

\_\_\_\_\_ FOR \_\_\_\_\_

**PROPOSED  
INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II**

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## SITE CIVIL AND CONSULTING ENGINEERING

- LAND SURVEYING
- PROGRAM MANAGEMENT
- LANDSCAPE ARCHITECTURE
- SUSTAINABLE DESIGN
- PERMITTING SERVICES
- TRANSPORTATION SERVICES

## REVISIONS

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**PROJECT No.:** W211057  
**DRAWN BY:** NPD  
**CHECKED BY:** RMM  
**DATE:** 02/01/2022  
**CAD I.D.:** W211057-CVL-0 - USE

**PROJECT:**

**PROPOSED SITE  
PLAN DOCUMENTS**

FOR \_\_\_\_\_

**TMC HOLDINGS &  
DEVELOPMENT 2, LLC**

**PROPOSED  
INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA**

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**352 TURNPIKE ROAD**  
**SOUTHBOROUGH, MA 01772**  
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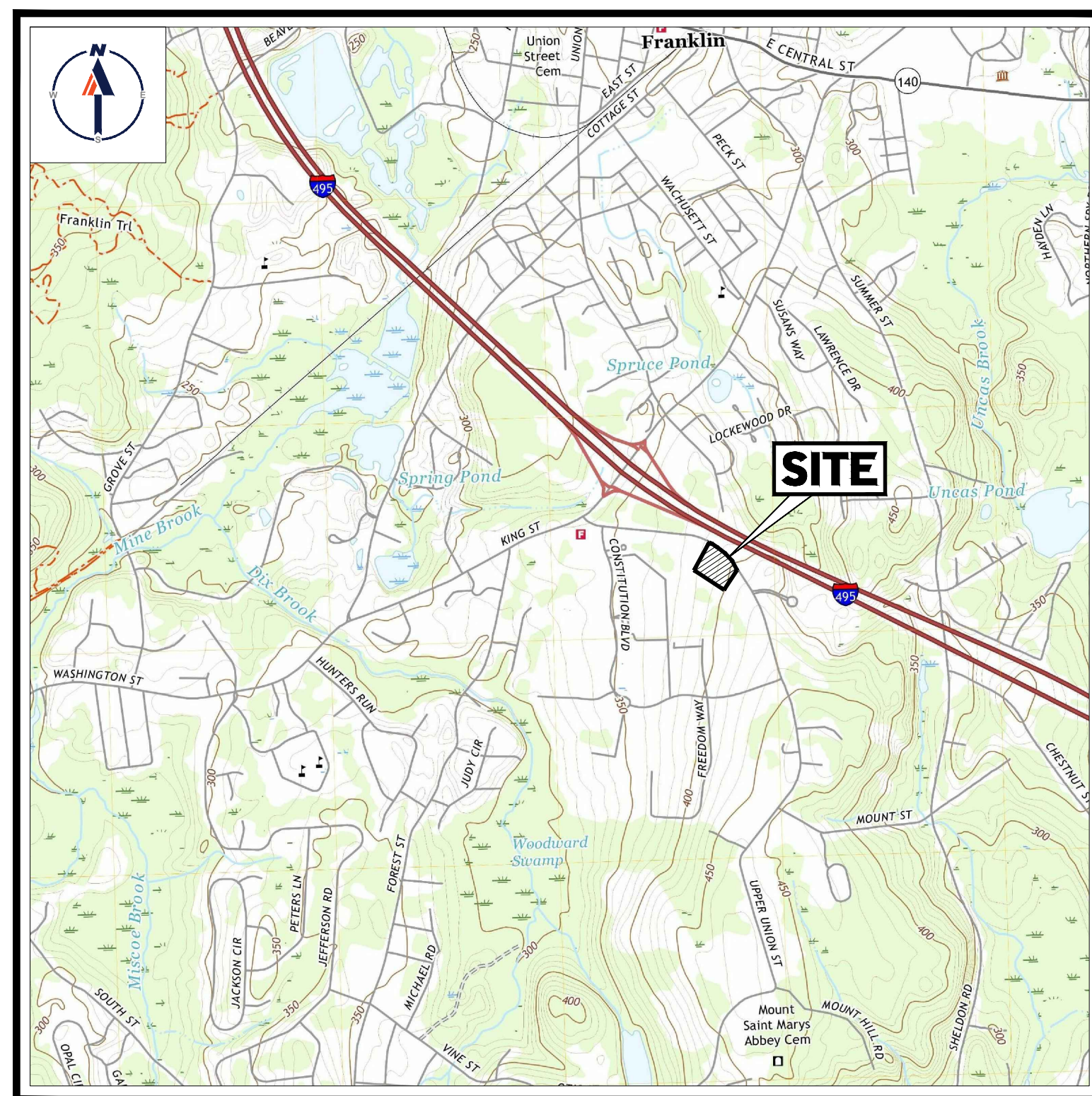
**SHEET TITLE:**

# COVER SHEET

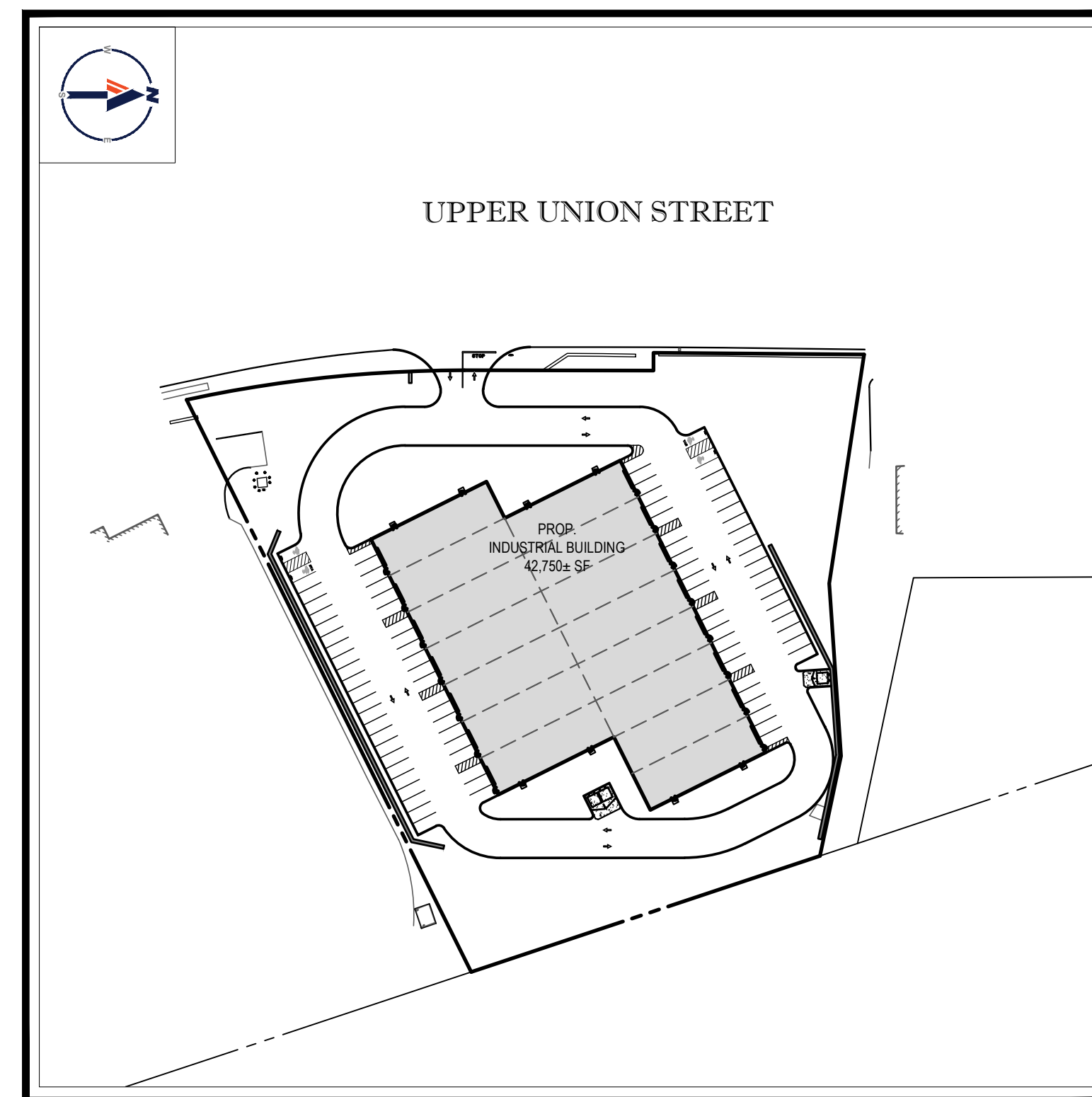
**SHEET NUMBER:**

**C-101**

ORG. DATE - 02/01/2022

**USGS MAP**

SCALE: 1" = 2,000'  
SOURCE: USGS



## ***SITE MAP***

SCALE: 1" = 100'

**PREPARED BY**

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CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

[illegible]

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL EXCAVATE AND VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATING WITH ALL AFFECTED AGENCIES AND UTILITIES PRIOR TO CONSTRUCTION.

- [illegible]

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
- 1. "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21.
  - 2. "ALTANSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 05/14/21.
2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
6. PRIOR TO STARTING ANY DEMOLITION, THE CONTRACTOR IS RESPONSIBLE FOR/TO:
- A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHTOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
  - B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
  - C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.
  - E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
  - H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.
7. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
8. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
9. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. THE CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTORS REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.
10. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
11. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.
12. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
13. CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.
14. CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
15. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
16. THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL AIR QUALITY STANDARDS. AFTER THE DEMOLITION IS COMPLETE, CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION CONDITION."
17. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
18. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
19. THE CONTRACTOR IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE "MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES" TO BE USED TO ACCOMPLISH THE WORK. ALL "MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES" TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
20. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
21. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
- ## ADA INSTRUCTIONS TO CONTRACTOR:
- CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (ACCESSIBLE) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA AND STATE ARCHITECTURAL ACCESS BOARD STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ADA AND/OR ARCHITECTURAL ACCESS BOARD CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
  - CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.

**\* DOORWAYS - MUST HAVE A LEVEL LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR LESS). THIS REQUIREMENT DOES NOT APPLY TO DOORS LOCATED IN AREAS WHERE THERE IS AN EXISTING CURB OR OTHER ELEVATION PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICCANSI A117-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)**

**\* WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF RO TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN SPECIFIES A MINIMUM CLEARANCE HEIGHT BARRIER RAMP SURFACES. IN RARE CIRCUMSTANCES, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS. IN WRITING, BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL OBTAIN APPROVAL OF ANY CHANGES TO THE STANDARD REQUIREMENTS. ALL CORRECTIONS TO THE STANDARD REQUIREMENTS MUST BE IN ACCORDANCE WITH THE ADA REQUIREMENTS.**

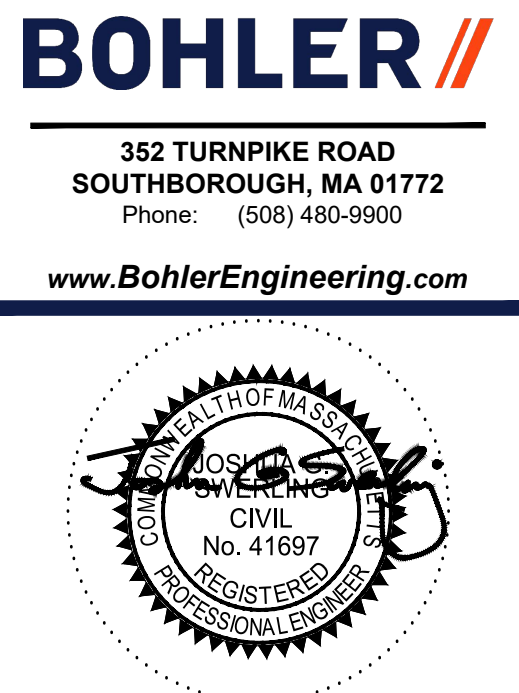
**\* THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMFORMING CONCRETE.**

**IT IS STRONGLY RECOMMENDING THAT THE CONTRACTOR REVIEW THE INTERIOR FINISH CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.**

TYPICAL LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	SETBACK
	EASEMENT
	CURB
	STORM MANHOLE
	SEWER MANHOLE
	CATCH BASIN
	WETLAND FLAG
	WETLAND LINE
	SPOT ELEVATION
	TOP & BOTTOM OF CURB
	CONTOUR
	FLOW ARROW
	PAINTED ARROW
	RIDGE LINE
	GAS LINE
	TELEPHONE LINE
	ELECTRIC LINE
	WATER LINE
	OVERHEAD WIRE
	STORM PIPE
	SANITARY LINE
	PARKING COUNT
	SIGN
	LIGHT POLE
	GUIDE RAIL
	UTILITY POLE

**REFER TO LIGHTING PLAN FOR  
TYPICAL LIGHTING NOTES AND TABLES**

PERMIT SET	
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PROJECT NO.:	W211057
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DATE:	02/01/2022
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PROJECT:	
<div><div></div><div><b>PROPOSED SITE PLAN DOCUMENTS</b></div></div>	
<div><div></div><div><b>FOR</b></div></div>	
<div><div></div><div><b>TMC HOLDINGS &amp; DEVELOPMENT 2, LLC</b></div></div>	
<div><div></div><div><b>PROPOSED INDUSTRIAL DEVELOPMENT</b></div></div>	
<div><div></div><div><b>UNION STREET BUSINESS PARK II MAP #314, BLOCK #20, LOT #1 839 UPPER UNION STREET CITY OF FRANKLIN NORFOLK COUNTY, MA</b></div></div>	



**C-102**

ORG. DATE - 02/01/2022





TM

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SITE CIVIL AND CONSULTING ENGINEERING

- LAND SURVEYING
- PROGRAM MANAGEMENT
- LANDSCAPE ARCHITECTURE
- SUSTAINABLE DESIGN
- PERMITTING SERVICES
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PLAN DOCUMENTS**

\_\_\_\_\_ FOR \_\_\_\_\_

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**PROPOSED  
INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA**

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**SHEET TITLE:**

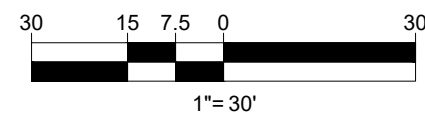
## DEMOLITION PLAN

**SHEET NUMBER:** \_\_\_\_\_

## C-201

ORG. DATE - 02/01/2022



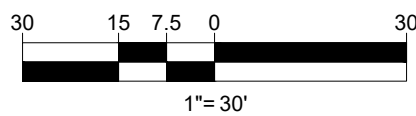


(1) BUILDINGS UP TO 60 FEET IN HEIGHT MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

**C-301**

ORG. DATE - 02/01/2022



[illegible]

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**PROPOSED SITE  
PLAN DOCUMENTS**

**- FOR**

**PROPOSED  
INDUSTRIAL DEVELOPMENT**

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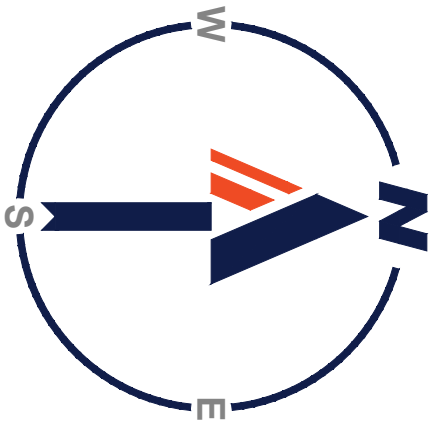


SHEET NUMBER

# C-401

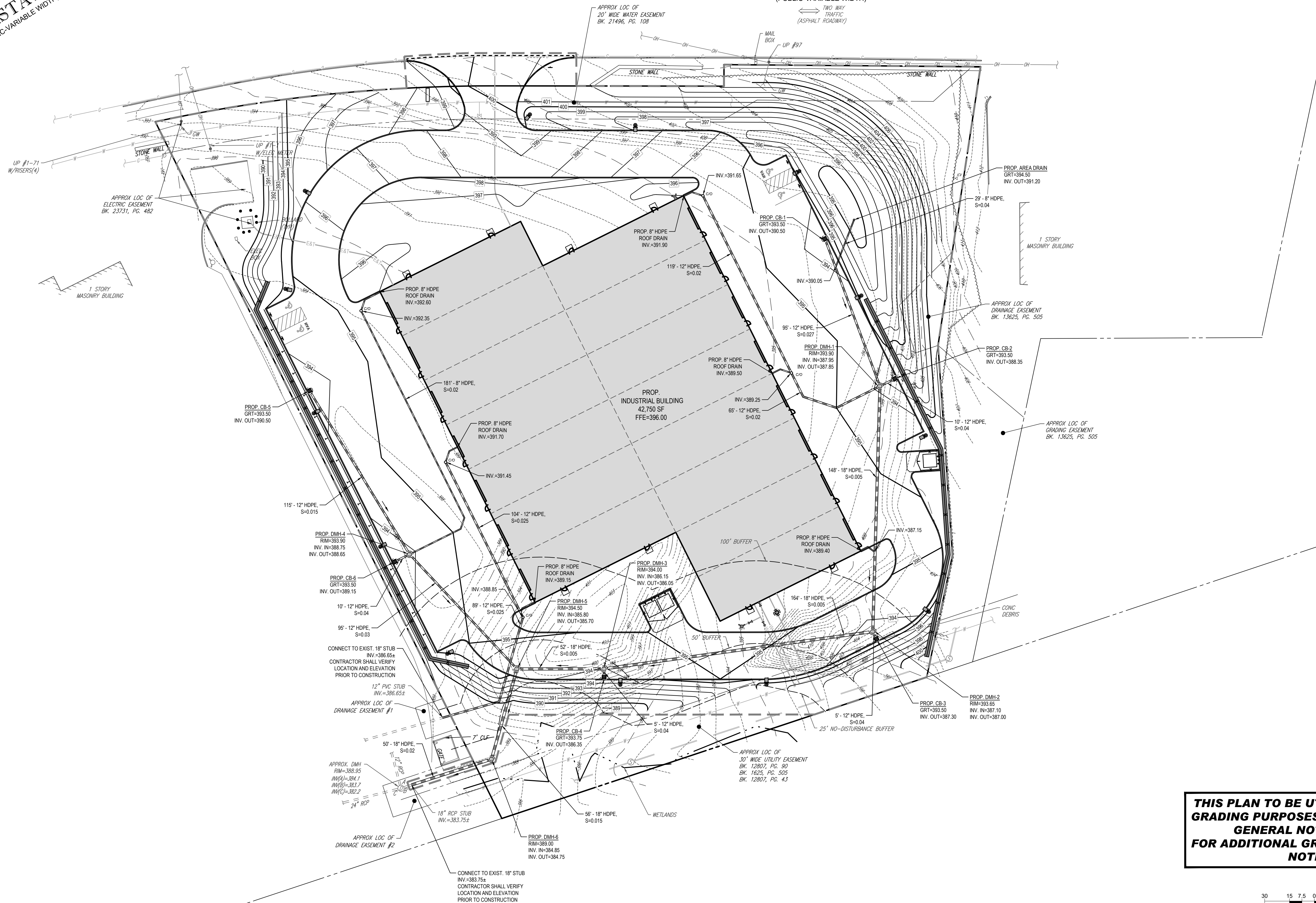
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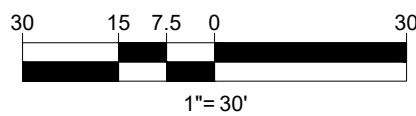


INTERSTATE 495  
(PUBLIC-VARIABLE WIDTH)

UPPER UNION STREET  
(PUBLIC-VARIABLE WIDTH)



THIS PLAN TO BE UTILIZED FOR SITE  
GRADING PURPOSES ONLY. REFER TO  
GENERAL NOTES SHEET  
FOR ADDITIONAL GRADING & UTILITY  
NOTES



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING

PROGRAM MANAGEMENT

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NORFOLK COUNTY, MA

BOHLER

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SHEET TITLE:  
DRAINAGE  
PLAN

SHEET NUMBER:  
C-501

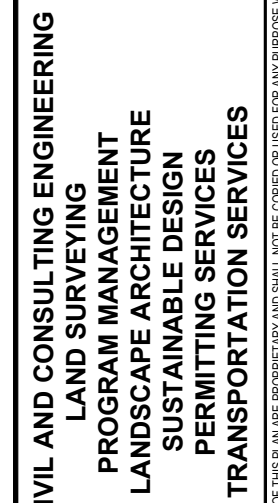
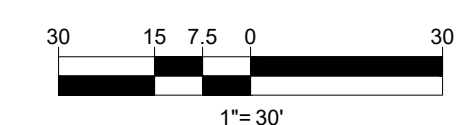
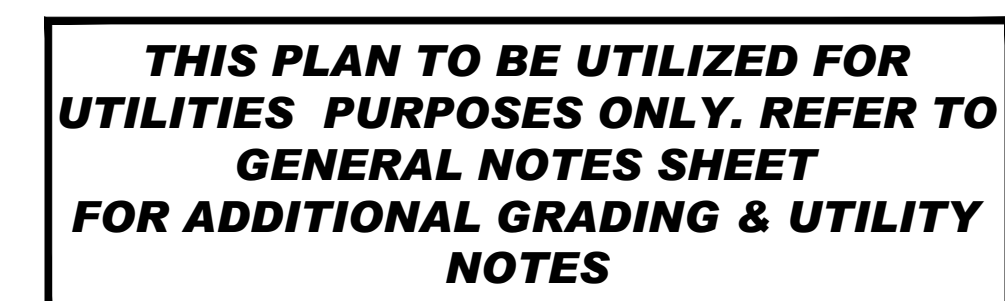
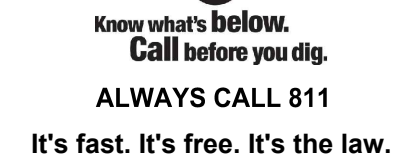
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INTERSTATE 495  
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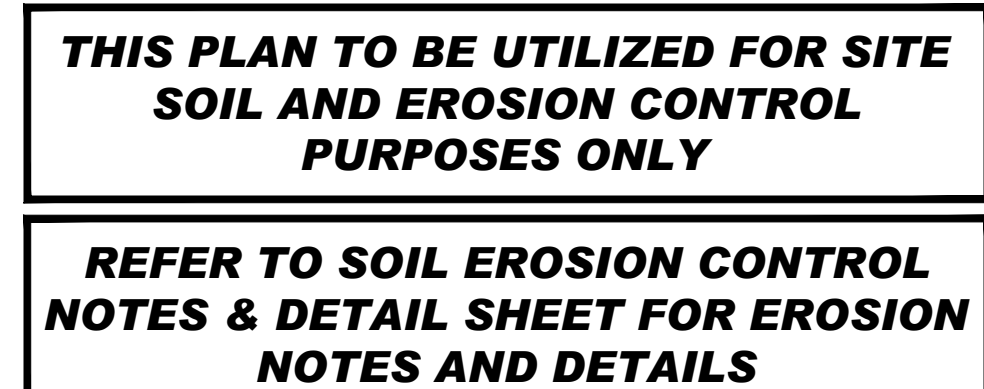


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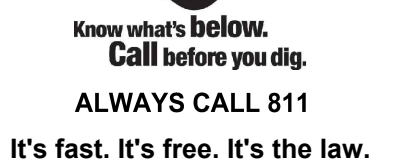
**C-502**

ORG. DATE - 02/01/2022



UPPER UNION STREET  
(PUBLIC-VARIABLE WIDTH)

## REVISIONS

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PROJECT No.: W211057  
DRAWN BY: NPD  
CHECKED BY: RMM  
DATE: 02/01/2022  
CAD I.D.: W211057-CVL-0 - USE

**PROJECT:**

**PROPOSED SITE  
PLAN DOCUMENTS**

FOR —

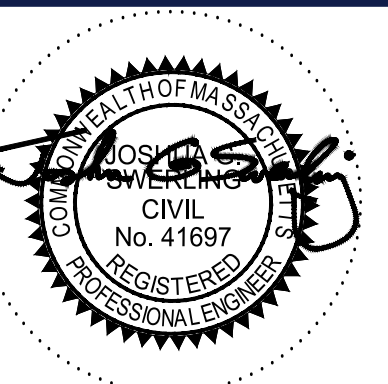
**TMC HOLDINGS &  
DEVELOPMENT 2, LLC**

**PROPOSED  
INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA**

BOHLER //

**352 TURNPIKE ROAD**  
**SOUTHBOROUGH, MA 01772**  
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**SHEET TITLE:**

## SOIL EROSION & SEDIMENT CONTROL PLAN

**SHEET NUMBER:**

**C-601**

ORG. DATE - 02/01/2022



ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.

THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF FINAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).

SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEIR. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.

INSTALL SILTATION BARRIER AT TOP OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.

ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SNOW MELT IS REQUIRED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPLOUSE ARE STABILIZED BY TURF.

NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).

IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.

TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING FLOOD PROBLEMS.

DURING THE CONSTRUCTION PHASE, INTERRUPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED INTO OPEN AREAS.

1. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:

1.01. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.

1.02. WHERE LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIME IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 80 LBS PER ACRE OR 14 LB PER 1,000 SF USING 10-20-0 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).

1.03. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDDED TO A MIXTURE OF 47% CREEPING REED PESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDDED TO A PREMIUM TURF MIXTURE OF 4% KENTUCKY BLUE GRASS, 44% CREEPING REED PESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.05 LBS PER 1,000 SF. LAWN QUALITY SOO MAY BE SUBSTITUTED FOR SEED.

1.04. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLYMENT OF WOOD OR PAPER BARK SHALL BE APPLIED FOLLOWING SEEDING. A SILENT BINDER SUCH AS CURSALOF OR RMD PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.

1. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

2. WETLANDS WILL BE PROTECTED BY TURF, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.

3. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL BE ANCHORED WINDOW OF NOT MORE THAN 7 DAYS.

4. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL. MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

5. THE USE OF STRAW HAY BALES IS PROHIBITED.

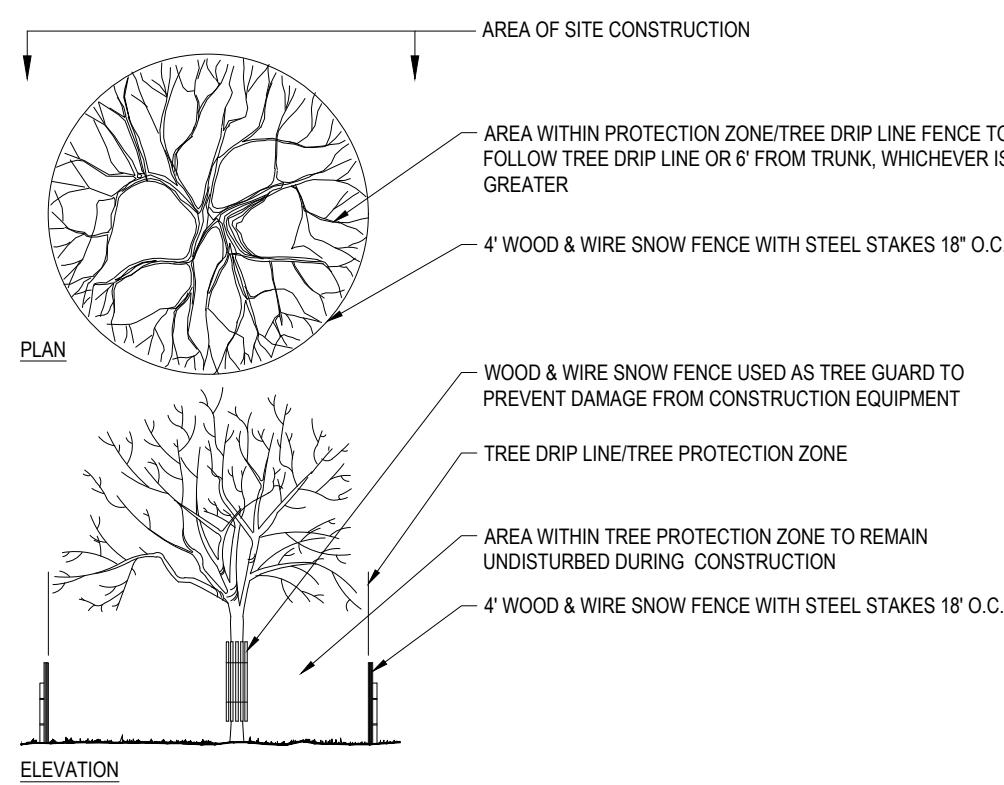
MULCH		
LOCATION	MULCH	RATE (1000 SF
PROTECT AREA	JUTE MESH OR EXCELSIOR MAT	AS REQUIRE
WINDY AREA	JUTE MESH OR EXCELSIOR MAT	AS REQUIRE
MODERATE TO HIGH	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED

GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

\* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

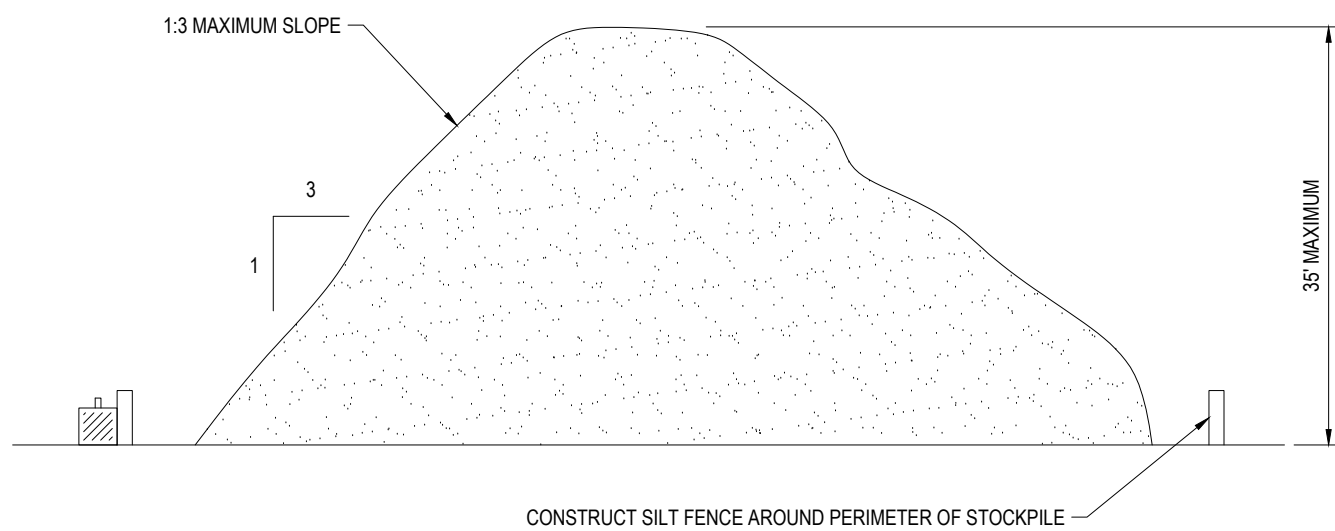
1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR SEED AT A RATE OF 100 LBS PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINE GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE TEMPORARILY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNTIL SPECIFIED IN THE ABOVE MANUAL. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:
  1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
  2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGEWAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
  3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY SOIL PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (SILT FENCE) (AS SHOWN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- INSTALLATION OF BINDER COURSE PAVEMENT
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE APPLIED AS REQUIRED.
- INSTALLATION OF TOP COURSE PAVEMENT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.

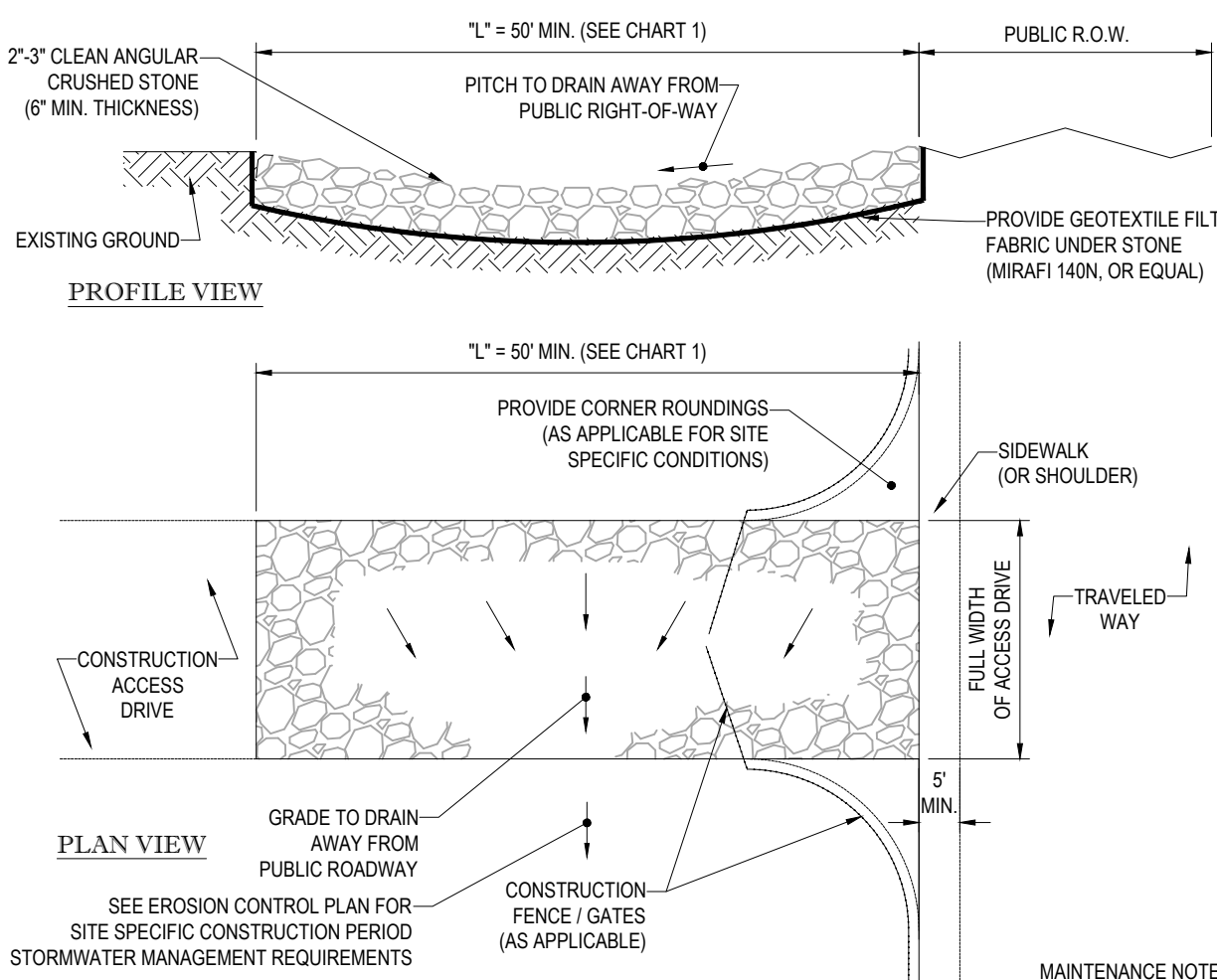


INSTALLATION:

1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE SITE.
2. UNROLL SITUATION FENCE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM FLOW DIRECTION).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS LAYING ACROSS THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF THE FABRIC ON THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING FABRIC FLAP ON UNDISTURBED GROUND AND PILING & TAMP-ING FILL AT THE BASE.



## N.T.



PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200FT
>5%	ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1)	

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

**MAINTENANCE NOTES:**

1. INSPECT STABILIZED CONSTRUCTION ENTRANCE / ANTI-TRACKING PAD AND SEDIMENT DISPOSAL AREA WEEKLY OR AFTER EVERY MAJOR RAIN STORM EVENT.
2. WASH WATER (IF USED) SHALL BE DIRECTED TOWARD A SEDIMENT TRAP, SUFFICIENTLY SIZED FOR SPECIFIC SITE CONDITIONS.
3. EXCESSIVELY MUD-CLOGGED STONE SHALL BE REMOVED AND REPLACED, AS NEEDED.

The technical drawings illustrate the design and installation of the sediment collection device. The **ISOMETRIC VIEW** shows the device's components and dimensions:

- INLET GRATE:** A rectangular grid at the top of the device.
- LOOPS SIZED FOR 1" REBAR. LEFT FILTER BAG FROM INLET BAG FROM INLET USING REBAR FOR HANDLES.** These loops are used to secure the filter bag.
- OVERFLOW HOLES:** Located on the sides of the collection chamber.
- GEOTEXTILE BAG:** The main collection bag, shown with a **1/4" BRIGHTLY COLORED NYLON ROPE EXPANSION RESTRAINT** for stability.
- LOOPS SIZED FOR 1" REBAR. USE REBAR FOR A HANDLE TO EMPTY FILTER SACK AT A SEDIMENT COLLECTION LOCATION.** These loops facilitate the removal of the sediment-filled bag.
- Dimensions:** The device has a **DEPTH = D**, **WIDTH = W**, and a **LENGTH = L**.

The **SECTION VIEW** shows the device installed in a trench:

- FINISH GRADE:** The ground surface level.
- SECURE LIFTING LOOPS TO OR UNDER SURROUNDING SURFACE:** The loops are anchored to the ground for stability.
- 2"X2"X3/4" RUBBER BLOCK (TYP):** Used to secure the device to the trench walls.
- 1/4" BRIGHTLY COLORED NYLON ROPE EXPANSION RESTRAINT:** The restraint is shown securing the bag within the trench.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20% LBS
PULLING BURST	ASTM D-4633	120 LBS
MULLEN BURST	ASTM D-3786	800 LBS
TRAPEZOID TENSILE	ASTM D-4533	120 PSI
UV RESISTANCE	ASTM D-4395	40% LBS
APPROX. OPENING SIZE	ASTM D-4751	40 USINIEVE
FLOW RATE	ASTM D-4941	40 GAL/IN/150 SQ FT
PERMITTIVITY	ASTM D-4941	0.55 SEC - 1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20% LBS
PULLING BURST	ASTM D-4633	150 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TENSILE	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4395	90% LBS
APPROX. OPENING SIZE	ASTM D-4751	20 USINIEVE
FLOW RATE	ASTM D-4941	200 GAL/IN/150 SQ FT
PERMITTIVITY	ASTM D-4941	1.5 SEC - 1

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W," OF THE FILTER SHALL MATCH THE INSIDE WIDTH OF THE INLET AND BOX.
6. THE DEPTH, "D," OF THE FILTER SHALL BE BETWEEN 18 INCHES AND 36 INCHES
7. THE LENGTH, "L," OF THE FILTER SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING  
MAY CAUSE TRAFFIC HAZARDS.

TO BE USED IN EXISTING RIGHT OF WAY

## REVISIONS

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**FOR -**

**TMC HOLDINGS &  
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## PROPOSED INDUSTRIAL DEVELOPMENT

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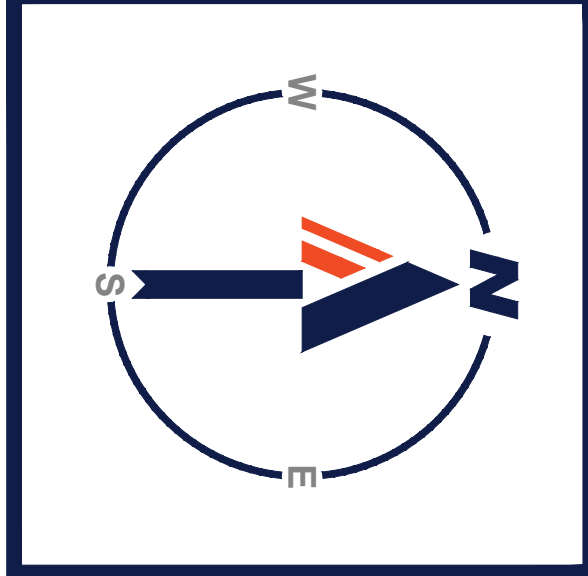
# EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

**SHEET NUMBER**

**C-602**

ORG. DATE - 02/01/2022





INTERSTATE 495  
(PUBLIC-VARIABLE WIDTH)

## UPPER UNION STREET

(PUBLIC-VARIABLE WIDTH)

TWO WAY  
TRAFFIC  
(ASPHALT ROADWAY)

### SEED MIX KEY

- PROPOSED HYDROSEED
- PROPOSED CONSERVATION/  
WILDLIFE SEED MIX
- PROPOSED BASIN SEED MIX

### CITY OF FRANKLIN, MA LANDSCAPE REQUIREMENTS

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
ARTICLE V: SPECIAL REGULATIONS - SECTION 185-20: SIGNS	4. DIMENSIONAL REQUIREMENTS B) FREESTANDING SIGNS FREESTANDING SIGNS ARE REQUIRED TO BE LANDSCAPED WITH SELECTED FLORA, NO MORE THAN TWO FEET ABOVE THE AVERAGE FINISHED GRADE OF ADJOINING GROUND. THIS REQUIREMENT MAY BE WAIVED IF THE LANDSCAPING IS DETERMINED TO BE A SAFETY HAZARD BASED UPON THE BUILDING COMMISSIONER DETERMINATION IN CONSULTATION WITH THE POLICE CHIEF. THE CRITERIA TO BE CONSIDERED WITH REGARD TO FREESTANDING SIGN LANDSCAPING SHALL INCLUDE BUT ARE NOT LIMITED TO WHETHER THE LANDSCAPING BLOCKS THE VIEW OF ONCOMING VEHICLES OR PEDESTRIANS.	PROVIDED - LANDSCAPING PROVIDED AROUND FREESTANDING SIGN
ARTICLE V: SPECIAL REGULATIONS - SECTION 185-30: TREE PLANTING	ANY LOT ABUTTING A RIGHT-OF-WAY OF 75 FEET OR MORE IN WHICH A BUILDING IS CONSTRUCTED WITHIN 150 FEET OF THE RIGHT-OF-WAY MUST HAVE TREES PLANTED AT LEAST EVERY 30 FEET IN A ROW BETWEEN 30 AND 50 FEET BACK FROM THE RIGHT-OF-WAY, UNLESS A SUFFICIENT NUMBER OF TREES ALREADY EXISTS. TREES MUST BE OF TWO-INCH CALIPER AND APPROVED BY THE TREE WARDEN. IF ANY OF THE TREES DO NOT LIVE THROUGH THE FIRST WINTER, THEY MUST BE REPLACED.	REQUIRED: 455 FT / 30 FT = 16 TREES PROVIDED: 16 TREES
ARTICLE V: SPECIAL REGULATIONS - SECTION 185-31: SITE PLAN AND DESIGN REVIEW	3. DRAWING REQUIREMENTS (K) A LANDSCAPING PLAN SHOWING EXISTING VEGETATION, PROPOSED VEGETATION AND THE DISTINCTION BETWEEN PROPOSED AND RETAINED VEGETATION. A NOTE SHALL BE PLACED ON THE PLAN THAT ALL PLANTINGS SHALL COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK.	PROVIDED - ALL PLANTINGS SELECTED FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK
ARTICLE V: SPECIAL REGULATIONS - SECTION 185-21: PARKING LOADING AND DRIVEWAY REQUIREMENTS	(4) LOADING AREAS AND PARKING AREAS FOR 10 OR MORE CARS SHALL PROVIDE SCREENING IN ACCORDANCE WITH § 185-35. (5) PARKING LOTS FOR 20 OR MORE CARS SHALL CONTAIN OR BE BORDERED WITHIN FIVE FEET BY AT LEAST ONE TREE PER 10 PARKING SPACES. TREES TO BE TWO-INCH CALIPER OR LARGER, WITH NOT LESS THAN 40 SQUARE FEET OF UNPAVED SOIL AREA PER TREE. SOIL PLOTS SHALL BE LOCATED SO AS TO ASSURE SAFE INTERNAL CIRCULATION.	REQUIRED: 90 SPACES / 10 = 9 TREES PROVIDED: 9 TREES

### LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREES					
ARA	5	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG COLUMNAR RED MAPLE	2 1/2-3" CAL.	B+B
AS	3	ACER SACCHARUM	SUGAR MAPLE	2 1/2-3" CAL.	B+B
QA	4	QUERCUS ALBA	WHITE OAK	2 1/2-3" CAL.	B+B
QBC	2	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3" CAL.	B+B
SUBTOTAL:	14				
ORNAMENTAL TREES					
OV	10	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	8-10"	B+B
SUBTOTAL:	10				
EVERGREEN SHRUBS					
IGCB	5	ILEX GLABRA 'GEM BOX'	DWARF INKBERY HOLLY	18-24"	CONTAINER
SUBTOTAL:	5				
GROUND COVERS					
JHB	7	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	CONTAINER
SUBTOTAL:	7				
ORNAMENTAL GRASSES					
SSTB	5	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	LITTLE BLUE STEM	2 GAL.	CONTAINER
SUBTOTAL:	5				

### OWNER MAINTENANCE RESPONSIBILITIES

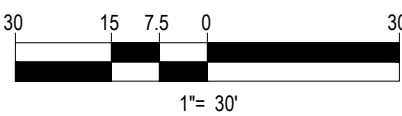
UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES) OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVELED SURFACES ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEE. THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR  
LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES &  
DETAILS SHEET FOR LANDSCAPE  
NOTES AND DETAILS



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING  
LANDSCAPE ARCHITECTURE  
PROGRAM MANAGEMENT  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

### REVISIONS

REV	DATE	COMMENT	DRAWN BY



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MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA

BOHLER

352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900

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SHEET TITLE:

LANDSCAPE  
PLAN

SHEET NUMBER:

C-701

ORG. DATE - 02/01/2022

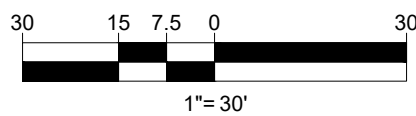







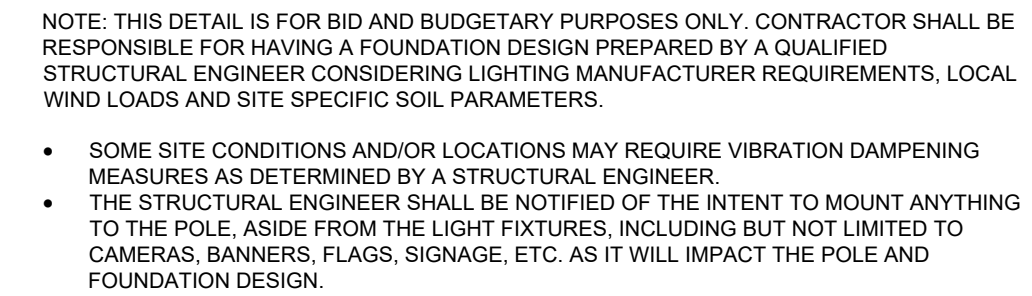


 TWO WAY  
TRAFFIC  
(ASPHALT ROADWAY)



1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSPENDED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSPENDED SITE ILLUMINATION LEVELS AND PERCENTAGE OF LIGHTING FIXTURES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEIR FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL CHECKS FOR CLEAN LENSES, AND RELAXING (IF NECESSARY) AT LEAST EVERY THREE (3) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC, ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONTRACT DOCUMENTS. CONTRACTOR CONDITIONS, THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONTRACTOR CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL LIGHTING FIXTURES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
7. CONTRACTOR MUST NOTIFY TO DESIGNER'S ATTENTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
8. IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS NOTED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRING PER STATE REGULATIONS.
11. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

LUMINAIRE SCHEDULE					
SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
 A	13	SINGLE	17230	0.90	LSI LIGHTING FORWARD THROW LED AREA LIGHT WITH SHIELD MOUNTED @ 30°; XGBM-FT-LED-SS-NW-HSS



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**SITE CIVIL AND CONSULTING ENGINEERING**

**PROGRAM MANAGEMENT**

**LANDSCAPE ARCHITECTURE**

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PROJECT No.:	W211057
DRAWN BY:	NPD
CHECKED BY:	RMM
DATE:	02/01/2022
CAD I.D.:	W211057-CVL-0 - USE

PROJECT:

**PROPOSED  
INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA**

**352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772**  
Phone: (508) 480-9900  
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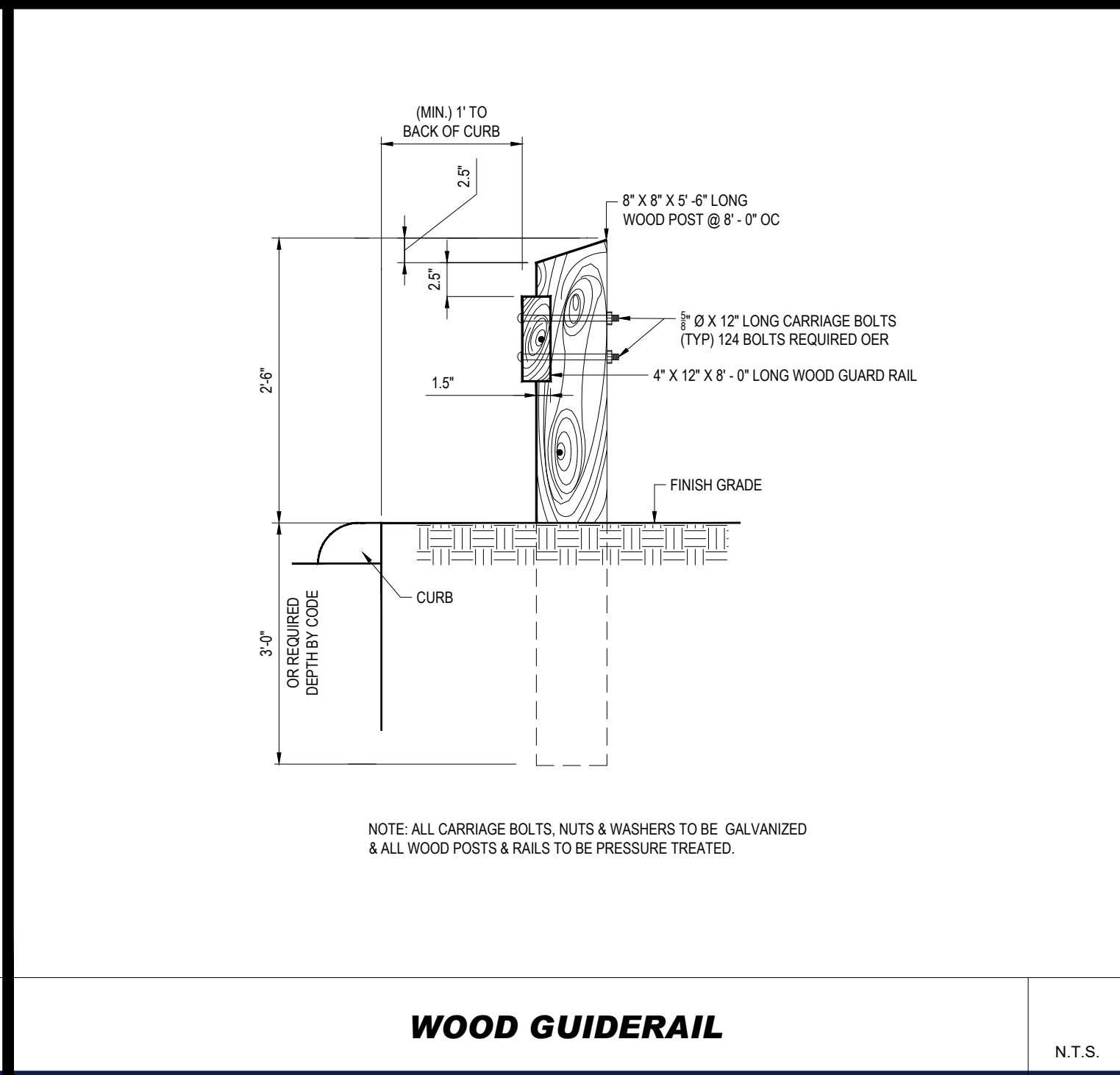
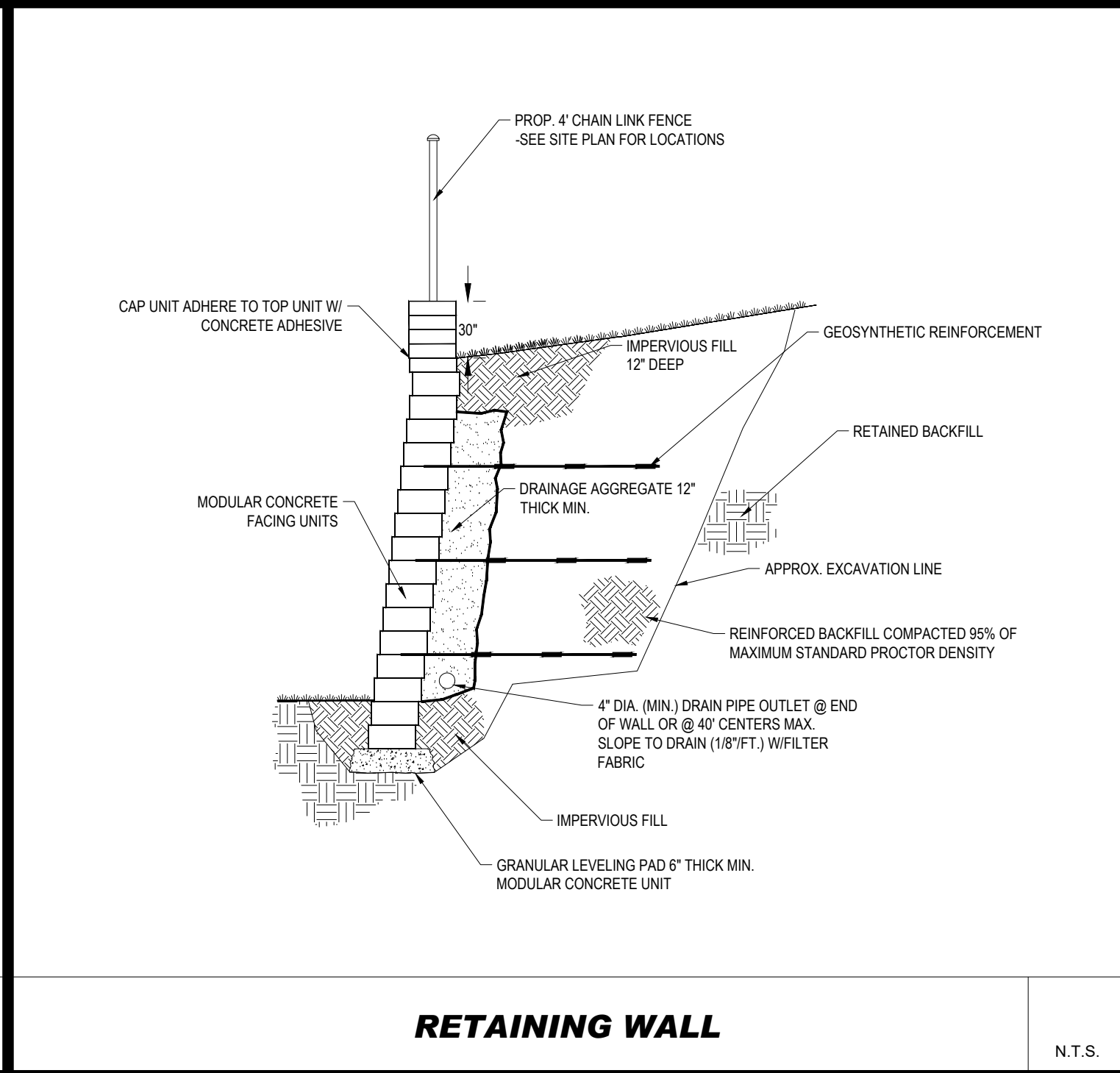
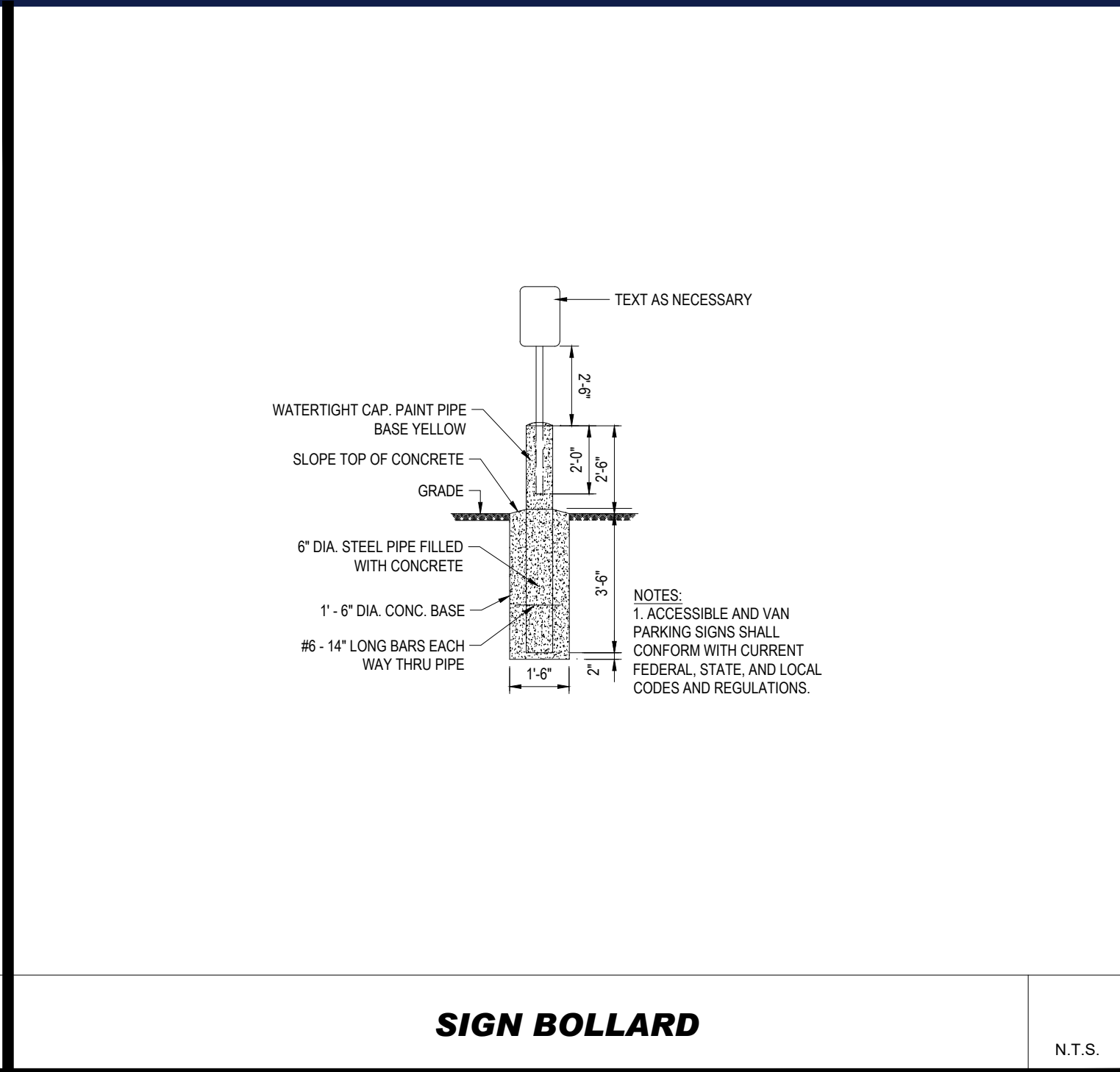
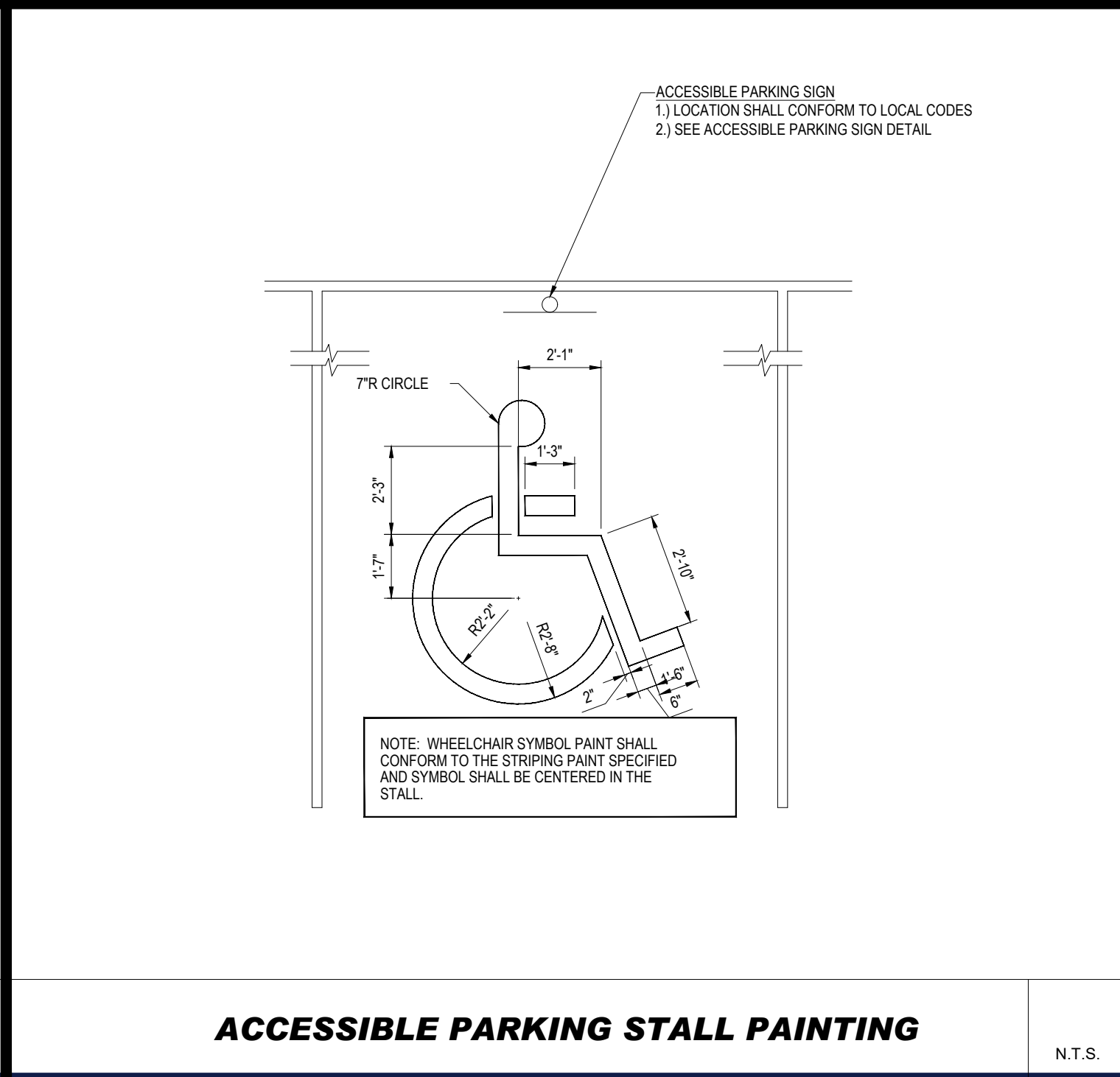
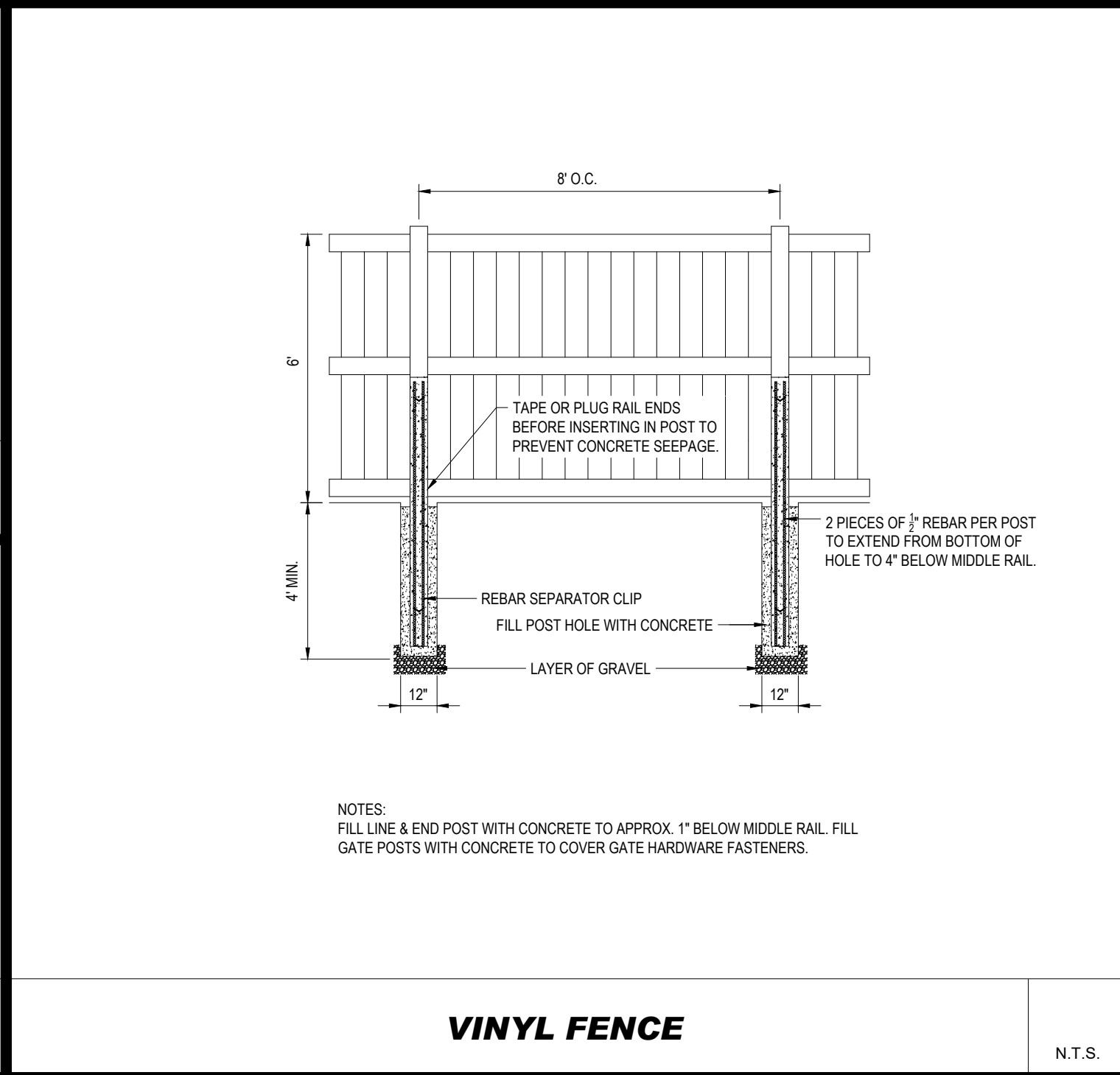
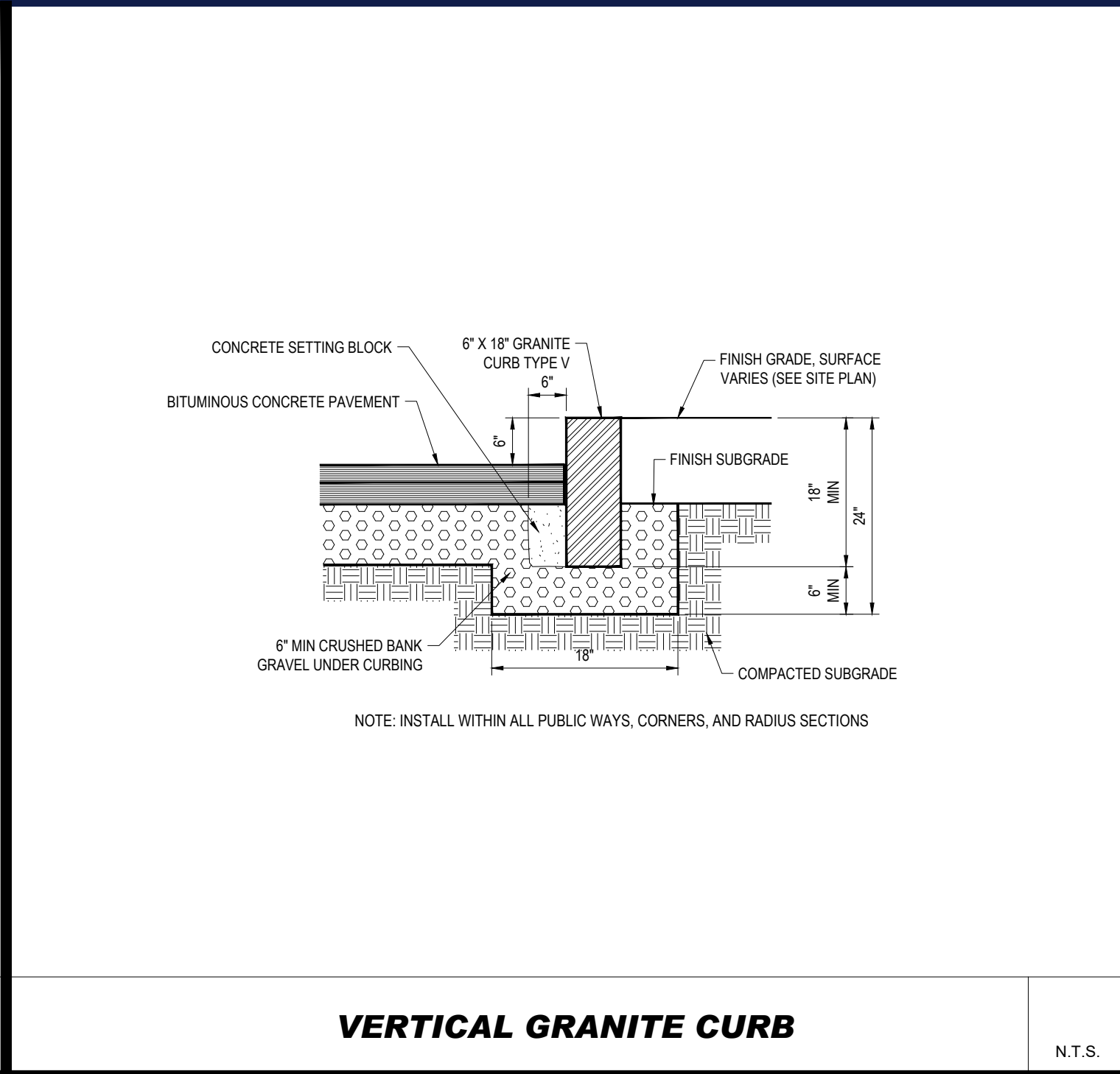
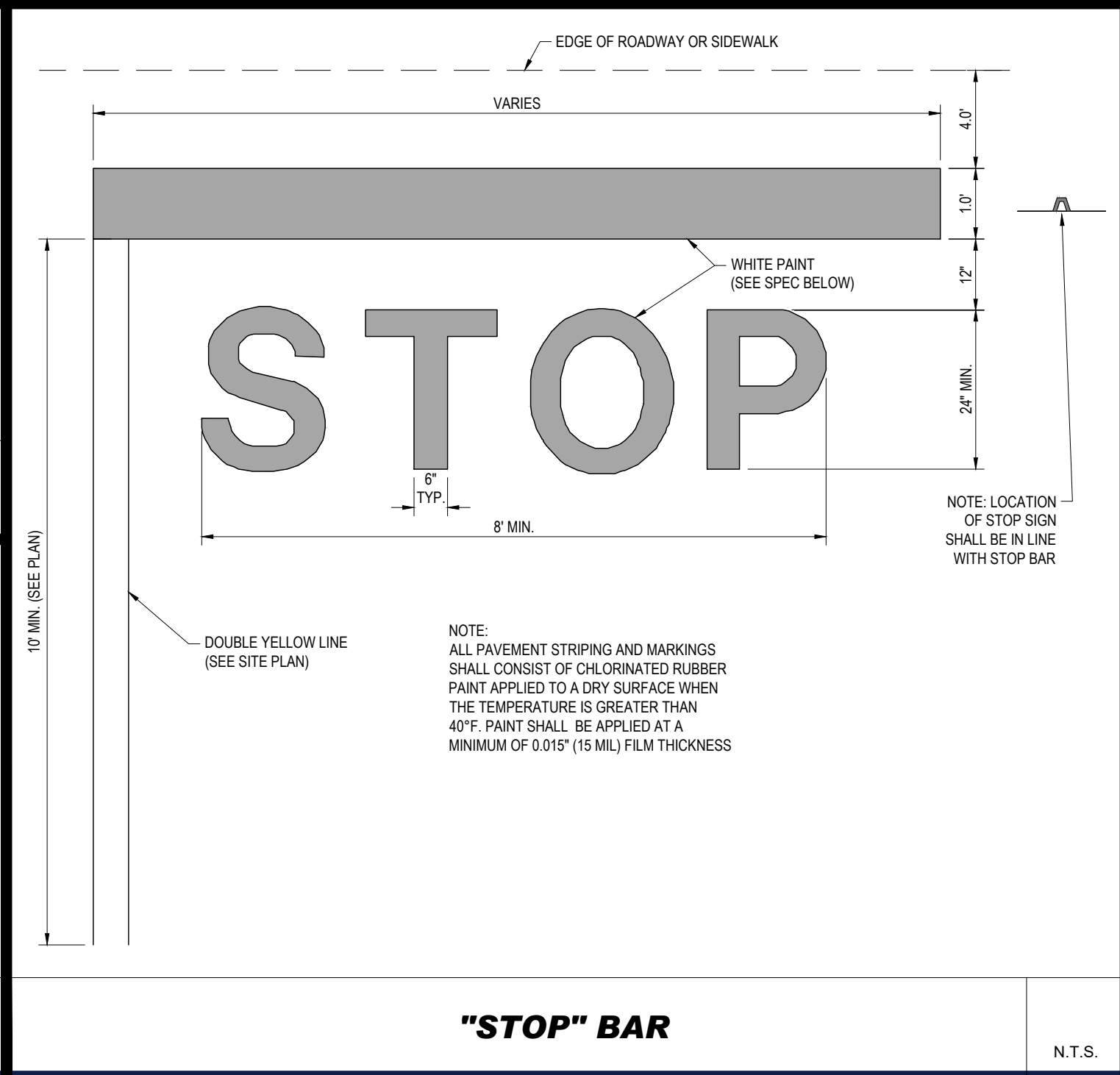
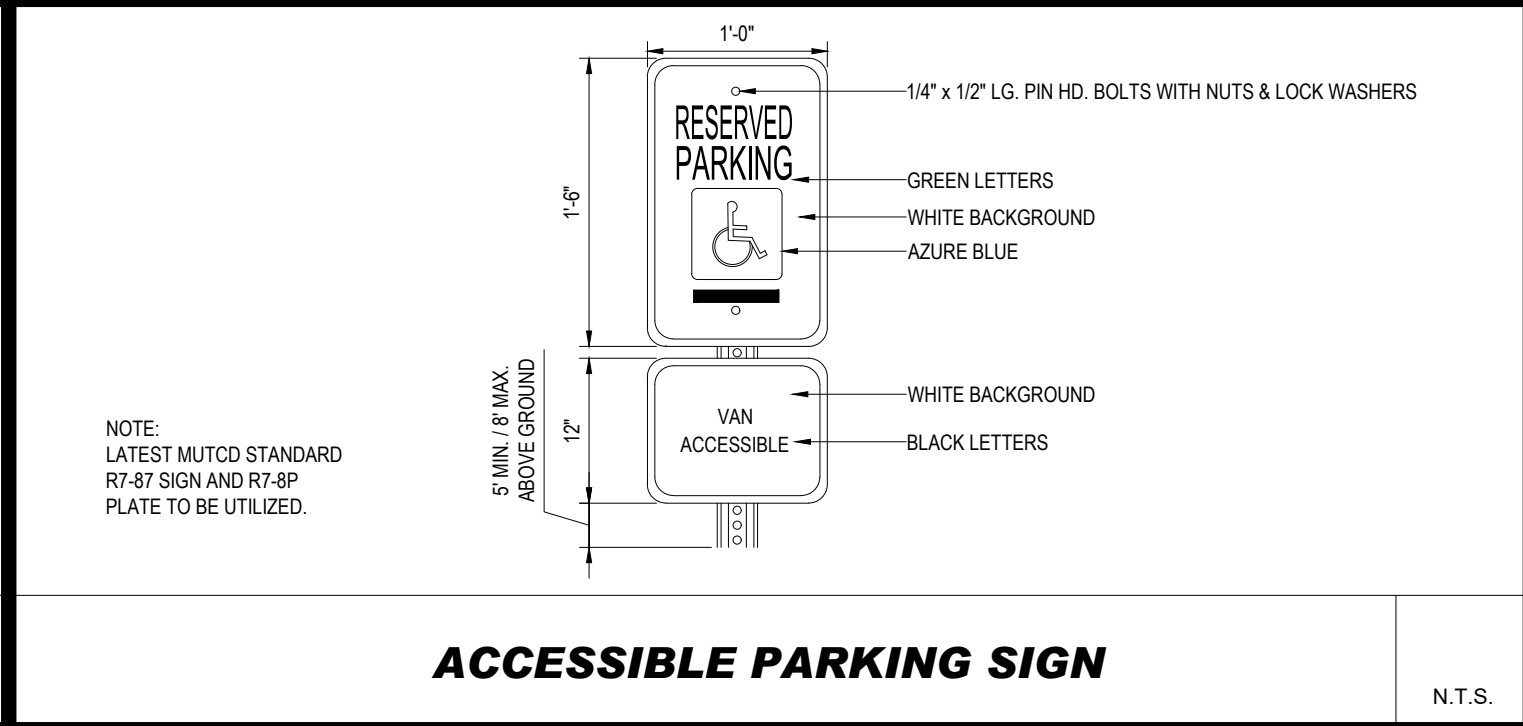
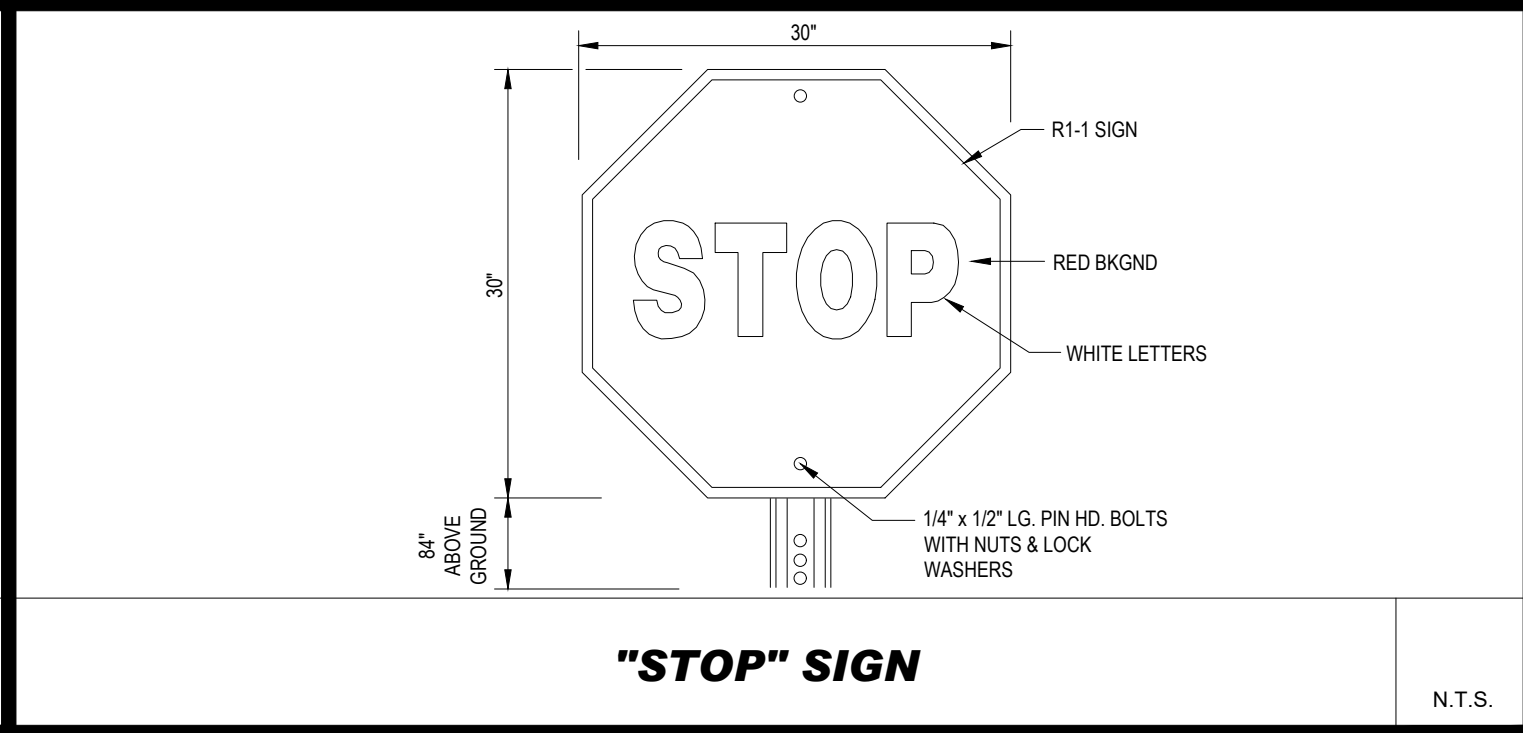
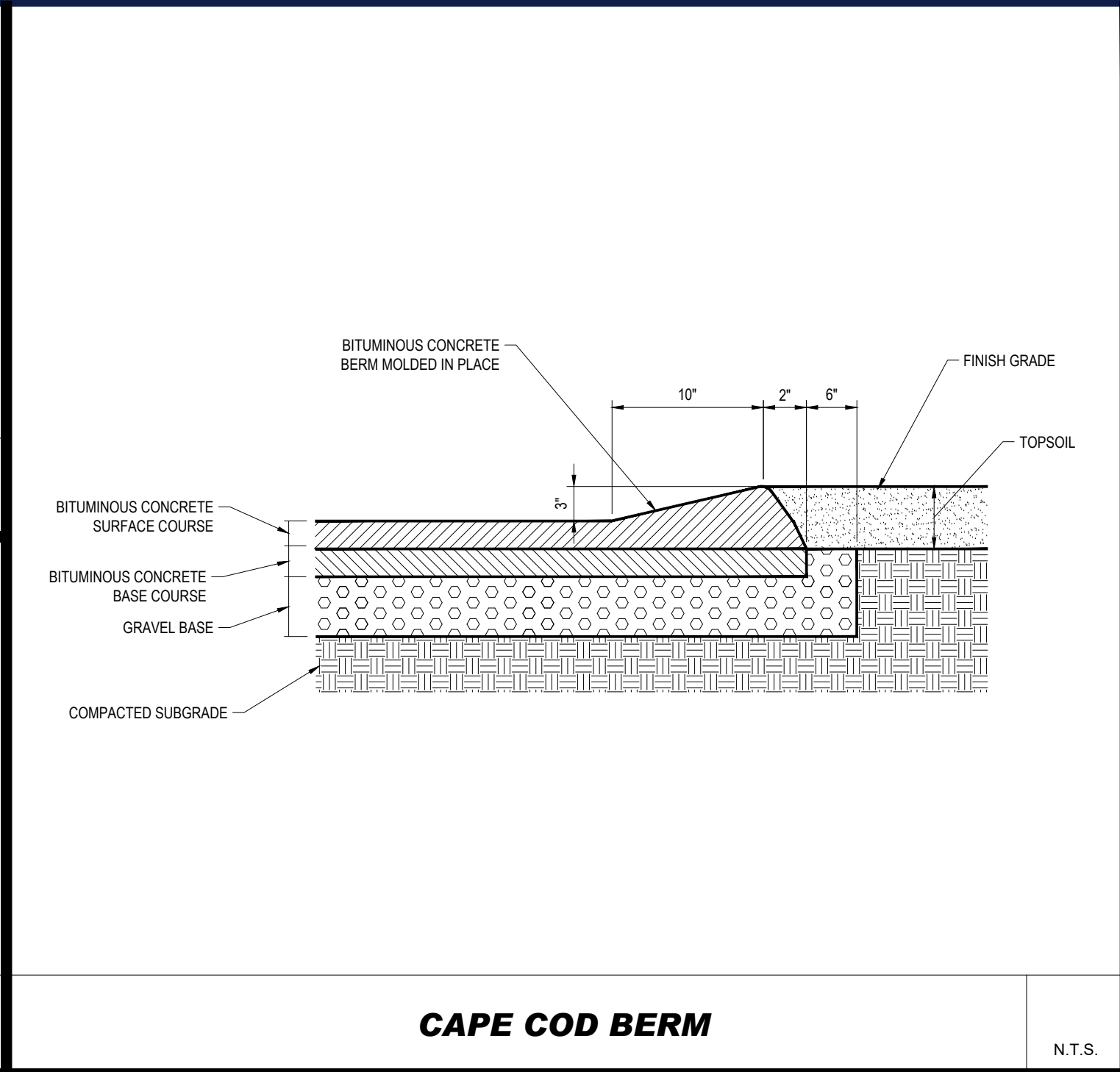
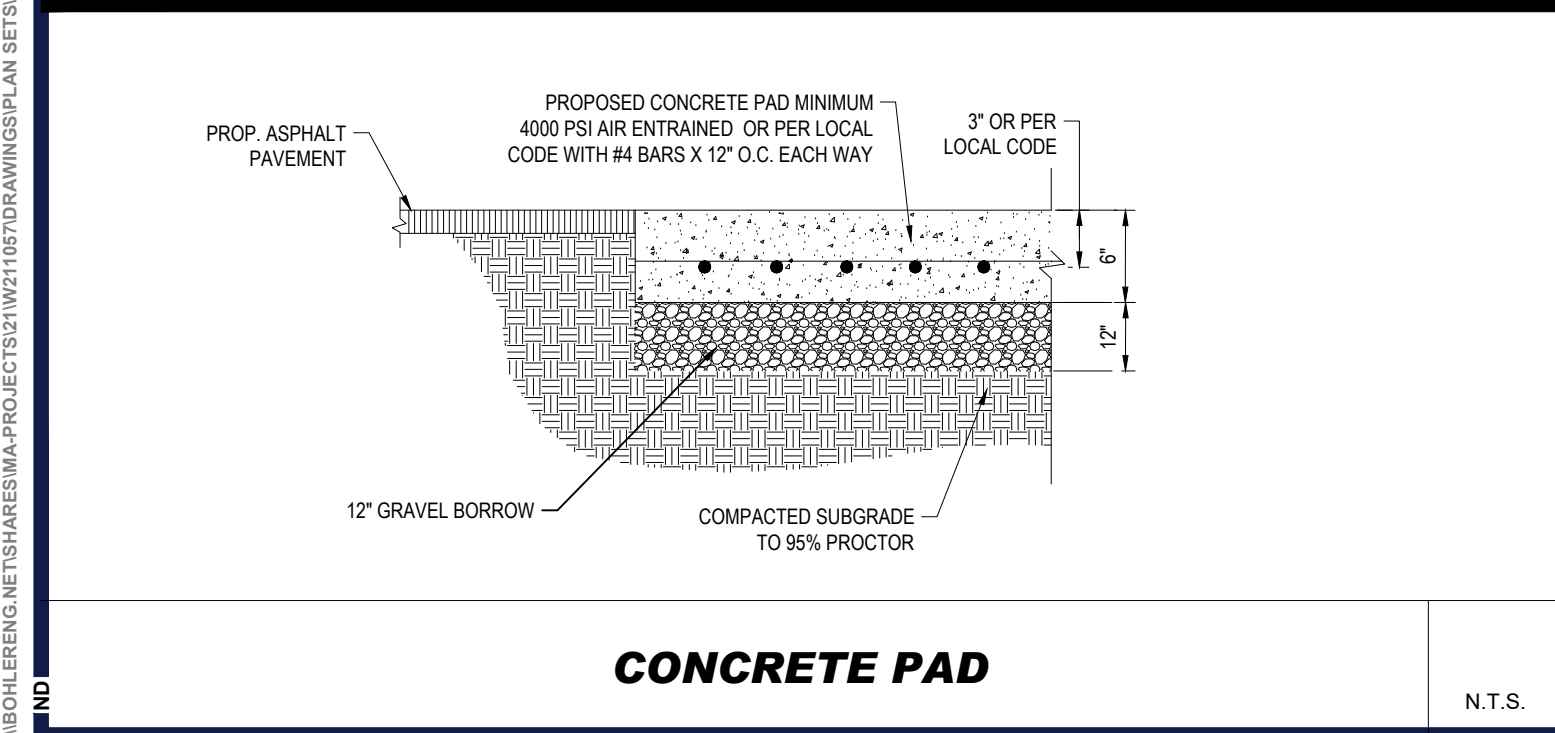
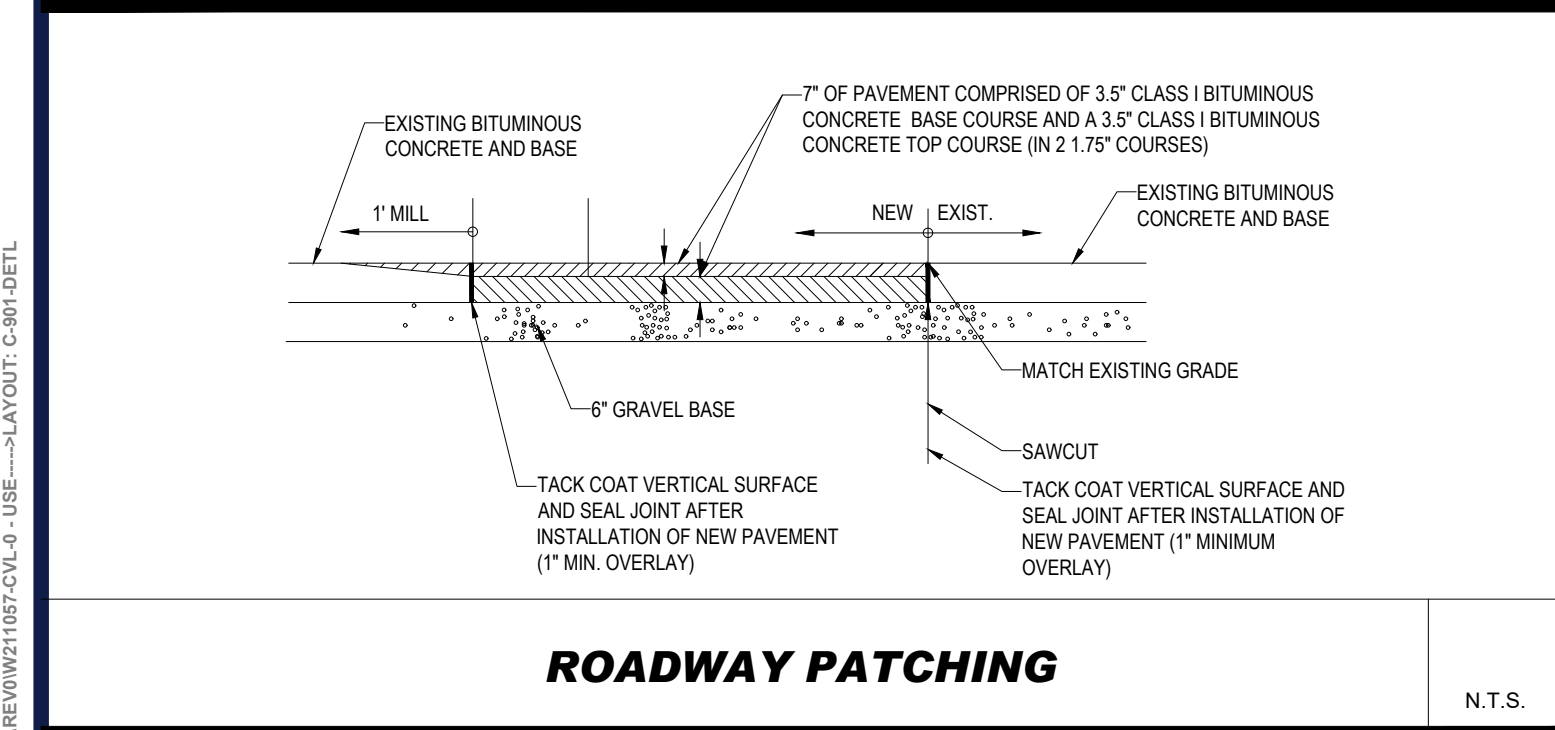
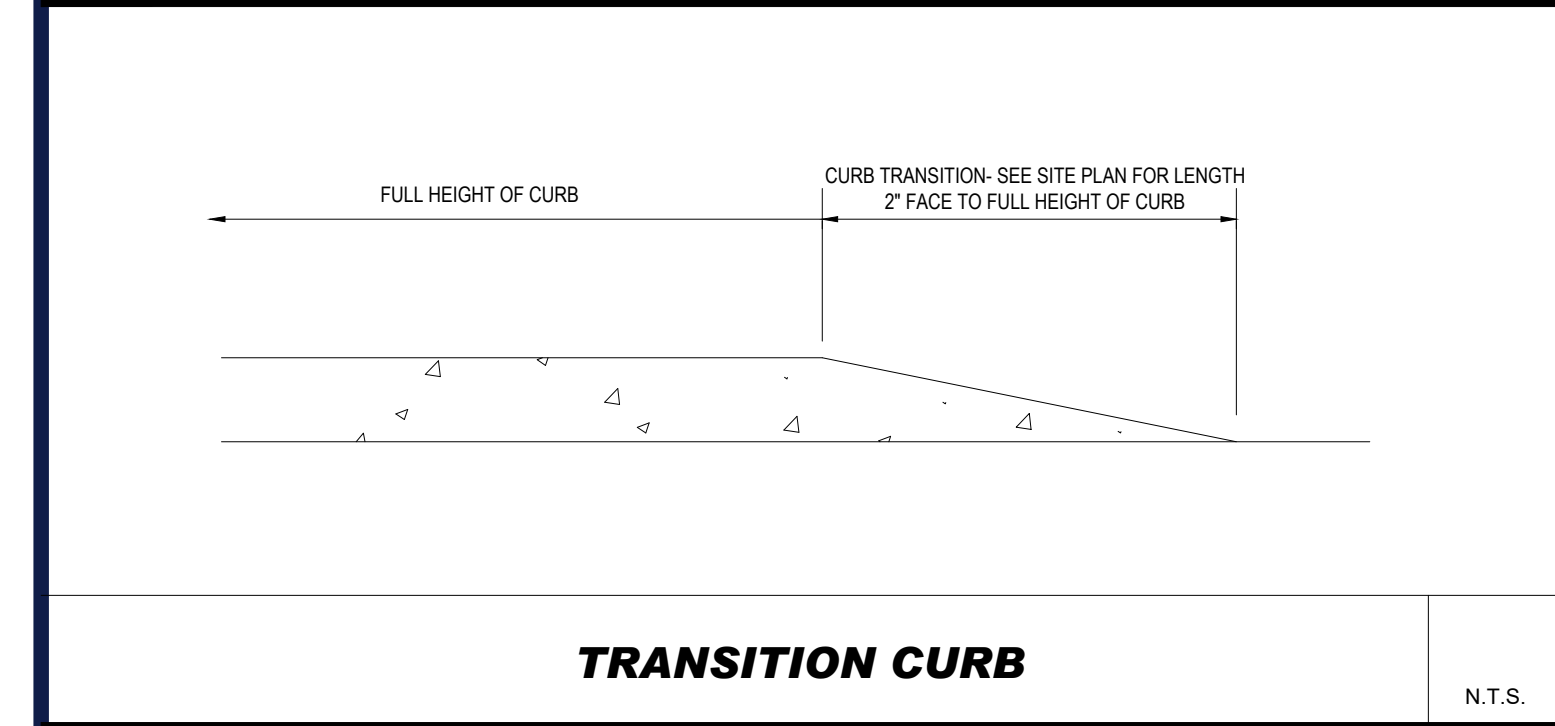
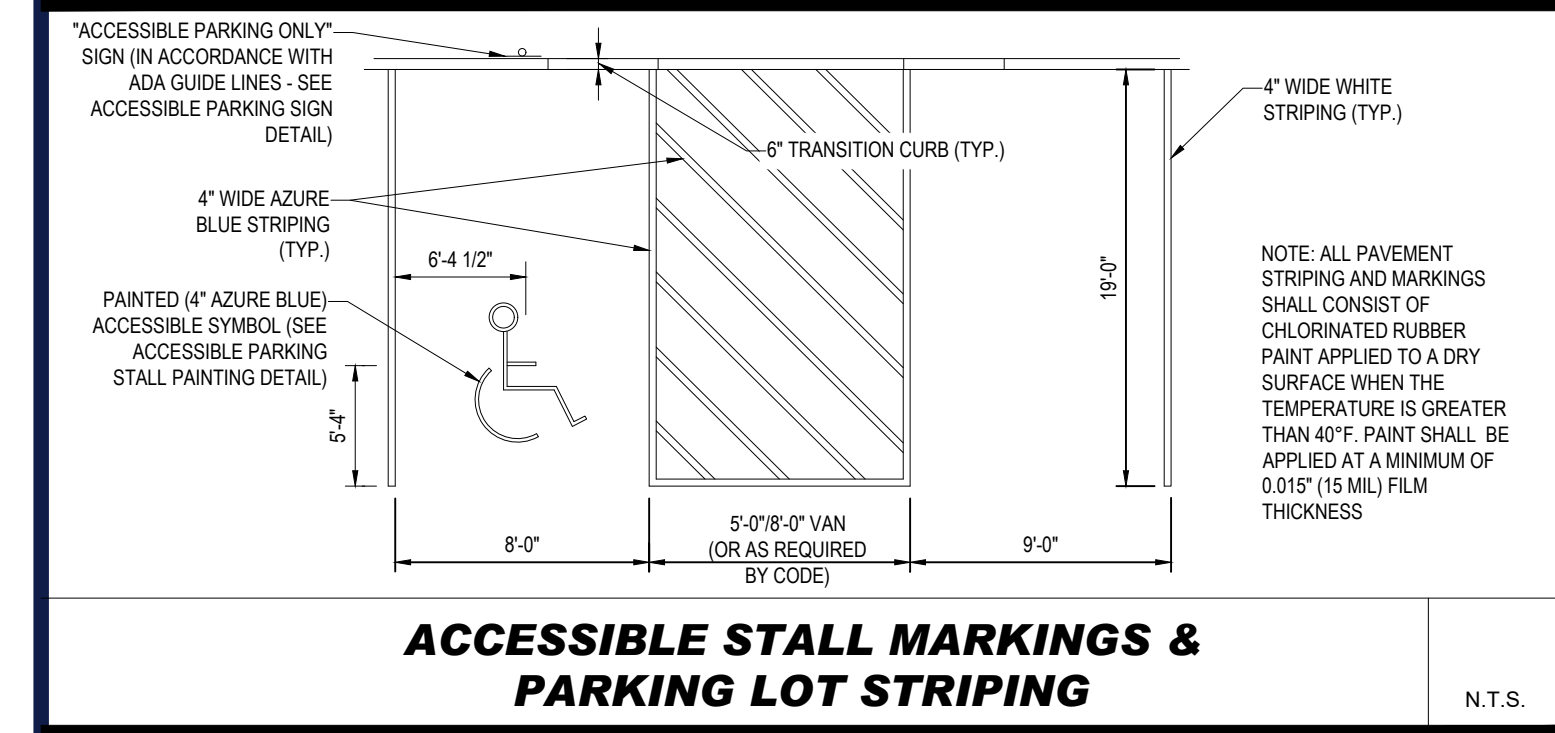
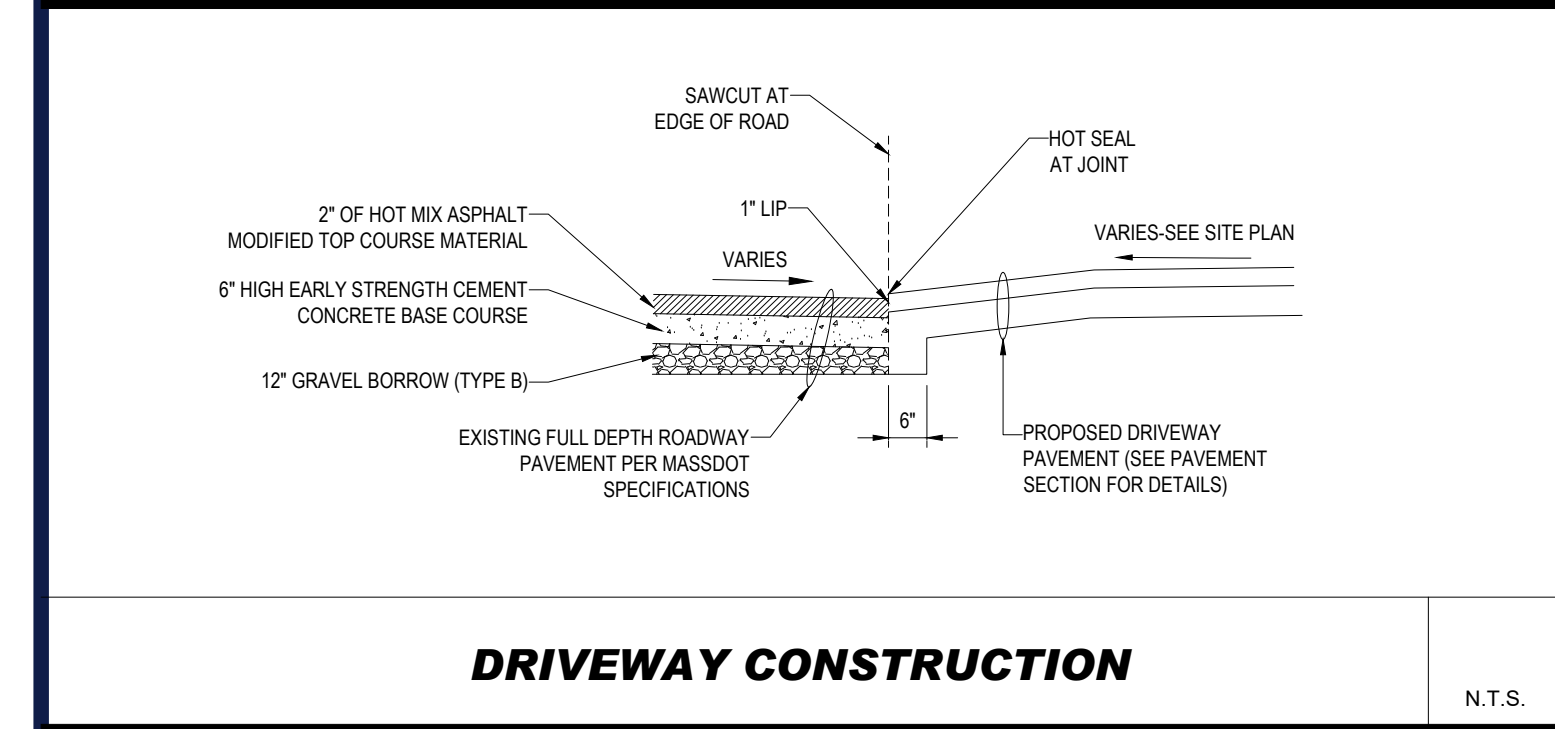
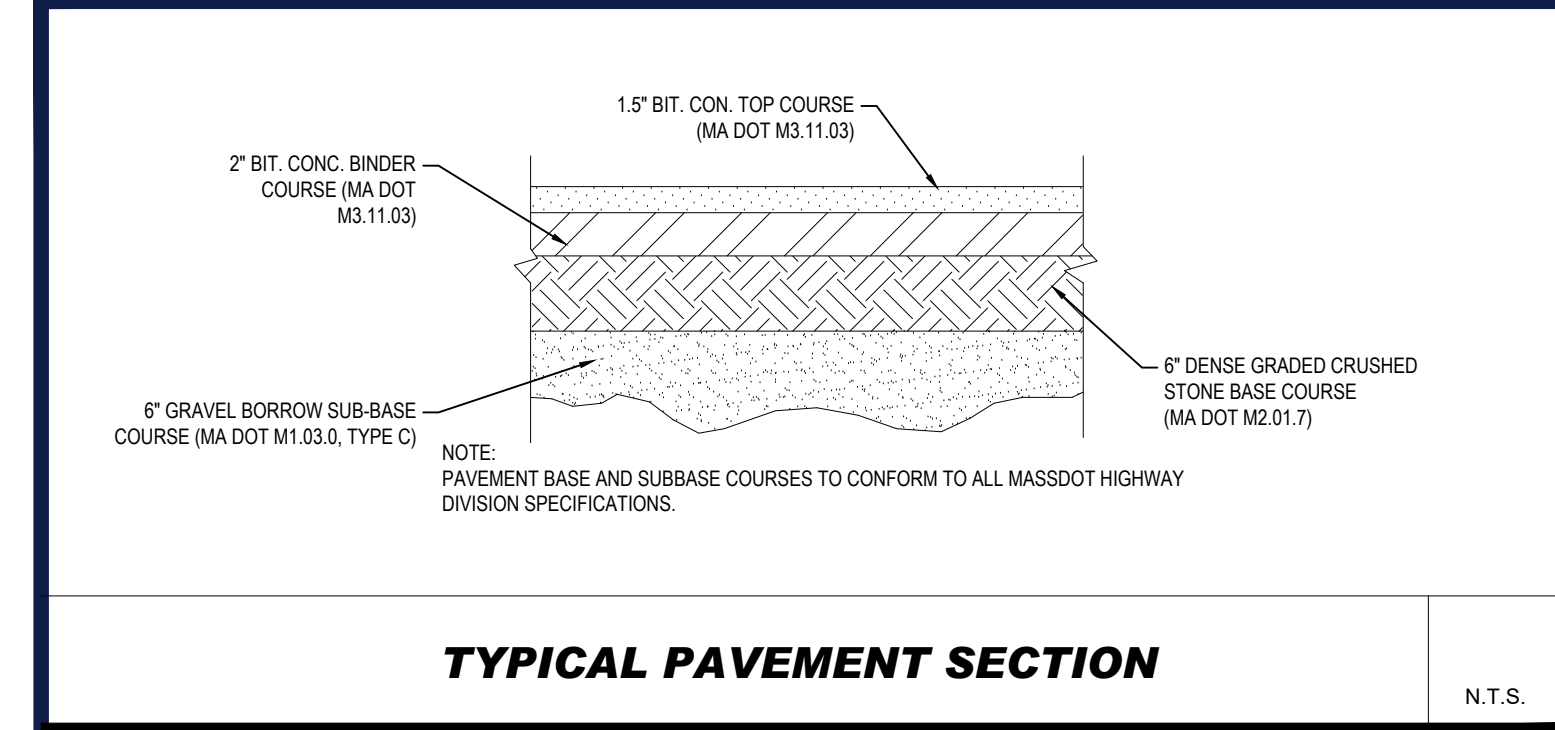
**SHEET NUMBER:**

**C-703**

ORG. DATE - 02/01/2022



\\BOHLER\ENG\NET\SHARES\MA\PROJECTS\21W211607\DRAWINGS\PLAN SETS\REV\W211607-C\ML-0 - USE -> LAYOUT C-901-DETL



TM

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811

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PROPOSED SITE  
PLAN DOCUMENTS

FOR

TMC HOLDINGS &  
DEVELOPMENT 2, LLC

PROPOSED  
INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA

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MASSACHUSETTS  
REGISTERED PROFESSIONAL ENGINEER  
No. 41697  
CIVIL

SHEET TITLE:  
**DETAIL  
SHEET**

SHEET NUMBER:  
**C-901**

ORG. DATE - 02/01/2022

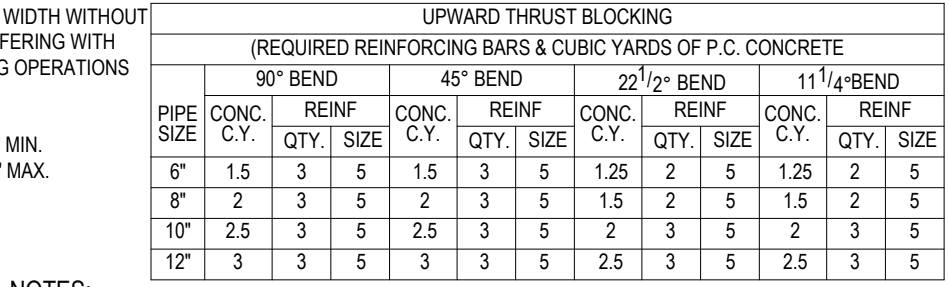
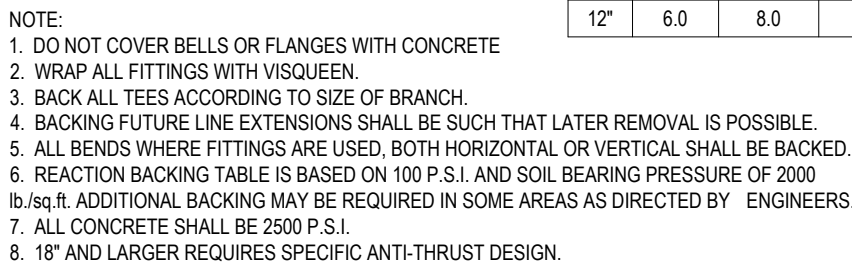
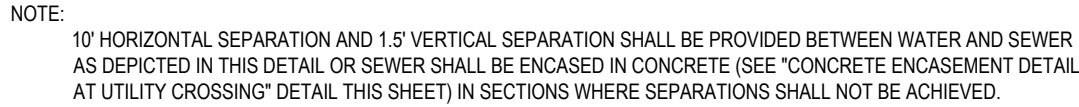
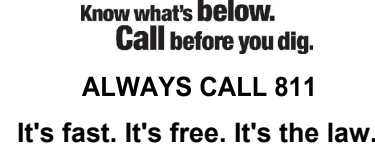




ORG. DATE - 02/01/2022





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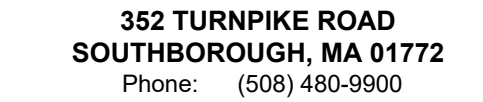
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DRAWN BY: NM  
CHECKED BY: RM  
DATE: 02/01/20  
CAD I.D.: W211057-CVL-0 - U

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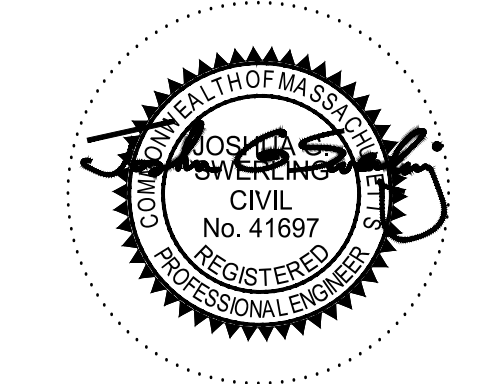
\_\_\_\_\_ FOR \_\_\_\_\_

**TMC HOLDINGS &  
DEVELOPMENT 2, LLC**

**PROPOSED  
INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA**



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SHEET TITLE:

## SHEET NUMBER: \_\_\_\_\_

**C-903**

ORG. DATE - 02/01/2022



REFERENCES:

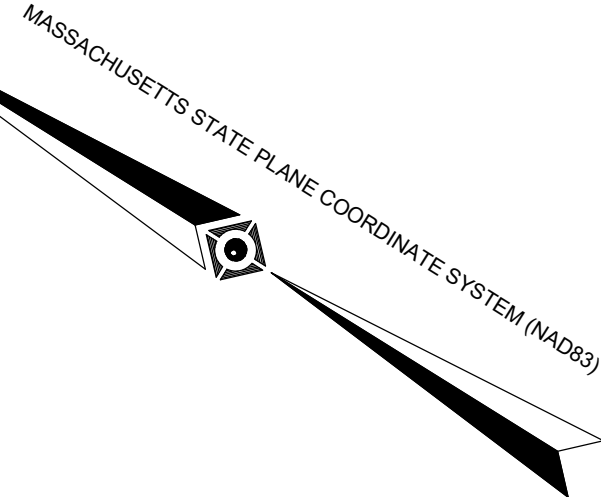
1. THE TAX ASSESSOR'S MAP OF CITY OF FRANKLIN, NORFOLK COUNTY, MAP 314.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 317 OF 430," COMMUNITY-PANEL NUMBER 250240 0317 E, EFFECTIVE DATE: JULY 17, 2012.
3. MAP ENTITLED "PLAN OF LAND, UNION STREET BUSINESS PARK, FRANKLIN, MA (NORFOLK COUNTY), PREPARED FOR: UNION STREET BUSINESS PARK, LLC," PREPARED BY: WELCH ASSOCIATES LAND SURVEYORS, INC. DATED DECEMBER 7, 2007. UNRECORDED PLAN.
4. MAP ENTITLED "PLAN OF LAND IN FRANKLIN, MA (NORFOLK COUNTY)," PREPARED BY: ENGINEERING DESIGN CONSULTANTS, INC. DATED APRIL 15, 1999. RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS AS PLAN 463 OF 1999.
5. MAP ENTITLED "EXISTING CONDITIONS PLAN, UNION STREET BUSINESS PARK, 837, 839 & 841 UPPER UNION STREET, FRANKLIN, MASSACHUSETTS, PREPARED FOR: ABRAHAM PROPERTIES," PREPARED BY: ENGINEERING DESIGN CONSULTANTS, INC., DATED APRIL 22, 2005. SHEET 1 OF 8.
6. UNDERGROUND GAS FACILITY MAPPING PROVIDED BY EVERSOURCE GAS.
7. MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF FRANKLIN, NORFOLK COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," PREPARED BY THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, DATED SEPTEMBER 29, 1965. LAYOUT NO. 5495, SHEETS 9 THROUGH 11 OF 16.

NOTES (CONT'D):

6. PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
  7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:  
TBM-A: X-CUT ON CORNER OF TRANSFORMER CONCRETE PAD. ELEVATION = 389.82
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  9. THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
  10. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
  11. PROPERTY CURRENTLY DOES NOT HAVE DIRECT ACCESS TO UPPER UNION STREET.

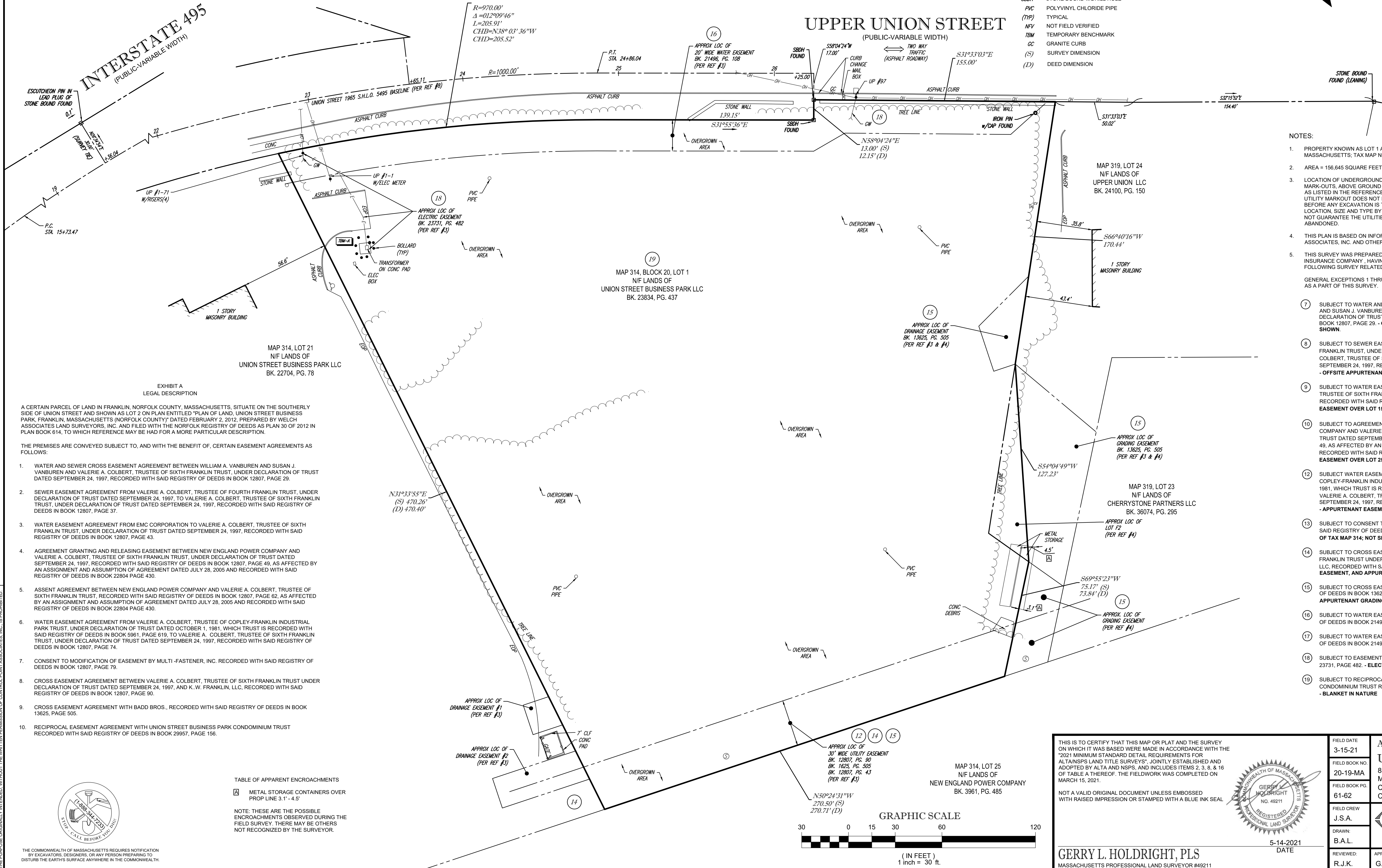
LEGEND

- HYDRANT
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND GAS LINE
- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- APPROX. LOC. UNDERGROUND WATER LINE
- UTILITY POLE
- GUY WIRE
- AREA LIGHT
- MAIL BOX
- BOLLARD
- POST
- CONCRETE
- CHAIN LINK FENCE
- EDGE OF PAVEMENT
- SANITARY/SEWER MANHOLE
- DRILL HOLE FOUND
- STONE BOUND W/DRILL HOLE
- POLYVINYL CHLORIDE PIPE
- TYPICAL
- NOT FIELD VERIFIED
- TEMPORARY BENCHMARK
- GRANITE CURB
- SURVEY DIMENSION
- DEED DIMENSION



LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS  
NOT TO SCALE

UPPER UNION STREET  
(PUBLIC-VARIABLE WIDTH)



NOTES:

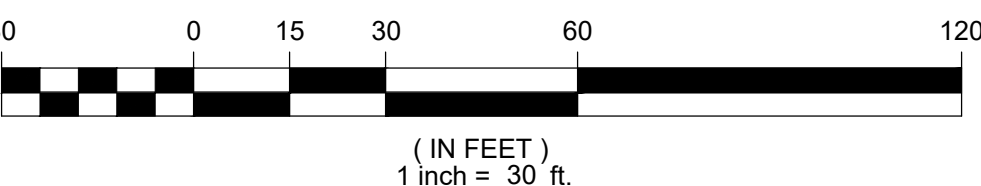
1. PROPERTY KNOWN AS LOT 1 AS SHOWN ON THE CITY OF FRANKLIN, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS; TAX MAP NO. 314.
2. AREA = 156,645 SQUARE FEET OR 3.596 ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY WESTCOR LAND TITLE INSURANCE COMPANY, HAVING A COMMITMENT NO. -, WITH AN EFFECTIVE DATE OF -, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B - PART II:  
  
GENERAL EXCEPTIONS 1 THRU 6, AND 11 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY.
7. SUBJECT TO WATER AND SEWER CROSS EASEMENT AGREEMENT BETWEEN WILLIAM A. VANBUREN AND SUSAN J. VANBUREN AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 29. - OFFSITE APPURTENANT EASEMENT OVER LOT 24 OF TAX MAP 314; NOT SHOWN.
8. SUBJECT TO SEWER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF FOURTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 37. - OFFSITE APPURTENANT EASEMENT OVER LOT 58 OF TAX MAP 313; NOT SHOWN.
9. SUBJECT TO WATER EASEMENT AGREEMENT FROM EMC CORPORATION TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 43. - OFFSITE APPURTENANT EASEMENT OVER LOT 15 OF TAX MAP 314; NOT SHOWN.
10. SUBJECT TO AGREEMENT GRANTING AND RELEASING EASEMENT BETWEEN NEW ENGLAND POWER COMPANY AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 49, AS AFFECTED BY AN ASSIGNMENT AND ASSUMPTION OF AGREEMENT DATED JULY 28, 2005 AND RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 22804 PAGE 430. - OFFSITE APPURTENANT EASEMENT OVER LOT 25 OF TAX MAP 314; NOT SHOWN.
12. SUBJECT WATER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF COPLEY-FRANKLIN INDUSTRIAL PARK TRUST, UNDER DECLARATION OF TRUST DATED OCTOBER 1, 1981, WHICH TRUST IS RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 5961, PAGE 619, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 74. - APPURTENANT EASEMENT OVER LOT 23 OF TAX MAP 319; AS SHOWN.
13. SUBJECT TO CONSENT TO MODIFICATION OF EASEMENT BY MULTI-FASTENER, INC. RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 79. - OFFSITE APPURTENANT EASEMENT OVER LOT 25 OF TAX MAP 314; NOT SHOWN.
14. SUBJECT TO CROSS EASEMENT AGREEMENT BETWEEN VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, AND K.W. FRANKLIN, LLC, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 90. - 30' WIDE UTILITY EASEMENT, AND APPURTENANT EASEMENT OVER LOT 21 OF TAX MAP 314; AS SHOWN.
15. SUBJECT TO CROSS EASEMENT AGREEMENT WITH BADD BROS., RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 13625, PAGE 505. - 30' WIDE UTILITY EASEMENT, DRAINAGE EASEMENT, AND APPURTENANT GRADING EASEMENT OVER LOT 24 OF TAX MAP 319; AS SHOWN.
16. SUBJECT TO WATER EASEMENT AGREEMENT TO UNION PLACE LLC RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 21496, PAGE 108. - WATER EASEMENT SHOWN.
17. SUBJECT TO WATER EASEMENT AGREEMENT TO UNION PLACE LLC RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 21496, PAGE 114. - NOT LOCUS.
18. SUBJECT TO EASEMENT TO MASS. ELECTRIC RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 23731, PAGE 482. - ELECTRIC LINE EASEMENT SHOWN.
19. SUBJECT TO RECIPROCAL EASEMENT AGREEMENT WITH UNION STREET BUSINESS PARK CONDOMINIUM TRUST RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 29957, PAGE 156. - BLANKET IN NATURE

TABLE OF APPARENT ENCROACHMENTS

- METAL STORAGE CONTAINERS OVER PROP LINE 3.1' - 4.5'

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

GRAPHIC SCALE



THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 8, & 16 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 15, 2021.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



GERRY L. HOLDRIGHT, PLS  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE	3-15-21	ALTA/NSPS LAND TITLE SURVEY
FIELD BOOK NO.	20-19-MA	UNION STREET BUSINESS PARK, LLC
FIELD BOOK PGS.	61-62	837 UPPER UNION STREET MAP 314, BLOCK 20, LOT 1 CITY OF FRANKLIN, NORFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS
FIELD CREW	J.S.A.	CONTROL POINT ASSOCIATES, INC.
DRAWN	B.A.L.	ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-8600 HAUTSPRINGER, NY 615-880-3545 MANHATTAN, NY 646-780-0411 SOUTH BOKROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WARREN, NJ 908-668-0999
REVIEWED:	R.J.K.	APPROVED: G.L.H.
DATE	5-14-2021	SCALE
FILE NO.	03-210095	DWG. NO.
1 OF 1		



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THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

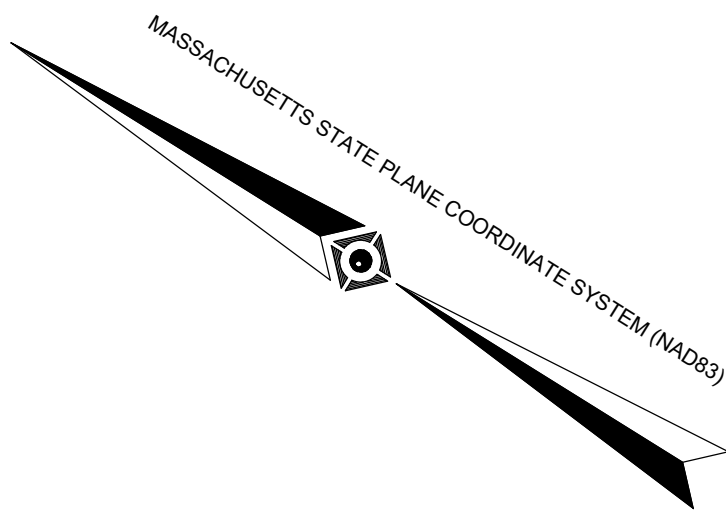
LEGEND	
---	EXISTING CONTOUR
123.45	EXISTING SPOT ELEVATION
TC 123.45	EXISTING TOP OF CURB ELEVATION
G 122.95	EXISTING GUTTER ELEVATION
TW 123.45	EXISTING TOP OF WALL ELEVATION
BW 122.95	EXISTING BOTTOM OF WALL ELEVATION
HYDRANT	HYDRANT
OH	OVERHEAD WIRES
G	APPROX. LOC. UNDERGROUND GAS LINE
E	APPROX. LOC. UNDERGROUND ELECTRIC LINE
W	APPROX. LOC. UNDERGROUND WATER LINE
UP	UTILITY POLE
GW	GUY WIRE
AL	AREA LIGHT
MB	MAIL BOX
B	BOLLARD
P	POST
C	CONCRETE
CLF	CHAIN LINK FENCE
EOP	EDGE OF PAVEMENT
SMH	SANITARY/SEWER MANHOLE
DHF	DRILL HOLE FOUND
SBFH	STONE BOUND W/DRILL HOLE
PVC	POLYVINYL CHLORIDE PIPE
(TYP)	TYPICAL
NFY	NOT FIELD VERIFIED
TBM	TEMPORARY BENCHMARK
GC	GRANITE CURB
(S)	SURVEY DIMENSION
(D)	DEED DIMENSION

TABLE OF APPARENT ENCROACHMENTS	
MS	METAL STORAGE CONTAINERS OVER PROP LINE 3.1' - 4.5'

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

## UPPER UNION STREET

(PUBLIC-VARIABLE WIDTH)



LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS  
NOT TO SCALE

### NOTES:

- PROPERTY KNOWN AS LOT 1 AS SHOWN ON THE CITY OF FRANKLIN, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS; TAX MAP NO. 314.
  - AREA = 156,645 SQUARE FEET OR 3.596 ACRES
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
  - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:  
TBM-A: X-CUT ON CORNER OF TRANSFORMER CONCRETE PAD. ELEVATION = 389.82'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  - THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
  - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

### REFERENCES:

- THE TAX ASSESSOR'S MAP OF CITY OF FRANKLIN, NORFOLK COUNTY, MAP 314.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 317 OF 430," COMMUNITY-PANEL NUMBER 250240 0317 E, EFFECTIVE DATE: JULY 17, 2012.
- MAP ENTITLED "PLAN OF LAND, UNION STREET BUSINESS PARK, FRANKLIN, MA (NORFOLK COUNTY), PREPARED FOR: UNION STREET BUSINESS PARK, LLC," PREPARED BY WELCH ASSOCIATES LAND SURVEYORS, INC. DATED DECEMBER 7, 2007. UNRECORDED PLAN.
- MAP ENTITLED "PLAN OF LAND IN FRANKLIN, MA (NORFOLK COUNTY)," PREPARED BY ENGINEERING DESIGN CONSULTANTS, INC., DATED APRIL 15, 1999. RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS AS PLAN 463 OF 1999.
- MAP ENTITLED "EXISTING CONDITIONS PLAN, UNION STREET BUSINESS PARK, 837, 839 & 841 UPPER UNION STREET, FRANKLIN, MASSACHUSETTS, PREPARED FOR: ABRAHAM PROPERTIES," PREPARED BY ENGINEERING DESIGN CONSULTANTS, INC., DATED APRIL 22, 2005. SHEET 1 OF 8.
- UNDERGROUND GAS FACILITY MAPPING PROVIDED BY EVERSOURCE GAS.
- MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF FRANKLIN, NORFOLK COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," PREPARED BY THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, DATED SEPTEMBER 29, 1965. LAYOUT NO. 5495, SHEETS 9 THROUGH 11 OF 16.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



GERRY L. HOLDRIGHT, PLS  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #42211

FIELD DATE	3-15-21	BOUNDARY & TOPOGRAPHIC SURVEY			
FIELD BOOK NO.	20-19-MA	UNION STREET BUSINESS PARK, LLC			
FIELD BOOK PGS.	61-62	837 UPPER UNION STREET MAP 314, BLOCK 20, LOT 1 CITY OF FRANKLIN, NORFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS			
FIELD CREW	J.S.A.	CONTROL POINT ASSOCIATES, INC.			
DRAWN:	B.A.L.	ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-8600 HAUPPAUGE, NY 631-880-3545 MANHATTAN, NY 646-780-0411 SOUTH BOKROUGH, MA 01772 508-948-3000 - 508-948-3003 FAX			
REVIEWED:	R.J.K.	APPROVED:	G.L.H.	DATE	3-23-2021
SCALE	1"=30'	FILE NO.	03-210095	DWG. NO.	1 OF 1

