COMPLETED PRIOR TO CONSTRUCTION & TOWER FABRICATION.
 9. FINAL TOWER HEIGHT IS DEPENDENT ON FOUNDATION ELEVATION ABOVE GROUND LEVEL. CONSTRUCTION MANAGER TO REVIEW FINAL FOUNDATION HEIGHT ABOVE FINISHED GRADE & REDUCE THE TOWER HEIGHT ACCORDINGLY TO ACHIEVE FINAL ELEVATION SHOWN.
 10. FOR ZONING PURPOSES ONLY. NOT FOR CONSTRUCTION.

PROPOSED MID-SPAN UTILITY POLE (SEE NOTE 5)

PROPOSED OVERHEAD UTILITIES (SEE NOTE 5)

PROPOSED UTILITY POLE WITH RISERS (SEE NOTE 5)

PROPOSED UNDERGROUND UTILITIES (TYP.)

PROPOSED GRAVEL TURNAROUND AREA

PROPOSED PAD MOUNTED TRANSFORMER

PROPOSED 100' TALL A.G.L. MONOPOLE (SEE NOTES 8-9)

PROPOSED VERIZON WIRELESS 12'X20' CONCRETE EQUIPMENT PAD & LEASE AREA

PROPOSED 35'X60' FENCED COMPOUND/LEASE AREA (2,100 S.F.)

PROPOSED SILT FENCE (TYP.)

APPROXIMATE LIMIT OF CLEARING

WOODED

EXISTING PAVED PARKING

EXISTING CONCRETE SIDEWALK

EXISTING VFW SIGN

EXISTING VFW BUILDING

EXISTING GRASS

EXISTING FLAG POLE

EXISTING WOOD LANDING

EXISTING CONCRETE RAMP

EXISTING OVERHEAD UTILITIES

100' WETLAND SETBACK (SEE NOTE 18)

EXISTING GAS SERVICE

EXISTING UTILITY POLE #98/VZ110

TBM EL=186.52 SPIKE IN UP

POND STREET

- ### LEGEND
- PROPERTY LINE - SUBJECT PARCEL
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 - EASEMENT LINE
 - INTERNAL TAX PARCEL LINE
 - ZONING LINE
 - MANHOLE
 - GAS/ELECTRIC METER
 - UTILITY POLE
 - SIGN
 - TREE
 - POST
 - GUY WIRE ANCHOR
 - TEMPORARY BENCHMARK (TBM.)
 - CATCH BASIN
 - WATER GATE VALVE
 - PROPOSED SITE FENCE
 - 100' WETLAND SETBACK

PROPOSED SITE PLAN

SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"

0' 10' 20'

1

PREPARED FOR:

2 COMMERCIAL STREET
SHARON, MA 02067

Dewberry

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99 SUMMER STREET
SUITE 700
BOSTON, MA 02110
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BENJAMIN B. REVETTE
CIVIL
No. 40220
09/08/2025

CHECKED BY: MFT

APPROVED BY: DAS

SUBMITTALS

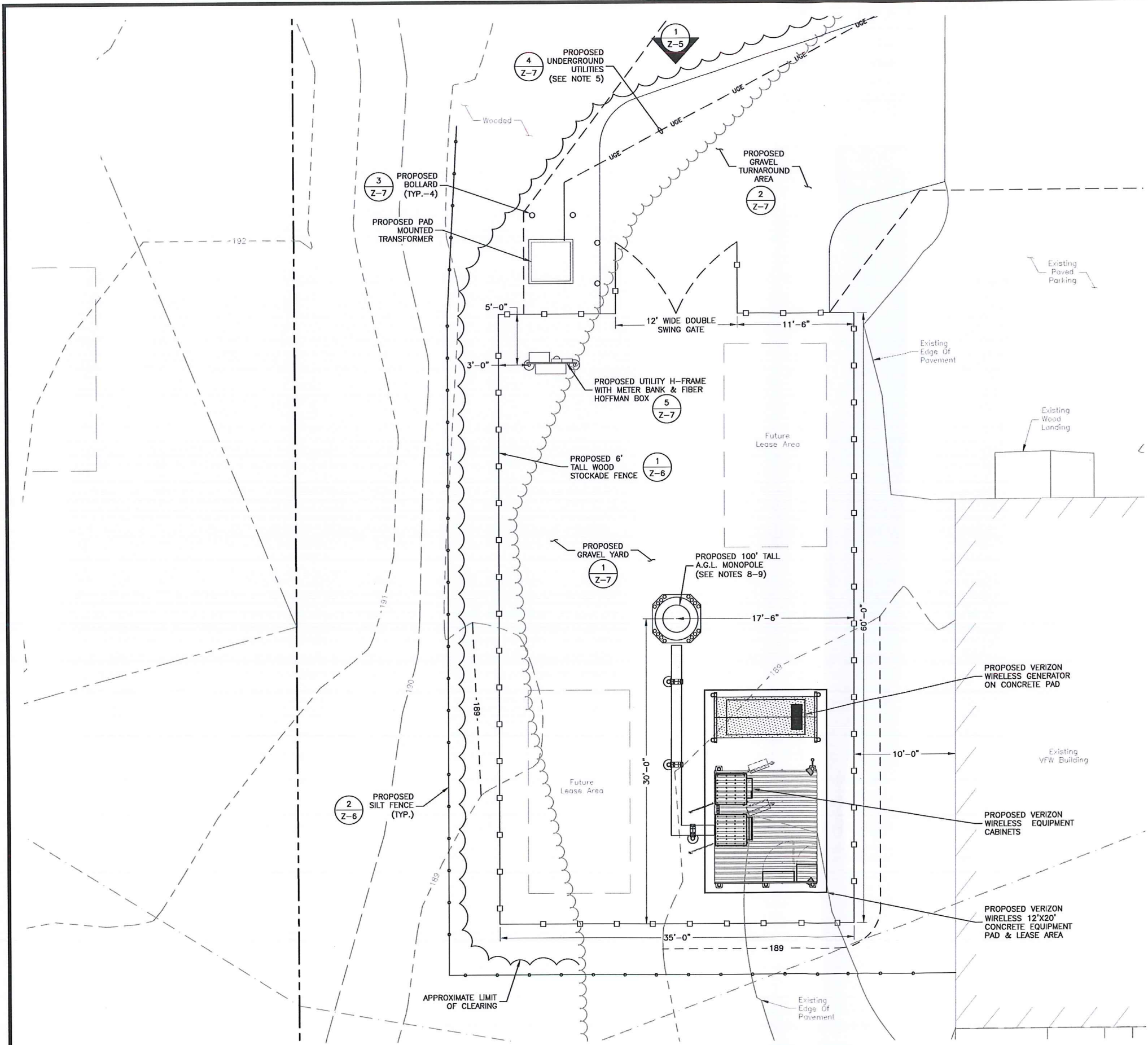
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FRANKLIN MA
POND STREET
VT-MA-0124A

SITE ADDRESS:
1034 POND STREET
FRANKLIN, MA 02038

SHEET TITLE
PROPOSED
SITE PLAN

SHEET NUMBER
Z-3



- NOTES
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 10. FOR ZONING PURPOSES ONLY. NOT FOR CONSTRUCTION.

- LEGEND
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 - GAS/ELECTRIC METER
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 - SIGN
 - TREE
 - POST
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 - TEMPORARY BENCHMARK (TBM.)
 - CATCH BASIN
 - WATER GATE VALVE
 - PROPOSED SITE FENCE

COMPOUND PLAN
SCALE: 1"=10' FOR 11"x17"
1"=5' FOR 22"x34"

0' 5' 10'

PREPARED FOR:

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SHARON, MA 02067

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BENJAMIN B. REVETTE
CIVIL
No. 49220
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SHEET TITLE
COMPOUND PLAN

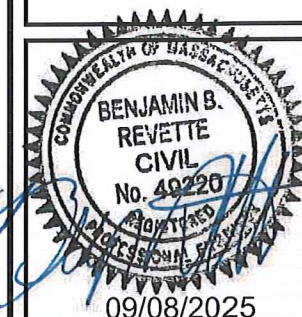
SHEET NUMBER
Z-4

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FRANKLIN MA
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VT-MA-0124A

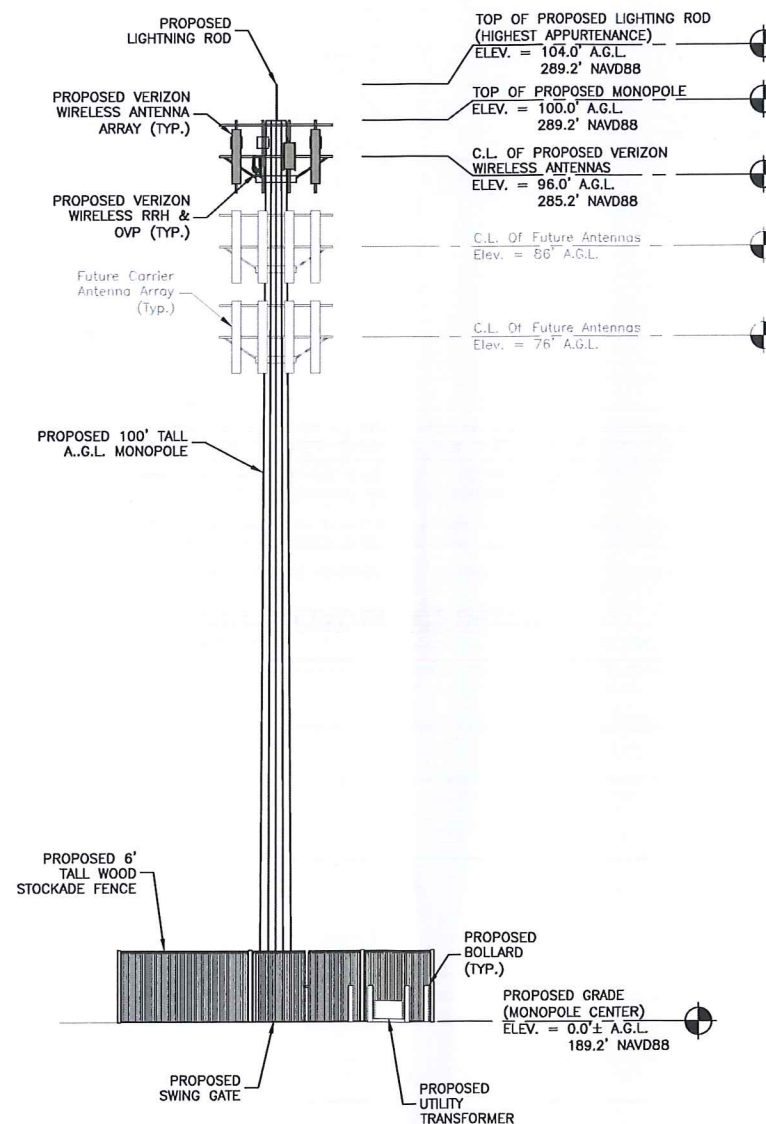
SITE ADDRESS:
1034 POND STREET
FRANKLIN, MA 02038

SHEET TITLE

ELEVATION

SHEET NUMBER

Z-5



ELEVATION

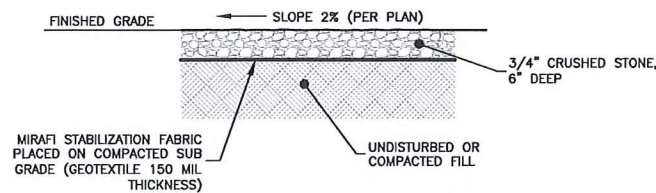
SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"



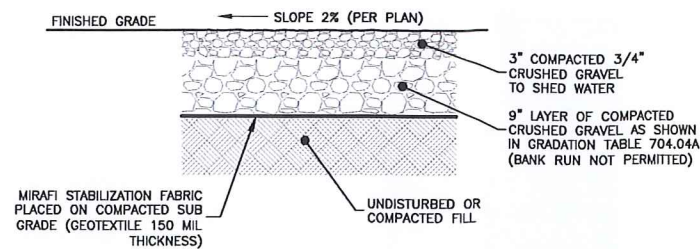
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NOTES:

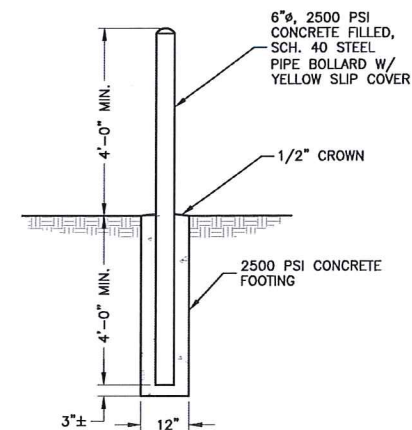
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- A.G.L. - ABOVE GROUND LEVEL
C.L. - CENTERLINE
NAVD88 - NATIONAL VERTICAL DATUM OF 1988
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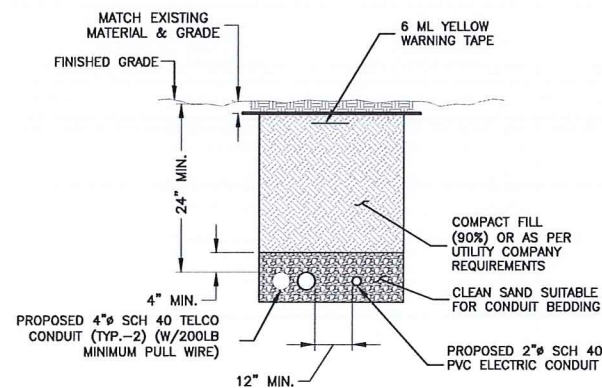
GRAVEL YARD DETAIL
SCALE: N.T.S.



PARKING AREA DETAIL
SCALE: N.T.S.

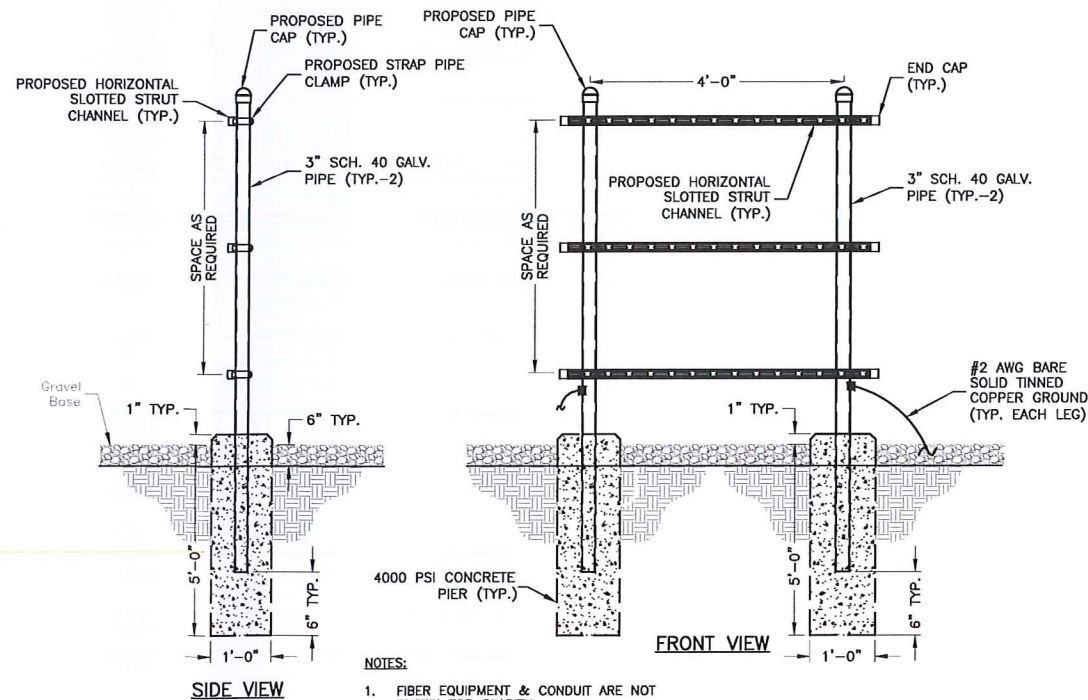


BOLLARD
SCALE: N.T.S.



- NOTES:**
1. IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL.
 2. IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
 3. IF CURRENT AS-BUILT DRAWINGS ARE NOT AVAILABLE CONTRACTOR SHALL HAND DIG U/G TRENCHING.

JOINT SERVICE TRENCH BURIED CONDUIT (ELECTRIC/TELEPHONE)
SCALE: N.T.S.



- NOTES:**
1. FIBER EQUIPMENT & CONDUIT ARE NOT SHOWN FOR CLARITY.
 2. SUPPORT CONDUITS PER NEC & FIELD CONDITIONS.

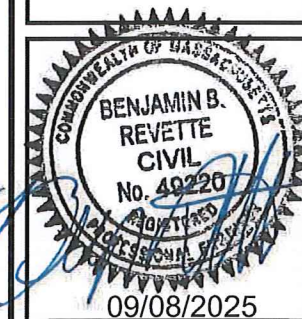
H-FRAME DETAIL
SCALE: N.T.S.

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SHEET TITLE

TYPICAL DETAILS-II

SHEET NUMBER

Z-7