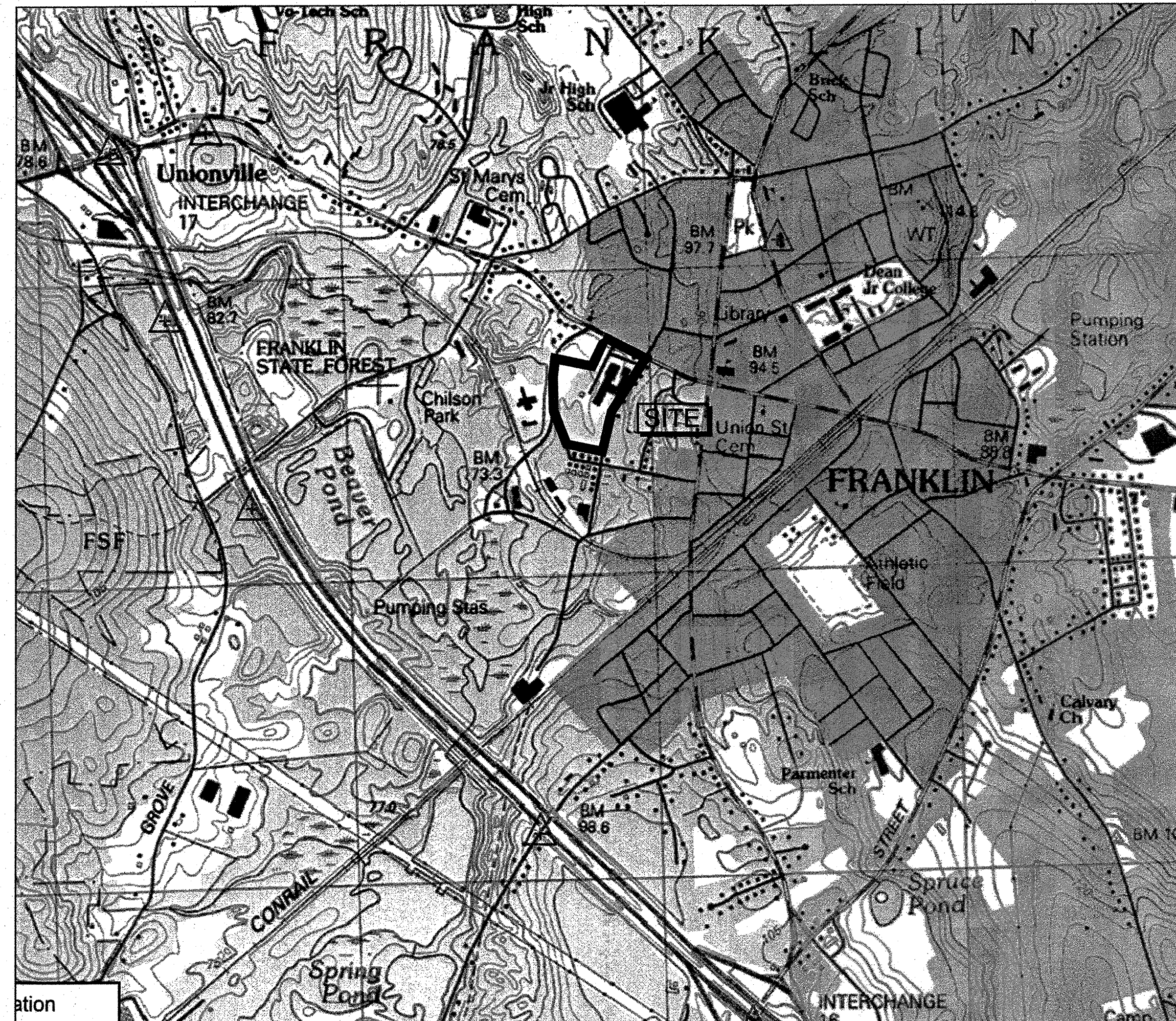


APPROVED DATE: 12/20/21
FRANKLIN PLANNING BOARD
[Signature]
[Signature]
[Signature]

DATE: 5/13/22
BEING A MAJORITY



SCALE: 1" = 500' ±

SCALE: 1" = 1,000' ±

RICK KAPLAN
1 FISHER STREET
FRANKLIN, MA 02038

LEVEL
DESIGN GROUP
CIVIL ENGINEERING / LAND SURVEYING
249 SOUTH STREET
UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 695-2221 FAX. (508) 695-2219

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JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

PROPERTY ADDRESS:
3, 5 & 7 FISHER STREET
FRANKLIN, MASSACHUSETTS

ASSESSORS MAP/PARCEL:
PARCEL ID: 278-016-000-000

ZONING DISTRICT:
MIXED BUSINESS INNOVATION

DRAWING LIST:

- | | |
|----------|--------------------------|
| C-0.0 | COVER |
| C-1.0 | EXISTING CONDITIONS |
| C-2.0 | LAYOUT AND MATERIALS |
| C-3.0 | GRADING AND UTILITIES |
| C-3.1 | EROSION CONTROL |
| C-4.0 | TYPICAL DETAILS |
| C-4.1 | TYPICAL DETAILS |
| C-4.2 | TYPICAL DETAILS |
| L100 | LANDSCAPE PLAN |
| C300 | PHOTOMETRIC |
| A-SERIES | COVER |
| A100 | ILLUSTRATIVE SITE PLAN |
| A210-213 | BUILDING 3 ELEVATIONS |
| A220-223 | BUILDING 5 ELEVATIONS |
| A230 | BUILDING 7 ELEVATIONS |
| A300 | ARCHITECTURAL RENDERINGS |
| G-001 | ZONING & CODE ANALYSIS |

Town of Franklin
 355 East Central Street
 Franklin, Massachusetts 01903-4938
 Planning Board
 December 21, 2021
 Nancy Donnelly, Town Clerk
 Town of Franklin
 355 First Central Street
 Franklin, MA 02018
 CERTIFICATE OF VOTE
 Site Plan Modification
 S.A. & 7 Fisher Street
 04/12/2021
 12:42 PM
 RECEIVED
 TOWN OF FRANKLIN
 PLANNING BOARD
 Site Plan:
 "Factory Square, Property Redevelopment - 3, 5, & 7 Fisher Street"
 Owner:
 K Fisher Street LLC
 63 Miller Street, Suite 107
 Westborough, MA 01581
 Applicant:
 Rick Kaplan
 Fisher Street
 Franklin, MA 02038
 Prepared By:
 Surveyor/Engineer:
 Daniel
 Property Location:
 Level Design Group, Plainville, MA
 July 1, 2021
 3, 5, & 7 Fisher Street
 Map 278 Lot 016
 Dear Mrs. Donnelly:
 Please be advised that at its meeting on Monday, December 20, 2021 the Planning Board voted (3-0-2), upon motion duly made and seconded to APPROVE with Standards and Special Conditions, the above referenced Site Plan. The Conditions of Approval are listed on page 2-3, attached hereto. Both the Certificate of Vote as well as the conditions of approval shall be referenced on the site plan.
 Sincerely,
 Greg Rodman, Chairman
 Franklin Planning Board
 cc: Owners/Applicant/ Applicant's Engineer

CERTIFICATE OF VOTE
Site Plan Modification
Parsons, D&S, & S. Parker Street

1. The Planning Board will not outside consultant services to complete construction inspection upon the construction of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall meet at the Planning Board Inspector to be issued to the Board with inspection necessary to ensure compliance with all relevant laws, regulations and Florida Board of Building and Code Enforcement. Such compliance shall be selected and replaced upon a majority vote of the Board.

2. Actual and reasonable costs of inspection consultant services that be paid by the owner/applicant before or at the end of the construction meeting. Such additional requirement be required because of the original scope of the work, the owner/applicant shall be required to submit them prior to the Board meeting. The Board shall be required to pay the Planning Board (Owner ID). Said inspection is further outlined in condition #1.

3. No alteration of these plans shall be made to affect other that by a affirmative vote of the members of the Board at a city council meeting and upon the minutes written and recorded.

4. All applicable laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits not in force shall be obtained by the applicant.

5. Prior to the endorsement of this plan, the following shall be required:

- The owner/applicant shall provide the entire list of conditions and this Certificate of Vote on the front page of the plan.
- A condition shall be on the plan that all erosion mitigation measures shall be in place prior to major construction or its disturbance commencing on the site.
- All outstanding issues or concerns are resolved by the Town's Engineer and after reviewing Departments of the Town relative to their relevance of the owner/applicant's application and plans shall become part in full.

6. All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No Certificate of Occupancy shall be issued until all requirements of the approval plan have been completed to the satisfaction of the Board unless the applicant has submitted a Florida Certificate of Completion for the remainder of the required improvements. The applicant's engineer or employee upon completion of all required improvements, shall submit a Certificate of Completion. The Board will then complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.

7. Prior to any work commencing on the subject property, the owner/applicant shall provide plans that include construction details and materials on the site. In the event that there is a control over any public way, the owner/applicant and its engineer shall be responsible for the safety of the roadway. All clearing shall occur within twenty-four (24) hours after final written notification to the owner/applicant by the Board. If the developer fails to comply with this clearing shall result in suspension of construction of the site until such public way is clear of debris.

8. The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.

9. Maintenance and repair of the parking area, water supply system, sewer pipes, electric distribution system, and stormwater system shall be the responsibility of the owner/applicant and shall cover the responsibility of the Town's Engineer and the Town's Engineer shall perform any service, repair or maintenance with respect to said system, or any of the aforementioned systems within the subject

2

property. The Town will never be required to provide more plowing or trash pickup, with respect to the subject property.

10. Prior to construction activities, there shall be a pre-construction meeting with the owner/landowner, and his contractor(s), the Department of Public Works and the Planning Board's Observation Contractor.

CERTIFICATE OF VOTE
Special Circumstances
Parkway Square - 3, 5, & 7 Fisher Street

1. BETFA's letter dated December 2, 2021.
2. The Carbing plan submitted to the Planning Board should be included prior to endorsement. The Plan should include the color code details.
3. Applicant to submit a Limited Site Plan after 50% occupancy and provide parking calculations.

3

REPORTS COMMITTEED TOGETHER

Date: December 2, 2023
To: Mr. Gregory Rodonakis, Chairman
From: Amy Love, Town Planner
Subject: Matt Crowley, Fire Review
S Fisher Street Power Review

Job No.: 4830

MEMORANDUM

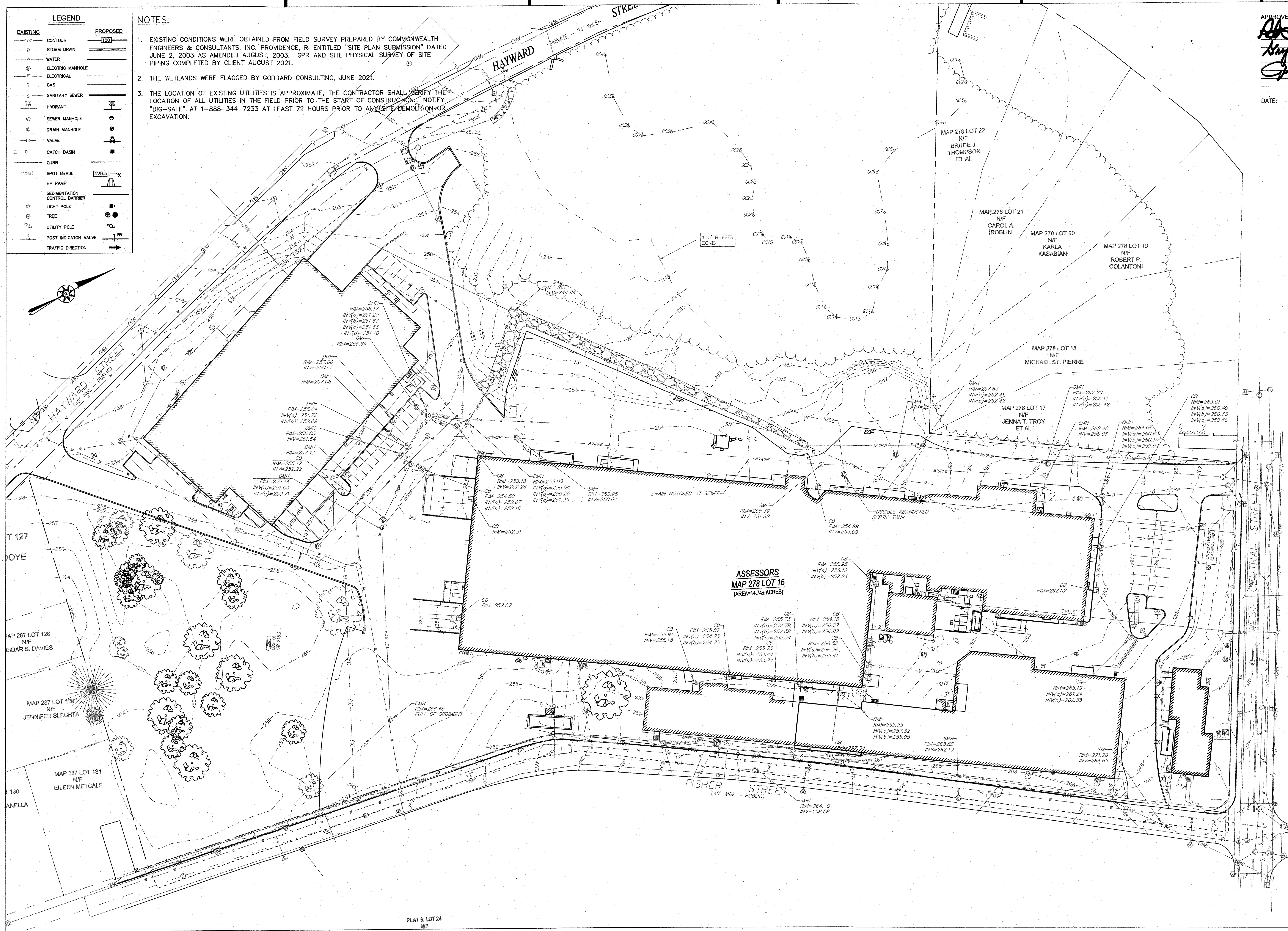
Dear Mr. Rodonakis:

BETA recently met in the field with the Engineer of Record, Dan Campbell, PE, and Town Engineer, Mike Maglio, PE, to discuss potential stormwater mitigation options for the proposed redevelopment of the driveway area on the northern portion of the site. With the understanding that the existing topography includes treatment options, the parties agreed that additional stormwater mitigation could be provided using adjacent landings and water quality facilities. A revised grading and Utilities Plan and Typical Details, revision date November 1, 2023, were provided and are consistent in concept with field discussions.

It is noted that the proposed water review flows from the area to discharge via sheet flow (i.e. no curb) however, will provide stormwater treatment where none exists today. With the assumption that the layout is satisfied with other discussion items noted in BETA's most recent review letter, dated November 12, 2023, BETA recommends the following condition of approval:

1. Typical details and/or sections, specific to the subject site, shall be developed for the proposed water quality wall, pretreatment filterbay, check dam, riprap, and underdrains and included on the plans prior to construction.
2. Engineered retaining wall details stamped by a Massachusetts Registered Professional Engineer or Structural Engineer, as required, shall be provided prior to construction.
3. Details shall be full compliance with all applicable ADA and MA808 regulations shall be provided on the plans for all accessible ramping and parking spaces.
4. Accessible parking spaces and routes shall be provided throughout the development in full compliance with all applicable ADA and MA808 regulations based upon final building access points.
5. Proposed accessible spaces and routes shall be depicted on a plan and submitted to the Board for approval prior to their construction.
6. The Applicant shall coordinate with the DPW to determine proposed signs that will require the installation of grasses/trees.
7. All easements for storm water and drainage shall be in place to the satisfaction of the DPW prior to the issuance of a certificate of occupancy.
7. The plans shall be revised to provide a detail or clarification for how the proposed subsurface infiltration system will be incorporated into the system or downstream drainage manhole.
8. A comprehensive Stormwater Management Report, including all relevant and supplementary information, as well as a Watershed Plan incorporating the information reported in BETA's November 12, 2023 letter is required (TWB), shall be provided for the record.
9. The Engineer of record shall provide calculations to demonstrate that the water quality wall proposed on the existing 24" drain line is adequately sized for the contributing impervious area.
10. The Applicant shall coordinate with the Abaker at 235 E. West Central street to provide screening in accordance with the requirements of Section R35-55, either on the owner's site or abutter's property.

BETA GROUP, INC.
www.betagroup.com



LEGEND	
EXISTING	PROPOSED
100' CONTOUR	100'
STORM DRAIN	
WATER	
ELECTRIC MANHOLE	
ELECTRICAL	
GAS	
SANITARY SEWER	
HYDRANT	
SEWER MANHOLE	
DRAIN MANHOLE	
VALVE	
CATCH BASIN	
CURB	
SPOT GRADE	429.5
HP RAMP	
SEDIMENTATION CONTROL BARRIER	
LIGHT POLE	
TREE	
UTILITY POLE	
POST INDICATOR VALVE	
TRAFFIC DIRECTION	

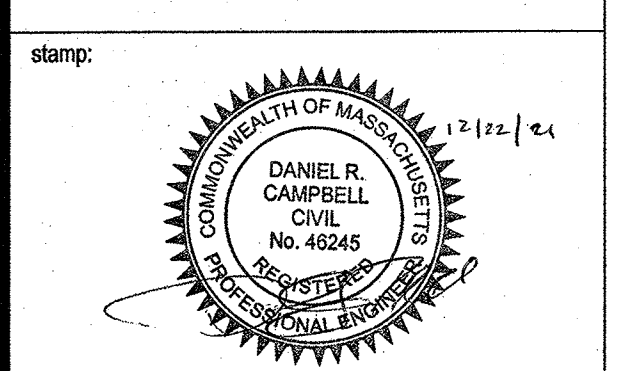
- NOTES:
- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RI ENTITLED "SITE PLAN SUBMISSION" DATED JUNE 2, 2003 AS AMENDED AUGUST, 2003. GPR AND SITE PHYSICAL SURVEY OF SITE PIPING COMPLETED BY CLIENT AUGUST 2021.
 - THE WETLANDS WERE FLAGGED BY GODDARD CONSULTING, JUNE 2021.
 - THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.

APPROVED DATE: 12/20/21
FRANKLIN PLANNING BOARD
DATE: 5/23/22
BEING A MAJORITY

Construction Set

WARNING: Joe The Architect, Inc., all drawings and written material herein contain the original and copyrighted work of the architect, and the same may not be duplicated, used, or reproduced without the written consent of the architect. Contractors to use Architectural drawings for work. Contractors to check and verify all dimensions on this plan to Construction/Field. Figure Dimensions take precedence over Textual Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards. © 2018 - all rights reserved.

consultant / contractor information:
LEVEL
DESIGN GROUP
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249 SOUTH STREET
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PLAINVILLE, MA 02762
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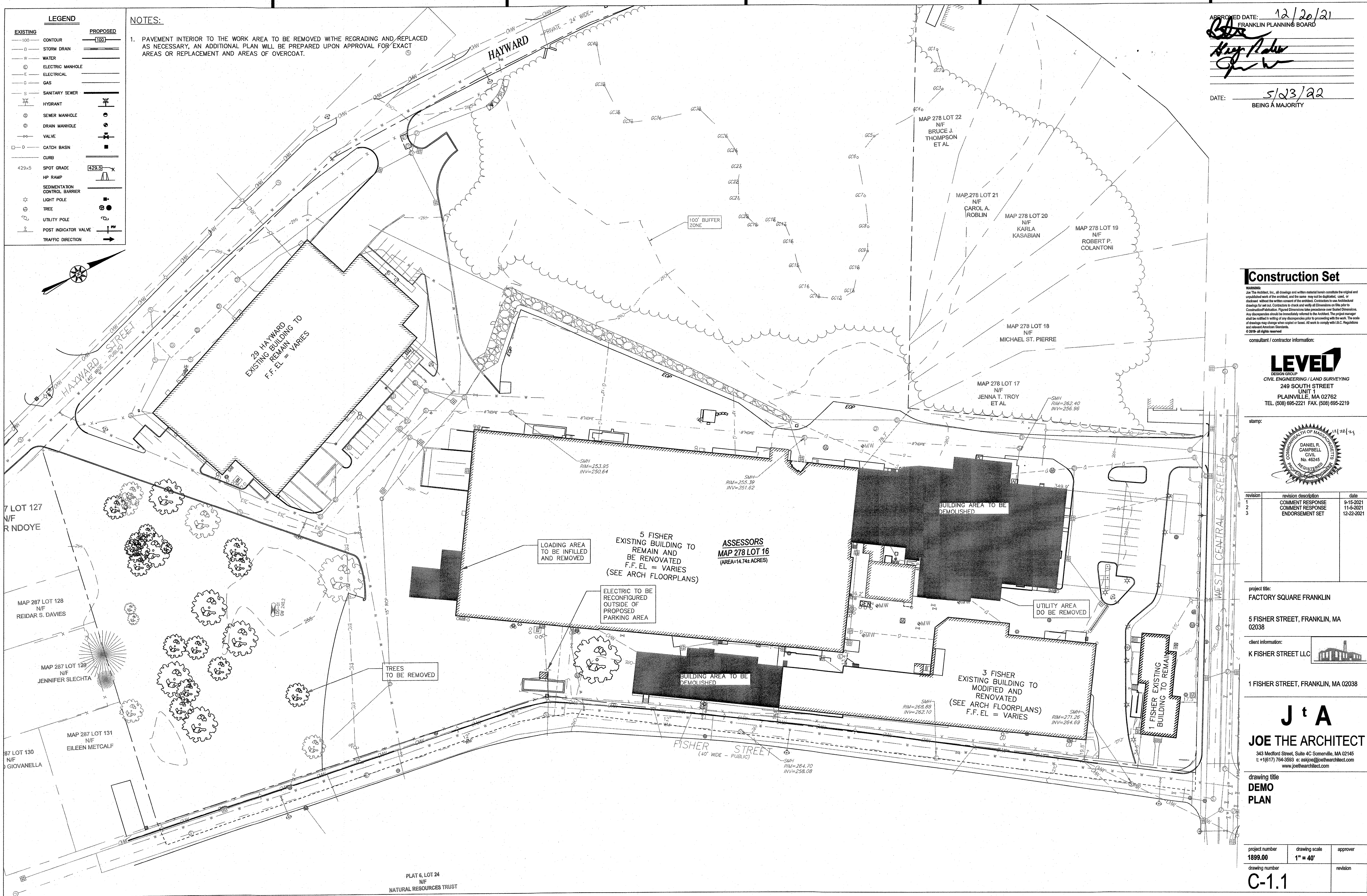


revision	revision description	date
1	COMMENT RESPONSE	9-15-2021
2	COMMENT RESPONSE	11-5-2021
3	ENDORSEMENT SET	12-22-2021

project title:
FACTORY SQUARE FRANKLIN
5 FISHER STREET, FRANKLIN, MA 02038
client information:
K FISHER STREET LLC
1 FISHER STREET, FRANKLIN, MA 02038

J t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: (617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title	project number	drawing scale	approver
EXISTING CONDITIONS	1899.00	1" = 40'	
	drawing number		revision
	C-1.0		9-15-21



LEGEND

EXISTING	PROPOSED
100	100
D	D
W	W
E	E
G	G
S	S
H	H
SM	SM
DM	DM
V	V
CB	CB
C	C
SG	SG
HR	HR
SB	SB
LP	LP
T	T
UP	UP
P	P
TD	TD

- NOTES:
- PAVEMENT INTERIOR TO THE WORK AREA TO BE REMOVED WITH REGRADING AND REPLACED AS NECESSARY. AN ADDITIONAL PLAN WILL BE PREPARED UPON APPROVAL FOR EXACT AREAS OR REPLACEMENT AND AREAS OF OVERCOAT.

APPROVED DATE: 12/20/21

FRANKLIN PLANNING BOARD

DATE: 5/23/22

BEING A MAJORITY

Construction Set

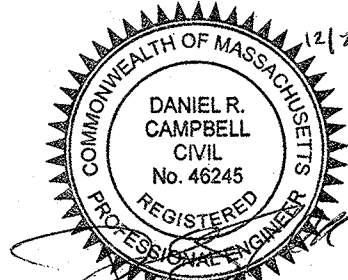
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consultant / contractor information:

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249 SOUTH STREET
UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 695-2221 FAX. (508) 695-2219

stamp:



revision	revision description	date
1	COMMENT RESPONSE	8-15-2021
2	COMMENT RESPONSE	11-5-2021
3	ENDORSEMENT SET	12-22-2021

project title:
FACTORY SQUARE FRANKLIN

5 FISHER STREET, FRANKLIN, MA 02038

client information:

K FISHER STREET LLC

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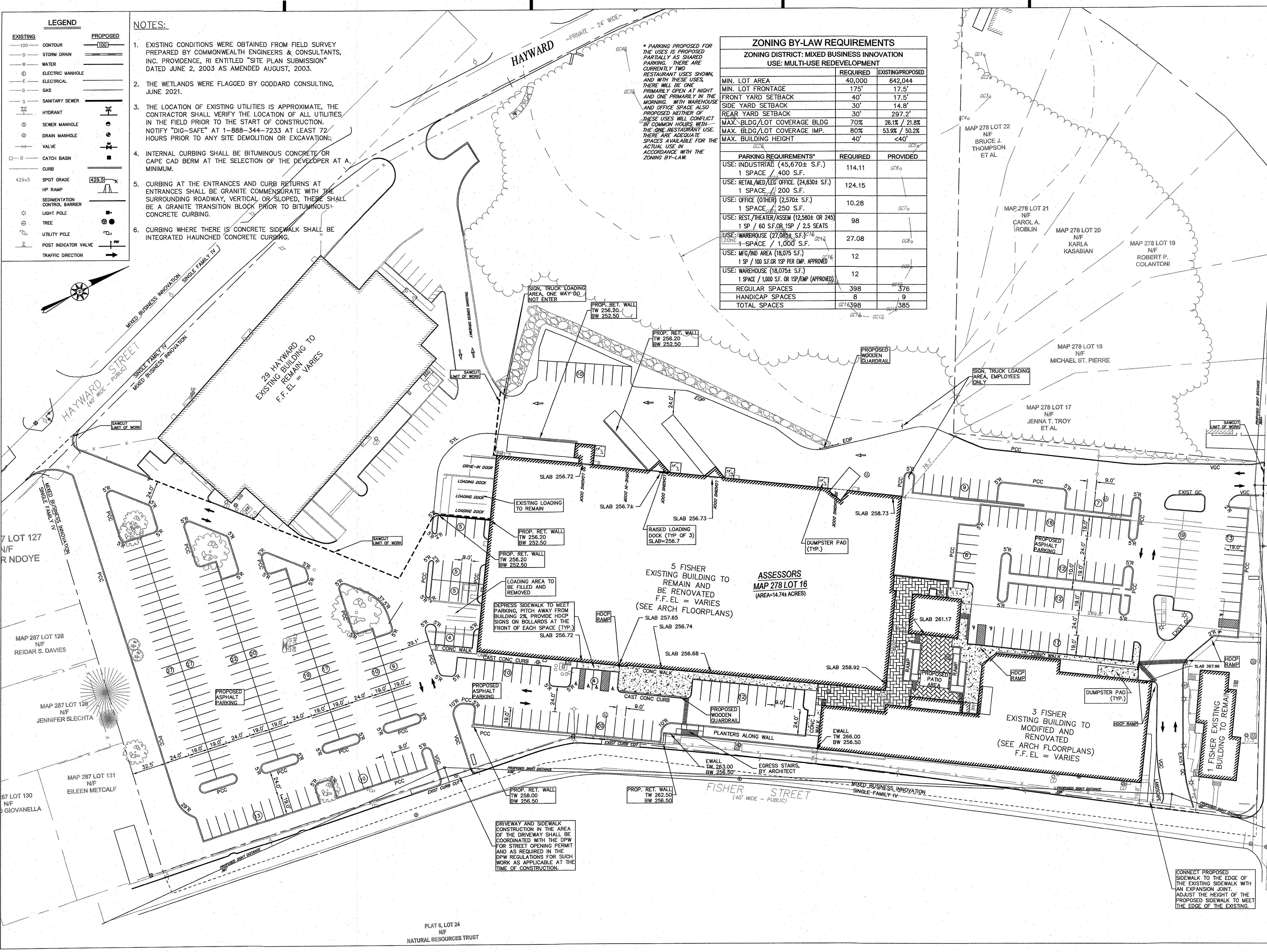
drawing title
DEMO
PLAN

project number
1899.00

drawing scale
1" = 40'

drawing number
C-1.1

revision



LEGEND

EXISTING	PROPOSED
100	100
CONTOUR	CONTOUR
STORM DRAIN	STORM DRAIN
WATER	WATER
ELECTRIC MANHOLE	ELECTRIC MANHOLE
ELECTRICAL	ELECTRICAL
GAS	GAS
SANITARY SEWER	SANITARY SEWER
HYDRANT	HYDRANT
SEWER MANHOLE	SEWER MANHOLE
DRAIN MANHOLE	DRAIN MANHOLE
VALVE	VALVE
CATCH BASIN	CATCH BASIN
CURB	CURB
SPOT GRADE	SPOT GRADE
HP RAMP	HP RAMP
SEDIMENTATION CONTROL BARRIER	SEDIMENTATION CONTROL BARRIER
LIGHT POLE	LIGHT POLE
TREE	TREE
UTILITY POLE	UTILITY POLE
POST INDICATOR VALVE	POST INDICATOR VALVE
TRAFFIC DIRECTION	TRAFFIC DIRECTION

- NOTES:**
- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RI ENTITLED "SITE PLAN SUBMISSION" DATED JUNE 2, 2003 AS AMENDED AUGUST, 2003.
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 - INTERNAL CURBING SHALL BE BITUMINOUS CONCRETE OR CAPE CAD BERM AT THE SELECTION OF THE DEVELOPER AT A MINIMUM.
 - CURBING AT THE ENTRANCES AND CURB RETURNS AT ENTRANCES SHALL BE GRANITE COMMENSURATE WITH THE SURROUNDING ROADWAY, VERTICAL OR SLOPED, THERE SHALL BE A GRANITE TRANSITION BLOCK PRIOR TO BITUMINOUS CONCRETE CURBING.
 - CURBING WHERE THERE IS CONCRETE SIDEWALK SHALL BE INTEGRATED HAUNCHED CONCRETE CURBING.

ZONING BY-LAW REQUIREMENTS		
ZONING DISTRICT: MIXED BUSINESS INNOVATION		
USE: MULTI-USE REDEVELOPMENT		
	REQUIRED	EXISTING/PROPOSED
MIN. LOT AREA	40,000	642,044
MIN. LOT FRONTAGE	175'	17.5'
FRONT YARD SETBACK	40'	17.5'
SIDE YARD SETBACK	30'	14.8'
REAR YARD SETBACK	30'	297.2'
MAX. BLDG/LOT COVERAGE BLDG	70%	26.1% / 21.8%
MAX. BLDG/LOT COVERAGE IMP.	80%	53.9% / 50.2%
MAX. BUILDING HEIGHT	40'	<40'

PARKING REQUIREMENTS*		
	REQUIRED	PROVIDED
USE: INDUSTRIAL (45,670± S.F.)	114.11	66%
1 SPACE / 400 S.F.		
USE: RETAIL/MED/LEG OFFICE (24,830± S.F.)	124.15	
1 SPACE / 200 S.F.		
USE: OFFICE (OTHER) (2,570± S.F.)	10.28	62%
1 SPACE / 250 S.F.		
USE: REST/THEATER/ASSEM (12,580± OR 245)	98	
1 SP / 60 S.F. OR 1SP / 2.5 SEATS		
USE: WAREHOUSE (27,085± S.F.)	27.08	66%
1 SPACE / 1,000 S.F.		
USE: MFG/IND AREA (18,075 S.F.)	12	
1 SP / 100 S.F. OR 1SP PER EMP. APPROVED		
USE: WAREHOUSE (18,075± S.F.)	12	
1 SPACE / 1,000 S.F. OR 1SP/EMP (APPROVED)		
REGULAR SPACES	398	376
HANDICAP SPACES	8	9
TOTAL SPACES	406	385

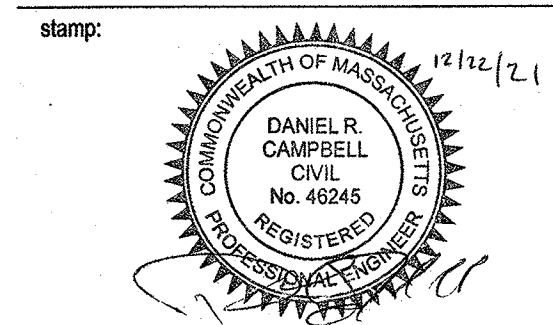
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FRANKLIN PLANNING BOARD
[Signature]
DATE: 5/23/22
BEING A MAJORITY

Construction Set

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249 SOUTH STREET
UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 695-2221 FAX. (508) 695-2219



revision	revision description	date
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2	COMMENT RESPONSE	11-5-2021
3	ENDORSEMENT SET	12-22-2021

project title:
FACTORY SQUARE FRANKLIN

5 FISHER STREET, FRANKLIN, MA 02038

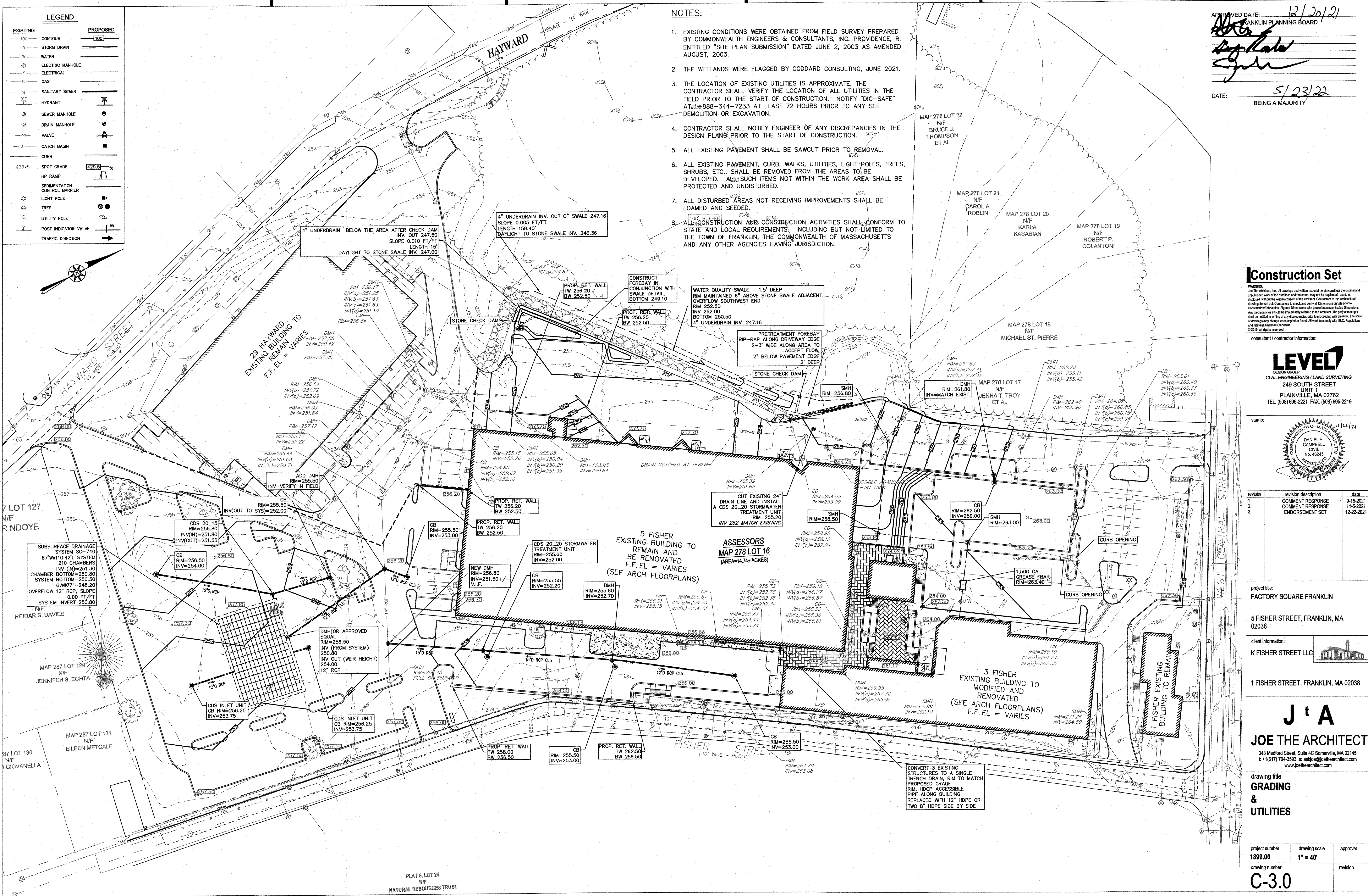
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drawing title
LAYOUT & MATERIALS

project number 1899.00	drawing scale 1" = 40'	approver
drawing number C-2.0		revision



LEGEND	
EXISTING	PROPOSED
100	100
D	STORM DRAIN
W	WATER
⊙	ELECTRIC MANHOLE
⊙	ELECTRICAL
⊙	GAS
S	SANITARY SEWER
⊙	HYDRANT
⊙	SEWER MANHOLE
⊙	DRAIN MANHOLE
⊙	VALVE
⊙	CATCH BASIN
⊙	CURB
429x5	SPOT GRADE
HP RAMP	HP RAMP
⊙	SEDIMENTATION CONTROL BARRIER
⊙	LIGHT POLE
⊙	TREE
⊙	UTILITY POLE
⊙	POST INDICATOR VALVE
→	TRAFFIC DIRECTION

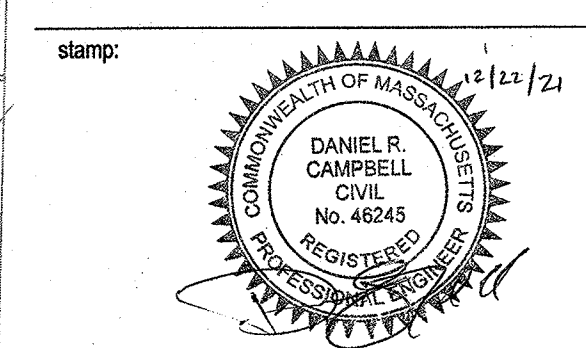
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 - CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE DESIGN PLANS PRIOR TO THE START OF CONSTRUCTION.
 - ALL EXISTING PAVEMENT SHALL BE SAWCUT PRIOR TO REMOVAL.
 - ALL EXISTING PAVEMENT, CURB, WALKS, UTILITIES, LIGHT POLES, TREES, SHRUBS, ETC., SHALL BE REMOVED FROM THE AREAS TO BE DEVELOPED. ALL SUCH ITEMS NOT WITHIN THE WORK AREA SHALL BE PROTECTED AND UNDISTURBED.
 - ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE LOAMED AND SEEDED.
 - ALL CONSTRUCTION AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE TOWN OF FRANKLIN, THE COMMONWEALTH OF MASSACHUSETTS AND ANY OTHER AGENCIES HAVING JURISDICTION.

APPROVED DATE: 12/20/21
FRANKLIN PLANNING BOARD
DATE: 5/23/22
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Construction Set

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revision	revision description	date
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drawing title
GRADING & UTILITIES

project number 1899.00	drawing scale 1" = 40'	approver
drawing number C-3.0		revision

LEGEND	
EXISTING	PROPOSED
100	100
D	STORM DRAIN
W	WATER
E	ELECTRIC MANHOLE
E	ELECTRICAL
G	GAS
S	SANITARY SEWER
H	HYDRANT
S	SEWER MANHOLE
D	DRAIN MANHOLE
V	VALVE
C	CATCH BASIN
CURB	
42x5	SPOT GRADE
HP RAMP	
SEEDMENTATION CONTROL BARRIER	
LIGHT POLE	
TREE	
UTILITY POLE	
POST INDICATOR VALVE	
TRAFFIC DIRECTION	

EROSION CONTROL NOTES

SILTATION CONTROL USING EROSION CONTROL FENCE WITH STRAW WATTLE OR APPROVED EQUAL

EROSION CONTROL LINE IS TO BE VISUALLY INSPECTED AFTER EVERY RAIN FALL AND REPAIRS MADE AS REQUIRED TO THE SILTATION CONTROL FENCE AND STRAW WATTLE AFTER EACH RAIN FALL. CLEANOUT OF ACCUMULATED SEDIMENT BEHIND THE WATTLE IS NECESSARY IF ½ OF THE ORIGINAL HEIGHT OF THE WATTLE APPEARS TO HAVE BEEN INUNDATED WITH SEDIMENT.

PRESERVE TOPSOIL

SITE OWNERS AND OPERATORS MUST PRESERVE EXISTING TOPSOIL ON THE CONSTRUCTION SITE TO THE MAXIMUM EXTENT FEASIBLE AND AS NECESSARY TO SUPPORT HEALTHY VEGETATION, PROMOTE SOIL STABILIZATION, AND INCREASE STORMWATER INFILTRATION RATES IN THE POST-CONSTRUCTION PHASE OF THE PROJECT.

STABILIZATION OF SOILS

UPON COMPLETION AND ACCEPTANCE OF SITE PREPARATION AND INITIAL INSTALLATION OF EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES, THE OPERATOR SHALL INITIATE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION PRACTICES DURING ALL PHASES OF CONSTRUCTION ON ALL DISTURBED AREAS AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED. SLOPES IN EXCESS OF 3:1 SHALL HAVE 22 MONTH EROSION CONTROL FABRIC INSTALLED OVER A SLOPE MIX SEED MIX WITH TACKIFIER UNLESS OTHERWISE SPECIFIED.

ANY DISTURBED AREAS THAT WILL NOT HAVE ACTIVE CONSTRUCTION ACTIVITY OCCURRING WITHIN 14 DAYS MUST BE STABILIZED USING THE CONTROL MEASURES DEPICTED IN SITE PLANS, IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, AND PER MANUFACTURER PRODUCT SPECIFICATIONS.

ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE WILL BE CLEARED/GRUBBED AT ANY ONE TIME. IT IS NOT ACCEPTABLE TO CLEAR AND GRUB THE ENTIRE CONSTRUCTION SITE IF PORTIONS WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME. PROPER PHASING OF CLEARING AND GRUBBING ACTIVITIES SHALL INCLUDE TEMPORARY STABILIZATION TECHNIQUES FOR AREAS CLEARED AND GRUBBED THAT WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME.

STORMWATER INLET PROTECTION

INLET PROTECTION – WILL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM ENTERING STORM DRAIN INLETS AND SHALL BE INSTALLED WITHIN BASINS DOWNSTREAM OF DISTURBANCE WITHIN 200' OF THE PROPOSED DISTURBANCE. THESE MEASURES ARE USUALLY TEMPORARY AND ARE IMPLEMENTED BEFORE A SITE IS DISTURBED.

MAINTENANCE – THE OPERATOR MUST CLEAN, OR REMOVE AND REPLACE THE INLET PROTECTION MEASURES AS SEDIMENT ACCUMULATES, THE FILTER BECOMES CLOGGED, AND/OR AS PERFORMANCE IS COMPROMISED. ACCUMULATED SEDIMENT ADJACENT TO THE INLET PROTECTION MEASURES SHOULD BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH IT IS FOUND OR BY THE END OF THE FOLLOWING WORK DAY IF REMOVAL BY THE SAME WORK DAY IS NOT FEASIBLE.

STORMWATER BASINS – ALL AREAS CONTAINING STORMWATER BASINS (ABOVE OR BELOW GROUND) SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. THESE AREAS ARE NOT TO BE USED FOR MATERIAL STOCKPILES OR FOR PARKING EQUIPMENT. SURFACE BASINS ARE TO BE ROUGH GRADED AND PROTECTED UNTIL STABILIZED AND BROUGHT ON-LINE FOR STORMWATER MANAGEMENT OF THE STABILIZED SITE.

CONSTRUCTION ENTRANCES

A STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT WHICH TIME THE EXISTING PAVEMENT IS REMOVED. THE STONE ENTRANCE IS NOT NECESSARY UNTIL SUCH TIME AS THE PAVEMENT IS REMOVED. THE ENTRANCE SHALL BE ESTABLISHED AT **ONE MAIN POINT OF ENTRY** AT THAT TIME.

CONSTRUCTION ENTRANCES SHALL BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF SEDIMENT TRACKING OFF THE PROJECT. ANY CONSTRUCTION SITE ACCESS POINT MUST EMPLOY THE CONTROL MEASURES ON THE APPROVED SITE PLANS AND IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN. CONSTRUCTION ENTRANCES SHALL BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES. ALL CONSTRUCTION ACCESS ROADS SHALL BE CONSTRUCTED PRIOR TO ANY ROADWAY ACCEPTING CONSTRUCTION TRAFFIC.

THE SITE OWNER AND OPERATOR MUST RESTRICT VEHICLE USE TO PROPERLY DESIGNATED EXIT POINTS, USE PROPERLY DESIGNED AND CONSTRUCTED CONSTRUCTION ENTRANCES AT ALL POINTS THAT EXIT ONTO PAVED ROADS SO THAT SEDIMENT REMOVAL OCCURS PRIOR TO VEHICLE EXIT. WHEN AND WHERE NECESSARY, USE ADDITIONAL CONTROLS TO REMOVE SEDIMENT FROM VEHICLE TIRES PRIOR TO EXIT (I.E. WHEEL WASHING RACKS, RUMBLE STRIPS, AND RATTLE PLATES). WHERE SEDIMENT HAS BEEN TRACKED OUT FROM THE CONSTRUCTION SITE ONTO THE SURFACE OF OFF-SITE STREETS, OTHER PAVED AREAS, AND SIDEWALKS, THE DEPOSITED SEDIMENT MUST BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH THE TRACK OUT OCCURS. TRACK-OUT MUST BE REMOVED BY SWEEPING, SHOVELING, OR VACUUMING THESE SURFACES, OR BY USING OTHER SIMILARLY EFFECTIVE MEANS OF SEDIMENT REMOVAL.

STOCKPILE CONTAINMENT

SHALL BE USED ONSITE TO MINIMIZE OR ELIMINATE THE DISCHARGE OF SOIL, TOPSOIL, BASE MATERIAL OR RUBBLE, FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS. ALL STOCKPILES MUST BE LOCATED WITHIN THE LIMIT OF DISTURBANCE, PROTECTED FROM RUN-ON WITH THE USE OF TEMPORARY SEDIMENT BARRIERS AND PROVIDED WITH COVER OR STABILIZATION TO AVOID CONTACT WITH PRECIPITATION AND WIND WHERE AND WHEN PRACTICAL. STOCK PILE MANAGEMENT CONSISTS OF PROCEDURES AND PRACTICES DESIGNED TO MINIMIZE OR ELIMINATE THE DISCHARGE OF STOCKPILED MATERIAL (SOIL, TOPSOIL, BASE MATERIAL, RUBBLE) FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS.

FOR ANY STOCKPILES OR LAND CLEARING DEBRIS COMPOSED, IN WHOLE OR IN PART, OF SEDIMENT OR SOIL, YOU MUST COMPLY WITH THE FOLLOWING REQUIREMENTS – LOCATE PILES WITHIN THE DESIGNATED LIMITS OF DISTURBANCE OUTSIDE OF THE 100-FOOT BUFFER ZONE, PROTECT FROM CONTACT WITH STORMWATER (INCLUDING RUN-ON) USING A TEMPORARY PERIMETER SEDIMENT BARRIER; WHERE PRACTICABLE, PROVIDE COVER OR APPROPRIATE TEMPORARY VEGETATIVE OR STRUCTURAL STABILIZATION TO AVOID DIRECT CONTACT WITH PRECIPITATION OR TO MINIMIZE SEDIMENT DISCHARGE; NEVER HOSE DOWN OR SWEEP SOIL OR SEDIMENT ACCUMULATED ON PAVEMENT OR OTHER IMPERVIOUS SURFACES INTO ANY STORMWATER CONVEYANCE, STORM DRAIN INLET, OR SURFACE WATER; TO THE MAXIMUM EXTENT PRACTICABLE, CONTAIN AND SECURELY PROTECT FROM WIND.

TEMPORARY SEDIMENT BASINS

IF REQUIRED, ADDITIONAL TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED TO MITIGATE THE POTENTIAL SEDIMENT LOADING TO THE ADJACENT RESOURCE AREAS. TEMPORARY SEDIMENT BASINS ARE TO BE LOCATED OUTSIDE OF THE 50-FOOT BUFFER ZONE TO THE BORDERING VEGETATED WETLANDS AND SHALL NOT BE LOCATED IN AN AREA WHERE AN INFILTRATION BASIN IS PROPOSED. TEMPORARY SEDIMENT BASIN GRADING LOCATION SHALL BE DICTATED BY THE DESIGN ENGINEER. AT A MINIMUM THE VOLUME OF THE TEMPORARY SEDIMENT BASIN, AS MEASURED FROM THE BOTTOM OF THE BASE TO THE ELEVATION OF THE CREST OF THE PRINCIPAL SPILLWAY SHALL BE AT LEAST 3,600 CUBIC FEET PER ACRE OF DRAINAGE AREA. THIS 3,600 CUBIC FEET IS EQUIVALENT TO 1.0 INCH OF SEDIMENT PER ACRE OF DRAINAGE AREA. ADDITIONAL STORAGE IN THE FORM OF A PERMANENT WET POOL SHALL BE PROVIDED WHENEVER PRACTICABLE, BUT MAY NOT BE USED TO FULFILL THE TEMPORARY STORAGE VOLUME REQUIREMENT.

SEDIMENT BASINS SHALL BE CLEANED OUT WHEN THE VOLUME REMAINING AS DESCRIBED ABOVE IS REDUCED BY SEDIMENTATION TO 1,800 CUBIC FEET PER ACRE OF DRAINAGE AREA (50 PERCENT FULL). IN NO CASE SHALL THE SEDIMENT LEVEL BE PERMITTED TO BUILD UP HIGHER THAN ONE FOOT BELOW THE PRINCIPAL SPILLWAY CREST. AT THIS ELEVATION, CLEANOUT SHALL BE PERFORMED TO RESTORE THE ORIGINAL DESIGN VOLUME TO THE SEDIMENT BASIN. THE ELEVATION OF THE MAXIMUM ALLOWABLE SEDIMENT LEVEL SHALL BE DETERMINED AND SHALL BE STATED IN THE DESIGN DATA AS A DISTANCE BELOW THE TOP OF THE RISER AND BE CLEARLY MARKED ON THE RISER. **NO AREA OF DETENTION SHALL BE UTILIZED FOR TEMPORARY EROSION CONTROL OR DEWATERING ACTIVITIES.**

- NOTES:**
- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RI ENTITLED "SITE PLAN SUBMISSION" DATED JUNE 2, 2003 AS AMENDED AUGUST, 2003.
 - THE WETLANDS WERE FLAGGED BY GODDARD CONSULTING, JUNE 2021.
 - THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.

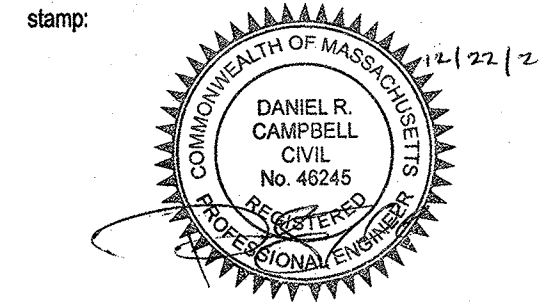
APPROVED DATE: 12/20/21
FRANKLIN PLANNING BOARD
DATE: 5/23/22
BEING A MAJORITY

Construction Set

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revision	revision description	date
1	COMMENT RESPONSE	9-16-2021
2	COMMENT RESPONSE	11-6-2021
3	ENDORSEMENT SET	12-22-2021

project title:
FACTORY SQUARE FRANKLIN

5 FISHER STREET, FRANKLIN, MA
02038

client information:
K FISHER STREET LLC

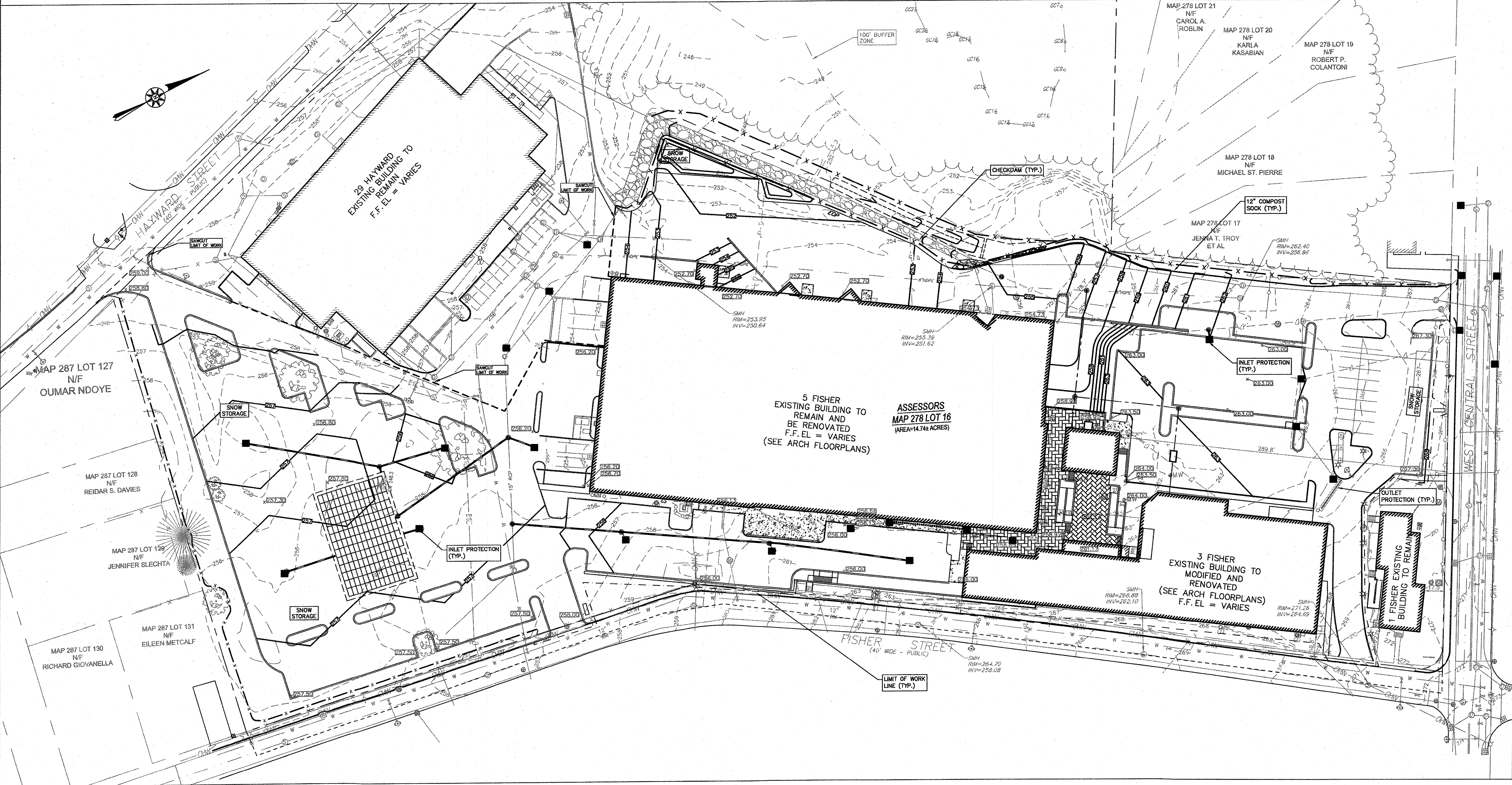
1 FISHER STREET, FRANKLIN, MA 02038

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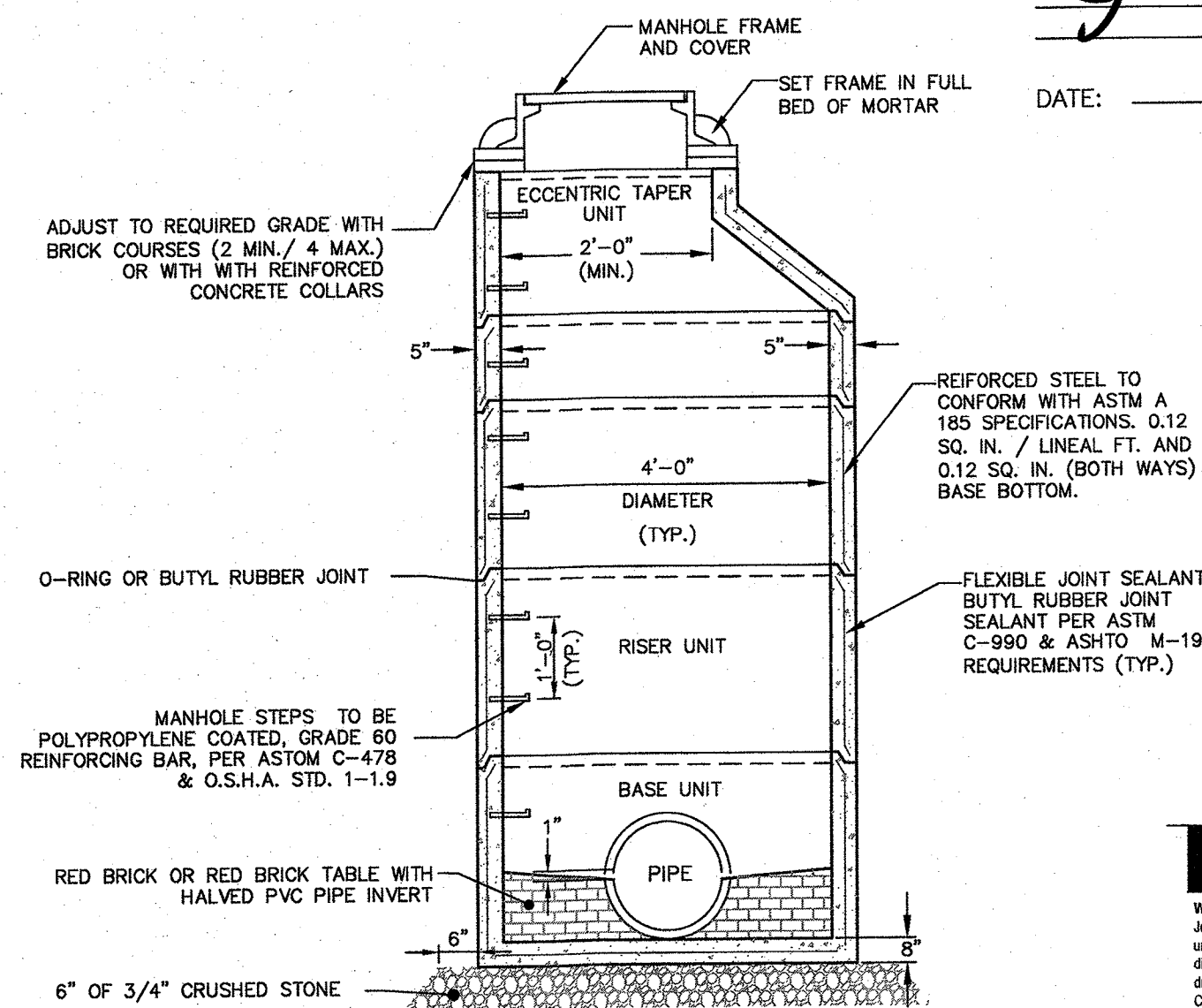
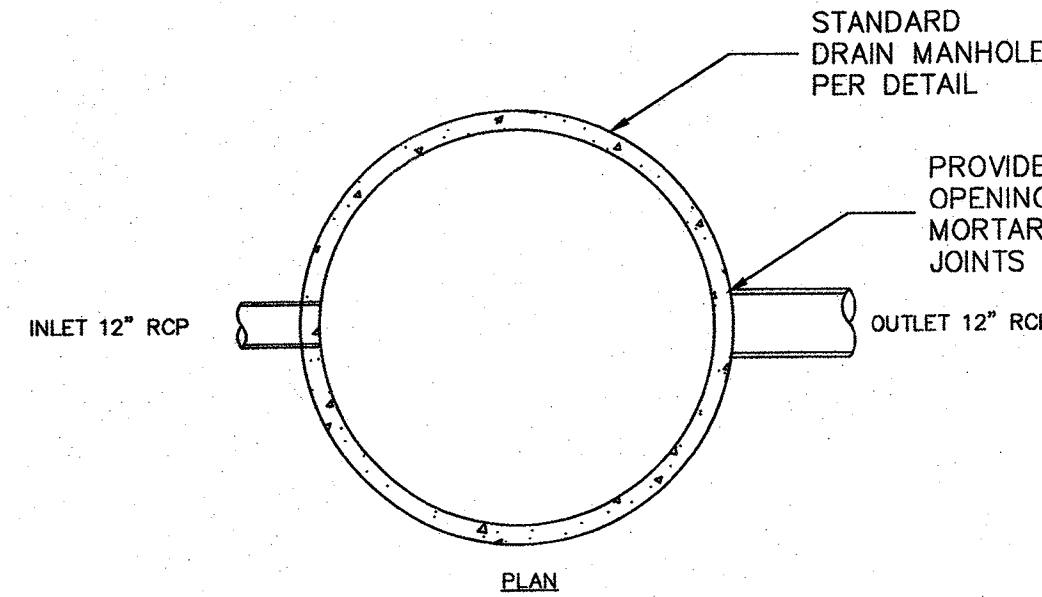
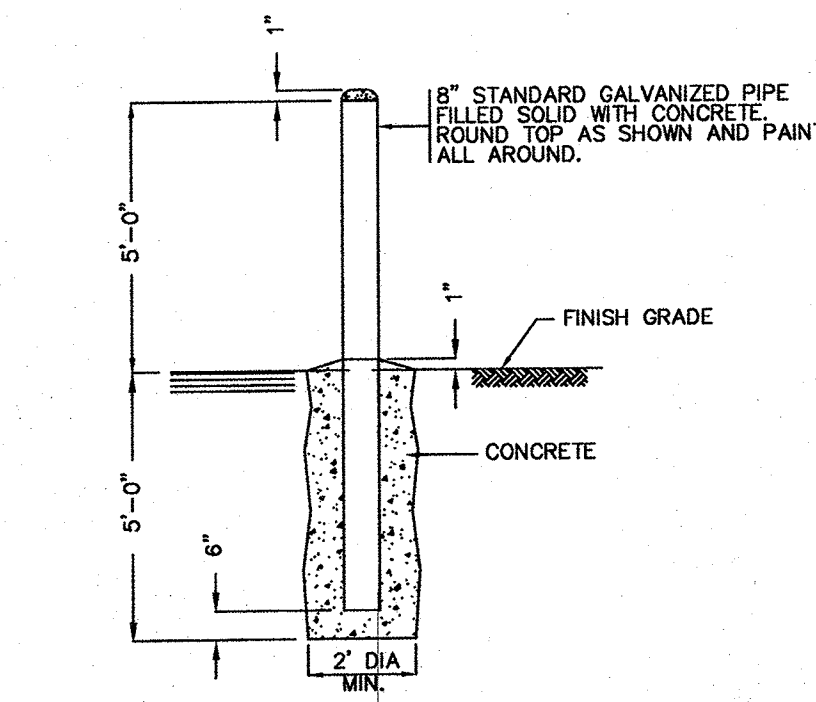
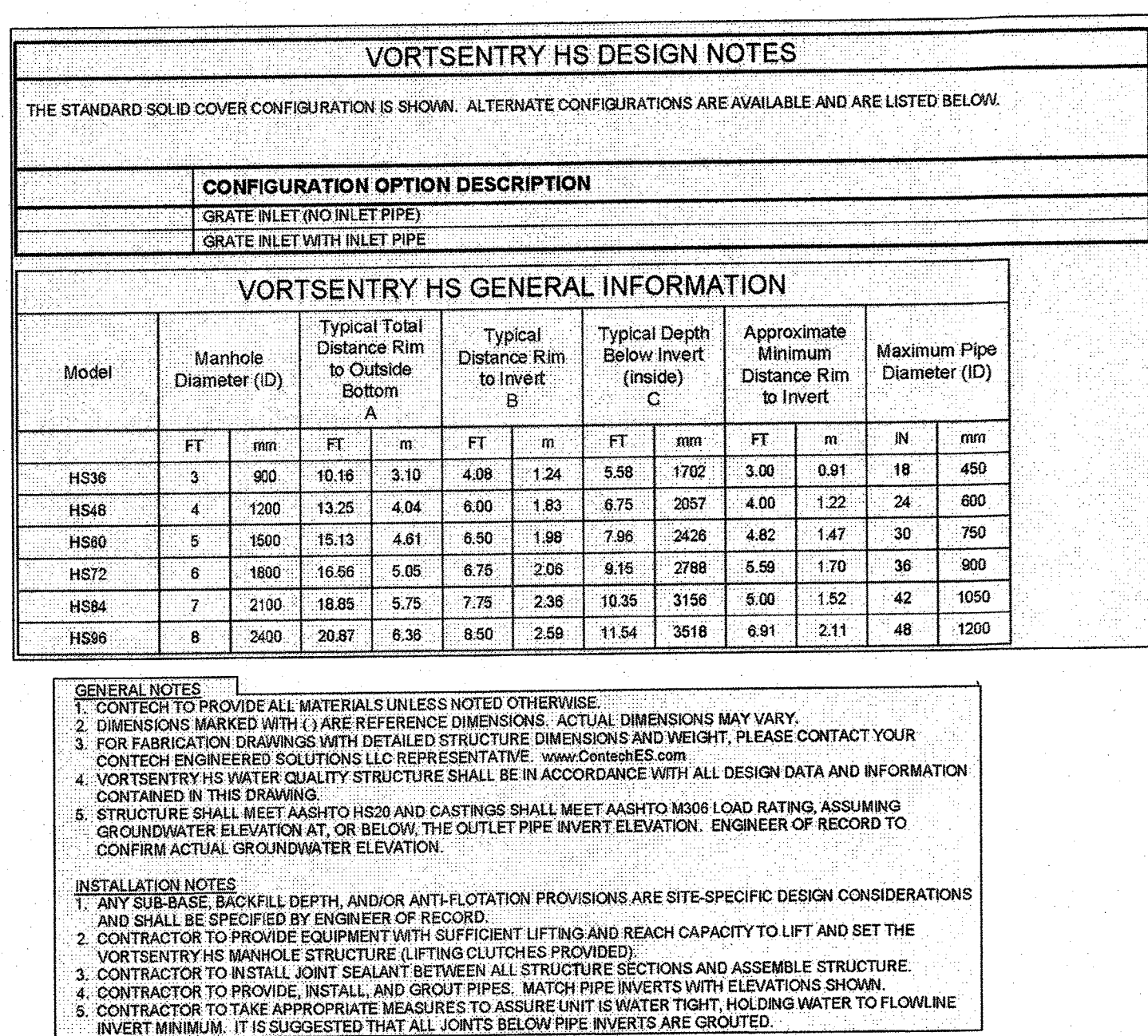
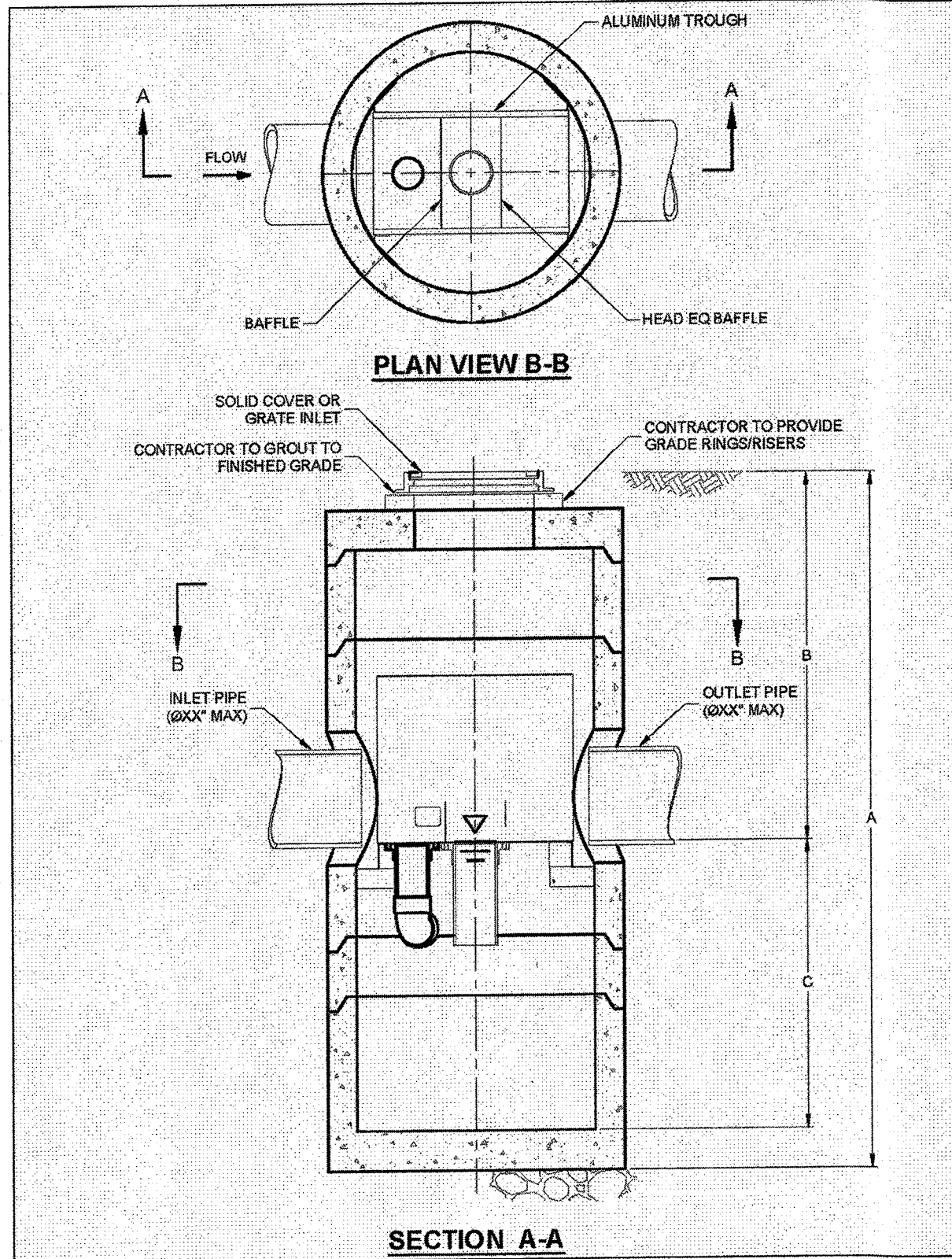
drawing title
**EROSION
CONTROL
PLAN**

project number	drawing scale	approver
1899.00	1" = 50'	
drawing number		revision

C-3.1



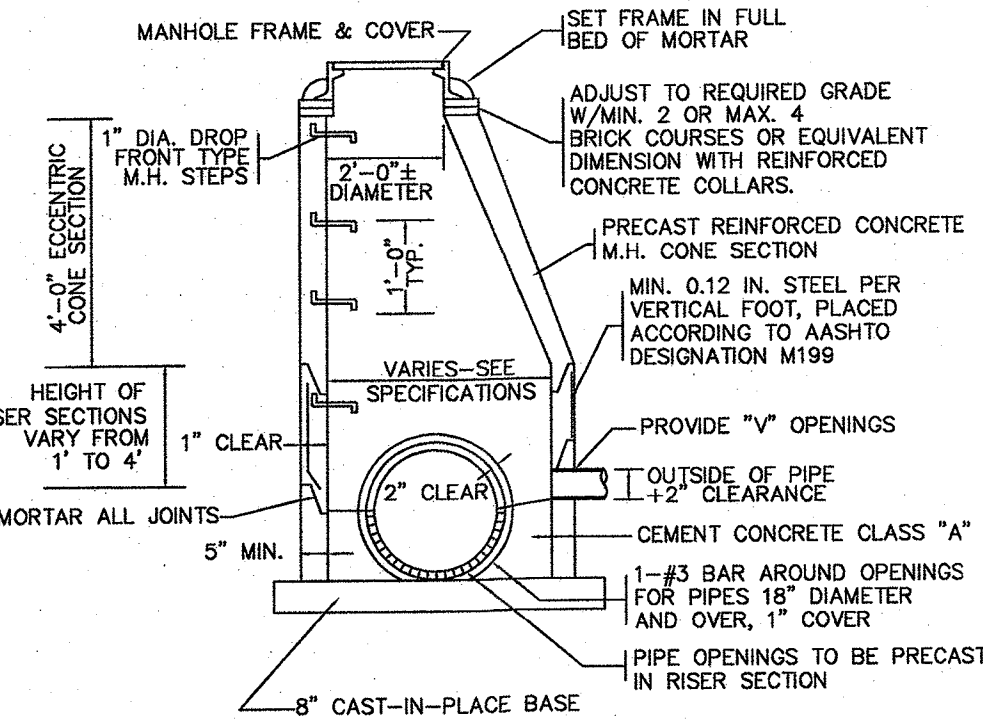
project number 1899.00	drawing scale AS SHOWN	approver
drawing number C-4.0		revision



- NOTES:**
- MANUFACTURES TO MEET OR EXCEED ASTM C-478 & ASSHTO M 199 SPECIFICATIONS
 - CONCRETE = 4,000 PSI MIN.
 - STEEL REINFORCEMENT TO MEET OR EXCEED H-20 LOADING REQUIREMENTS.
 - WATER PROOFING TO BE TWO COATS OF HEAVY BODIED TAR EMULSION.

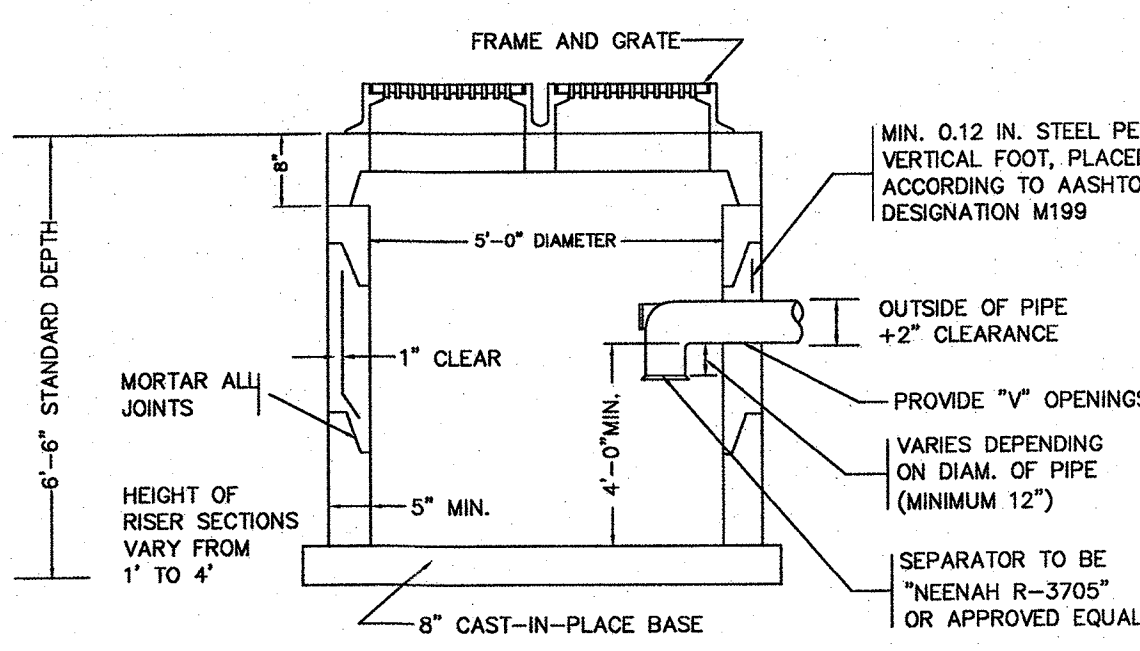
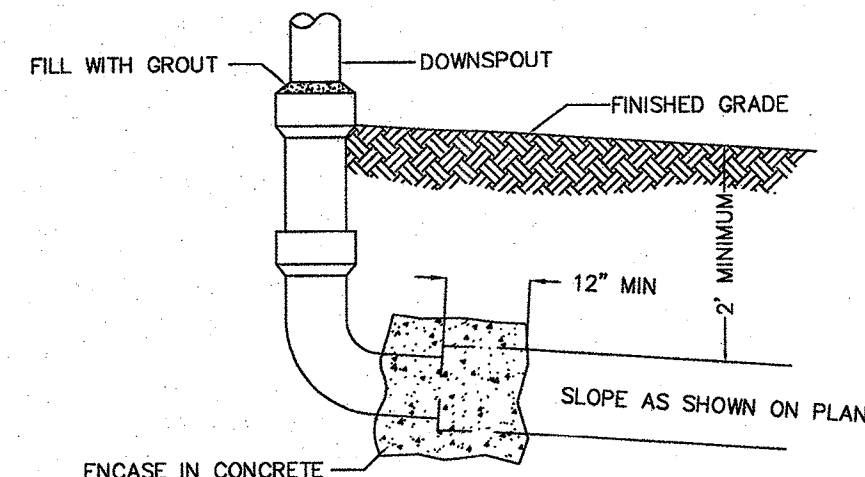
PRECAST CONCRETE SEWER MANHOLE

NOT TO SCALE

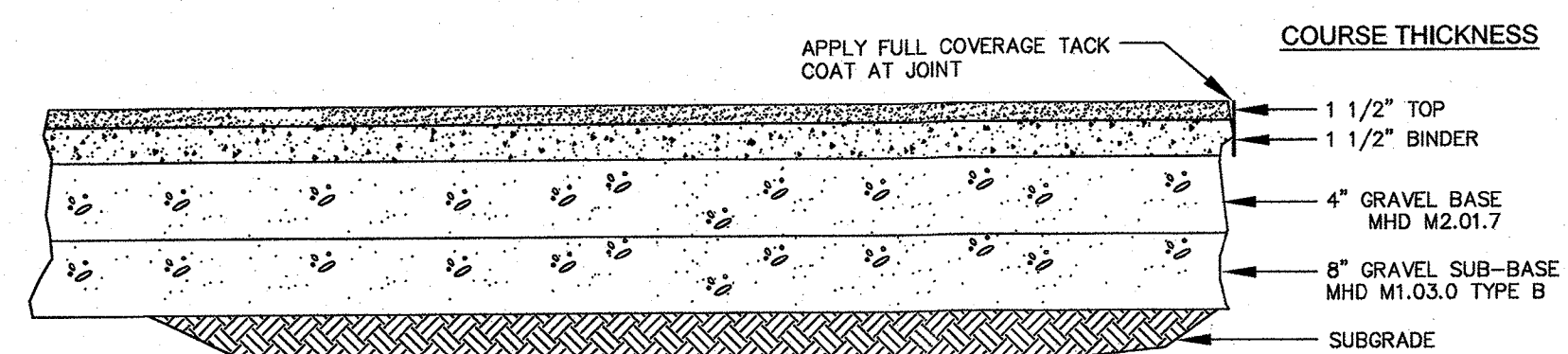


PRECAST CONCRETE DRAIN MANHOLE

NOT TO SCALE



- NOTES:**
- STANDARD COVER MIN. WEIGHT 200 LBS.
 - TYPE-A FRAME MIN. WEIGHT 285 LBS. MATERIAL-CAST IRON
 - STAMPED TO READ "DRAIN" FOR DRAIN MANHOLE INSTALLATION & "SEWER" FOR SEWER MANHOLE INSTALLATION



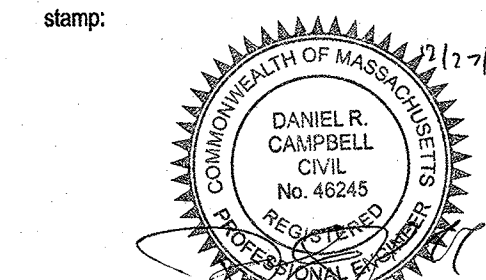
APPROVED DATE: 12/20/21
 DATE: 5/23/22
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revision	revision description	date
1	COMMENT RESPONSE	9-15-2021
2	COMMENT RESPONSE	11-5-2021
3	ENDORSEMENT SET	12-22-2021

project title:
 FACTORY SQUARE FRANKLIN

5 FISHER STREET, FRANKLIN, MA 02038

client information:
 K FISHER STREET LLC

1 FISHER STREET, FRANKLIN, MA 02038

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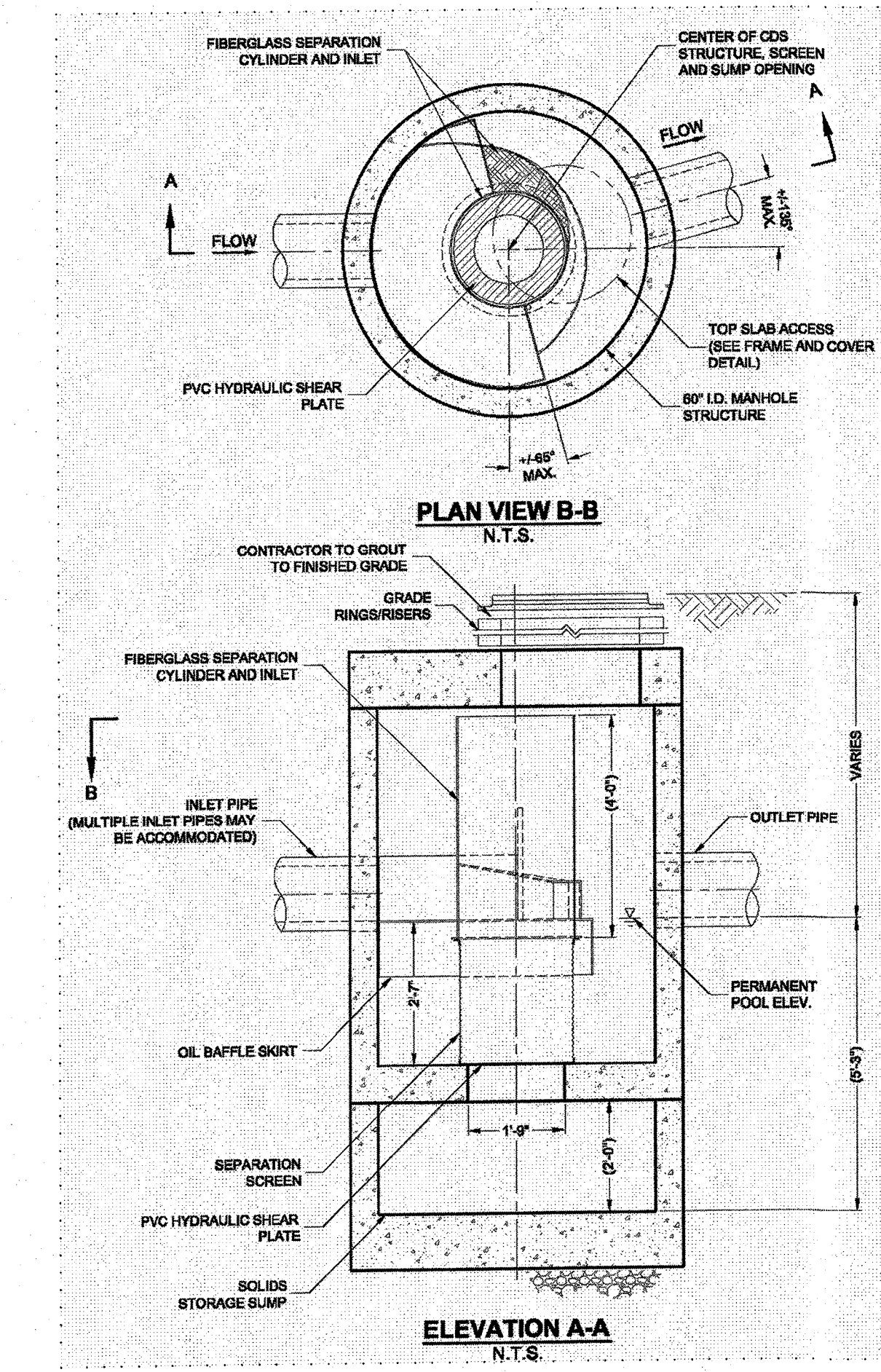
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drawing title
TYPICAL DETAILS

project number	drawing scale	approver
1899.00	AS SHOWN	
drawing number		revision

C-4.1

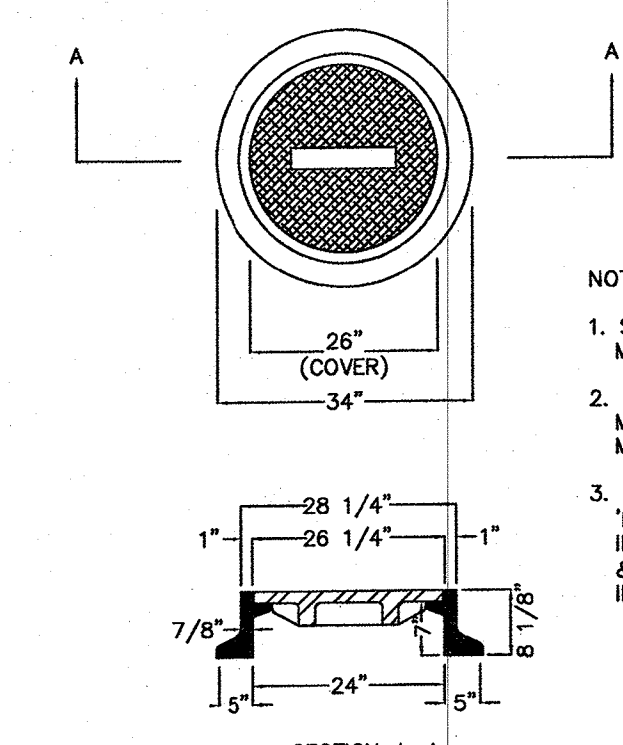
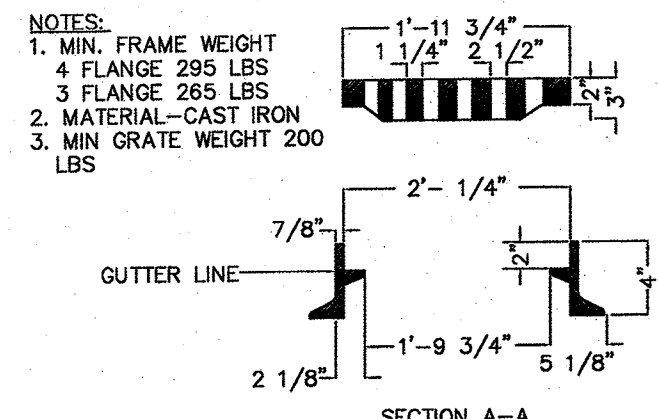


CDS2020-5-C DESIGN NOTES

CDS2020-5-C RATED TREATMENT CAPACITY IS 2.2 CFS, OR PER LOCAL REGULATIONS.

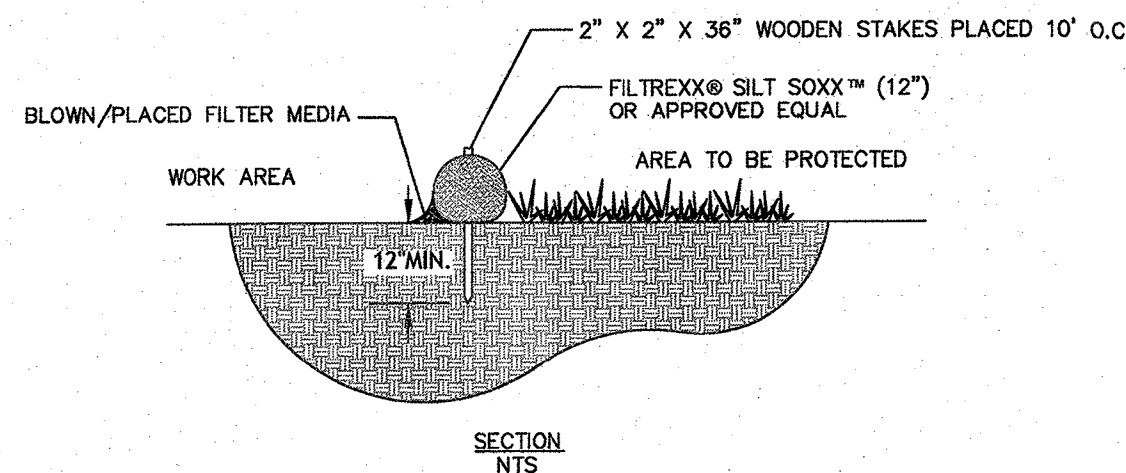
THE STANDARD CDS2020-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
SEDIMENT WEIR FOR NUDET/NUCAT CONFORMING UNITS



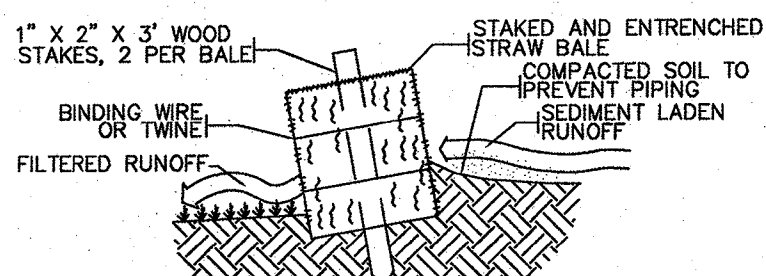
CDS UNIT DETAILS AND SPECIFICATIONS

STANDARD CATCH BASIN FRAME & GRATE STANDARD MANHOLE FRAME & COVER

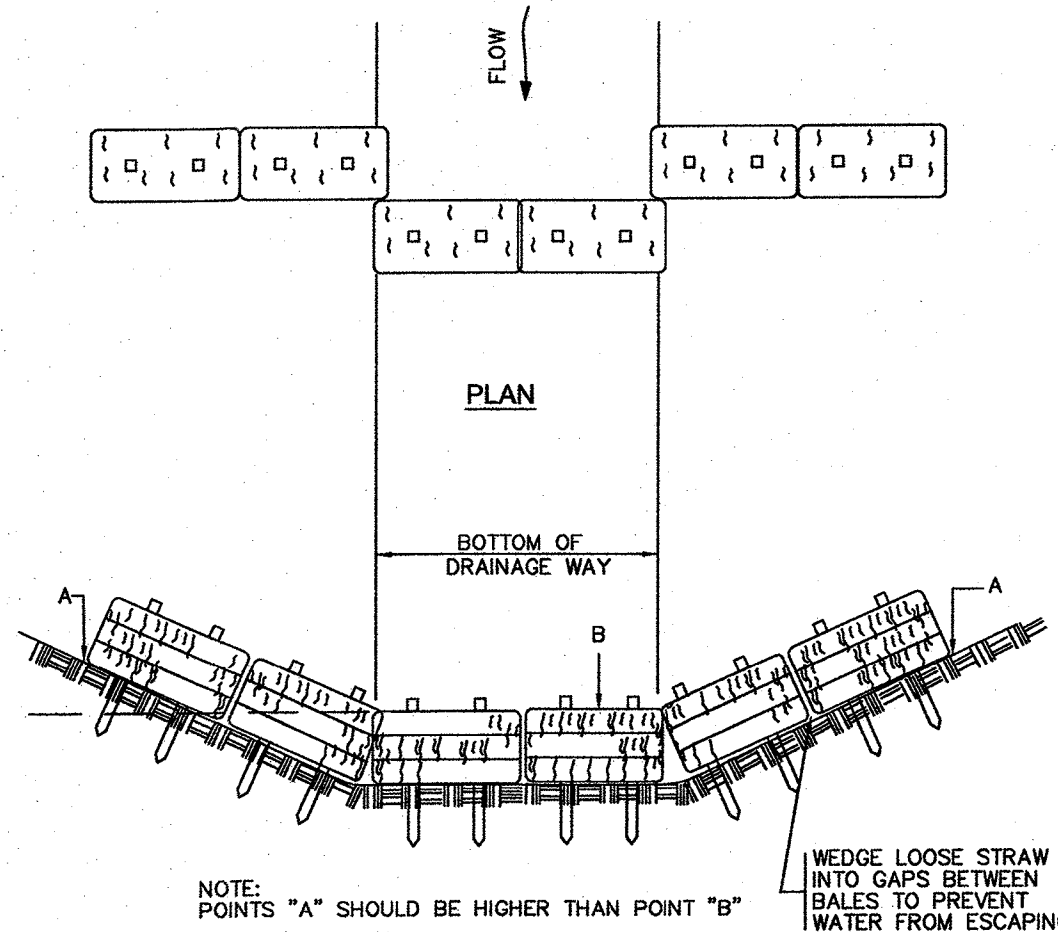


- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. SILT SOXX™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE.

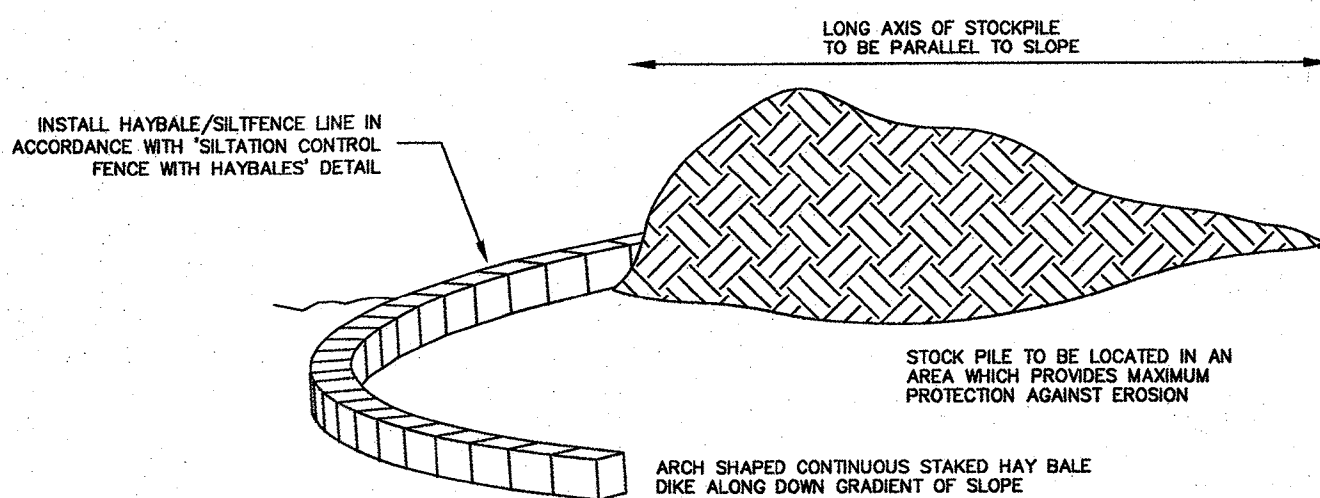
FILTREXX SILT SOXX
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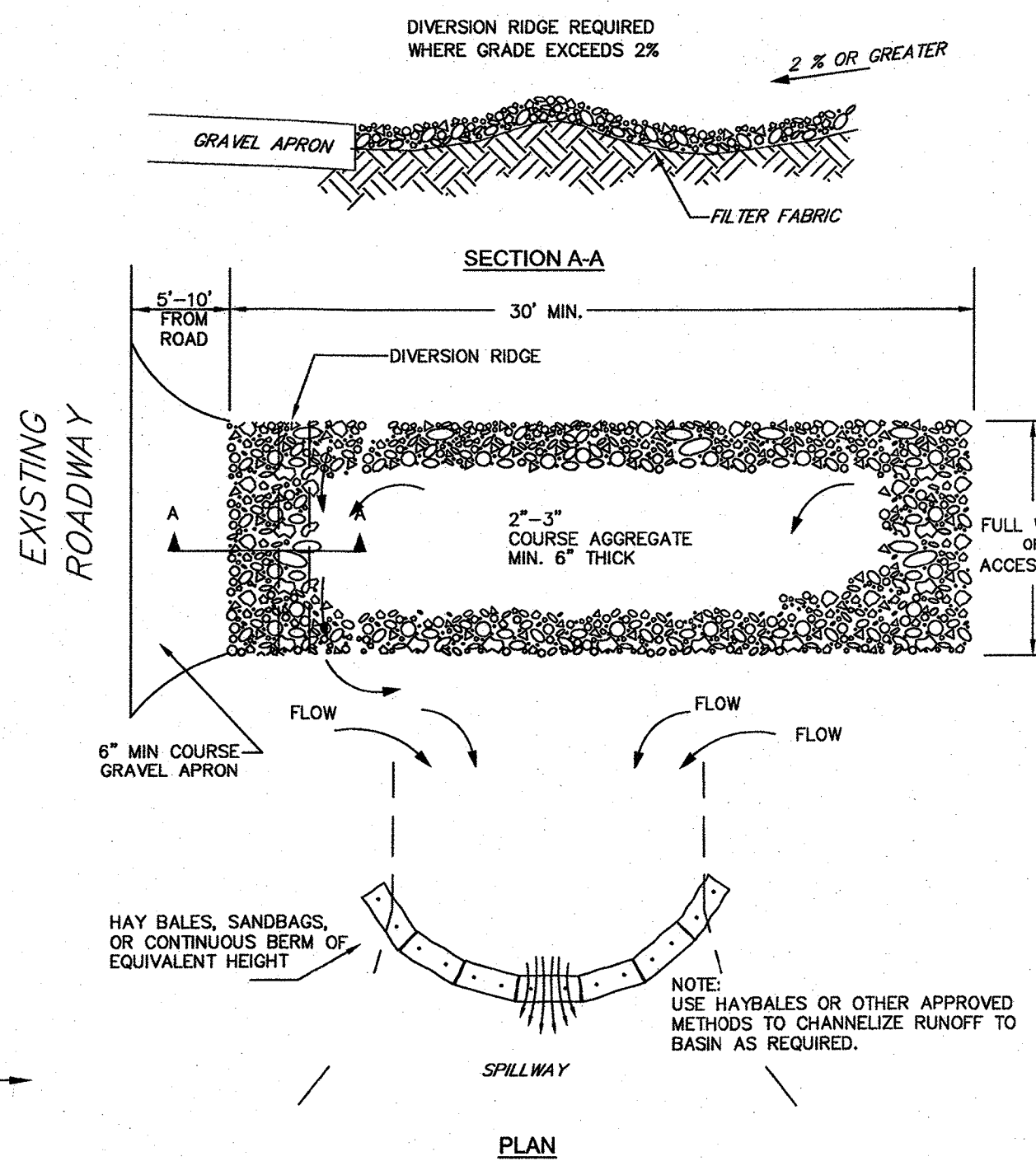
**CROSS-SECTION OF STRAW BALE
EROSION CHECK**
NOT TO SCALE



**PLACEMENT OF STRAW BALE
EROSION CHECK**
NOT TO SCALE

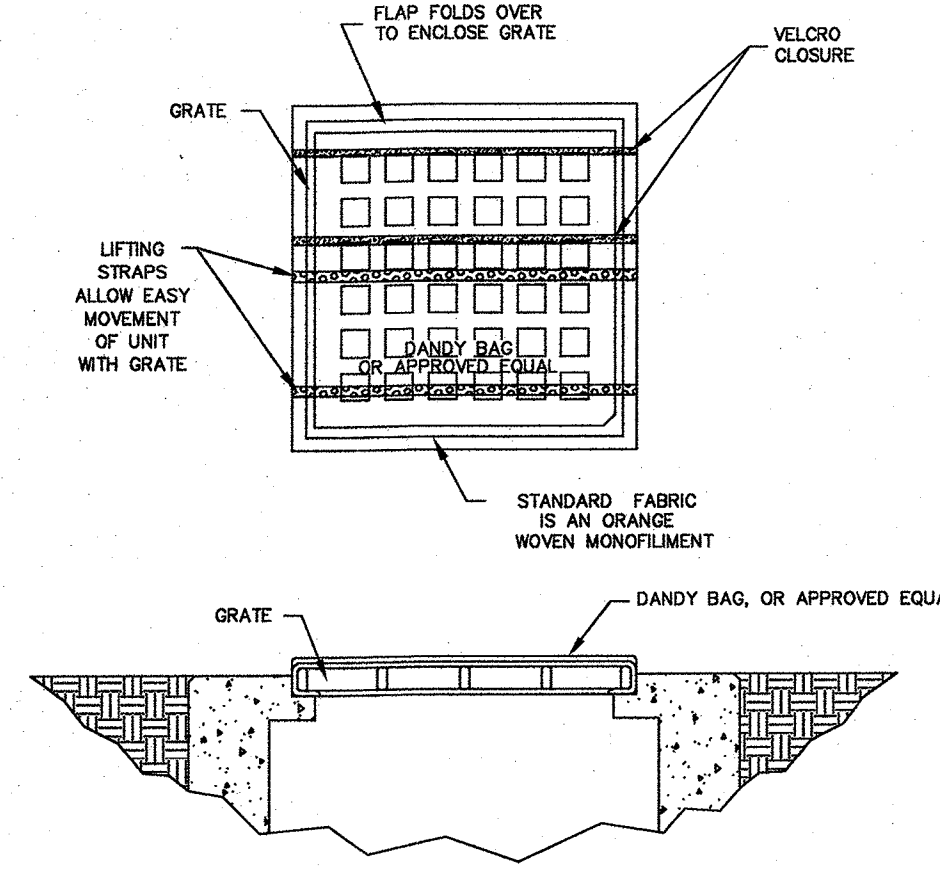


TEMPORARY MATERIAL STOCKPILE
NOT TO SCALE



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITIONS THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS TO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**TEMPORARY CONSTRUCTION
ENTRANCE/EXIT DETAIL**
NOT TO SCALE



- NOTES:
- INSTALLATION: THE EMPTY DANDY BAG, OR APPROVED EQUAL, SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILL IN POUCH, ON THE BOTTOM (BELOW-GRADE) SIDE OF THE UNIT. ATTACH ABSORBENT PILL TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME.
- MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND MOUNT OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG, AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS, REMOVE AND REPLACE ABSORBENT PILL WHEN NEAR SATURATION.

CATCH BASIN INLET PROTECTION
NOT TO SCALE

SC-740 STORMTECH CHAMBER SPECIFICATIONS

1. CHAMBERS SHALL BE STORMTECH SC-740.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE OR POLYETHYLENE COPOLYMERS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16a (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
4. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPED FLOW OR LIMIT ACCESS FOR INSPECTION.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
6. CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-100) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
7. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN/IN AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
8. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED, UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.55 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2922 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
9. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM

1. STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH SC-310 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONES/ROCKERS LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
8. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
9. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

1. STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
2. THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

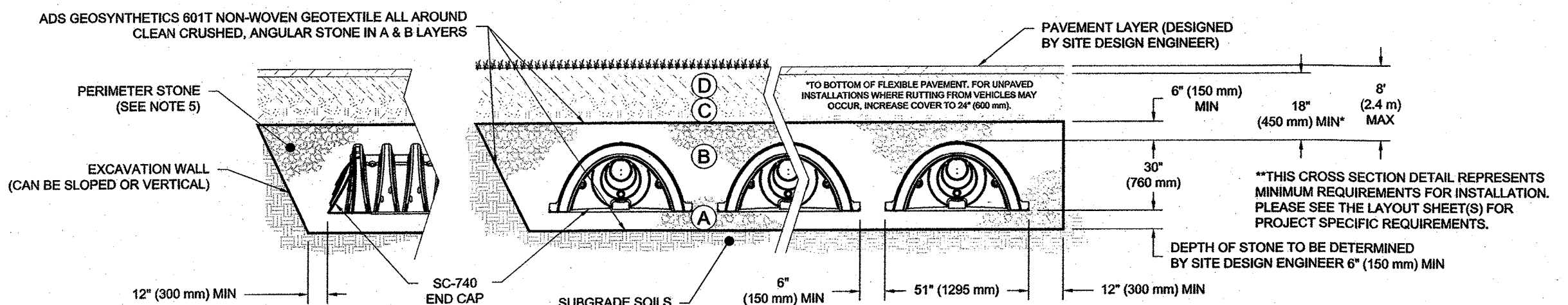
USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-882-2804 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

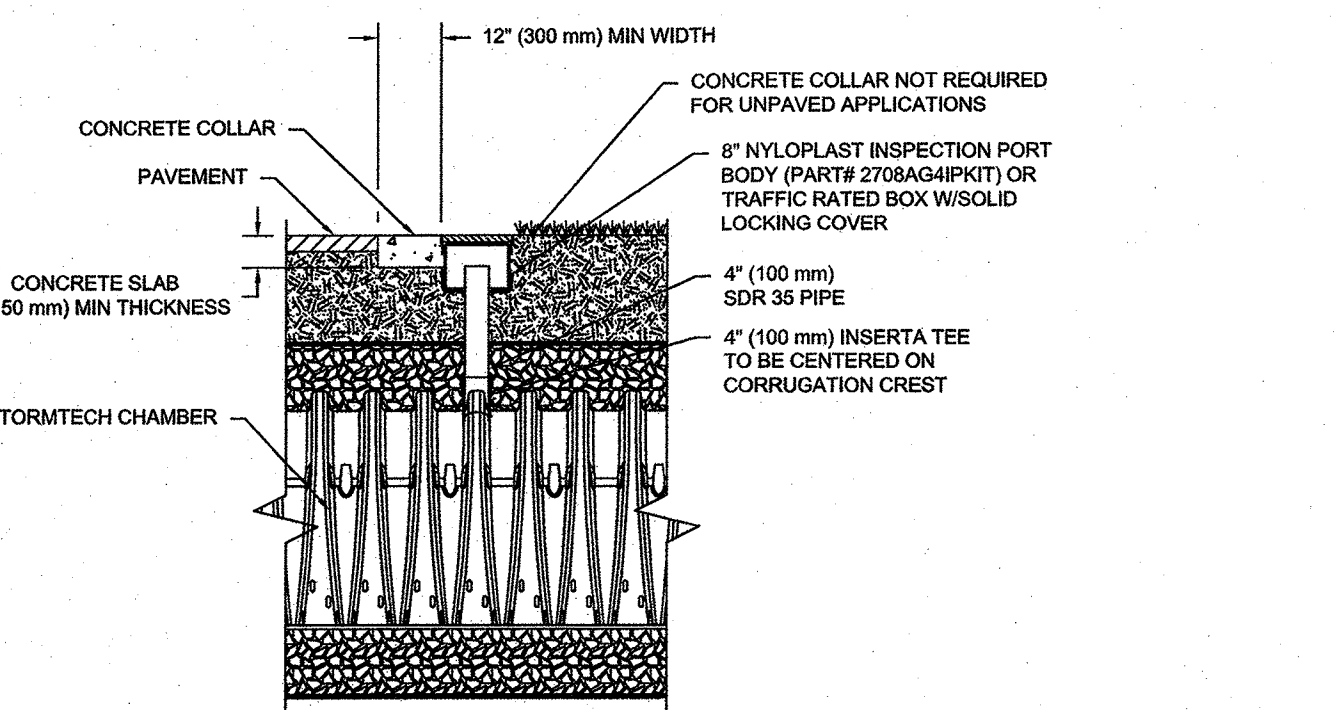
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE ^{2,3}

- PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



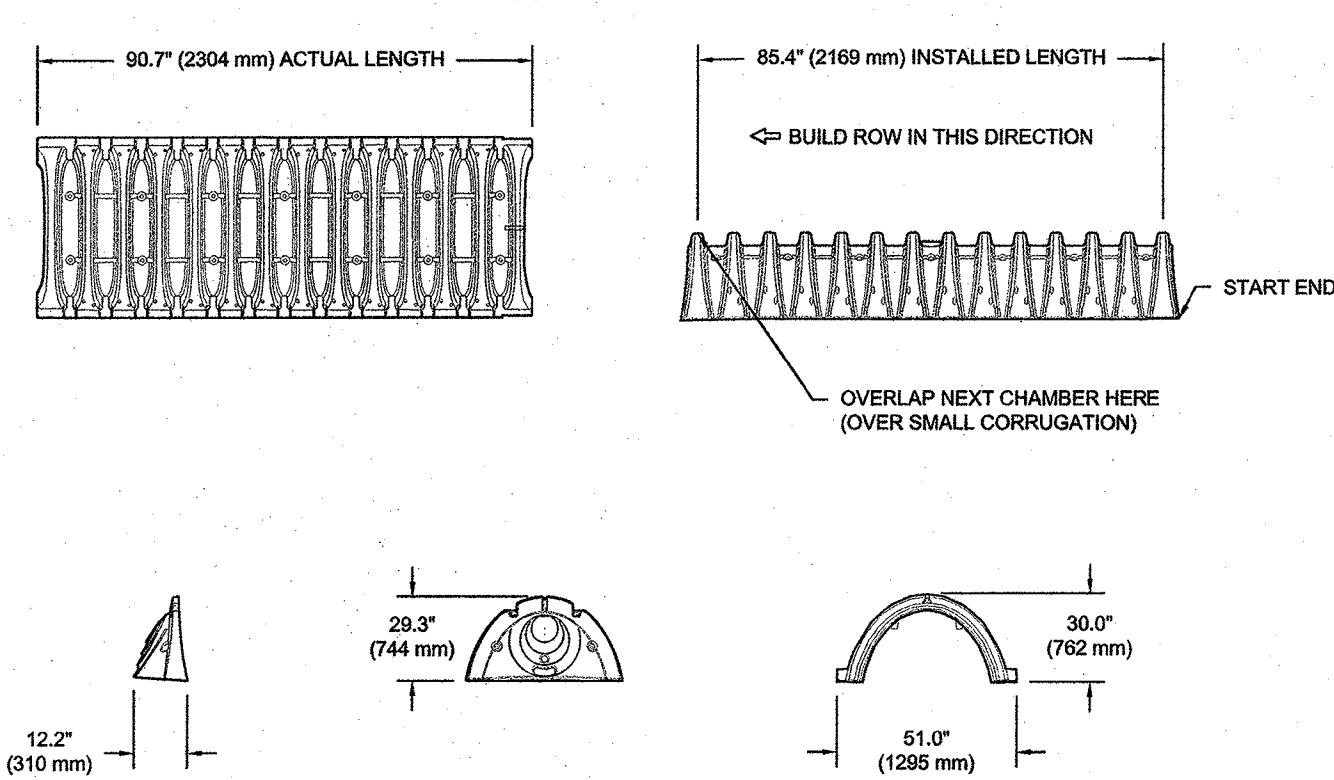
NOTES:

1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16a (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN/IN AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



NOTE:
INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

4" PVC INSPECTION PORT DETAIL (SC SERIES CHAMBER)



NOMINAL CHAMBER SPECIFICATIONS	SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
	51.0" X 30.0" X 85.4"	45.9 CUBIC FEET	74.0 CUBIC FEET	74.0 lbs.
	(1295 mm X 762 mm X 2170 mm)	(1.30 m³)	(2.12 m³)	(33.6 kg)

*ASSUMES 6" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS

APPROVED DATE: 12/20/21
FRANKLIN PLANNING BOARD
DATE: 5/23/22
BEING A MAJORITY

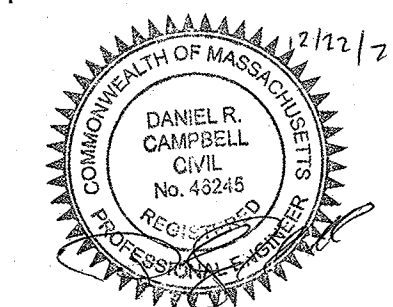
Construction Set

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revision	revision description	date
1	COMMENT RESPONSE	9-15-2021
2	COMMENT RESPONSE	11-5-2021
3	ENDORSEMENT SET	12-22-2021

project title:
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drawing title
**TYPICAL
DETAILS**

project number	drawing scale	approver
1899.00	AS SHOWN	
drawing number		revision

C-4.2

SC-740 CROSS SECTION DETAIL