

# ADIN ESTATES

## Definitive Subdivision Plan of Land Franklin, Massachusetts

Date: July 14, 2025

I, NANCY DANIELLO, CLERK OF THE TOWN OF FRANKLIN, RECEIVED AND RECORDED FROM THE PLANNING BOARD COVENANT APPROVAL OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

### ABUTTERS WITHIN 300'

Abutters List  
Subject Property ID: 304-016  
Search Distance : 300 Feet

- |  |  |   |
|--|--|---|
| 296_045<br>GALARZA ANGEL M. AND<br>GALARZA KATHLEEN N.<br>492 UNION ST.<br>FRANKLIN, MA 02038    | 304_001<br>JERVIS MARGENE<br>JERVIS EDWARD<br>508 UNION ST.<br>FRANKLIN, MA 02038                      | 304_024<br>PELLEGGI GEORGE JR.<br>18 COUTU ST.<br>FRANKLIN, MA. 02038                           |
| 296_058<br>WALBERT SCOTT M.<br>WALBERT MELISSA<br>507 UNION ST.<br>FRANKLIN, MA 02038            | 304_002<br>CARLUCCI ROSE<br>510 UNION ST.<br>FRANKLIN, MA 02038  | 304_027<br>MURPHY JOHN G.<br>MURPHY MARY E.<br>25 COUTU ST.<br>FRANKLIN, MA 02038               |
| 297_041<br>LACK TAYLOR<br>4 CHILMARK RD.<br>FRANKLIN, MA 02038                                   | 304_010<br>EASTWOOD RAYMOND P.<br>EASTWOOD DEBRA A.<br>68 EVERETT ST.<br>FRANKLIN, MA 02038            | 304_028<br>SARAZIN PETER J.<br>SARAZIN DENISE L.<br>27 COUTU ST.<br>FRANKLIN, MA 02038          |
| 303_068<br>VELLUTI GINA M.<br>21 EVERETT ST.<br>FRANKLIN, MA 02038                               | 304_011<br>DEGAETANO GIANNINA FERRARA<br>AMENDOLA PETER N.<br>61 EVERETT ST.<br>FRANKLIN, MA 02038     | 304_029<br>NELSON KIMBERLY J.<br>43 COUTU ST.<br>FRANKLIN, MA 02038                             |
| 303_070<br>UNION ST REALTY TRUST<br>557 UNION ST.FRANKLIN, MA<br>02038                           | 304_012<br>MUCCARONE JUDITH M JOLLY<br>LUANA M. KILEY, LISA A.<br>51 EVERETT ST.<br>FRANKLIN, MA 02038 | 304_030<br>LOMBERTO MARK D.<br>VENDETTI-LOMBERTO JULIE A.<br>45 COUTU ST.<br>FRANKLIN, MA 02038 |
| 303_071<br>GROMELSKI ANTHONY G.<br>GROMELSKI MARLANE<br>555 UNION ST.<br>FRANKLIN, MA 02038      | 304_013<br>COLACE IRREVOCABLE TRUST<br>45 EVERETT ST.<br>FRANKLIN, MA 02038                            | 304_031<br>COLACE JAMES A.<br>COLACE BETH C.<br>55 COUTU ST.<br>FRANKLIN, MA 02038              |
| 303_072<br>NARDUCCI PAMELA L.<br>547 UNION ST.<br>FRANKLIN, MA 02038                             | 304_014<br>TYKS ADAM JAMES<br>37 EVERETT ST.<br>FRANKLIN, MA 02038                                     | 304_031_001<br>COLACE JAMES A.<br>COLACE BETH C.<br>55 COUTU ST.<br>FRANKLIN, MA 02038          |
| 303_073<br>PINELLI EMILIO<br>PINELLI ANNA L/E GIANNI<br>6 PINE HOUSE RD.<br>MILLIS, MA 02054     | 304_015<br>WALTERS JERMAINE<br>23 EVERETT ST.<br>FRANKLIN, MA 02038                                    | 304_031_002<br>COLACE JAMES A.<br>COLACE BETH C.<br>55 COUTU ST.<br>FRANKLIN, MA 02038          |
| 303_074<br>GIULIANO THOMAS P.<br>GIULIANO KARIN L.<br>1 CHILMARK RD<br>FRANKLIN, MA. 02038       | 304_017<br>MASCI PETER J<br>COFFEY JENNIFER L.<br>517 UNION ST<br>FRANKLIN, MA 02038                   | 304_031_003<br>VARJIAN DAVID W. H.<br>VARJIAN CHRISTINE<br>52 COUTU ST.<br>FRANKLIN, MA. 02038  |
| 303_081<br>CAMERON ANDREA N.<br>3 DELTA DR.<br>FRANKLIN, MA 02038                                | 304_018<br>JAEGLI MICHAEL P.<br>JAEGLI KATHRYN<br>513 UNION ST.<br>FRANKLIN, MA 02038                  | 304_032<br>ORENBERG REVOCABLE TRUST<br>50 COUTU ST<br>FRANKLIN, MA. 02038                       |
| 303_082<br>SIGNORELLI JOHN VITO<br>SIGNORELLI PATRICE ANNE<br>1 DELTA DR.<br>FRANKLIN, MA. 02038 | 304_019<br>DAMICO FAMILY TRUST<br>511 UNION ST.<br>FRANKLIN, MA. 02038                                 | 303_081<br>CAMERON ANDREA N.<br>3 DELTA DR.<br>FRANKLIN, MA 02038                               |
| 303_083<br>THOLEN WILLIAM<br>CONNOLLY SHALAM C.<br>546 UNION ST.<br>FRANKLIN, MA. 02038          | 304_020<br>QUINN KARIN<br>6 ZACHARY LN.<br>FRANKLIN, MA. 02038   | 304_034<br>DIMARTINO ANTHONY F.<br>44 COUTU ST.<br>FRANKLIN, MA. 02038                          |
| 303_084<br>GALLO ANDREW J.<br>GALLO MICHELLE D.<br>556 UNION ST.<br>FRANKLIN, MA. 02038          | 304-021<br>JOHNSON BRIAN J.<br>JOHNSON KENDRA L.<br>8 ZACARY LN.<br>FRANKLIN, MA. 02038                | 304_035<br>SHIELDS JAMES J. JR.<br>22 COUTU ST.<br>FRANKLIN, MA. 02038                          |
| 303_085<br>WEIDMAN FAMILY REALTY TRUST<br>1 LORETTA RD.<br>FRANKLIN, MA. 02039                   | 304-022<br>LYNCH THOMAS E.<br>LYNCH KATHLEEN A<br>12 ZACHARY LN.<br>FRANKLIN, MA. 02038                | 304_036<br>MARGUERITE JESSE W.<br>20 COUTU ST.<br>FRANKLIN, MA. 02038                           |
|  | 304_023<br>NOLAN JAMES M. JR.<br>HAYUN MALKIT<br>11 ZACHARY LN.<br>FRANKLIN, MA. 02038                 |   |



### INDEX

- COVER SHEET
- LOTING PLAN
- EXISTING CONDITIONS PLAN
- EROSION CONTROL PLAN
- SITE LAYOUT, LANDSCAPING, AND LIGHTING PLAN
- UTILITY PLAN
- GRADING PLAN
- PLAN AND PROFILE
- 9-10. CONSTRUCTION DETAILS

### WAIVERS REQUESTED

- SECTION 300-13 OTHER IMPROVEMENTS A SIDEWALKS(1). TO INSTALL ONE SIDEWALK WHERE TWO SIDEWALKS ARE REQUIRED.

APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
BEING A MAJORITY

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS. THIS IS NOT A CERTIFICATION AS TO THE TITLE OR OWNERSHIP OF THE LAND SHOWN HEREON.  
10/14/2025



OWNER  
CALARESE PROPERTIES  
154 BROOKVIEW ROAD  
FRANKLIN, MA 02038  
DEED BOOK 42525 PAGE 508  
PLAN No. 862 OF 1956 PLAN Bk. 3485  
A.M. 304 LOT 16

APPLICANT  
CALARESE PROPERTIES  
154 BROOKVIEW ROAD  
FRANKLIN, MA 02038

ADIN ESTATES  
DEFINITIVE SUBDIVISION  
PLAN OF LAND  
FRANKLIN  
MASSACHUSETTS

COVER  
JULY 14, 2025

DATE	REVISION DESCRIPTION
10.10.2025	REVISED TO 5 LOTS.

Guerriere & Halnon, Inc.  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gondhengineering.com

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CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

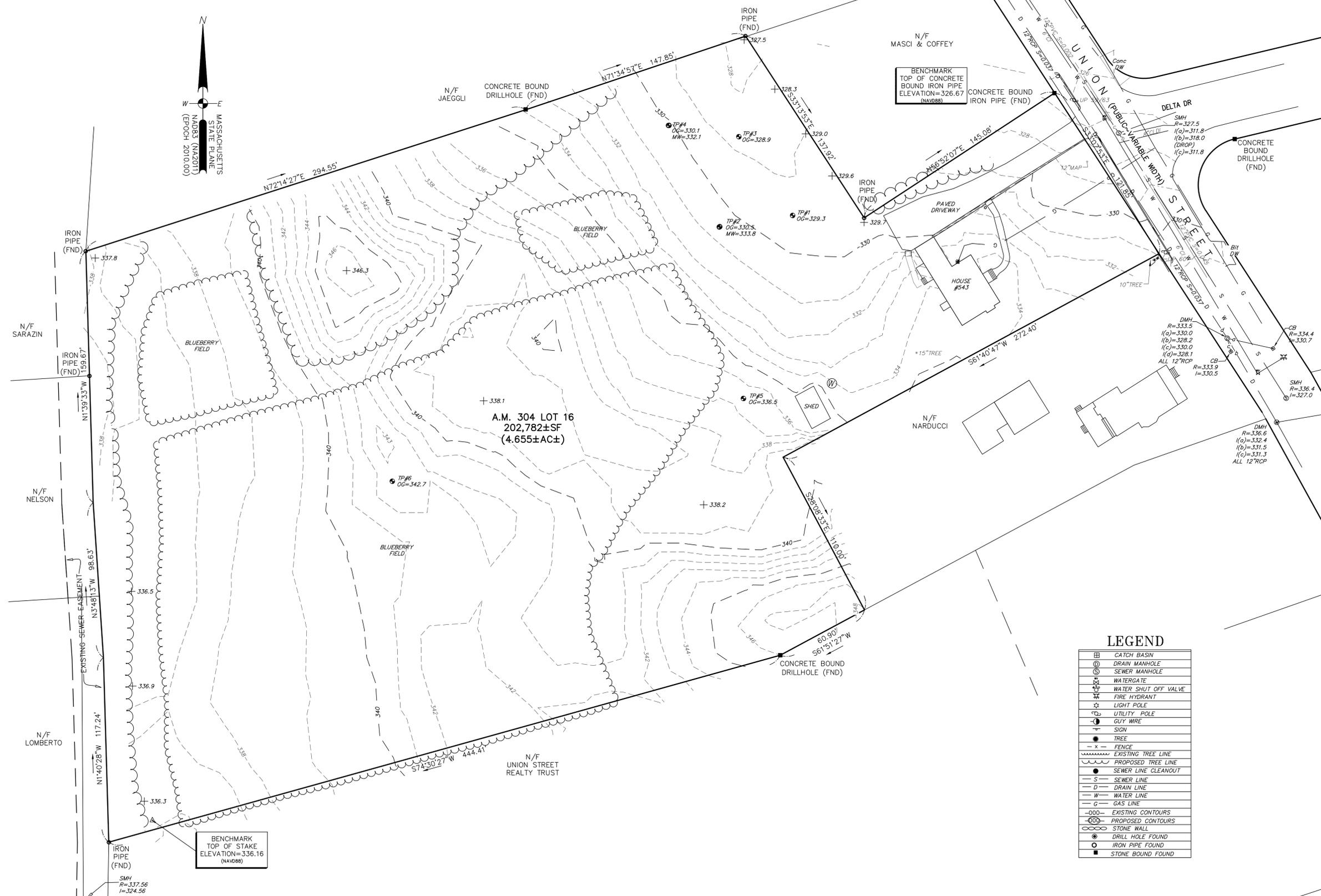
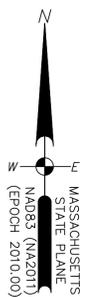


**TESTING INFORMATION**

TESTING DATE: MARCH 21, 2025 SOIL EVALUATOR: BRIAN HASSETT

000	TP 1	000	TP 2	000	TP 3	000	TP 4	000	TP 5	000	TP 6
000	SANDY LOAM A 0-5"	000	SANDY LOAM A 0-6"	000	SANDY LOAM A 0-6"	000	SANDY LOAM A 0-6"	000	SANDY LOAM A 0-3"	000	SANDY LOAM A 0-3"
000	SANDY LOAM B 5-24"	000	SANDY LOAM B 6-18"	000	SANDY LOAM B 6-18"	000	SANDY LOAM B 6-24"	000	SANDY LOAM B 3-18"	000	SANDY LOAM B 3-15"
000	GRAVEL C1 24-72"	000	SANDY LOAM C4 18-36"	000	GRAVEL C4 18-36"	000	SANDY LOAM C4 24-36"	000	GRAVEL C1 18-48"	000	SANDY LOAM B 3-15"
000	FINE SAND (AEOLIN) C2 72-90"	000	GRAVEL C1 36-72"	000	FINE SAND (AEOLIN) C1 36-72"	000	GRAVEL C1 36-72"	000	FINE SAND (AEOLIN) C2 72-90"	000	SANDY GRAVEL VERY BONEY COBBLES C5 15-72"
000	SAND MINOR SILT C3 90-132"	000	FINE SAND (AEOLIN) C2 72-84"	000	SAND MINOR SILT C3 72-120"	000	FINE SAND (AEOLIN) C2 72-90"	000	FINE SAND (AEOLIN) C3 48-96"	000	NO MOTILES REFUSAL 284.73
	WEEPING @ 10'		SAND MINOR SILT C3 84-120"		WEEPING @ 10'		SAND MINOR SILT C3 72-120"		NO MOTILES WEEPING NO REFUSAL		
			WEEPING @ 10'		WEEPING @ 10'		WEEPING @ 10'		NO MOTILES WEEPING NO REFUSAL		
			MOTILES @ 96" PERCHED		NO MOTILES WEEPING @ 10'		MOTILES @ 96" PERCHED				

- NOTES:
- THIS LAND REFERS TO FRANKLIN ASSESSOR MAP 304 LOT 16.
  - THIS LAND IS ZONED SINGLE FAMILY RESIDENTIAL III.
  - NO WETLANDS WERE OBSERVED ON THIS SITE.
  - THIS SITE IS NOT WITHIN WATER RESOURCE DISTRICT.
  - ELEVATIONS REFER TO NAVD 88.
  - TOPOGRAPHY AND PHYSICAL FEATURES WERE OBTAINED FROM AN ON-THE-GROUND SURVEY BY GUERRIERE & HALNON, INC FROM MARCH 27, 2025 THROUGH APRIL 22, 2025.



**LEGEND**

[Symbol]	CATCH BASIN
[Symbol]	DRAIN MANHOLE
[Symbol]	SEWER MANHOLE
[Symbol]	WATERGATE
[Symbol]	WATER SHUT OFF VALVE
[Symbol]	FIRE HYDRANT
[Symbol]	LIGHT POLE
[Symbol]	UTILITY POLE
[Symbol]	GUY WIRE
[Symbol]	SIGN
[Symbol]	TREE
[Symbol]	FENCE
[Symbol]	EXISTING TREE LINE
[Symbol]	PROPOSED TREE LINE
[Symbol]	SEWER LINE CLEANOUT
[Symbol]	SEWER LINE
[Symbol]	DRAIN LINE
[Symbol]	WATER LINE
[Symbol]	GAS LINE
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	STONE WALL
[Symbol]	DRILL HOLE FOUND
[Symbol]	IRON PIPE FOUND
[Symbol]	STONE BOUND FOUND



APPROVED DATE: \_\_\_\_\_  
 FRANKLIN PLANNING BOARD  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 BEING A MAJORITY

**LEGAL NOTES**

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENT MARKINGS AND OTHER OBSERVED EVIDENCE. FOR A VIEW OF THE UNDERGROUND UTILITIES, A SHOUL BE CONSIDERED APPROXIMATE. DURING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ASSURED. COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY BE OBSERVED BY CONTRACTORS (IN ACCORDANCE WITH MASSACHUSETTS CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

**OWNER**

CALARESE PROPERTIES  
 154 BROOKVIEW ROAD  
 FRANKLIN, MA 02038

DEED BOOK 42525 PAGE 508  
 PLAN No. 862 OF 1956 PLAN Bk. 3485  
 A.M. 304-Lot 16

**APPLICANT**

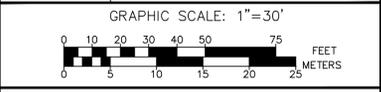
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 154 BROOKVIEW ROAD  
 FRANKLIN, MA 02038

**ADIN ESTATES  
 DEFINITIVE SUBDIVISION  
 PLAN OF LAND  
 FRANKLIN  
 MASSACHUSETTS**

**EXISTING CONDITIONS**

**JULY 14, 2025**

DATE	REVISION DESCRIPTION
10.10.2025	REVISED TO 5 LOTS.



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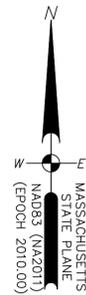
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**GENERAL NOTES:**

1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
2. INSTALL SILT SACKS IN ALL EXISTING CATCH BASINS WITHIN THE AREA OF WORK.
3. INSTALL BARRIER AROUND CATCH BASIN, COMPOST SOCK OR EQUAL.
4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
6. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
7. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.
8. FOR ADDITIONAL EROSION CONTROL NOTES SEE DETAIL SHEET 9

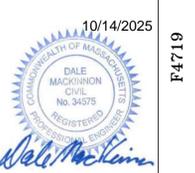
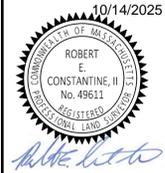
**DEBRIS NOTE:**

1. PRIOR TO ANY WORK COMMENCING THE PROPERTY, THE OWNER WILL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO ANY PUBLIC WAY, THE OWNER/APPLICANT AND HIS ASSIGNS SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY. ALL CLEANUPS SHALL OCCUR WITHIN 24 HOURS AFTER FIRST WRITTEN NOTIFIACION TO THE OWNER/APPLIACNT BY THE BOARD OR ITS DESIGNEE.



**LEGEND**

⊞	CATCH BASIN
⊙	DRAIN MANHOLE
⊚	SEWER MANHOLE
⊞	WATERGATE
⊞	WATER SHUT OFF VALVE
⊞	FIRE HYDRANT
⊞	LIGHT POLE
⊞	UTILITY POLE
⊞	GUY WIRE
⊞	SIGN
●	TREE
- x -	FENCE
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
●	SEWER LINE CLEANOUT
- S -	SEWER LINE
- D -	DRAIN LINE
- W -	WATER LINE
- G -	GAS LINE
-000-	EXISTING CONTOURS
-000-	PROPOSED CONTOURS
⊞	STONE WALL
⊙	DRILL HOLE FOUND
⊙	IRON PIPE FOUND
⊙	STONE BOUND FOUND
---	EROSION CONTROL



F4719

APPROVED DATE: \_\_\_\_\_

FRANKLIN PLANNING BOARD

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

BEING A MAJORITY

**LEGAL NOTES**

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**OWNER**

CALARESE PROPERTIES  
154 BROOKVIEW ROAD  
FRANKLIN, MA 02038

DEED BOOK 42525 PAGE 508  
PLAN No. 862 OF 1956 PLAN Bk. 3485  
A.M. 304 LOT 16

**APPLICANT**

CALARESE PROPERTIES  
154 BROOKVIEW ROAD  
FRANKLIN, MA 02038

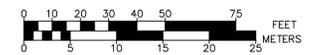
**ADIN ESTATES  
DEFINITIVE SUBDIVISION  
PLAN OF LAND  
FRANKLIN  
MASSACHUSETTS**

**EROSION CONTROL PLAN**

**JULY 14, 2025**

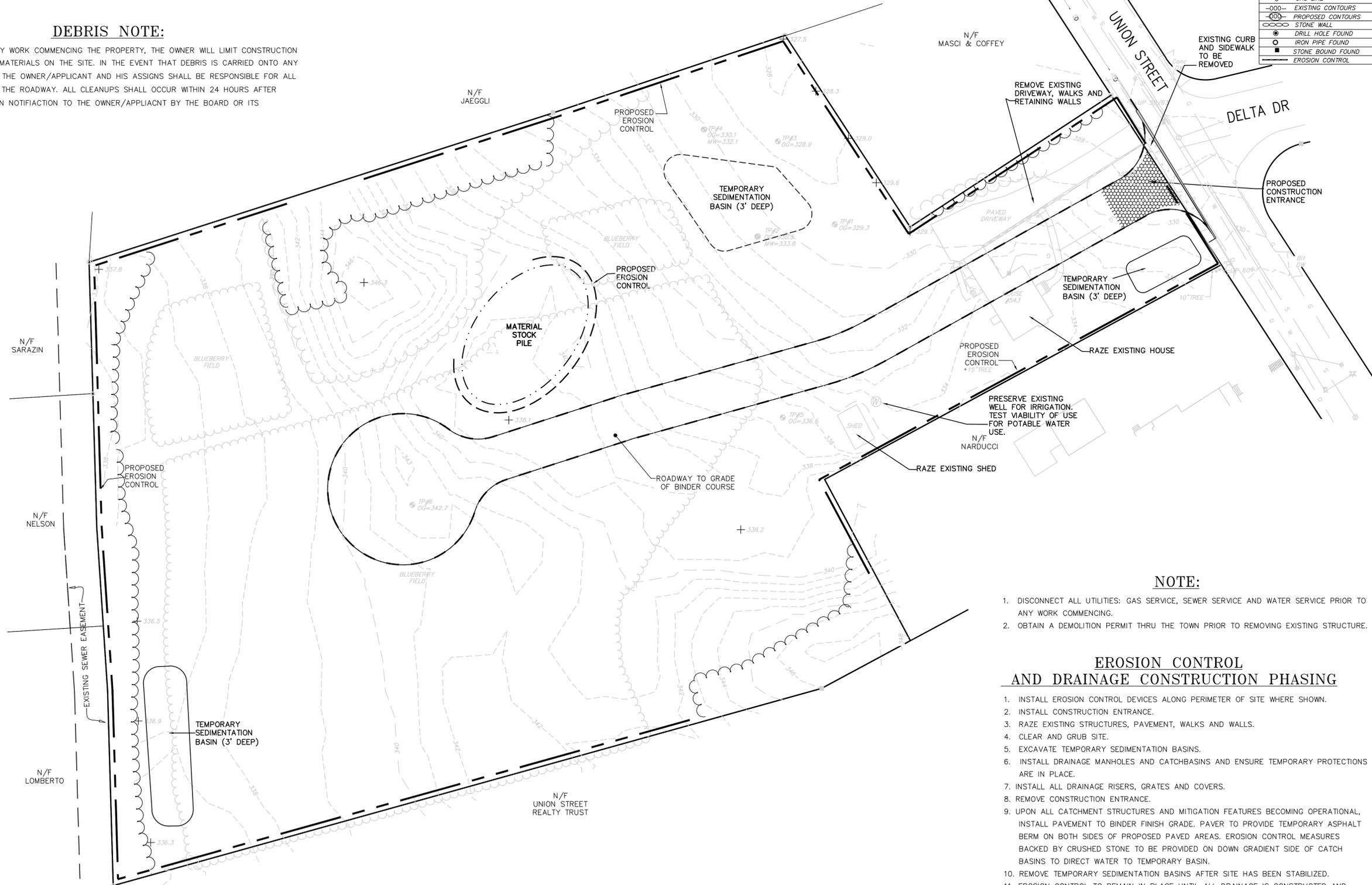
DATE	REVISION DESCRIPTION
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GRAPHIC SCALE: 1"=30'



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**NOTE:**

1. DISCONNECT ALL UTILITIES: GAS SERVICE, SEWER SERVICE AND WATER SERVICE PRIOR TO ANY WORK COMMENCING.
2. OBTAIN A DEMOLITION PERMIT THRU THE TOWN PRIOR TO REMOVING EXISTING STRUCTURE.

**EROSION CONTROL  
AND DRAINAGE CONSTRUCTION PHASING**

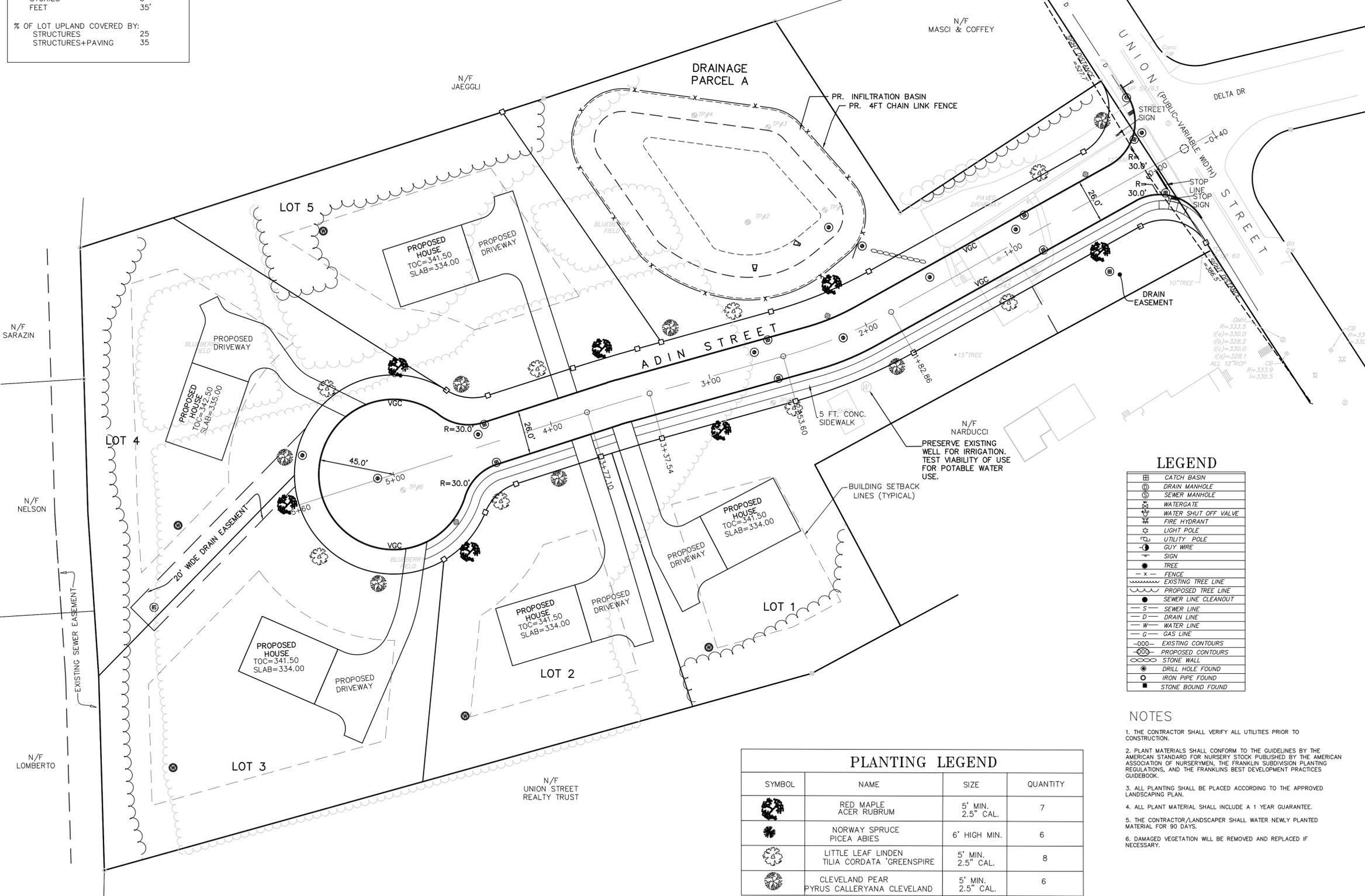
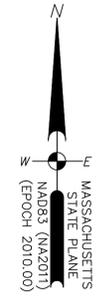
1. INSTALL EROSION CONTROL DEVICES ALONG PERIMETER OF SITE WHERE SHOWN.
2. INSTALL CONSTRUCTION ENTRANCE.
3. RAZE EXISTING STRUCTURES, PAVEMENT, WALKS AND WALLS.
4. CLEAR AND GRUB SITE.
5. EXCAVATE TEMPORARY SEDIMENTATION BASINS.
6. INSTALL DRAINAGE MANHOLES AND CATCHBASINS AND ENSURE TEMPORARY PROTECTIONS ARE IN PLACE.
7. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS.
8. REMOVE CONSTRUCTION ENTRANCE.
9. UPON ALL CATCHMENT STRUCTURES AND MITIGATION FEATURES BECOMING OPERATIONAL, INSTALL PAVEMENT TO BINDER FINISH GRADE. PAVER TO PROVIDE TEMPORARY ASPHALT BERM ON BOTH SIDES OF PROPOSED PAVED AREAS. EROSION CONTROL MEASURES BACKED BY CRUSHED STONE TO BE PROVIDED ON DOWN GRADIENT SIDE OF CATCH BASINS TO DIRECT WATER TO TEMPORARY BASIN.
10. REMOVE TEMPORARY SEDIMENTATION BASINS AFTER SITE HAS BEEN STABILIZED.
11. EROSION CONTROL TO REMAIN IN PLACE UNTIL ALL DRAINAGE IS CONSTRUCTED AND INSPECTED AND READY TO RECEIVE FULL DESIGN FLOWS.

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**SINGLE FAMILY RESIDENTIAL III**  
FRANKLIN ZONING BYLAW SECTION 185  
ATTACHMENT 9: LAST AMENDED  
09-06-2023 BY AMENDMENT 23-898

MINIMUM LOT AREA	20,000 SF
MINIMUM LOT FRONTAGE	125'
MINIMUM LOT DEPTH	160'
MINIMUM LOT WIDTH	112.5'
MINIMUM YARDS	
FRONT	40'
SIDE	25'
REAR	30'
MAXIMUM STORIES	3
FEET	35'
% OF LOT UPLAND COVERED BY:	
STRUCTURES	25
STRUCTURES+PAVING	35



**LEGEND**

[Symbol]	CATCH BASIN
[Symbol]	DRAIN MANHOLE
[Symbol]	SEWER MANHOLE
[Symbol]	WATERGATE
[Symbol]	WATER SHUT OFF VALVE
[Symbol]	FIRE HYDRANT
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[Symbol]	DRILL HOLE FOUND
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[Symbol]	STONE BOUND FOUND

- NOTES**
1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
  2. PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSESMEN, THE FRANKLIN SUBDIVISION PLANTING REGULATIONS, AND THE FRANKLIN'S BEST DEVELOPMENT PRACTICES GUIDEBOOK.
  3. ALL PLANTING SHALL BE PLACED ACCORDING TO THE APPROVED LANDSCAPING PLAN.
  4. ALL PLANT MATERIAL SHALL INCLUDE A 1 YEAR GUARANTEE.
  5. THE CONTRACTOR/LANDSCAPER SHALL WATER NEWLY PLANTED MATERIAL FOR 90 DAYS.
  6. DAMAGED VEGETATION WILL BE REMOVED AND REPLACED IF NECESSARY.

**PLANTING LEGEND**

SYMBOL	NAME	SIZE	QUANTITY
[Symbol]	RED MAPLE ACER RUBRUM	5" MIN. 2.5" CAL.	7
[Symbol]	NORWAY SPRUCE PICEA ABIES	6" HIGH MIN.	6
[Symbol]	LITTLE LEAF LINDEN TILIA CORDATA 'GREENSPIRE	5" MIN. 2.5" CAL.	8
[Symbol]	CLEVELAND PEAR PYRUS CALLERYANA CLEVELAND	5" MIN. 2.5" CAL.	6



APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
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\_\_\_\_\_  
BEING A MAJORITY

**LEGAL NOTES**

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**OWNER**

CALARESE PROPERTIES  
154 BROOKVIEW ROAD  
FRANKLIN, MA 02038

DEED BOOK 42525 PAGE 508  
PLAN No. 862 OF 1956 PLAN Bk. 3485  
A.M. 304 LOT 16

**APPLICANT**

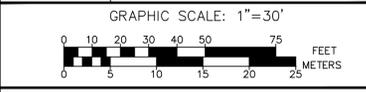
CALARESE PROPERTIES  
154 BROOKVIEW ROAD  
FRANKLIN, MA 02038

**ADIN ESTATES  
DEFINITIVE SUBDIVISION  
PLAN OF LAND  
FRANKLIN  
MASSACHUSETTS**

**SITE LAYOUT, LANDSCAPING  
AND LIGHTING PLAN**

**JULY 14, 2025**

DATE	REVISION DESCRIPTION
10.10.2025	REVISED TO 5 LOTS.



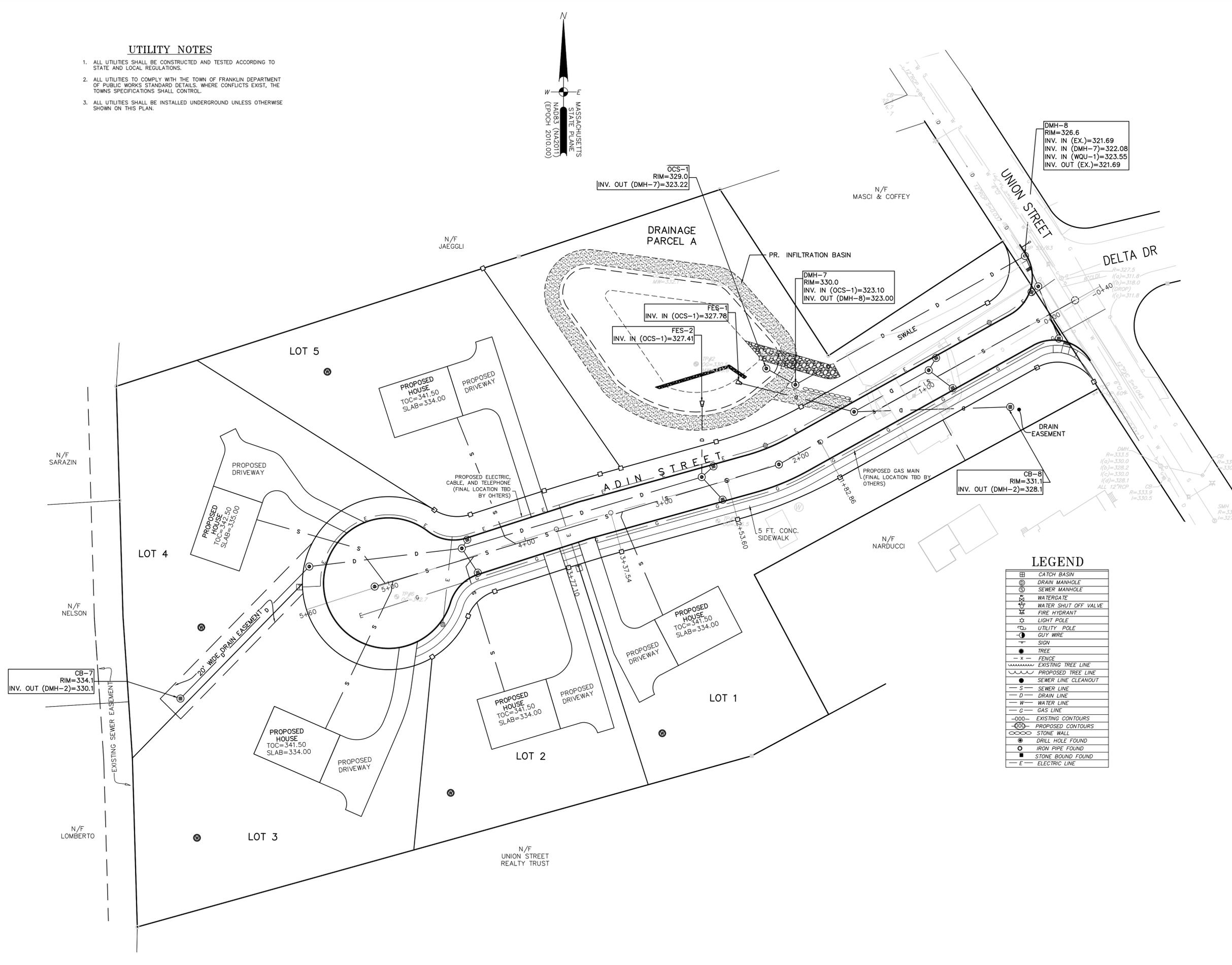
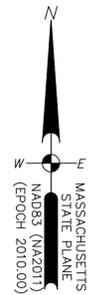
**Guerriere & Halnon, Inc.**  
ENGINEERING & LAND SURVEYING

55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
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**UTILITY NOTES**

1. ALL UTILITIES SHALL BE CONSTRUCTED AND TESTED ACCORDING TO STATE AND LOCAL REGULATIONS.
2. ALL UTILITIES TO COMPLY WITH THE TOWN OF FRANKLIN DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS. WHERE CONFLICTS EXIST, THE TOWNS SPECIFICATIONS SHALL CONTROL.
3. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE SHOWN ON THIS PLAN.



DMH-8  
RIM=326.6  
INV. IN (EX.)=321.69  
INV. IN (DMH-7)=322.08  
INV. IN (WQU-1)=323.55  
INV. OUT (EX.)=321.69

DMH-7  
RIM=330.0  
INV. IN (OCS-1)=323.10  
INV. OUT (DMH-8)=323.00

OCS-1  
RIM=329.0  
INV. OUT (DMH-7)=323.22

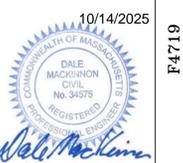
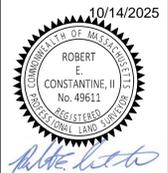
FES-1  
INV. IN (OCS-1)=327.78  
FES-2  
INV. IN (OCS-1)=327.41

CB-8  
RIM=331.1  
INV. OUT (DMH-2)=328.1

CB-7  
RIM=334.1  
INV. OUT (DMH-2)=330.1

**LEGEND**

⊠	CATCH BASIN
⊙	DRAIN MANHOLE
⊕	SEWER MANHOLE
⊗	WATERGATE
⊘	WATER SHUT OFF VALVE
⊙	FIRE HYDRANT
⊙	LIGHT POLE
⊙	UTILITY POLE
⊙	GUY WIRE
⊙	SIGN
⊙	TREE
-x-	FENCE
- - -	EXISTING TREE LINE
- - -	PROPOSED TREE LINE
⊙	SEWER LINE CLEANOUT
-S-	SEWER LINE
-D-	DRAIN LINE
-W-	WATER LINE
-G-	GAS LINE
-000-	EXISTING CONTOURS
-000-	PROPOSED CONTOURS
⊙	STONE WALL
⊙	DRILL HOLE FOUND
⊙	IRON PIPE FOUND
⊙	STONE BOUND FOUND
-E-	ELECTRIC LINE



F4719

APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
BEING A MAJORITY

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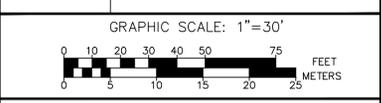
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154 BROOKVIEW ROAD  
FRANKLIN, MA 02038

**ADIN ESTATES  
DEFINITIVE SUBDIVISION  
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FRANKLIN  
MASSACHUSETTS**

**UTILITY PLAN**

**JULY 14, 2025**

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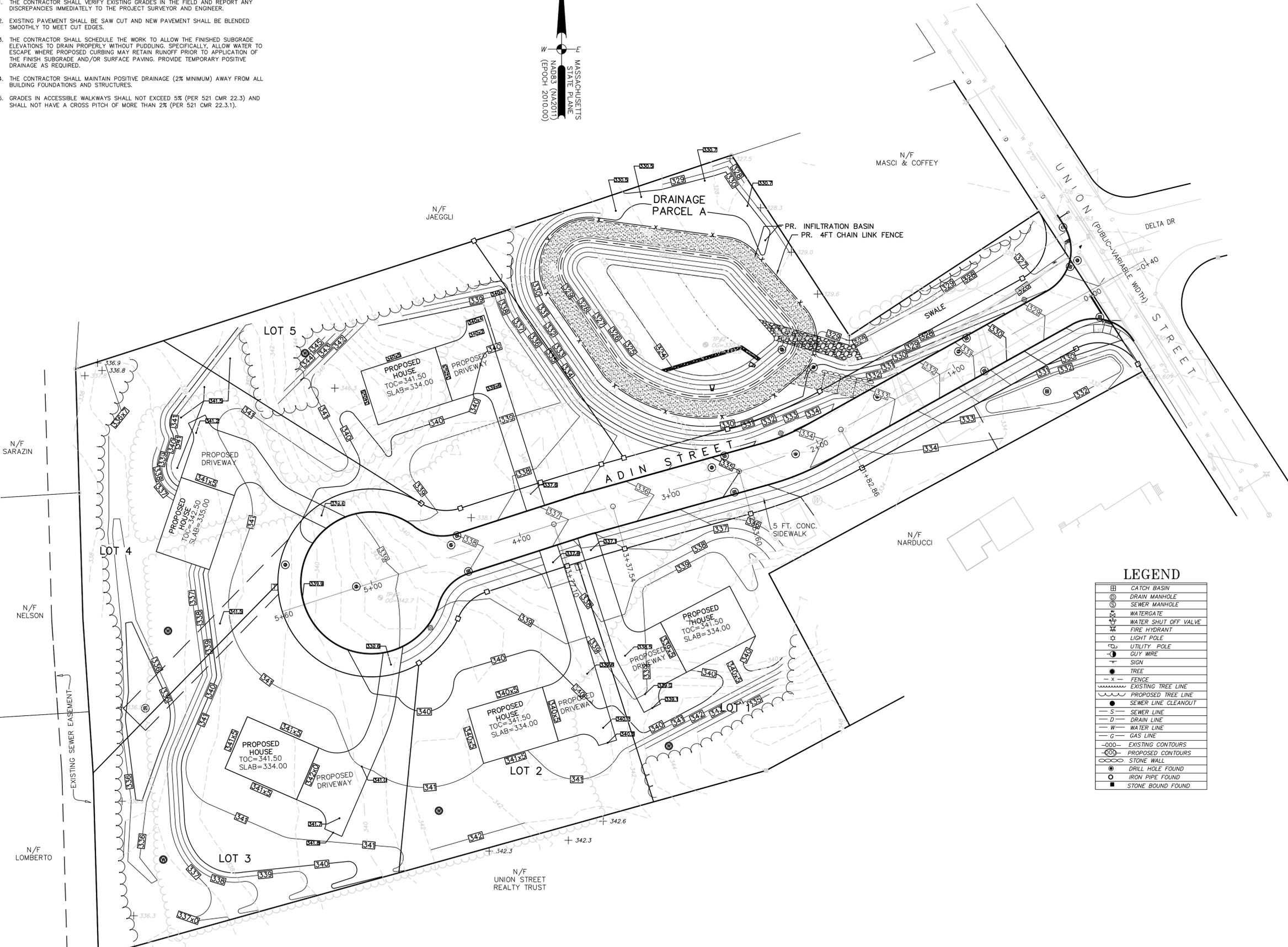
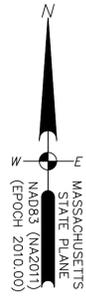


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**GRADING AND DRAINAGE NOTES**

1. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE PROJECT SURVEYOR AND ENGINEER.
2. EXISTING PAVEMENT SHALL BE SAW CUT AND NEW PAVEMENT SHALL BE BLENDED SMOOTHLY TO MEET CUT EDGES.
3. THE CONTRACTOR SHALL SCHEDULE THE WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURBING MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE (2% MINIMUM) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
5. GRADES IN ACCESSIBLE WALKWAYS SHALL NOT EXCEED 5% (PER 521 CMR 22.3) AND SHALL NOT HAVE A CROSS PITCH OF MORE THAN 2% (PER 521 CMR 22.3.1).



**LEGEND**

[Symbol]	CATCH BASIN
[Symbol]	DRAIN MANHOLE
[Symbol]	SEWER MANHOLE
[Symbol]	WATERGATE
[Symbol]	WATER SHUT OFF VALVE
[Symbol]	FIRE HYDRANT
[Symbol]	LIGHT POLE
[Symbol]	UTILITY POLE
[Symbol]	GUY WIRE
[Symbol]	SIGN
[Symbol]	TREE
[Symbol]	FENCE
[Symbol]	EXISTING TREE LINE
[Symbol]	PROPOSED TREE LINE
[Symbol]	SEWER LINE CLEANOUT
[Symbol]	SEWER LINE
[Symbol]	DRAIN LINE
[Symbol]	WATER LINE
[Symbol]	GAS LINE
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	STONE WALL
[Symbol]	DRILL HOLE FOUND
[Symbol]	IRON PIPE FOUND
[Symbol]	STONE BOUND FOUND



F4719

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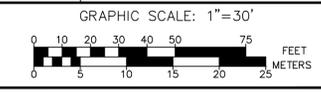
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 PLAN OF LAND  
 FRANKLIN  
 MASSACHUSETTS**

**GRADING PLAN**

**JULY 14, 2025**

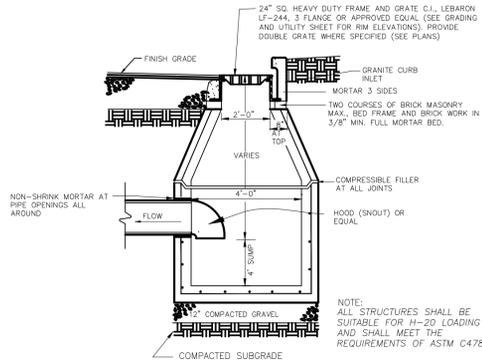
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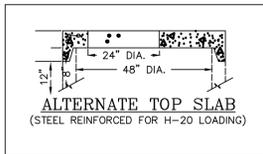
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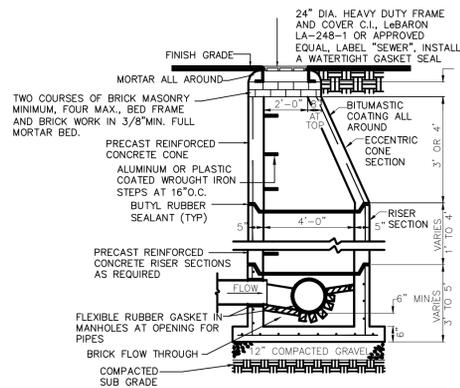




TYP. PRECAST CONCRETE CATCH BASIN DETAIL  
NOT TO SCALE

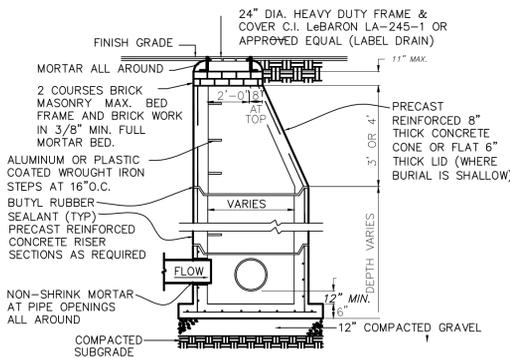


ALTERNATE TOP SLAB  
(STEEL REINFORCED FOR H-20 LOADING)



TYP. PRECAST CONCRETE MANHOLE SANITARY  
N.T.S.

NOTE: ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.

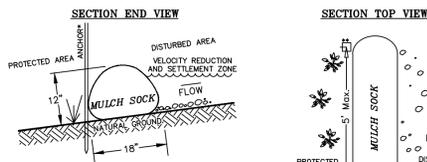


TYP. PRECAST CONCRETE MANHOLE STORM DRAIN  
N.T.S.

NOTE: ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. C478.

**INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE**

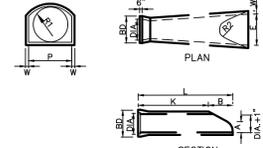
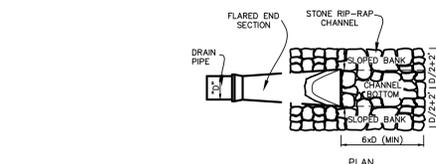
1. INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER.
2. CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED. CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
3. STOCKPILE LOAM, OR REMOVE LOAM.
4. INSTALL PIPES FOR DRAINAGE SYSTEMS. INSTALL DISCHARGE POINT ON EACH SYSTEM.
5. BRING SITE TO SUB-GRADE.
6. ALL SLOPES ALONG THE PROPERTY LINES SHALL BE MULCHED TEMPORARILY, IF DISTURBED.
7. TEMPORARY STONE (3/4" - 1 1/2") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING PAVEMENT. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PARKING LOT OR PUBLIC WAYS.
8. ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVICE.
9. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE. THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
11. CLEAN ALL SEDIMENT OUT OF TEMPORARY BASIN AND INSTALL CLEAN FILL PER PLAN SPECIFICATIONS PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
12. THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION PROPER FILTERFABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
13. ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
14. SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
15. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, AND TEMPORARY BASIN. INSTALL SILT BAGS AT EACH CATCH BASIN. KEEP SITE SWEEP AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.



**MULCH SOCK COMPONENTS:**  
OUTSIDE CASING: 100% organic hessian.  
FILLER INGREDIENT: FiberRoot Mulch™  
A blend of coarse and fine compost and shredded wood.  
Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.  
Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./f.t.)

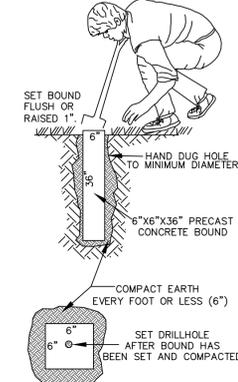
**MULCH SOCK INSTALLATION:**  
With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.  
Sections can also be delivered to the site in lengths from 1' to 8'.  
The flexibility of MULCH SOCK allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.  
Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union. No additional anchors are required on slopes less than 2:1. \*\*Additional anchors are required at 5' intervals (max.) on the downslope or protected side on slopes greater than 2:1 to prevent movement.

MULCH SOCK DETAIL  
NOT TO SCALE

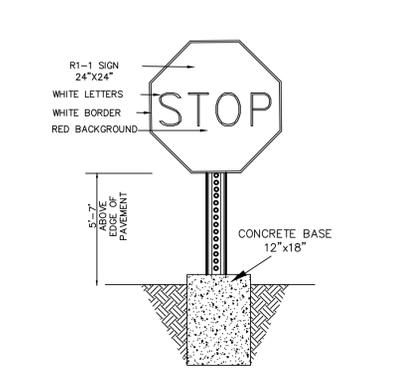


DIA	W	H	S	E	SD	K	L	P	DIA+1	R1	R2	S	G	SLOPE		
12"	2"	4"	2'-0"	4'-7/8"	6'-1-3/8"	2'-0"	20"	4'-6-1/8"	6'-6-1/8"	19-13/14"	13"	10'-1/8"	9"	4"	2.5"	3:1

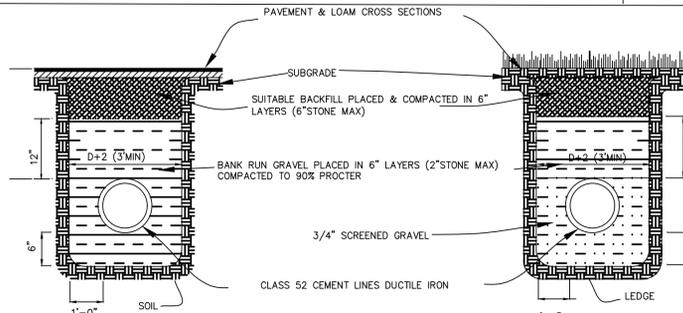
FLARED END SECTION  
NOT TO SCALE



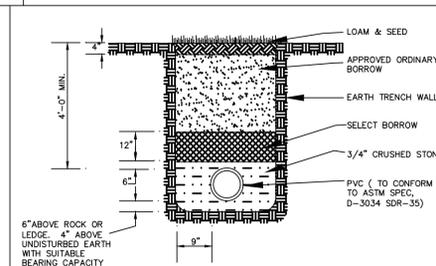
CONCRETE BOUND DETAIL  
NOT TO SCALE



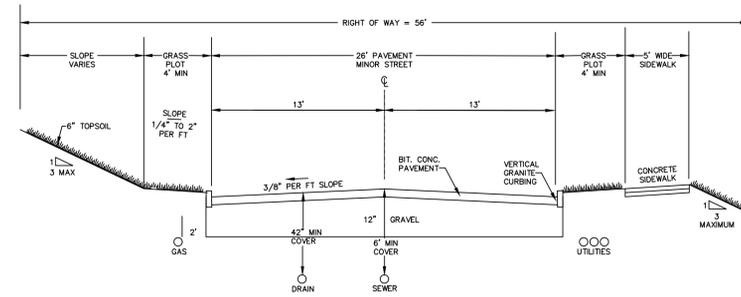
STOP SIGN DETAIL



TYPICAL TRENCH SECTION FOR D.I. WATER MAIN (TYPE 5 BEDDING AWWAC-600)



TYPICAL P.V.C. TRENCH SECTION



TYPICAL ROAD CROSS SECTION  
NOT TO SCALE

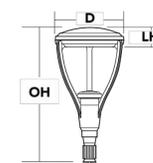
LITHONIA LIGHTING  
COMMERCIAL OUTDOOR  
One Lithonia Way • Conroy, Georgia 30012 • Phone: 800-755-6676 • www.lithoniam.com  
© 2011-2024 Anvoly Brandy Lighting, Inc. All rights reserved.



**MRP LED**  
LED Area Luminaire



**Specifications**  
EPA: 1,125 ft<sup>2</sup> (0.103 m<sup>2</sup>)  
Luminaire Height: 6-3/8\"/>



REGISTRY USE ONLY  
F4719

APPROVED DATE:  
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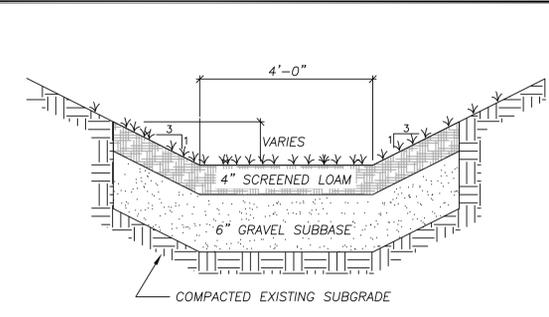
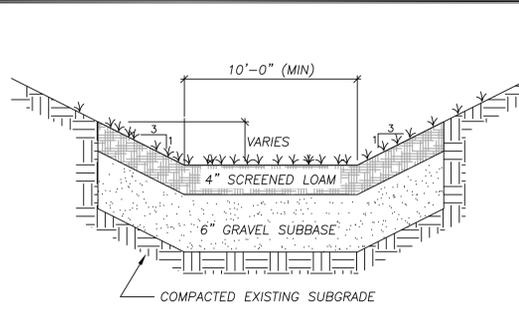
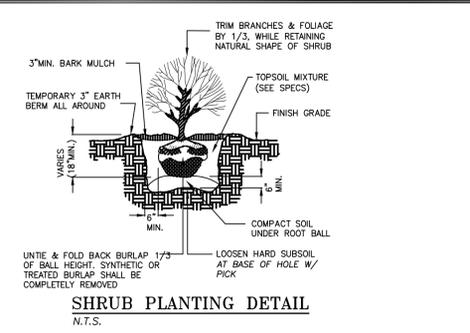
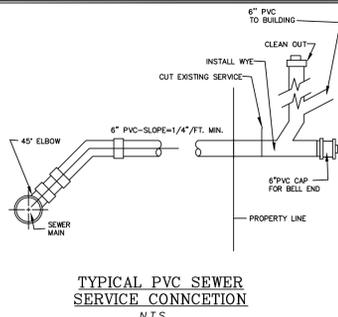
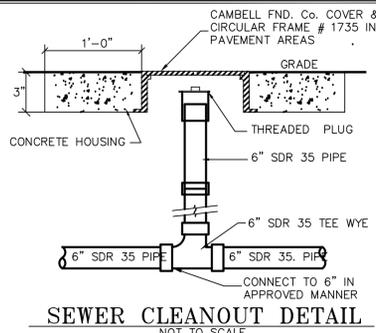
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NOTE:  
1. SIDE SLOPES OF THE SWALE NOT TO EXCEED A 3:1 SLOPE

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1. SIDE SLOPES OF THE SWALE NOT TO EXCEED A 3:1 SLOPE



F4719

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DEFINITIVE SUBDIVISION  
PLAN OF LAND  
FRANKLIN  
MASSACHUSETTS**

**CONSTRUCTION DETAILS**

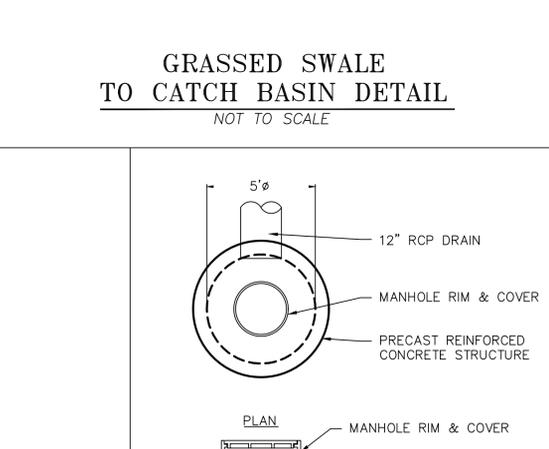
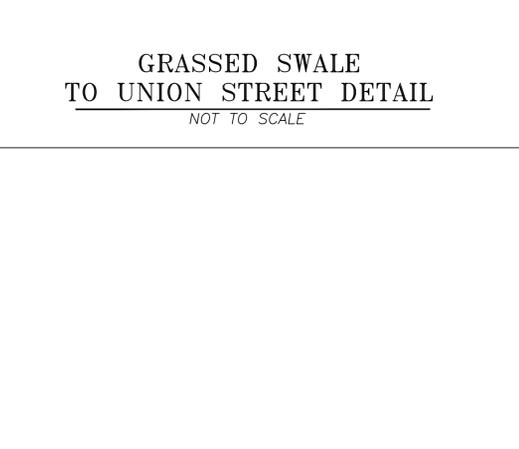
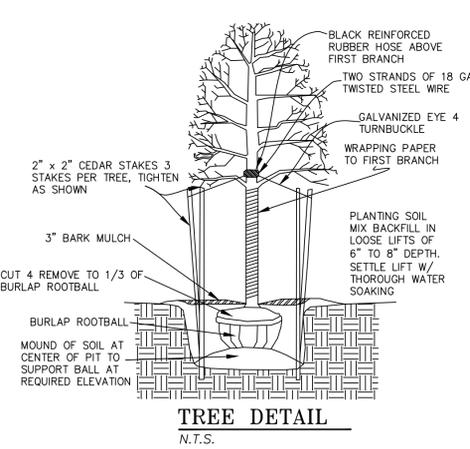
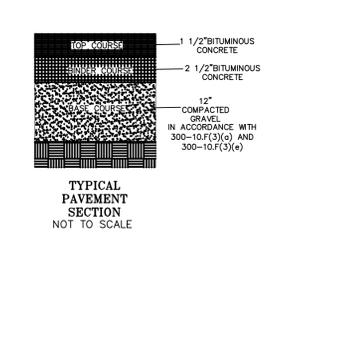
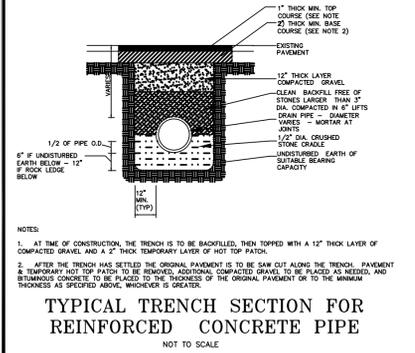
**JULY 14, 2025**

DATE	REVISION DESCRIPTION
10.10.2025	REVISED TO 5 LOTS.



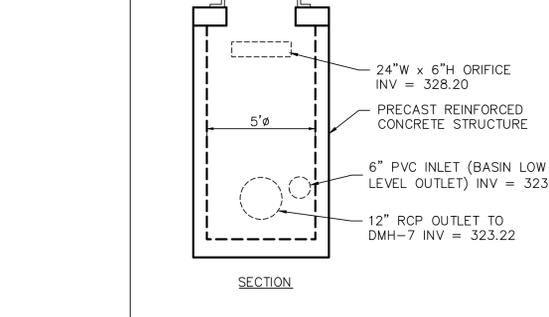
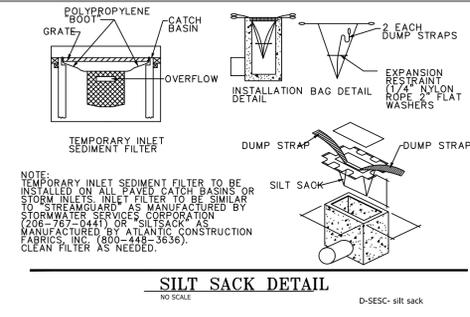
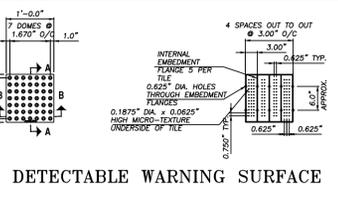
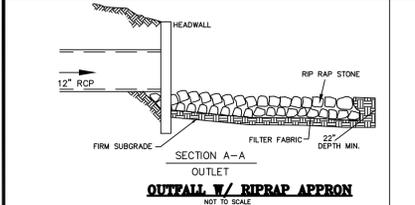
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com

SHEET 10 OF 10 JOB NO. F4719



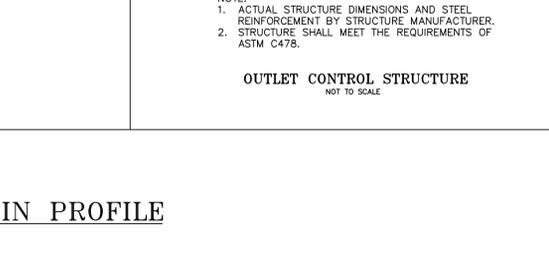
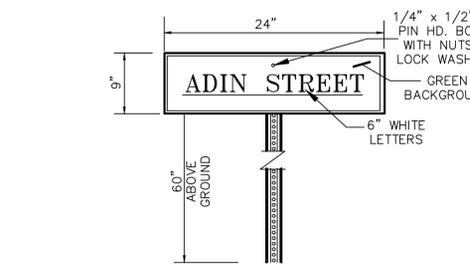
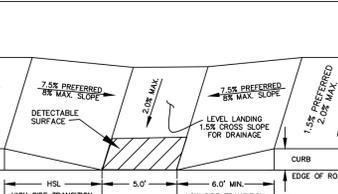
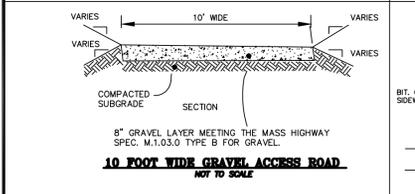
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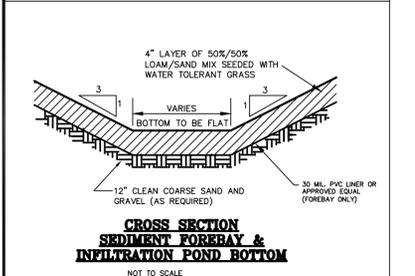
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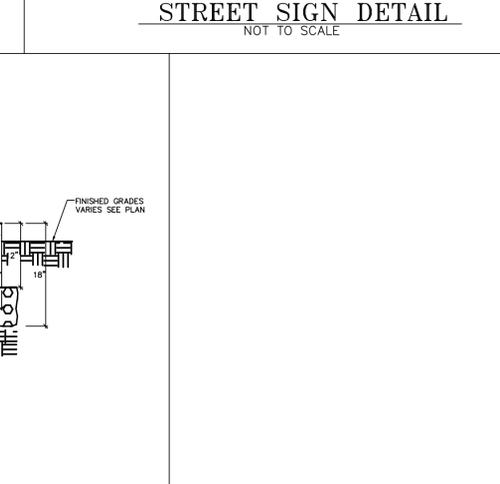
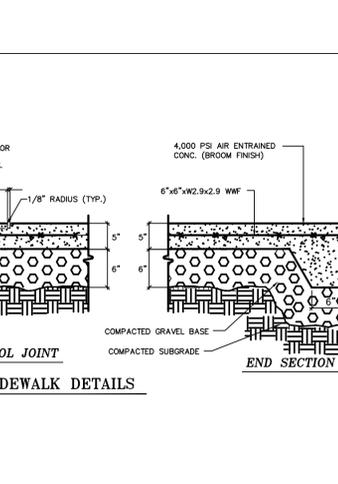
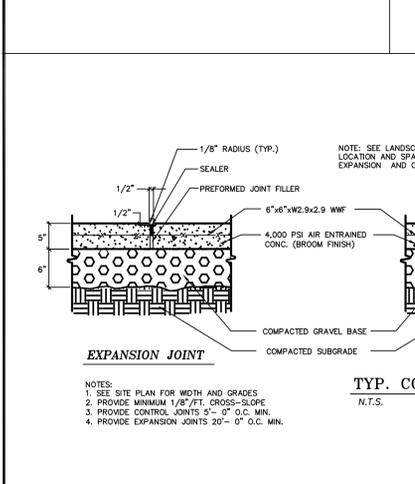
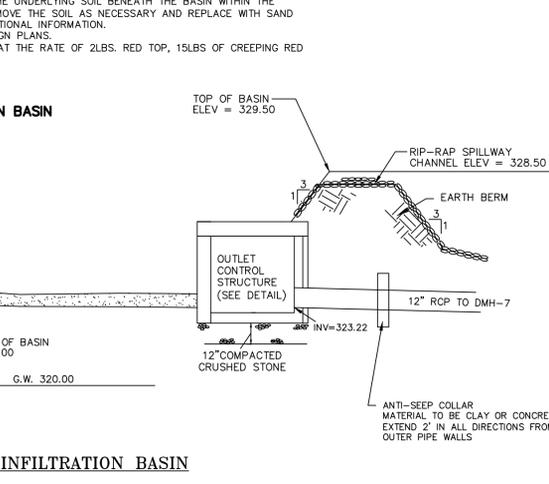
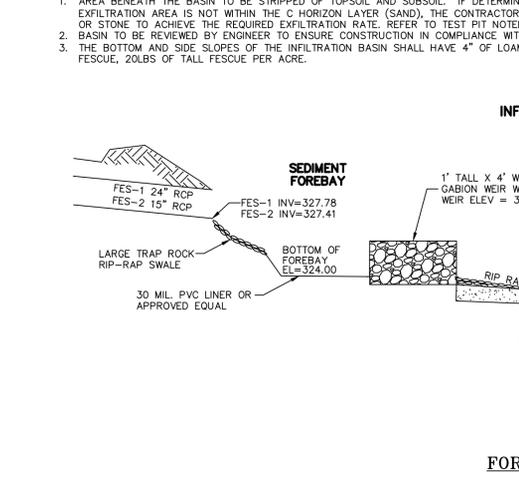
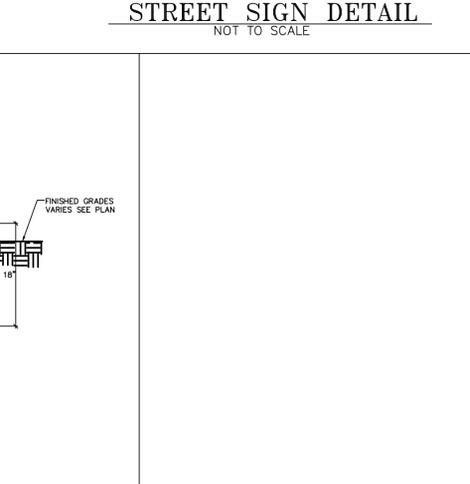


NOTE:  
1. AREA BENEATH THE BASIN TO BE STRIPPED OF TOPSOIL AND SUBSOIL. IF DETERMINED THAT THE UNDERLYING SOIL BENEATH THE BASIN WITHIN THE INFILTRATION AREA IS NOT WITHIN THE C HORIZON LAYER (SAND), THE CONTRACTOR SHALL REMOVE THE SOIL AS NECESSARY AND REPLACE WITH SAND OR STONE TO ACHIEVE THE REQUIRED INFILTRATION RATE. REFER TO TEST PIT NOTED FOR ADDITIONAL INFORMATION.  
2. BASIN TO BE REVIEWED BY ENGINEER TO ENSURE CONSTRUCTION IN COMPLIANCE WITH THE DESIGN PLANS.  
3. THE BOTTOM AND SIDE SLOPES OF THE INFILTRATION BASIN SHALL HAVE 4" OF LOAM, SEEDED AT THE RATE OF 2LBS. RED TOP, 15LBS OF CREEPING RED FESCUE, 20LBS OF TALL FESCUE PER ACRE.

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CURB TRANSITION LENGTHS	
ROADWAY PROFILE GRADE	HIGH SIDE TRANSITION LENGTH (HSL)
=0%	6'-6"
>0%-1%	7'-6"
>1%-2%	9'-0"
>2%-3%	11'-0"
>3%-4%	14'-0"
>4%-5%	15'-0" MAX.



**TYP. CONC. SIDEWALK DETAILS**  
N.T.S.

NOTES:  
1. SEE SITE PLAN FOR WIDTH AND GRADES  
2. PROVIDE MINIMUM 1/8" FT. CROSS-SLOPE  
3. PROVIDE CONTROL JOINTS 5'-0" O.C. MIN.  
4. PROVIDE EXPANSION JOINTS 20'-0" O.C. MIN.