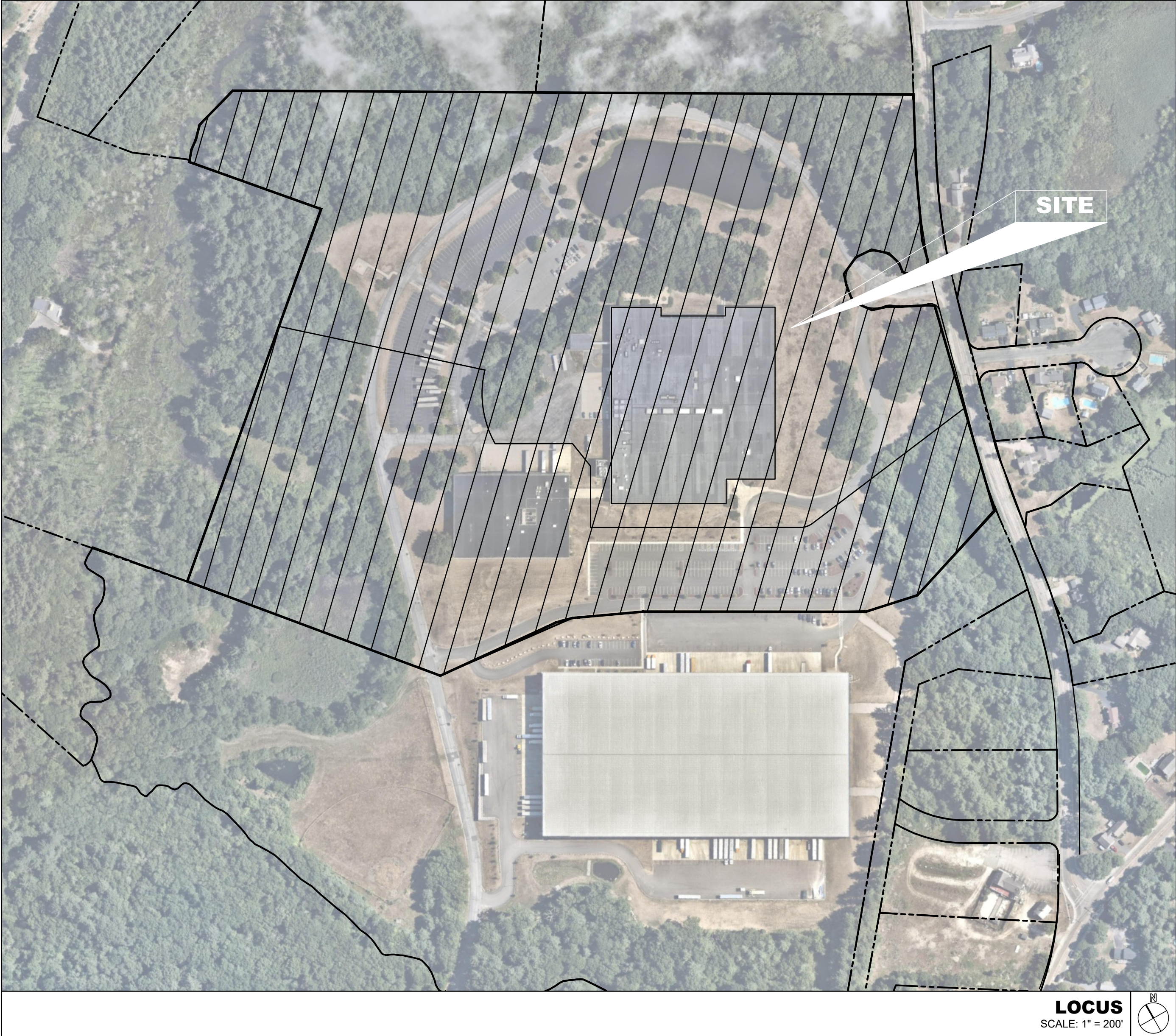


WAREHOUSE/INDUSTRIAL DEVELOPMENT SITE DEVELOPMENT PLANS

**100/200 FINANCIAL PARK
FRANKLIN, MASSACHUSETTS**

PERMIT SET: MAY 11, 2023



PROJECT TEAM

APPLICANT:

BERKELEY PARTNERS
1 WASHINGTON MALL | SUITE 701
BOSTON, MA 02108

OWNER/APPLICANT:

OWNER ICBP IV HOLDINGS 34, LLC
CO-OWNER C/O BERKELEY PARTNERS
ADDRESS 1111 BROADWAY | SUITE 1670
OAKLAND, CA 94607

ASSESSOR'S ID:

100 FRANKLIN STREET
BOOK - 40397
PAGE - 34
MAP - 312
PARCEL 020-000-000

200 FRANKLIN STREET
BOOK - 36923
PAGE - 217
MAP - 312
PARCEL 020-001-000

ZONE INDUSTRIAL

CIVIL ENGINEER: HIGHPOINT ENGINEERING, INC.
980 WASHINGTON STREET | SUITE 210
DEDHAM, MA 02026
TEL: (781) 770-0970
ATTN: Douglas Hartnett
www.highpointeng.com

**LAND SURVEYOR/
WETLAND CONSULTANT:** HANCOCK ASSOCIATES
315 ELM STREET
MARLBOROUGH, MA 01752
TEL: (508) 460-1111

TRAFFIC CONSULTANT: MDM TRANSPORTATION CONSULTANTS
28 LORD ROAD
MARLBOROUGH, MA 01752
TEL: (508) 380-9088

ARCHITECT: RODE ARCHITECTS
535 ALBANY STREET, #40
BOSTON, MA 02118
www.rodearchitects.com

LANDSCAPE ARCHITECT: MICHAEL D'ANGELO
LANDSCAPE ARCHITECTS
840 SUMMER STREET | SUITE 201
BOSTON, MA 02110

INDEX OF DRAWINGS

ISSUE HISTORY:		PERMIT SET MAY 11, 2023	RESPONSE TO COMMENTS JULY 17, 2023							
GENERAL										
T100	TITLE SHEET	●	●							
EC-1	LIMITED/COMPILED EXISTING CONDITIONS PLAN COVER SHEET (BY OTHERS)	●	●							
EC-1	LIMITED/COMPILED EXISTING CONDITIONS PLAN OF LAND IN FRANKLIN, MA (BY OTHERS)	●	●							
EC-2	LIMITED/COMPILED EXISTING CONDITIONS PLAN OF LAND IN FRANKLIN, MA (BY OTHERS)	●	●							
EC-3	LIMITED/COMPILED EXISTING CONDITIONS PLAN OF LAND IN FRANKLIN, MA (BY OTHERS)	●	●							
EC-4	LIMITED/COMPILED EXISTING CONDITIONS PLAN OF LAND IN FRANKLIN, MA (BY OTHERS)	●	●							
G100	GENERAL NOTES SHEET	●	●							
C100	SITE CONFORMANCE PLAN	●	●							
C101	KEY SHEET	●	●							
C200	SITE PREPARATION & DEMOLITION PLAN	●	●							
C201	SITE PREPARATION & DEMOLITION PLAN	●	●							
C300	LAYOUT & MATERIALS PLAN	●	●							
C301	LAYOUT & MATERIALS PLAN	●	●							
C400	GRADING & DRAINAGE PLAN	●	●							
C401	GRADING & DRAINAGE PLAN	●	●							
C500	UTILITY PLAN	●	●							
C501	UTILITY PLAN	●	●							
C600	SITE DETAILS	●	●							
C601	SITE DETAILS	●	●							
C602	SITE DETAILS	●	●							
C603	SITE DETAILS	●	●							
L100	KEY PLAN	●	●							
L101	MATERIALS PLAN	●	●							
L102	MATERIALS PLAN	●	●							
L103	MATERIALS PLAN	●	●							
L104	MATERIALS PLAN	●	●							
L105	MATERIALS PLAN	●	●							
L106	MATERIALS PLAN	●	●							
L107	MATERIALS PLAN	●	●							
L108	PLANTING & LIGHTING PLAN	●	●							
L109	PLANTING & LIGHTING PLAN	●	●							
L110	PLANTING & LIGHTING PLAN	●	●							
L111	PLANTING & LIGHTING PLAN	●	●							
L112	PLANTING & LIGHTING PLAN	●	●							
L113	PLANTING & LIGHTING PLAN	●	●							
L114	PLANTING & LIGHTING PLAN	●	●							
L115	PLANTING SCHEDULE & DETAILS	●	●							
L116	LIGHTING SCHEDULE & CUT SHEETS	●	●							
L117	PHOTOMETRIC PLAN	●	●							
L118	PHOTOMETRIC PLAN	●	●							
L119	PHOTOMETRIC PLAN	●	●							
L120	PHOTOMETRIC PLAN	●	●							
L121	PHOTOMETRIC PLAN	●	●							
L122	PHOTOMETRIC PLAN	●	●							
L123	PHOTOMETRIC PLAN	●	●							

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

ISSUE TYPE:
PERMIT SET
ISSUE DATE:
05/11/2023

PROJECT NUMBER:
22051

DRAWN BY: JJP / CCL/ WH
CHECKED BY: DJH

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T100

LEGEND

	E	ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
	FO	TELEPHONE MANHOLE & UNDERGROUND FIBER OPTIC LINES
	IR	IRON ROD
	BIT.	BITUMINOUS
	(C)	CALCULATED
	CONC.	CONCRETE
	(F)	FOUND
	(R)	RECORD
		POST INDICATOR VALVE
		CAMERA
		DRY WELL
		LIGHT POLE
		BOLLARD
		SIGN
	DH	DRILL HOLE
	DHCB	DRILL HOLE IN CONCRETE BOUND
	DHSB	DRILL HOLE IN STONE BOUND
	CB	CATCH BASIN
	SMH	SEWER MANHOLE
	W 6" or 10" DI	WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
	G 10" DI	GAS MAIN WITH SIZE & GATE VALVE
	OHW	EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
		AREA OF FLOOD ZONES (SEE NOTE 10)
		STONE WALL
		METAL GUARDRAIL
		EDGE OF PAVEMENT
		WIRE FENCE
		EDGE OF GRAVEL ROAD
	T/G	TELECOMMUNICATIONS EASEMENT
	208.8 WFA2	LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION
		LIMIT OF 25-FOOT NO DISTURB WETLAND BUFFER ZONE
		LIMIT OF 50-FOOT NO BUILD ZONE WETLAND BUFFER ZONE
		LIMIT OF 100-FOOT WETLAND BUFFER ZONE
	S	SEWERLINE & MANHOLE
	D	DRAINLINE WITH CATCHBASIN, MANHOLE & ROUND CATCHBASIN
		LIMIT OF 100-YEAR FLOOD PLAIN (SEE NOTE 10 & 11)
		LIMIT OF FEMA FLOOD WAY (SEE NOTE 10)
		LIMIT OF 100-FOOT INNER RIPARIAN ZONE
		LIMIT OF 200-FOOT OUTER RIPARIAN ZONE

RECORD OWNERS:

ICBP IV HOLDINGS 34, LLC
C/O BERKELEY PARTERS
1 SANSOME STREET, SUITE 1500
SAN FRANCISCO, CALIFORNIA

ASSESSORS' PARCEL ID:

LOT 5A: 312-020-000-000
LOT 5B: 312-020-001-000
W/R/T EASEMENT OVER LOT 4A
LOT 4A: 321-060-000-000

REFERENCES:

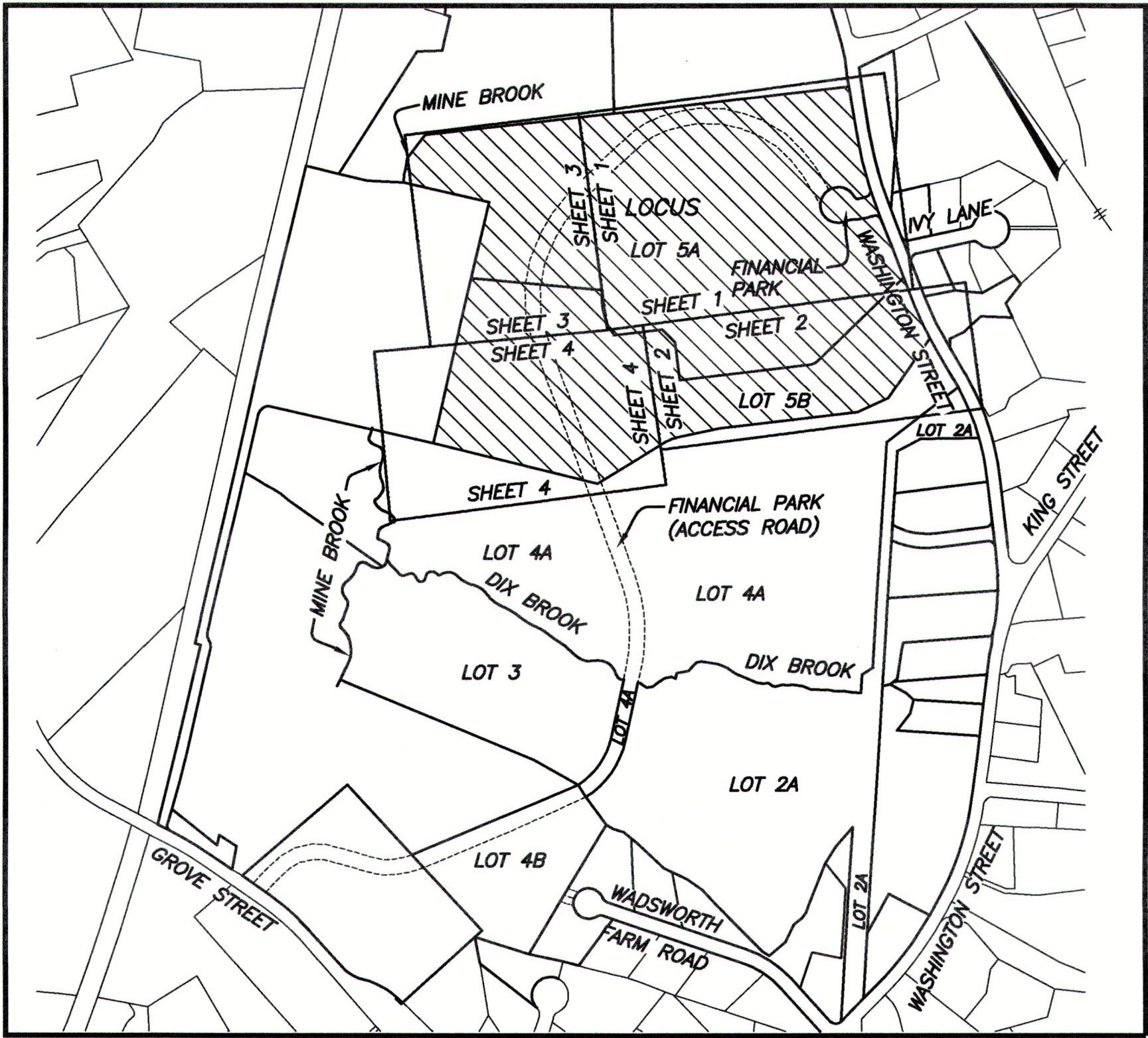
DEED BOOK 36923, PAGE 217
PLAN BOOK 56, PLAN 2653 & 2654
PLAN BOOK 107, PAGE 253
PLAN BOOK 117, PAGES 388 & 389
PLAN BOOK 190, PAGE 1305
PLAN 262 OF 1977, PLAN BOOK 259
PLAN BOOK 281, PLAN 323 OF 1980
PLAN 322 OF 1980, PLAN BOOK 281
PLAN BOOK 665, PAGES 8 & 9
PLAN BOOK 672, PAGE 97 & 98
PLAN BOOK 675, PAGE 39
PLAN BOOK 676, PAGE 49
PLAN BOOK 678, PAGES 8 & 9
PLAN BOOK 701, PAGE 31
PLAN BOOK 281, PLAN 323 OF 1980

ZONING:

INDUSTRIAL

LIMITED/COMPLIED
EXISTING CONDITIONS PLAN
FOR
100 & 200 FINANCIAL PARK
FRANKLIN, MA
OCTOBER 24, 2022

REV. MAY 5, 2023



LOCUS MAP
1"=500'

SURVEYOR

HANCOCK ASSOCIATES

315 ELM STREET

MARLBOROUGH, MA 01752

PHONE (508) 460-1111

CIVIL ENGINEER

HIGHPOINT ENGINEERING, INC.

980 WASHINGTON STREET

DEDHAM, MA 02026

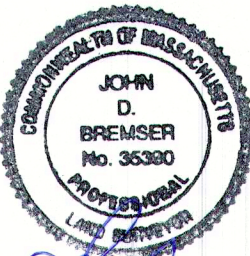
PHONE (781) 770-0973

NOTES:

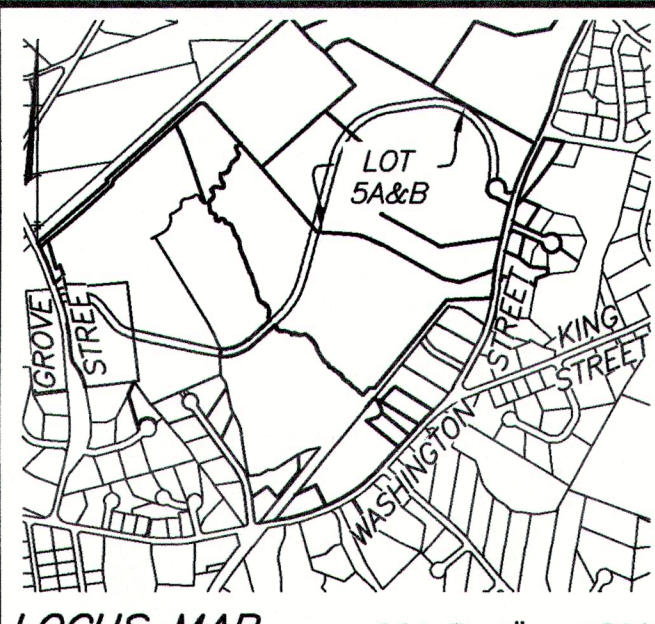
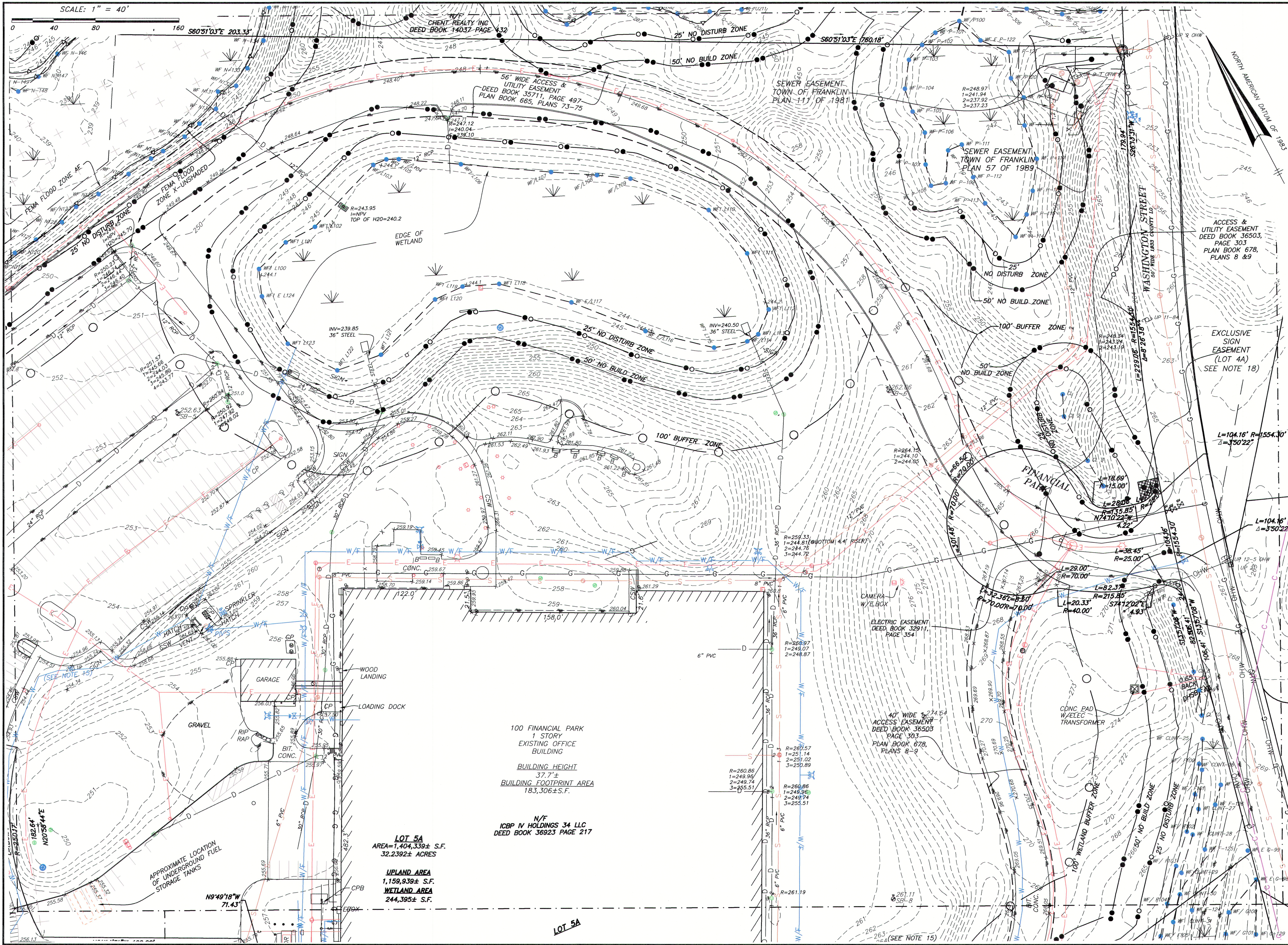
- 1) PROJECT SOURCE BENCHMARK IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988
- 2) THE PURPOSE OF THIS PLAN IS TO FACILITATE CONCEPT DESIGN ONLY. IT COMPILES INFORMATION FROM THE FOLLOWING SOURCES:
A: TOPOGRAPHY AND WETLANDS (SERIES F&G) NEAR WASHINGTON STREET FROM 2016 ANRAD BY THIS OFFICE.
B: REMAINDER OF WETLANDS FROM 2019 WETLANDS PLAN OF LOT 5 BY THIS OFFICE.
C: 2020 SITE "AS-BUILT" BY THIS OFFICE OF LOT 4A (TO THE SOUTH) WHICH INCLUDES PARKING EASEMENT ON LOT 5A AND ACCESS EASEMENT TO FINANCIAL PARK CUL-DE-SAC.
D: UTILITY LOCATIONS FROM 2021 ALTA PLAN FOR LOT 5A AND LOT 5B.
E: PORTIONS OF CONTOURS FROM NOAA 2011 LIDAR.
F: GPS FILL IN CONTOURS IN AREA SOUTH OF SMALL WAREHOUSE.
- 3) UNDERGROUND UTILITIES SHOWN HEREON ARE FROM A DECEMBER 15, 2021 ALTA BY THIS OFFICE (AND HAVE NOT BEEN UPDATED). THEY WERE COMPILED FROM FIELD LOCATIONS OF STRUCTURES, CONTRACTOR PAINT MARKS, AND AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF ANY FUTURE PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 4) THE LOCATION OF UNDERGROUND STORAGE TANKS, IF ANY, ARE UNKNOWN.
- 5) THIS PLAN IS A COMPILATION OF SEVERAL TOPOGRAPHIC SURVEYS PREPARED AT VARIOUS SCALES, AS SUCH, SCALES OF SOME SYMBOLS ARE NOT CONSISTENT.
- 6) ELECTRIC EASEMENT CROSSING LOCUS IS DEPICTED APPROXIMATELY PER 2-19-15 ALTA PLAN PREPARED FOR CRE MANAGEMENT, LLC. AND PLAN BOOK 56, PLAN #2653.
- 7) INTENTIONALLY OMITTED
- 8) A TWO LOT DEFINITIVE SUBDIVISION PLAN WAS APPROVED FOR PREVIOUS OWNERS BUT NOT REFERENCED ON THE CURRENT DEED. THE COVER SHEET (ONLY) WAS RECORDED IN PLAN BOOK 428, PLAN 163 OF 1995 AT THE NORFOLK COUNTY REGISTRY OF DEEDS. THE LOTTING SHEETS, NOT RECORDED, ARE ON FILE AT THE FRANKLIN PLANNING BOARD. THE LOCATION OF THE "FINANCIAL PARK" CUL-DE-SAC IS SHOWN FROM SAID PLANS.
- 9) LOCATION OF IRRIGATION SYSTEM COMPONENTS NOT INCLUDED IN THIS SURVEY.
- 10) FEMA FLOOD ZONE LINES FOR "ZONE X-SHADED" ARE SHOWN APPROXIMATELY FROM MASS GIS.
- 11) THE 100 YEAR FLOOD PLAIN (FLOOD ZONE AE) WAS FIELD LOCATED ON LOT 4A AND PARTIALLY ONTO THE SOUTHERLY PORTION OF LOT 5 ON AUGUST 19, 2019. THE FLOOD ZONE LINE IS SHOWN PER FIELD LOCATION BETWEEN WETLAND FLAG J105 (SHEETS 4 & 5) AND MEAN ANNUAL HIGH WATER FLAG 215. ALL OTHER PORTIONS OF FLOOD ZONE AE LINES ARE SHOWN APPROXIMATELY PER INTERPOLATION OF THE NOAA LIDAR CONTOURS THAT ARE PART OF THIS COMPILATION PLAN AND ARE NOT FIELD LOCATED.
- 12) MEAN ANNUAL HIGH WATER (MAHW) HAS BEEN FIELD DELINEATED AT THE NORTHWEST CORNER OF LOT 5A AND SEVERAL HUNDRED FEET SOUTH OF THERE. ON LOT 4A, ALONG MINE BROOK AND THE PORTION OF DIX BROOK THAT HAS NOT BEEN FIELD DELINEATED, MAHW HAS BEEN APPROXIMATED BASED ON DIGITIZED CENTERLINE OF SAID BROOKS AND MAHW WIDTHS FROM USGS STREAMSTATS BANKFULL STATISTICS.
- 13) BVW (BORDERING VEGETATED WETLANDS) HAS NOT BEEN FLAGGED WEST OF THE DETENTION POND ON ABUTTING LOT 4A, BETWEEN DIX BROOK AND ROUGH WF-JB5. THIS LINE WOULD NOT IMPACT THE 100' SETBACK LINE ON LOT 4A AS THE DETENTION POND BROADCASTS A 100' BUFFER FARTHER EAST AS DEPICTED.
- 14) OFF-SITE ACCESS EASEMENTS AND UTILITY EASEMENTS EXIST BUT ARE NOT SHOWN AS THEY ARE OUTSIDE THE SCOPE OF THIS SURVEY.
- 15) WATER LINE SHOWN HEREON FOR WELL PUMP IS COMPILED FROM A SKETCH SUPPLIED BY HIGHPOINT ENGINEERING AND IS SHOWN APPROXIMATE ONLY. A WELL PUMP EXISTS ON SITE BUT HAS NOT BEEN LOCATED AS OF THE DATE OF THIS PLAN.

SHEET INDEX:

COVER SHEET
LIMITED/COMPILED EXISTING.....EC-1 THRU EC-5
CONDITIONS PLANS



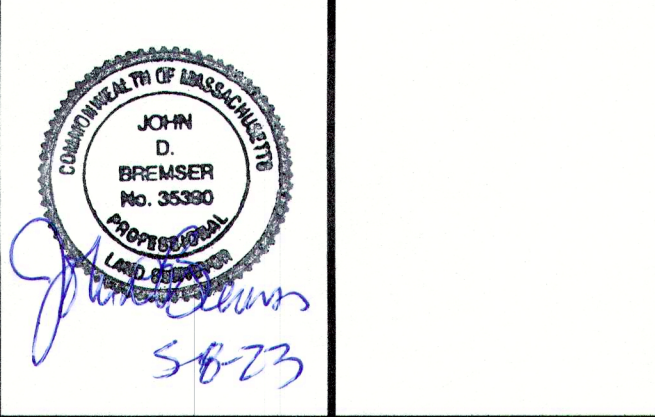
John D. Bremser
5-8-23



SITE ADDRESS
**#100 & #200
FINANCIAL PARK**
(F/K/A 431 WASHINGTON ST.)
Franklin, Massachusetts

PREPARED FOR:
**BERKELEY PARTNERS
GROUP, LLC**

**HANCOCK
ASSOCIATES**
Civil Engineers
Land Surveyors
Environmental
Consultants
315 Elm Street, Marlborough, MA 01752
Voice (508) 460-1111, Fax (508) 460-1121
www.hancockassociates.com



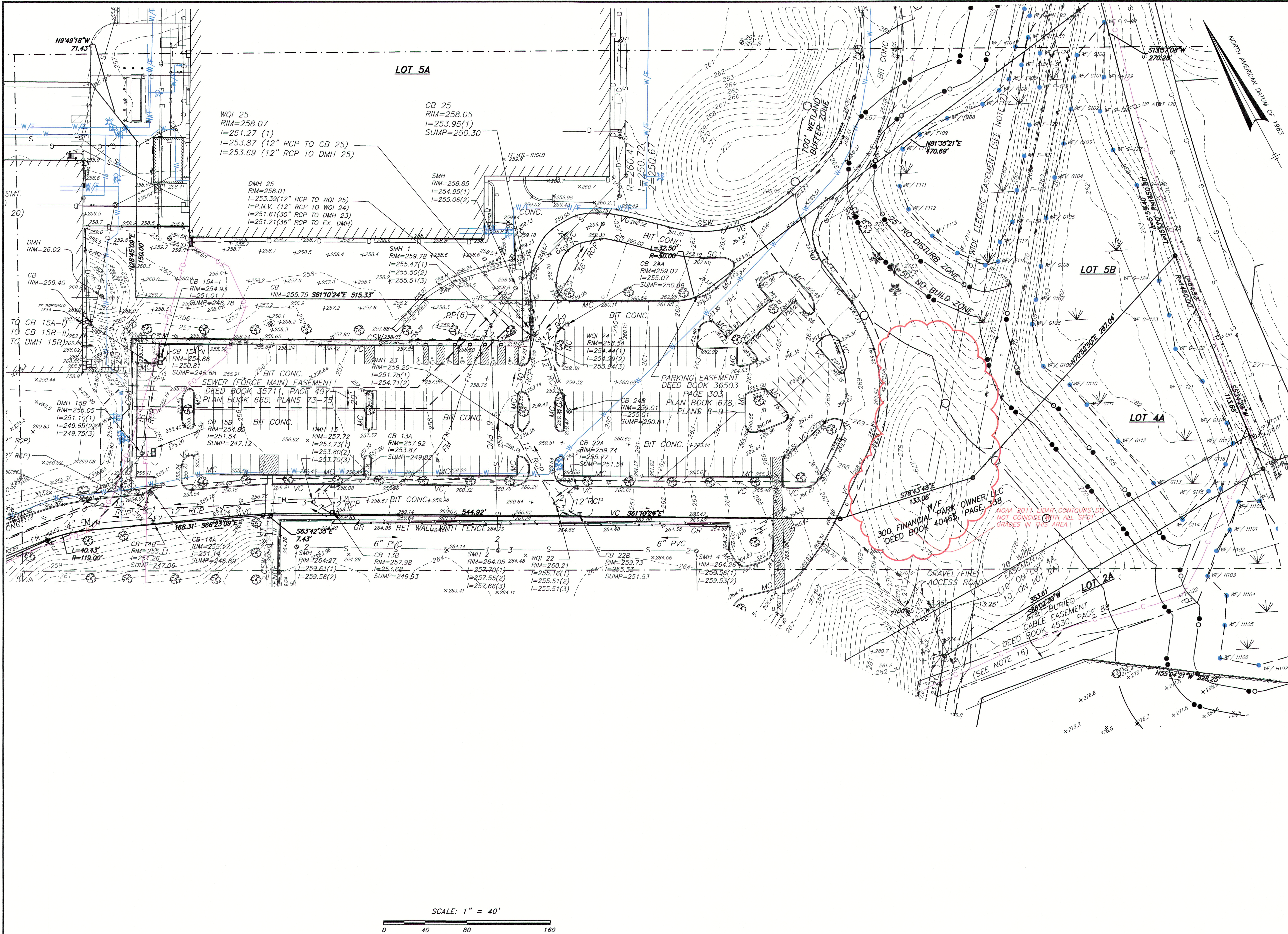
10	CMC	JDB	5/5/23	ADD WATER LINE
9	CMC	JDB	4/17/23	GENERAL REVISIONS
8	CMC	JDB	4/4/23	GENERAL REVISIONS
7	CMC	JDB	3/17/23	GENERAL REVISIONS
6	CMC	JDB	3/6/23	REVISE NOTES 10-13; ADD 13; ADD MAHW FLAGS ON LOT 4A
5	CMC	JDB	2/3/23	REVISE FLOOD ZONE AREAS & ADD MAHW FLAG SERIES 100
4	CMC	JDB	1/24/23	GENERAL REVISIONS
1	CMC	JDB	11/2/22	GENERAL REVISIONS
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 10/24/22 DRAWN BY: CMC
SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED
EXISTING CONDITIONS
PLAN OF LAND
IN
FRANKLIN, MA**

PLOT DATE: May 05, 2023 3:44 pm
DWG: 26609-LIM-EC-LOT-5AB-2023-04-26
LAYOUT: EC-1
SHEET: 2 OF 5
PROJECT NO.: 22387

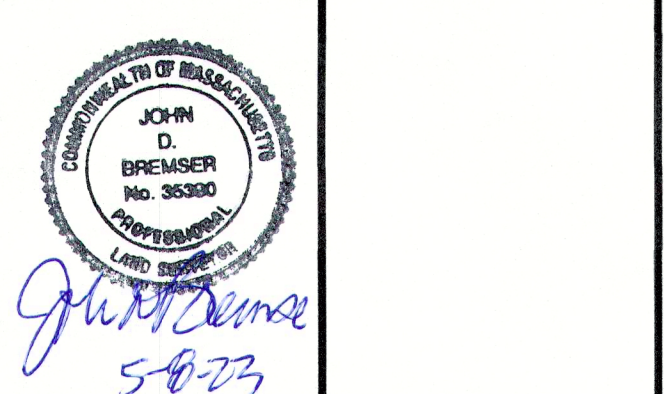
EC-1



SITE ADDRESS:
**#100 & #200
FINANCIAL PARK**
(F/K/A 431 WASHINGTON ST.)
Franklin, Massachusetts

PREPARED FOR:
**BERKELEY PARTNERS
GROUP, LLC**

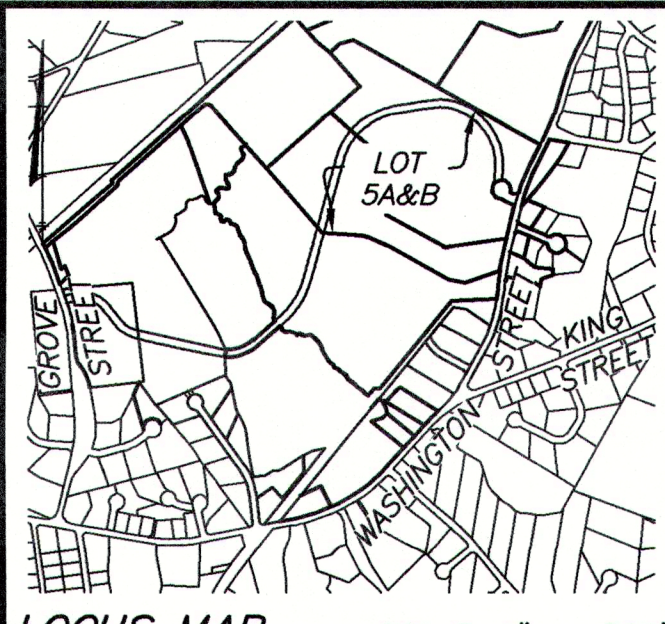
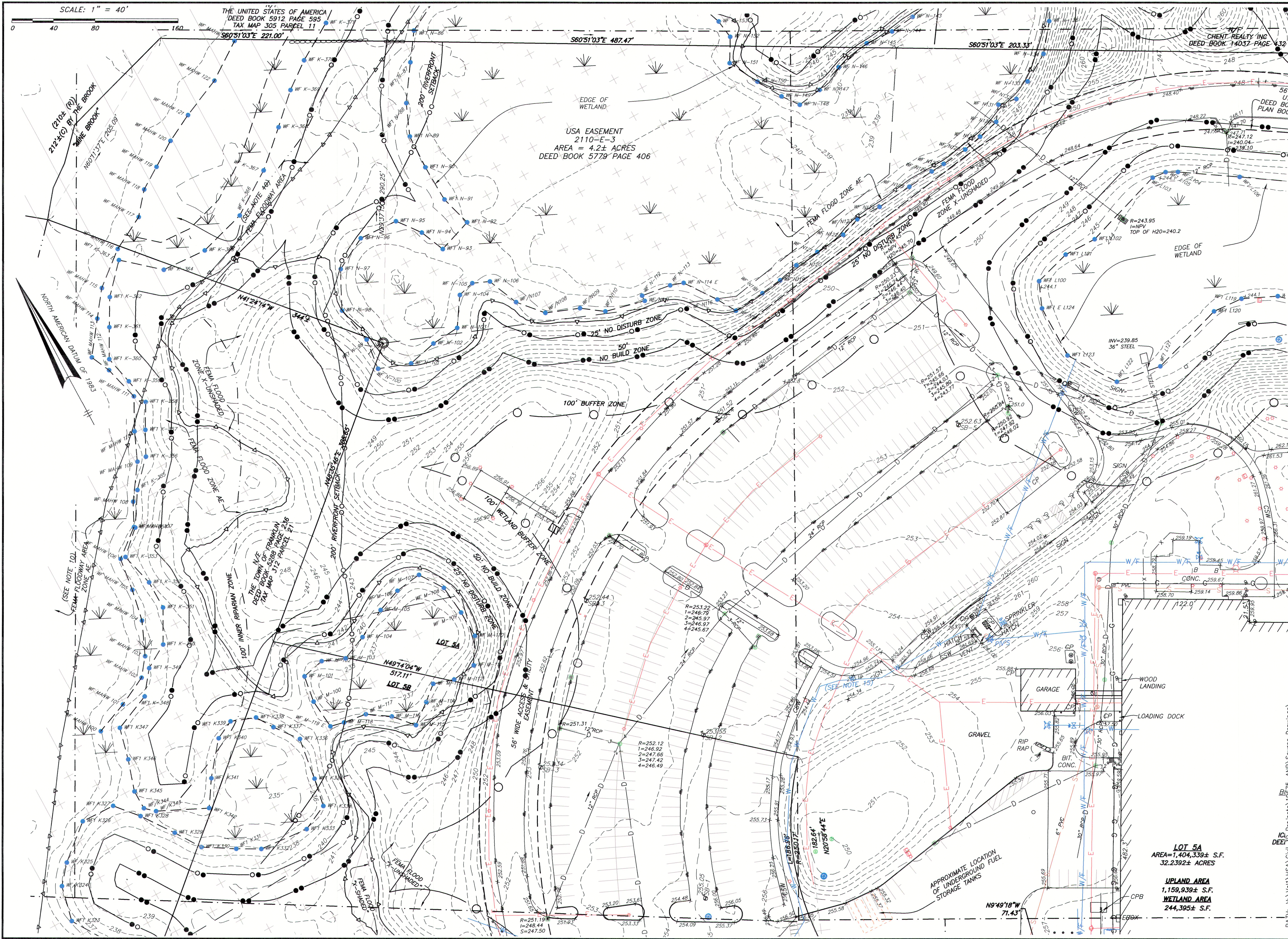
**HANCOCK
ASSOCIATES**
Civil Engineers
Land Surveyors
Environmental
Consultants
315 Elm Street, Marlborough, MA 01752
Voice (508) 460-1111, Fax (508) 460-1121
www.hancockassociates.com



10	CMC	JDB	5/5/23	ADD WATER LINE
9	CMC	JDB	4/17/23	GENERAL REVISIONS
8	CMC	JDB	4/4/23	GENERAL REVISIONS
7	CMC	JDB	3/17/23	GENERAL REVISIONS
6	CMC	JDB	3/6/23	REVISE NOTES 10-13, ADD 13, ADD MAHW FLAGS ON LOT 4A
5	CMC	JDB	2/3/23	REVISE FLOOD ZONE AREAS & ADD MAHW FLAG SERIES 100
4	CMC	JDB	1/24/23	GENERAL REVISIONS
1	CMC	JDB	11/2/22	GENERAL REVISIONS
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 10/24/22 DRAWN BY: CMC
SCALE: 1" = 40' CHECK BY: JDB
**LIMITED/COMPILED
EXISTING CONDITIONS
PLAN OF LAND
IN
FRANKLIN, MA**
PLOT DATE: May 05, 2023 3:43 pm
DWG: 26609-LIM-EC-LOT-5AB-2023-04-26
LAYOUT: EC-2
SHEET: 3 OF 5
PROJECT NO.: 26609

EC-2

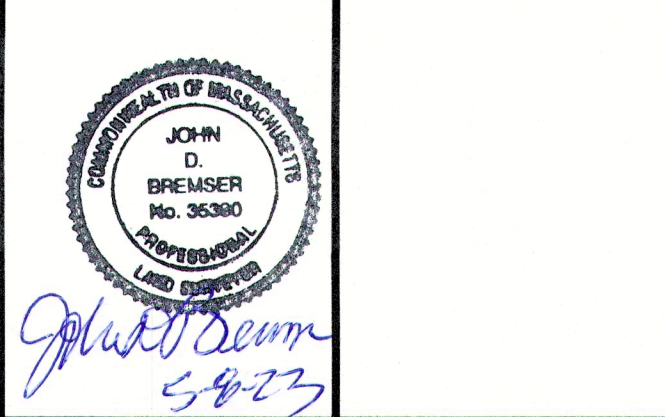


LOCUS MAP SCALE: 1" = 1500'

SITE ADDRESS:
**#100 & #200
FINANCIAL PARK**
(F/K/A 431 WASHINGTON ST.)
Franklin, Massachusetts

PREPARED FOR:
**BERKELEY PARTNERS
GROUP, LLC**

**HANCOCK
ASSOCIATES**
Civil Engineers
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315 Elm Street, Marlborough, MA 01752
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10	CMC	JDB	5/5/23	ADD WATER LINE
9	CMC	JDB	4/17/23	GENERAL REVISIONS
8	CMC	JDB	4/4/23	GENERAL REVISIONS
7	CMC	JDB	3/17/23	GENERAL REVISIONS
6	CMC	JDB	3/6/23	REVISE NOTES 10-13, ADD 13; ADD MAHW FLAGS ON LOT 4A
5	CMC	JDB	2/3/23	REVISE FLOOD ZONE AREAS & ADD MAHW FLAG SERIES 100
4	CMC	JDB	1/24/23	GENERAL REVISIONS
1	CMC	JDB	11/2/22	GENERAL REVISIONS

DATE:	10/24/22	DRAWN BY:	CMC
SCALE:	1" = 40'	CHECK BY:	JDB

**LIMITED/COMPILED
EXISTING CONDITIONS
PLAN OF LAND
IN
FRANKLIN, MA**

PLOT DATE: May 05, 2023 3:42 pm

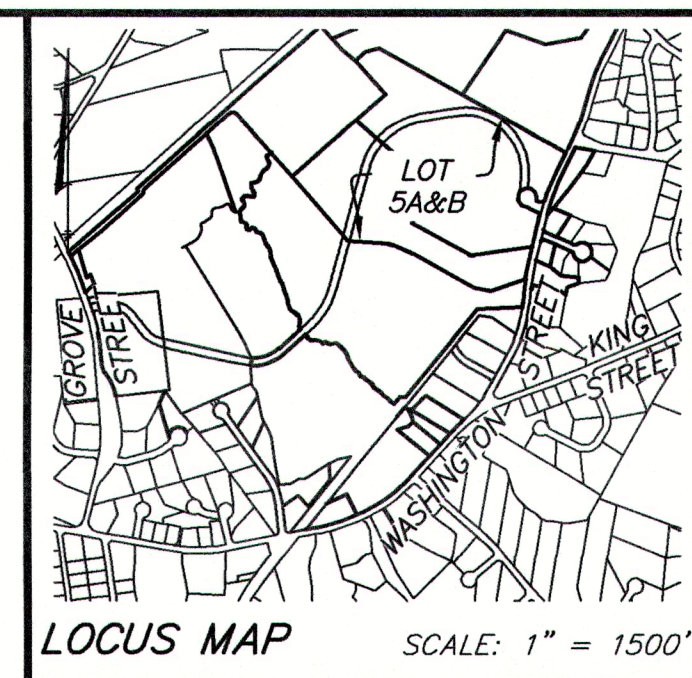
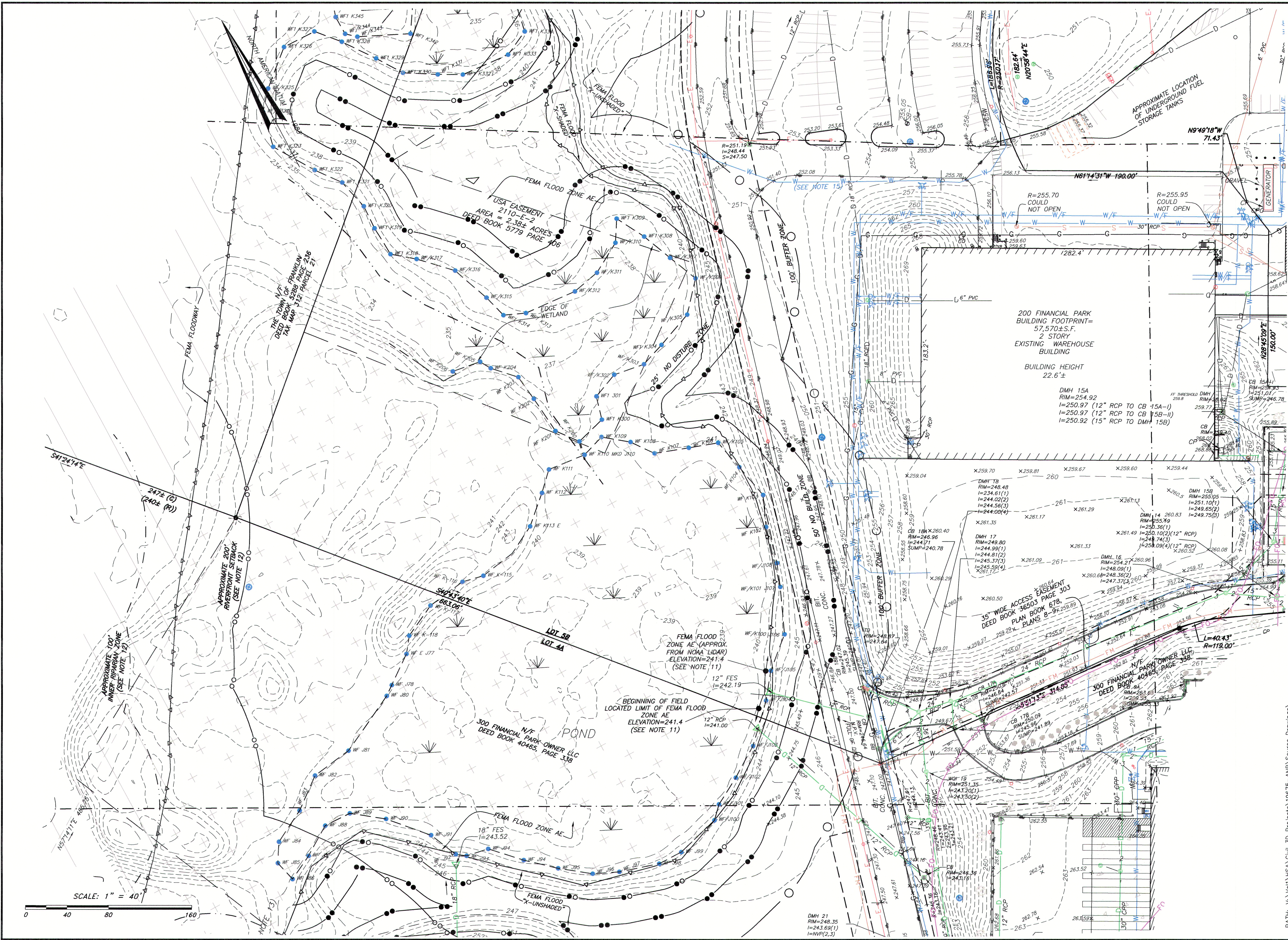
DWG: 26609-LIM-EC-LOT-5AB-2023-04-26

LAYOUT: EC-3

SHEET: 4 OF 5

PROJECT NO.: 26609

EC-3



SITE ADDRESS:
**#100 & #200
FINANCIAL PARK**
(F/K/A 431 WASHINGTON ST.)
Franklin, Massachusetts

PREPARED FOR:
**BERKELEY PARTNERS
GROUP, LLC**

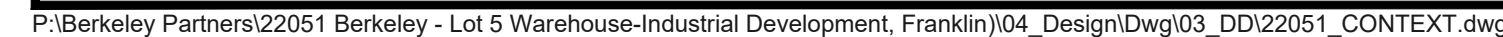
**HANCOCK
ASSOCIATES**
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315 Elm Street, Marlborough, MA 01752
Voice (508) 460-1111, Fax (508) 460-1121
www.hancockassociates.com

JOHN O. BRENNER
PROFESSIONAL
LAND SURVEYOR
50223

10	CMC	JDB	5/5/23	GENERAL REVISIONS
9	CMC	JDB	4/17/23	GENERAL REVISIONS
8	CMC	JDB	4/4/23	GENERAL REVISIONS
7	CMC	JDB	3/17/23	GENERAL REVISIONS
6	CMC	JDB	3/6/23	REVISE NOTES 10-13, ADD 13; ADD MAHW FLAGS ON LOT 4A
5	CMC	JDB	2/3/23	REVISE FLOOD ZONE AREAS & ADD MAHW FLAG SERIES 100
4	CMC	JDB	1/24/23	GENERAL REVISIONS
1	CMC	JDB	11/2/22	GENERAL REVISIONS
NO	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

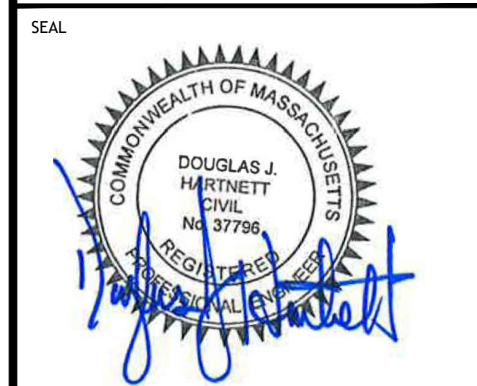
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SCALE: 1" = 40'
DRAWN BY: CMC
CHECK BY: JDB

**LIMITED/COMPILED
EXISTING CONDITIONS
PLAN OF LAND
IN
FRANKLIN, MA**
PLOT DATE: May 05, 2023 3:40 pm
DWG: 26609-LIM-EC-LOT-5AB-2023-04-26
LAYOUT: EC-4
SHEET: 5 OF 5
PROJECT NO.: 26609



CLIENT:
Berkeley Partners
1 WASHINGTON MALL | Suite 701
BOSTON, MA 02108

CONSULTANT:



07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

COMPLIANCE SUMMARY - BUILDING AND SITE DIMENSIONAL REQUIREMENTS					
ZONING DISTRICT: INDUSTRIAL (I)					
OVERLAY DISTRICT: WATER RESOURCE DISTRICT					
CRITERIA	REQUIRED	EXISTING LOTS 5A / 5B	LOT 5A	LOT 5B	COMPLIANCE
LOT AREA	40,000 SF	32.24 / 18.81 ± AC	34.13 +/- AC	16.93 +/- AC	YES
FRONTAGE	175 FT	1219 / 260 ± FT	890 ± FT	260 ± FT	YES
FRONT YARD SETBACK	40 FT	183.6 / >40 FT	149 FT	>40 FT	YES
SIDE YARD SETBACK	30 FT	58.4 / 150.6 FT	44 FT	76 FT	YES
REAR YARD SETBACK	30 FT	752.3 / 529.3 FT	474 FT	529 FT	YES
MAXIMUM BLDG. HEIGHT	3 STORIES	1 / 2 STORIES	≤ 2 STORIES	≤ 2 STORIES	YES
WETLAND AREA	----	244,395 / 150,057 SF	223,660 SF	139,402 SF	----
UPLAND AREA	----	1,159,939 / 669,172 SF	1,263,222 SF	598,162 SF	----
IMPERVIOUS COVERAGE	80%	31% / 70%	51%	46%	YES
BUILDING COVERAGE	70%	13% / 43%	22%	10%	YES
LOT DEPTH	200 FT	>200 FT	>200 FT	>200 FT	YES
LOT WIDTH	157.5 FT	>157.5 FT	>157.5 FT	>157.5 FT	YES

NOTES:




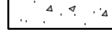

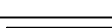
1. IMPERVIOUS COVERAGE PERCENTAGE IS CALCULATED AS IMPERVIOUS AREA / UPLAND AREA AS DEFINED IN THE FRANKLIN ZONING BYLAW.
2. BUILDING COVERAGE PERCENTAGE IS CALCULATED AS BUILDING FOOTPRINT AREA / UPLAND AREA AS DEFINED IN THE FRANKLIN ZONING BYLAW.
3. PARCELS 5A & 5B SHALL BE RECONFIGURED TO MAINTAIN ZONING COMPLIANCE FOR THE DEVELOPMENT PLAN. APPROVAL OF AN ANR PLAN BY THE PLANNING BOARD IS REQUIRED.

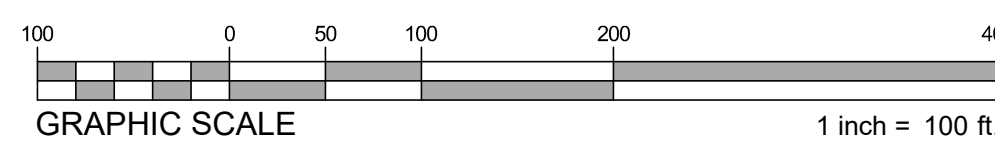
PARKING SUMMARY			
	GROSS FLOOR AREA	REQUIRED	PROVIDED
BUILDING 1			
PROPOSED WAREHOUSE	206,500 GSF	207 SP.	-
PROPOSED OFFICE	13,500 GSF	54 SP.	
SUBTOTAL		261 SP.	
			-
BUILDING 2			
PROPOSED WAREHOUSE	57,750 GSF	58 SP.	-
PROPOSED OFFICE	7,250 GSF	29 SP.	
SUBTOTAL		87 SP.	
BUILDING 3			
EXISTING WAREHOUSE	65,000 GSF ±	65 SP.	
PROPOSED TOTAL	350,000 GSF ±	413 SP.	262 SP.

VEHICULAR PARKING REQUIREMENTS	
DESCRIPTION	CALCULATION
OFFICE SPACE	1 PARKING SPACE PER 250 GSF
WAREHOUSE	1 PARKING SPACE PER 1,000 GSF

NOTES:

1. A PARKING WAIVER IS REQUIRED FROM THE FRANKLIN PLANNING BOARD

SYMBOL LEGEND	
	PROPOSED HEAVY DUTY BIT. CONC.
	PROPOSED BIT. CONC.
	PROPOSED CONCRETE
FEMA LEGEND	
	FLOOD ZONE "X"
	FLOOD ZONE "AE"
	FLOOD WAY

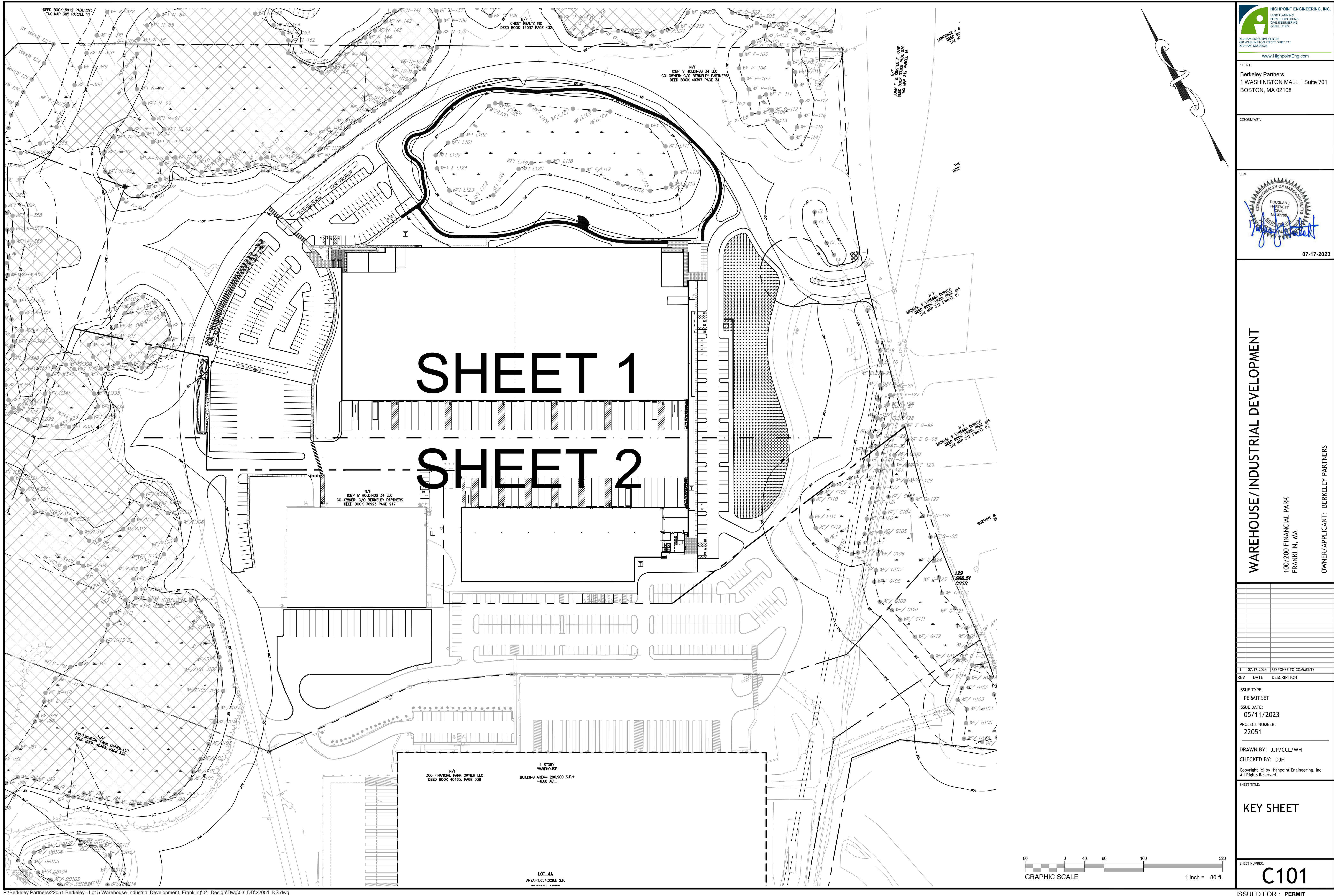


SHEET TITLE:

**SITE
CONFORMANCE
PLAN**

SHEET NUMBER:
C100

ISSUED FOR : PERMIT





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BOSTON, MA 02108

CONSULTANT:

SEAL

07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT
100/200 FINANCIAL PARK
FRANKLIN, MA
OWNER/APPLICANT: BERKELEY PARTNERS

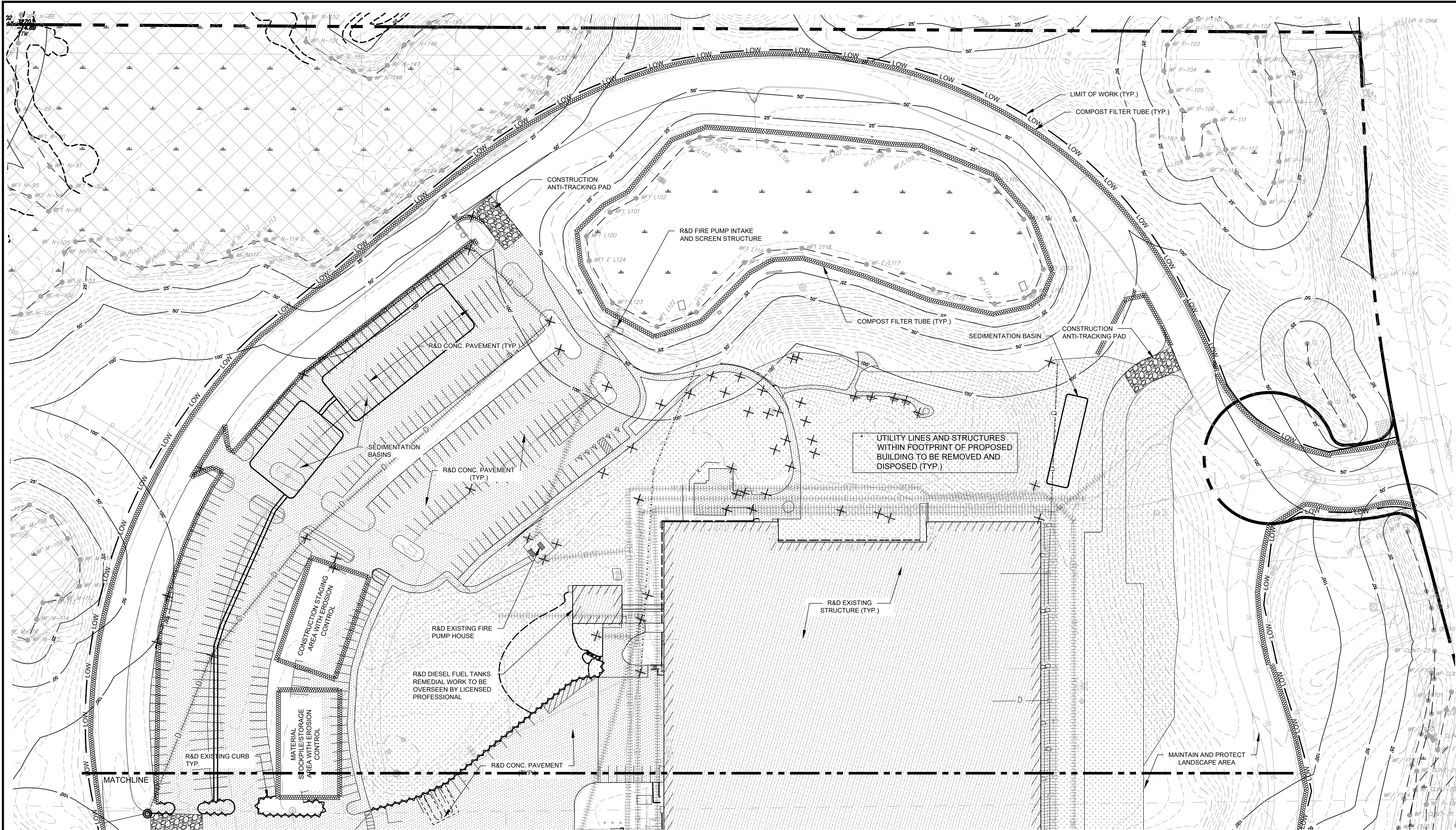
REV	DATE	DESCRIPTION
1	07-17-2023	RESPONSE TO COMMENTS

ISSUE TYPE:
PERMIT SET
ISSUE DATE:
05/11/2023
PROJECT NUMBER:
22051

DRAWN BY: JJP/CCL/WH
CHECKED BY: DJH
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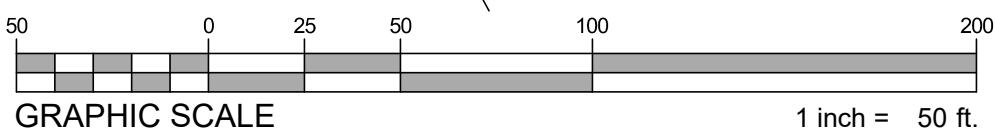
SHEET TITLE:
KEY SHEET

SHEET NUMBER:
C101



- NOTE:
- SEE SHEET G100 FOR GENERAL SOIL EROSION AND SEDIMENTATION CONTROL & SITE PREPARATION NOTES
 - ALL SLOPES WITH A GRADE OF 3:1 (H:V, 33.3%) OR STEEPER, ARE TO BE TREATED WITH JUTE MESH FOR STABILIZATION CONTROL. (TYP.) REFER TO DETAIL
 - NO DISCHARGES FROM TEMPORARY SEDIMENTATION BASINS ARE TO BE CONNECTED TO THE MUNICIPAL STORM WATER SYSTEM.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION, ANY RELOCATED AND RECONSTRUCTED EXISTING PUBLIC WATER AND SEWER UTILITIES THAT RUN THROUGH THE SITE SHALL BE COORDINATED WITH FRANKLIN UTILITIES.
 - BUILDING DEMOLITION AND ANY REQUIRED ABATEMENT SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED SITE PROFESSIONAL IN ACCORDANCE WITH MASSACHUSETTS STATE LAWS.

SYMBOL LEGEND			
	STRAW WATTLE EROSION CONTROL BARRIER	M&P	MAINTAIN AND PROTECT
	SILTSACK CATCH BASIN INSERT	R&D	REMOVE AND DISPOSE
	CONSTRUCTION ANTI-TRACKING PAD		DENOTES TREE TO BE REMOVED
	R&D EXISTING UTILITY LINE		
	R&D EXISTING CURB		
	R&D EXISTING STRUCTURE		
	R&D PAVEMENT/CONCRETE AND GRAVEL BASE LAYER		
	STRIP LOAM AND STOCKPILE ON SITE		
	SEAL COAT CRACKS & PATCH		
	REMOVE & DISPOSE EXISTING OBJECT		



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07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	RESPONSE TO COMMENTS	DESCRIPTION
1	07-17-2023		

ISSUE TYPE:
PERMIT SET
ISSUE DATE:
05/11/2023
PROJECT NUMBER:
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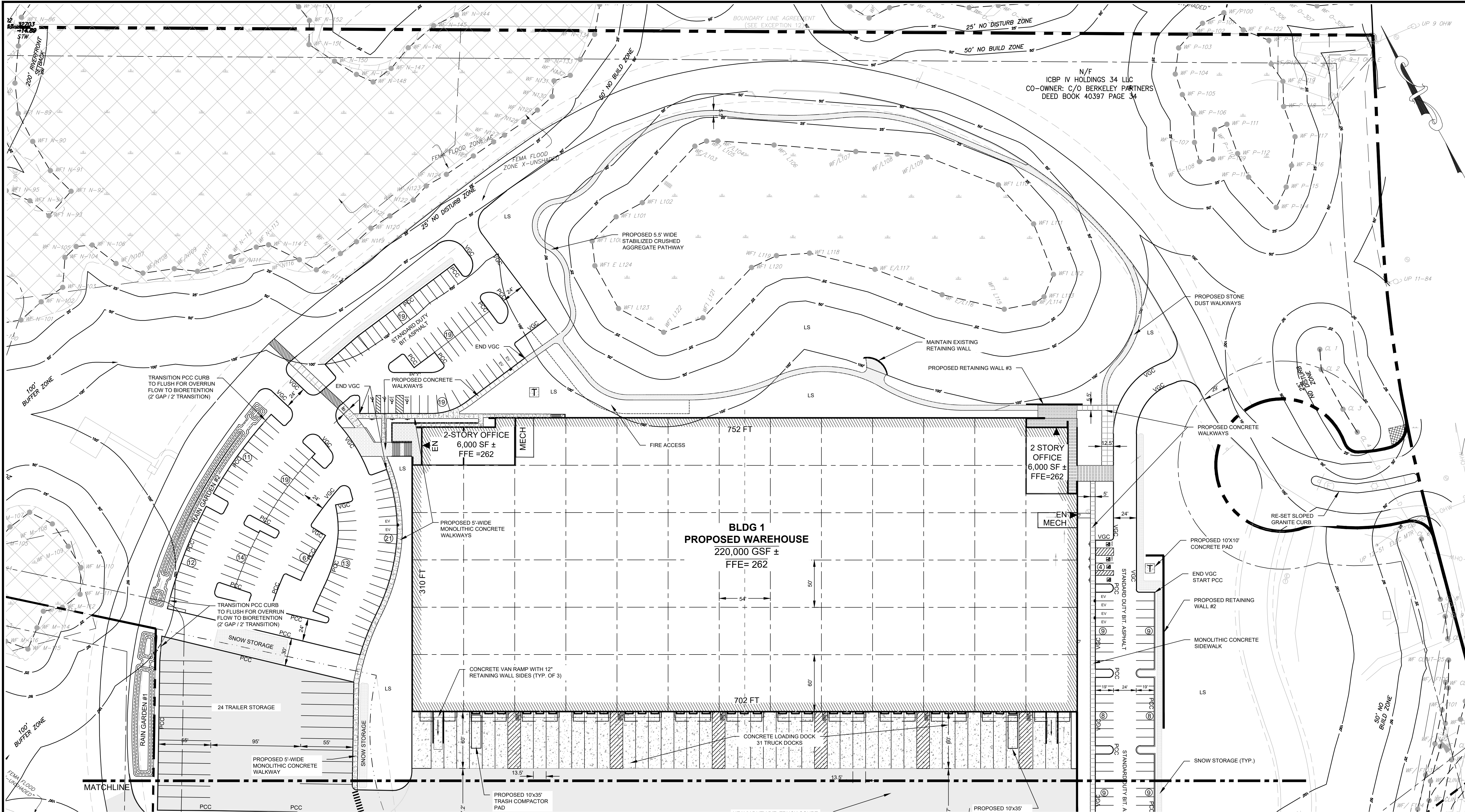
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SHEET TITLE:
**SITE
PREPARATION &
EROSION
CONTROL PLAN**

SHEET NUMBER:
C200

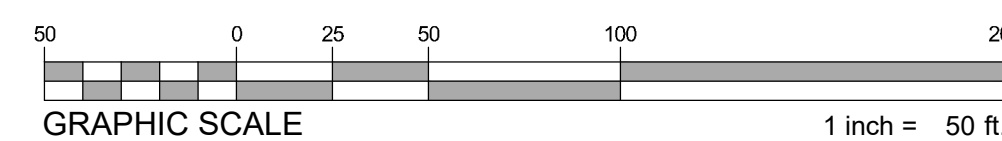
ISSUED FOR: PERMIT





SYMBOL LEGEND	
EOP	EDGE OF PAVEMENT
CCB	CAPE COD BERM
PCC	PRECAST CONCRETE CURB
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
(14)	PARKING SPACE COUNT
[Pattern]	PATCH, CRACK SEAL, AND SEALCOAT EXISTING BIT. CONC.
[Pattern]	PROPOSED HEAVY DUTY BIT. CONC.
[Pattern]	PROPOSED BIT. CONC.
[Pattern]	PROPOSED CONCRETE
LS	PROPOSED LANDSCAPE
EN	PROPOSED BUILDING EGRESS
RW	PROPOSED RETAINING WALL
[Symbol]	PROPOSED ELECTRICAL PADS
[Symbol]	PROPOSED ACCESSIBLE STALL

- NOTES**
- PROPOSED RETAINING WALLS SHALL MATCH EXISTING SEGMENTAL RETAINING WALL SYSTEM ON SITE. USE STONE STRONG SEGMENTAL RETAINING WALL SYSTEM OR EQUAL.
 - PROPOSED DRIVEWAYS AND PARKING AREAS SHALL BE CONSTRUCTED WITH STANDARD DUTY PAVEMENT SYSTEM UNLESS OTHERWISE DEPICTED ON THIS PLAN.



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07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	DESCRIPTION
1	07-17-2023	RESPONSE TO COMMENTS

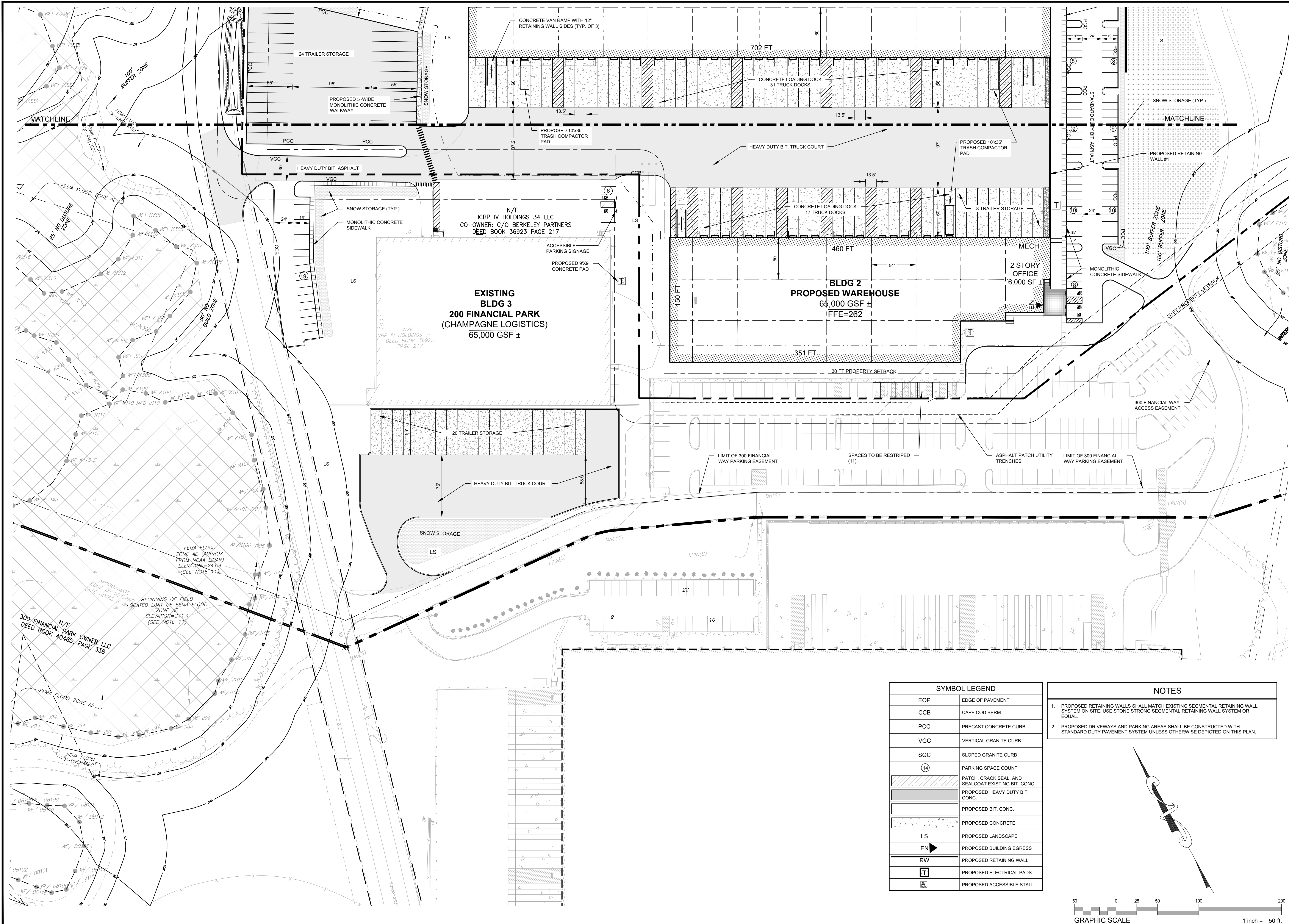
ISSUE TYPE:
PERMIT SET
ISSUE DATE:
05/11/2023
PROJECT NUMBER:
22051

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SHEET TITLE:
LAYOUT & MATERIALS PLAN

SHEET NUMBER:
C300

ISSUED FOR: PERMIT

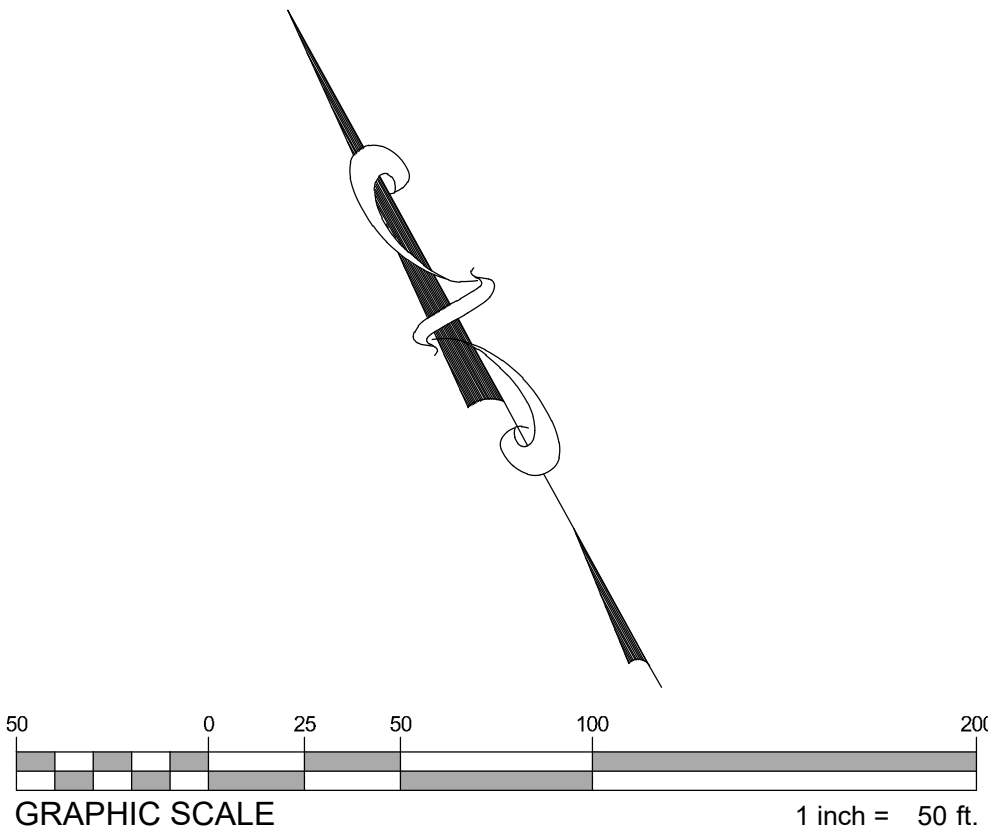



SYMBOL LEGEND	
EOP	EDGE OF PAVEMENT
CCB	CAPE COD BERM
PCC	PRECAST CONCRETE CURB
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
(14)	PARKING SPACE COUNT
[Hatched Box]	PATCH, CRACK SEAL AND SEALCOAT EXISTING BIT. CONC.
[Solid Grey Box]	PROPOSED HEAVY DUTY BIT. CONC.
[Dashed Box]	PROPOSED BIT. CONC.
[Stippled Box]	PROPOSED CONCRETE
LS	PROPOSED LANDSCAPE
EN	PROPOSED BUILDING EGRESS
RW	PROPOSED RETAINING WALL
[T]	PROPOSED ELECTRICAL PADS
[A]	PROPOSED ACCESSIBLE STALL

- NOTES
1.

PROPOSED RETAINING WALLS SHALL MATCH EXISTING SEGMENTAL RETAINING WALL SYSTEM ON SITE. USE STONE STRONG SEGMENTAL RETAINING WALL SYSTEM OR EQUAL.
2.

PROPOSED DRIVEWAYS AND PARKING AREAS SHALL BE CONSTRUCTED WITH STANDARD DUTY PAVEMENT SYSTEM UNLESS OTHERWISE DEPICTED ON THIS PLAN.





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CONSULTANT:

SEAL



07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	DESCRIPTION
1	07-17-2023	RESPONSE TO COMMENTS

ISSUE TYPE:

PERMIT SET

ISSUE DATE:

05/11/2023

PROJECT NUMBER:

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SHEET TITLE:

LAYOUT & MATERIALS PLAN

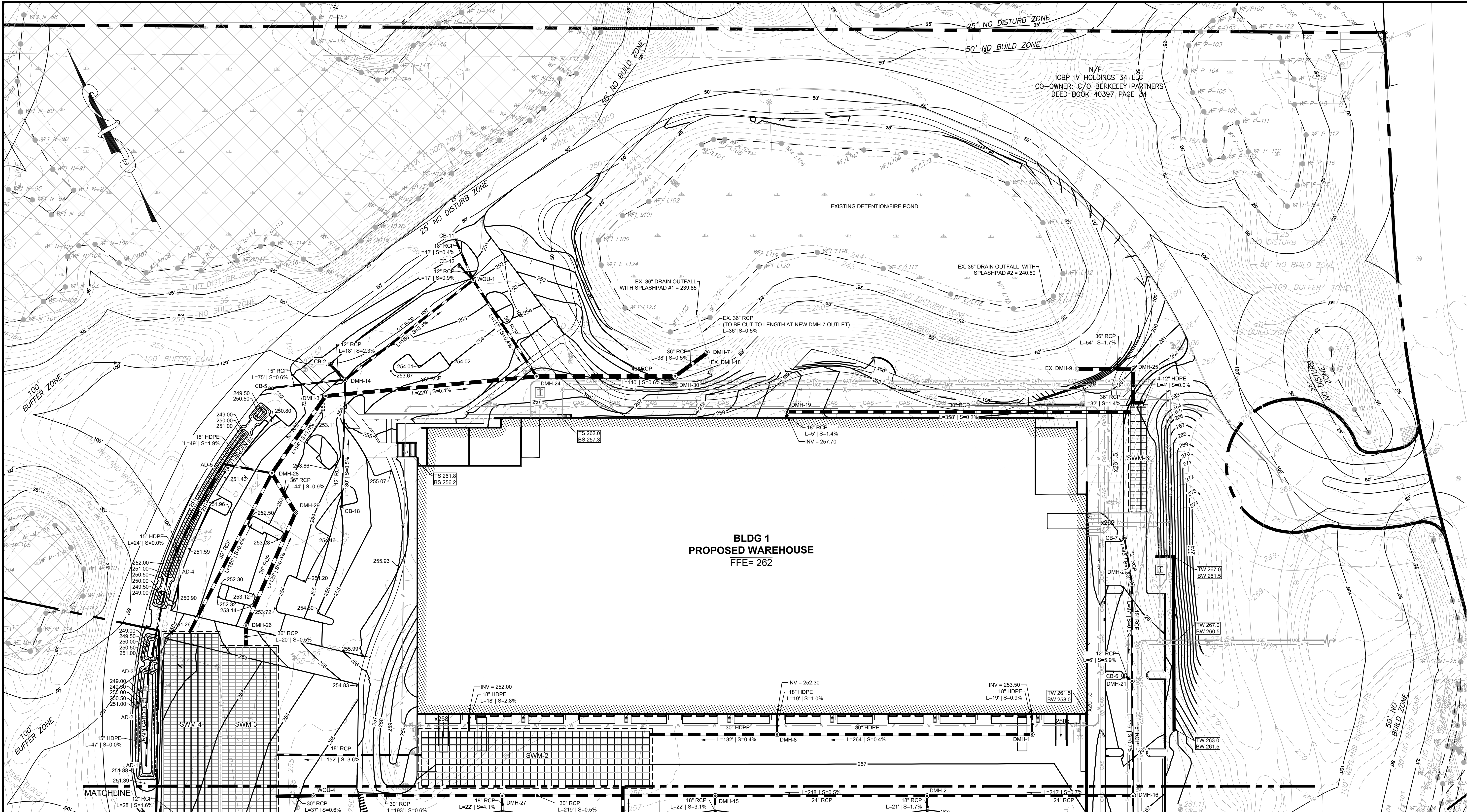
SHEET NUMBER:

C301

ISSUED FOR :

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BLDG 1
PROPOSED WAREHOUSE
FFE= 262

STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.
AD-1 15" AREA DRAIN	RIM = 250.50 INV OUT = 247.50 (AD-2)	CB-6 DOUBLE GRATE	RIM = 260.01 INV OUT = 255.70 (DMH-21)	DMH-3 4" DIA. DMH	RIM = 253.14 INV IN = 243.20 (DMH-28) INV OUT = 243.10 (DMH-24)	DMH-21 4" DIA. DMH	RIM = 260.17 INV IN = 255.10 (CB-6) INV IN = 255.00 (DMH-23) INV OUT = 254.90 (DMH-16)	DMH-29 4" DIA. DMH	RIM = 253.51 INV IN = 244.80 (DMH-26) INV OUT = 244.70 (DMH-28)
AD-2 15" AREA DRAIN	RIM = 249.35 INV IN = 247.50 (AD-1) INV OUT = 247.50 (AD-3)	CB-7 SINGLE GRATE	RIM = 261.47 INV OUT = 256.80 (DMH-23)	DMH-7 4" DIA. DMH	RIM = 248.80 INV IN = 241.00 (DMH-30) INV OUT = 240.17 (EX. SPLASH PAD #1)	DMH-23 4" DIA. DMH	RIM = 261.19 INV IN = 256.00 (CB-7) INV OUT = 255.90 (DMH-21)	DMH-30 5" DIA. DMH	RIM = 252.62 INV IN = 241.30 (DMH-24) INV OUT = 241.20 (DMH-7)
AD-3 15" AREA DRAIN	RIM = 250.50 INV IN = 247.50 (AD-2) INV OUT = 247.50 (AD-4)	CB-11 SINGLE GRATE	RIM = 250.79 INV OUT = 246.80 (WQU-1)	DMH-8 4" DIA. DMH	RIM = 257.59 INV IN = 252.10 (Bldg 1 - South 2) INV IN = 252.10 (DMH-1) INV OUT = 252.00 (SWM-4 IN (2))	DMH-24 5" DIA. DMH	RIM = 252.05 INV IN = 246.00 (DMH-14) INV IN = 248.00 (CB-12) INV OUT = 246.50 (DMH-24)	WQU-1 CONTECH CASCADE CS-4	RIM = 252.22 INV IN = 241.30 (DMH-24) INV IN = 248.00 (CB-11) INV OUT = 246.50 (DMH-24)
AD-4 15" AREA DRAIN	RIM = 250.50 INV IN = 247.50 (AD-3) INV OUT = 247.50 (RG#2 TEE)	CB-18 SINGLE GRATE	RIM = 251.14 INV OUT = 248.20 (WQU-1)	DMH-14 4" DIA. DMH	RIM = 253.01 INV IN = 247.30 (CB-2) INV IN = 247.30 (CB-5) INV IN = 247.30 (CB-19) INV OUT = 247.20 (WQU-1)	DMH-25 5" DIA. DROP DMH	RIM = 252.05 INV IN = 246.00 (DMH-14) INV IN = 248.00 (CB-12) INV OUT = 246.50 (DMH-24)	WQU-4 CONTECH CS-4	RIM = 255.29 INV IN = 246.20 (DMH-27) INV OUT = 246.10 (SWM-3 IN)
AD-5 15" AREA DRAIN	RIM = 249.69 INV IN = 247.50 (RG#2 TEE) INV OUT = 247.50 (DMH-8)	DMH-1 4" DIA. DMH	RIM = 257.59 INV IN = 253.30 (Bldg 1 - South 3) INV OUT = 253.20 (DMH-8)	DMH-15 4" DIA. DMH	RIM = 256.32 INV IN = 248.70 (DMH-2) INV IN = 248.70 (CB-9) INV OUT = 248.60 (DMH-27)	DMH-26 4" DIA. DMH	RIM = 253.21 INV IN = 245.40 () INV OUT = 245.30 (DMH-29)		
CB-2 SINGLE GRATE	RIM = 252.16 INV OUT = 247.80 (DMH-14)	DMH-2 4" DIA. DMH	RIM = 256.31 INV IN = 250.10 (CB-8) INV OUT = 249.90 (DMH-15)	DMH-16 5" DIA. DMH	RIM = 261.55 INV IN = 254.00 (DMH-21) INV IN = 256.30 (DMH-5) INV OUT = 251.50 (DMH-2)	DMH-27 5" DIA. DMH	RIM = 256.32 INV IN = 247.50 (DMH-15) INV IN = 247.50 (CB-19) INV OUT = 247.40 (WQU-4)		
CB-5 SINGLE GRATE	RIM = 251.76 INV OUT = 247.80 (DMH-14)			DMH-19 4" DIA. DMH	RIM = 260.21 INV IN = 257.60 (Bldg 1 - North) INV OUT = 257.50 (SWM-6 IN)	DMH-28 5" DIA. DMH	RIM = 252.43 INV IN = 244.30 (DMH-29) INV IN = 244.30 (SWM-4 OUT) INV IN = 246.50 (AD-5) INV OUT = 244.20 (DMH-3)		

STRUCTURE	SYSTEM ELEV.	SYSTEM CONNECTIONS
SWM-2: CULTEC R902HD 245.37' x 63.25' 520 TOTAL CHAMBERS (8 ROWS x 65 CHAMBERS)	TOP OF STONE = 255.25 TOP OF SYSTEM = 254.25 BOTTOM OF SYSTEM = 250.25 BOTTOM OF STONE = 249.50 ESHOW = 247.30"	INV OUT = 252.00 (18" HDPE - SWM-3) INV IN = 251.40 (30" RCP - DMH-17) INV IN = 251.50 (30" HDPE - DMH-8) INV IN = 251.50 (30" HDPE - BLDG 1-SOUTH-1)
SWM-3: CULTEC R902HD 177.37' x 61.25' 376 TOTAL CHAMBERS (8 ROWS x 47 CHAMBERS)	TOP OF STONE = 249.75 TOP OF SYSTEM = 248.75 BOTTOM OF SYSTEM = 244.75 BOTTOM OF STONE = 244.00 ESHOW = 241.30"	INV OUT = 245.50 (36" HDPE - DMH-26) INV IN = 246.50 (18" HDPE - SWM-2) INV IN = 245.85 (30" RCP - WQU-4)
SWM-4: CULTEC R902HD 192.03' x 61.25' 408 TOTAL CHAMBERS (8 ROWS x 51 CHAMBERS)	TOP OF STONE = 248.75 TOP OF SYSTEM = 247.75 BOTTOM OF SYSTEM = 243.75 BOTTOM OF STONE = 243.00 ESHOW = 240.30"	INV OUT = 245.00 (30" RCP - DMH-28) INV IN = 245.00 (30" RCP - DMH-31) INV IN = 246.50 (12" RCP - WQU-2)
SWM-6: CULTEC R360HD 112.83' x 20.50' 87 TOTAL CHAMBERS (3 ROWS x 29 CHAMBERS)	TOP OF STONE = 259.50 TOP OF SYSTEM = 259.00 BOTTOM OF SYSTEM = 255.50 ESHOW = 253.30"	INV OUT = 257.10 (4 - 12" HDPE - DMH -25) INV IN = 256.25 (30" RCP - DMH-19)

* ESHOW DATA INTERPRETED FROM EXISTING MONITOR WELL READING TAKEN ON MARCH 26, 2023 BY McARDLE GANNON ASSOCIATES WITH A 1.3 FT FRIMPTER ADJUSTMENT APPLIED TO THE WELL READINGS.

SYMBOL LEGEND	
	EXISTING ELEVATION CONTOUR
	PROPOSED ELEVATION CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TC/BC ELEVATIONS
	PROPOSED TW/BW ELEVATIONS
	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	DOUBLE GRATE CATCH BASIN
	PROPOSED STORM DRAIN
	PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED RIP RAP
	PROPOSED SEWER MANHOLE
	PROPOSED RETAINING WALL
	TEST PIT LOCATION



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CONSULTANT:

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07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT
100/200 FINANCIAL PARK
FRANKLIN, MA
OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	DESCRIPTION
1	07-17-2023	RESPONSE TO COMMENTS

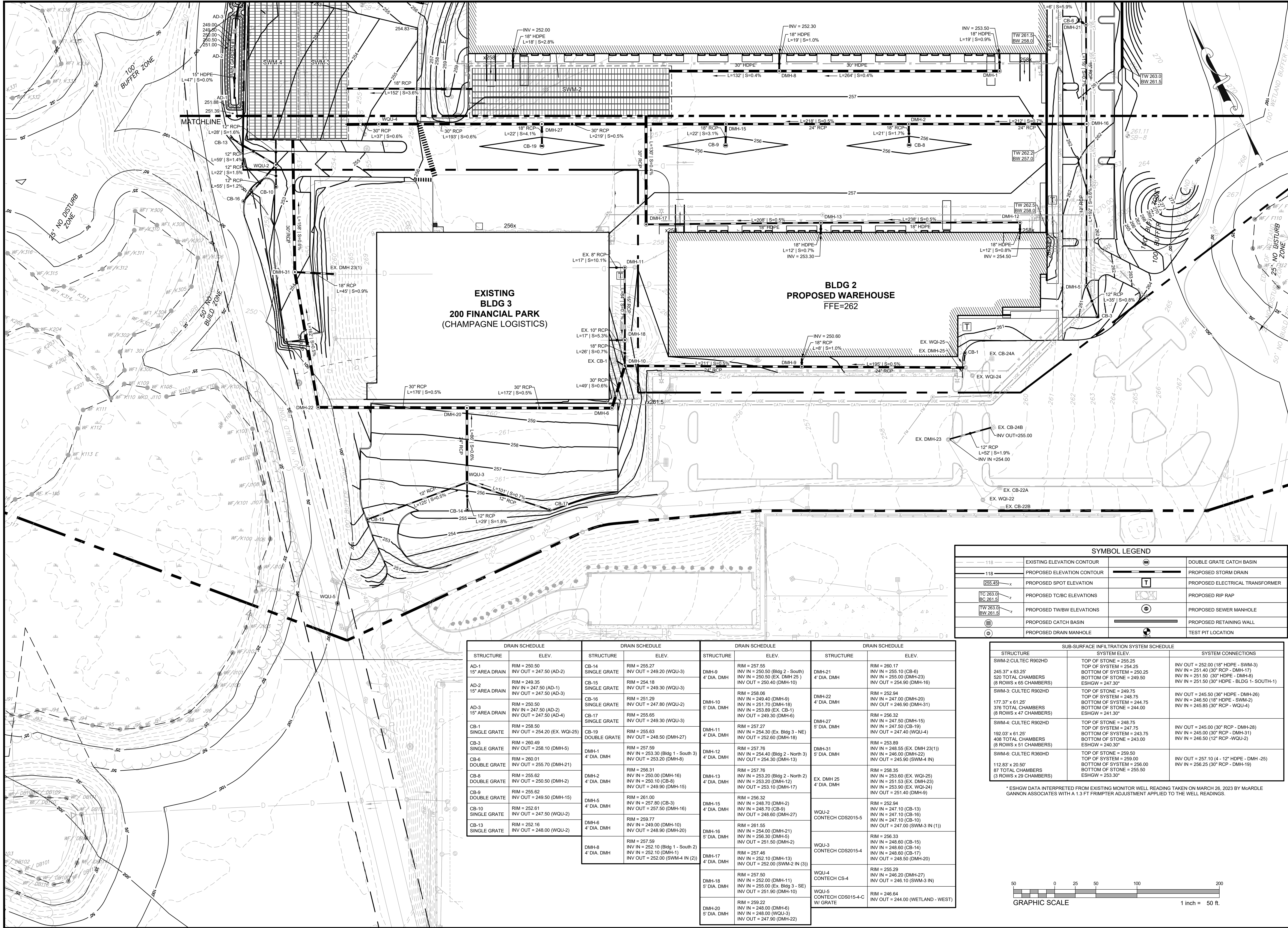
ISSUE TYPE:
PERMIT SET
ISSUE DATE:
05/11/2023
PROJECT NUMBER:
22051

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CHECKED BY: DJH
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SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
C400

ISSUED FOR: PERMIT

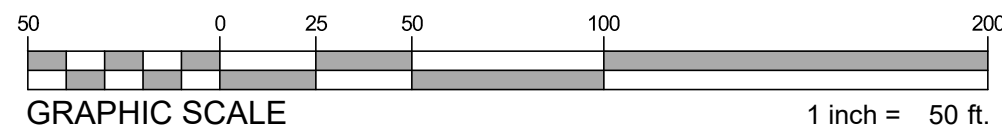


DRAIN SCHEDULE		DRAIN SCHEDULE		DRAIN SCHEDULE		DRAIN SCHEDULE	
STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.
AD-1 15" AREA DRAIN	RIM = 250.50 INV OUT = 247.50 (AD-2)	CB-14 SINGLE GRATE	RIM = 255.27 INV OUT = 249.20 (WQU-3)	DMH-9 4" DIA. DMH	RIM = 257.55 INV IN = 250.50 (Bldg 2 - South) INV IN = 250.50 (EX. DMH 25) INV OUT = 250.40 (DMH-10)	DMH-21 4" DIA. DMH	RIM = 260.17 INV IN = 255.10 (CB-6) INV IN = 255.00 (EX. DMH-23) INV OUT = 254.90 (DMH-16)
AD-2 15" AREA DRAIN	RIM = 248.35 INV IN = 247.50 (AD-1) INV OUT = 247.50 (AD-3)	CB-15 SINGLE GRATE	RIM = 254.18 INV OUT = 249.30 (WQU-3)	DMH-10 5" DIA. DMH	RIM = 258.06 INV IN = 249.40 (DMH-9) INV IN = 251.70 (DMH-18) INV IN = 253.89 (EX. CB-1) INV OUT = 249.30 (DMH-6)	DMH-22 4" DIA. DMH	RIM = 252.94 INV IN = 247.00 (DMH-20) INV OUT = 246.90 (DMH-31)
AD-3 15" AREA DRAIN	RIM = 250.50 INV IN = 247.50 (AD-2) INV OUT = 247.50 (AD-4)	CB-16 SINGLE GRATE	RIM = 251.29 INV OUT = 247.80 (WQU-2)	DMH-11 4" DIA. DMH	RIM = 257.27 INV IN = 254.30 (EX. Bldg 3 - NE) INV OUT = 252.60 (DMH-18)	DMH-27 5" DIA. DMH	RIM = 256.32 INV IN = 247.50 (DMH-15) INV OUT = 247.50 (CB-19) INV OUT = 247.40 (WQU-4)
CB-1 SINGLE GRATE	RIM = 258.50 INV OUT = 254.20 (EX. WQI-25)	CB-17 SINGLE GRATE	RIM = 255.65 INV OUT = 249.30 (WQU-3)	DMH-12 4" DIA. DMH	RIM = 257.76 INV IN = 253.20 (Bldg 2 - North 3) INV OUT = 254.30 (DMH-13)	DMH-31 5" DIA. DMH	RIM = 253.99 INV IN = 248.55 (EX. DMH 23(1)) INV IN = 248.00 (DMH-22) INV OUT = 245.90 (SWM-4 IN)
CB-3 SINGLE GRATE	RIM = 260.49 INV OUT = 258.10 (DMH-5)	CB-19 DOUBLE GRATE	RIM = 255.63 INV OUT = 248.50 (DMH-27)	DMH-13 4" DIA. DMH	RIM = 257.76 INV IN = 253.20 (Bldg 2 - North 2) INV IN = 251.53 (EX. DMH-23) INV IN = 253.90 (EX. WQI-24) INV OUT = 251.40 (DMH-9)	EX. DMH 25 4" DIA. DMH	RIM = 258.35 INV IN = 253.60 (EX. WQI-25) INV IN = 253.20 (DMH-12) INV IN = 253.90 (EX. WQI-24) INV OUT = 251.40 (DMH-9)
CB-6 DOUBLE GRATE	RIM = 260.01 INV OUT = 255.70 (DMH-21)	DMH-1 4" DIA. DMH	RIM = 257.59 INV IN = 253.30 (Bldg 1 - South 3) INV OUT = 253.20 (DMH-8)	DMH-14 4" DIA. DMH	RIM = 257.76 INV IN = 253.20 (Bldg 2 - North 2) INV IN = 251.53 (EX. DMH-23) INV IN = 253.90 (EX. WQI-24) INV OUT = 251.40 (DMH-9)	WQU-2 CONTECH CDS2015-5	RIM = 252.94 INV IN = 247.10 (CB-13) INV IN = 247.10 (CB-16) INV IN = 247.10 (CB-10) INV OUT = 247.00 (SWM-3 IN (1))
CB-8 DOUBLE GRATE	RIM = 255.62 INV OUT = 250.50 (DMH-2)	DMH-2 4" DIA. DMH	RIM = 257.59 INV IN = 250.00 (DMH-16) INV IN = 250.10 (CB-8) INV OUT = 249.90 (DMH-15)	DMH-15 4" DIA. DMH	RIM = 256.32 INV IN = 248.70 (DMH-2) INV IN = 248.70 (CB-9) INV OUT = 248.60 (DMH-27)	WQU-3 CONTECH CDS2015-4	RIM = 256.33 INV IN = 248.60 (CB-15) INV IN = 248.60 (CB-14) INV IN = 248.60 (CB-17) INV OUT = 248.50 (DMH-20)
CB-9 DOUBLE GRATE	RIM = 255.62 INV OUT = 249.50 (DMH-15)	DMH-5 4" DIA. DMH	RIM = 261.00 INV IN = 257.80 (CB-3) INV OUT = 257.50 (DMH-16)	DMH-16 5" DIA. DMH	RIM = 261.55 INV IN = 254.00 (DMH-21) INV IN = 256.30 (DMH-5) INV OUT = 251.50 (DMH-10)	WQU-4 CONTECH CS-4	RIM = 255.29 INV IN = 246.20 (DMH-27) INV OUT = 246.10 (SWM-3 IN)
CB-10 SINGLE GRATE	RIM = 252.61 INV OUT = 247.50 (WQU-2)	DMH-6 4" DIA. DMH	RIM = 259.77 INV IN = 249.00 (DMH-10) INV OUT = 248.90 (DMH-20)	DMH-17 4" DIA. DMH	RIM = 257.46 INV IN = 252.10 (DMH-13) INV OUT = 252.00 (SWM-2 IN (2))	WQU-5 CONTECH CDS015-4-C W/ GRATE	RIM = 246.64 INV OUT = 244.00 (WETLAND - WEST)
CB-13 SINGLE GRATE	RIM = 252.16 INV OUT = 248.00 (WQU-2)	DMH-8 4" DIA. DMH	RIM = 257.59 INV IN = 252.10 (Bldg 1 - South 2) INV IN = 252.10 (DMH-1) INV OUT = 252.00 (SWM-4 IN (2))	DMH-18 5" DIA. DMH	RIM = 257.50 INV IN = 252.00 (DMH-11) INV IN = 255.00 (EX. Bldg 3 - SE) INV OUT = 247.90 (DMH-10)		

SYMBOL LEGEND			
---	EXISTING ELEVATION CONTOUR	⊗	DOUBLE GRATE CATCH BASIN
- - -	PROPOSED ELEVATION CONTOUR	⊕	PROPOSED STORM DRAIN
255.45	PROPOSED SPOT ELEVATION	T	PROPOSED ELECTRICAL TRANSFORMER
TC 263.0 BC 261.5	PROPOSED TC/BC ELEVATIONS	⊗	PROPOSED RIP RAP
TW 263.0 BW 261.5	PROPOSED TW/BW ELEVATIONS	⊗	PROPOSED SEWER MANHOLE
⊗	PROPOSED CATCH BASIN	⊕	PROPOSED RETAINING WALL
⊕	PROPOSED DRAIN MANHOLE	⊕	TEST PIT LOCATION

SUB-SURFACE INFILTRATION SYSTEM SCHEDULE		
STRUCTURE	SYSTEM ELEV.	SYSTEM CONNECTIONS
SWM-2 CULTEC R902HD 245.37' x 63.25' 520 TOTAL CHAMBERS (8 ROWS x 65 CHAMBERS)	TOP OF STONE = 255.25 TOP OF SYSTEM = 254.25 BOTTOM OF SYSTEM = 250.25 ESHW = 249.30'	INV OUT = 252.00 (18" HDPE - SWM-3) INV IN = 251.40 (30" RCP - DMH-17) INV IN = 251.50 (30" HDPE - DMH-8) INV IN = 251.50 (30" HDPE - BLDG 1 - SOUTH-1)
SWM-3 CULTEC R902HD 177.37' x 61.25' 376 TOTAL CHAMBERS (5 ROWS x 47 CHAMBERS)	TOP OF STONE = 249.75 TOP OF SYSTEM = 248.75 BOTTOM OF SYSTEM = 244.75 ESHW = 241.30'	INV OUT = 245.50 (36" HDPE - DMH-26) INV IN = 246.50 (18" HDPE - SWM-2) INV IN = 245.85 (30" RCP - WQU-4)
SWM-4 CULTEC R902HD 192.03' x 61.25' 408 TOTAL CHAMBERS (8 ROWS x 51 CHAMBERS)	TOP OF STONE = 248.75 TOP OF SYSTEM = 247.75 BOTTOM OF SYSTEM = 243.75 ESHW = 240.30'	INV OUT = 245.00 (30" RCP - DMH-28) INV IN = 245.00 (30" RCP - DMH-31) INV IN = 246.50 (12" RCP - WQU-2)
SWM-6 CULTEC R360HD 112.83' x 20.50' 87 TOTAL CHAMBERS (3 ROWS x 29 CHAMBERS)	TOP OF STONE = 259.50 TOP OF SYSTEM = 259.00 BOTTOM OF SYSTEM = 256.50 ESHW = 253.30'	INV OUT = 257.10 (4 - 12" HDPE - DMH-25) INV IN = 256.25 (30" RCP - DMH-19)

* ESHGW DATA INTERPRETED FROM EXISTING MONITOR WELL READING TAKEN ON MARCH 26, 2023 BY MCARDLE GANNON ASSOCIATES WITH A 1.3 FT FRIMPTER ADJUSTMENT APPLIED TO THE WELL READINGS.



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CONSULTANT:

SEAL

07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

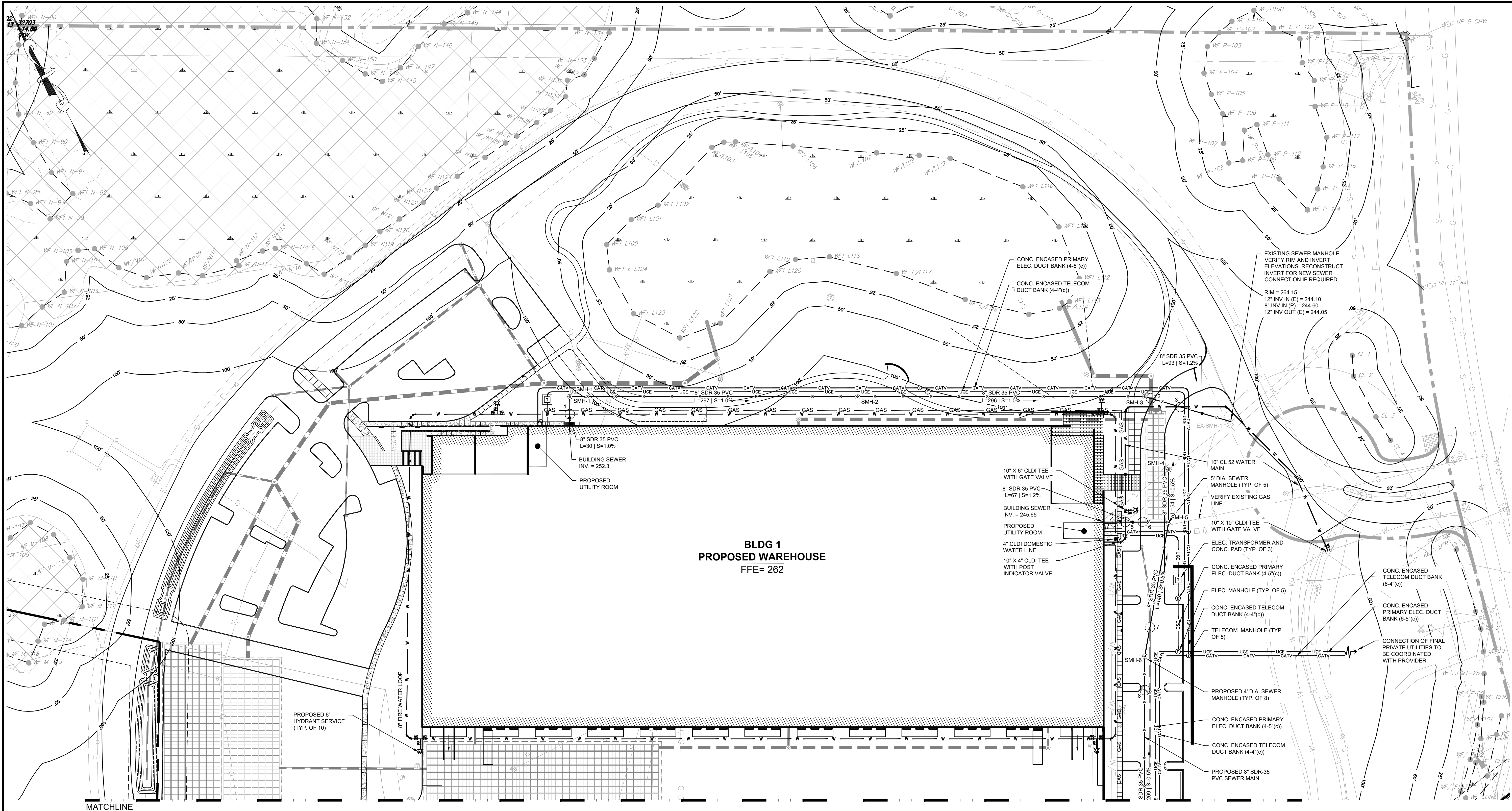
ISSUE TYPE:
PERMIT SET
ISSUE DATE:
05/11/2023
PROJECT NUMBER:
22051

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CHECKED BY: DJH
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SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
C401

ISSUED FOR: PERMIT

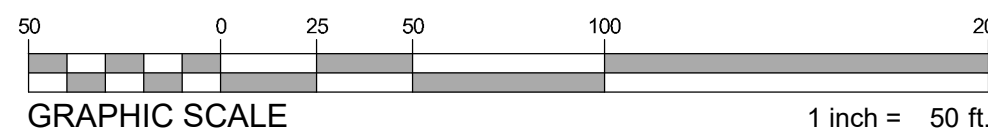


BLDG 1
PROPOSED WAREHOUSE
FFE= 262

SEWER SCHEDULE	
STRUCTURE	ELEV.
SMH-1	RIM = 255.49
	INV IN = 251.97 (BUILDING 1 WEST)
SMH-2	RIM = 262.38
	INV IN = 248.90 (SMH-1)
SMH-3	RIM = 262.01
	INV IN = 245.84 (SMH-2)
SMH-4	RIM = 261.99
	INV IN = 244.48 (SMH-5)
SMH-5	RIM = 262.00
	INV IN = 244.85 (SMH-6)
SMH-6	RIM = 260.06
	INV IN = 245.61 (SMH-7)

SANITARY/WATER AND SANITARY/ STORMWATER CROSSINGS	
1	FG = 257.5± INVERT OF WATER PIPE = 254.5± TOP OF SANITARY SEWER = 252.82± CLEARANCE = 1.7±
2	FG = 262.1± INVERT OF STORMWATER PIPE = 256.93± TOP OF SANITARY SEWER = 246.33± CLEARANCE = 10.60±
3	FG = 262.4± INVERT OF WATER PIPE = 259.0± TOP OF SANITARY SEWER = 245.94± CLEARANCE = 13.1±
4	FG = 262.0± INVERT OF WATER PIPE = 258.0± TOP OF SANITARY SEWER = 246.18± CLEARANCE = 11.8±
5	FG = 261.9± INVERT OF WATER PIPE = 258.0± TOP OF SANITARY SEWER = 246.05± CLEARANCE = 11.9±
6	FG = 261.3± INVERT OF STORMWATER PIPE = 256.06± TOP OF SANITARY SEWER = 245.84± CLEARANCE = 10.22±
7	FG = 260.9± INVERT OF STORMWATER PIPE = 255.30± TOP OF SANITARY SEWER = 246.04± CLEARANCE = 9.26±
8	FG = 261.1± INVERT OF STORMWATER PIPE = 255.35± TOP OF SANITARY SEWER = 246.45± CLEARANCE = 8.90±

SITE UTILITY LEGEND	
	PROPOSED WATER SERVICE OR MAIN
	PROPOSED SEWER SERVICE OR MAIN
	PROPOSED CONC. ENCASED ELECTRIC DUCT BANK
	PROPOSED CONC. ENCASED TELECOM DUCT BANK
	PROPOSED GAS SERVICE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER GATE VALVE
	PROPOSED SEWER MANHOLE
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC MANHOLE (6'X8')
	PROPOSED TELECOM MANHOLE
	PROPOSED GAS GATE VALVE



WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

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1 WASHINGTON STREET | Suite 701
BOSTON, MA 02108

CONSULTANT:

SEAL



07-17-2023

REV	DATE	DESCRIPTION
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ISSUE TYPE:
PERMIT SET
ISSUE DATE:
05/11/2023
PROJECT NUMBER:
22051

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CHECKED BY: DJH
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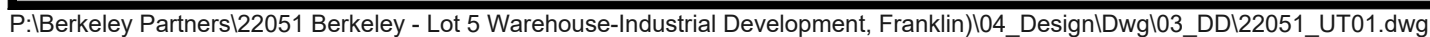
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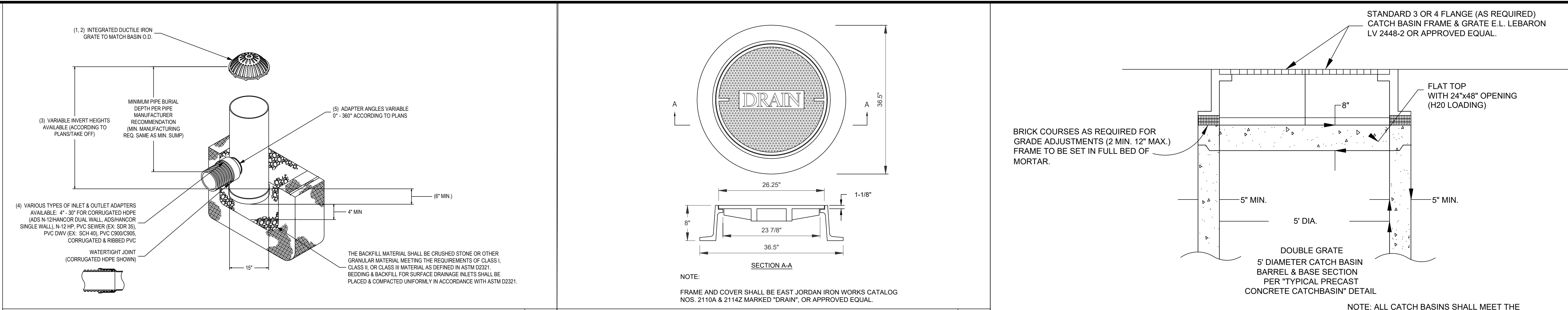
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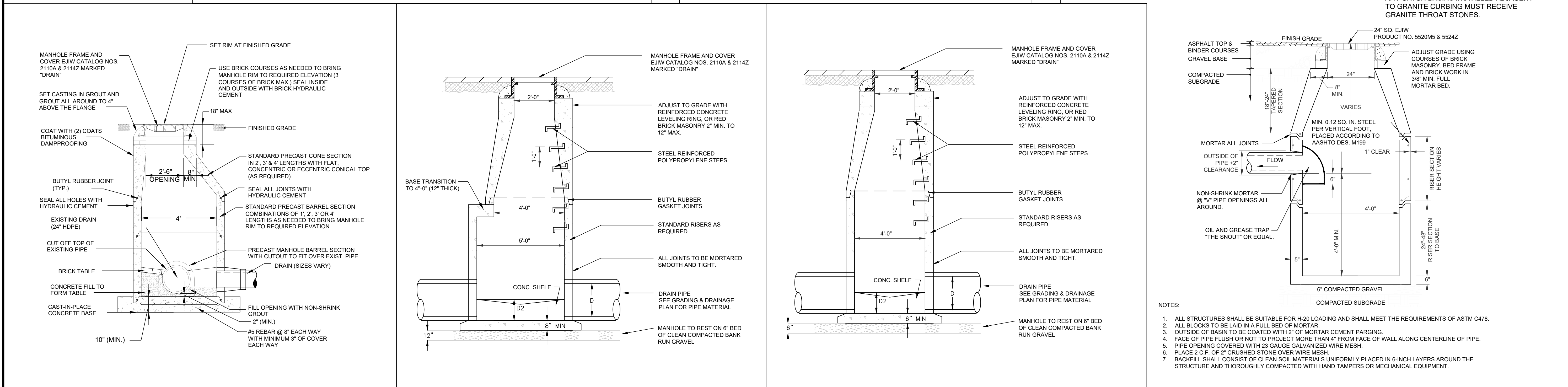
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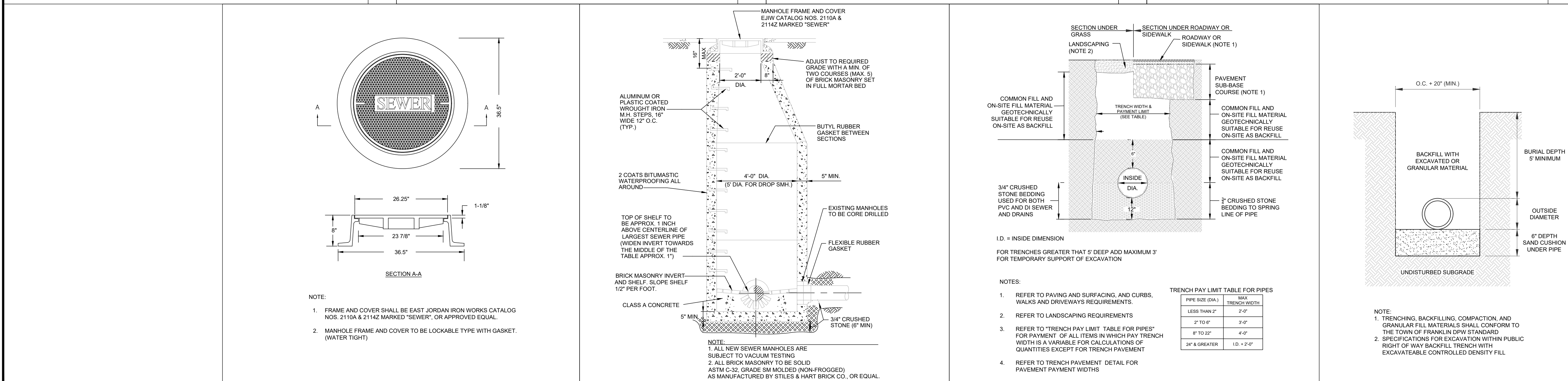




NYLOPLAST DOME GRATE NOT TO SCALE **C2** DRAIN MANHOLE FRAME AND COVER NOT TO SCALE **C1**



DOGHOUSE MANHOLE NOT TO SCALE **B4** 5' PRECAST CONCRETE DRAIN MANHOLE NOT TO SCALE **B3** 4' PRECAST CONCRETE DRAIN MANHOLE NOT TO SCALE **B2** SINGLE & DOUBLE GRATE CATCH BASIN NOT TO SCALE **B1**



SEWER MANHOLE FRAME & COVER NOT TO SCALE **A4** SANITARY SEWER MANHOLE NOT TO SCALE **A3** DRAINAGE AND SEWER TRENCH NOT TO SCALE **A2** WATER TRENCH NOT TO SCALE **A1**

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CONSULTANT:

SEAL

07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	RESPONSE TO COMMENTS
1	07-17-2023	

ISSUE TYPE:
PERMIT SET

ISSUE DATE:
05/11/2023

PROJECT NUMBER:
22051

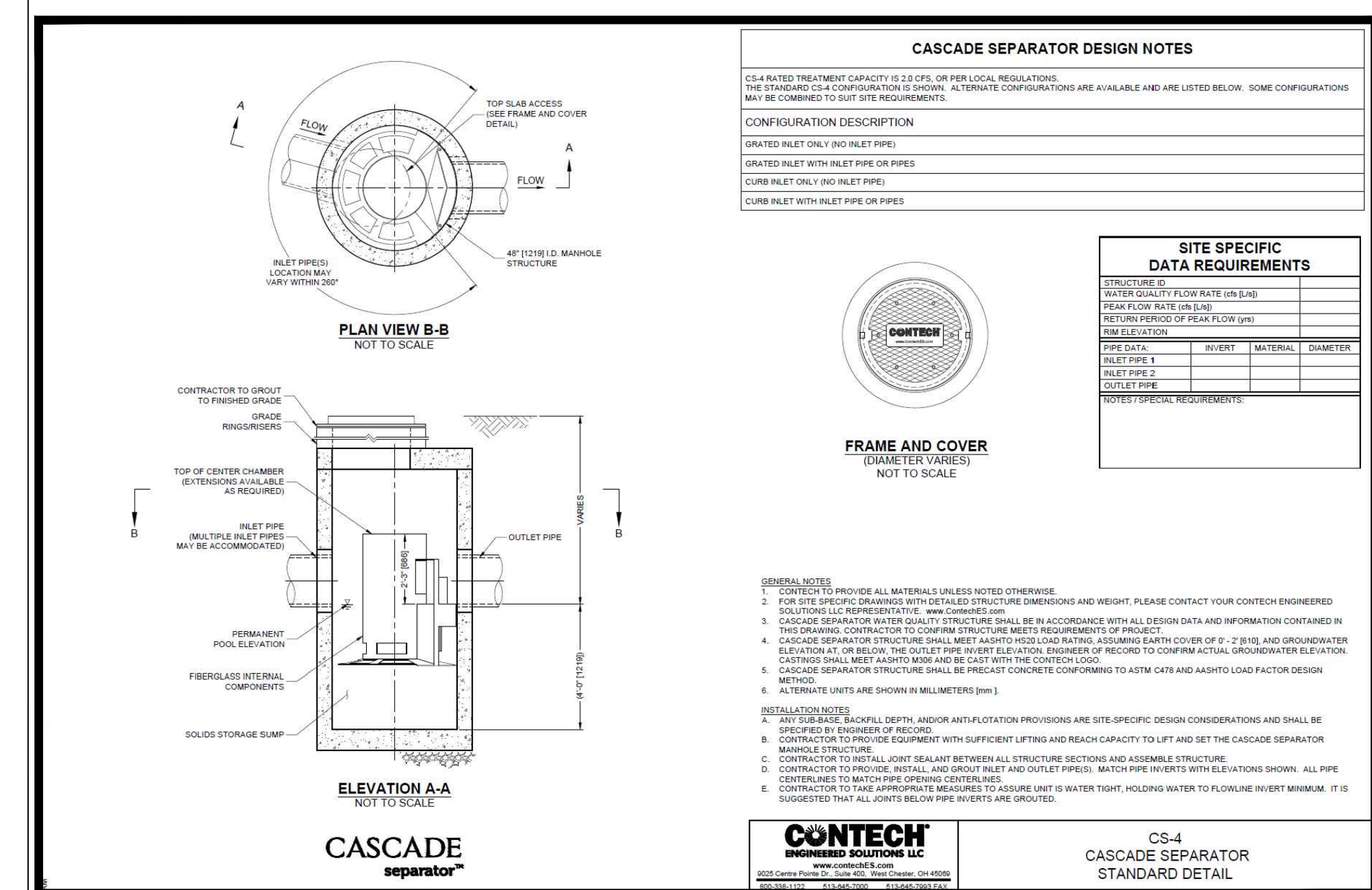
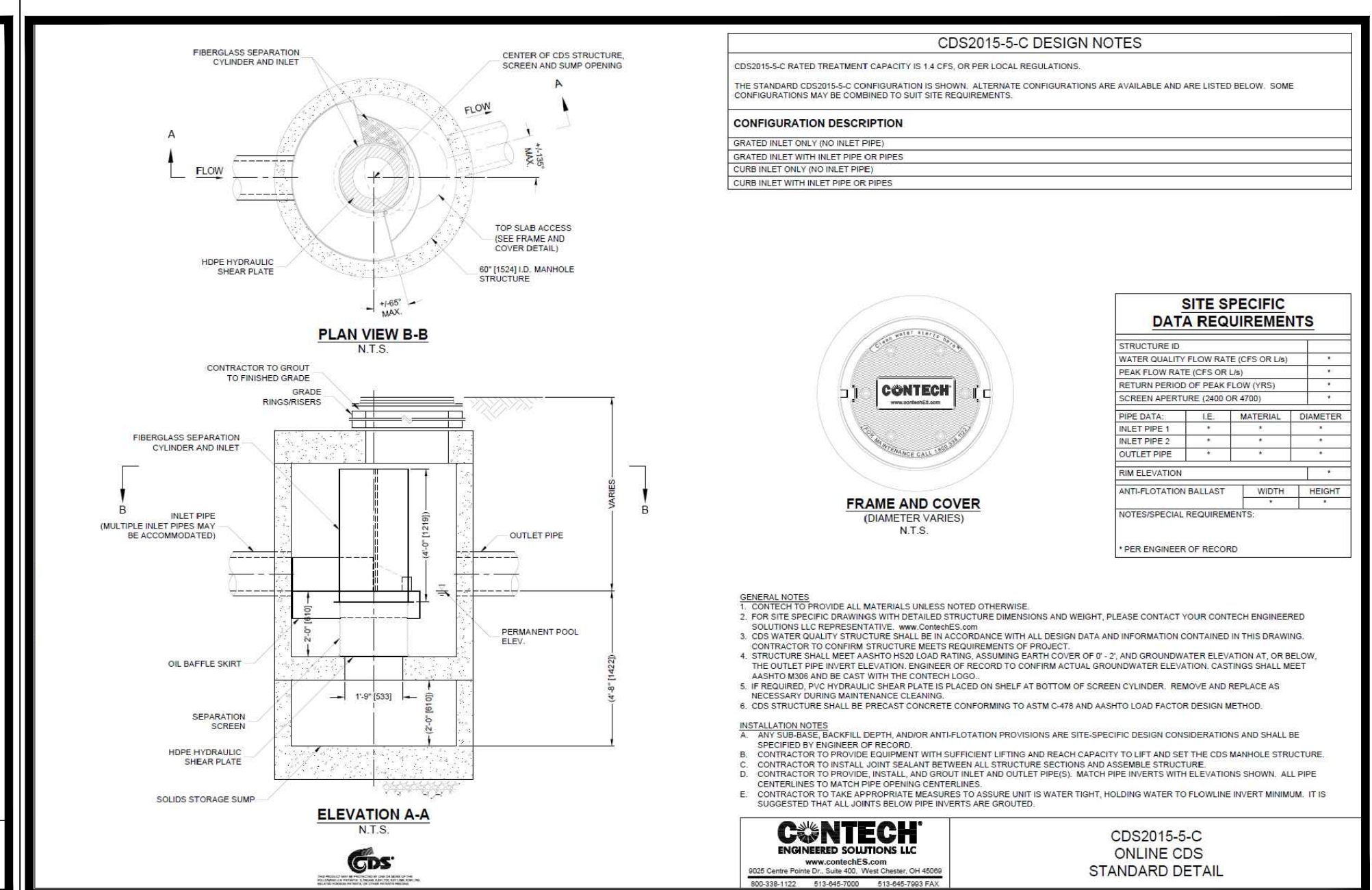
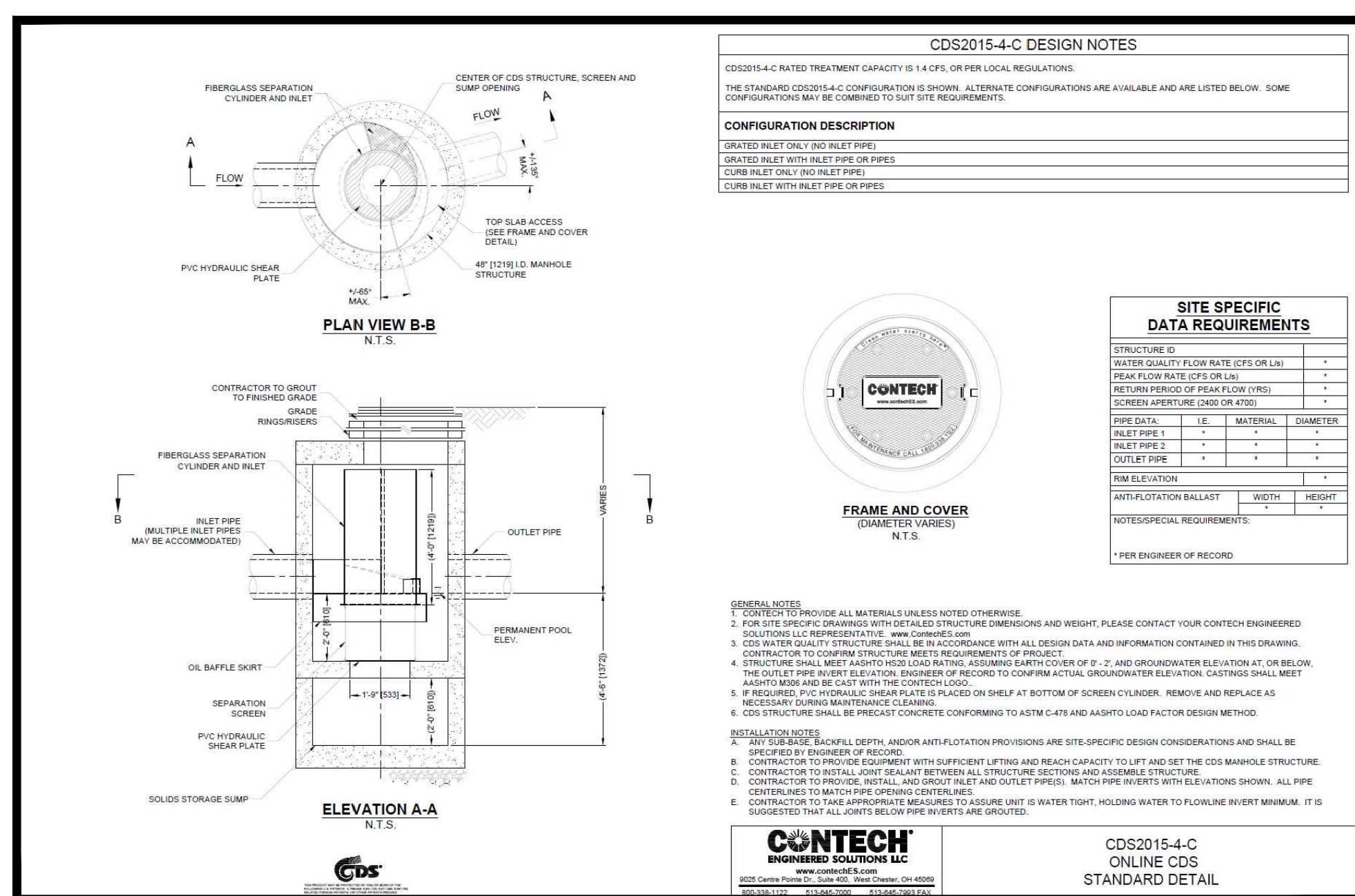
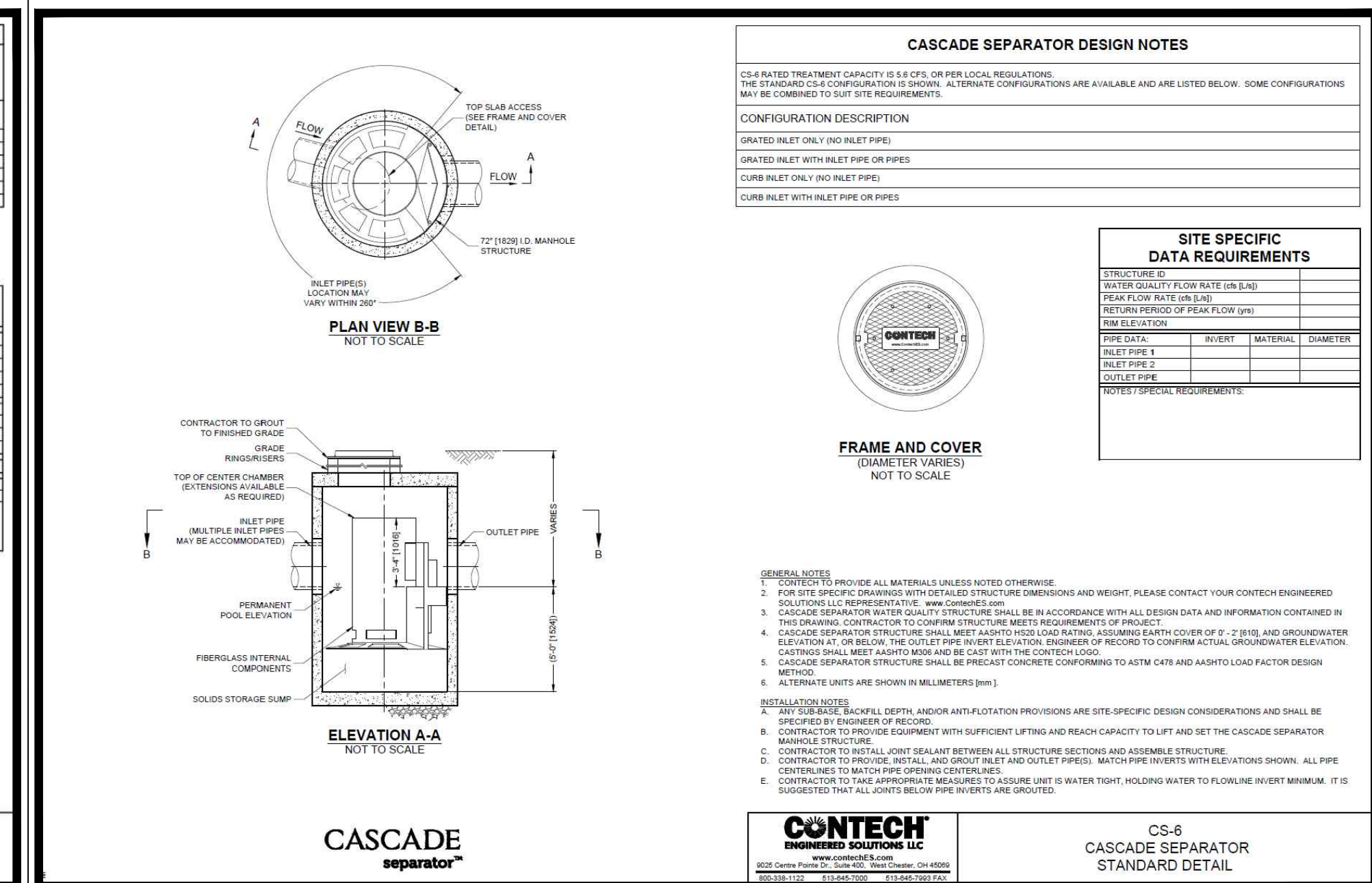
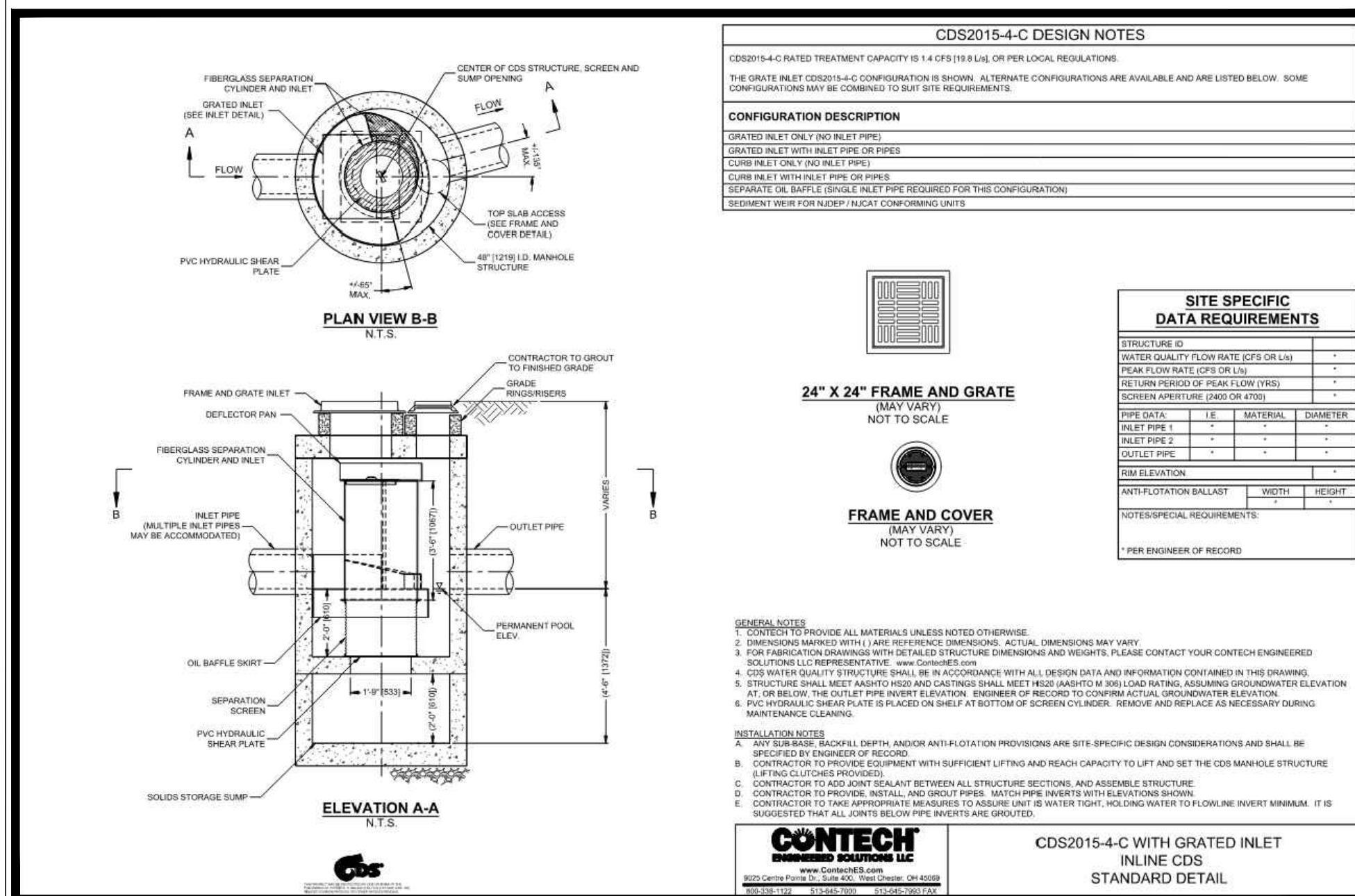
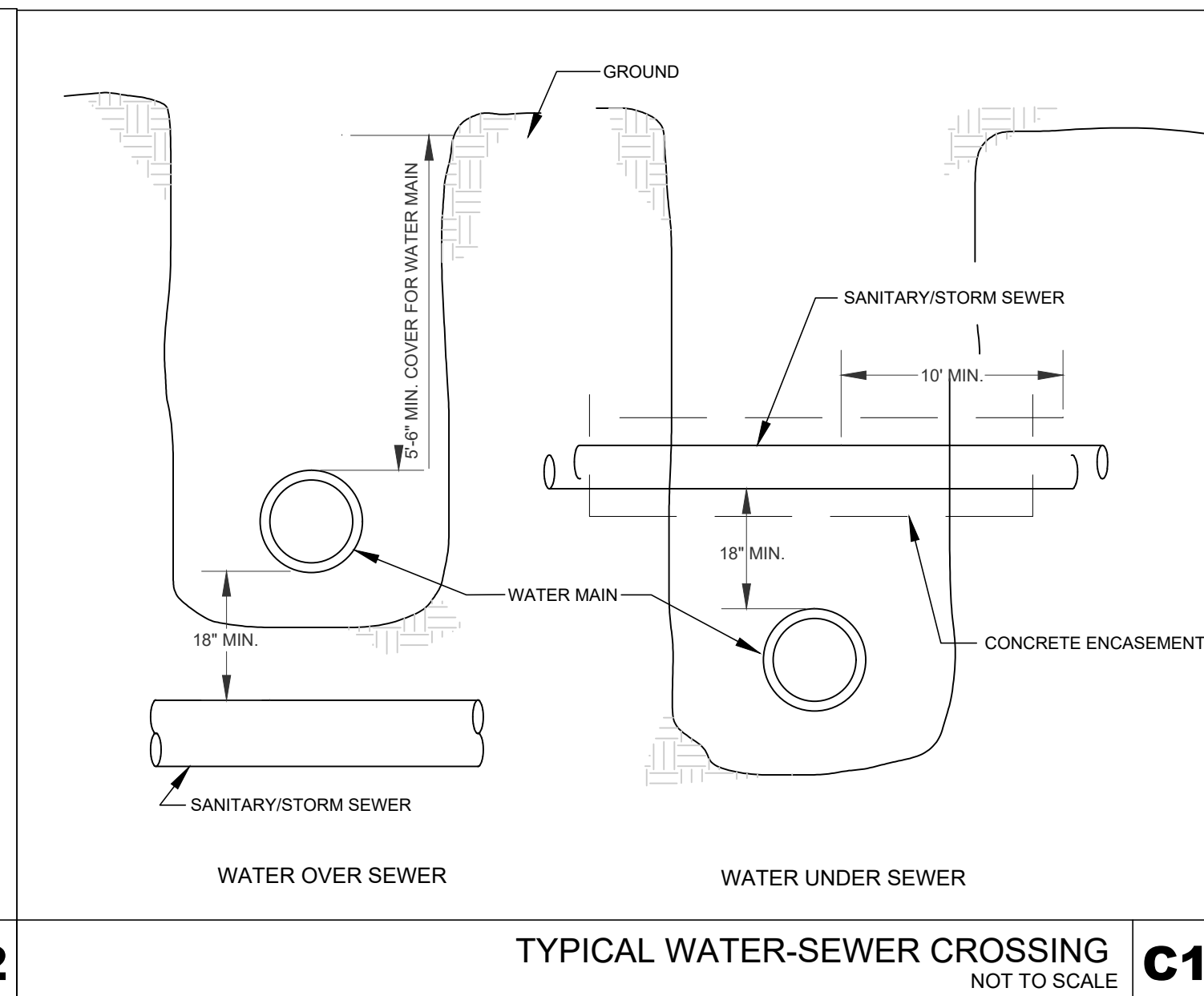
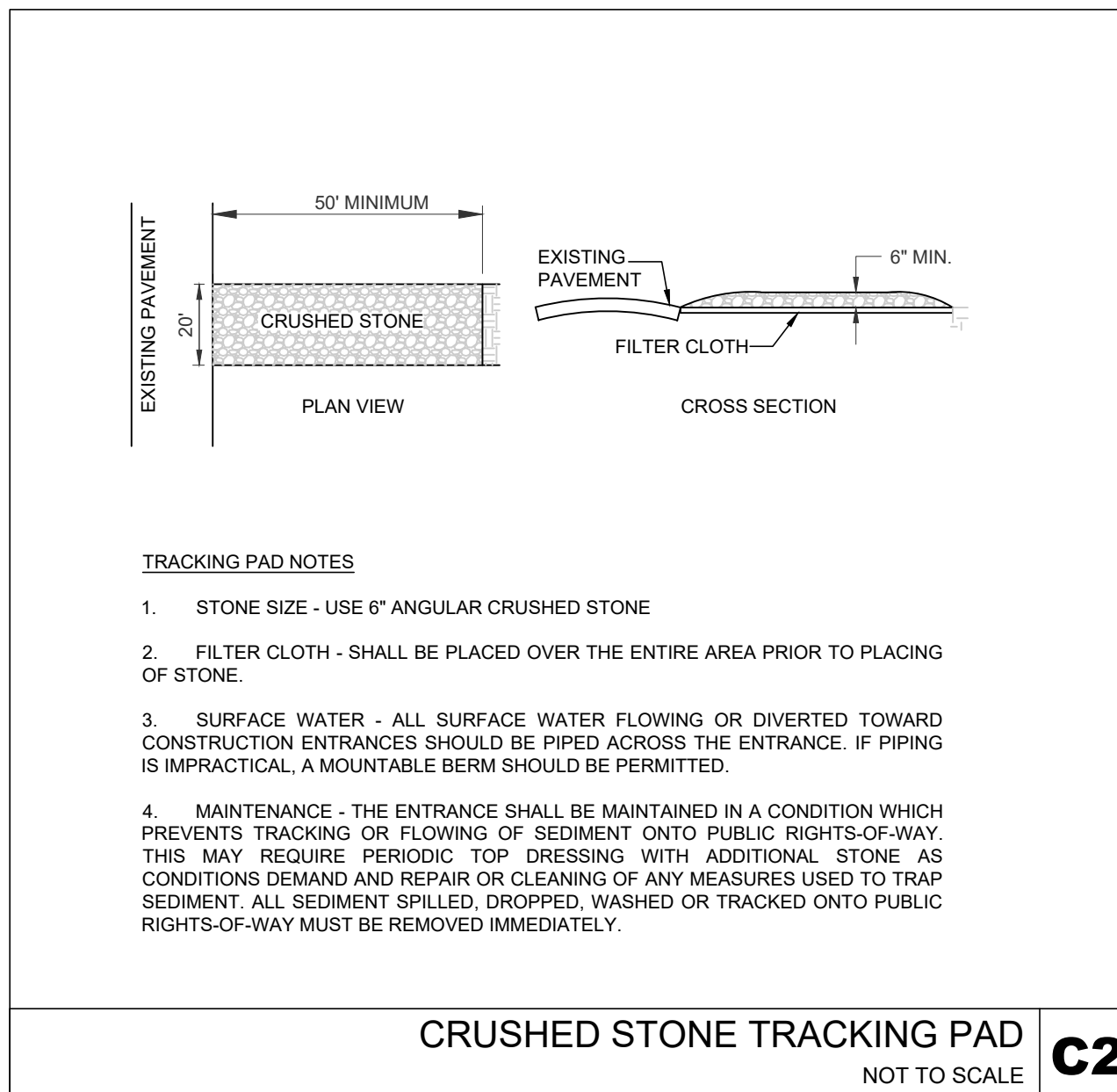
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SHEET TITLE:
DETAIL SHEET

SHEET NUMBER:
C602



WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

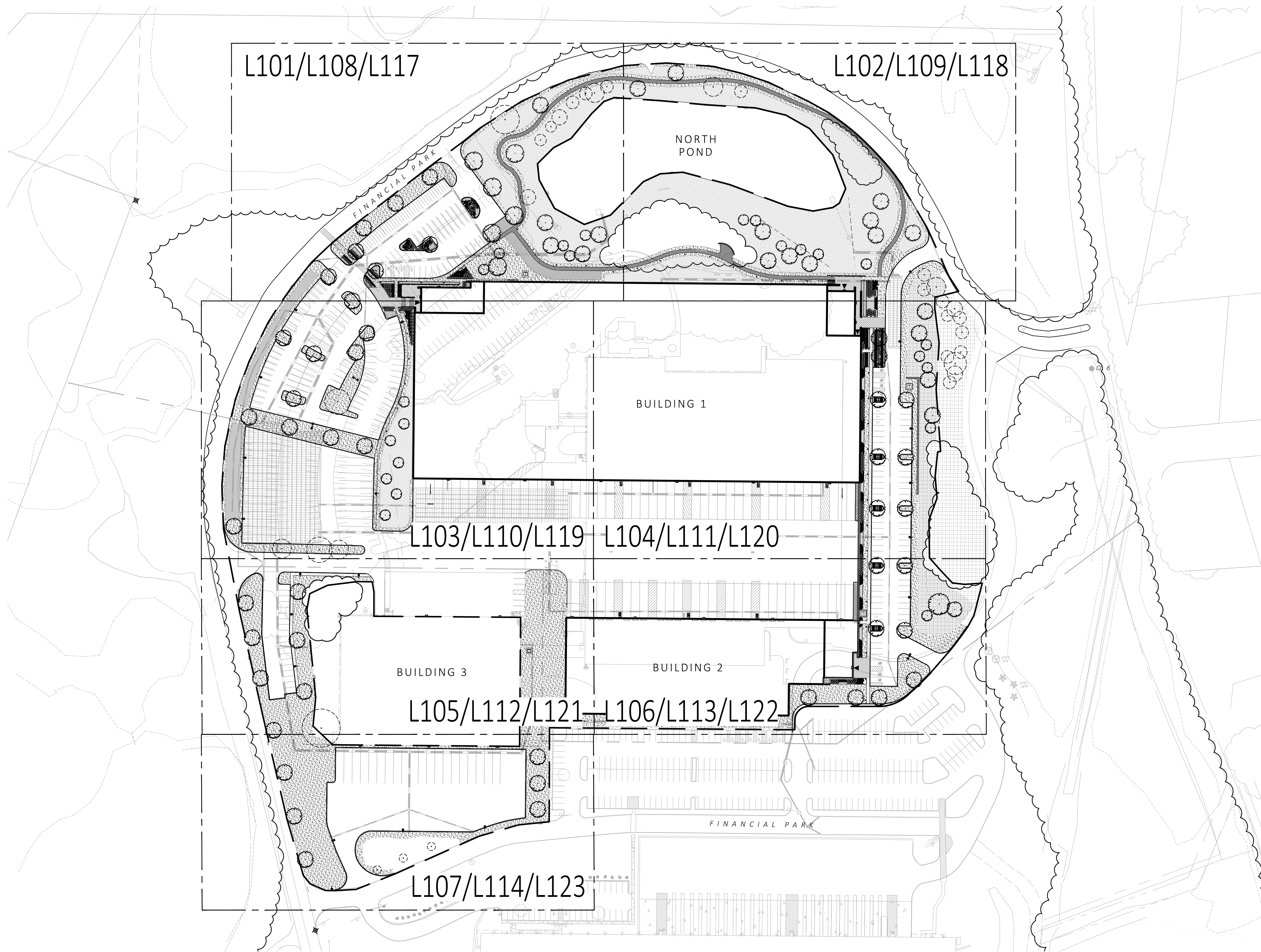
ISSUE TYPE:
PERMIT SET
ISSUE DATE:
05/11/2023
PROJECT NUMBER:
22051

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DETAIL SHEET

SHEET NUMBER:
C603
ISSUED FOR: PERMIT

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1 SHEET LAYOUT KEY PLAN
SCALE: 1" = 80'-0"



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MICHAEL D'ANGELO
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WWW.MD-LA.COM

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BERKELEY PARTNERS
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BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA

STAMP



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

KEY PLAN

DRAWN:

NC

CHECKED:

AS NOTED

SCALE:

AS NOTED

DATE:

5/11/2023

L100

SHEET 01 OF 24

plot date: 7/17/2023

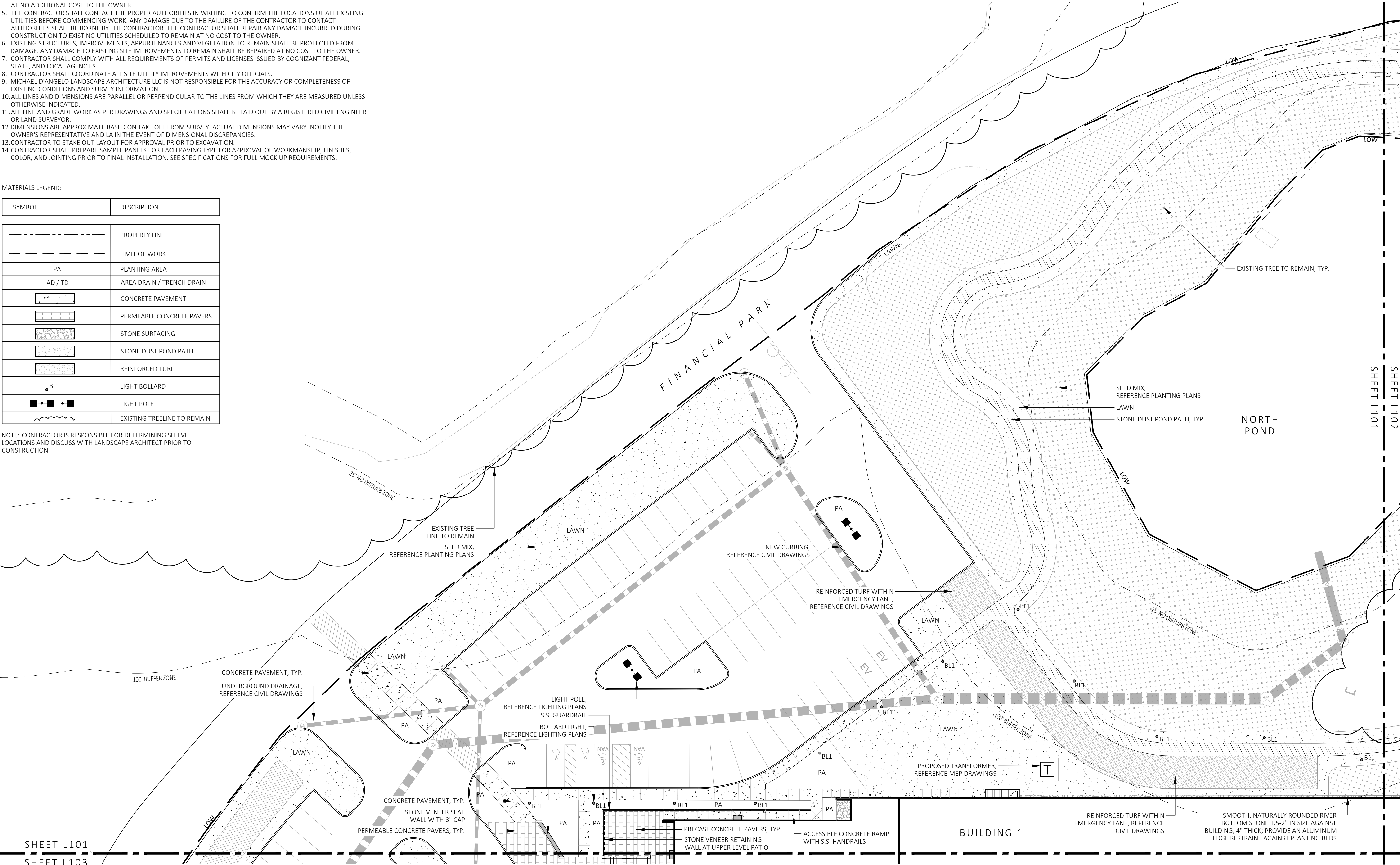
MATERIALS NOTES:

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE ENGINEER. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT (LA) AND RECORDED ON RECORD DRAWINGS.
3. CONTRACTOR SHALL NOTIFY THE LA OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
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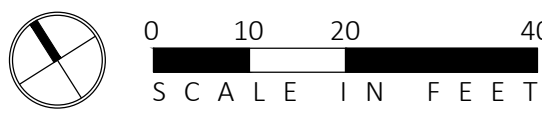
MATERIALS LEGEND:

SYMBOL	DESCRIPTION
	PROPERTY LINE
	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
	CONCRETE PAVEMENT
	PERMEABLE CONCRETE PAVERS
	STONE SURFACING
	STONE DUST POND PATH
	REINFORCED TURF
BL1	LIGHT BOLLARD
	LIGHT POLE
	EXISTING TREELINE TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE LOCATIONS AND DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



1 MATERIALS PLAN
SCALE: 1" = 20'-0"



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MDLA
MICHAEL D'ANGELO landscape architecture

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PROJECT
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FRANKLIN, MA

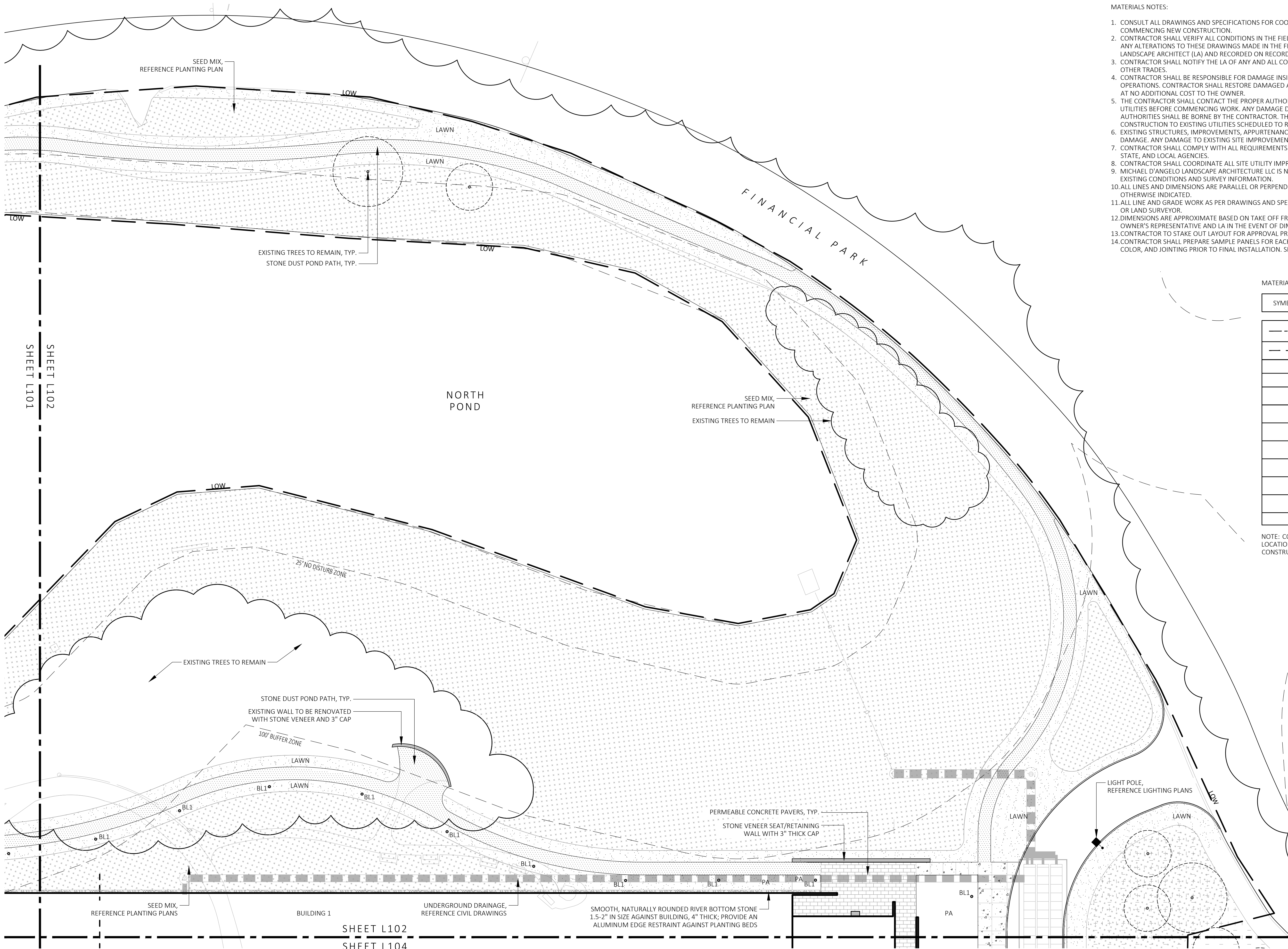
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1	7/17/23	RESPONSE TO COMMENTS

MATERIALS
PLAN

DRAWN: NC	L101
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	



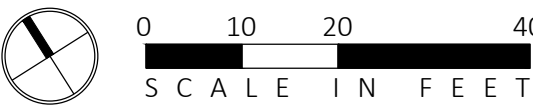
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SYMBOL	DESCRIPTION
	PROPERTY LINE
	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
	CONCRETE PAVEMENT
	PERMEABLE CONCRETE PAVERS
	STONE SURFACING
	STONE DUST POND PATH
	REINFORCED TURF
BL1	LIGHT BOLLARD
	LIGHT POLE
	EXISTING TREELINE TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE LOCATIONS AND DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

1 MATERIALS PLAN
SCALE: 1" = 20'-0"



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LANDSCAPE ARCHITECTURE LLC

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FRANKLIN, MA

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REV. NO.	DATE	DESCRIPTION
1	7/17/23	FOR PERMIT RESPONSE TO COMMENTS

MATERIALS
PLAN

DRAWN:
NC

CHECKED:
AS NOTED

SCALE:
AS NOTED

DATE:
5/11/2023

L102

SHEET 03 OF 24

plot date: 7/17/2023

MATERIALS PLAN

L103

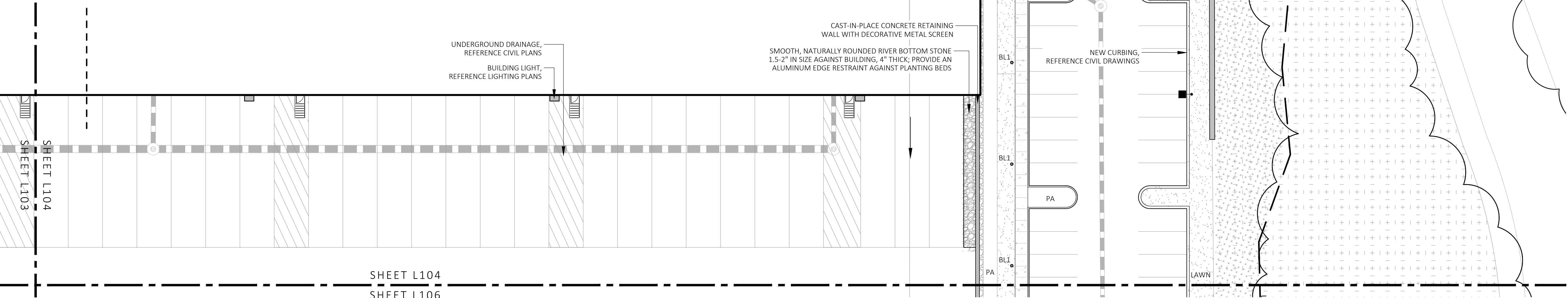
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MATERIALS LEGEND:

SYMBOL	DESCRIPTION
	PROPERTY LINE
	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
	CONCRETE PAVEMENT
	PERMEABLE CONCRETE PAVERS
	STONE SURFACING
	STONE DUST POND PATH
	REINFORCED TURF
BL1	LIGHT BOLLARD
	LIGHT POLE
	EXISTING TREELINE TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE LOCATIONS AND DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



1 MATERIALS PLAN
SCALE: 1" = 20'-0"

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MDLA
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PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA

STAMP



REV. NO.	DATE	DESCRIPTION
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1	7/17/23	RESPONSE TO COMMENTS

MATERIALS
PLAN

DRAWN: NC	L104
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	

MATERIALS NOTES:

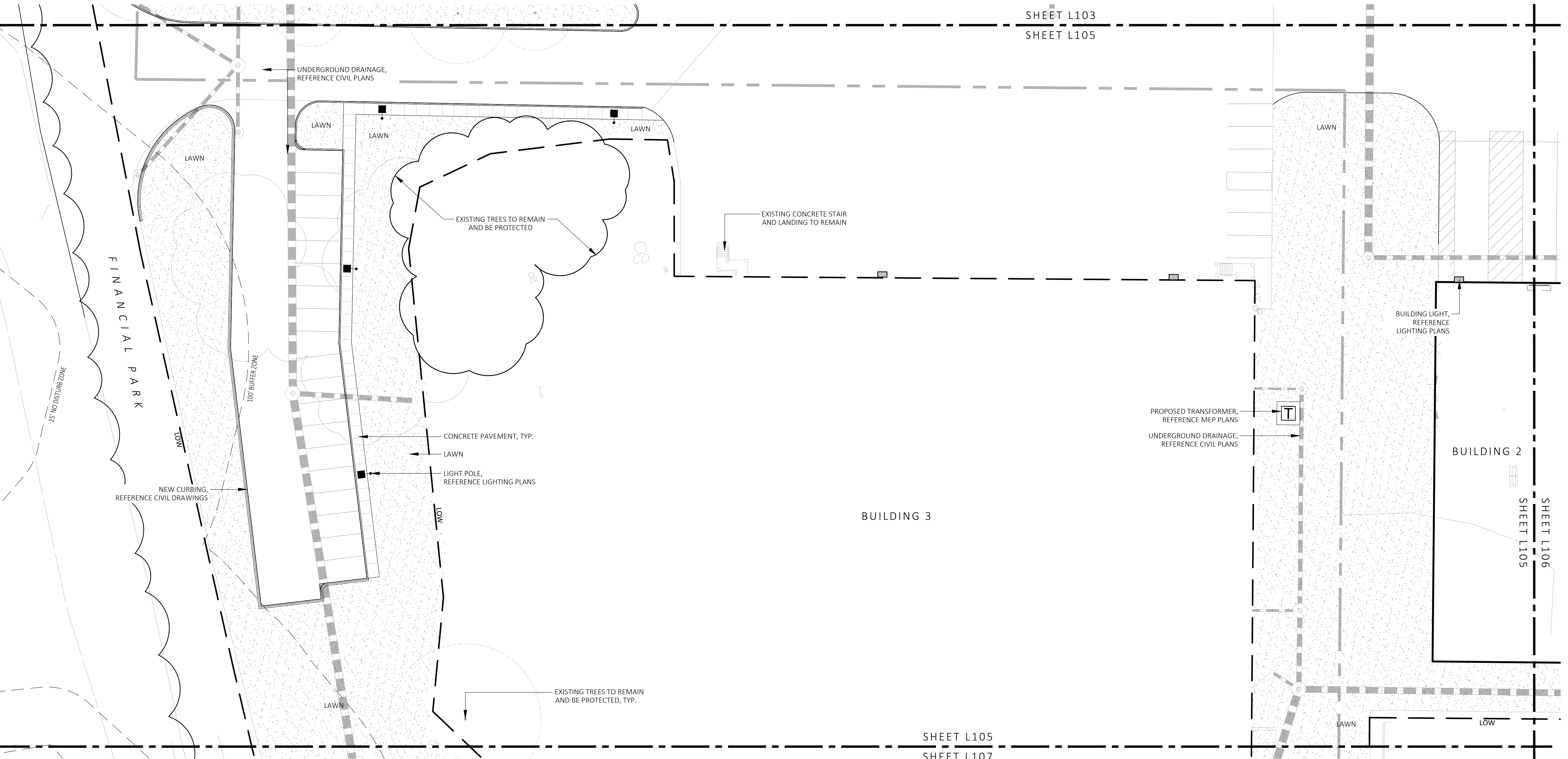
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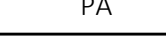
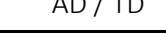
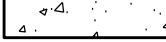
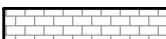
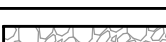




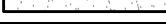
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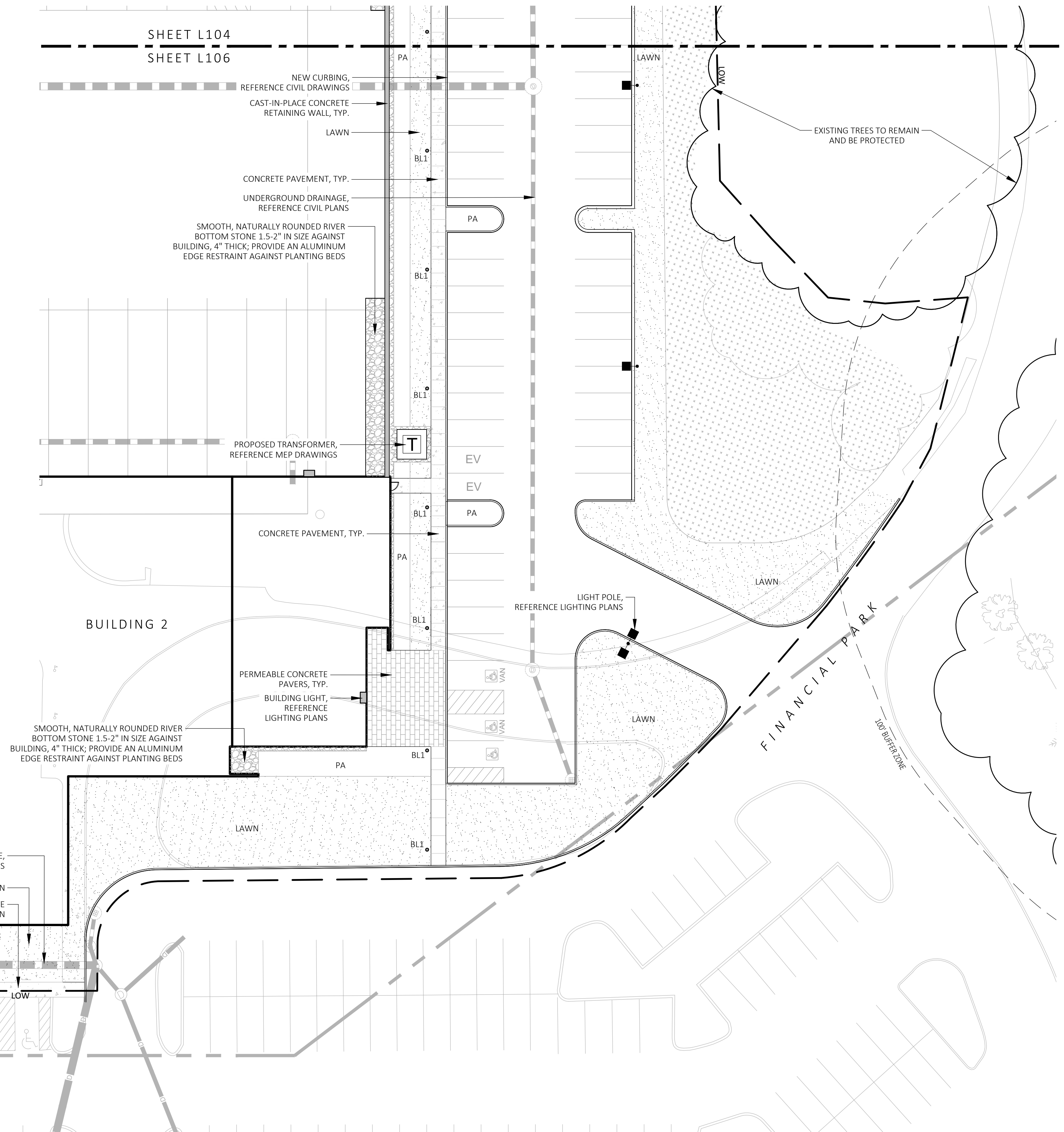


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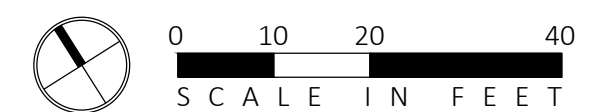
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Architectural section drawing showing a cross-section of a building structure. The drawing includes a sloped roof, a series of columns supporting a floor slab, and a concrete walkway. A lawn area is indicated on the left. Labels include 'LAWN', 'SHEET L106', 'SHEET L105', 'UNDERGROUND DRAINAGE, REFERENCE CIVIL DRAWINGS', 'EXISTING CONCRETE WALK TO REMAIN', and 'LOW'. A north arrow is located in the upper right corner.



1 MATERIALS PLAN
SCALE: 1" = 20'-0"



WN:	L106
CKED:	
NOTED	
LE:	
NOTED	
E:	
/2023	

date: 7/17/202

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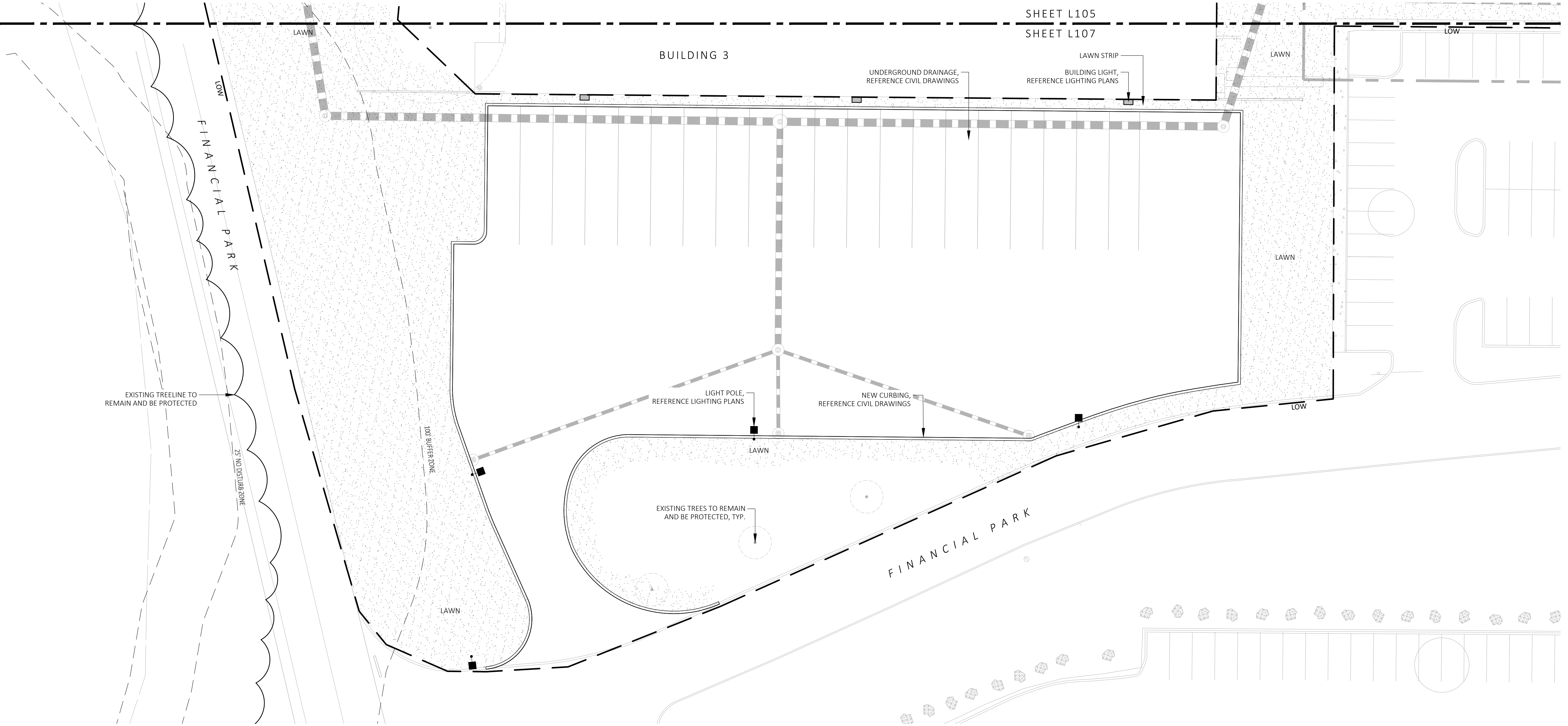
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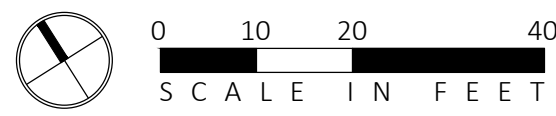
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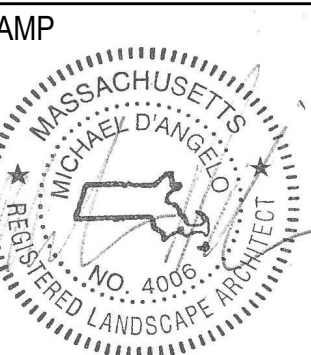


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MATERIALS  
PLAN

DRAWN: NC	L107
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	



1. DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE ALLOWED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROUND OR GERMINATING INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
10. LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
12. PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

1. THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NEW TUBING TO COMPLY WITH IRRIGATION PROGRAM.
3. IRRIGATION CONTRACTOR SHALL VERIFY PS/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
4. TREES SHOULD BE ON A SEPARATE ZONE.
5. ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUNDCOVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
6. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
7. INSTALL DRIP TUBING, .60PH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'.
8. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
9. THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
10. WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
11. MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
12. THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
13. THE IRRIGATION CONTRACTOR SHALL INSTALL SOIL MOISTURE SENSORS SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (§185-31.C.(K))

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

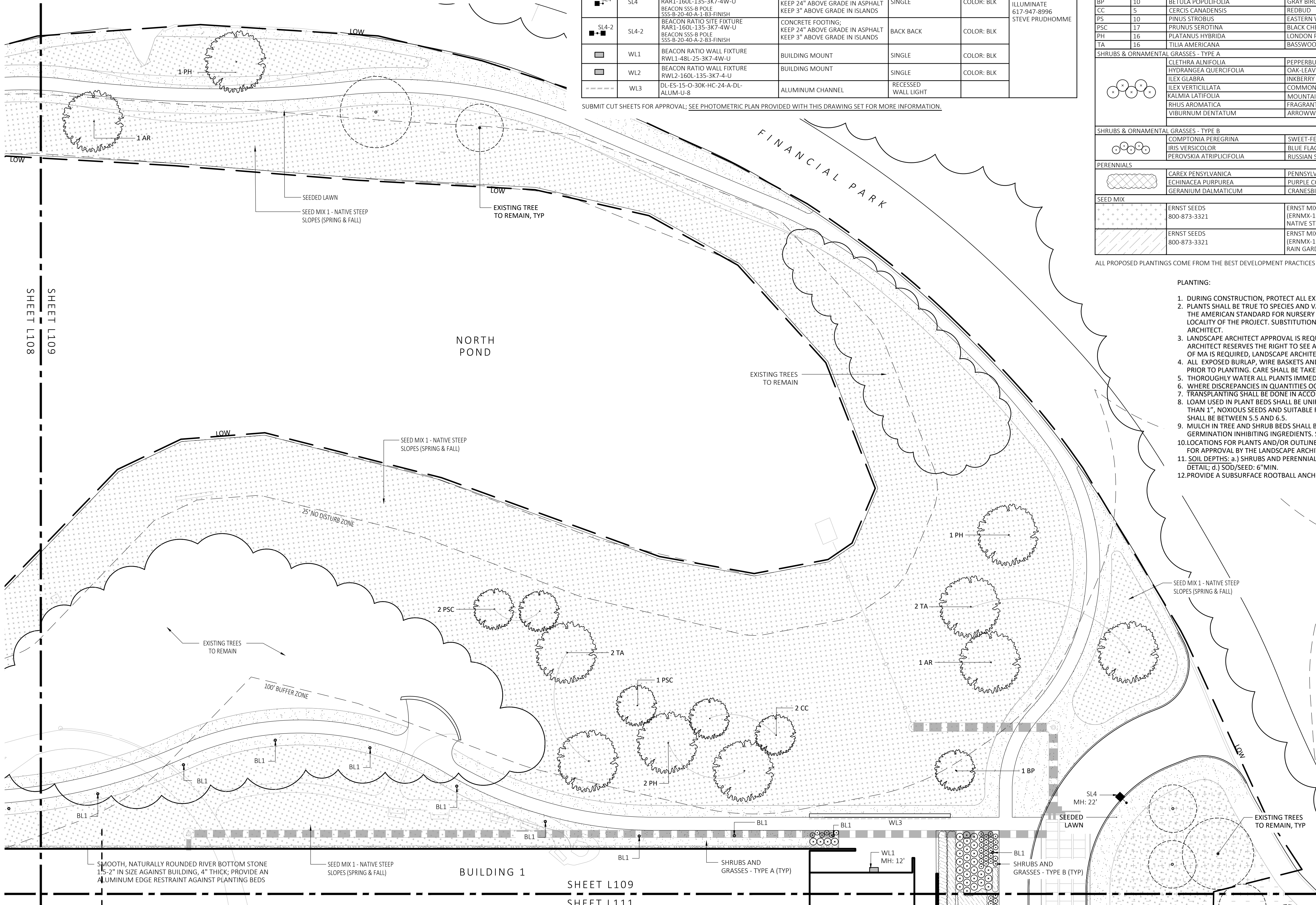
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# 1 PLANTING & LIGHTING PLAN

SHEET 9 OF 24

plot date: 7/17/2023





LIGHT SCHEDULE					
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY
■ SL3	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK
■ SL4	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK
■ SL4-2	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK
■ WL1	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK
■ WL2	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK
■ WL3	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT	

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PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
○		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
○		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3'-3.5' TALL	36" O.C. B&B
○		ILEX GLABRA	INKBERRY	3'-3.5' TALL	36" O.C. B&B
○		ILEX VERTICILLATA	COMMON WINTERBERRY	3'-3.5' TALL	36" O.C. B&B
○		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3' TALL	36" O.C. B&B
○		RHUS AROMATICA	FRAGRANT SUMAC	3'-3.5' TALL	36" O.C. B&B
○		VIBURNUM DENTATUM	ARROWWOOD	3'-3.5' TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
○		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
○		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
○		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3' TALL	24" O.C. B&B
PERENNIALS					
○		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
○		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
○		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
+		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
+		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (§185-31.C.(K))

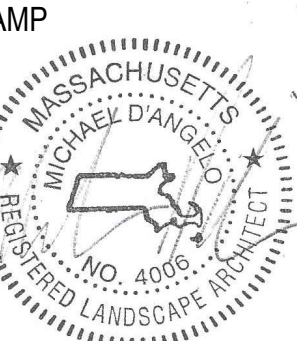
PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
- TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

GENERAL IRRIGATION NOTES:

- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
- TREES SHOULD BE ON A SEPARATE ZONE.
- ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
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- INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

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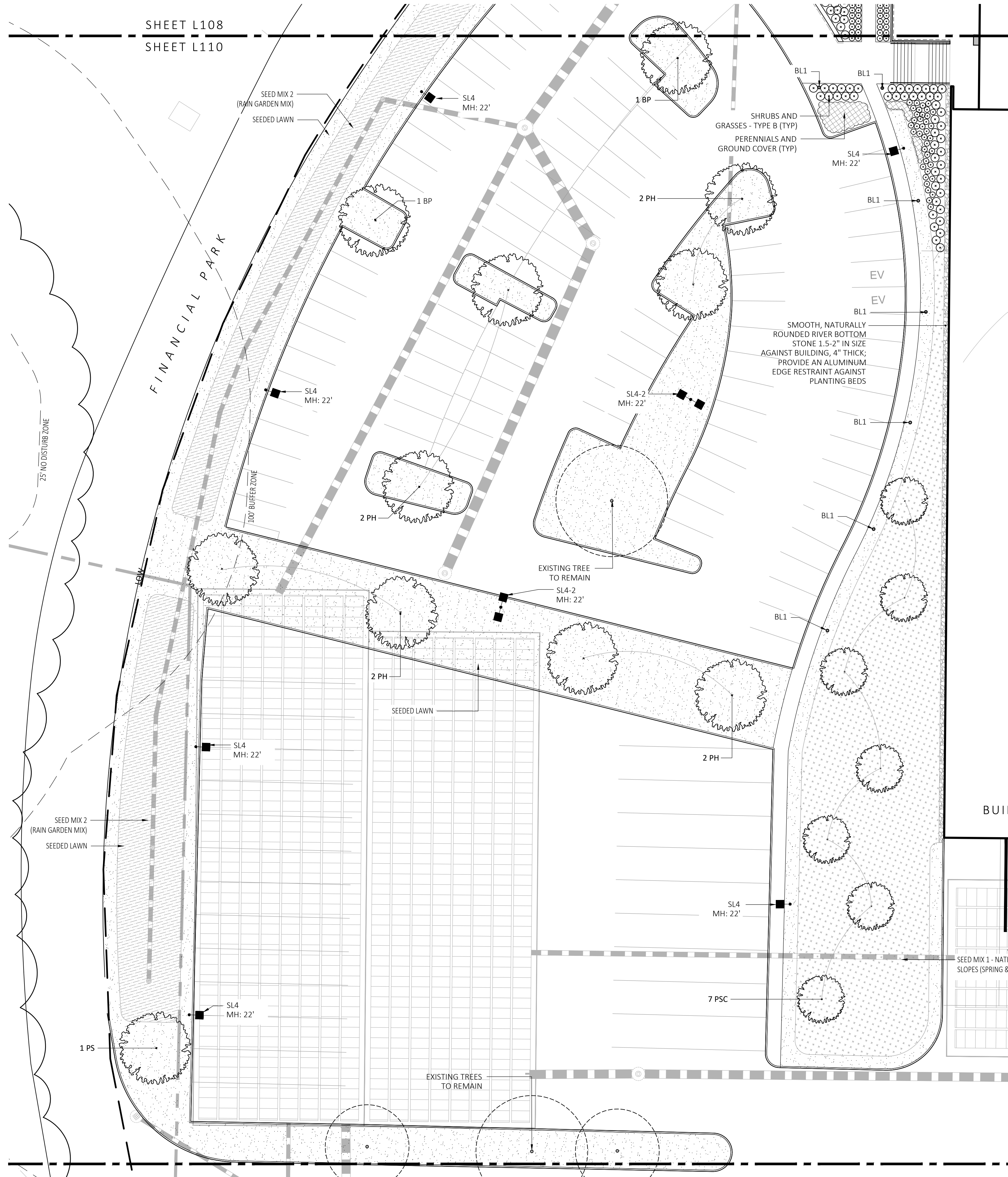
REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PLANTING & LIGHTING PLAN

DRAWN: NC	L109
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	

1 PLANTING & LIGHTING PLAN  
SCALE: 1" = 20'-0"





1 PLANTING & LIGTHING PLAN  
SCALE: 1" = 20'-0"

PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
	CLETHRA ALNIFOLIA		PEPPERBUSH	5 GAL	36" O.C. B&B
	HYDRANGEA QUERCIFOLIA		OAK-LEAVED HYDRANGEA	3'-3.5" TALL	36" O.C. B&B
	ILEX GLABRA		INKBERRY	3'-3.5" TALL	36" O.C. B&B
	ILEX VERTICILLATA		COMMON WINTERBERRY	3'-3.5" TALL	36" O.C. B&B
	KALMIA LATIFOLIA		MOUNTAIN LAUREL	3" TALL	36" O.C. B&B
	RHUS AROMATICA		FRAGRANT SUMAC	3'-3.5" TALL	36" O.C. B&B
	VIBURNUM DENTATUM		ARROWWOOD	3'-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
	COMPTONIA PEREGRINA		SWEET-FERN	2 GAL	24" O.C. CONTAINER
	IRIS VERSICOLOR		BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
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PERENNIALS					
	CAREX PENSYLVANICA		PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
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LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL3	DL-E5-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

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MDLA  
MICHAEL D'ANGELO landscape architecture

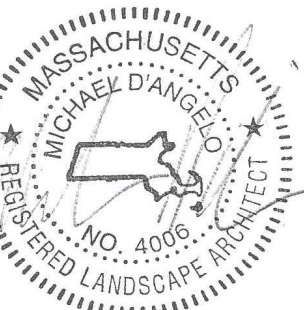
MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC

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1 WASHINGTON MALL, SUITE 701  
BOSTON, MA

PROJECT  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA

STAMP



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PLANTING & LIGHTING PLAN

DRAWN: NC	L110
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	



PLANT SCHEDULE					
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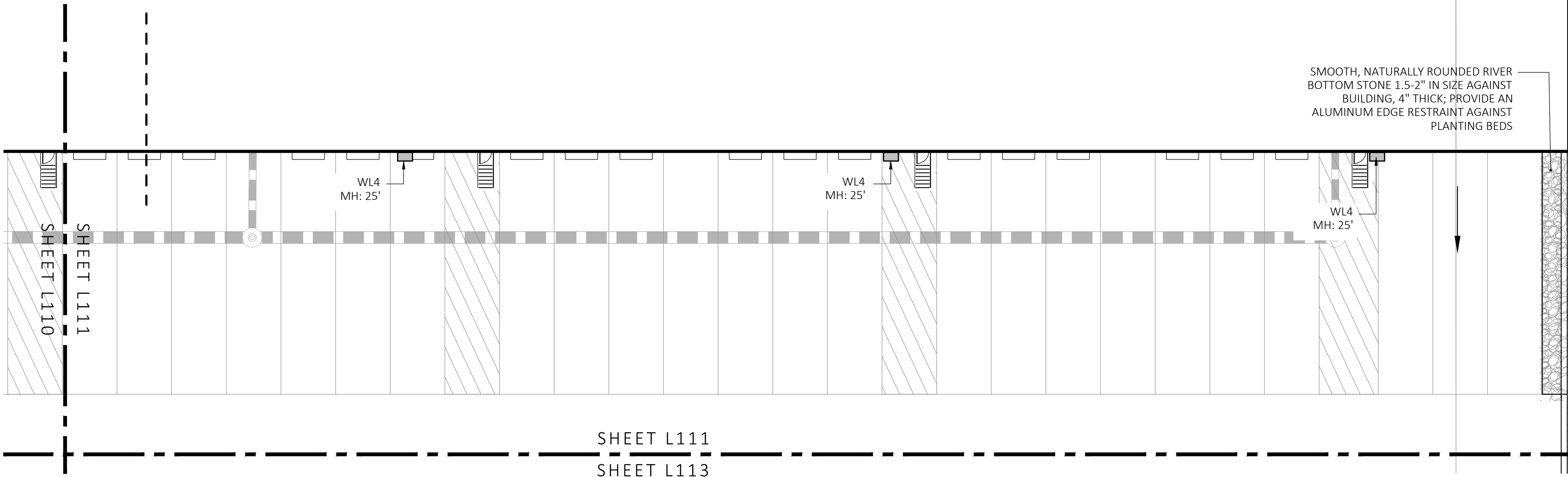
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	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-B	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

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5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
10. LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
12. PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

SHEET L109

SHEET L111

BUILDING 1

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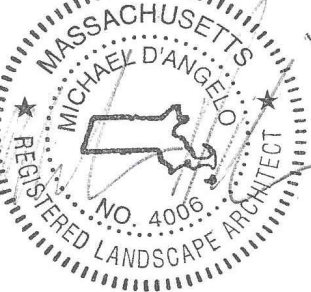
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WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA

STAMP



REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PLANTING &  
LIGHTING  
PLAN

DRAWN: NC	L111
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	

SHEET 12 OF 24

plot date: 7/17/2023



PLANTING:

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2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
3. IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
4. TREES SHOULD BE ON A SEPARATE ZONE.
5. ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
6. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
7. INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
8. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
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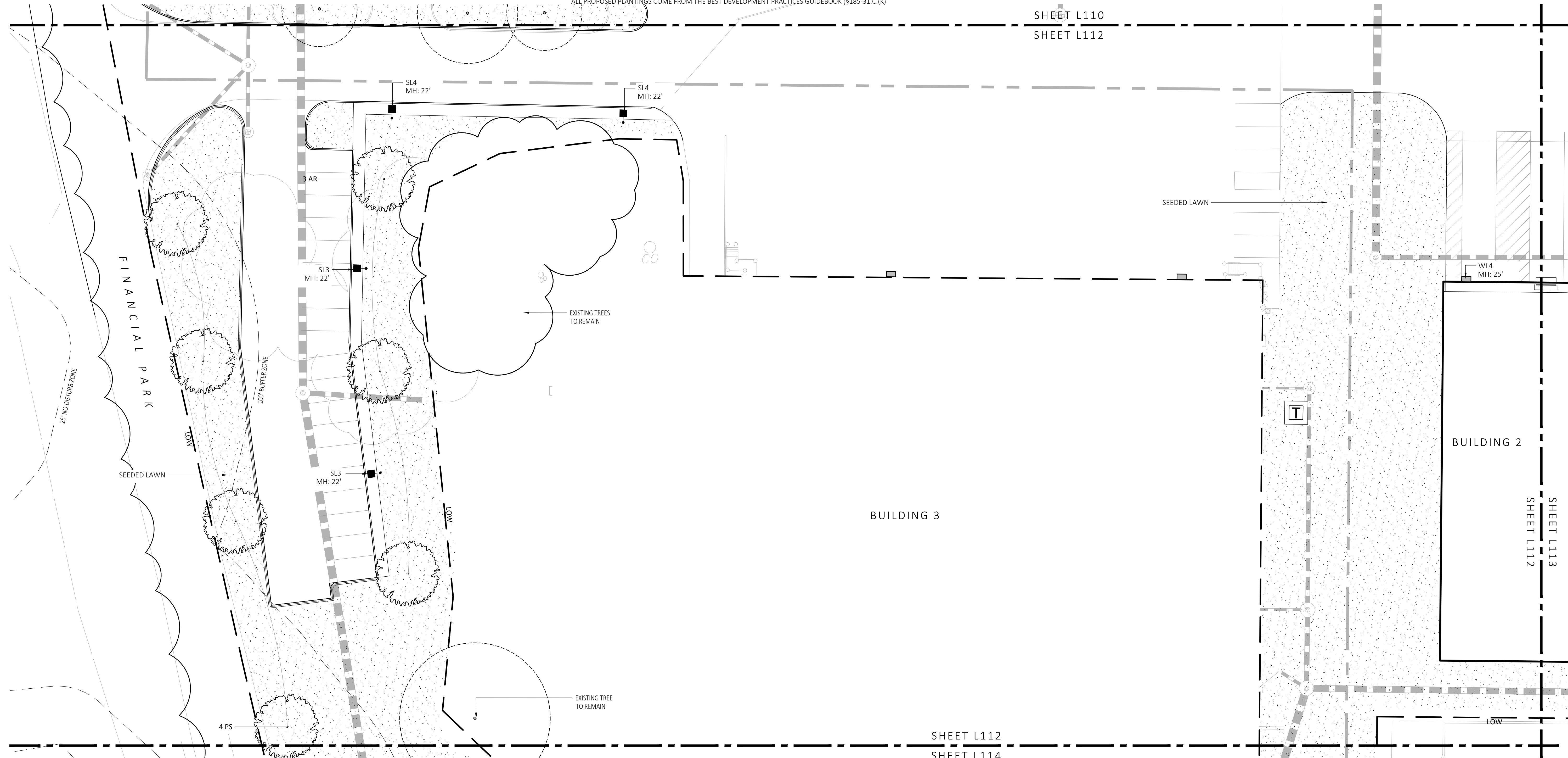
PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3' TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3' TALL	24" O.C. B&B
PERENNIALS					
		CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP: FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (\$185-31.C.(K))

FOR PERMIT ONLY  
NOT FOR CONSTRUCTION

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SS-B-20-40-A-1-B5-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SS-B-20-40-A-1-B5-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SS-B-20-40-A-2-B5-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



1 PLANTING & LIGTHING PLAN  
SCALE: 1" = 20'-0"

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LIGHTING  
PLAN

DRAWN:  
NC  
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AS NOTED  
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AS NOTED  
DATE:  
5/11/2023

L112



PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3" 3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3" 3.5" CAL.	B&B, MULTI-STEM
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		RHUS AROMATICA	FRAGRANT SUMAC	3' 3.5' TALL	36" O.C. B&B
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SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3' TALL	24" O.C. B&B
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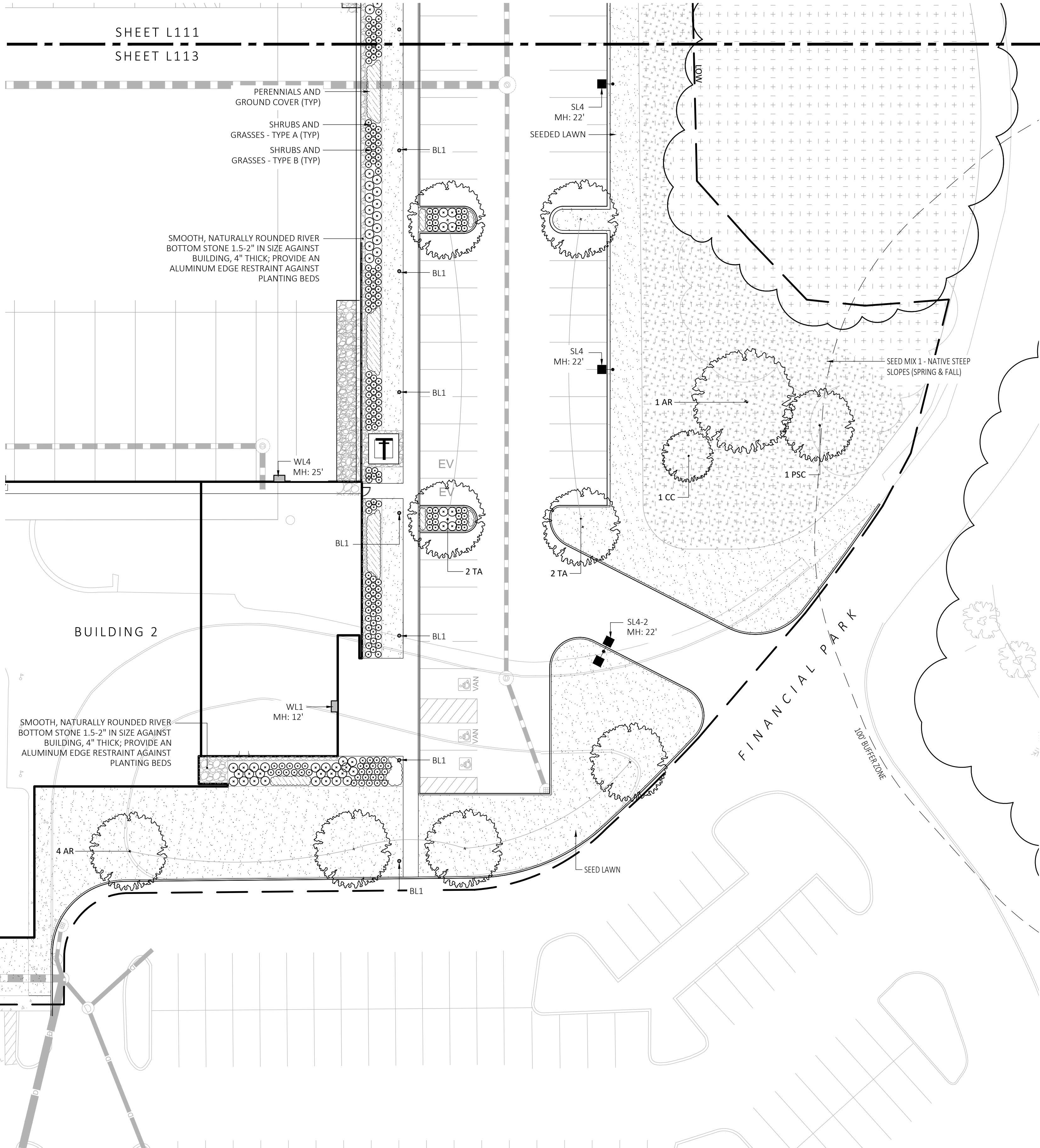
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STAMP

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1	7/17/23	RESPONSE TO COMMENTS

PLANTING & LIGHTING PLAN

DRAWN:  
NC  
CHECKED:  
AS NOTED  
SCALE:  
AS NOTED  
DATE:  
5/11/2023

L113

SHEET 14 OF 24

1

PLANTING & LIGTHING PLAN

SCALE: 1" = 20'-0"

0

10

20

40

SCALE IN FEET

plot date: 7/17/2023



PLANTING:

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3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
10. LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
12. PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATYPUS EARTH ANCHORS, SIZE FOR CALIPER

GENERAL IRRIGATION NOTES:

1. THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
3. IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
4. TREES SHOULD BE ON A SEPARATE ZONE.
5. ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
6. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
7. INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
8. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
9. THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
10. WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
11. MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
12. THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
13. INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

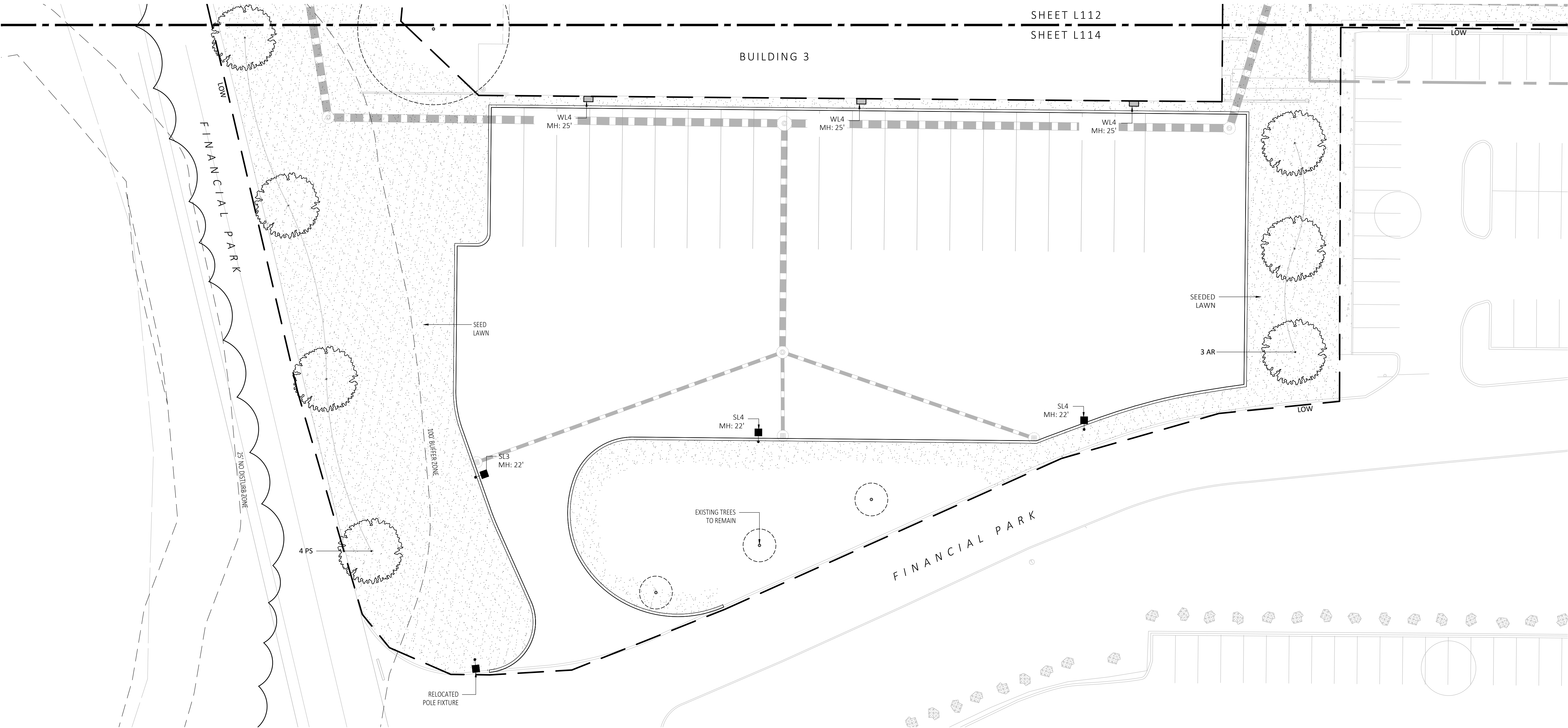
PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
	5	CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
	5	HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3'-3.5' TALL	36" O.C. B&B
	5	ILEX GLABRA	INKBERRY	3'-3.5' TALL	36" O.C. B&B
	5	ILEX VERTICILLATA	COMMON WINTERBERRY	3'-3.5' TALL	36" O.C. B&B
	5	KALMIA LATIFOLIA	MOUNTAIN LAUREL	3' TALL	36" O.C. B&B
	5	RHUS AROMATICA	FRAGRANT SUMAC	3'-3.5' TALL	36" O.C. B&B
	5	VIBURNUM DENTATUM	ARROWWOOD	3'-3.5' TALL	36" O.C. B&B
	2	COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
	2	IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
	2	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3' TALL	24" O.C. B&B
	1	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
	1	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
PERENNIALS					
	1	GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
	1	ERNST SEEDS	ERNST MIX (ERNMX-181-1 & 181-2)	75 LB/ACRE	APPLY COVER CROP: FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
	1	ERNST SEEDS	ERNST MIX (ERNMX-180)	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET
SEED MIX					
	1	ERNST SEEDS	ERNST MIX (ERNMX-180)	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET
	1	ERNST SEEDS	ERNST MIX (ERNMX-180)	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (\$185-31.C.(K))

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NOT FOR CONSTRUCTION

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



1 PLANTING & LIGTHING PLAN  
SCALE: 1" = 20'-0"

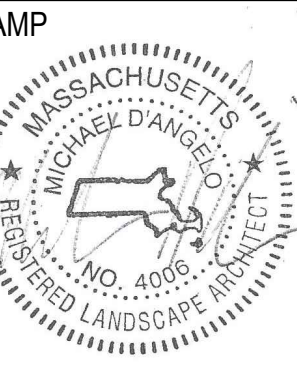
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MICHAEL D'ANGELO Landscape Architecture

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PROJECT  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PLANTING &  
LIGHTING  
PLAN

DRAWN:  
NC  
CHECKED:  
AS NOTED  
SCALE:  
AS NOTED  
DATE:  
5/11/2023

SHEET 15 OF 24

plot date: 7/17/2023



**Ernst Conservation Seeds**  
8884 Mercer Pike  
Meadville, PA 16335  
(800) 873-3321 Fax (814) 336-5191  
[www.ernstseed.com](http://www.ernstseed.com)

Date: August 28, 2018

**Native Steep Slope Mix w/Grain Oats - ERNMX-181-1**

Botanical Name	Common Name	Price/lb
40.00 % <i>Avena sativa</i> , Variety Not Stated	Oats, Variety Not Stated	0.22
20.40 % <i>Sorghastrum nutans</i> , NY4 Ecotype	Indiangrass, NY4 Ecotype	12.90
8.10 % <i>Andropogon gerardii</i> , 'Niagara'	Big Bluestem, 'Niagara'	13.06
7.50 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
5.20 % <i>Elymus canadensis</i>	Canada Wildrye	12.87
4.50 % <i>Schizachyrium scoparium</i> , Fort Indiantown Gap-PA Ecotype	Little Bluestem, Fort Indiantown Gap-PA Ecotype	12.00
3.70 % <i>Tridax flavus</i> , Fort Indiantown Gap-PA Ecotype	Purpletop, Fort Indiantown Gap-PA Ecotype	18.78
3.00 % <i>Agropsis perennans</i> , Albany Pine Bush-NY Ecotype	Autumn Bentgrass, Albany Pine Bush-NY Ecotype	14.00
2.30 % <i>Panicum virgatum</i> , 'Shawnee'	Switchgrass, 'Shawnee'	7.51
1.10 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
1.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
0.80 % <i>Gallardia aridata</i>	Perennial Gallardia (Blanketflower)	32.00
0.80 % <i>Rudbeckia hirta</i>	Black-eyed Susan	20.00
0.70 % <i>Heliopsis helianthoides</i> , PA Ecotype	Oxeye Sunflower, PA Ecotype	42.00
0.40 % <i>Aster novae-angliae</i> , PA Ecotype	New England Aster, PA Ecotype	360.00
0.20 % <i>Asclepias syriaca</i> , PA Ecotype	Common Milkweed, PA Ecotype	196.00
0.20 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.10 % <i>Penstemon digitalis</i>	Tall White Beardtongue	160.00

**100.00 %** **Mix Price/lb Bulk: \$10.45**

**Seeding Rate:** 75 lb per acre  
Erosion Control & Revegetation

Use this formula with grain oats as a cover crop in the spring and summer (until September 1st). Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days.  
All prices are FOB Meadville, PA.  
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Date: August 28, 2018

**Native Steep Slope Mix w/Grain Rye - ERNMX-181-2**

Botanical Name	Common Name	Price/lb
40.00 % <i>Secale cereale</i> , Variety Not Stated	Grain Rye, Variety Not Stated	0.21
20.40 % <i>Sorghastrum nutans</i> , PA Ecotype	Indiangrass, PA Ecotype	10.60
8.10 % <i>Andropogon gerardii</i> , 'Niagara'	Big Bluestem, 'Niagara'	13.06
7.50 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
5.20 % <i>Elymus canadensis</i>	Canada Wildrye	12.87
4.50 % <i>Schizachyrium scoparium</i> , 'Camper'	Little Bluestem, 'Camper'	12.59
3.70 % <i>Tridax flavus</i>	Purpletop	18.56
3.00 % <i>Agropsis perennans</i> , Albany Pine Bush-NY Ecotype	Autumn Bentgrass, Albany Pine Bush-NY Ecotype	14.00
2.30 % <i>Panicum virgatum</i> , 'Shawnee'	Switchgrass, 'Shawnee'	7.51
1.10 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
1.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
0.80 % <i>Gallardia aridata</i>	Perennial Gallardia (Blanketflower)	32.00
0.80 % <i>Rudbeckia hirta</i>	Black-eyed Susan	20.00
0.70 % <i>Heliopsis helianthoides</i> , PA Ecotype	Oxeye Sunflower, PA Ecotype	42.00
0.40 % <i>Aster lateriflorus</i>	Calico Aster	320.00
0.30 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.20 % <i>Asclepias syriaca</i> , PA Ecotype	Common Milkweed, PA Ecotype	196.00

**100.00 %** **Mix Price/lb Bulk: \$9.88**

**Seeding Rate:** 75 lb per acre  
Erosion Control & Revegetation

Use this formula with grain rye as a cover crop (from August 1st-February 15th). Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

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Date: August 28, 2018

**Rain Garden Mix - ERNMX-180**

Botanical Name	Common Name	Price/lb
31.50 % <i>Schizachyrium scoparium</i> , Albany Pine Bush-NY Ecotype	Little Bluestem, Albany Pine Bush-NY Ecotype	12.02
20.00 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
10.00 % <i>Carex vulpinoidea</i> , PA Ecotype	Fox Sedge, PA Ecotype	24.00
10.00 % <i>Panicum virgatum</i> , Coastal Plain NC Ecotype	Redtop Panicgrass, Coastal Plain NC Ecotype	48.00
5.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
3.00 % <i>Coreopsis imbricata</i>	Lanceleaf Coreopsis	24.00
3.00 % <i>Rudbeckia hirta</i>	Black-eyed Susan	20.00
2.00 % <i>Carex scoparia</i> , PA Ecotype	Blunt Broom Sedge, PA Ecotype	72.00
2.00 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
2.00 % <i>Eupatorium coelestium</i> , VA Ecotype	Mastflower, VA Ecotype	128.00
2.00 % <i>Heliopsis helianthoides</i> , PA Ecotype	Oxeye Sunflower, PA Ecotype	42.00
2.00 % <i>Penstemon digitalis</i> , PA Ecotype	Tall White Beardtongue, PA Ecotype	160.00
1.00 % <i>Asclepias incarnata</i> , PA Ecotype	Swaroop Milkweed, PA Ecotype	160.00
1.00 % <i>Juncus effusus</i>	Soft Rush	40.00
1.00 % <i>Juncus tenuis</i> , PA Ecotype	Peeli Rush, PA Ecotype	66.00
1.00 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.80 % <i>Aster novae-angliae</i> , PA Ecotype	New England Aster, PA Ecotype	360.00
0.70 % <i>Aster laevis</i> , NY Ecotype	Smooth Blue Aster, NY Ecotype	300.00
0.50 % <i>Rudbeckia fulgida</i> var. <i>fulgida</i> , Northern VA Ecotype	Orange Coneflower, Northern VA Ecotype	300.00
0.50 % <i>Senna hebecarpa</i> , VA & WV Ecotype	Wild Senna, VA & WV Ecotype	24.00
0.40 % <i>Monarda fistulosa</i> , Fort Indiantown Gap-PA Ecotype	Wild Bergamot, Fort Indiantown Gap-PA Ecotype	160.00
0.30 % <i>Pycnanthemum tenuifolium</i>	Narrowleaf Mountainmint	140.00
0.30 % <i>Solidago juncea</i> , PA Ecotype	Early Goldenrod, PA Ecotype	280.00

**100.00 %** **Mix Price/lb Bulk: \$37.29**

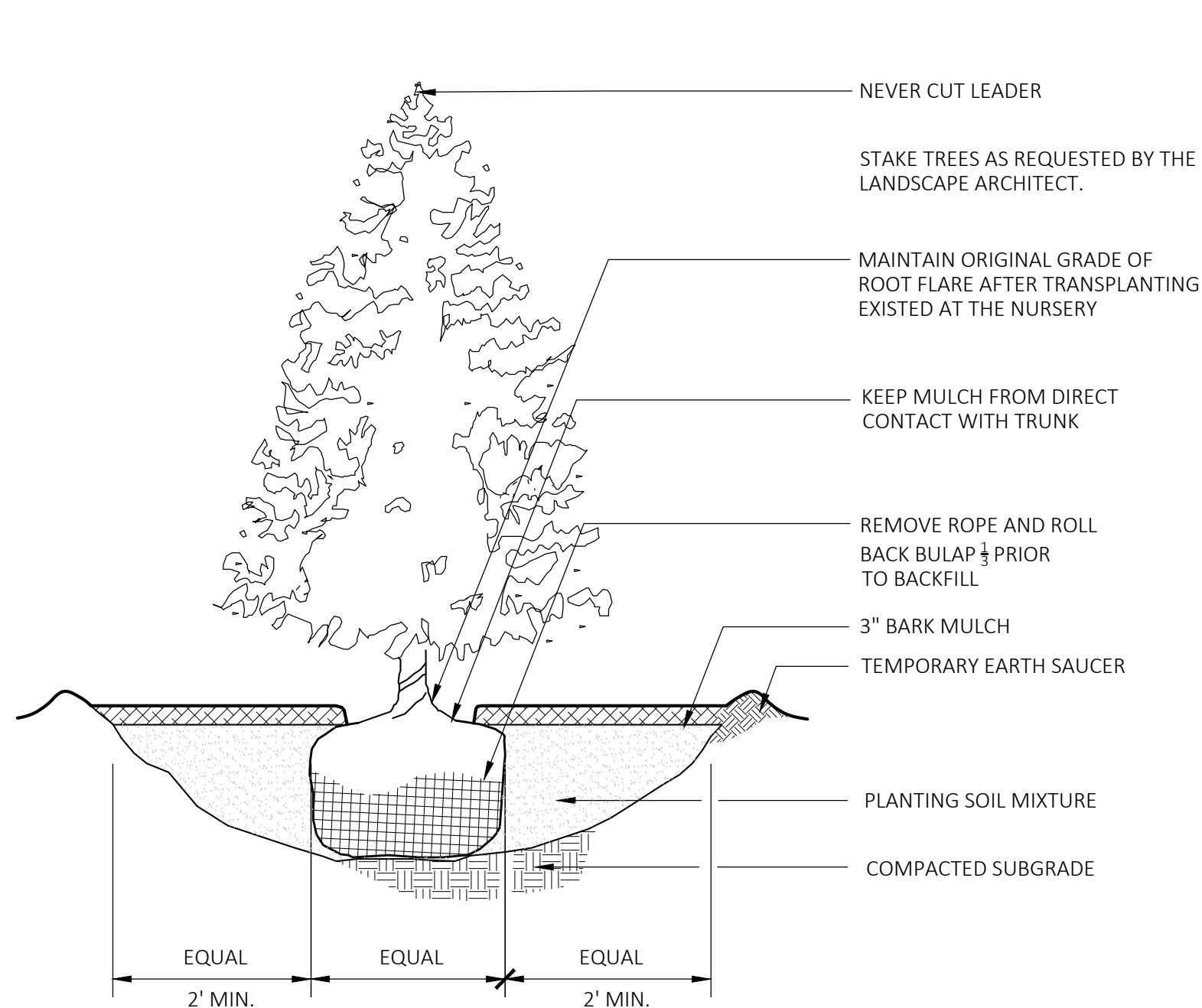
**Seeding Rate:** 20 lb per acre with a cover crop of grain rye at 30 lb per acre  
Uplands & Meadows

The native perennial forbs and grasses provide food and cover for rain garden biodiversity. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

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## 1 SEED MIX 1 - NATIVE STEEP SLOPES (SPRING)

SCALE: N.T.S.

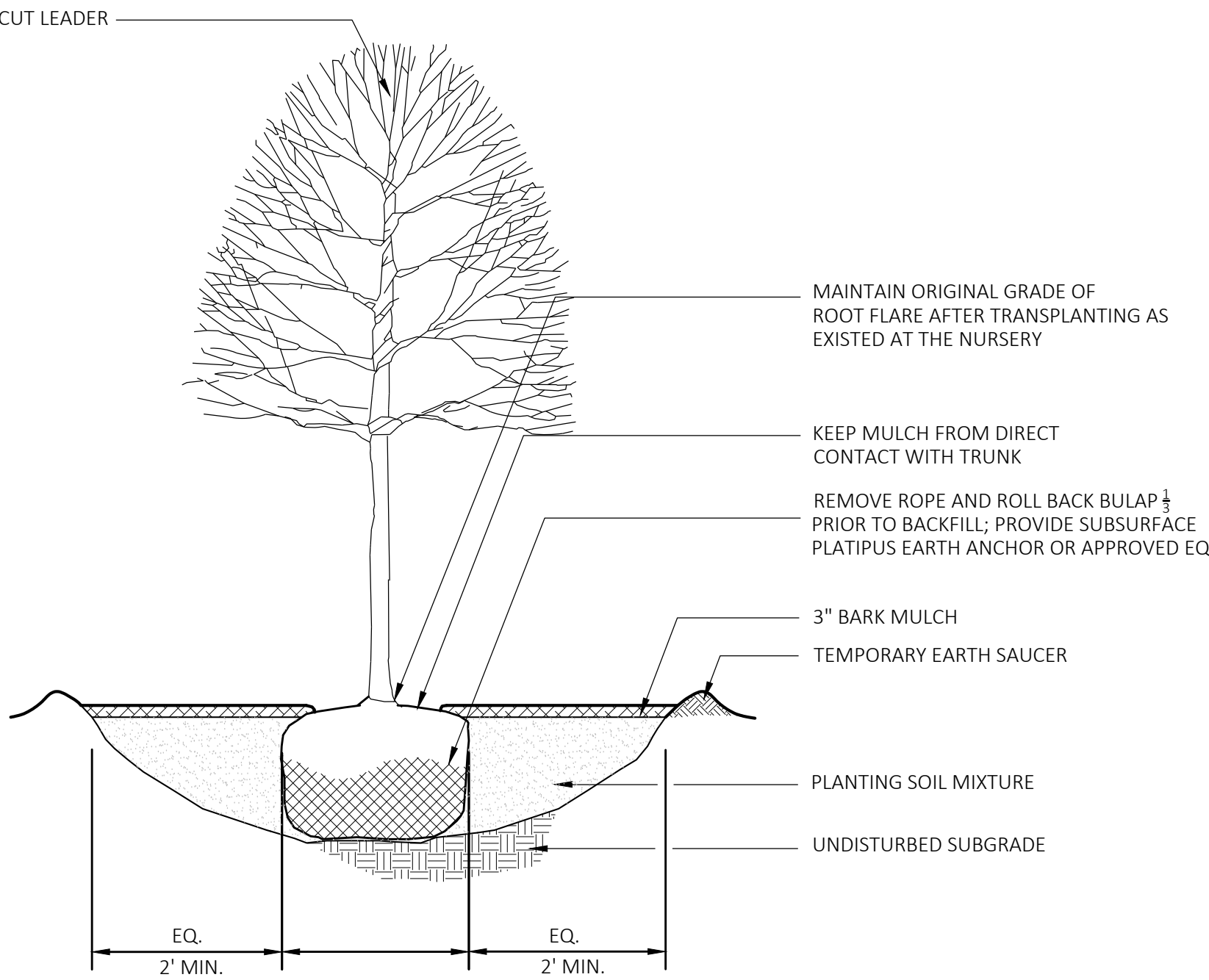


## 4 EVERGREEN TREE PLANTING

SCALE: N.T.S.

## 2 SEED MIX 1 - NATIVE STEEP SLOPES (FALL)

SCALE: N.T.S.

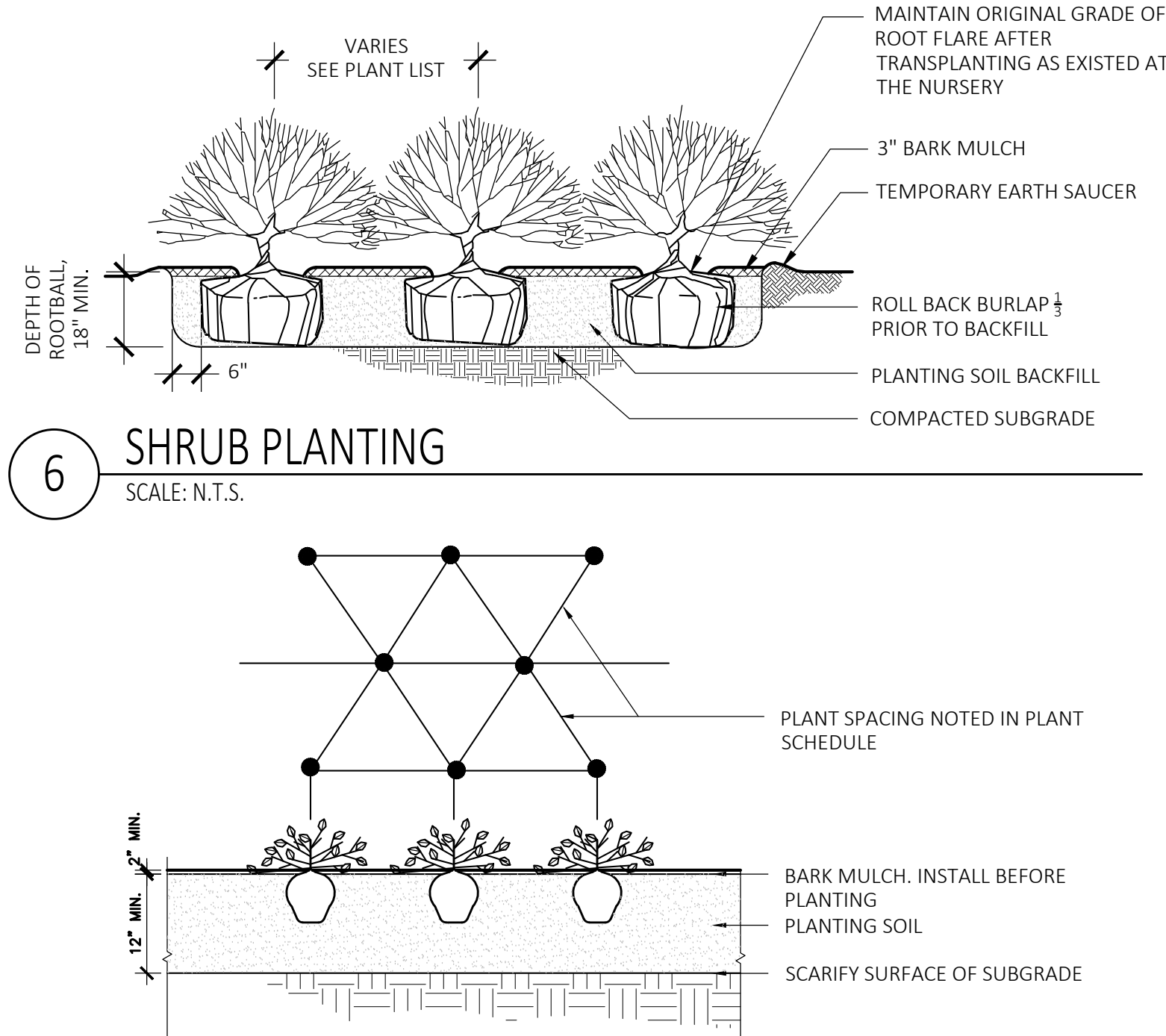


## 5 DECIDUOUS TREE PLANTING

SCALE: N.T.S.

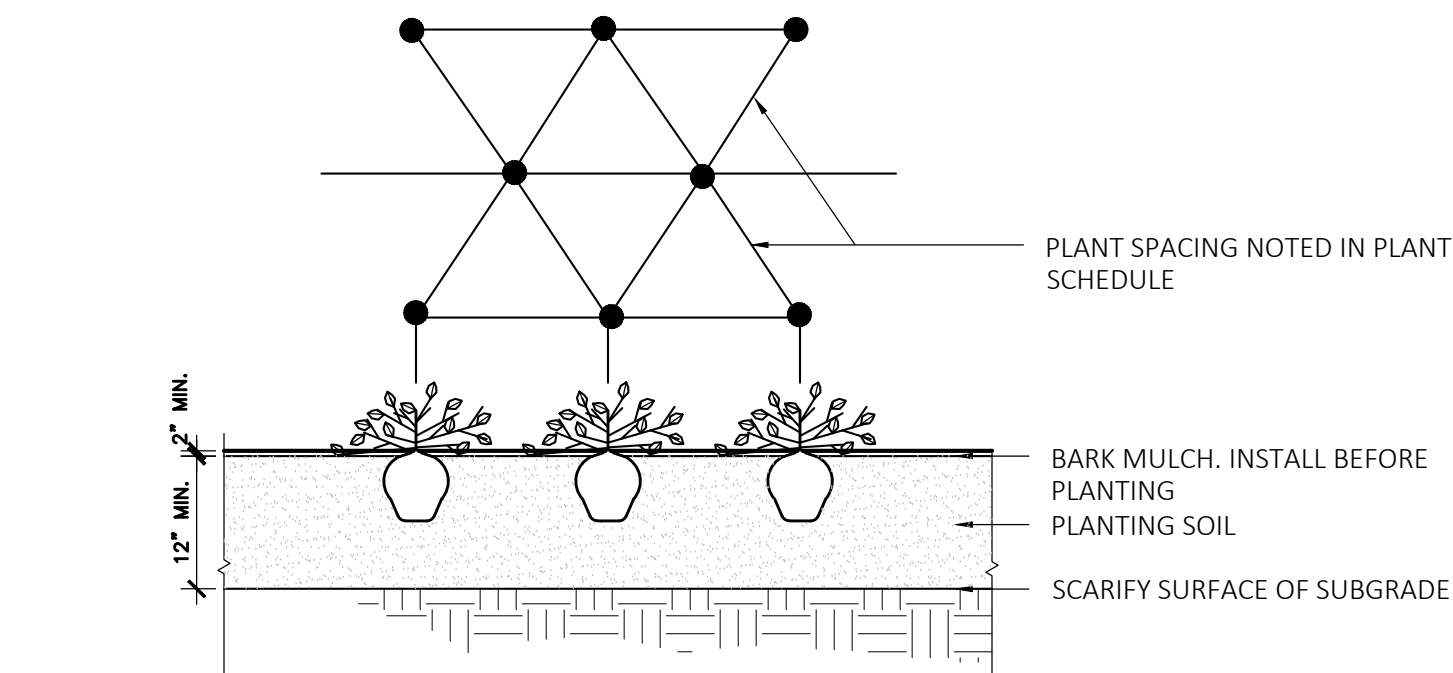
## 3 SEED MIX 2 - RAIN GARDEN MIX

SCALE: N.T.S.



## 6 SHRUB PLANTING

SCALE: N.T.S.



## 7 GROUNDCOVER PLANTING

SCALE: N.T.S.

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WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA

STAMP

REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PLANTING  
SCHEDULE &  
DETAILS

DRAWN:  
NC  
CHECKED:  
AS NOTED  
SCALE:  
AS NOTED  
DATE:  
5/11/2023

SHEET 16 OF 24

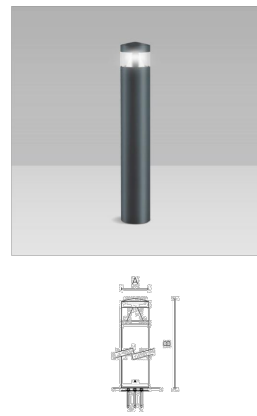


plot date: 7/17/2023



Boillard lights	Generated on: 03-22-2023 7:54 pm	Arcluce
Project		
TYPE		
Catalog#		
NOTES		

## KLOU180 large

Arcluce Code	S-KL0203US-125	Installation <a href="#">instructions</a>	IES photometry <a href="#">↓</a>
Code Ref.	0871001D-830-12US		

	<b>TECHNICAL INFORMATION</b> <p><b>Light source:</b> LED, 3000K, CRI&gt;80</p> <p><b>Light efficiency:</b> 73lm/W</p> <p><b>Power luminaire:</b> 20W, 1400lm</p> <p><b>LED life time:</b> &gt; 40000h - L80 - B20 (Ta 25°C)</p> <p><b>High colour constancy:</b> &lt; 3 SDCM</p> <p><b>Wiring:</b> 120-277V 60Hz DIMM</p> <p><b>Optics:</b> radial</p> <p><b>Color:</b> Black - 12</p> <p><b>Weight:</b> 24.0lb</p> <p><b>Size:</b> A: 8" 7" 14 B: 3" 3" 3"</p>	IP66 IK09   215 F°
<b>Construction</b> <ul style="list-style-type: none"> <li>Die-cast aluminum body (EN 47100).</li> <li>Extruded aluminum pole.</li> <li>Double layer polyester powder paint resistant to corrosion and salt spray fog.</li> <li>Silicone rubber gaskets.</li> <li>ANSI 316 stainless steel external screws.</li> </ul>	<b>Listings</b> <ul style="list-style-type: none"> <li>UL certified to U.S. and Canadian standards, suitable for wet locations (UL wet mark).</li> <li>Suitable for mounting within 1.2 m (4 ft) of ground.</li> <li>Fitted IP66 per EN60598.</li> <li>Luminaire rated for -40°C minimum ambient temperature on selected model variants.</li> <li>High quality LED sources characterized according to IES TM-30, with high color consistency &gt;3SDCM and long useful life (40000 hours at L80).</li> </ul>	
<b>Electrical &amp; Optics</b> <ul style="list-style-type: none"> <li>Universal input-voltage: 120-277V 50/60Hz.</li> <li>0-10V dimming available.</li> <li>Wiring on removable galvanized steel tray.</li> <li>High-efficiency LEDs with standard 3000K, 4000K (2700K or other CCT's available on request).</li> <li>Reflector made of anodized aluminum with non-reflectant specular finishing.</li> <li>UV rays stabilized, 800° glow wire test resistant, V2 self-extinguishing clear polycarbonate screen.</li> </ul>	<b>Installation</b> <ul style="list-style-type: none"> <li>Surface installation.</li> <li>Die-cast aluminum base (EN 47100) for anchoring with rebar/pigs.</li> <li>Supplied with steel base plate and 4 shaped anchor bolts.</li> <li>Available on request zinc-plated steel pillar for reinforced anchoring.</li> <li>Supplied with power cord (15AWG conductors).</li> </ul>	

Arcluce North America Inc. 333 Bush Street - San Francisco, CA 94104 - Ph: +1 (408) 655-6275 - <a href="mailto:export@arcluce.com">export@arcluce.com</a>	See accessories in the next page
<a href="http://arcluce-us.com">arcluce-us.com</a>	

## 1 BL1

SCALE: N.T.S.

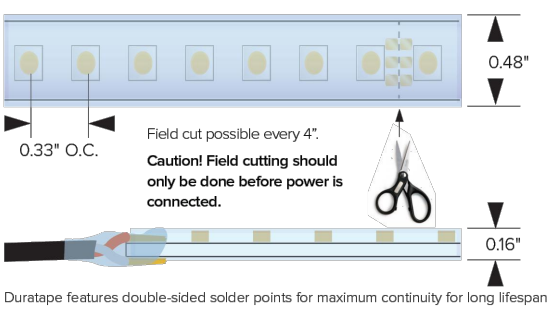


### KEY FEATURES

- Energy efficient high/mid-low output, narrow spaced essential white LED flexible linear light strip for continuous consistent color in linear applications.
- Ideal for IP66 exterior cove, under-counter/kabinet, lighting accents.
- Complete with enclosed silicone jacket for outdoor rated IP66, sold per foot.
- Features 2 circuit substrate for optimum heat dissipation, minimizing voltage drop while increasing run lengths per power feed, standardizing electrical flow over entire length of the strip for maximum product reliability.
- Features double sided solder joints for maximum conductivity and durability.
- Pre-assembled to specific lengths with various connector options for project requirements and efficient power configuration.
- Max continuous length:
  - up to 30' per run (5.9W/ft)
  - up to 22' per run (3.9W/ft)
  - up to 19' per run (3.9W/ft)
  - up to 19' per run (4.4W/ft)

- Multiple dimming options available.

### DIMENSIONAL DRAWINGS



### DESIGN INSTALLATION EXAMPLES



PRODUCT CODE	INTENSITY	WATTAGE	IP RATING	COLOR TEMP	CRI	VOLTAGE	END FERR	MOUNTING	POWER SUPPLY
DL - Duratape®	ES - Essential	15 - 15W/ft	0 - Outdoor IP66	27 - 2700K	HC - +95 CRI	24 - 24VDC			
		30 - 30W/ft							
		39 - 3.9W/ft							
		44 - 4.4W/ft							

**QUICK SHIP** 0358002W24-05 (5'xUNCL-05)  
0358002W24-06 (5'xUNCL-06)  
0358002W24-08 (5'xUNCL-08)  
0358002W24-09 (5'xUNCL-09)  
0358002W24-10 (5'xUNCL-10)

* Lead time for quick ship follows a 1-2 weeks from processed PO date. Contact factory for quantities of over 10000 to confirm lead time.

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## 5 WL3

SCALE: N.T.S.

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

### FEATURES

- Low profile LED available luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots.
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues.
- Visual comfort standard.
- Compact and lightweight design with low EPA.
- 3G rated for high vibration applications including bridges and overpasses.
- Control options including photo control, occupancy sensing, NX Distributed Intelligence® and 2-Fm with networked controls.
- Best in class surge protection available.



### CONTROL TECHNOLOGY



### SPECIFICATIONS

#### CONSTRUCTION

- Recycler form mimics the traditional shedder form factor keeping a similar but updated style and appearance, ideal for retrofit applications.

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface.
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish.

#### OPTICS

- Entire optical aperture illuminates to create a target luminous surface area resulting in a low glare appearance without sacrificing optical performance.
- 80, 90, 120 or 480 midpower LEDs.
- 3000K, 4000K or 5000K (0 CRI) CCT.
- Zero output at 0 degrees of tilt.
- Field rotatable optics.

#### INSTALLATION

- Standard square arm mount, compatible with B3 anti pattern.
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Kruecke arm filler option available for 3/8" CD torso. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options).

#### ELECTRICAL

- Universal 120-277 VAC or 3/47-480 VAC input voltage, 50/60 Hz.
- Ambient operating temperature: -40°C to 40°C.
- Drivers have greater than 90% power factor and less than 20% THD.
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery.
- Field replaceable surge protection device provides 20KA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location category C3. Automatically takes failure offline for protection when voltage is compromised.
- 3G rated for ANSI C136.31 high vibration applications.
- Future is IP66 rated.
- Meets DA recommendations using 3K CCT configuration at 0 degrees of tilt.

#### CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control.
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photoccontrols or wireless control modules (control accessories sold separately).
- 0-10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 1" standard.

#### WARRANTY

- 5 year limited warranty.

KEY DATA	
Lumen Range	3,000-48,000
Wattage Range	25-340
Efficiency Range (LPW)	118-155
Fixture Projected Life (hours)	L70-60K
Weights lbs. (kg)	13.5-24 (6.1-10.9)

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BIA_Ratio_SSS-B_Spec_R01

Current

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DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

### FEATURES

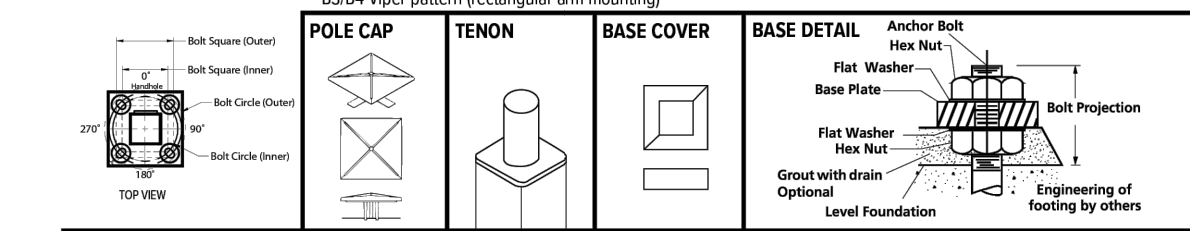
- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location.
- SHAFT: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM A500, Grade B). Longitudinal weld seam to appear flush with shaft side steel. Steel base plate with steel bolt circle slots welded flush to pole shaft having minimum yield of 36,000 psi (ASTM A36).
- BASE COVER: Two-piece square aluminum base cover included standard.
- POLE CAP: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available.
- HAND HOLE: Rectangular 3ds steel hand hole frame (2.38" x 4.38" opening). Mounting provisions for grounding lug located behind gasketed cover.
- ANCHOR BOLTS: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554); Galvanized hardware with two washers and two nuts per bolt for leveling.
- Anchor bolt part numbers: 3/4 x 30 x 3 - TAB-30-M3B  
1 x 36 x 4 - TAB-36-M3B

#### FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness.
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method.
- Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable.

#### WAREHOUSE STOCKED POLES:

- SS3040-40A-4H-08-RDC, SS3125-40A-4H-08-RDC and SS3030-50B-4H-08-RDC.
- The HV designation in the above catalog numbers is a combination drill pattern of the Current S2 pattern and the Beacon B3/B4 Viper pattern (rectangular arm mounting).



#### ORDERING INFORMATION

ORDERING EXAMPLE: SSS-B - 25 - 40 - A/B/C - 2L - B3 - BLT - UL

DRIVES	HEIGHT	SHAFT	THICKNESS	MOUNTING	FINISH	OPTIONS
SSS-B Square Body, Steel Pole, Beacon	Ordering page 1 Ordering page 2	Ordering page 1 Ordering page 2	Ordering page 2 Ordering page 3	1 Single arm mount 2 Two fixtures at 90° 2L Two fixtures at 90° 3L Three fixtures at 90° 4 Four fixtures at 90° TA Tenon (2.38" OD x 4" Tall) TB Tenon (2.88" OD x 4" Tall) TC Tenon (3.1" OD x 3" Tall) TR Removable Tenon (2.375 x 4.25) OT Open Top (h=clashes both cap)	BLT Black Matte Textured D8T Dark Bronze Matte Textured D8S Dark Bronze Gloss Smooth ETT Graphite Matte Textured LES Light Gray Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Textured VGT Verde Green Textured CC Custom Color	GR 24 Ang GFC Receptacle and Cover EWH Extra Hardware COR 0° Coating COP 30° Coating COP 70° Coating HMP Mid-power Luminaire Bracket VMW 2nd mode vibration detector LAB Less Anchor Bolts UL UL Certified

- Removable tenon used in conjunction with side arm mounting. First specify tenon and configuration followed by the "TR" notation. Example: **WHS-B3-BLT-OT-18-RHT**
- Specify option location using only first, third or page 2 (Options Overlaid)
- WIP recommendation on page 27 available with B3/B4 fixtures.

**ACCESSORIES - Order Separately**

Catalog Number	Description
UWT	30 Mode Wireless Detector
WMSXX	2nd mode vibration detector

Current

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Rev 05/2023  
[export_order_email_beacon_R01](mailto:export_order_email_beacon_R01)

## 3 SL3, SL4, SL4-2 POST

SCALE: N.T.S.

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

### FEATURES

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount.
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house side, reducing light trespass issues.
- Visual comfort standard.
- Control options including photo control, occupancy sensing, NX Distributed Intelligence®, Wiscapex and 2-Fm with networked controls.
- Battery Backup options available for emergency code compliance.
- Quick-mount adapter allows easy installation/maintenance.
- 347V and 480V versions for industrial applications and Canada.



### CONTROL TECHNOLOGY



#### CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface.
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish.
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating.

#### OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance.
- 48 or 160 midpower LEDs.
- 3000K, 4000K or 5000K (0 CRI) CCT.
- Zero uplight distributions.
- LED optics provide IES type I, II and IV distributions. Type IV only available in RWL2 configurations.

#### INSTALLATION

- Quick mount adapter provides easy installation to wall or to recessed junction boxes (if square junction box).
- Designed for direct 1 box mount.
- Integral back box contains 1/2" conduit hubs.
- Integral back box standard with Dual Driver, Dual Power Feed, NX, Wiscapex and battery versions (battery versions for RWL only).

#### ELECTRICAL

- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers.
- 347V and 480V dimmable driver option for all wattages above 30W.
- Ambient operating temperature -40°C to 40°C.
- Driver RWL4S and IP66.

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Page 1 of 7  
Rev 05/2023  
[Ratio_Order_Email_R01](mailto:Ratio_Order_Email_R01)

KEY DATA	
Lumen Range	1,300-8,000
Wattage Range	10-155
Efficiency Range (LPW)	110-148
Weights lbs. (kg)	6.5/1.5 (2.9/0.7)

## 4 WL1, WL4

SCALE: N.T.S.

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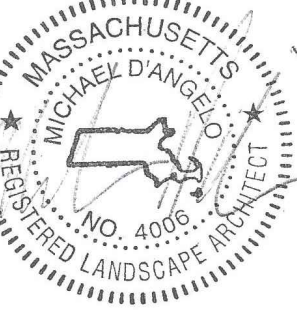
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PROJECT  
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### STAMP



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

LIGHTING  
SCHEDULE &  
CUT SHEETS








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AS NOTED	
DATE: 5/11/2023	

SHEET 17 OF 24

plot date: 7/17/2023

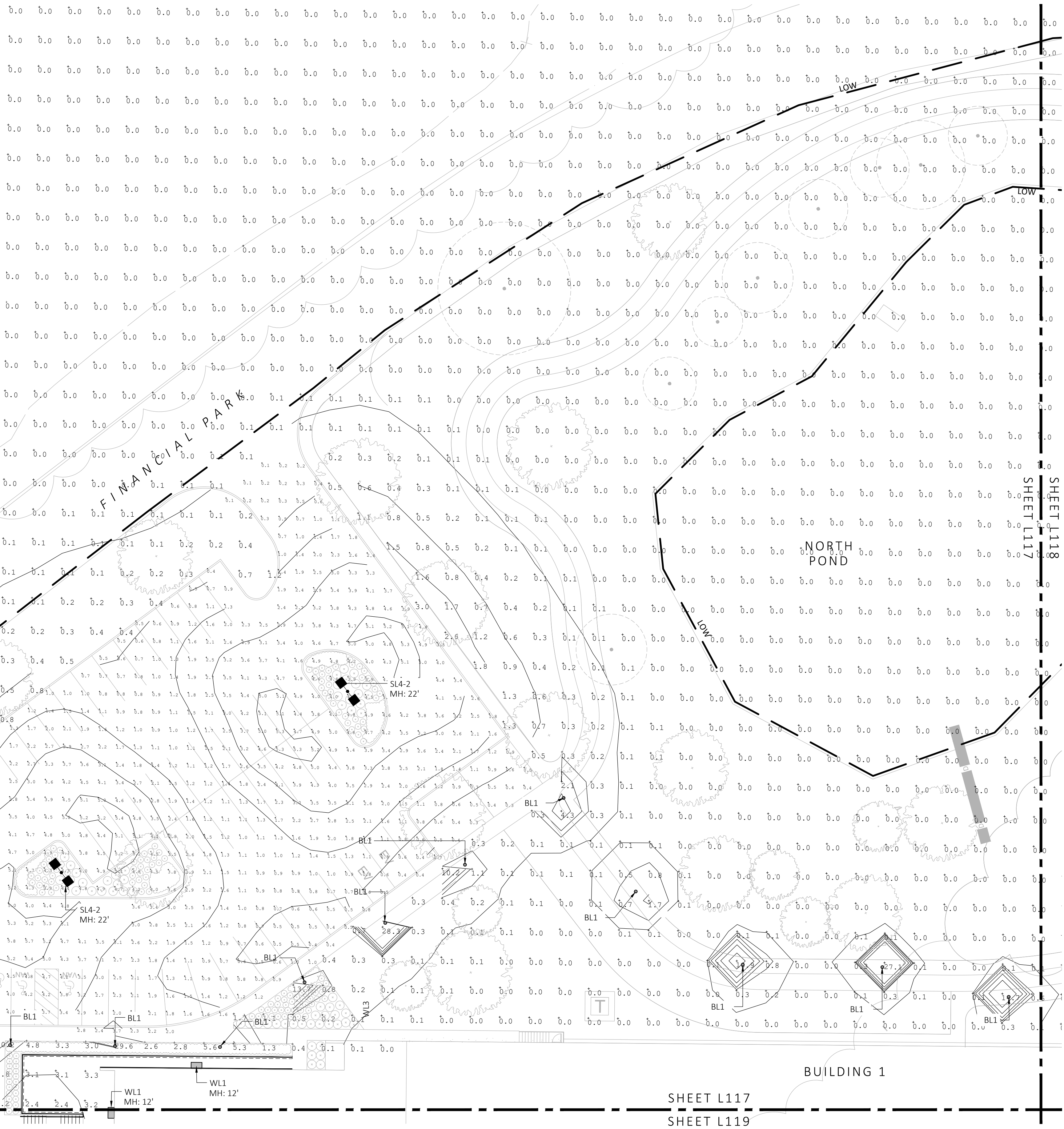


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LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



1 PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"

MDLA

MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC

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SUITE 201A  
BOSTON, MA 02127  
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REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

DRAWN:  
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SCALE:  
AS NOTED

DATE:  
5/11/2023

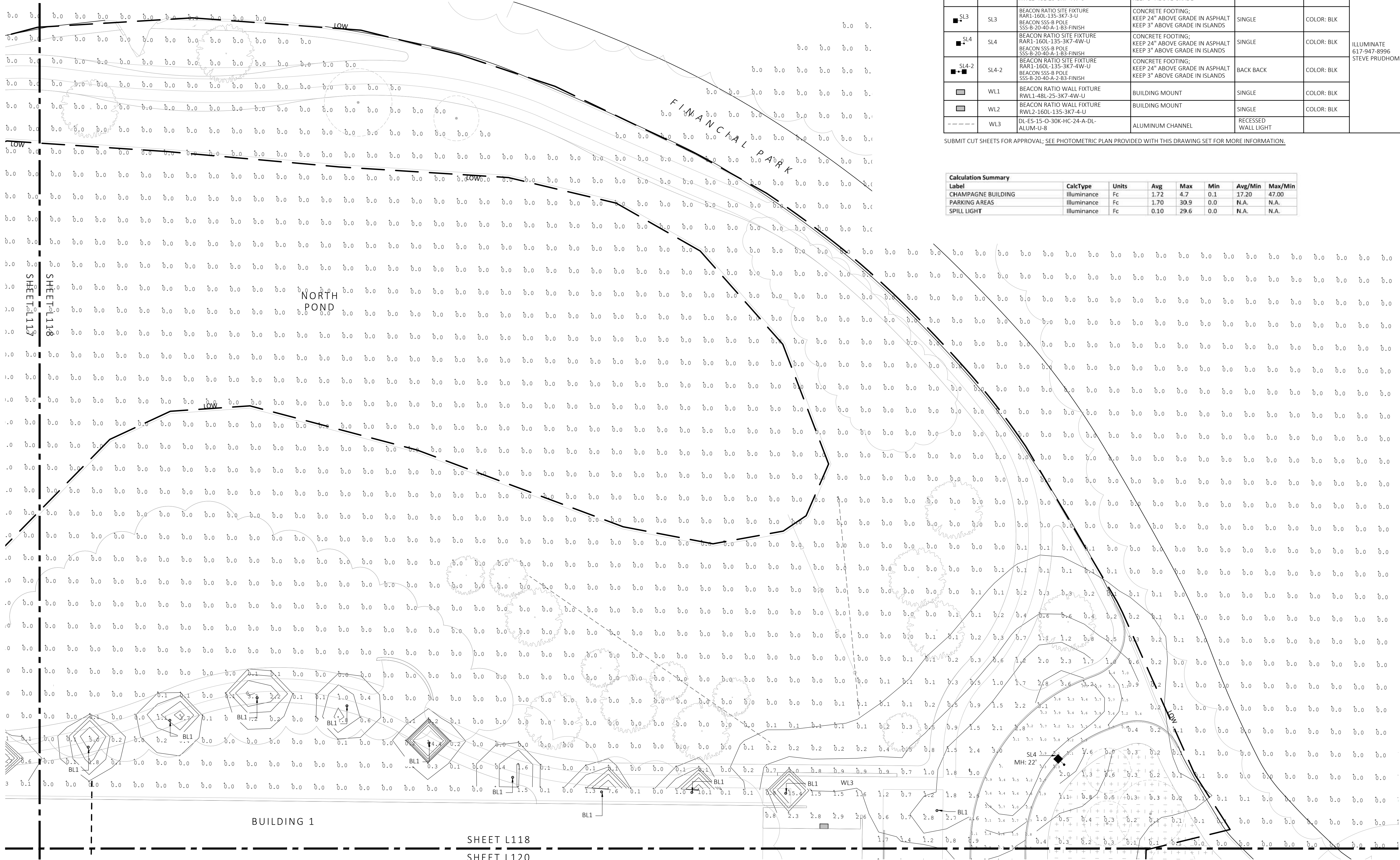
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SHEET 18

OF 24

plot date: 7/17/2023





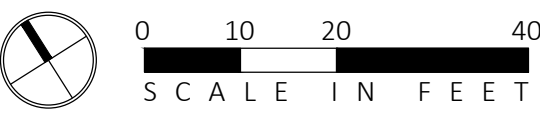
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LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-8 POLE SS-B-20-40-A-1-B5-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-8 POLE SS-B-20-40-A-1-B5-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-8 POLE SS-B-20-40-A-2-B5-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	Illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	Illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	Illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.

1 PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"



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FRANKLIN, MA

STAMP

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NC

CHECKED:  
AS NOTED

SCALE:  
AS NOTED

DATE:  
5/11/2023

PHOTOMETRIC  
PLAN

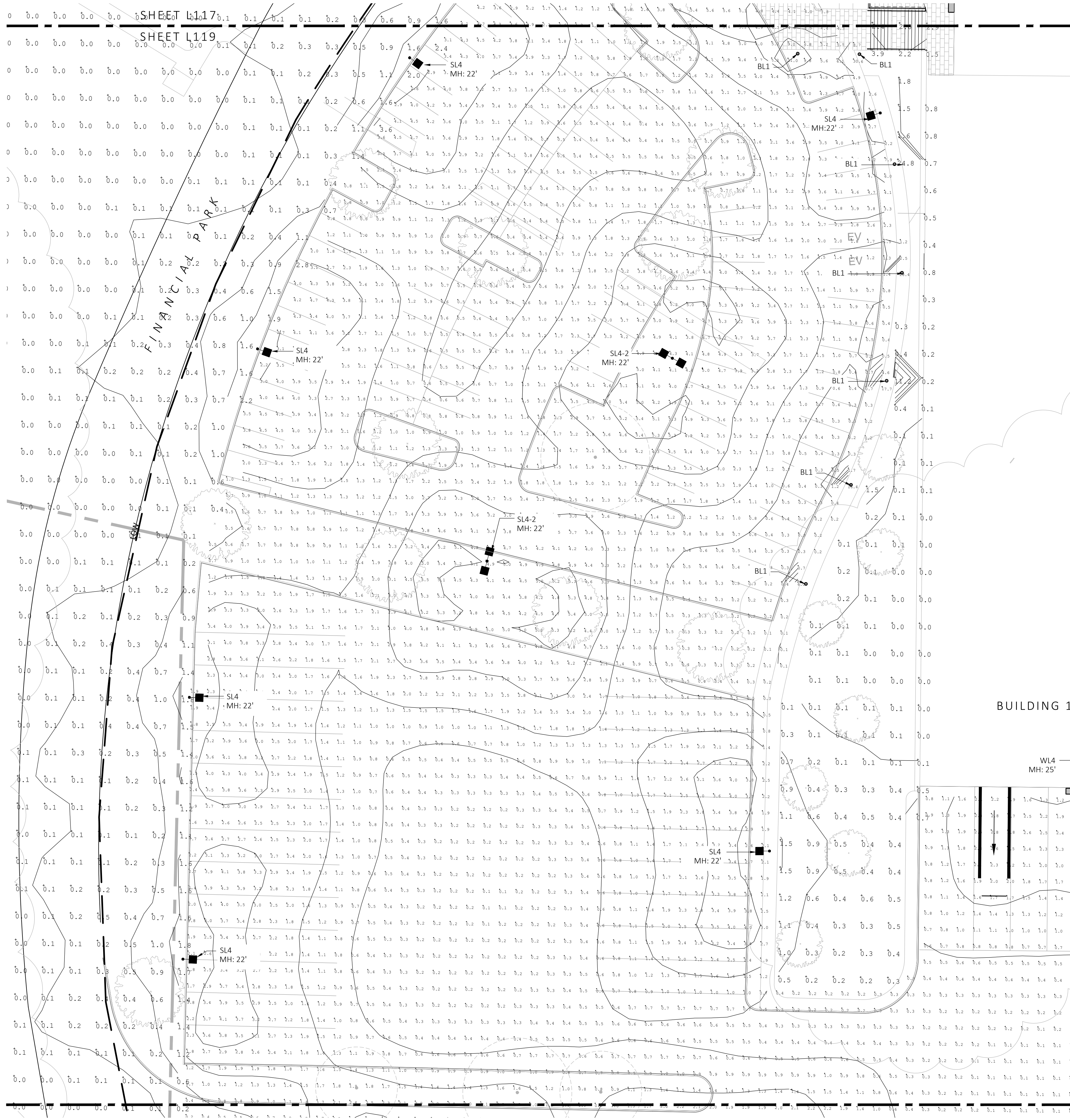
SHEET 19 OF 24

plot date: 7/17/2023

L118



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NOT FOR CONSTRUCTION**



LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■ SL3	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4-U BEACON SSS-B POLE SSS-P-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■ SL4	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-P-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■ SL4-2	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-P-20-40-A-2-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL3	DL-ES-15-O-30K HC-24-A-DL-ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	Illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	Illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	Illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.

BUILDING 1

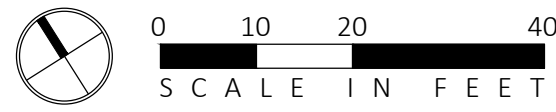
MH: 25'

WL4 —  
MH: 25'

SHEET L119

SHEET 121

1 PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"



PROJECT	WAREHOUSE / INDUSTRIAL DEV. 100 / 200 FINANCIAL PARK FRANKLIN, MA
CLIENT	BERKELEY PARTNERS 1 WASHINGTON MALL, SUITE 701 BOSTON, MA

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MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE

840 SUMMER STREET  
SUITE 201A

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SUITE 201A  
BOSTON, MA 02127  
t. 203.592.4788  
www.m-d-l-a.com

STAMP



REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PHOTOMETRIC  
PLAN

DRAWN:  
NO

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SCALE:

DATE:

SHEET 20 OF 24

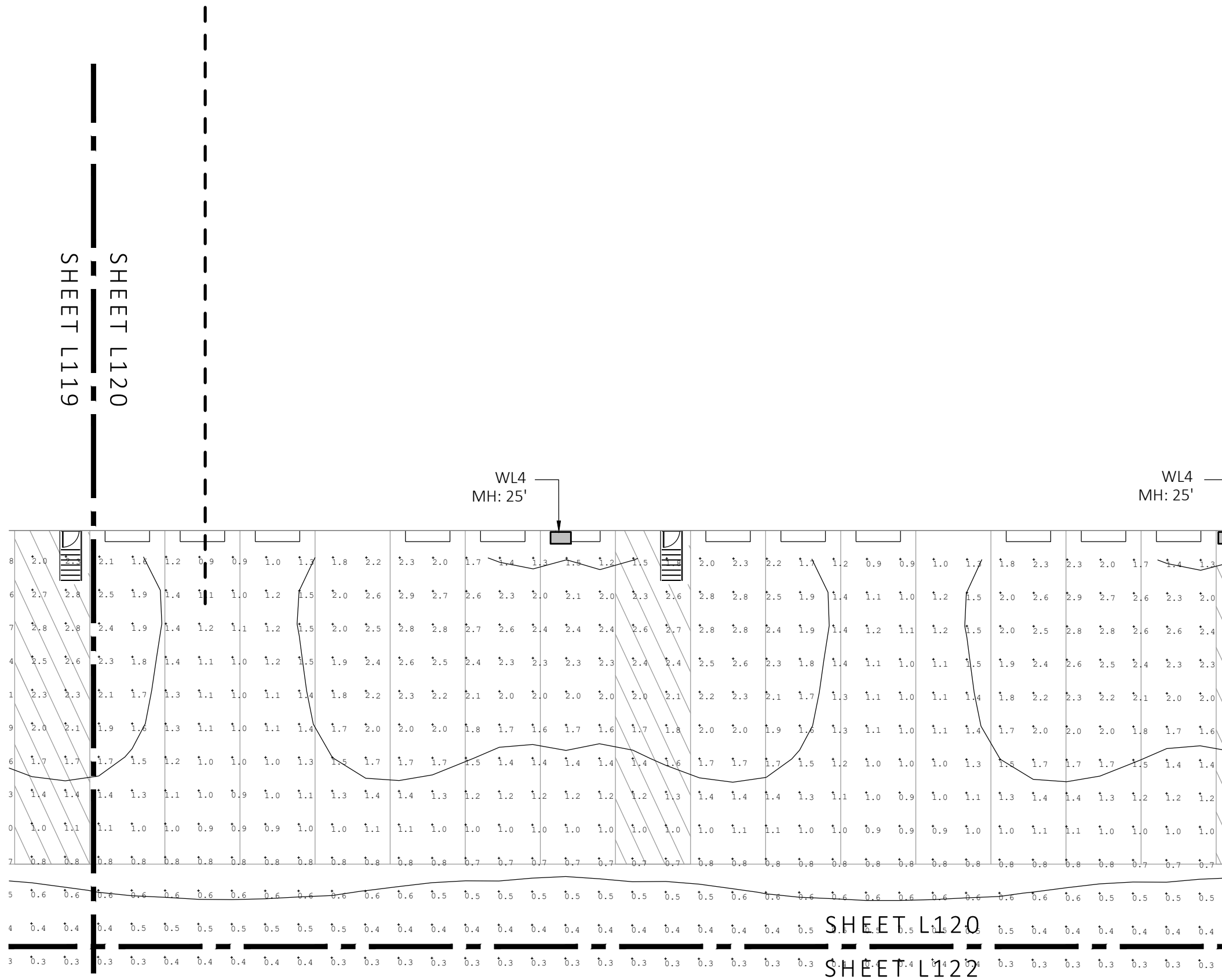
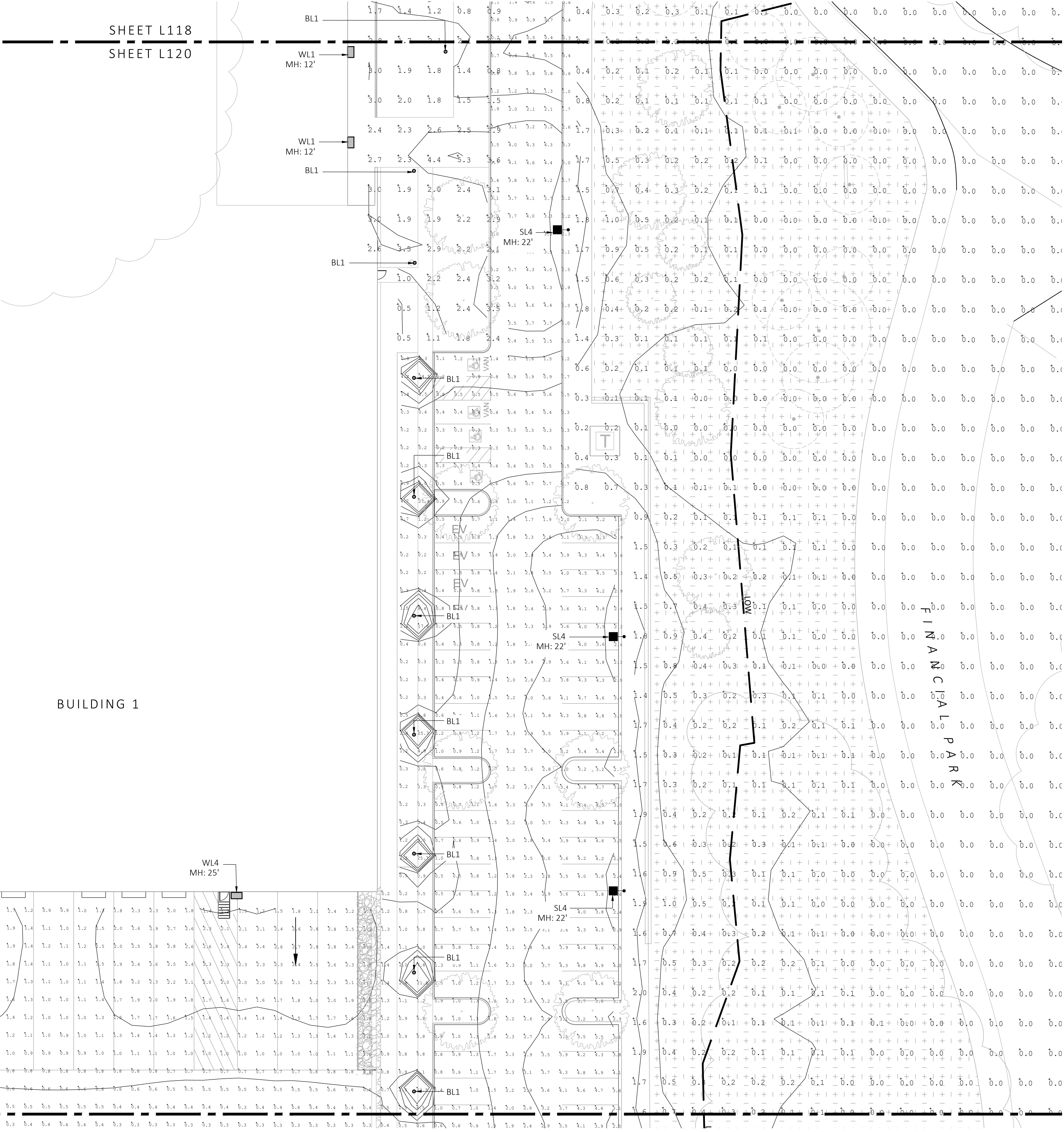
plot date: 7/17/2023



LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■ SL3	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■ SL4	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■ SL4-2	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■ WL1	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■ WL2	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■ WL3	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	Illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	Illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	Illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



1 PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"

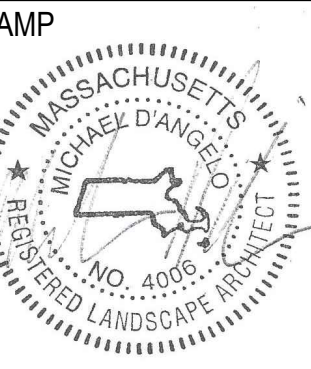
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CLIENT  
BERKELEY PARTNERS  
1 WASHINGTON MALL, SUITE 701  
BOSTON, MA

PROJECT  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA



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AS NOTED  
SCALE:  
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5/11/2023

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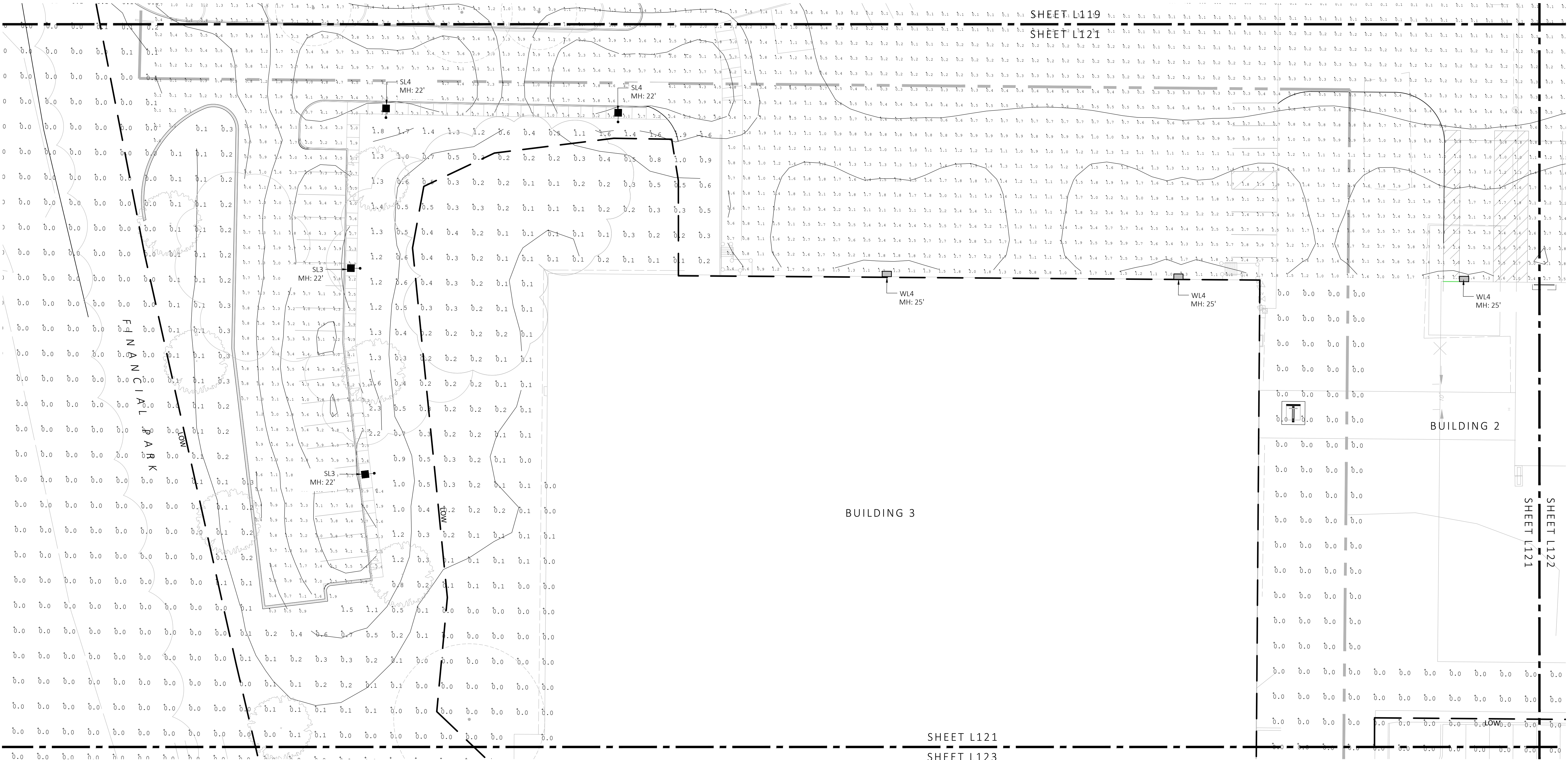


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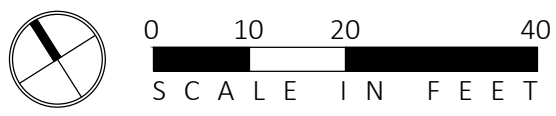
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	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK
	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK
	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK
	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK
	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT	

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SHEET 22

OF 24

plot date: 7/17/2023





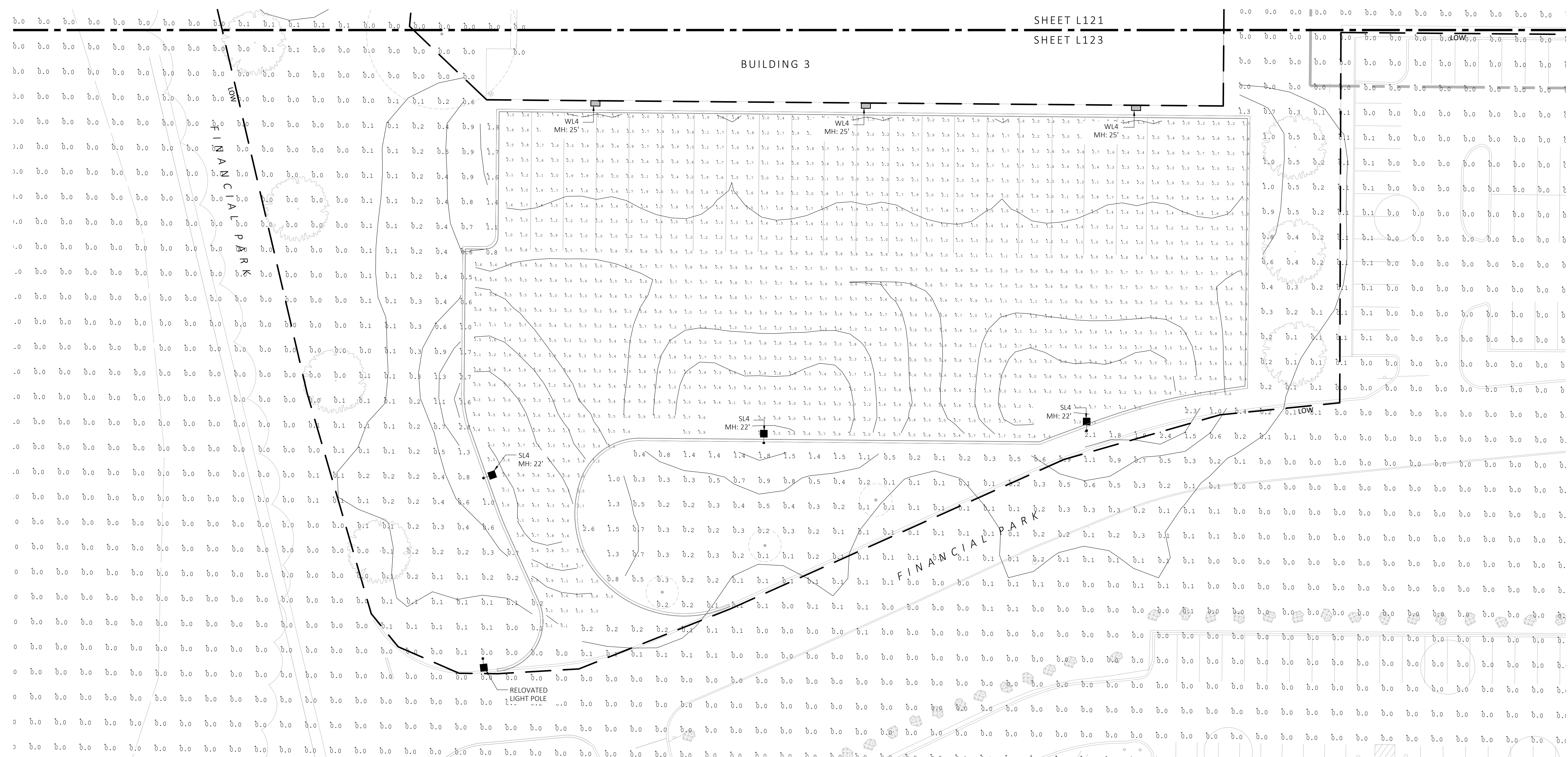


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■ SL4	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■ SL4-2	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
▢	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
▢	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
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