

ASSESSOR REFERENCE:

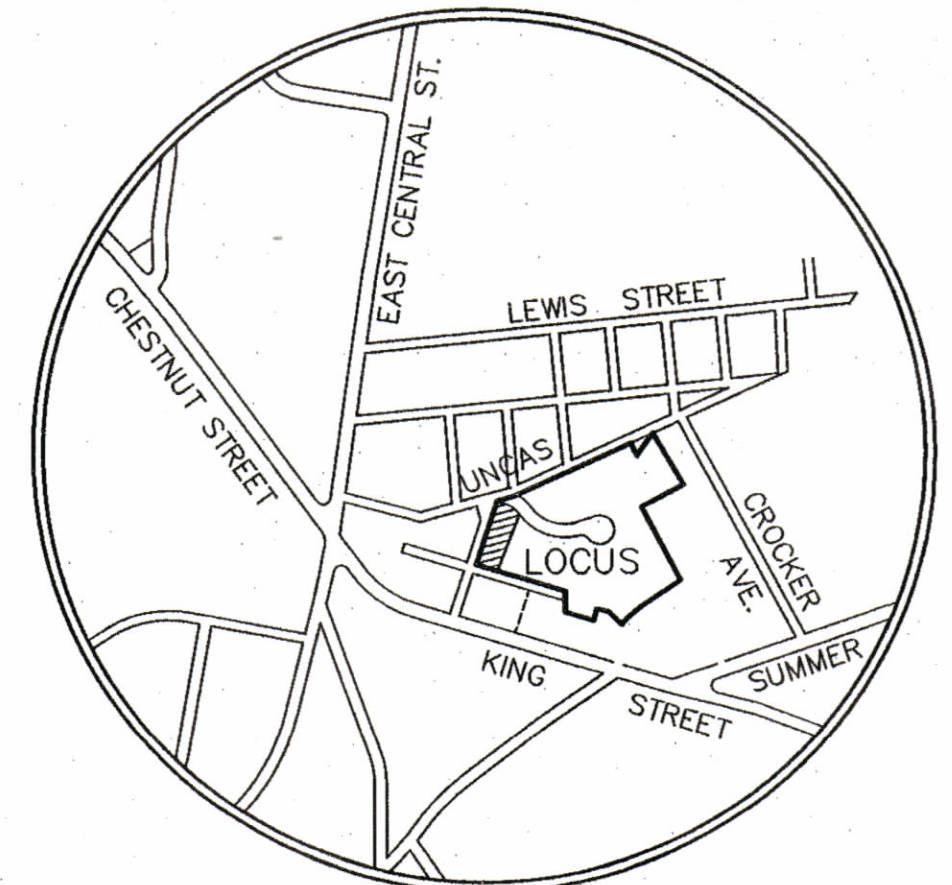
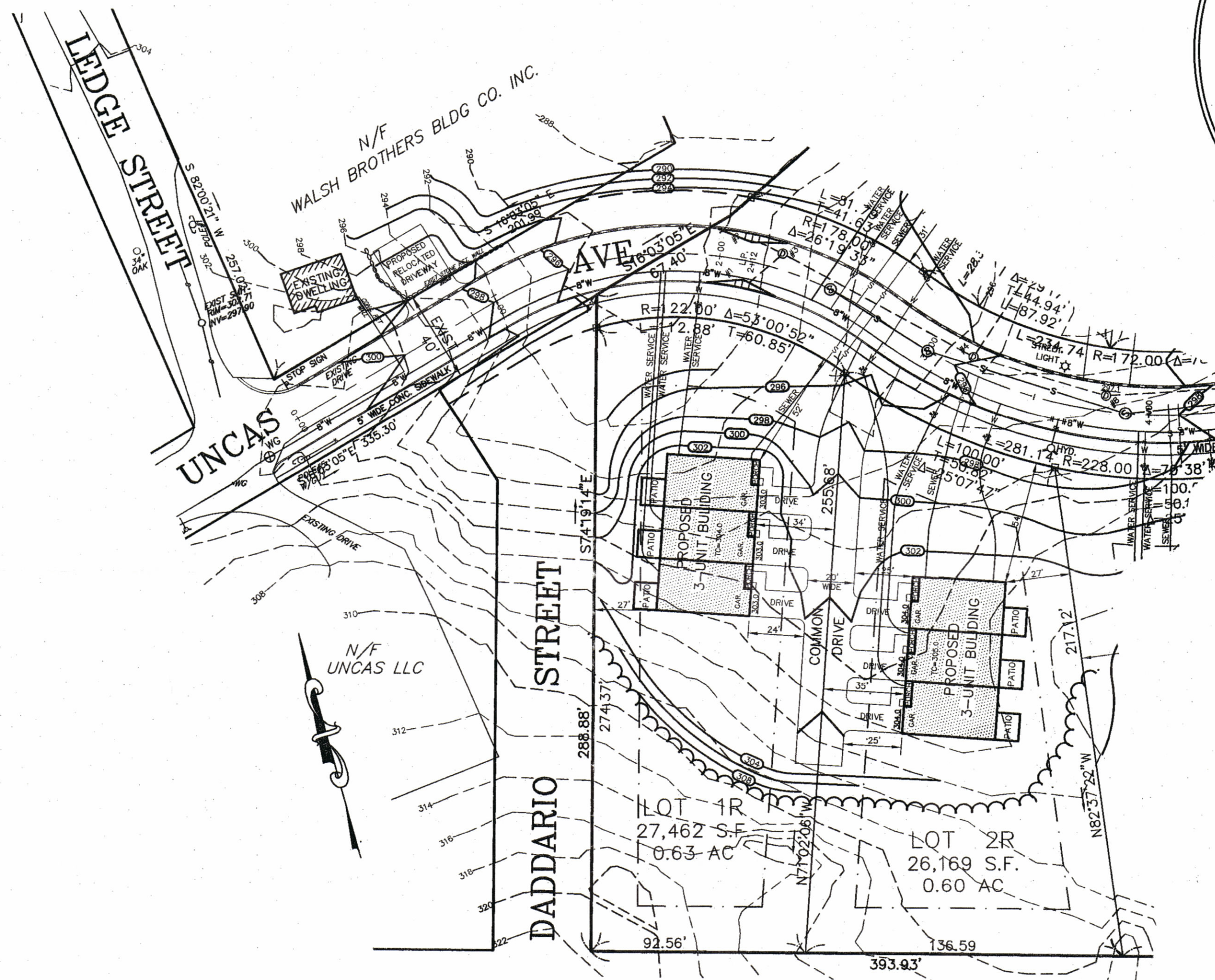
PARCEL ID:
285-078-009 8
285-078-009

OWNER:

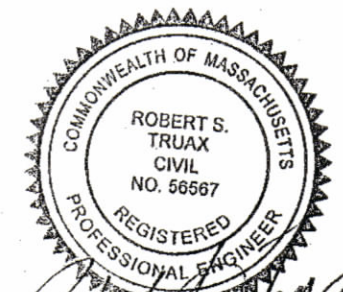
WALSH BROTHERS BUILDING CO. INC.
11 SADDLE WAY
WALPOLE, MA 02081

ZONING CLASSIFICATION

SINGLE FAMILY IV
LOT AREA(Single Family): 15,000 S.F.
LOT AREA(Multi Family): 18,750 S.F.
LOT FRONTAGE: 100'
LOT DEPTH: 100'
LOT WIDTH: 90' DIA.
FRONT SETBACK: 30'
SIDE SETBACK: 20'
REAR SETBACK: 20'



LOCUS MAP
SCALE: 1" = 800'

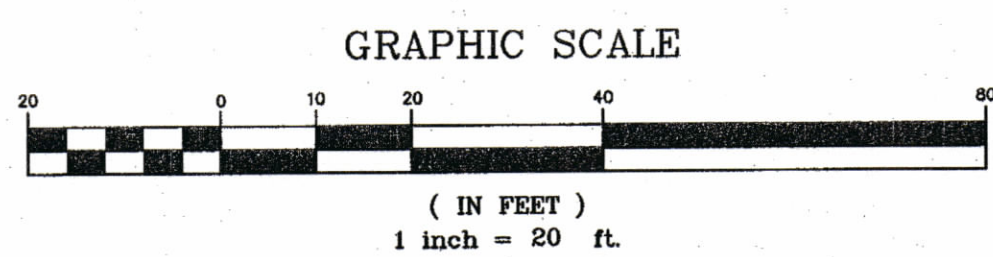


Robert S. Truax 8/27/23

TOWN OF FRANKLIN
TOWN CLERK

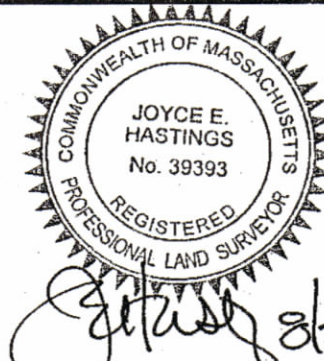
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19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100 F: 508-429-7160
www.GLMengineering.com

FLD.:
DRW.:
CHKD.:



Joyce E. Hastings 8/29/23

PROPOSED HOUSE LOCATION PLAN
LOTS 1R & 2R - UNCAS AVE. EXTENSION
FRANKLIN, MASSACHUSETTS
APPLICANT:
J. WALSH CORPORATION
55 LAVENDER LANE
WALPOLE, MA 02081

JOB No. 11,528
DATE: AUG. 29, 2023
SCALE: 1"=40'
SHEET: 1 of 1

20,493