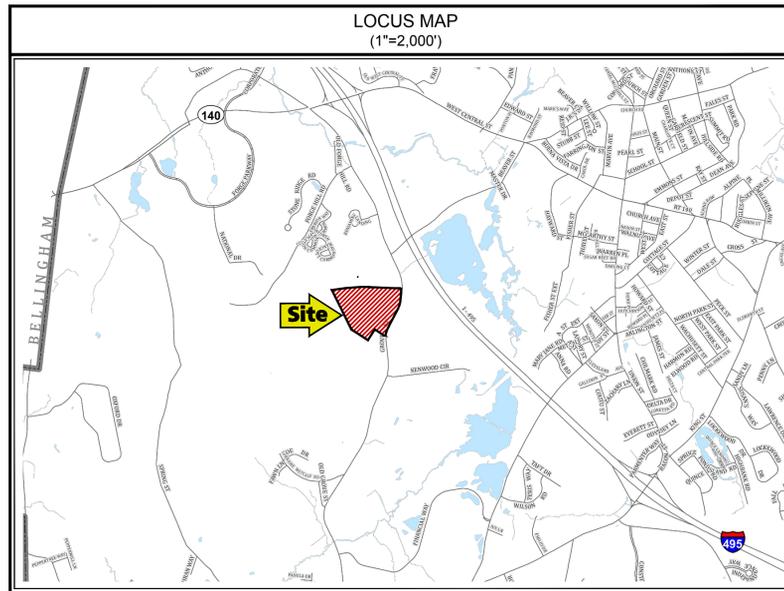


# SITE PLAN FOR REDEVELOPMENT OF 121 GROVE STREET - FRANKLIN, MA

DRAWING INDEX			
DRAWING DATE	LAST REVISION	DRAWING	DRAWING DESCRIPTION
09/21/2022	-	C-0	COVER SHEET
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09/21/2022	-	C-1B	DEMOLITION AND EROSION CONTROL PLAN
09/21/2022	-	C-2A	GRADING AND DRAINAGE PLAN
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## SCHEMATIC DESIGN



### RJO'CONNELL & ASSOCIATES, INC.

CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180  
PHONE: 781.279.0180 RJOCONNELL.COM

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL  
COMPANY LLC**  
5 BURLINGTON WOODS  
SUITE 203  
BURLINGTON, MA 01803

OWNER:  
**BRYN SMITH**  
106 MENDON STREET  
BELLINGHAM, MA 02019  
PARCEL ID 295-001 AND 294-007

DESIGN TEAM	
<p><b>CIVIL ENGINEERING:</b> RJ O'CONNELL &amp; ASSOCIATES, INC. 80 MONTVALE AVENUE SUITE 201 STONEHAM, MA 02180 ATTN: BRIAN DUNDON PHONE: (781) 279-0180</p>	<p><b>MANAGEMENT CONSULTANT:</b> SHIPE CONSULTING P.O. BOX 1217 CONCORD, MA 01742 ATTN: JOHN SHIPE, P.E. PHONE: (978) 857-8877</p>
<p><b>TRAFFIC:</b> VANASSE &amp; ASSOCIATES, INC. 35 NEW ENGLAND BUSINESS CENTER DRIVE SUITE 140 ANDOVER, MA 01810 ATTN.: SCOTT THORNTON PHONE: (978) 474-8800</p>	<p><b>WETLANDS:</b> LUCAS ENVIRONMENTAL, LLC 500A WASHINGTON STREET QUINCY, MA 02169 ATTN: CHRISTOPHER M. LUCAS, PRINCIPAL, PWS, CWS, RPSS CERTIFIED WETLAND SCIENTIST/ PROFESSIONAL SOIL SCIENTIST PHONE: (617) 405-4140</p>
<p><b>SURVEY:</b> GUERRIERE &amp; HALNON, INC. 55 WEST CENTRAL STREET FRANKLIN, MA 02038 ATTN: DONALD R. NIELSON, B.S.E.T., OFFICE MANAGER PHONE: (508) 528-3221</p>	<p><b>GEOTECHNICAL:</b> NORTHEAST GEOTECHNICAL, INC. 166 RAYMOND HALL DRIVE NORTH ATTLEBOROUGH, MA 02760 ATTN: GLENN A. OLSON, P.E. PRINCIPAL ENGINEER PHONE: (508) 598-3510</p>
<p><b>LEGAL:</b> CORNETTA, FICCO &amp; SIMMLER, P.C. 4 WEST STREET FRANKLIN, MA 02038 ATTN: RICHARD CORNETTA, JR. PHONE: (508) 528-5300</p>	<p><b>ELECTRIC:</b> R.W. SULLIVAN ENGINEERING 529 MAIN STREET SUITE 203 BOSTON, MA 02129 PHONE: (617) 523-8227</p>
<p><b>LANDSCAPING:</b> LAND DESIGN 200 S. PEYTON STREET ALEXANDRIA, VA 22314 PHONE: (703) 549-7784</p>	

## GOVERNMENT/UTILITY CONTACTS

**BUILDING AND INSPECTIONS  
DEPARTMENT:**  
MUNICIPAL BUILDING  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038  
ATTN: LLOYD BROWN,  
BUILDING COMMISSIONER  
PHONE: (508) 520-4926

**ENGINEERING DEPARTMENT:**  
DPW ADMINISTRATION BUILDING  
257 FISHER STREET  
FRANKLIN, MA 02038  
ATTN: MIKE MAGLIO, TOWN ENGINEER  
PHONE: (508) 520-4910

**HEALTH DEPARTMENT:**  
MUNICIPAL BUILDING  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038  
ATTN: CATHLEEN LIBERTY, MPH  
HEALTH DIRECTOR  
PHONE: (508) 520-4905

**POLICE DEPARTMENT:**  
911 PANTHER WAY  
FRANKLIN, MA 02038  
ATTN: THOMAS J. LYNCH,  
CHIEF OF POLICE  
PHONE: (508) 528-1212

**WATER AND SEWER DIVISION:**  
DPW ADMINISTRATION BUILDING  
357 FISHER STREET  
FRANKLIN, MA 02038  
ATTN: DOUG MARTIN, P.E.  
SUPERINTENDENT  
PHONE: (508) 520-4910

**CONSERVATION COMMISSION:**  
MUNICIPAL BUILDING  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038  
ATTN: BREEKA LI GOODLANDER, CWS  
CONSERVATION AGENT  
PHONE: (508) 520-4847

**FIRE DEPARTMENT:**  
40 WEST CENTRAL STREET  
FRANKLIN, MA 02038  
ATTN: JAMES McLAUGHLIN, FIRE CHIEF  
PHONE: (508) 528-2323

**PLANNING AND COMMUNITY  
DEPARTMENT:**  
MUNICIPAL BUILDING  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038  
ATTN: AMY LOVE, TOWN PLANNER  
PHONE: (508) 520-4907

**PUBLIC WORKS:**  
DPW ADMINISTRATION BUILDING  
257 FISHER STREET  
FRANKLIN, MA 02038  
ATTN: ROBERT A. CANTOREGGI,  
DIRECTOR  
PHONE: (508) 520-4910

**SCHEMATIC DESIGN**

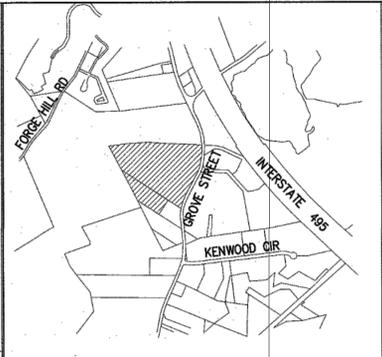
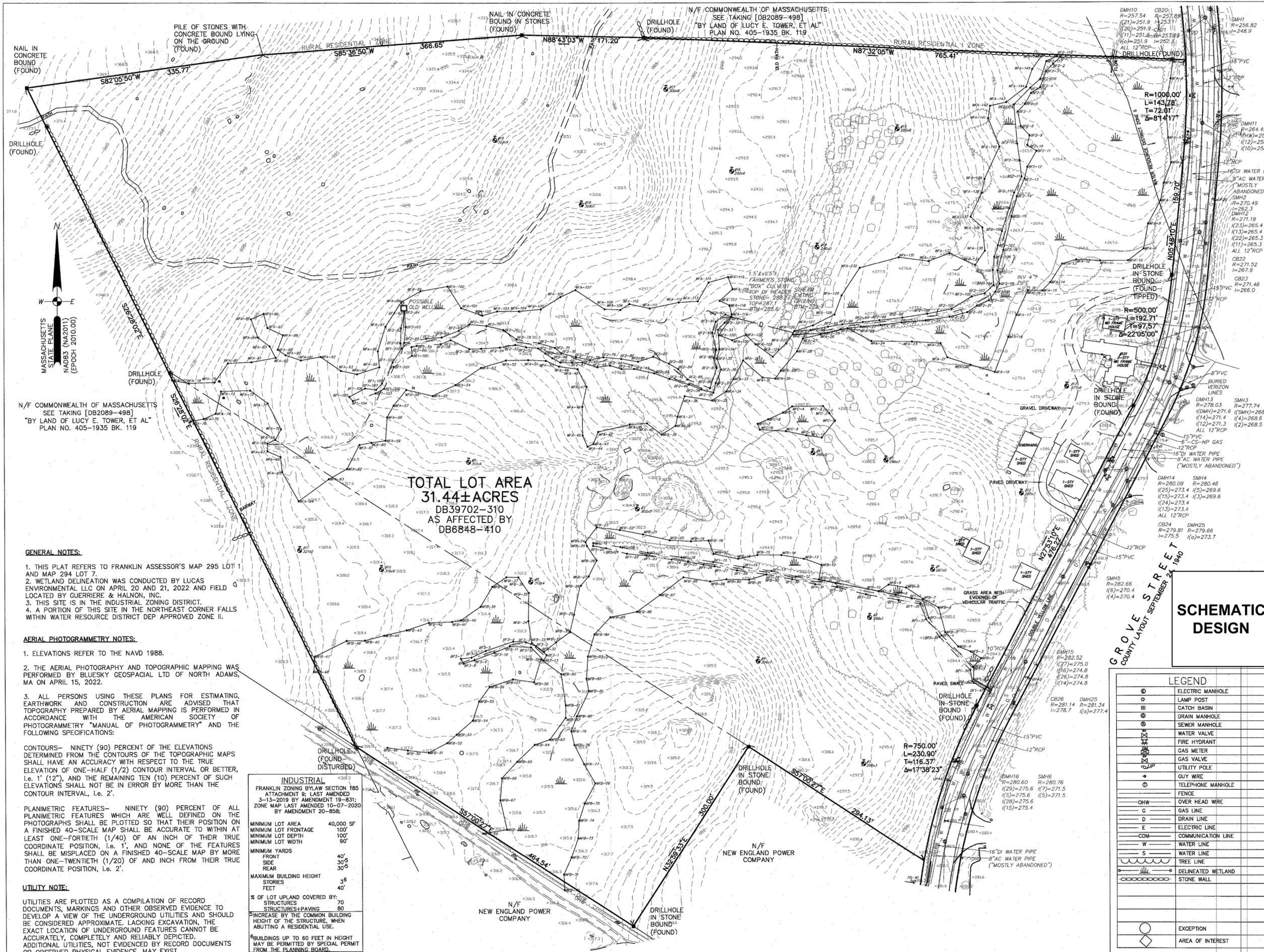
DRAWING NUMBER:

**C-0**

PROJECT NUMBER:

22016

Drawing name: G:\MA\Franklin\Fairfield Residential\121 Grove Street\Main\Schematic Set\22016\_C-0 Cover Sheet.dwg  
Sep 21, 2022 - 1:40:46pm



**VICINITY MAP**  
1"=1500'

**LEGAL NOTES**

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

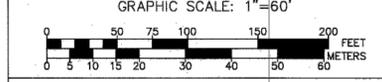
**OWNER**

BRYN SMITH  
106 MENDON STREET  
BELLINGHAM, MA 02019  
DEED BK. 3972 PG 310

**EXISTING CONDITIONS SITE PLAN**  
121 GROVE STREET  
FRANKLIN  
MASSACHUSETTS

**MAY 20, 2022**

DATE	REVISION DESCRIPTION
05.25.2022	REVISED EXISTING WATER AND SEWER.



**Guerriere & Halnon, Inc.**  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com

**GENERAL NOTES:**

- THIS PLAT REFERS TO FRANKLIN ASSESSOR'S MAP 295 LOT 1 AND MAP 294 LOT 7.
- WETLAND DELINEATION WAS CONDUCTED BY LUCAS ENVIRONMENTAL LLC ON APRIL 20 AND 21, 2022 AND FIELD LOCATED BY GUERRIERE & HALNON, INC.
- THIS SITE IS IN THE INDUSTRIAL ZONING DISTRICT.
- A PORTION OF THIS SITE IN THE NORTHEAST CORNER FALLS WITHIN WATER RESOURCE DISTRICT DEP APPROVED ZONE II.

**AERIAL PHOTOGRAMMETRY NOTES:**

- ELEVATIONS REFER TO THE NAVD 1988.
- THE AERIAL PHOTOGRAPHY AND TOPOGRAPHIC MAPPING WAS PERFORMED BY BLUESKY GEOSPACIAL LTD OF NORTH ADAMS, MA ON APRIL 15, 2022.
- ALL PERSONS USING THESE PLANS FOR ESTIMATING, EARTHWORK AND CONSTRUCTION ARE ADVISED THAT TOPOGRAPHY PREPARED BY AERIAL MAPPING IS PERFORMED IN ACCORDANCE WITH THE AMERICAN SOCIETY OF PHOTOGRAMMETRY "MANUAL OF PHOTOGRAMMETRY" AND THE FOLLOWING SPECIFICATIONS:

CONTOURS— NINETY (90) PERCENT OF THE ELEVATIONS DETERMINED FROM THE CONTOURS OF THE TOPOGRAPHIC MAPS SHALL HAVE AN ACCURACY WITH RESPECT TO THE TRUE ELEVATION OF ONE-HALF (1/2) CONTOUR INTERVAL OR BETTER, I.E. 1' (12"), AND THE REMAINING TEN (10) PERCENT OF SUCH ELEVATIONS SHALL NOT BE IN ERROR BY MORE THAN THE CONTOUR INTERVAL, I.E. 2'.

PLANIMETRIC FEATURES— NINETY (90) PERCENT OF ALL PLANIMETRIC FEATURES WHICH ARE WELL DEFINED ON THE PHOTOGRAPHS SHALL BE PLOTTED SO THAT THEIR POSITION ON A FINISHED 40-SCALE MAP SHALL BE ACCURATE TO WITHIN AT LEAST ONE-FORTIETH (1/40) OF AN INCH OF THEIR TRUE COORDINATE POSITION, I.E. 1', AND NONE OF THE FEATURES SHALL BE MISPLACED ON A FINISHED 40-SCALE MAP BY MORE THAN ONE-TWENTIETH (1/20) OF AN INCH FROM THEIR TRUE COORDINATE POSITION, I.E. 2'.

**UTILITY NOTE:**

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST.

INDUSTRIAL	
FRANKLIN ZONING BYLAW SECTION 185 ATTACHMENT 9, LAST AMENDED 3-13-2019 BY AMENDMENT 19-831; ZONE MAP LAST AMENDED 10-07-2020 BY AMENDMENT 20-858;	
MINIMUM LOT AREA	40,000 SF
MINIMUM LOT FRONTAGE	100'
MINIMUM LOT DEPTH	100'
MINIMUM LOT WIDTH	90'
MINIMUM YARDS	
FRONT	40'
SIDE	30'
REAR	30'
MAXIMUM BUILDING HEIGHT	36 FEET
STORIES	5
FEET	40'
% OF LOT UPLAND COVERED BY:	
STRUCTURES	70
STRUCTURES+PAVING	80
INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE, WHEN ABUTTING A RESIDENTIAL USE.	
BUILDINGS UP TO 60 FEET IN HEIGHT MAY BE PERMITTED BY SPECIAL PERMIT FROM THE PLANNING BOARD.	

**LEGEND**

	ELECTRIC MANHOLE
	LAMP POST
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MANHOLE
	WATER VALVE
	FIRE HYDRANT
	GAS METER
	GAS VALVE
	UTILITY POLE
	GUY WIRE
	TELEPHONE MANHOLE
	FENCE
	OVER HEAD WIRE
	GAS LINE
	DRAIN LINE
	ELECTRIC LINE
	COMMUNICATION LINE
	WATER LINE
	SEWER LINE
	TREE LINE
	DELINEATED WETLAND
	STONE WALL
	EXCEPTION
	AREA OF INTEREST



# ABBREVIATIONS

# TRAFFIC CONTROL SCHEDULE

ABAN	ABANDON	POT	POINT ON TANGENT
ACOMP	ASPHALT COATED CORRUGATED METAL PIPE	PRC	POINT OF REVERSE CURVATURE
ADJ	ADJUST	PROP	PROPOSED
B	BORING	PT	POINT
BC	BOTTOM OF CURB ELEVATION	PVC	POLYVINYL CHLORIDE
BIT	BITUMINOUS	PWW	PAVED WATERWAY
BIT CONC	BITUMINOUS CONCRETE	QTR	QUARTER
BLDG	BUILDING	QTY	QUANTITY
BM	BENCH MARK	R&R	REMOVE AND RESET/REPLACE
(BM)	BOLLARD MOUNT	R&S	REMOVE AND STACK
BMA	BITUMINOUS MACADAM	RCP	REINFORCED CONCRETE PIPE
BOS	BOTTOM OF SLOPE ELEVATION	RD	ROAD OR ROOF DRAIN
BRK	BRICK	RED	REDUCER
BV&B	BUTTERFLY VALVE AND BOX	RELOC	RELOCATED
BVW	BORDERING VEGETATED WETLAND	REM	REMOVE
BW	BOTTOM OF WALL ELEVATION	RML	REMODEL
BWLL	BROKEN WHITE LANE LINE	RET	RETAINING OR RETENTION
CATV	CABLE ACCESS TELEVISION	ROW	RIGHT OF WAY
CB	CATCH BASIN	RR	RAILROAD
CBCI	CATCH BASIN WITH CURB INLET	RWL	RAIN WATER LEADER
CC	CONCRETE CURB	RWY	ROADWAY
CCM	CEMENT CONCRETE MASONRY	SD	SUBDRAIN
CD	COMPACTOR DRAIN	SDWK	SIDEWALK
CF	CUBIC FEET	SF	SQUARE FEET
CFS	CUBIC FEET PER SECOND	SGC	SLOPED GRANITE CURB
CI	CAST IRON	SGE	SLOPED GRANITE EDGING
CL	CENTERLINE	SL	SLEEVE
CLDI	CEMENT LINED DUCTILE IRON	SMH	SEWER MANHOLE
CM	CONSTRUCTION MANAGER	SP	STANDPIPE
CMP	CORRUGATED METAL PIPE	SPEC	SPECIFICATION
CO	CLEAN OUT	ST	SEPTIC TANK
COMP	COMPACTOR	STA	STATION
CONC	CONCRETE	STD	STANDARD
CONST	CONSTRUCTION	STRTL	STRUCTURAL
CONT	CONTRACTOR	SWEL	SOLID WHITE EDGE LINE
CRD	COORDINATE	SWLL	SOLE WHITE LANE LINE
CPP	CORRUGATED POLYETHYLENE PIPE	SYCL	SOLID YELLOW CENTERLINE
CUL	CULVERT	SYEL	SOLID YELLOW EDGE LINE
CY	CUBIC YARD	TC	TEST BORING
DB	DISTRIBUTION BOX	TC	TOP OF CURB
DBL	SOUBLE	TD	TRENCH DRAIN
DEM	DEMOLISH	TEL	TELEPHONE
DET	DETENTION	TMH	TELEPHONE MANHOLE
DI	DUCTILE IRON	TOS	TOP OF SLOPE
DIA	DIAMETER	TP	TEST PIT
DIM	DIMENSION	TS	TOP OF SIDEWALK
DMH	DRAIN MANHOLE	TS&V	TAPPING SLEEVE & VALVE
DW	DRY WELL	TYP	TYPICAL
DWG	DRAWING	UD	UNDERDRAIN
DYCL	DOUBLE YELLOW CENTERLINE	UE	UNDERGROUND ELECTRIC
EHH	ELECTRIC HANDHOLE	UNEXCAV	UNEXCAVATED
EL	ELEVATION	UNFIN	UNFINISHED
ELEC	ELECTRIC	UP	UTILITY POLE
ELEV	ELEVATION	V	VELOCITY
EM	ELECTRIC METER	VGC	VERTICAL GRANITE CURB
EMH	ELECTRIC MANHOLE	VCP	VITRIFIED CLAY PIPE
EOP	EDGE OF PAVEMENT	VERT	VERTICAL
EOR	EDGE OF ROAD	W	WATER
EOW	EDGE OF WETLANDS	WD	WOOD
EXIST	EXISTING	WG	WATER GATE
EXT	EXTERIOR	WM	WATER MAIN
		(WM)	WALL MOUNT
		WMH	WATER MANHOLE

SIGN NUMBER	SIGN	SIZE OF SIGN		DESCRIPTION	MOUNT TYPE	MOUNT SIZE	REMARKS
		WIDTH	HEIGHT				
C1-1		12"	18"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
EA-1		30"	24"	RED ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
H1-2		24"	24"	NINE 3" DIA. YELLOW REFLECTORS ON YELLOW REFLECTIVE DIAMOND PANEL	CHANNEL	4'-0"	REFLECTORIZED SIGN
R1-1		30"	30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R1-2		36"x36"x36"		WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R3-1		24"	24"	RED AND BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R3-2		24"	24"	RED AND BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R3-7		30"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R3-8L		30"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R3-8R		30"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-7		24"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-7A		24"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-7B		24"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-8		24"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-8A		24"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-8B		24"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-9		24"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-13A		48"	36"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R5-1		30"	30"	RED ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R5-2		24"	24"	RED AND BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R6-1L		36"	12"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R6-1R		36"	12"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R6-9		24"	30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-1		12"	18"	RED ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN (MODIFIED)
R7-8		12"	18"	BLUE AND GREEN ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8A		12"	6"	GREEN ON WHITE	CHANNEL	6'-6"	REFLECTORIZED SIGN
W1-2L		30"	30"	BLACK ON YELLOW	CHANNEL	7'-0"	REFLECTORIZED SIGN
W1-2R		30"	30"	BLACK ON YELLOW	CHANNEL	7'-0"	REFLECTORIZED SIGN
W11A-2		30"	30"	BLACK ON YELLOW	CHANNEL	8'-6"	REFLECTORIZED SIGN

EXISTING	PROPOSED	DESCRIPTION
		AREA DRAIN
		BENCHMARK
		BORING LOCATION
		BOTTOM OF SLOPE
		BOTTOM OF WALL
		BOUND
		BROKEN YELLOW CENTERLINE
		BROKEN WHITE LANE LINE
		BUILDING LIGHT
		CATCH BASIN
		CHAIN LINK FENCE
		CLEANOUT
		CONDUIT UNITS
		CONTOUR
		CROSSWALK
		CURB TYPES
		DIRECTIONAL ARROWS
		DISC
		DOUBLE CATCH BASIN
		DOUBLE YELLOW CENTERLINE
		DRAIN MANHOLE
		DRAIN PIPE
		DRILL HOLE
		ELECTRIC BOX
		ELECTRIC CONDUIT
		ELECTRIC HAND HOLE
		ELECTRIC MANHOLE
		ELECTRIC METER
		FIRE HYDRANT
		FIRE PULL BOX
		FLARED END SECTION
		FLOOD LIGHT
		FLOW DIRECTION
		GAS LINE
		GATE VALVE
		GENERATOR PAD
		GUARD RAIL (TERMINAL END SECTIONS)
		GUY POLE
		GUY WIRE
		HANDICAP ACCESSIBLE PARKING SYMBOL
		HANDICAP ACCESSIBLE VAN PARKING SYMBOL
		HAYBALE
		HEADWALL
		IRRIGATION CONTROL VALVE

EXISTING	PROPOSED	DESCRIPTION
		LIGHT POLE
		LOADING PAD
		MAST ARM POLE
		MAINTENANCE MANHOLE
		PARKING COUNT
		PLUG
		RETAINING WALL
		ROOF DRAIN
		SEWER LINE
		ROUND CATCH BASIN
		SEWER MANHOLE
		SHRUB
		SIGN
		SILTATION FENCE
		SLOPE (CUT OR FILL)
		SOLID WHITE EDGE LINE
		SOLID WHITE LANE LINE
		SOLID YELLOW CENTERLINE
		SOLID YELLOW EDGE LINE
		SPLASH PAD/RIP RAP
		SPOT GRADE
		SPRINKLER
		STOCKADE FENCE
		STRIPED/PAINTED ISLAND
		TEE
		TELEPHONE CONDUIT
		TELEPHONE MANHOLE
		TEST PIT LOCATION
		TOP/BOTTOM OF CURB
		TOP OF SLOPE
		TOP OF WALL
		TRAFFIC CONTROL SIGNAL
		TRAFFIC CONTROL SIGNAL POLE
		TRAVERSE POINT
		TRANSFORMER PAD
		TREE
		TRENCH DRAIN
		UTILITY POLE
		VALVE
		VENT
		WATER MAIN
		WATER MANHOLE
		WATER METER
		WELL

## SCHEMATIC DESIGN

Drawing name: C:\MA\Franklin\Fairfield Residential\121 Grove Street\MainSchematic Set\2016\_ABB-1\_Abbreviation & Legend Sheet.dwg  
Sep 21, 2022 - 14:04pm



NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	N.T.S.

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
 5 BURLINGTON WOODS  
 SUITE 203  
 BURLINGTON, MA 01803

SEAL:

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 90 MONTVILE AVENUE, SUITE 201 STONHAM, MA 02180  
 PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
 FRANKLIN, MA

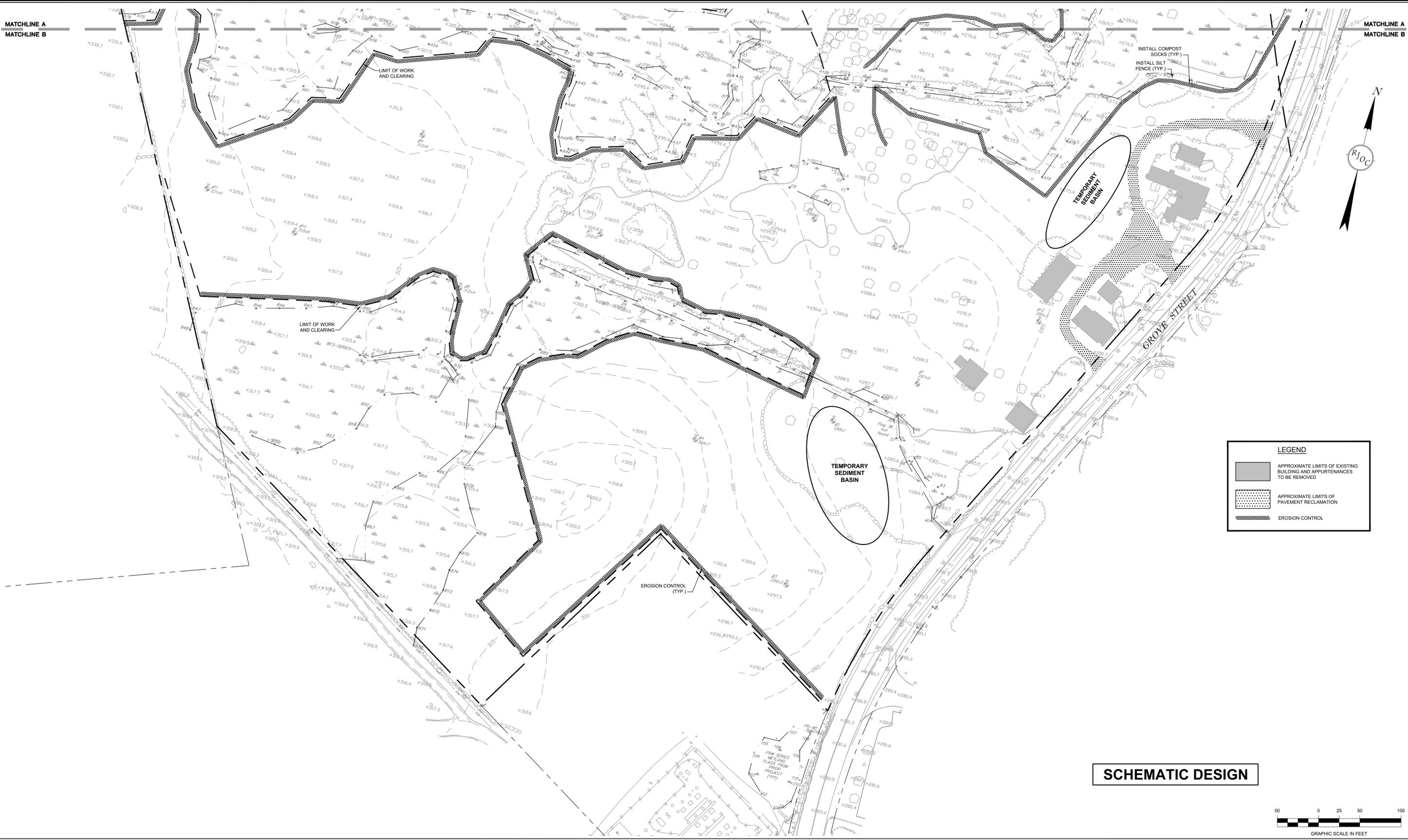
DRAWING NAME:  
**SCHEMATIC DESIGN ABBREVIATION & LEGEND SHEET**

DRAWING NUMBER:  
**ABB-1**

DATE:  
 09/21/2022

MATCHLINE A  
MATCHLINE B

MATCHLINE A  
MATCHLINE B



LEGEND	
	APPROXIMATE LIMITS OF EXISTING BUILDING AND APPURTENANCES TO BE REMOVED
	APPROXIMATE LIMITS OF PAVEMENT RECLAMATION
	EROSION CONTROL

**SCHEMATIC DESIGN**



Drawing name: C:\MA\Fairfield\Residential\121 Grove Street\Main\Schematic Sep202018\_C-1 Demolition & Erosion Control Plan.dwg  
Sep 21, 2022 - 14:02pm



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NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	1" = 50'

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
 5 BURLINGTON WOODS  
 SUITE 203  
 BURLINGTON, MA 01803

SEAL:

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
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 PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
 FRANKLIN, MA

DRAWING NAME:  
**DEMOLITION & EROSION CONTROL PLAN**

DRAWING NUMBER:  
**C-1A**

DATE:  
 09/21/2022

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**SEDIMENT AND EROSION CONTROL NOTES**

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST 72 BUSINESS HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- EXISTING SITE FEATURES AND TOPOGRAPHY SHOWN HEREON IS TAKEN FROM A SURVEY PLAN TITLED "EXISTING CONDITIONS SITE PLAN, 121 GROVE STREET, FRANKLIN, MA" BY GUERRIERE & HALNON, INC. DATED 05/25/2022.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES, FOR URBAN AND SUBURBAN AREAS MARCH 1997, THE U.S.D.A. S.C.S. EROSION AND SEDIMENT CONTROL IN SITE DEVELOPMENT, MASSACHUSETTS CONSERVATION GUIDE, SEPTEMBER 1983, LOCAL MUNICIPAL REGULATIONS AND THE PERMIT REQUIREMENTS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION RELATED ACTIVITIES AS OUTLINED IN THE MOST RECENT NPDES GENERAL PERMIT.
- STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED COMPOST WATTLES/SOCKS AND/OR SILTATION FENCE TO PREVENT AND/OR CONTROL SILTATION AND EROSION.
- TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
- EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON CIVIL EROSION CONTROL PLAN.
- FILTER BAGS SHALL BE PLACED UNDERNEATH THE GRATES OF EXISTING AND PROPOSED CATCH BASINS AND MAINTAINED AS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- ALL 3H:1V SLOPES OR STEEPER WILL BE STABILIZED WITH A CURLEX EROSION CONTROL MATTING BY AMERICAN EXCELSIOR COMPANY (OR ENGINEER APPROVED EQUAL) PRIOR TO HYDROSEEDING AND PROTECTED FROM EROSION.
- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL COMPOST WATTLES/SOCKS, FILTER BAGS AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
- THE LIMIT OF WORK LINE SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AS DETERMINED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- CATCH BASINS WITH TEMPORARY FILTER BAGS MUST BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RAINFALL EVENT. SEDIMENT WILL BE REMOVED FROM FILTER BAG IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- UPON COMPLETION OF ALL SITE WORK CONSTRUCTION, SITE CONTRACTOR SHALL INSPECT ALL ON-SITE CATCH BASINS, SWALES, SEDIMENT FOREBAYS AND BASINS, AND REMOVE ALL SEDIMENT AND TRASH DEBRIS THAT HAS ACCUMULATED WITHIN EACH BMP STRUCTURE DURING THE COURSE OF CONSTRUCTION. ALL ON-SITE CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE VACUUMED CLEAN PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
- ALL CONSTRUCTION SHALL MEET OR EXCEED THE TOWN OF FRANKLIN'S ENGINEERING AND DPW DEPARTMENT SPECIFICATIONS.

- TO MINIMIZE THE MIGRATION OF DUST AND SILT FROM THE CONSTRUCTION SITE, THE FOLLOWING MEASURES SHALL BE IMPLEMENTED AS REQUIRED:
  - SPRAY DISTURBED AREAS WITH WATER DURING DRY AND WINDY DAYS.
  - WASH WHEELS OF VEHICLES BEFORE LEAVING THE SITE.
  - PERIODICALLY CLEAN SURROUNDING ROADWAYS NEAR THE ENTRANCE TO THE SITE.
  - ALL VEHICLES HAULING MATERIAL TO AND FROM THE SITE SHALL PLACE SECURE COVERS OVER THEIR LOADS.
- THE CONTRACTOR SHALL BE AWARE THAT THE ON-SITE SOILS AT THIS SITE MAKE IT PARTICULARLY SUSCEPTIBLE TO SOIL EROSION AND SENSITIVE TO ITS CONSEQUENCES. IT SHOULD BE NOTED THAT THE EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS DEPICT THE MINIMUM REQUIRED AND ARE REPRESENTATIVE OF A SINGLE STAGE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING, RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND AS SITE DRAINAGE CONDITIONS CHANGE.
- THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST AND CURRENT WEATHER CONDITIONS AND ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF FRANKLIN PLANNING AND CONSERVATION DEPARTMENT AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY SITEWORK.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL ENGAGE AN INDIVIDUAL WITH SPECIFIC PROFESSIONAL TRAINING AND EXPERTISE IN EROSION AND SEDIMENT CONTROL. THE EROSION CONTROL MONITOR SHALL PREPARE A WEEKLY REPORT WHICH SHALL BE KEPT ON SITE AT ALL TIMES AND SHALL BE SHOWN TO LOCAL, STATE AND FEDERAL AGENTS UPON REQUEST. THIS REPORT SHALL INDICATE THE STATUS OF THE EROSION CONTROLS AND ANY MAINTENANCE REQUIRED AND PERFORMED. THIS REPORT SHALL CONFORM TO THE REQUIREMENTS OF THE EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR DISCHARGE FROM CONSTRUCTION ACTIVITIES.
- THE LOCATION OF COMPOST WATTLES/SOCKS AND FILTER BAGS SHALL BE FIELD VERIFIED DURING SITE PREPARATION OPERATIONS BY THE ENGINEER AT RECORD.
- ANY DEWATERING ACTIVITIES PERFORMED IN CONJUNCTION WITH CONSTRUCTING THE SITE SHALL MAKE USE OF A SETTLING POND OR SIMILAR DEVICE TO REMOVE SEDIMENT BEFORE WATER IS RELEASED. THERE SHALL BE NO DIRECT DISCHARGE OF WATER TO CATCH BASINS AND/OR THE MUNICIPAL DRAINAGE SYSTEM.
- CONTRACTOR TO REMOVE A MINIMUM OF 18" INCHES FROM THE BOTTOM OF THE TEMPORARY SEDIMENTATION BASINS WHERE PROPOSED INFILTRATION BASINS ARE TO BE CONSTRUCTED.
- WINTER CONSTRUCTION AND STABILIZATION**  
THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15

**SEDIMENT BARRIERS:** DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF COMPOST WATTLES/SOCKS OR SILT FENCES.

**MULCHING:** ALL AREAS SHALL BE CONSIDERED TO BE DENIED UNTIL SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB PER 1000 SF OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A 1-INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. BETWEEN NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, OR WOOD CELLULOSE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH WORKDAY DURING FINAL GRADING ACTIVITIES.

**SOIL STOCKPILING:** STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL.

**SEEDING:** BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOOMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. DORMANT SEEDING MAY BE PLACED PRIOR TO THE PLACEMENT OF MULCH OR EROSION CONTROL BLANKETS. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND SEED AT AN APPLICATION RATE OF 5 LBS/1000 SF. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE RE-VEGETATED IN THE SPRING.

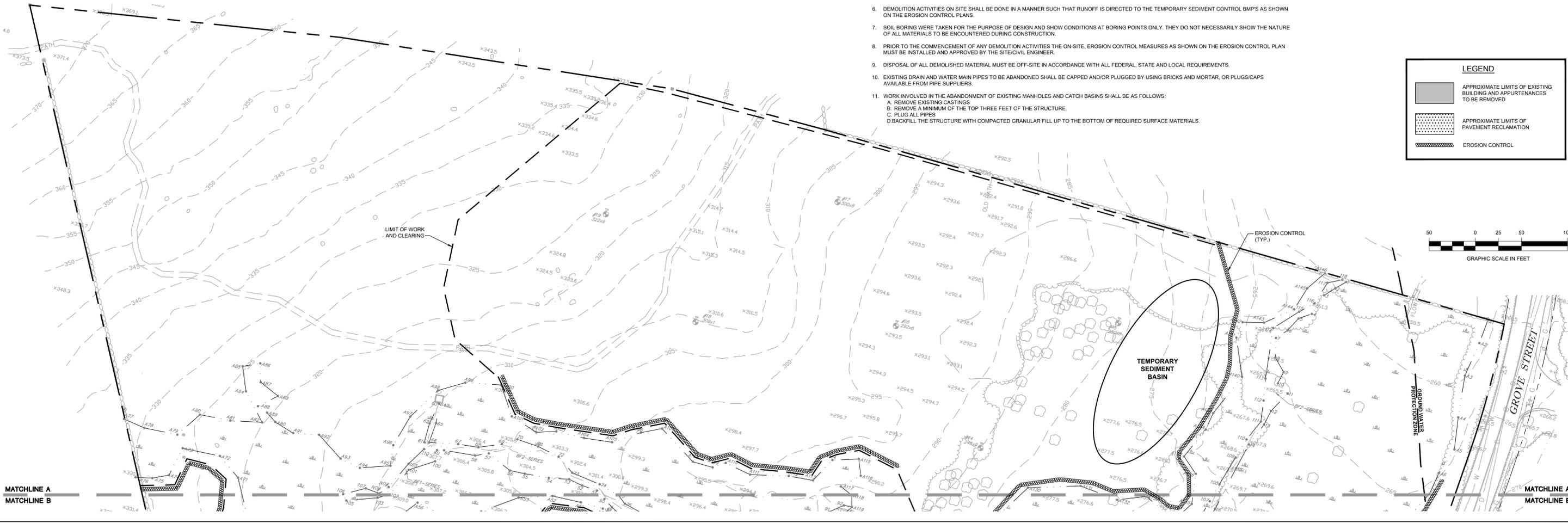
**WINTER STABILIZATION OF DITCHES AND CHANNELS:** ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE DITCH:  
 1. INSTALL A SOD LINING IN THE DITCH: A DITCH MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD ONTO AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUCHING DURING WINTER CONDITIONS.  
 2. INSTALL A STONE LINING IN THE DITCH: A DITCH MUST BE LINED WITH STONE RIP RAP BY NOVEMBER 15. CONTACT REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH.

**WINTER STABILIZATION OF DISTURBED SLOPES:** ALL STONE-COVERED SLOPES GREATER THAN 15% MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE:  
 1. TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1 THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 1, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR WITH STONE RIPRAP.  
 2. SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.  
 3. EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.  
 4. STONE RIP RAP: PLACE LAYER OF STONE RIP RAP ON THE SLOPE BY NOVEMBER 15. CONTACT THE PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

**WINTER STABILIZATION OF DISTURBED SOILS:** BY SEPTEMBER 15, ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15% MUST BE SEEDED AND MULCHED. IF THE DISTURBED AREAS ARE NOT STABILIZED BY THIS DATE, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN:  
 1. TEMPORARY VEGETATION: BY OCTOBER 1, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF. LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SF, AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN MULCH THE AREA WITH WINTER PROTECTANTS AS DESCRIBED BELOW.  
 2. SOD: STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.  
 3. MULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 LBS PER 1000 SF ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

**DEMOLITION NOTES**

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST 72 BUSINESS HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL HORIZONTAL CONTROL POINTS AND ELEVATION BENCH MARKS NECESSARY FOR THE WORK.
- THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES WHETHER DESIGNATED ON THESE DRAWINGS OR DISCOVERED IN THE FIELD. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE UNLESS NOTED OTHERWISE. ALL CAPPING/REMOVAL SHALL BE IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY/ENTITY STANDARDS.
- ALL EXISTING BITUMINOUS CONCRETE PAVEMENT ON SITE SHALL BE PULVERIZED AND MIXED WITH ON-SITE MATERIAL OR IMPORT MATERIAL FOR REUSE AS ON-SITE FILL. TO BE REUSED MATERIAL MUST MEET THE SPECIFIED GRADATION FOR FILL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL EXISTING AND NEW SITE DRAINAGE AND UTILITIES WHICH ARE TO REMAIN AND/OR BE CONSTRUCTED.
- DEMOLITION ACTIVITIES ON SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE TEMPORARY SEDIMENT CONTROL BMP'S AS SHOWN ON THE EROSION CONTROL PLANS.
- SOIL BORING WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITIES THE ON-SITE, EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLAN MUST BE INSTALLED AND APPROVED BY THE SITE/CIVIL ENGINEER.
- DISPOSAL OF ALL DEMOLISHED MATERIAL MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
- EXISTING DRAIN AND WATER MAIN PIPES TO BE ABANDONED SHALL BE CAPPED AND/OR PLUGGED BY USING BRICKS AND MORTAR, OR PLUGS/CAPS AVAILABLE FROM PIPE SUPPLIERS.
- WORK INVOLVED IN THE ABANDONMENT OF EXISTING MANHOLES AND CATCH BASINS SHALL BE AS FOLLOWS:
  - REMOVE EXISTING CASTINGS
  - REMOVE A MINIMUM OF THE TOP THREE FEET OF THE STRUCTURE.
  - PLUG ALL PIPES
  - BACKFILL THE STRUCTURE WITH COMPACTED GRANULAR FILL UP TO THE BOTTOM OF REQUIRED SURFACE MATERIALS.



**SCHEMATIC DESIGN**

**LEGEND**

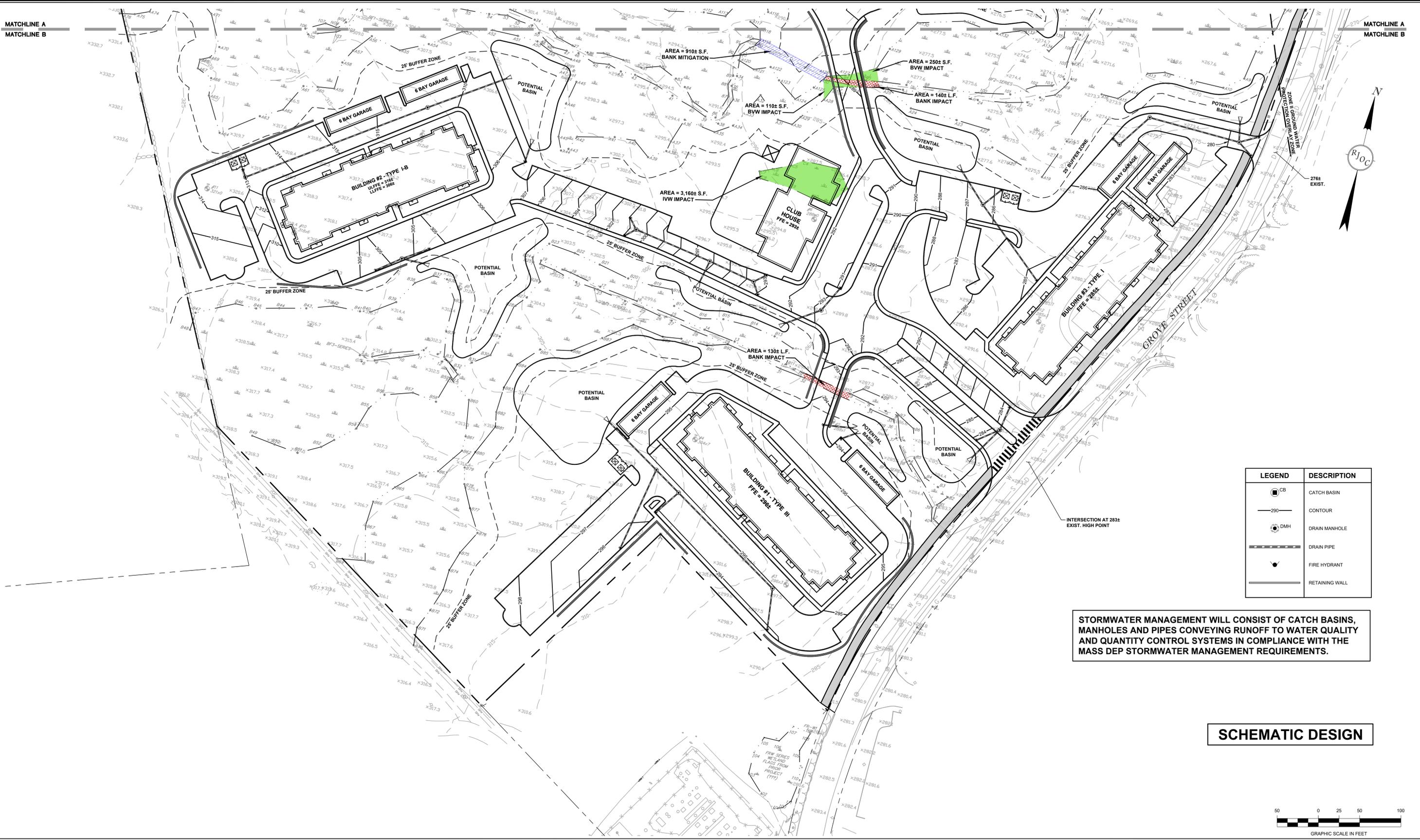
- APPROXIMATE LIMITS OF EXISTING BUILDING AND APPURTENANCES TO BE REMOVED
- APPROXIMATE LIMITS OF PAVEMENT RECLAMATION
- EROSION CONTROL

Drawing name: C:\MA\Franklin\Fairfield Residential\121 Grove Street\Main\Schematic Set\202018\_C-1 Demolition & Erosion Control Plan.dwg  
 Sep 21, 2022 - 14:03pm

	DESIGNED BY: AAA			PREPARED FOR: <b>FAIRFIELD RESIDENTIAL COMPANY LLC</b> 5 BURLINGTON WOODS SUITE 203 BURLINGTON, MA 01803	SEAL:	PREPARED BY: <b>RJO'CONNELL &amp; ASSOCIATES, INC.</b> CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS 90 MONTVALE AVENUE, SUITE 201 STONHAM, MA 02180 PHONE: 781.279.0180 RJOCONNELL.COM	DRAWING NAME: <b>DEMOLITION &amp; EROSION CONTROL PLAN</b>
	DRAWN BY: AAA						
	REVIEWED BY: AAA						
	SCALE: 1" = 50'						
PROJECT NAME: <b>FAIRFIELD AT GROVE STREET</b> FRANKLIN, MA		DRAWING NUMBER: <b>C-1B</b>		DATE: 09/21/2022			
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MATCHLINE A  
MATCHLINE B

MATCHLINE A  
MATCHLINE B



LEGEND	DESCRIPTION
	CATCH BASIN
	CONTOUR
	DRAIN MANHOLE
	DRAIN PIPE
	FIRE HYDRANT
	RETAINING WALL

STORMWATER MANAGEMENT WILL CONSIST OF CATCH BASINS, MANHOLES AND PIPES CONVEYING RUNOFF TO WATER QUALITY AND QUANTITY CONTROL SYSTEMS IN COMPLIANCE WITH THE MASS DEP STORMWATER MANAGEMENT REQUIREMENTS.

**SCHEMATIC DESIGN**



Drawing name: C:\MA\Fairfield\Residential\121 Grove Street\Main\Schematic Set\2018\_C-2 Grading and Drainage Plan.dwg  
Sep 22, 2022 - 10:13am



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NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY: AAA  
DRAWN BY: AAA  
REVIEWED BY: AAA  
SCALE: 1" = 50'

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BURLINGTON, MA 01803

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PREPARED BY:  
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PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
FRANKLIN, MA

DRAWING NAME:  
**GRADING AND DRAINAGE PLAN**

DRAWING NUMBER:  
**C-2A**

DATE:  
09/21/2022

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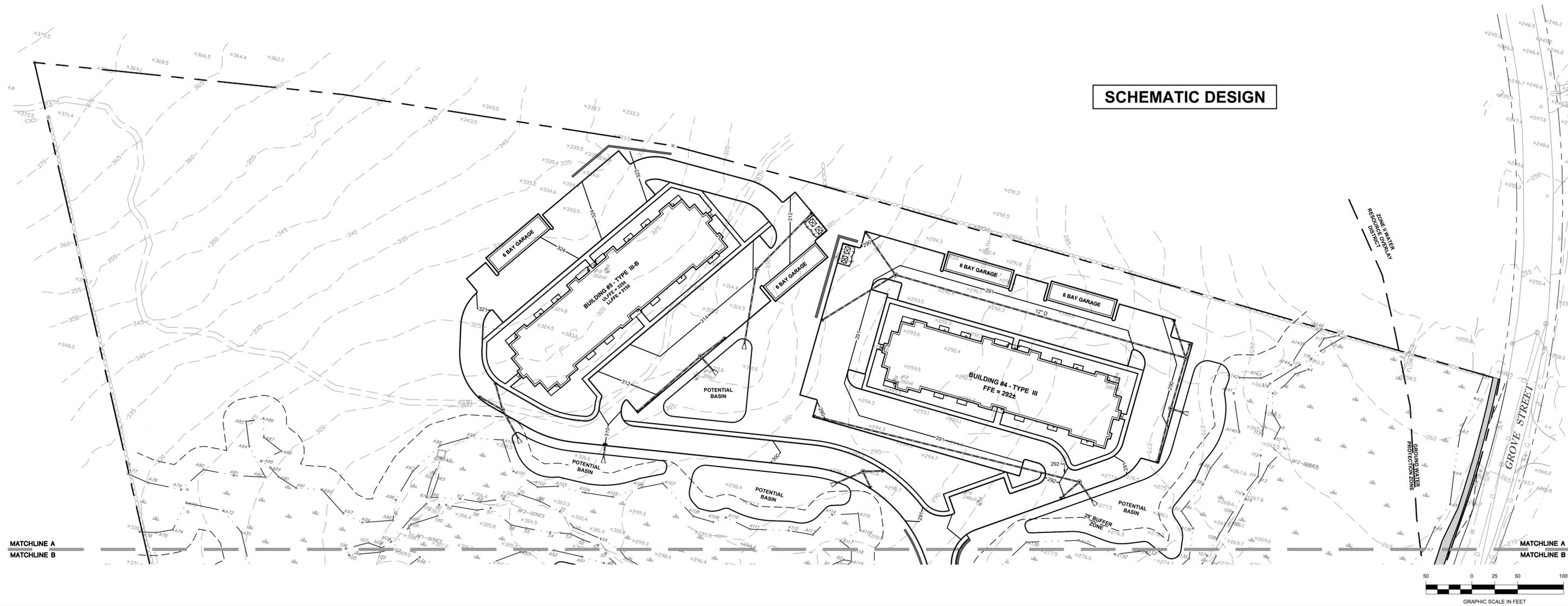
LEGEND	DESCRIPTION
	CATCH BASIN
	CONTOUR
	DRAIN MANHOLE
	DRAIN PIPE
	FIRE HYDRANT
	RETAINING WALL

**STORMWATER MANAGEMENT WILL CONSIST OF CATCH BASINS, MANHOLES AND PIPES CONVEYING RUNOFF TO WATER QUALITY AND QUANTITY CONTROL SYSTEMS IN COMPLIANCE WITH THE MASS DEP STORMWATER MANAGEMENT REQUIREMENTS.**

**GRADING AND DRAINAGE NOTES**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 BUSINESS HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. EXISTING SITE FEATURES AND TOPOGRAPHY SHOWN HEREON IS TAKEN FROM A SURVEY PLAN TITLED "EXISTING CONDITIONS SITE PLAN 121 GROVE STREET, FRANKLIN, MA" BY GUERRIERE & HANLON, INC. DATED 05/25/2022.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL HORIZONTAL CONTROL POINTS AND ELEVATION BENCH MARKS NECESSARY FOR THE WORK.
4. ALL STORM DRAINAGE PIPING SHALL BE REINFORCED CONCRETE PIPE, EXCEPT AS NOTED OTHERWISE IN LANDSCAPE AREAS AND INFILTRATION BASINS. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III IN ACCORDANCE WITH ASTM C-76. GASKETS SHALL BE O-RING TYPE IN ACCORDANCE WITH ASTM C-443. CLASS V RCP SHALL BE USED IN AREAS WITH LESS THAN 42" VERTICAL COVER FROM TOP OF PIPE TO FINISHED GRADE.
5. CORRUGATED PLASTIC PIPE (CPP) SHALL CONFORM WITH AASHTO DESIGNATIONS M294 AND M252. SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON DETAILS.
6. THE EXISTING UTILITIES SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION PRIOR TO EXCAVATION AND CONSTRUCTION.
7. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
8. ALL NEW CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH GAS/OIL HOODS AND 4 FOOT SUMPS.
9. RIP-RAP SPLASH APRONS SHALL BE PROVIDED AT ALL OUTFALLS AS SHOWN ON THE DRAWINGS.
10. ALL ROOF DRAIN CONNECTIONS SHALL BE CPP PIPE AND SHALL BE INSTALLED TO A POINT 10' FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED.
11. ALL DRAINAGE STRUCTURES SHALL BE PRECAST CONCRETE PER ASTM C-478.
12. ALL DRAINAGE STRUCTURES AND PIPING SHALL BE DESIGNED FOR HEAVY DUTY TRAFFIC LOADING (H20).
13. ALL AREA DRAINS TO BE 24" UNLESS OTHERWISE NOTED.
14. NYLOPLAST PEDESTRIAN GRATES ALLOWED ONLY IN LANDSCAPED AREAS, DESIGNED TO H-10 LOADING.

**SCHEMATIC DESIGN**



Drawing name: C:\MA\Fairfield\Residential\121 Grove Street\Main\Schematic\_Sch\2021018\_C-2 Grading and Drainage Plan.dwg  
Sep 21, 2022 - 14:03pm



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NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	1" = 50'

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
 5 BURLINGTON WOODS  
 SUITE 203  
 BURLINGTON, MA 01803

SEAL:

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 90 MONTVILE AVENUE, SUITE 201 STONHAM, MA 02180  
 PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
 FRANKLIN, MA

DRAWING NAME:  
**SCHEMATIC DESIGN GRADING AND DRAINAGE PLAN**

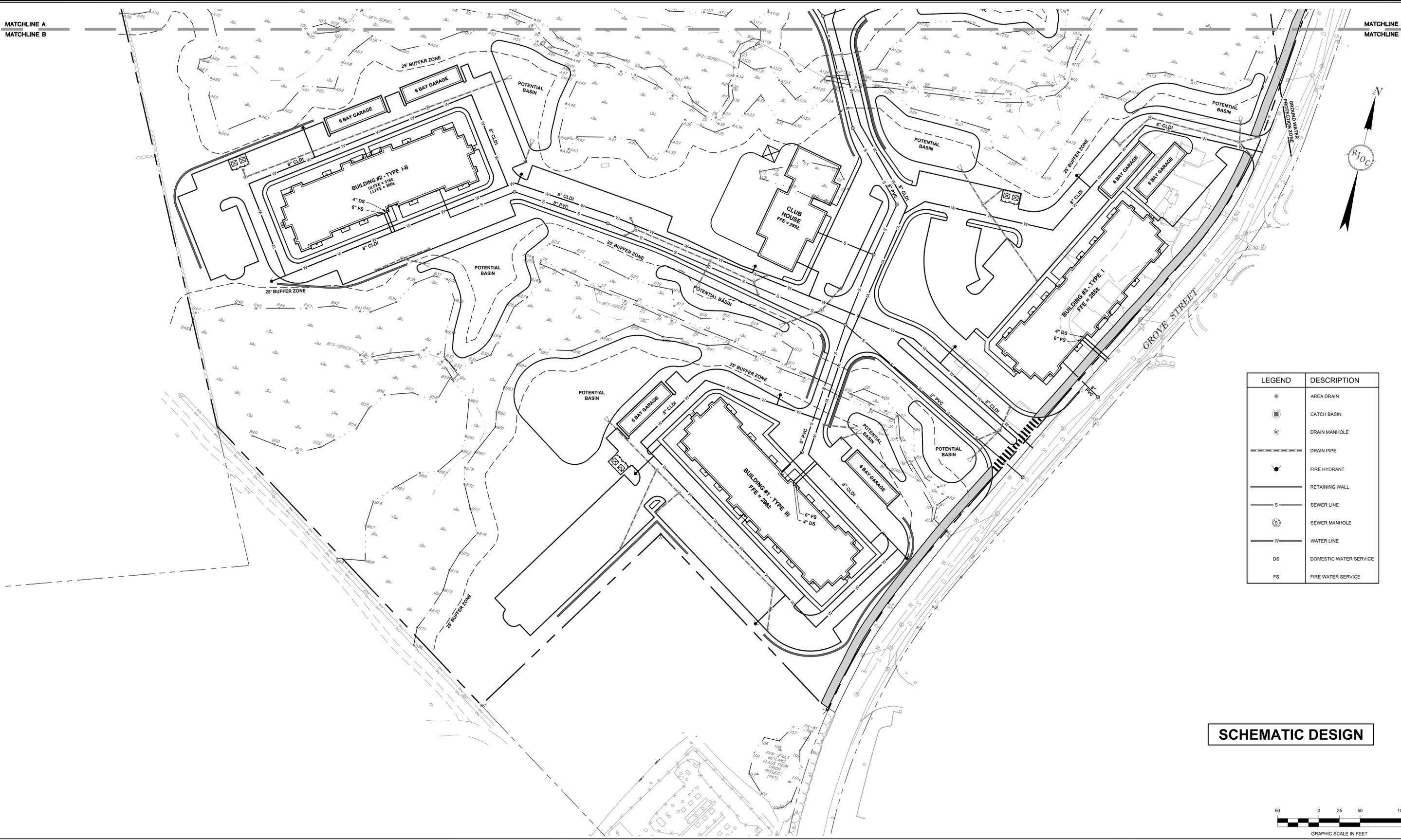
DRAWING NUMBER:  
**C-2B**

DATE:  
 09/21/2022

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MATCHLINE A  
MATCHLINE B

MATCHLINE A  
MATCHLINE B



LEGEND	DESCRIPTION
	AREA DRAIN
	CATCH BASIN
	DRAIN MANHOLE
	DRAIN PIPE
	FIRE HYDRANT
	RETAINING WALL
	SEWER LINE
	SEWER MANHOLE
	WATER LINE
	DOMESTIC WATER SERVICE
	FIRE WATER SERVICE

**SCHEMATIC DESIGN**



Drawing name: C:\MA\Fairfield\Fairfield Residential\121 Grove Street\Main\Schematic Set\2018\_C-3 Utility Plan.dwg  
 Sep 21, 2022 - 14:02pm



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NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	1" = 50'

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL  
 COMPANY LLC**  
 5 BURLINGTON WOODS  
 SUITE 203  
 BURLINGTON, MA 01803

SEAL:  
 \_\_\_\_\_

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
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 90 MONTVALE AVENUE, SUITE 201 STONHAM, MA 02150  
 PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
 FRANKLIN, MA

DRAWING NAME:  
**UTILITY PLAN**

DRAWING NUMBER:  
**C-3A**

DATE:  
 09/21/2022

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**UTILITY NOTES**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST 72 BUSINESS HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. EXISTING SITE FEATURES AND TOPOGRAPHY SHOWN HEREON IS TAKEN FROM A SURVEY PLAN TITLED "EXISTING CONDITIONS SITE PLAN, 121 GROVE STREET, FRANKLIN, MA" BY GUERRIERE & HANLON, INC. DATED 05/25/2022.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL HORIZONTAL CONTROL POINTS AND ELEVATION BENCH MARKS NECESSARY FOR THE WORK.

**WATER NOTES**

1. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 6 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
2. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS REQUIRED UNDER THE CONTRACT ARE NOTED, SHOWN, OR INDICATED.
3. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER MAINS AND WATER MAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
4. DOMESTIC WATER SERVICE 3" OR SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP WITH APPROVED SADDLE, CURB STOP, AND BOX. DOMESTIC WATER MAIN SHALL BE INSTALLED OVER SEWER MAIN WITH A MINIMUM VERTICAL SEPARATION OF EIGHTEEN INCHES (18") AT THEIR CROSSING.
5. ALL WATER MAINS 4" AND LARGER SHALL BE CEMENT LINED DUCTILE IRON CLASS 52 AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES.
6. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF FRANKLIN WATER STANDARDS.
7. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH THE TOWN OF FRANKLIN WATER DEPARTMENT STANDARDS AND REQUIREMENTS. IN THE ABSENCE OF STANDARDS, THEY SHALL CONFORM TO THE REQUIREMENTS OF THE SITE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE TOWN OF FRANKLIN'S WATER DEPARTMENT. COPIES OF TEST RESULTS WILL BE SUBMITTED TO THE FRANKLIN WATER DEPARTMENT FOR THEIR RECORDS.
8. ALL WATER LEADS TO BUILDING WILL TERMINATE TEN FEET (10') OUTSIDE THE BUILDING LIMITS AS SHOWN ON THE PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
9. THE CONTRACTOR SHALL NOTIFY THE FRANKLIN WATER DEPARTMENT BEFORE MAKING ANY CONNECTIONS TO THE MUNICIPAL WATER MAIN.
10. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL BACTERIOLOGICAL TESTING. BACTERIA TESTING MUST BE DONE IN THE PRESENCE OF WATER DEPARTMENT PERSONNEL AND SENT TO A DEP CERTIFIED LABORATORY FOR ANALYSIS. THE WATER MAIN WILL NOT BE ACCEPTED BY THE WATER DEPARTMENT UNTIL NOTIFIED IN WRITING THAT THE SAMPLE IS FREE OF BACTERIA.
11. PRIMARY METERS AND BACKFLOW PREVENTERS SHALL BE LOCATED AT THE POINT WHERE THE WATER LINES ENTER THE BUILDING UNLESS OTHERWISE NOTED.

**GAS NOTES**

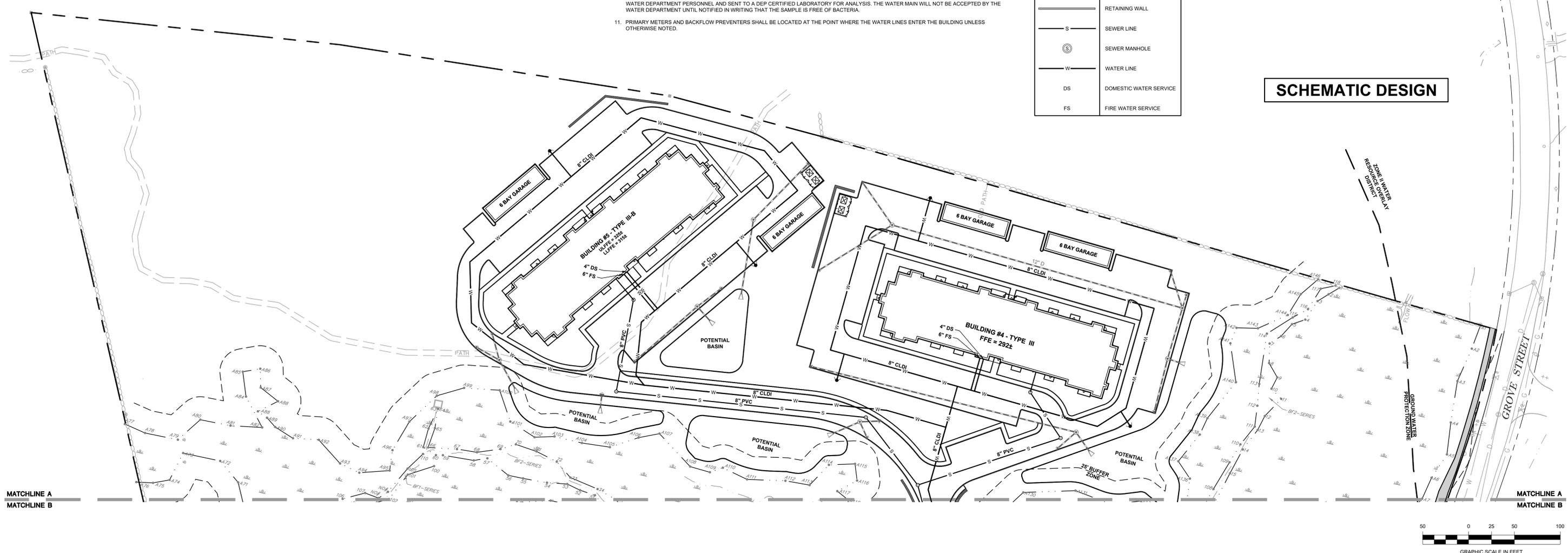
1. THE PROPOSED GAS SERVICE LOCATION IS APPROXIMATE ONLY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR EXCAVATION, BACKFILL AND COMPACTION OF THE GAS LINE IN ACCORDANCE WITH THE SITE WORK AND/OR GAS COMPANY SPECIFICATIONS (MORE STRINGENT SPECIFICATIONS WILL APPLY). THE CONTRACTOR IS ALSO RESPONSIBLE FOR FURNISHING AND INSTALLING PIPE BOLLARDS AS REQUIRED BY THE GAS COMPANY AND/OR LOCAL INSPECTOR IN ORDER TO PROTECT ABOVE GROUND GAS EQUIPMENT.

**SEWER NOTES**

1. ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE (P.V.C.), S.D.R. 35 AND SHALL CONFORM WITH ASTM-D3034 UNLESS NOTED OTHERWISE.
2. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN THE SANITARY SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. ALL SEWER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF FRANKLIN'S SEWER DEPARTMENT STANDARDS.
4. SANITARY SEWER STUB TO BUILDING WILL END TEN FEET (10') OUTSIDE THE BUILDING LIMITS AS SHOWN ON THE PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.

LEGEND	DESCRIPTION
	AREA DRAIN
	CATCH BASIN
	DRAIN MANHOLE
	DRAIN PIPE
	FIRE HYDRANT
	RETAINING WALL
	SEWER LINE
	SEWER MANHOLE
	WATER LINE
DS	DOMESTIC WATER SERVICE
FS	FIRE WATER SERVICE

**SCHEMATIC DESIGN**



Drawing name: C:\MA\Fairfield\Fairfield Residential\121 Grove Street\Main\Schematic\_Sep22\2018\_C-3\_Utility\_Plan.dwg  
Sep 21, 2022 - 14:02pm



NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	1" = 50'

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
 5 BURLINGTON WOODS  
 SUITE 203  
 BURLINGTON, MA 01803

SEAL:

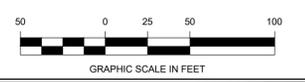
PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 90 MONTVILE AVENUE, SUITE 201 STONHAM, MA 02180  
 PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
 FRANKLIN, MA

DRAWING NAME:  
**UTILITY PLAN**

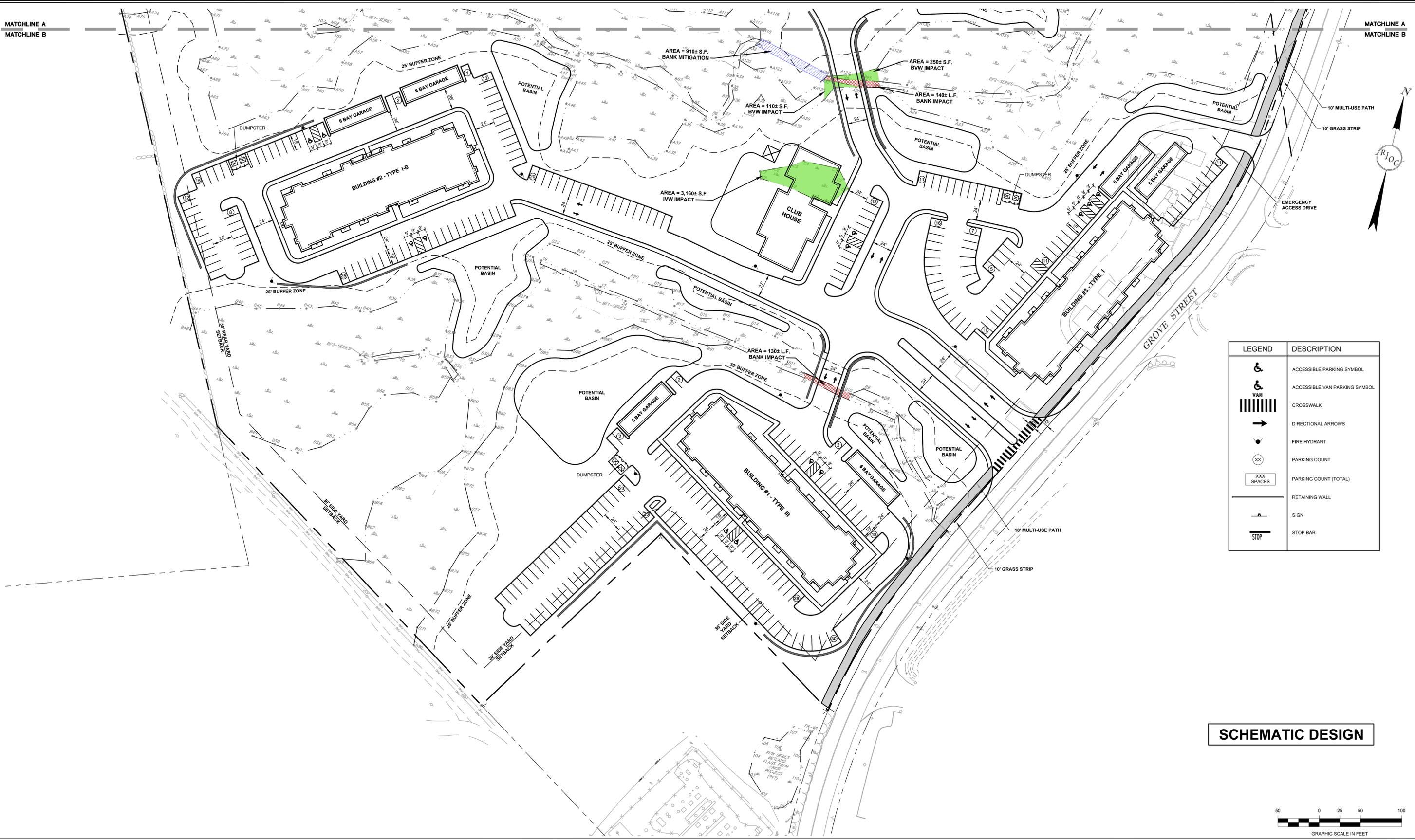
DRAWING NUMBER:  
**C-3B**

DATE:  
 09/21/2022



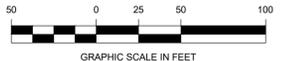
MATCHLINE A  
MATCHLINE B

MATCHLINE A  
MATCHLINE B



LEGEND	DESCRIPTION
	ACCESSIBLE PARKING SYMBOL
	ACCESSIBLE VAN PARKING SYMBOL
	CROSSWALK
	DIRECTIONAL ARROWS
	FIRE HYDRANT
	PARKING COUNT
	PARKING COUNT (TOTAL)
	RETAINING WALL
	SIGN
	STOP BAR

**SCHEMATIC DESIGN**



Drawing name: C:\MA\Fairfield\Residential\121 Grove Street\Main\Schematic Set\2018\_C-4 Parking & Traffic Control Plan.dwg  
Sep 22, 2022 - 10:14am



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NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY: AAA  
 DRAWN BY: AAA  
 REVIEWED BY: AAA  
 SCALE: 1" = 50'

PREPARED FOR:

**FAIRFIELD RESIDENTIAL  
 COMPANY LLC**  
 5 BURLINGTON WOODS  
 SUITE 203  
 BURLINGTON, MA 01803

SEAL:

PREPARED BY:

**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 90 MONTVILE AVENUE, SUITE 201 STONHAM, MA 02150  
 PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:

**FAIRFIELD AT GROVE STREET**  
 FRANKLIN, MA

DRAWING NAME:

**PARKING & TRAFFIC  
 CONTROL PLAN**

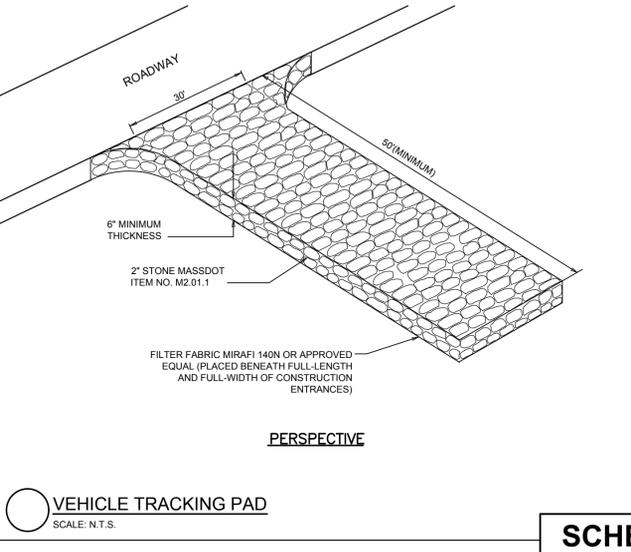
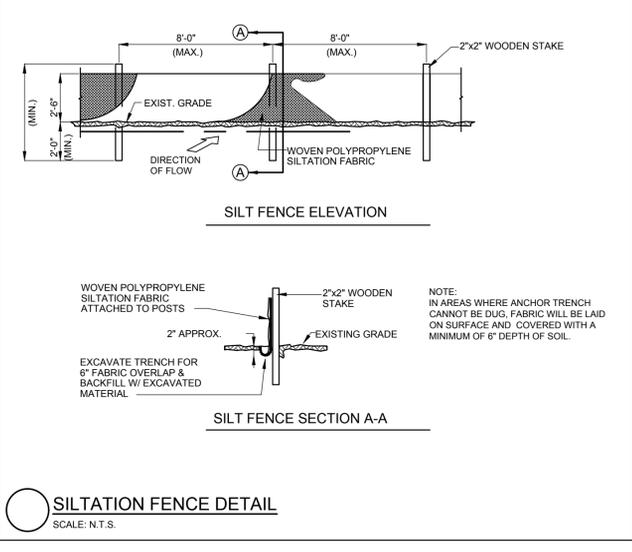
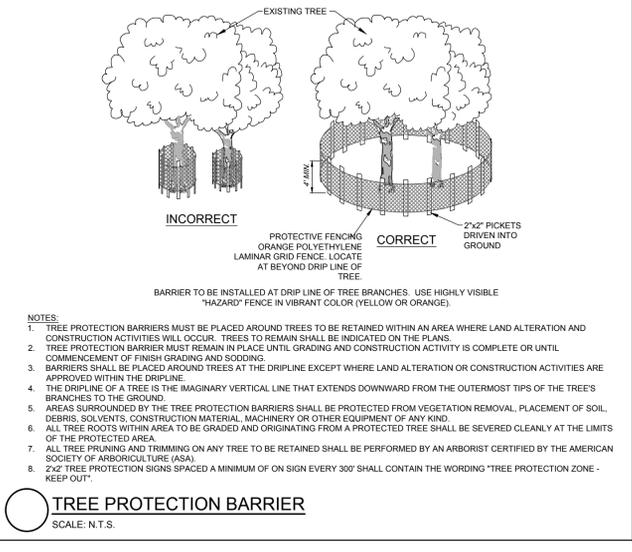
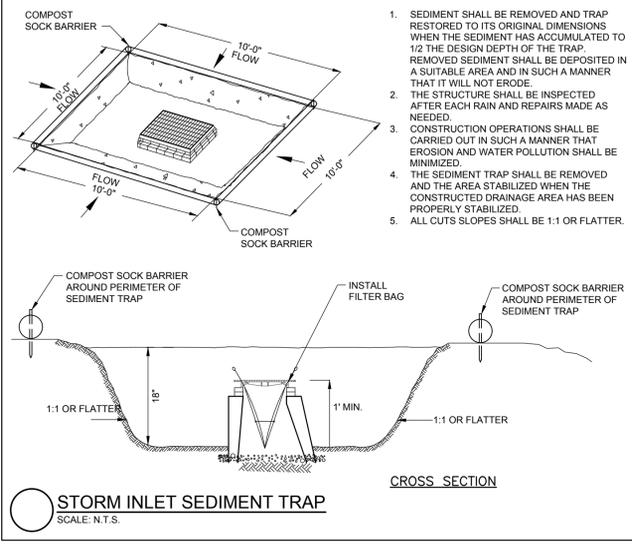
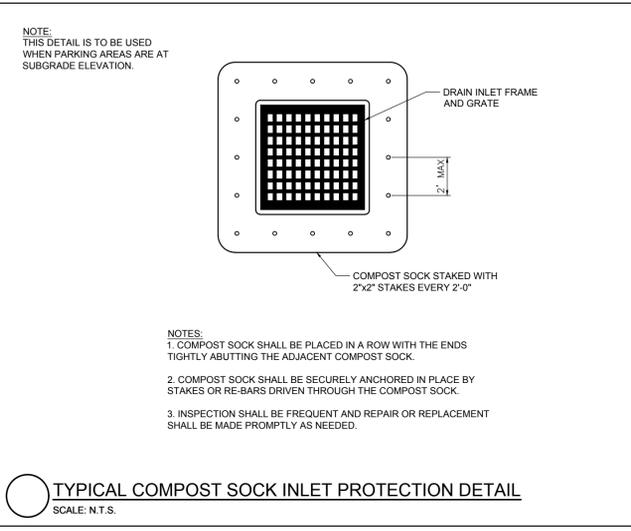
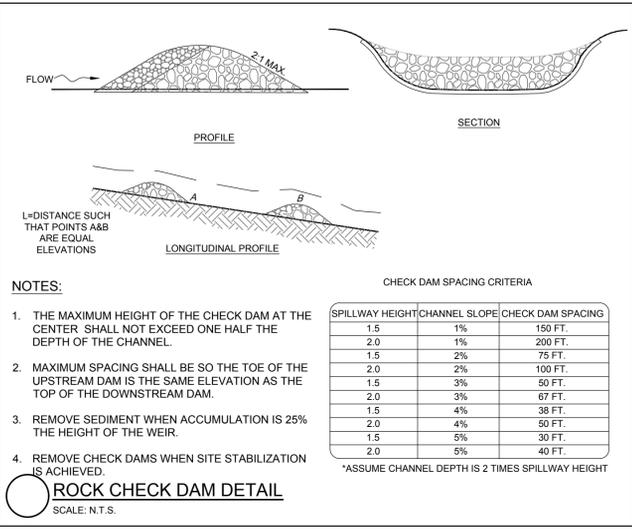
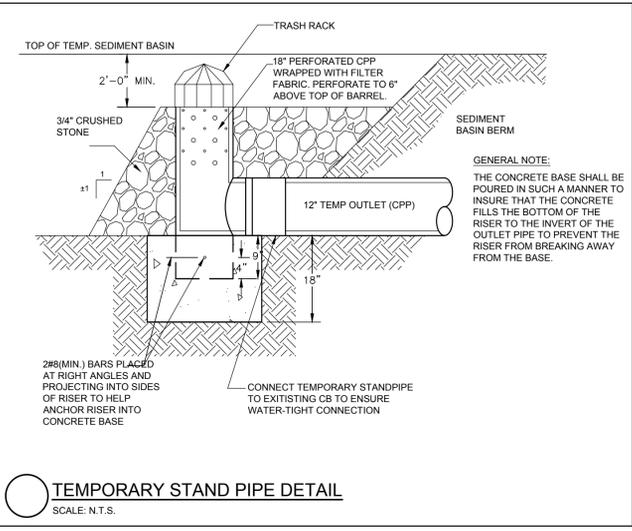
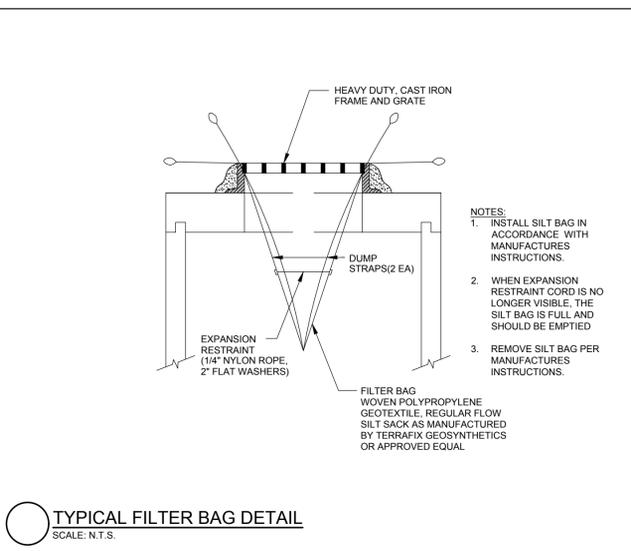
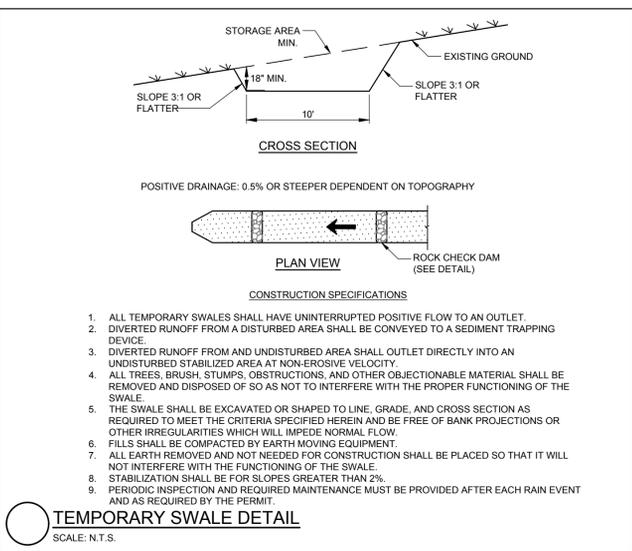
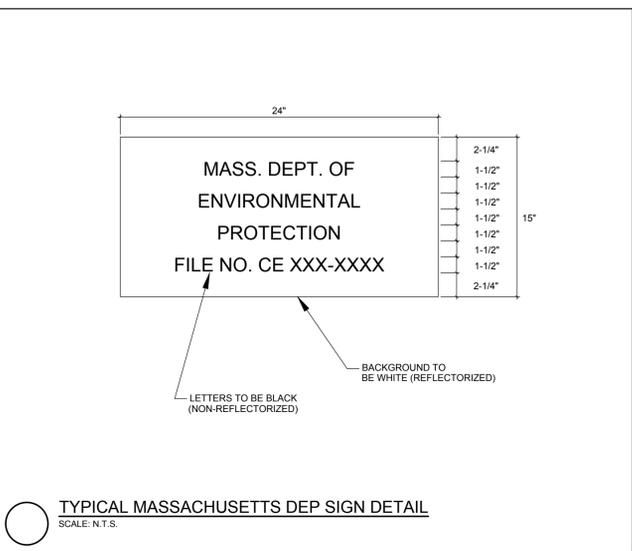
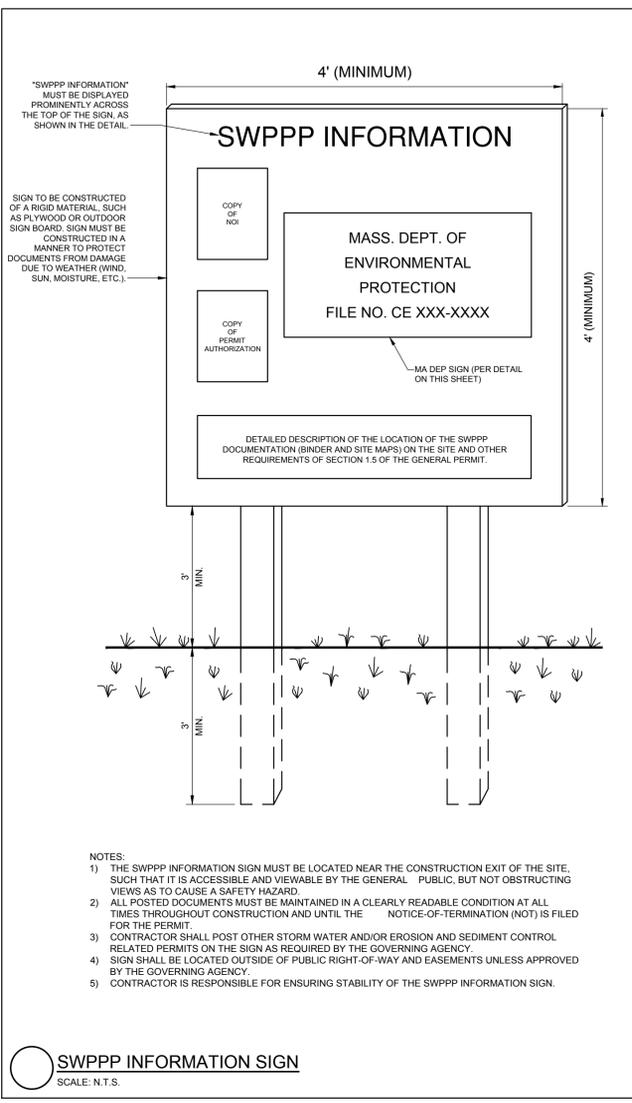
DRAWING NUMBER:

**C-4A**

DATE: 09/21/2022

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**SCHEMATIC DESIGN**

Drawing name: C:\MA\Franklin\Fairfield Residential\121 Grove Street\Main\Schematic Set\22018\_C-5 Demolition & Erosion Control Details - 1.dwg  
Sep 21, 2022 - 14:06pm



Representative sample of the level of final details to be incorporated into final permit plans (shown here: Details from the Dean Avenue Project)

NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	N.T.S.

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
5 BURLINGTON WOODS SUITE 203 BURLINGTON, MA 01803

SEAL:

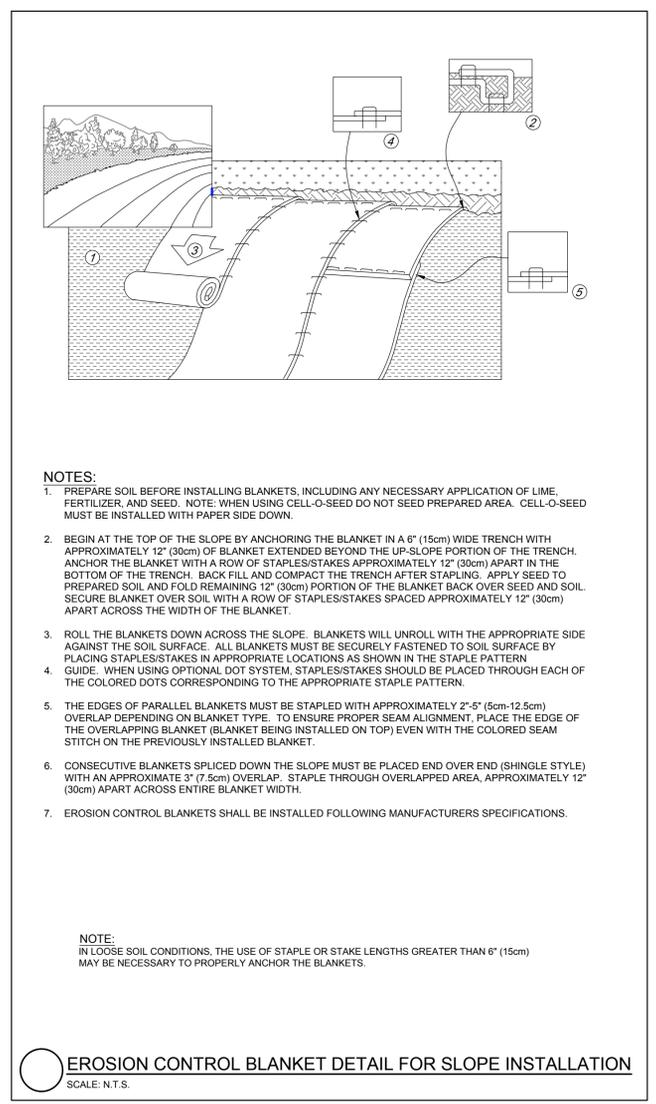
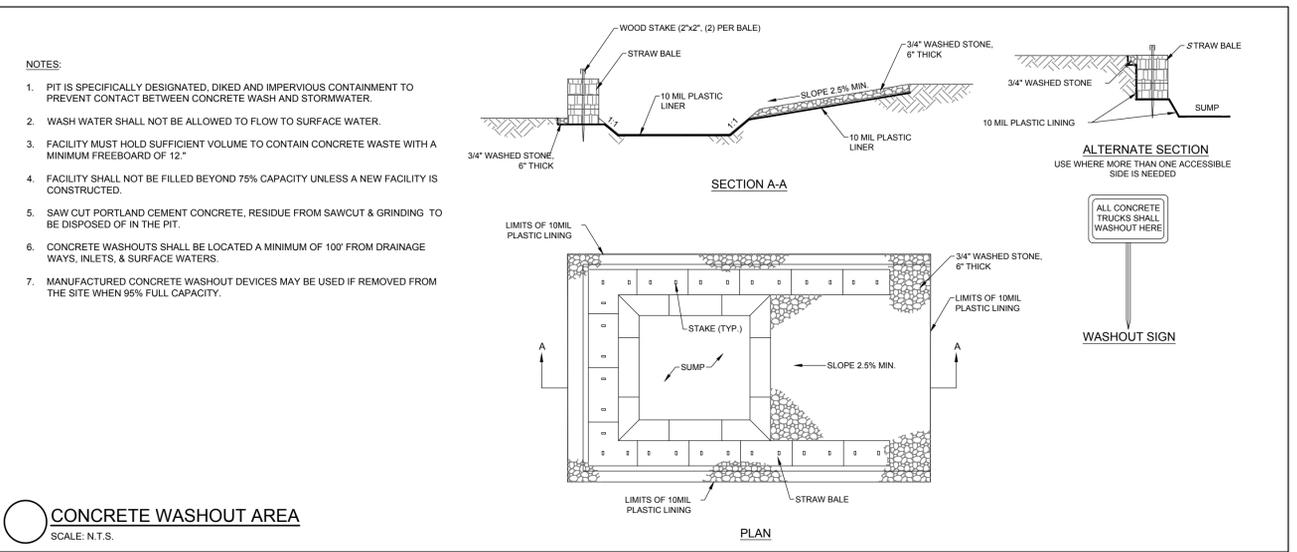
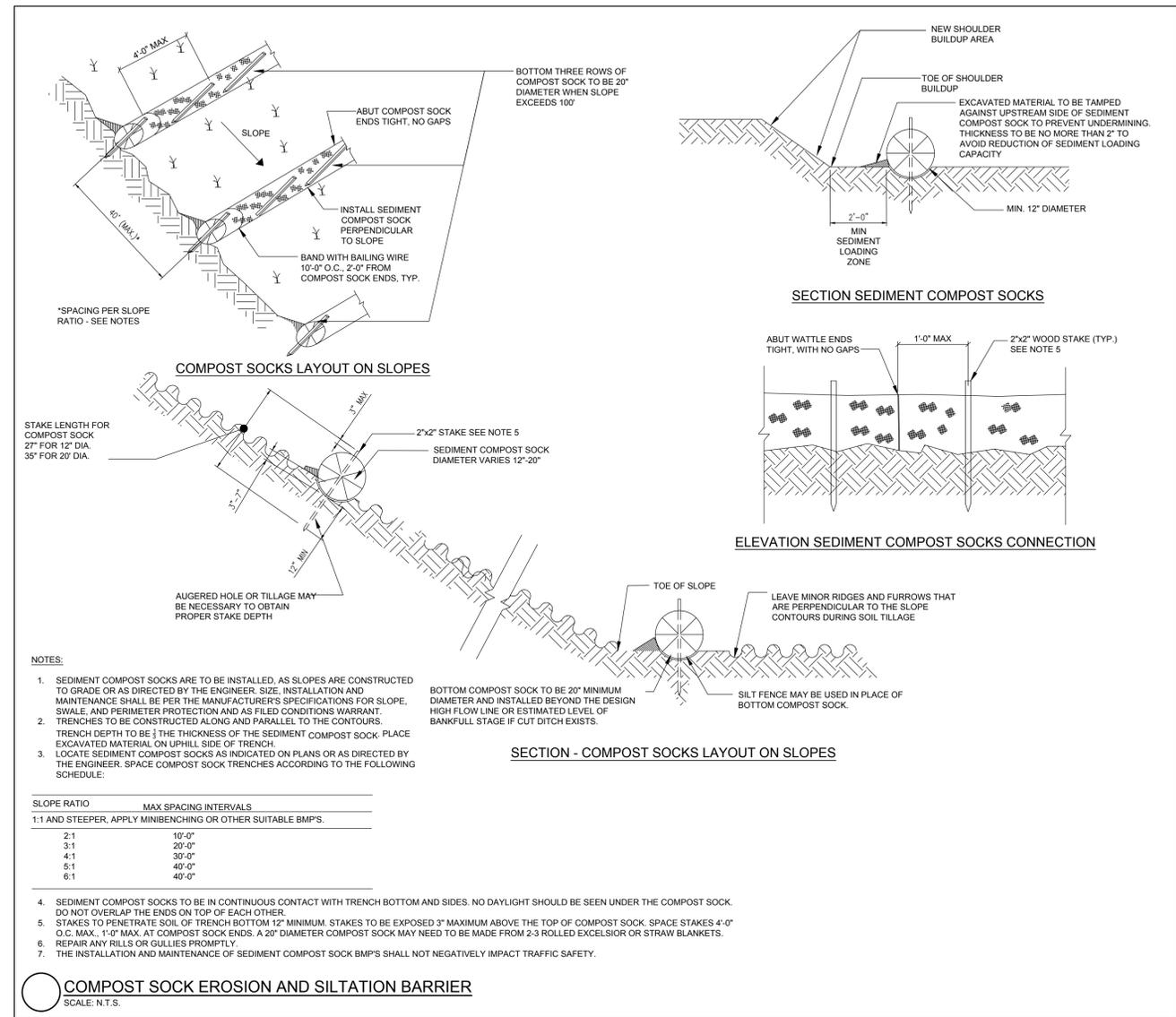
PREPARED BY:  
**RJO CONNELL & ASSOCIATES, INC.**  
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
90 MONTVILE AVENUE, SUITE 201 STONHAM, MA 02180  
PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
FRANKLIN, MA

DRAWING NAME:  
**DEMOLITION & EROSION CONTROL DETAILS - I**

DRAWING NUMBER:  
**C-5**

DATE:  
09/21/2022



**SCHEMATIC DESIGN**

Drawing name: C:\MA\Fairfield\Fairfield Residential\121 Grove Street\MainSchematic Set\202108\_C-6 Demolition & Erosion Control Details - II.dwg  
Sep 21, 2022 - 14:07pm



Representative sample of the level of final details to be incorporated into final permit plans (shown here: Details from the Dean Avenue Project)

NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	N.T.S.

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
5 BURLINGTON WOODS  
SUITE 203  
BURLINGTON, MA 01803

SEAL:

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
90 MONTVILE AVENUE, SUITE 201 STONHAM, MA 02180  
PHONE: 781.279.0180 RJOCONNELL.COM

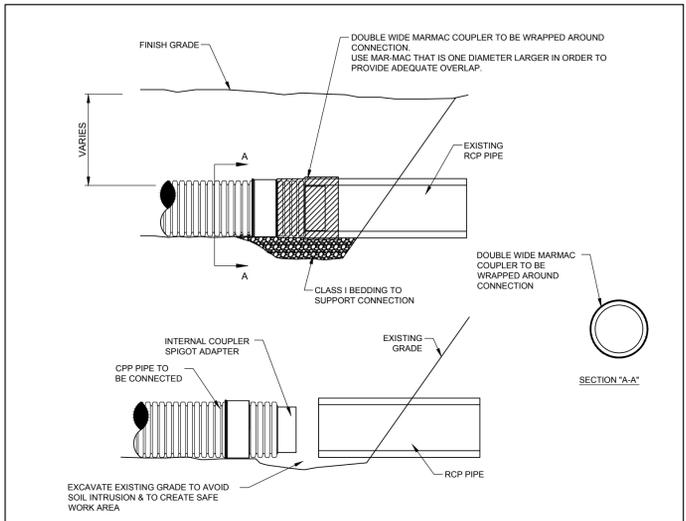
PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
FRANKLIN, MA

DRAWING NAME:  
**DEMOLITION & EROSION CONTROL DETAILS - II**

DRAWING NUMBER:  
**C-6**

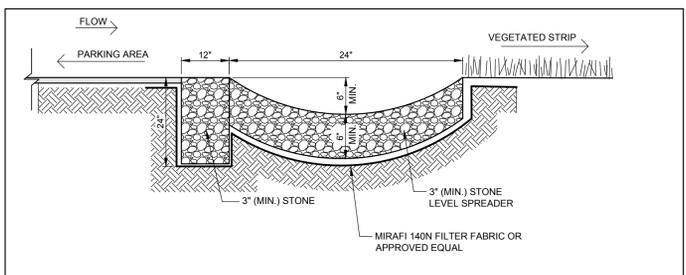
DATE:  
09/21/2022

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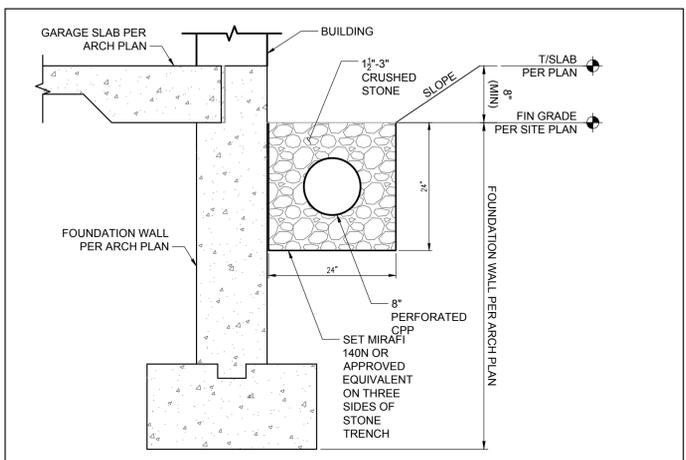


- NOTES:**
1. CONNECTION AND PIPE TO BE BACKFILLED PER ASTM D2321, LATEST EDITION.
  2. IN LIEU OF AN INTERNAL CYLINDER, AN HDPE WATER TIGHT REPAIR COUPLER CAN BE USED.
  3. INTERNAL CYLINDER ADAPTER IS NOT RECOMMENDED FOR DOWNSTREAM CONNECTIONS.

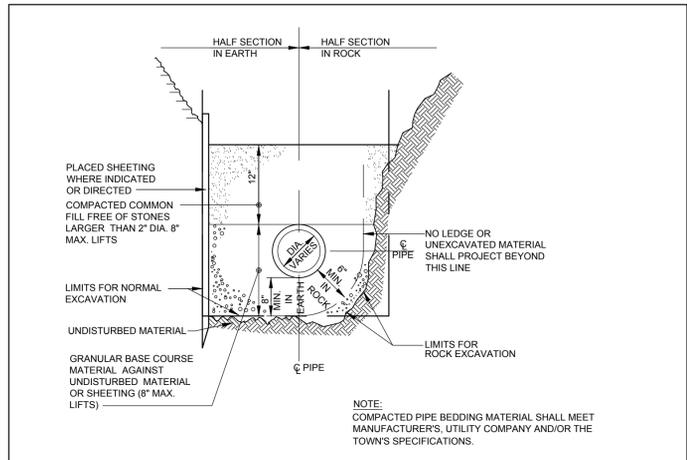
**CPP TO RCP CONNECTION (MARMAC) DETAIL**  
SCALE: N.T.S.



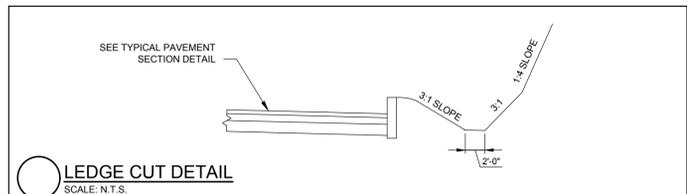
**STONE DIAPHRAGM AND LEVEL SPREADER DETAIL**  
SCALE: N.T.S.



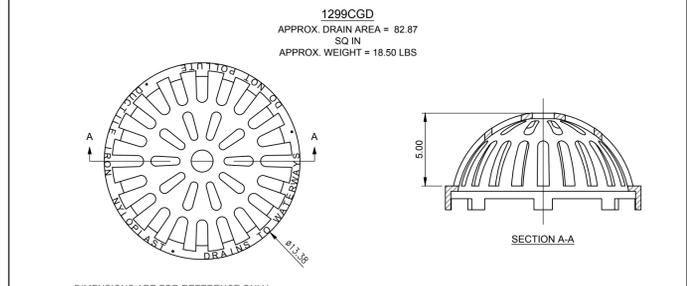
**STONE TRENCH BEHIND GARAGES 3, 5, 6, 10**  
SCALE: N.T.S.



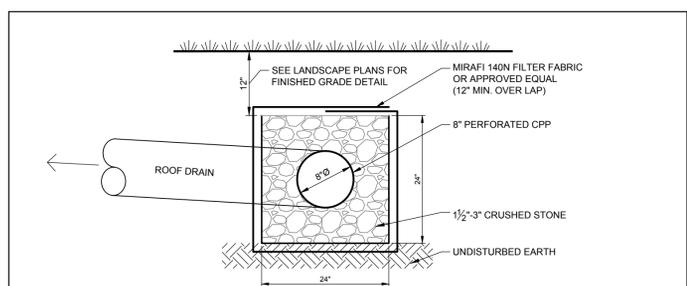
**TYPICAL DRAINAGE TRENCH DETAIL**  
SCALE: N.T.S.



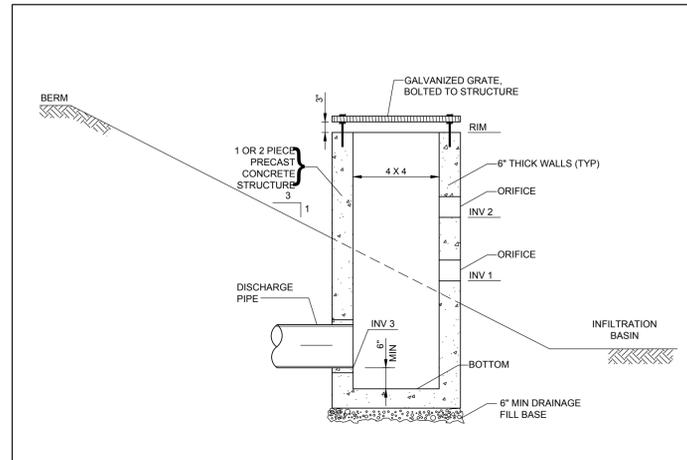
**LEDGE CUT DETAIL**  
SCALE: N.T.S.



**NYLOPLAST 12\"/>SCALE: N.T.S.**

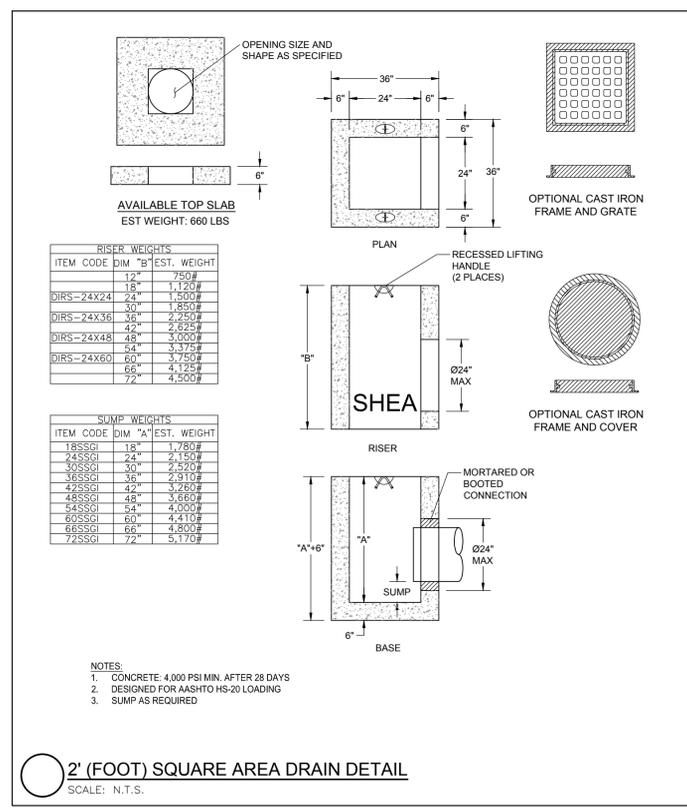


**INFILTRATION TRENCH DETAIL AT GARAGE #1 AND #2**  
SCALE: N.T.S.

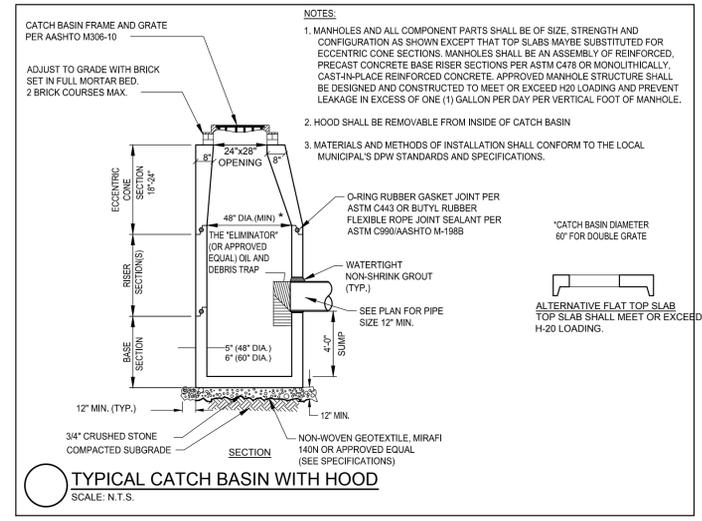


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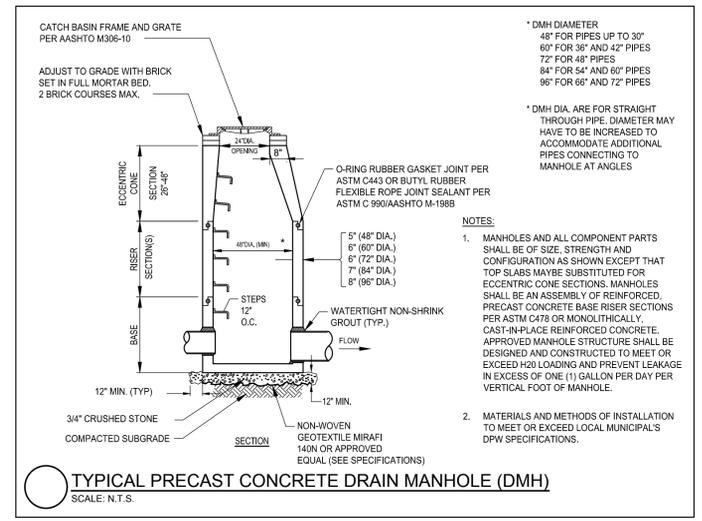
**OUTLET CONTROL STRUCTURE AT SEDIMENT FOREBAY #1 AND INFILTRATION BASIN #1**  
SCALE: N.T.S.



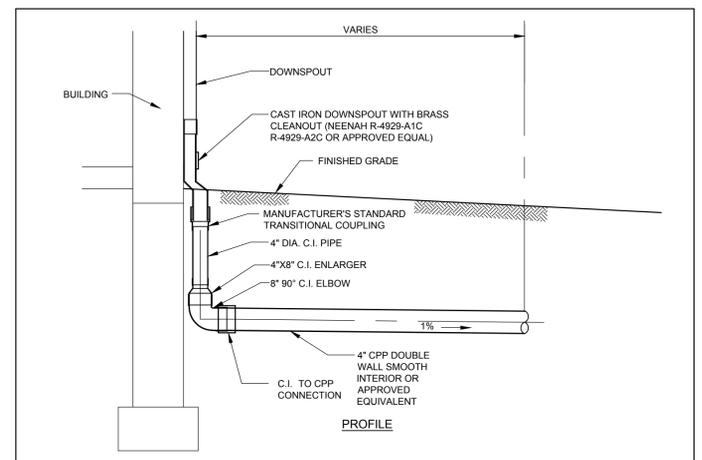
**2' (FOOT) SQUARE AREA DRAIN DETAIL**  
SCALE: N.T.S.



**TYPICAL CATCH BASIN WITH HOOD**  
SCALE: N.T.S.



**TYPICAL PRECAST CONCRETE DRAIN MANHOLE (DMH)**  
SCALE: N.T.S.



**TYPICAL EXTERIOR ROOF DRAIN DETAIL**  
SCALE: N.T.S.

**SCHEMATIC DESIGN**

Drawing name: C:\MA\Fairfield\Fairfield Residential\121 Grove Street\Main\Schematic Set\2021018\_C-7\_Drainage\_Details - 1.dwg  
Sep 21, 2022 - 14:08pm



Representative sample of the level of final details to be incorporated into final permit plans (shown here: Details from the Dean Avenue Project)

NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	N.T.S.

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
5 BURLINGTON WOODS SUITE 203 BURLINGTON, MA 01803

SEAL:

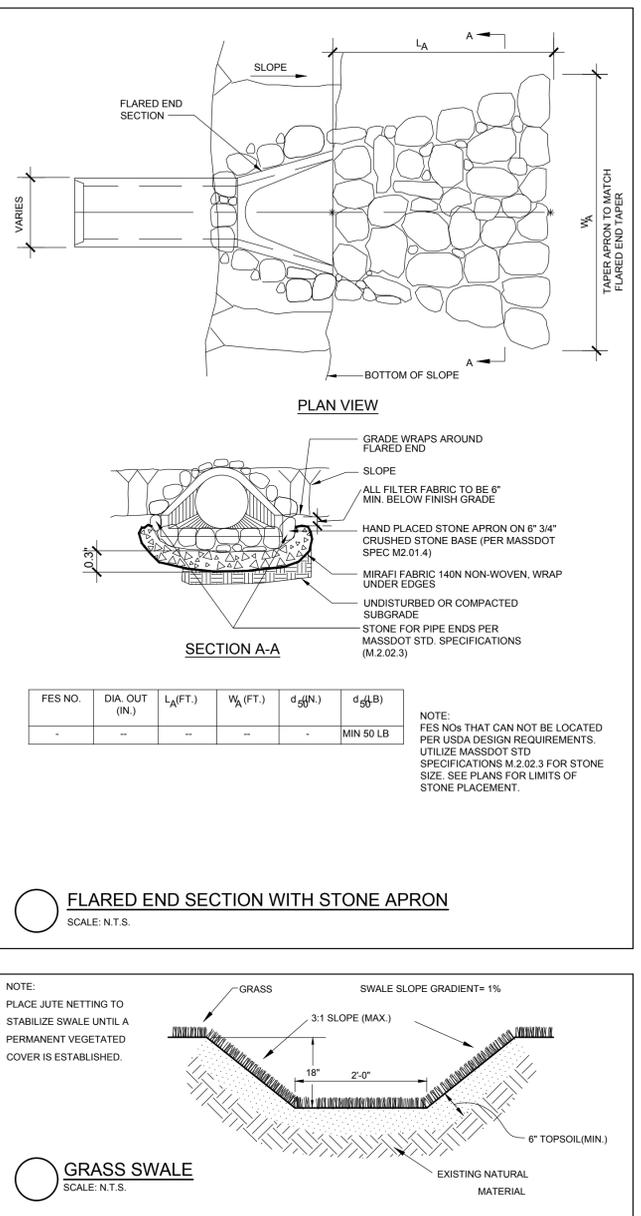
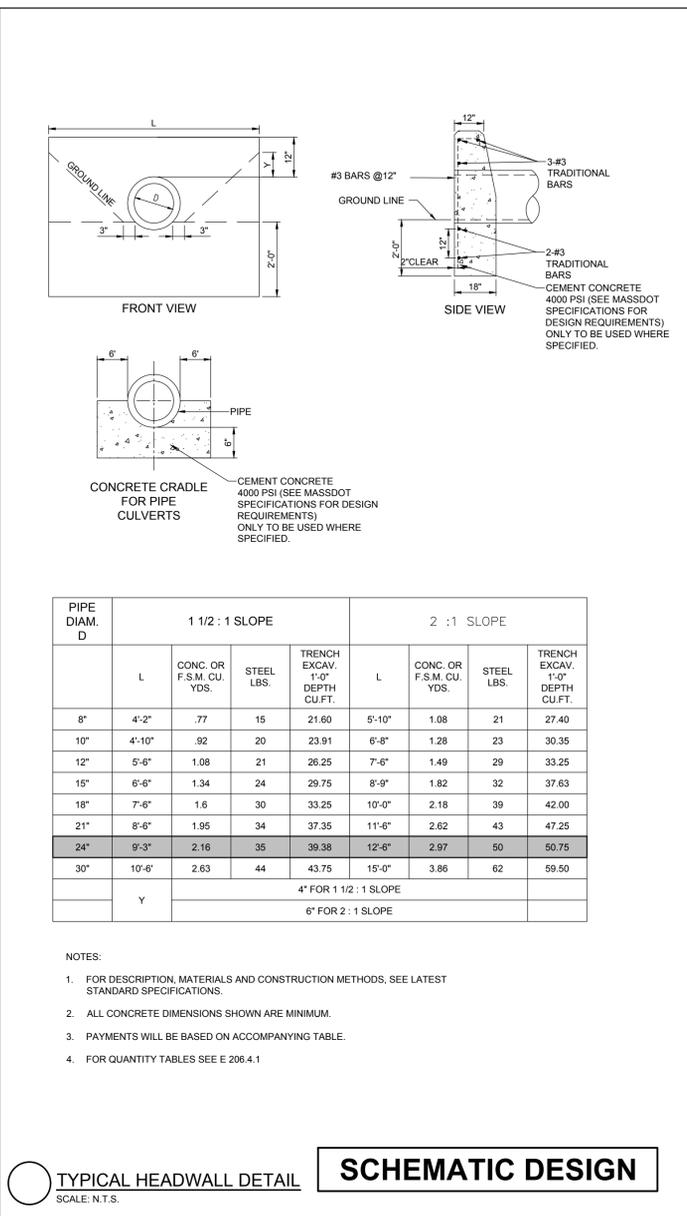
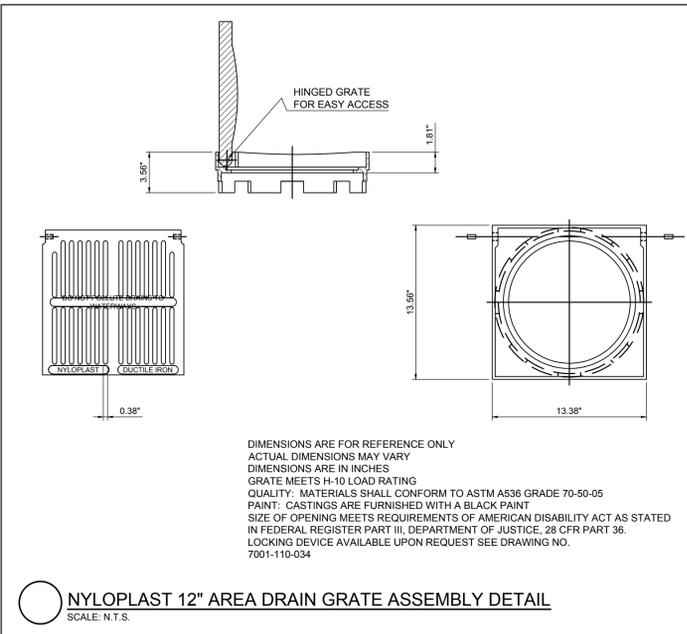
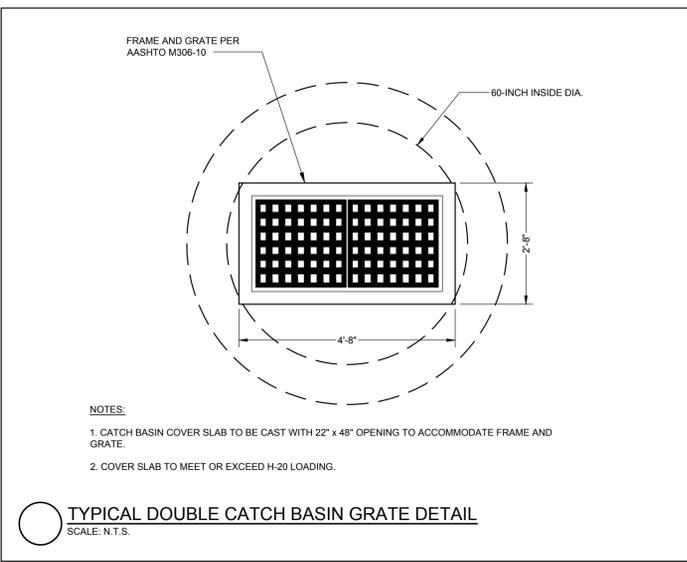
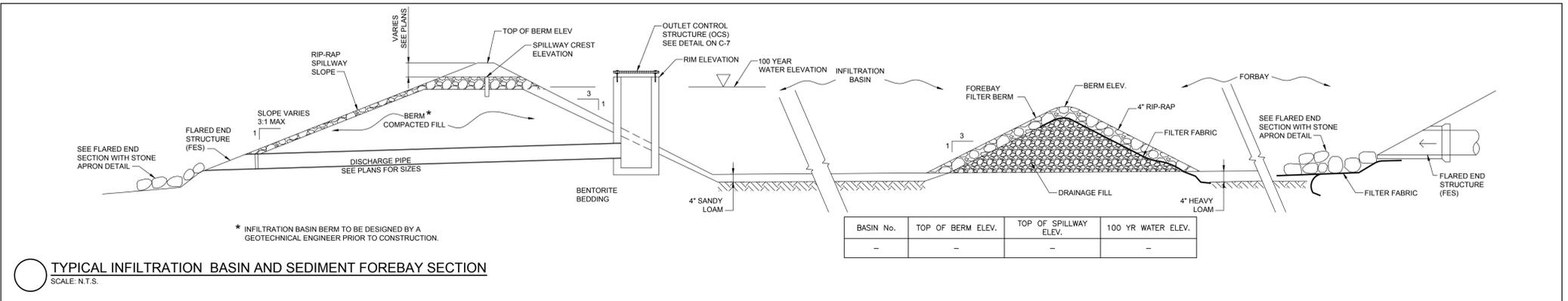
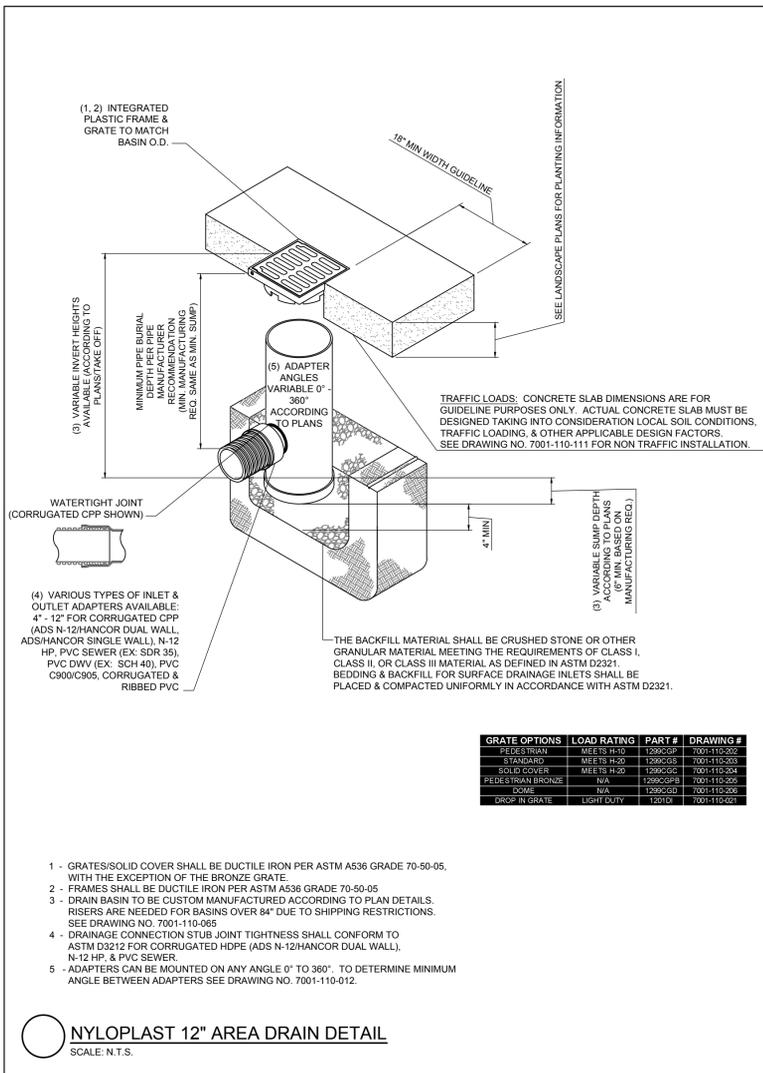
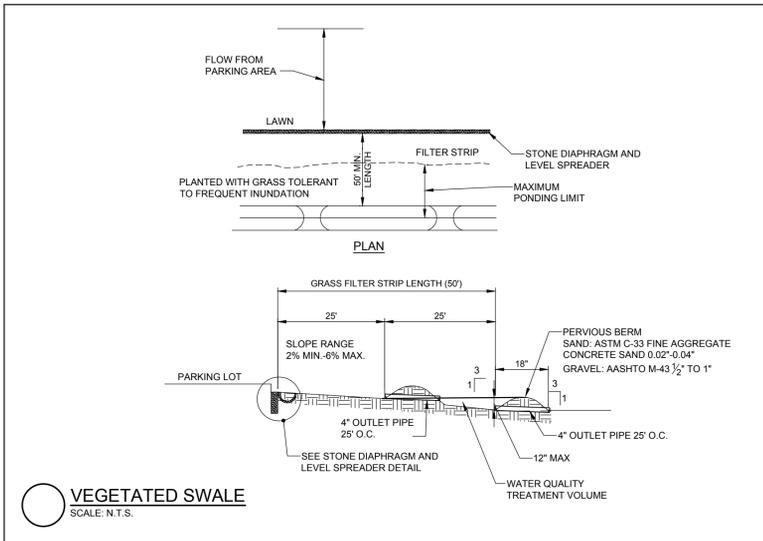
PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
90 MONTVILE AVENUE, SUITE 201 STONHAM, MA 02180  
PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
FRANKLIN, MA

DRAWING NAME:  
**DRAINAGE DETAILS - I**

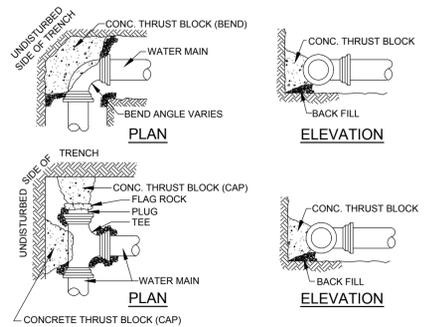
DRAWING NUMBER:  
**C-7**

DATE:  
09/21/2022



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Sep 21, 2022 - 14:09pm

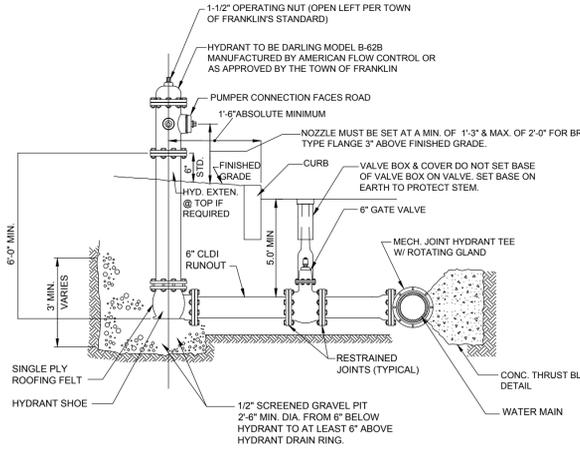
	<p>Representative sample of the level of final details to be incorporated into final permit plans (shown here: Details from the Dean Avenue Project)</p>	DESIGNED BY: AAA	<p>PREPARED FOR: <b>FAIRFIELD RESIDENTIAL COMPANY LLC</b> 5 BURLINGTON WOODS SUITE 203 BURLINGTON, MA 01803</p>	SEAL:	<p>PREPARED BY: <b>RJO'CONNELL &amp; ASSOCIATES, INC.</b> CIVIL ENGINEERS, SURVEYORS &amp; LAND PLANNERS 90 MONTVALE AVENUE, SUITE 201 STORHAM, MA 02150 PHONE: 781.279.0180 RJOCONNELL.COM</p>	DRAWING NAME: <b>DRAINAGE DETAILS - II</b>
		DRAWN BY: AAA		PROJECT NAME: <b>FAIRFIELD AT GROVE STREET</b> FRANKLIN, MA		DRAWING NUMBER: <b>C-8</b>
REVIEWED BY: AAA	DATE:	SCALE: N.T.S.	DATE:	DATE:	DATE:	DATE:



MINIMUM THRUST BLOCKING BEARING AREAS IN SQUARE FEET					
PIPE DIA.	TEES/CAP/HYD	90° BEND	45° BEND	22.5° BEND	11.25° BEND
4"	2	2	2	2	1
6"	4	5	3	2	1
8"	6	8	5	3	2
10"	9	13	7	3	2
12"	13	18	10	4	3
14"	18	25	14	6	4
16"	23	32	18	8	6

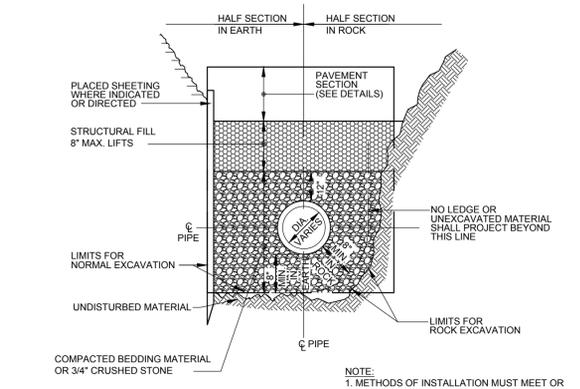
- NOTES:**
- ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
  - ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
  - SIZE OF CONCRETE THRUST BLOCKS AS NOTED BELOW.
  - MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 4,000 P.S.I.
  - MINIMUM BEARING AREA BASED ON 2000 LB/SF ALLOWABLE SOIL BEARING PRESSURE WITH A 1.5 SAFETY FACTOR.
  - A MINIMUM OF 1/3 CUBIC YARD OF CONCRETE MUST BE USED FOR THRUST BLOCKS
  - MATERIALS, METHOD INSTALLATION SHALL CONFORM TO THE TOWN OF FRANKLIN'S WATER/SEWER DEPARTMENT'S SPECIFICATIONS.

**TYPICAL THRUST BLOCK DETAIL**  
SCALE: N.T.S.



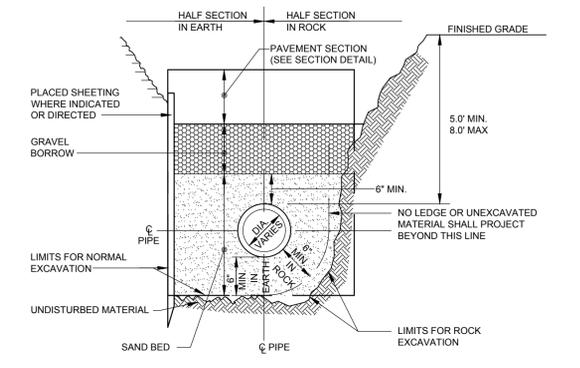
- NOTE:**
- HYDRANT MATERIALS AND INSTALLATION SHALL MEET OR EXCEED THE TOWN OF FRANKLIN'S WATER AND/OR FRANKLIN FIRE DEPARTMENT'S SPECIFICATIONS.
  - HYDRANT TO BE FACTORY PAINTED PER THE TOWN OF FRANKLIN'S REQUIREMENTS.
  - HYDRANTS SHALL BE INSTALLED NOT LESS THAN 34 INCHES FROM GROUND AND NOT MORE THAN 40 INCHES HIGH.

**TYPICAL FIRE HYDRANT CONNECTION DETAIL**  
SCALE: N.T.S.



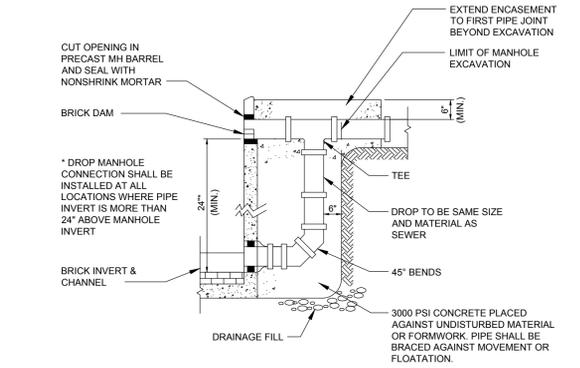
- NOTE:**
- METHODS OF INSTALLATION MUST MEET OR EXCEED THE TOWN OF FRANKLIN'S SEWER DEPARTMENT AND PIPE MANUFACTURER'S SPECIFICATIONS.
  - ALL BUILDING SEWERS AND SEWER LINES SHALL HAVE A METALLIC TRACE TAPE IN THE TRENCH ONE FOOT BELOW FINISHED GRADE.

**TYPICAL SEWER TRENCH DETAIL**  
SCALE: N.T.S.

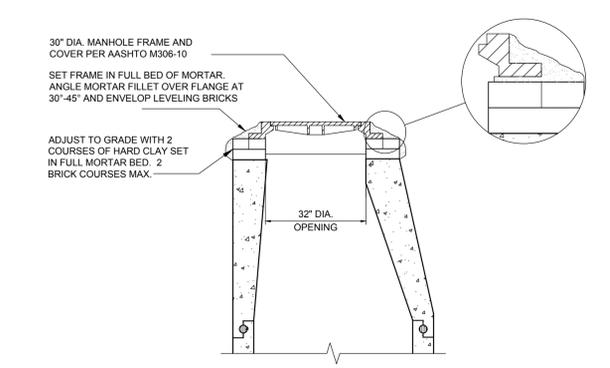


- NOTE:** WHERE MORE STRINGENT, CONTRACTOR SHALL COMPLY WITH LOCAL REQUIREMENTS.

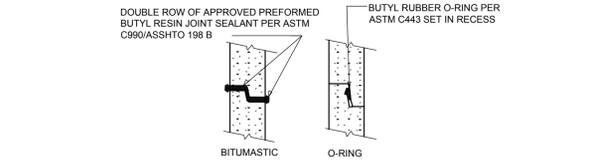
**TYPICAL WATER TRENCH DETAIL**  
SCALE: N.T.S.



**TYPICAL EXTERIOR DROP SEWER MANHOLE CONNECTION DETAIL**  
SCALE: N.T.S.

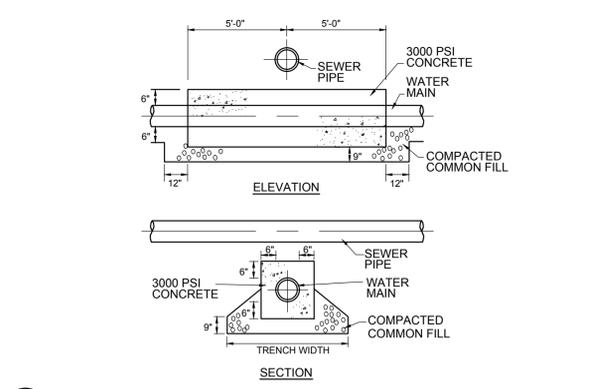


**PRECAST CONCRETE SEWER MANHOLE (SMH) CASTING DETAIL**  
SCALE: N.T.S.

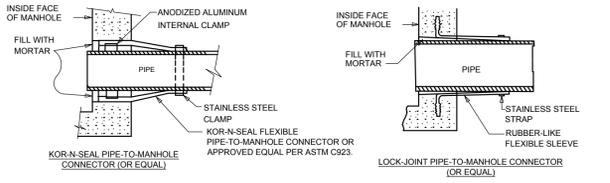


- NOTES:**
- HORIZONTAL JOINTS BETWEEN PRECAST CONCRETE MANHOLE SECTIONS SHALL BE OF A TYPE APPROVED BY THE ENGINEER. JOINTS SHALL BE MADE WATERTIGHT WITH A BUTYL RUBBER O-RING PER ASTM C443 OR A DOUBLE ROW OF BUTYL RESIN JOINT SEALANT IN ROPE FORM CONFORMING TO AASHTO 198 B/ASTM C990.
  - ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS
  - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
  - MATERIALS AND METHOD OF INSTALLATION SHALL CONFORM TO THE TOWN OF FRANKLIN'S SPECIFICATIONS.

**DETAIL 'A' SEWER MANHOLE JOINTING METHODS**  
SCALE: N.T.S.

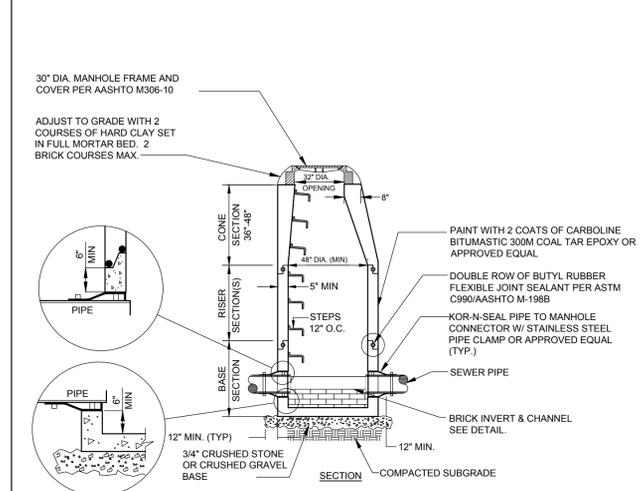


**CONCRETE ENCASEMENT DETAIL**  
SCALE: N.T.S.



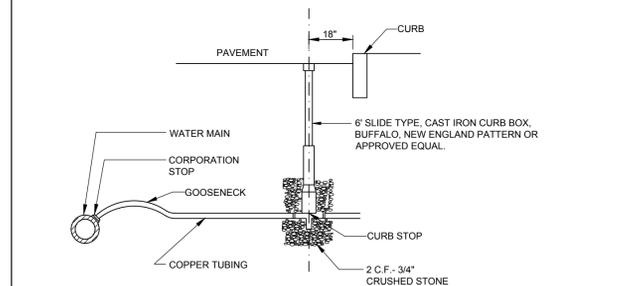
- NOTES:**
- PIPE TO MANHOLE CONNECTIONS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND SHALL BE WATERTIGHT.
  - MATERIALS, METHOD OF INSTALLATION SHALL CONFORM TO TOWN OF FRANKLIN'S SPECIFICATIONS.

**PIPE CONNECTIONS TO SEWER MANHOLE DETAIL**  
SCALE: N.T.S.



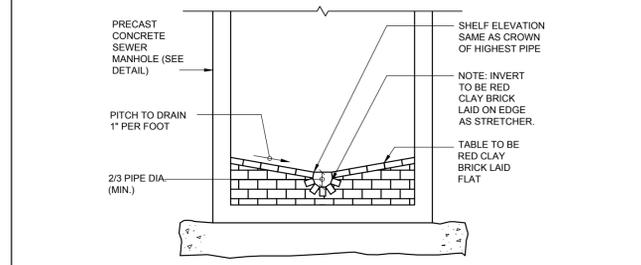
- NOTES:**
- MANHOLES AND ALL COMPONENT PARTS SHALL BE OF SIZE, STRENGTH AND CONFIGURATION AS SHOWN EXCEPT THAT TOP SLABS MAY BE SUBSTITUTED FOR ECCENTRIC CONE SECTIONS. MANHOLES SHALL BE AN ASSEMBLY OF REINFORCED, PRECAST CONCRETE BASE RISER SECTIONS PER ASTM C478 OR MONOLITHICALLY, CAST-IN-PLACE REINFORCED CONCRETE. APPROVED MANHOLE STRUCTURE SHALL BE DESIGNED AND CONSTRUCTED TO MEET OR EXCEED 14-20 LBS/SQ FT AND PREVENT LEAKAGE IN EXCESS OF ONE (1) GALLON PER DAY PER VERTICAL FOOT OF MANHOLE.
  - MANHOLE STEPS TO BE STEEL REINFORCED. CO-POLYMER, POLY-PROPYLENE PLASTIC CONFORMING TO ASTM D4101. STEEL REINFORCING SHALL BE A DEFORMED 1/2\"/>

**PRECAST CONC. SEWER MANHOLE (SMH) WITH BRICK INVERT**  
SCALE: N.T.S.



- NOTE:**
- INSTALLATION AND MATERIALS TO BE IN ACCORDANCE WITH TOWN OF FRANKLIN'S SPECIFICATIONS.
  - WATER SERVICES LARGER THAN 1\"/>

**TYPICAL WATER SERVICE CONNECTION DETAIL**  
SCALE: N.T.S.



- NOTES:**
- MATERIALS, METHOD OF INSTALLATION SHALL CONFORM TO THE TOWN OF FRANKLIN'S SPECIFICATIONS.

**TYPICAL BRICK INVERT SECTION FOR SEWER AND DRAIN MANHOLE**  
SCALE: N.T.S.

**SCHEMATIC DESIGN**



Representative sample of the level of final details to be incorporated into final permit plans (shown here: Details from the Dean Avenue Project)

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	N.T.S.

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
5 BURLINGTON WOODS SUITE 203 BURLINGTON, MA 01803

SEAL:

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
90 MONTVAIL AVENUE, SUITE 201 STONEHAM, MA 02150  
PHONE: 781.279.0180 RJOCONNELL.COM

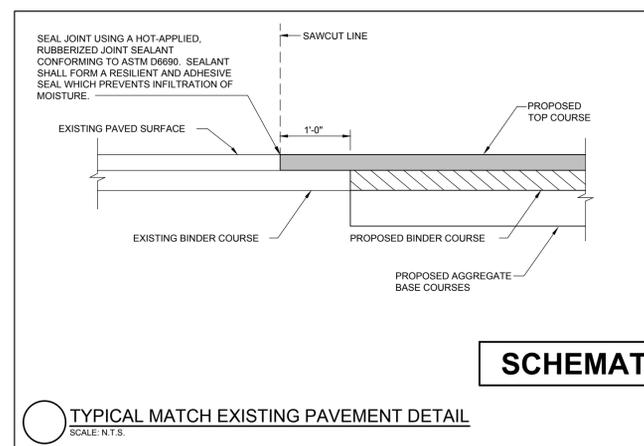
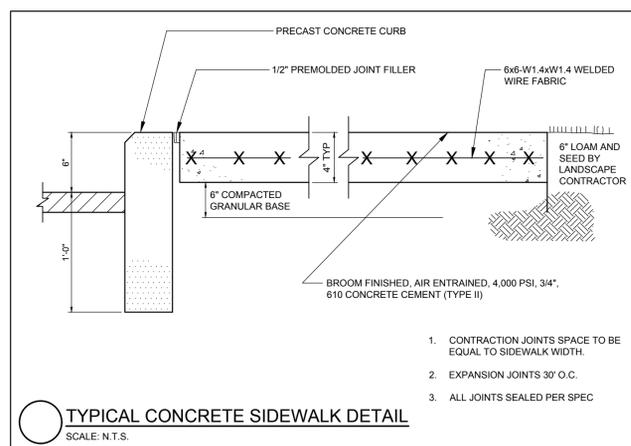
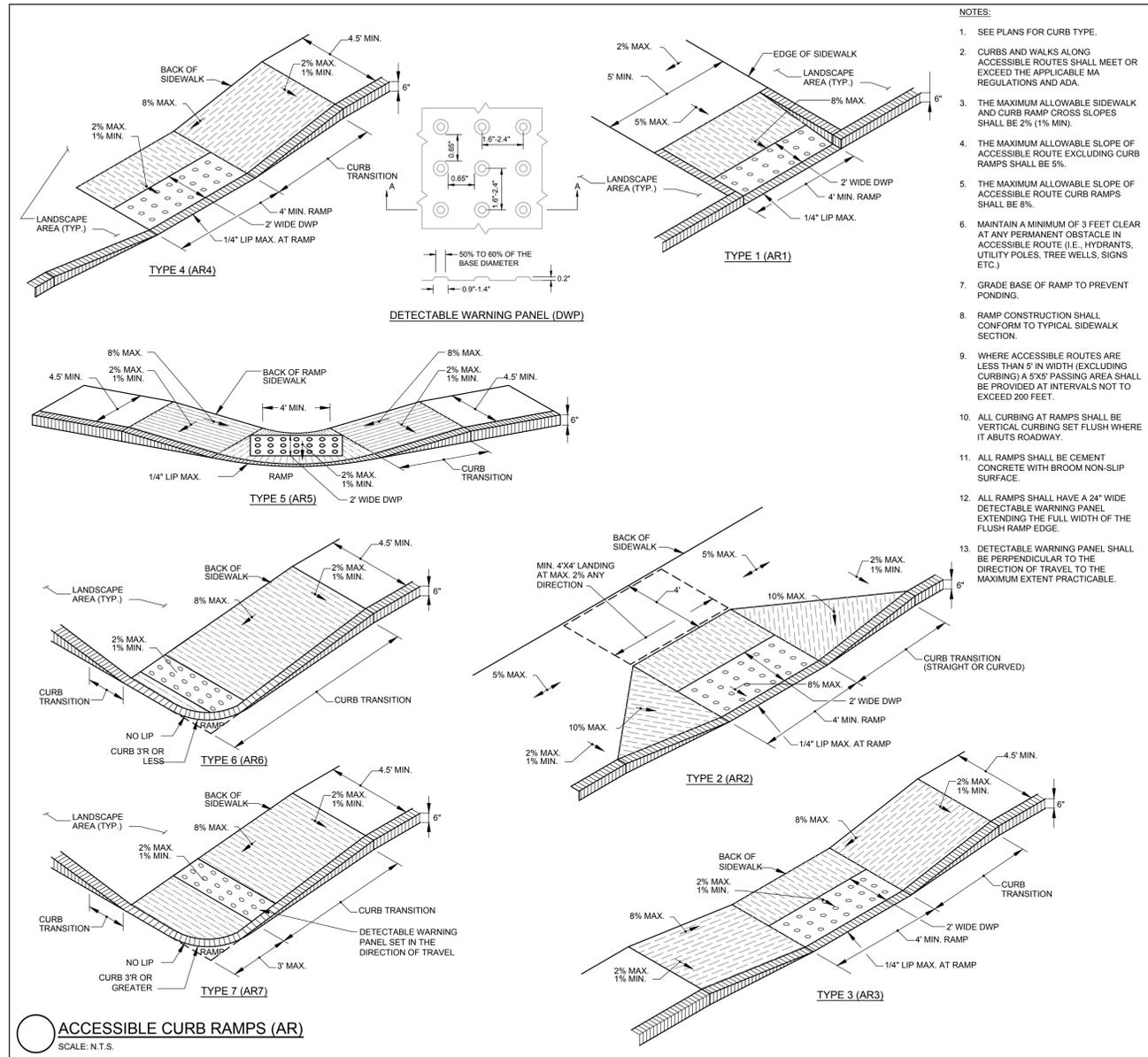
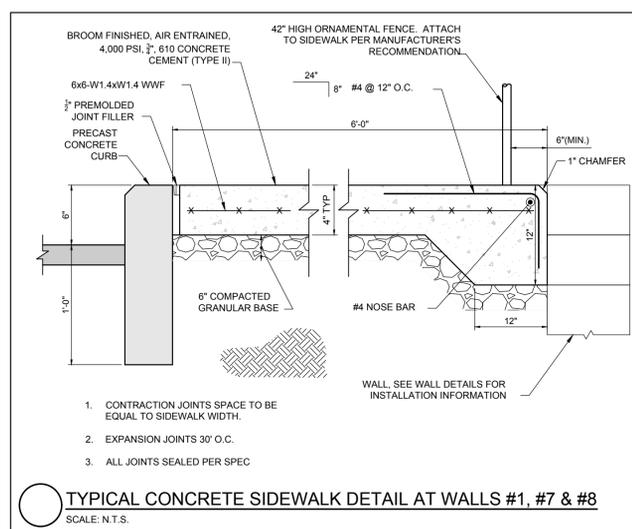
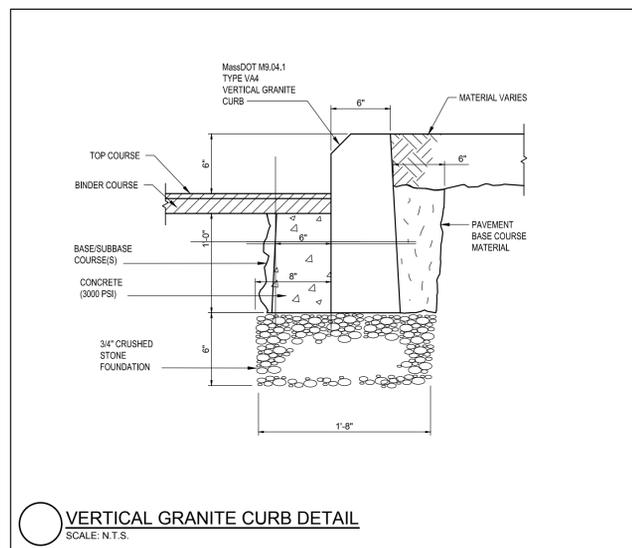
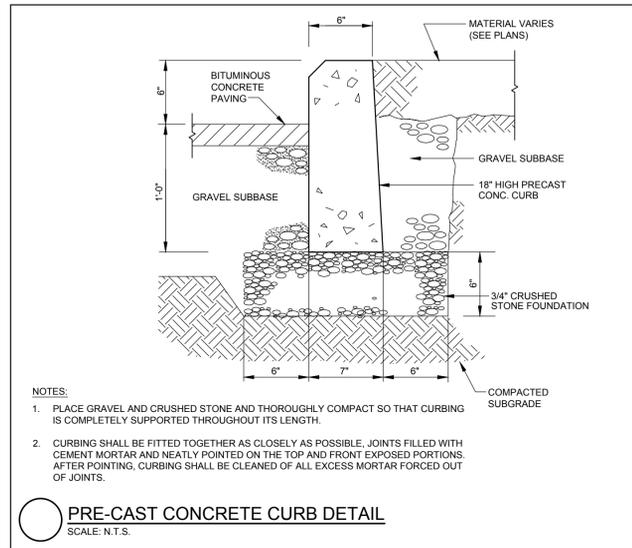
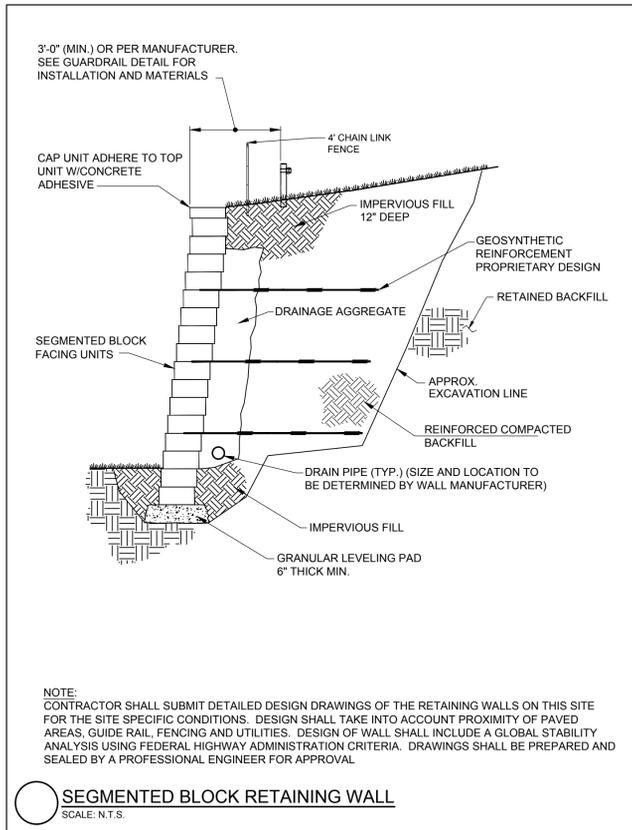
PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
FRANKLIN, MA

DRAWING NAME:  
**UTILITY DETAILS**

DRAWING NUMBER:  
**C-9**

DATE:  
09/21/2022

Drawing name: C:\MA\Franklin\Fairfield Residential\121 Grove Street\Main\Schematic Set\220118\_C-9\_Utility\_Details.dwg  
Sep 21, 2022 - 14:09pm



**SCHEMATIC DESIGN**



Representative sample of the level of final details to be incorporated into final permit plans (shown here: Details from the Dean Avenue Project)

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	N.T.S.

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
5 BURLINGTON WOODS SUITE 203 BURLINGTON, MA 01803

SEAL:

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
90 MONTVILE AVENUE, SUITE 201 STONHAM, MA 02150  
PHONE: 781.279.0180 RJOCONNELL.COM

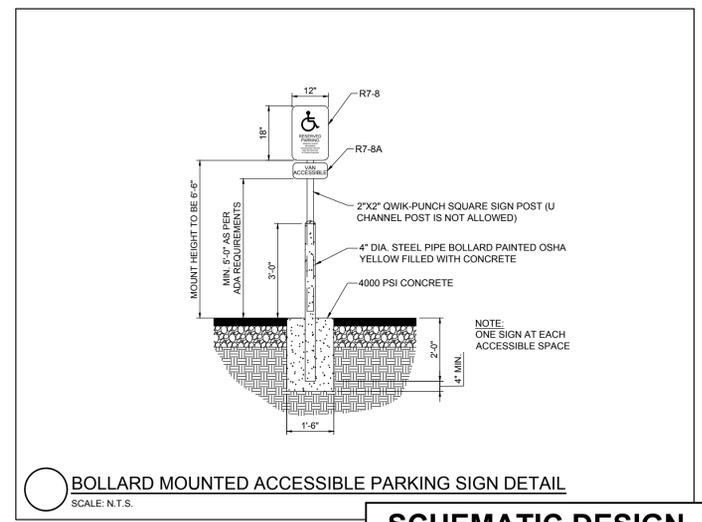
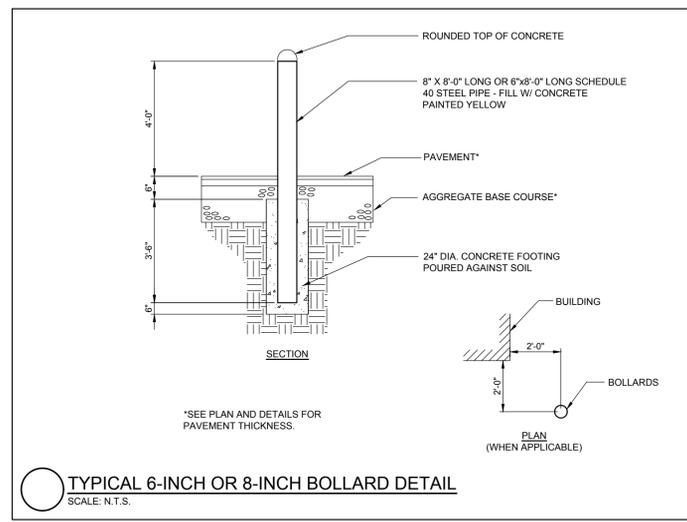
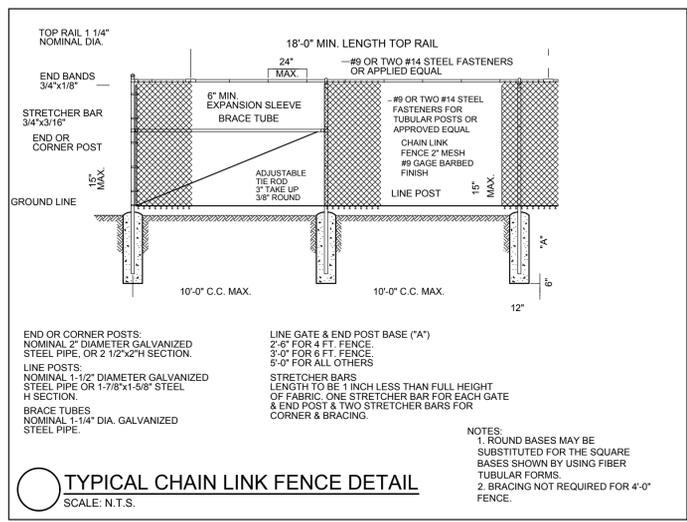
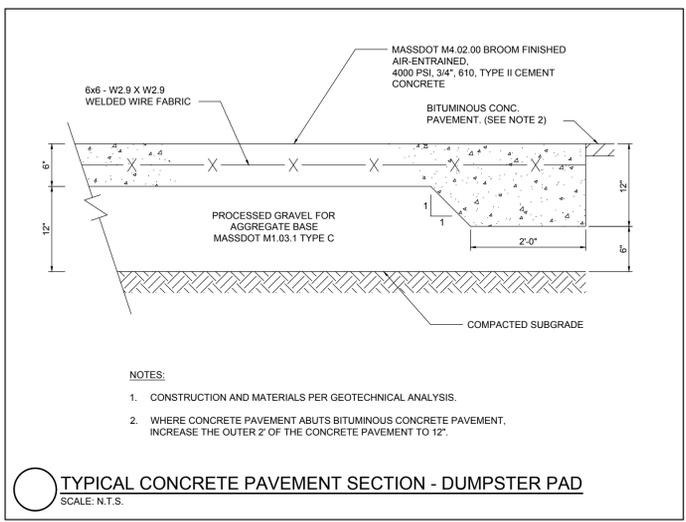
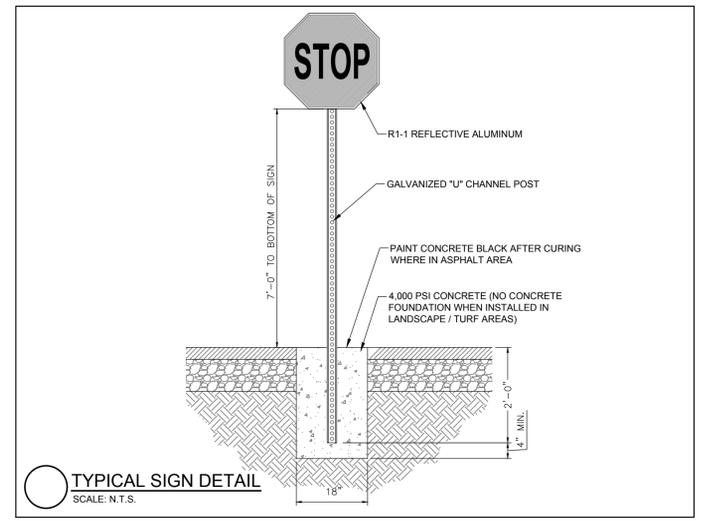
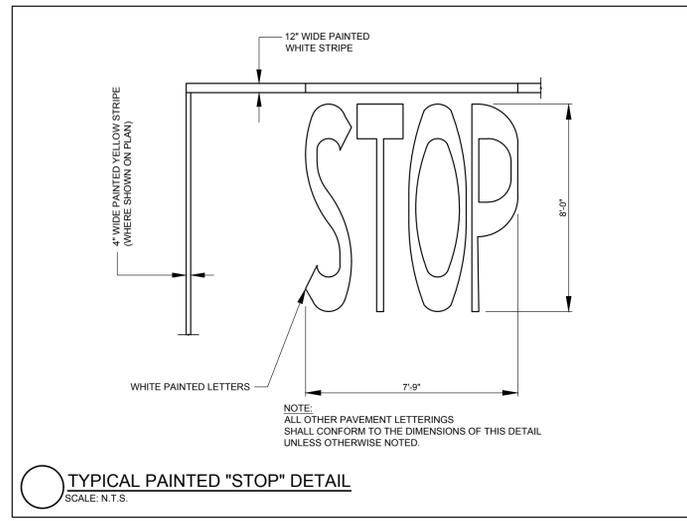
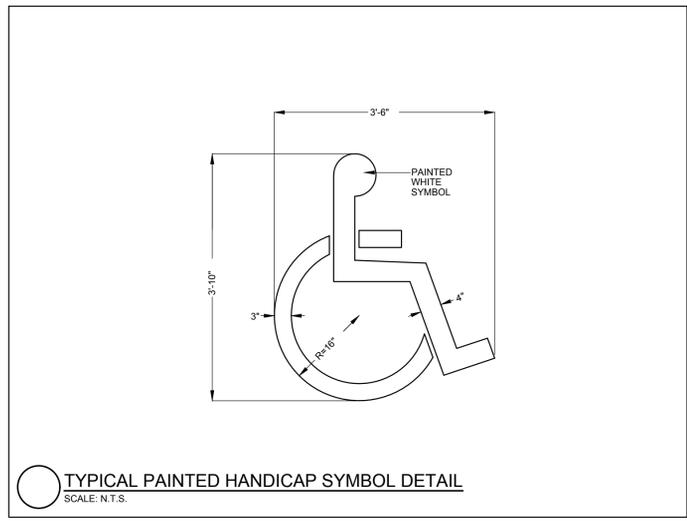
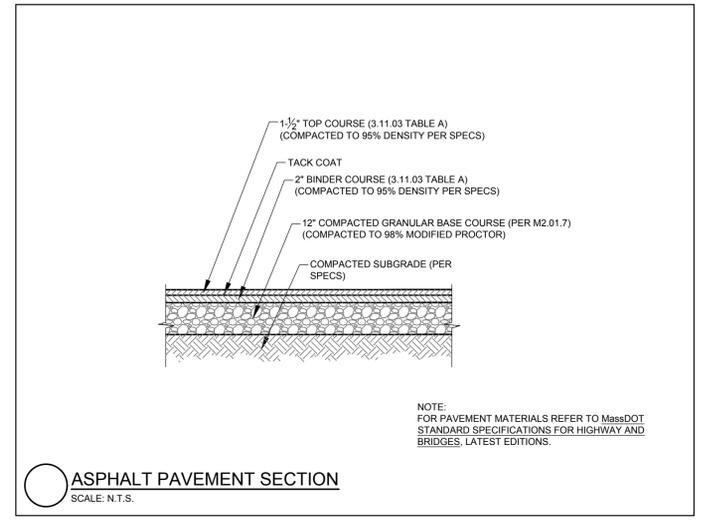
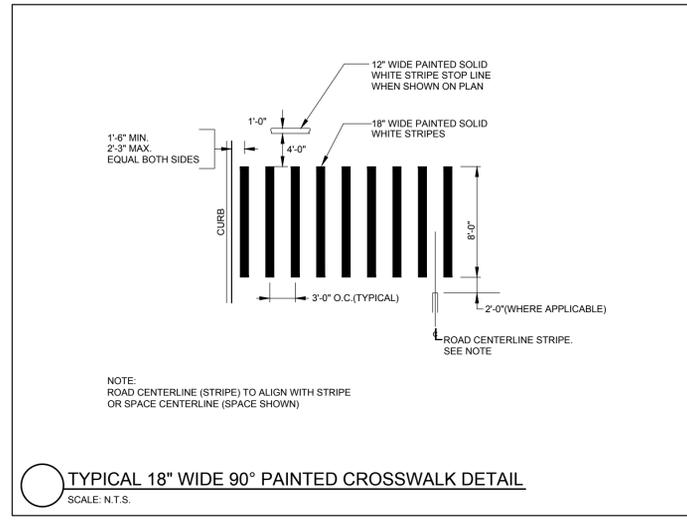
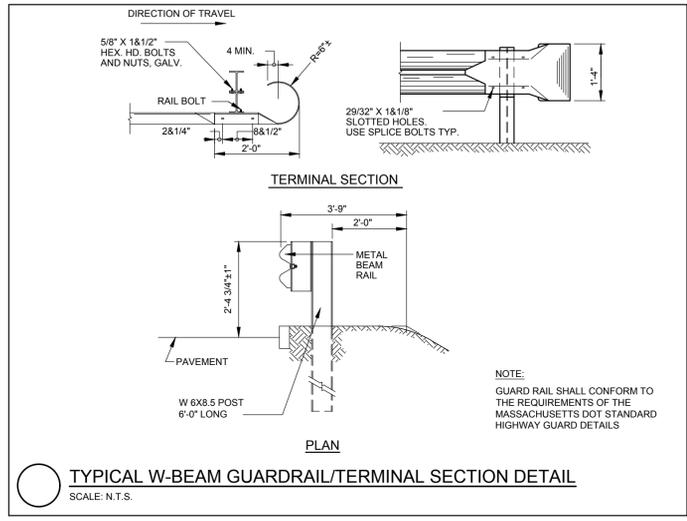
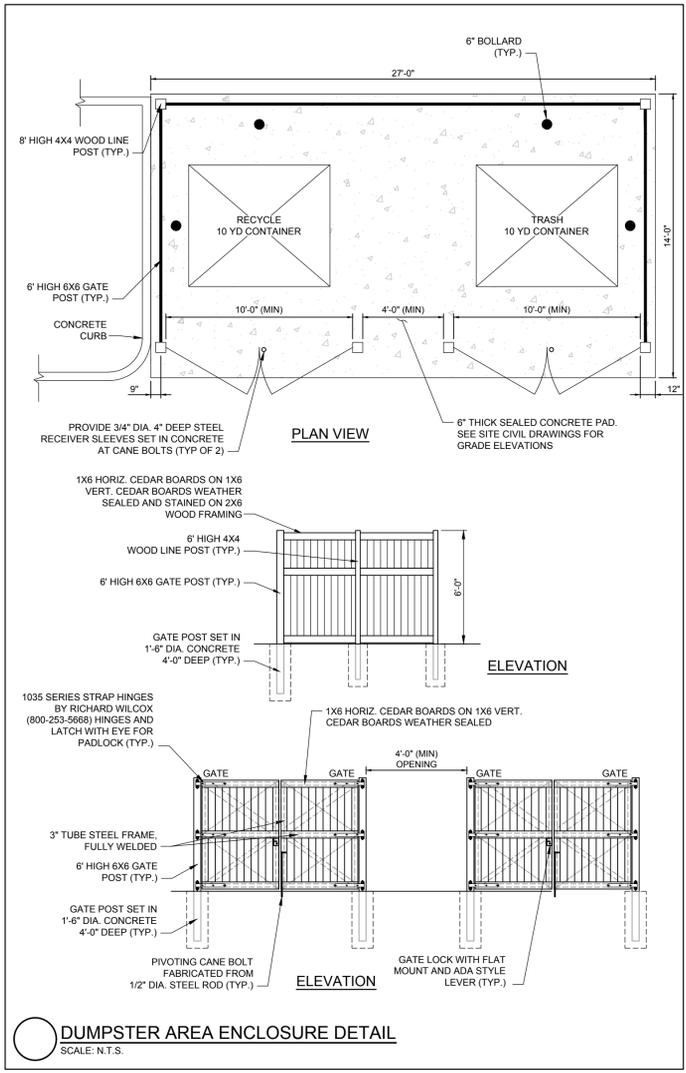
PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
FRANKLIN, MA

DRAWING NAME:  
**PARKING AND TRAFFIC CONTROL DETAILS - I**

DRAWING NUMBER:  
**C-10**

DATE:  
09/21/2022

Drawing name: C:\MA\Franklin\Fairfield Residential\121 Grove Street\Main\Schematic Set\202108\_C-10 Parking & Traffic Control Details - I.dwg  
Sep 21, 2022 - 14:10pm



**SCHEMATIC DESIGN**

Drawing name: C:\MA\Fairfield\Fairfield Residential\121 Grove Street\MainSchematic Set\22018\_C-11 Parking & Traffic Control Details - II.dwg  
Sep 21, 2022 - 14:10pm



Representative sample of the level of final details to be incorporated into final permit plans (shown here: Details from the Dean Avenue Project)

NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	N.T.S.

PREPARED BY:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
5 BURLINGTON WOODS SUITE 203 BURLINGTON, MA 01803

SEAL:

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
90 MONTVILE AVENUE, SUITE 201 STONHAM, MA 02150  
PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
FRANKLIN, MA

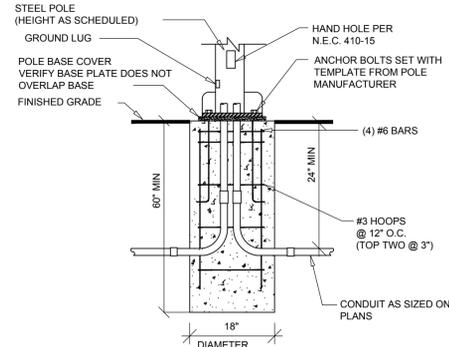
DRAWING NAME:  
**PARKING AND TRAFFIC CONTROL DETAILS - II**

DRAWING NUMBER:  
**C-11**

DATE:  
09/21/2022

§ 185-31.1C(3)(i) photometric plan with sufficient illuminance values, to determine compliance with § 185-31.1C(4)(c)  
 § 185-31.1C(4)(e) No site feature or activity shall create glare or illumination which extends beyond a site's property lines and creates a hazard or nuisance to neighboring property owners or on adjacent roadways. Lighting shall be designed to provide the minimum illumination necessary for the safety and security of the proposed activity. Lighting shall be designed such that the light source is shielded and the light is directed downward.

**FIXTURE AND MOUNTING ARM**  
 NOT TO SCALE

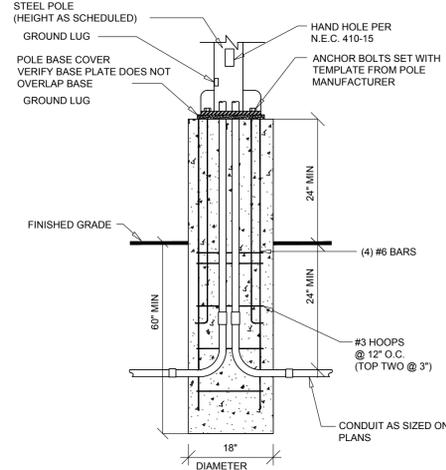


**POLE BASE DETAIL**  
 NOT TO SCALE

**NOTES:**

- POLE SHALL BE SET BACK FROM CURB/EDGE OF PAVEMENT BY 3'-0".
- POLE SHALL BE SET ON BACK SIDE OF SIDEWALKS.

**DECORATIVE LIGHT POLE DETAIL**  
 SCALE: N.T.S.

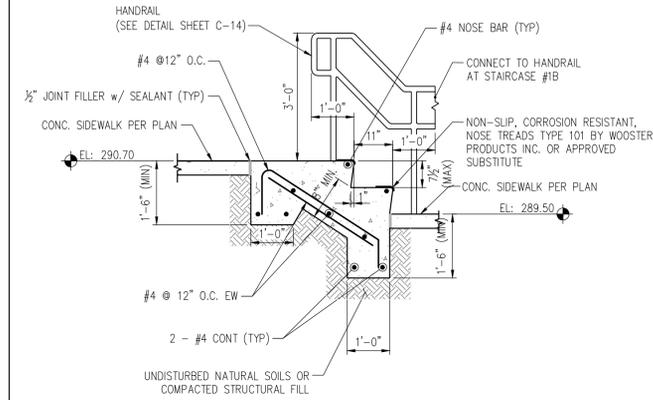


**RAISED POLE BASE DETAIL**  
 NOT TO SCALE

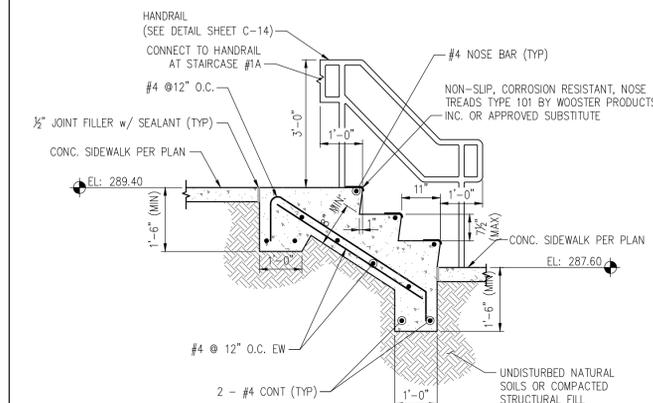
**NOTE:**

RAISED POLE BASE DETAIL TO BE USED WHERE LIGHT POLES ARE LOCATED ON THE LOW SIDE OF RETAINING WALLS TO BRING THE TOP OF BASE UP TO TOP OF RETAINING WALL.

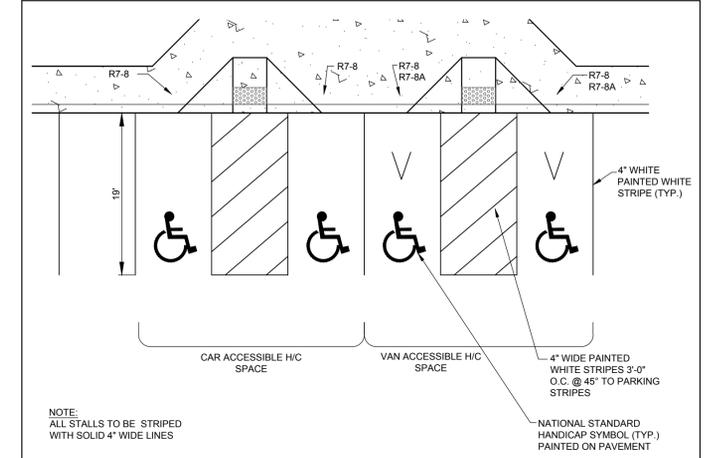
**STAIRCASE #1A DETAIL**  
 SCALE: 1/2" = 1'



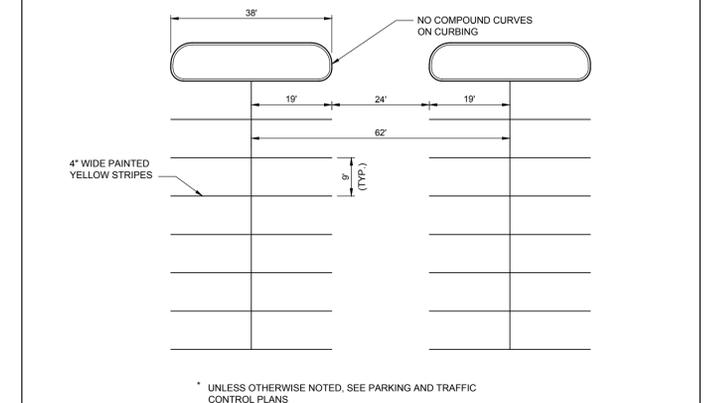
**STAIRCASE #1B DETAIL**  
 SCALE: N.T.S.



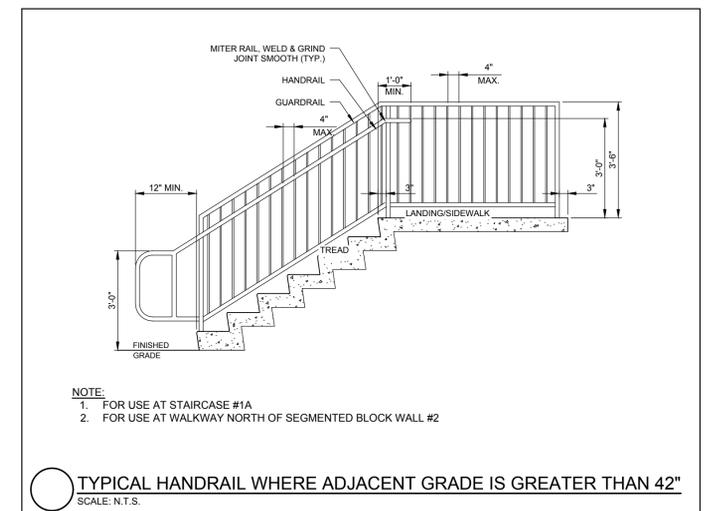
**STAIRCASE #1B DETAIL**  
 SCALE: N.T.S.



**ACCESSIBLE PARKING STALLS DETAIL**  
 SCALE: 1" = 10'



**TYPICAL STANDARD AND COMPACT PARKING LOT STRIPING DETAIL**  
 SCALE: N.T.S.

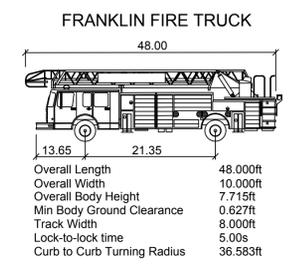
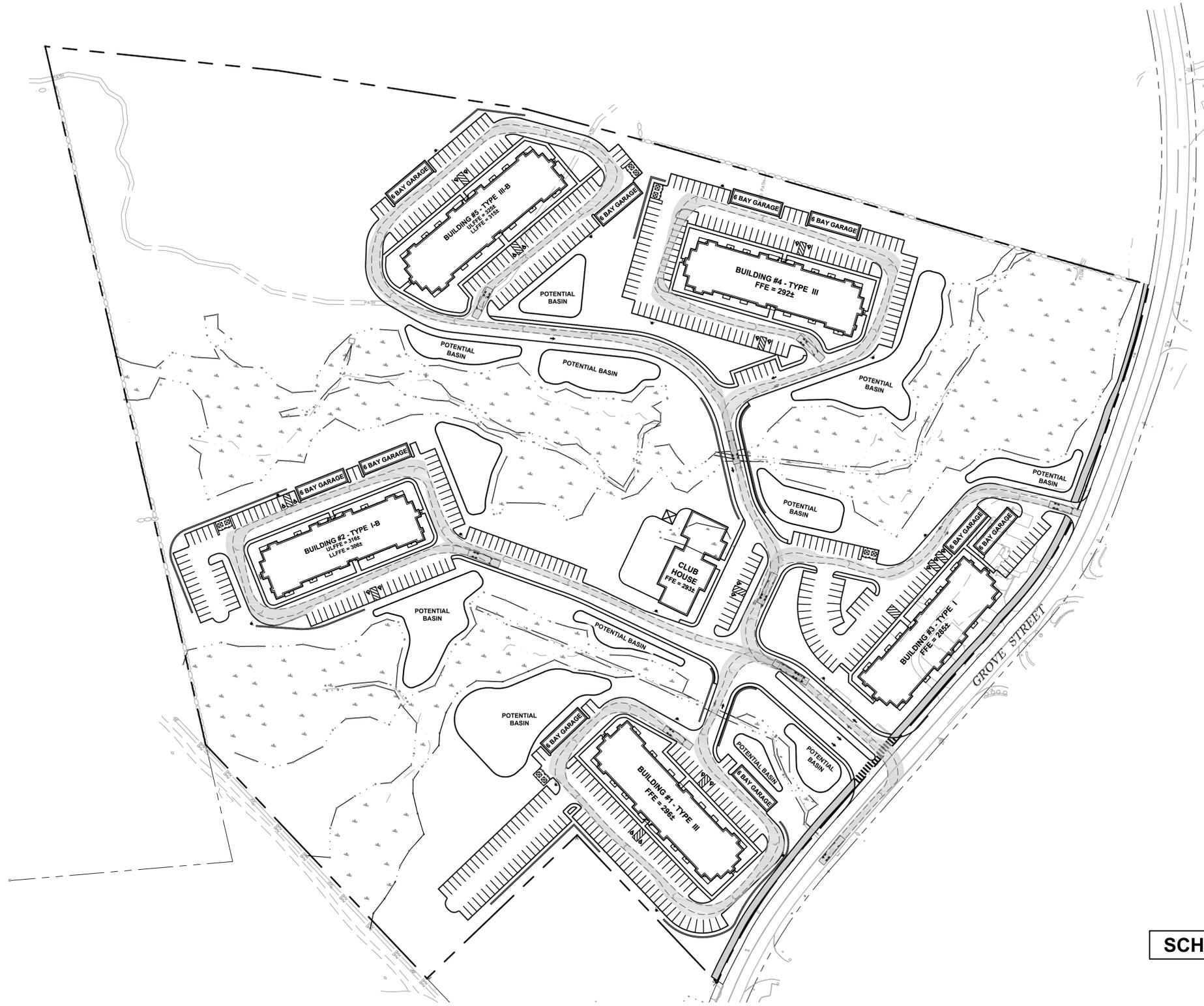


**TYPICAL HANDRAIL WHERE ADJACENT GRADE IS GREATER THAN 42"**  
 SCALE: N.T.S.

**SCHEMATIC DESIGN**

Drawing name: C:\MA\Fairfield\Fairfield Residential\121 Grove Street\Main\Schematic Set\202108\_C-12 Parking & Traffic Control Details - III.dwg  
 Sep 21, 2022 - 14:11pm

	Representative sample of the level of final details to be incorporated into final permit plans (shown here: Details from the Dean Avenue Project)				DESIGNED BY: AAA DRAWN BY: AAA REVIEWED BY: AAA SCALE: N.T.S.	PREPARED FOR: <b>FAIRFIELD RESIDENTIAL COMPANY LLC</b> 5 BURLINGTON WOODS SUITE 203 BURLINGTON, MA 01803	SEAL:	PREPARED BY: <b>RJO'CONNELL &amp; ASSOCIATES, INC.</b> CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS 90 MONTALE AVENUE, SUITE 201, STONHAM, MA 02180 PHONE: 781.279.0180 RJOCONNELL.COM	DRAWING NAME: <b>PARKING AND TRAFFIC CONTROL DETAILS - III</b>
	PROJECT NAME: <b>FAIRFIELD AT GROVE STREET</b> FRANKLIN, MA	DRAWING NUMBER: <b>C-12</b>	DATE: 09/21/2022	Copyright © 2021 R.J. O'Connell & Associates, Inc.	Copyright © 2022 by R.J. O'Connell & Associates, Inc.				



**SCHEMATIC DESIGN**



Drawing name: C:\MA\Fairfield\Fairfield Residential\121 Grove Street\Main\Schematic Set\2016\_FT-1 Fire Truck Turning Plan.dwg  
Sep 21, 2022 - 14:15pm



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NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	1" = 80'

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
 5 BURLINGTON WOODS  
 SUITE 203  
 BURLINGTON, MA 01803

SEAL:

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 90 MONTVALE AVENUE, SUITE 201 STONHAM, MA 02159  
 PHONE: 781.279.0180 RJOCONNELL.COM

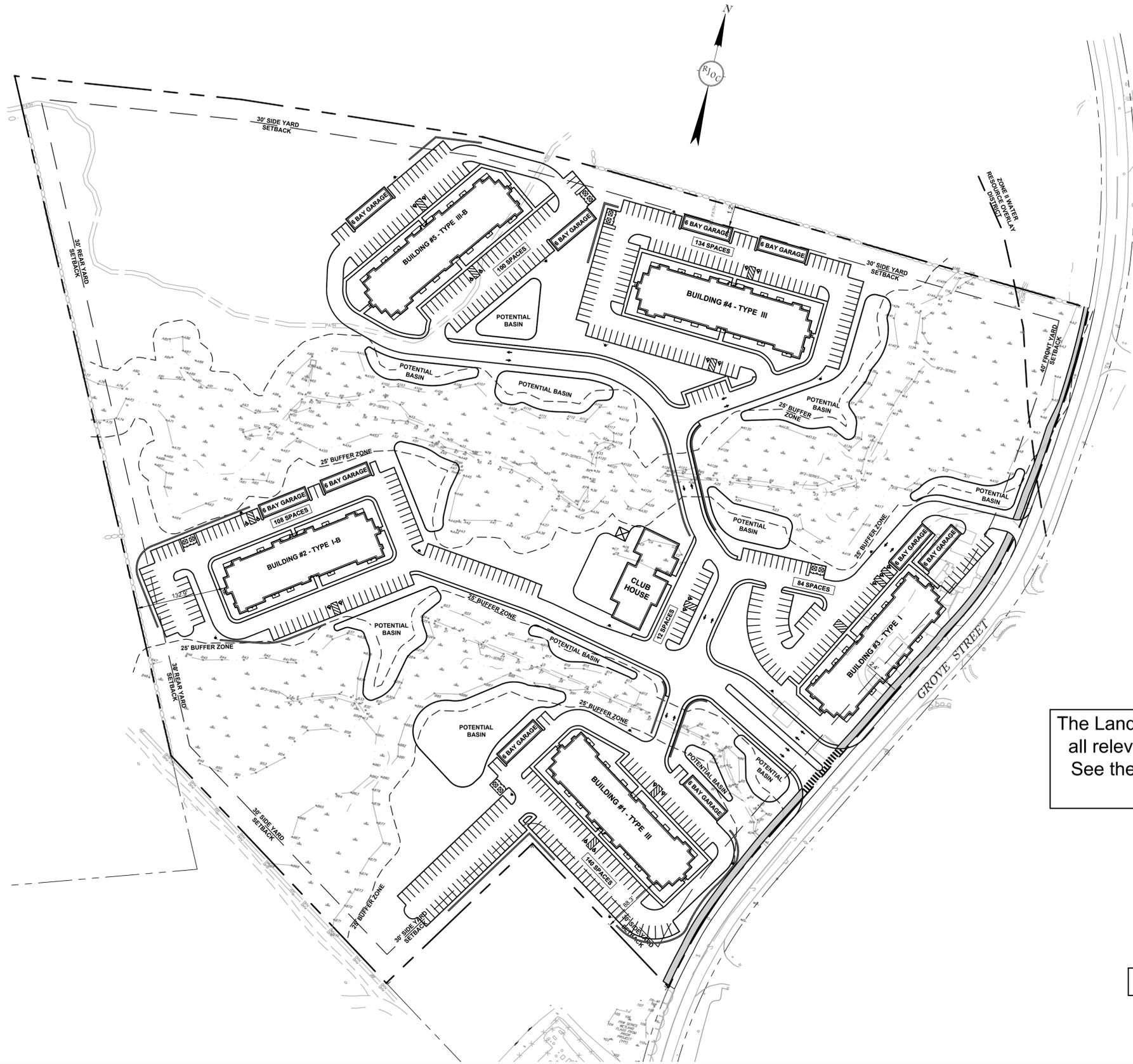
PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
 FRANKLIN, MA

DRAWING NAME:  
**FIRE TRUCK TURNING PLAN**

DRAWING NUMBER:  
**FT-1**

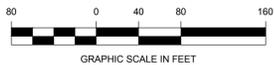
DATE:  
 09/21/2022

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The Landscape Design will meet or exceed all relevant sections of the zoning bylaw. See the Station 117 /Dean Avenue as a representative sample.

**SCHEMATIC DESIGN**



Drawing name: C:\MA\Fairfield\Fairfield\121 Grove Street\Main\Schematic Set\2018\_L-1\_Overall Landscape Plan.dwg  
Sep 21, 2022 - 14:16pm



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NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	1" = 80'

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
 5 BURLINGTON WOODS  
 SUITE 203  
 BURLINGTON, MA 01803

SEAL:

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 90 MONTVILE AVENUE, SUITE 201 STONHAM, MA 02150  
 PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
 FRANKLIN, MA

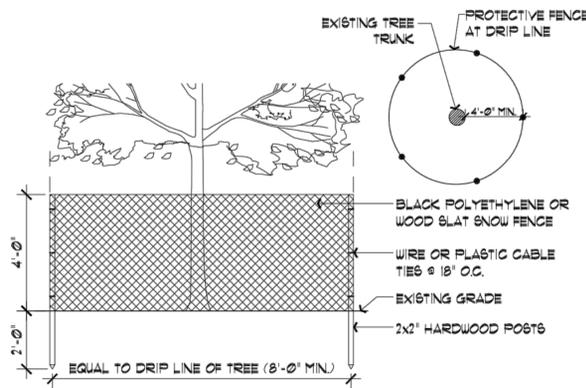
DRAWING NAME:  
**OVERALL LANDSCAPE PLAN**

DRAWING NUMBER:  
**L-1**

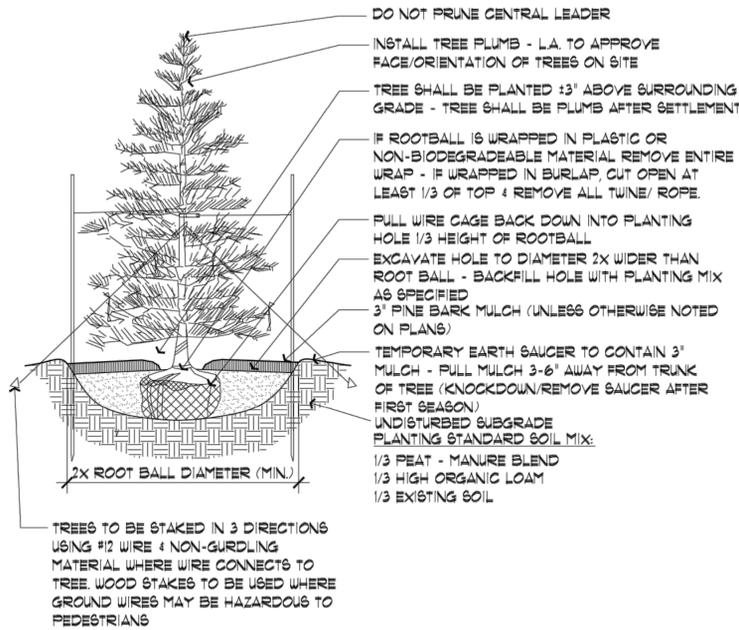
DATE:  
 09/21/2022

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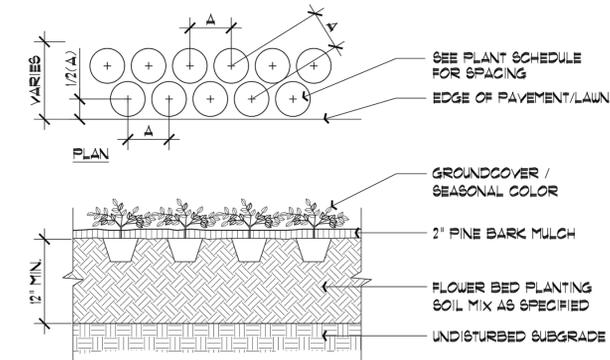




- NOTES:**
- PROTECTIVE FENCE TO REMAIN UNTIL CONSTRUCTION IS COMPLETE.
  - NO TREE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT.
  - CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREES THAT ARE TO REMAIN.
  - DO NOT NAIL BOARDS OR FENCING TO TREES DURING CONSTRUCTION.
  - ANY EXCAVATING WITHIN DRIFLINE MUST BE APPROVED BY LANDSCAPE ARCHITECT AND MUST BE HAND-DUG. CONTRACTOR SHALL NOT CUT ANY ROOTS AND/OR BRANCHES UNLESS APPROVED BY LANDSCAPE ARCHITECT.
  - ROOTS EXPOSED AND/OR DAMAGED DURING GRADING & CONSTRUCTION OPERATIONS SHALL BE CUT OFF CLEANLY INSIDE THE EXPOSED OR DAMAGED AREA AND TOPSOIL BE PLACED OVER THE ROOTS IMMEDIATELY. FEEDER ROOTS SHALL NOT BE CUT IN AN AREA INSIDE DRIP LINE OF THE TREE BRANCHES.
  - ROOTS GREATER THAN 1" DIAMETER SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
  - STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
  - INSPECT FENCE ON WEEKLY BASIS AND REPAIR DAMAGE IMMEDIATELY.

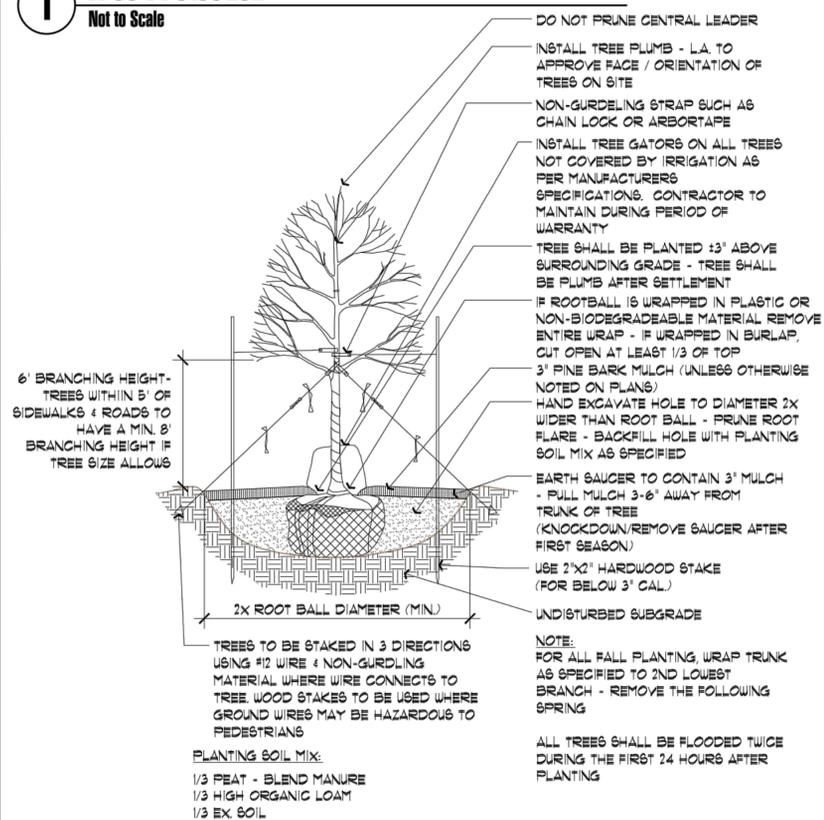


**3 Coniferous Tree Detail**  
Not to Scale

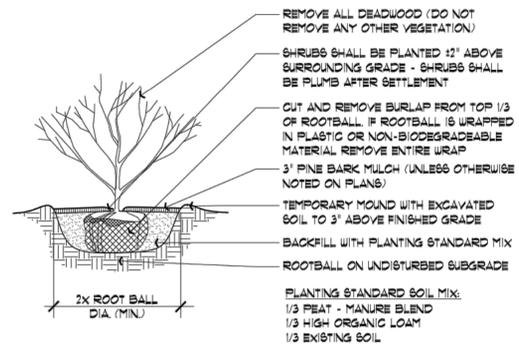


**5 Perennial & Seasonal Color Detail**  
Not to Scale

**1 Tree Protection**  
Not to Scale



**2 Deciduous Tree Detail**  
Not to Scale



**4 Shrub Detail**  
Not to Scale

**SCHEDULE OF TOPSOILS & ADDITIVES**

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	12"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	12"	SCREENED LOAM 1/3 PEAT - MANURE BLEND LIME - PELATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 10-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS - SOG & SEED	6"	6" SCREENED LOAM
PITS/TREE WELLS 'STANDARD MIX' FOR BACKFILL	12"	1/3 PEAT - MANURE BLEND SOIL MIX 'A' - 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL

Representative Sample of landscaping details from the Dean Avenue Project

**SCHEMATIC DESIGN**



NO.	REVISION	DATE	NO.	REVISION	DATE

DESIGNED BY:	AAA
DRAWN BY:	AAA
REVIEWED BY:	AAA
SCALE:	N.T.S.

PREPARED FOR:  
**FAIRFIELD RESIDENTIAL COMPANY LLC**  
5 BURLINGTON WOODS SUITE 203 BURLINGTON, MA 01803

SEAL:

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
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90 MONTVALE AVENUE, SUITE 201 STONHAM, MA 02180  
PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**FAIRFIELD AT GROVE STREET**  
FRANKLIN, MA

DRAWING NAME:  
**PLANTING DETAILS**

DRAWING NUMBER:  
**L-3**

DATE:  
09/21/2022

Drawing name: C:\MA\Franklin\Fairfield Residential\121 Grove Street\Main\Schematic Set\202108\_L-3 Planting Details.dwg  
Sep 21, 2022 - 14:19pm  
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