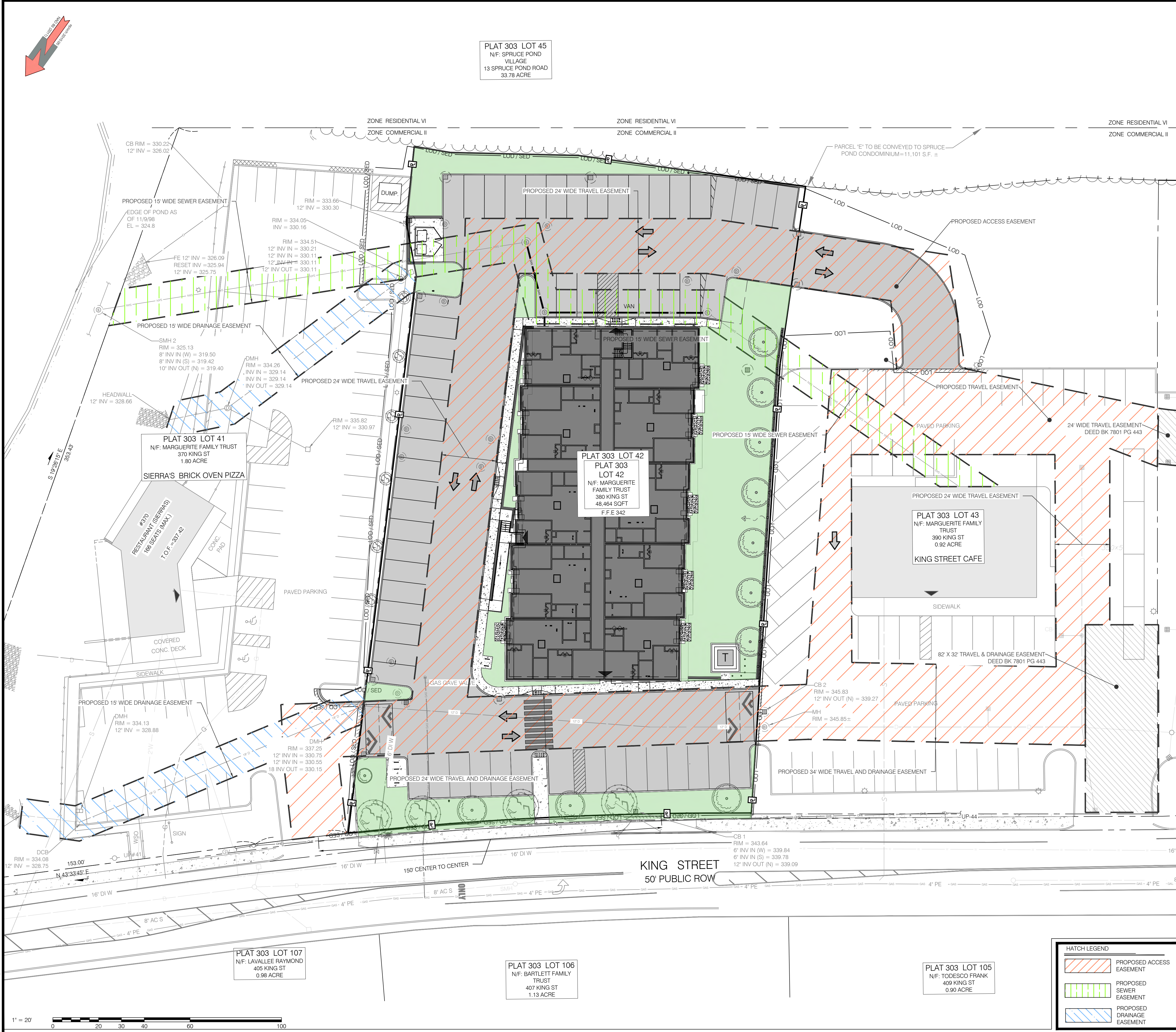


N:\PROJECTS\24.0168 - MARGUERITE COMMONWEALTH UNION CROSSING\SITE CIVIL\24.0168 FRANKLIN CROSSING CIVIL OPT 2.DWG SV-300 NEI-Standard.dwg 7/24/2025 Eric Bluzzi



NOTES:

1. A "TRAVEL" EASEMENT SHALL BE PROVIDED FOR THE SHARED ACCESS AISLES BETWEEN PLAT 303 LOT 41, 42, AND 43 FOR TRAVEL EGRESS AND COMMON SNOW STORAGE PRIOR TO FINAL RECORDING.
2. UTILITY EASEMENTS FOR MEANS OF ACCESS AND MAINTENANCE BETWEEN PLAT 303 LOT 41, 42, AND 43 SHALL BE PROVIDED PRIOR TO FINAL RECORDING.
3. PLOTTED IN COLOR FOR PRESENTATION PURPOSES ONLY.

NEI
Narragansett
Engineering Inc.
Civil - Survey Structural Environmental Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE
380 KING ST - CONDOMINIUMS
EASEMENT PLAN

Property Record:
Principal Parcel:
380 King St, Franklin, MA 02038
Plat: 303, Lot:42, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page: 8145-260
Also Part of Subject Application:
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Plat: 303, Lot:41, Area: 1.8 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
Book/Page 8145-260
390 King St, Franklin, MA 02038
Plat: 303, Lot:43, Area: 0.919 Acres, Zone: C-II
N/F: Marguerite Margaret, TR, Marguerite Family Trust
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400 King St, Franklin, MA 02038
Plat: 303, Lot:44, Area: 0.928 Acres, Zone: C-II
N/F: DECOY INC.

PROJECT NO.	DATE	BY
24.0168	10.10.24	NKH

DRAWING ISSUE:
☐ CONCEPT / DISCUSSION
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER
ONLY PLANS ISSUED
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INTERNAL REVIEW

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8	BY DATE	EB 5.1.25	REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN, WATER LINE DESIGN, LANDSCAPE REVISIONS
9	BY DATE	EB 5.7.25	STORMWATER DIVERSION STRUCTURE REVISIONS

FORMAL PLAN REVISIONS

No	DATE	STAGE/DESCRIPTION	BY
1	7.11.25	EXPANDED COURTYARD	TB
2	7.23.25	ADDED RETAINING WALL	EB
3	7.23.25	CLOSED FRONT ENTRANCE	EB
4	7.23.25	ADDED BIKE HACK	EB

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LOCUS MAP

SCALE
1"=20'

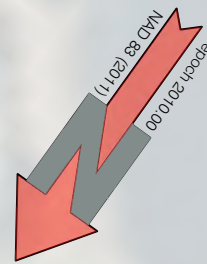
SV-300

LEGEND

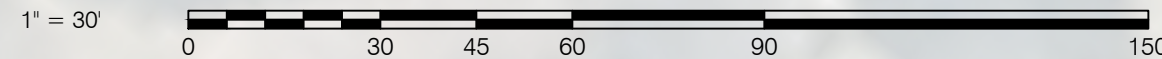
100.00'	DIMENSION - EXISTING
100.00'	DIMENSION - PROPOSED
100.00' (D)	PLAN / DEED DIMENSION
100.00' (S)	SURVEY DIMENSION
---	PROPERTY LINE - ABUTTING
---	PROPERTY LINE - EXISTING
---	PROPERTY LINE - PROPOSED
---	SETBACKS
100.00'	GRADE CONTOUR - EXISTING
100.00'	GRADE CONTOUR - PROPOSED
OHE	ELECTRIC - OVERHEAD (OHE)
EAT	ELECTRIC - TELEPHONE - CABLE (ETC)
UGS	ELECTRIC - UNDERGROUND (UGE)
GAS	GAS (G)
SAN	SANITARY SEWER (S)
SD	STORM DRAIN (SD)
W	WATER
LOD	LIMIT OF DISTURBANCE (LOD)
SED	SEDIMENT CONTROL (SED)
LOD / SED	LOD / SED
---	EDGE OF PAVEMENT - EXISTING
---	FENCE - METAL
---	FENCE - WOOD
---	STONE WALL
---	BRUSH LINE (APPROXIMATE)
---	WETLAND LIMIT
[Symbol]	CATCH BASIN
[Symbol]	DRAINAGE MANHOLE
[Symbol]	SANITARY MANHOLE
[Symbol]	ELECTRICAL MANHOLE
[Symbol]	TELEPHONE MANHOLE
[Symbol]	WELL
[Symbol]	GATE VALVE
[Symbol]	WATER SHUT OFF
[Symbol]	FIRE HYDRANT
[Symbol]	ELECTRIC BOX (ETC)
[Symbol]	UTILITY POLE
[Symbol]	DOWNSPOUT
[Symbol]	BENCHMARK
[Symbol]	DRILL HOLE
[Symbol]	SPIKE
[Symbol]	STRUCTURE, EXISTING
[Symbol]	STRUCTURE, PROPOSED
[Symbol]	SPOT GRADE - EXISTING
[Symbol]	SPOT GRADE - PROPOSED
[Symbol]	EXISTING TREE
[Symbol]	PROPOSED TREE
[Symbol]	GRANITE BOUND
[Symbol]	REBAR / STEEL PIPE FOUND
[Symbol]	WETLAND FLAG
[Symbol]	COASTAL FEATURE FLAG
[Symbol]	COASTAL BUFFER POST
[Symbol]	FLOW ARROW
[Symbol]	SOIL EVALUATION

HATCH LEGEND

[Hatch]	PROPOSED ACCESS EASEMENT
[Hatch]	PROPOSED SEWER EASEMENT
[Hatch]	PROPOSED DRAINAGE EASEMENT



N:\PROJECTS\24.0168_MARGUERITE COMMONWEALTH (UNION CROSSING)\SITE CIVIL\24.0168 FRANKLIN CROSSING CIVIL OPT 2.DWG C-100 NEI Standard.cdw 7/24/2025 Eric Buzi



PLAT 303 LOT 41
N/F: MARGUERITE FAMILY TRUST
370 KING ST
1.80 ACRE
SIERRA'S BRICK OVEN PIZZA

PLAT 303 LOT 45
N/F: SPRUCE POND VILLAGE
13 SPRUCE POND ROAD
33.78 ACRE

PLAT 303 LOT 42
N/F: MARGUERITE FAMILY TRUST
380 KING ST
48,464 SQFT

PLAT 303 LOT 43
N/F: MARGUERITE FAMILY TRUST
390 KING ST
0.92 ACRE
KING STREET CAFE

PLAT 303 LOT 107
N/F: LAVALLEE RAYMOND
405 KING ST
0.98 ACRE

PLAT 303 LOT 106
N/F: BARTLETT FAMILY TRUST
407 KING ST
1.13 ACRE

PLAT 303 LOT 105
N/F: TODESCO FRANK
409 KING ST
0.90 ACRE

EXISTING ACCESSWAY TO BE CLOSED

SPEED TABLE (TYP)

EXISTING ACCESSWAY TO BE CLOSED

UNION STREET

NEI

Narragansett Engineering Inc.

Civil - Survey Structural Environmental Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

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Plat: 303, Lot:44, Area: 0.928 Acres, Zone: C-II
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PROJECT NO.	DATE	BY
24.0168	10.10.24	NKH

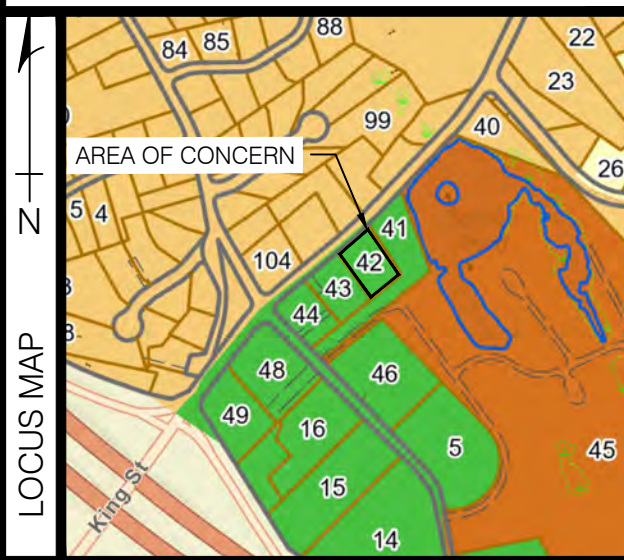
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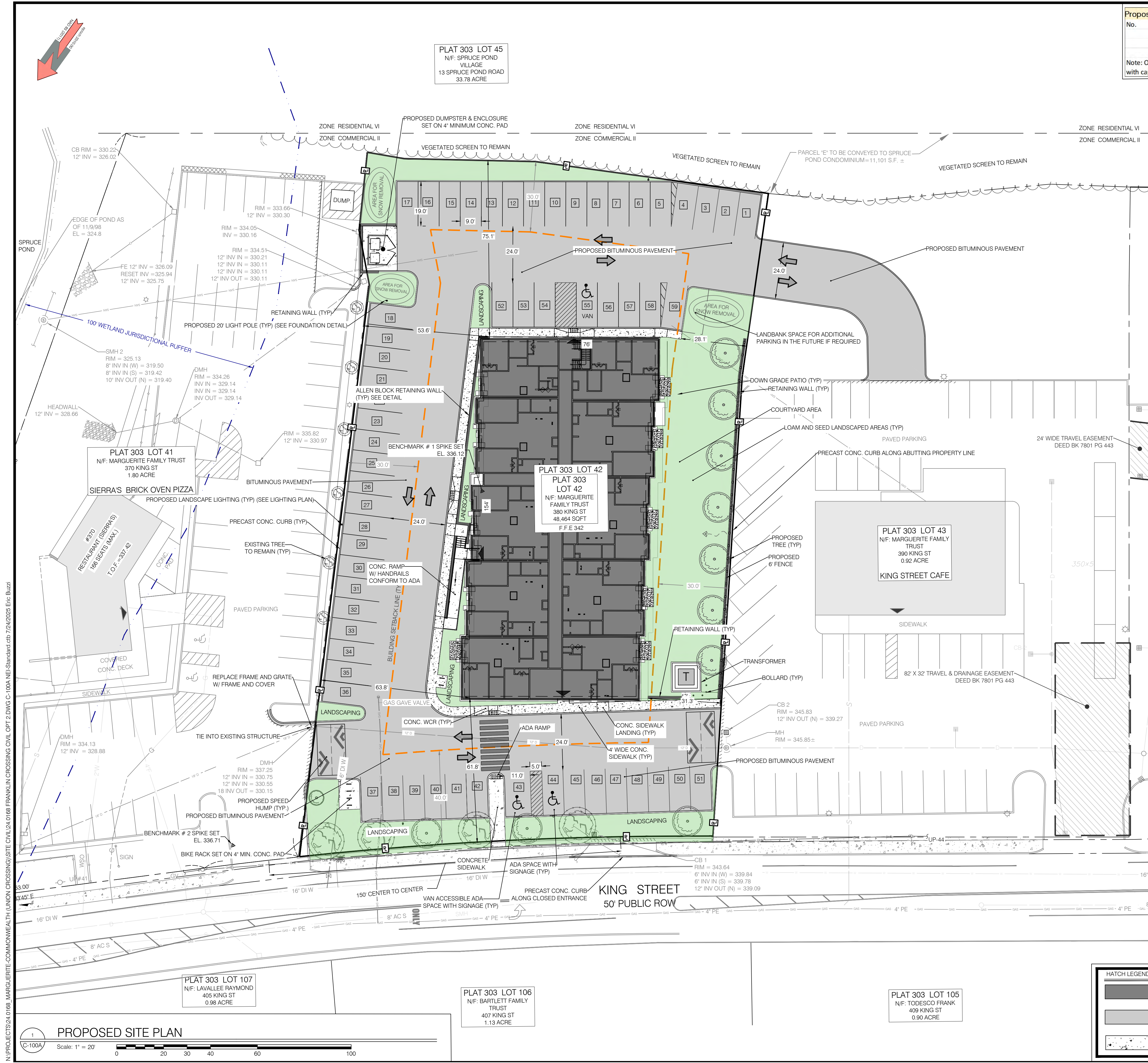
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No	DATE	STAGE/DESCRIPTION	BY
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1		ADDED RETAINING WALL	
2	7.23.25	CLOSED FRONT ENTRANCE	EB
2		ADDED BIKE HACK	

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DRAWINGS MUST BE PRINTED IN COLOR TO BE VALID. THIS NOTE SHOULD BE BLUE. IF THIS NOTE IS NOT BLUE, PLEASE REPRINT IN COLOR OR CONTACT NEI.



SCALE
1"=30'

C-100



Proposed Parking Calculation (Franklin Zoning Code Ch 185 Sec 21 Part B(3)(a)(i))			
No.	Description	Number	Notes
1	Proposed No. of Units	30	2 parking spots required per unit
2	Proposed Parking Spaces Required	60	30*2
3	Proposed Parking Spaces Provided	59	Including 3 ADA spaces (1 Van with capacity for 12 bicycles)

24.0168 380 King St Franklin MA PROPOSED LOT COVERAGE TABLE			
Description	Area	Unit	Notes
Plat 303 Lot 42	48,464	Sq Ft	Currently Vacant
Pro. Structure	11,616	Sq Ft	Residential Complex
Lot Coverage	23.97%		
CH Zone - Max 70% structural lot coverage 80% impervious			

24.0168 380 King St Franklin MA PROPOSED PAVEMENT COVERAGE TABLE			
Description	Area	Unit	Notes
Plat 303 Lot 42	48,464	Sq Ft	Currently Vacant
Proposed Structure	11,616	Sq Ft	Residential Complex
Proposed Pavement	24,393	Sq Ft	Parking lot & Access Drives
Proposed Landscaping	12,455	Sq Ft	
Pavement Coverage	74.3%		Includes structure
CH Zone - Max 70% structural lot coverage 80% impervious			

24.0168 380 King St Franklin MA A.P. 303 Lot 42 PARCEL / ZONING DATA		
Zoning Requirement	Required	Provided
Minimum Lot Area (SF)	40,000	48646
Minimum Lot Frontage Width (Feet)	175	176.6
Lot Depth (Feet)	200	< 270
Lot Width (Circle Dia. In Feet)	157.5	< 160
Max Building Height (Stories)	3	3
Max Building Height (Feet)	40	> 40
District		
Overlay District	Senior Village	
Overlay District	Sign	
Interim Wellhead Protection Area	No	
Zone II	No	

LEGEND

100.00'	DIMENSION - EXISTING
100.00'	DIMENSION - PROPOSED
100.00' (D)	PLAN / DEED DIMENSION
100.00' (S)	SURVEY DIMENSION
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---	PROPERTY LINE - EXISTING
---	PROPERTY LINE - PROPOSED
---	SETBACKS
---	GRADE CONTOUR - EXISTING
---	GRADE CONTOUR - PROPOSED
---	ELECTRIC - OVERHEAD (OHE)
---	ELECTRIC - TELEPHONE - CABLE (ETC)
---	ELECTRIC - UNDERGROUND (UGE)
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---	BRUSH LINE (APPROXIMATE)
---	WETLAND LIMIT
---	STRUCTURE, EXISTING
---	STRUCTURE, PROPOSED
---	SPOT GRADE - EXISTING
---	SPOT GRADE - PROPOSED
---	EXISTING TREE
---	PROPOSED TREE
---	GRANITE BOUND
---	REBAR / STEEL PIPE FOUND
---	WETLAND FLAG
---	COASTAL FEATURE FLAG
---	COASTAL BUFFER POST
---	FLOW ARROW
---	SOIL EVALUATION

HATCH LEGEND

---	PROPOSED STRUCTURE
---	PROPOSED PAVEMENT
---	PROPOSED CONCRETE PAD

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Civil - Survey Structural Environmental Design
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SHEET TITLE
380 KING ST - CONDOMINIUMS
PROPOSED SITE PLAN

Property Record:
Principal Parcel:
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Plat: 303, Lot:43, Area: 0.919 Acres, Zone: C-II
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400 King St, Franklin, MA 02038
Plat: 303, Lot:44, Area: 0.928 Acres, Zone: C-II
N/F: DECOY INC.

PROJECT NO.	DATE	BY
24.0168	10.10.24	NKH

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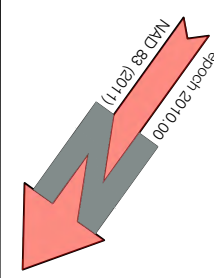


INTERNAL REVIEW			
No	CHECK	CAD	DESCRIPTION/NOTES
1	BY	EB	PARKING LAYOUT
	DATE	11.26.24	
2	BY	EB	STORMWATER DESIGN
	DATE	2.28.25	UTILITY REVIEW PENDING
3	BY	EB	GENERAL PLAN REVISIONS
	DATE	3.11.25	
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6	BY	EB	COORDINATION MEETING REVISIONS: EASEMENT PLAN, APPARATUS CIRCULATION PLAN, WATER LINE DESIGN, LANDSCAPE REVISIONS
	DATE	5.1.25	
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	DATE	5.7.25	

FORMAL PLAN REVISIONS			
No	DATE	STAGE/DESCRIPTION	BY
1	7.11.25	EXPANDED COURTYARD ADDED RETAINING WALL CLOSED FRONT ENTRANCE	TB
2	7.23.25	ADDED BIKE HACK	EB

LOCUS MAP
AREA OF CONCERN
SCALE
1"=20'
C-100A

N:\PROJECTS\24.0168 MARGUERITE COMMONWEALTH UNION CROSSING\SITE CIVIL\24.0168 FRANKLIN CROSSING CIVIL OPT 2.DWG C-100A NEI-Standard.ctb 7/24/2025 Eric Buzz



PLAT 303 LOT 45
N/F: SPRUCE POND
VILLAGE
13 SPRUCE POND ROAD
33.78 ACRE

ZONE RESIDENTIAL VI
ZONE COMMERCIAL II

ZONE RESIDENTIAL VI
ZONE COMMERCIAL II

ZONE RESIDENTIAL VI
ZONE COMMERCIAL II

CB RIM = 330.25
12" INV = 326.02

EDGE OF POND AS
OF 11/9/98
EL = 324.8

FE 12" INV = 326.09
RESET INV = 325.94
12" INV = 325.75

RIM = 333.66
12" INV = 330.30

RIM = 334.05
INV = 330.16

RIM = 334.51
12" INV IN = 330.21
12" INV IN = 330.11
12" INV IN = 330.11
12" INV OUT = 330.11

SMH 2
RIM = 325.13
8" INV IN (W) = 319.50
8" INV IN (S) = 319.42
10" INV OUT (N) = 319.40

DMH
RIM = 334.26
INV IN = 329.14
INV IN = 329.14
INV OUT = 329.14

PLAT 303 LOT 41
N/F: MARGUERITE FAMILY TRUST
370 KING ST
1.80 ACRE

SIERRA'S BRICK OVEN PIZZA

#370
RESTAURANT (SIERRA'S)
166 SEATS (MAX.)
T.O.F. = 357.42

COVERED
CONC. DECK

SIDEWALK

DMH
RIM = 334.13
12" INV = 328.88

DCB
RIM = 334.08
12" INV = 328.75

W.S.O.

U#41

SIGN

BENCHMARK # 2 SPIKE SET
EL 336.71

BENCHMARK # 1 SPIKE SET
EL 336.12

PLAT 303 LOT 42
N/F: MARGUERITE
FAMILY TRUST
380 KING ST
48,464 SQFT
F.F.E 342

PLAT 303 LOT 43
N/F: MARGUERITE FAMILY
TRUST
390 KING ST
0.92 ACRE
KING STREET CAFE

SIDEWALK

82' X 32' TRAVEL & DRAINAGE EASEMENT
DEED BK 7801 PG 443

CB 2
RIM = 345.83
12" INV OUT (N) = 339.27

MH
RIM = 345.85±

CB 1
RIM = 343.64
6" INV IN (W) = 339.84
6" INV IN (S) = 339.78
12" INV OUT (N) = 339.09

KING STREET
50' PUBLIC ROW

DRAINAGE OVERVIEW PLAN



NEI

Narragansett

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Civil - Survey Structural Environmental Design

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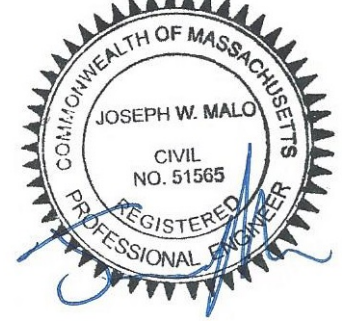
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- DRAWING ISSUE:
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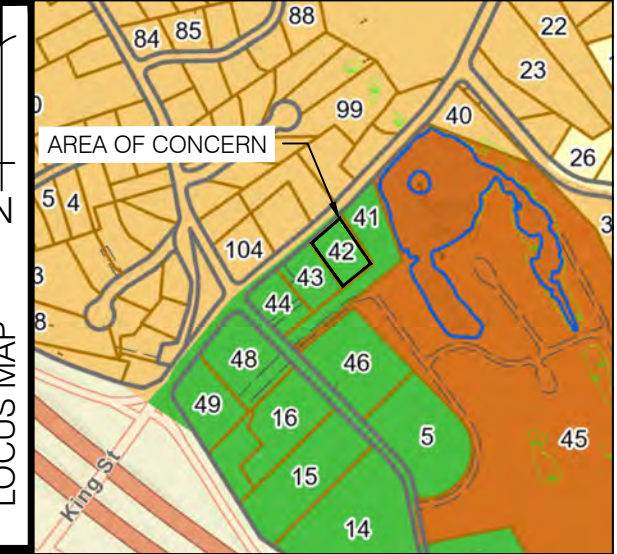
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SCALE
1"=10'

C-103

SCALE
1"=20'

C-200