

"BALSAM ESTATES"

Preliminary Subdivision Plan of Land  
Franklin, Massachusetts

SEPTEMBER 5, 2023

TOWN OF FRANKLIN  
TOWN CLERK

2023 SEP -5 P 3:40

RECEIVED

ABUTTERS WITHIN 300'

- Abutters List  
Date: July 17, 2023  
Subject Property ID: 242\_027  
Search Distance : 300 Feet

242\_034  
MAGLIARI FELICE N.  
MAGLIARI SHELBY  
14 MADISON AVE  
FRANKLIN, MA 02038

242\_029  
COLE MARK D  
COLE SUSAN M  
25 KIMBERLEE AV  
FRANKLIN, MA 02038

234\_012  
TOWN OF FRANKLIN  
355 EAST CENTRAL ST  
FRANKLIN, MA 02038

235\_142  
KATHLEEN LABASTIE TRUST  
469 MAPLE ST  
FRANKLIN, MA 02038

242\_028  
LECHTER JOSH & ERIN  
35 KIMBERLEE AV  
FRANKLIN, MA 02038

242\_038  
MARINO DARREN  
MARINO ROSEANNE  
26 MADISON AVE  
FRANKLIN, MA 02038

242\_026  
BRADY CHRISTOPHER B  
BRADY LISA B  
36 KIMBERLEE AV  
FRANKLIN, MA 02038

242\_025  
KESSLER AMY B  
32 KIMBERLEE AV  
FRANKLIN, MA 02038

242\_037  
GRIFFINSEAN & KARLY  
22 MADISON AVE  
FRANKLIN, MA 02038

242\_036  
WROBLESKI KENT  
18 MADISON AVE  
FRANKLIN, MA. 02038

242\_035  
WROBLESKI KENT &  
BETRO KENDRE  
18 MADISON AVE  
FRANKLIN, MA 02038

242\_024  
GROVE PHILIP H  
GROVE DARLENE A  
28 KIMBERLEE AVE  
FRANKLIN, MA 02038

242\_047  
LATOUR MATTHEW DENIS  
LATOUR CAITLIN ELIZABETH  
25 MADISON AVE  
FRANKLIN, MA 02038

242\_033  
GRADY KEVIN T  
GRADY SUZANNE M  
10 MADISON AVE  
FRANKLIN, MA 02038

242\_048  
CEDARHOLM MATTHEW R  
CEDARHOLM TARA A  
21 MADISON AV  
FRANKLIN, MA 02038

242\_030  
MORANDI JEFFREY & DEBORA  
21 KIMBERLEE AVE  
FRANKLIN, MA 02038

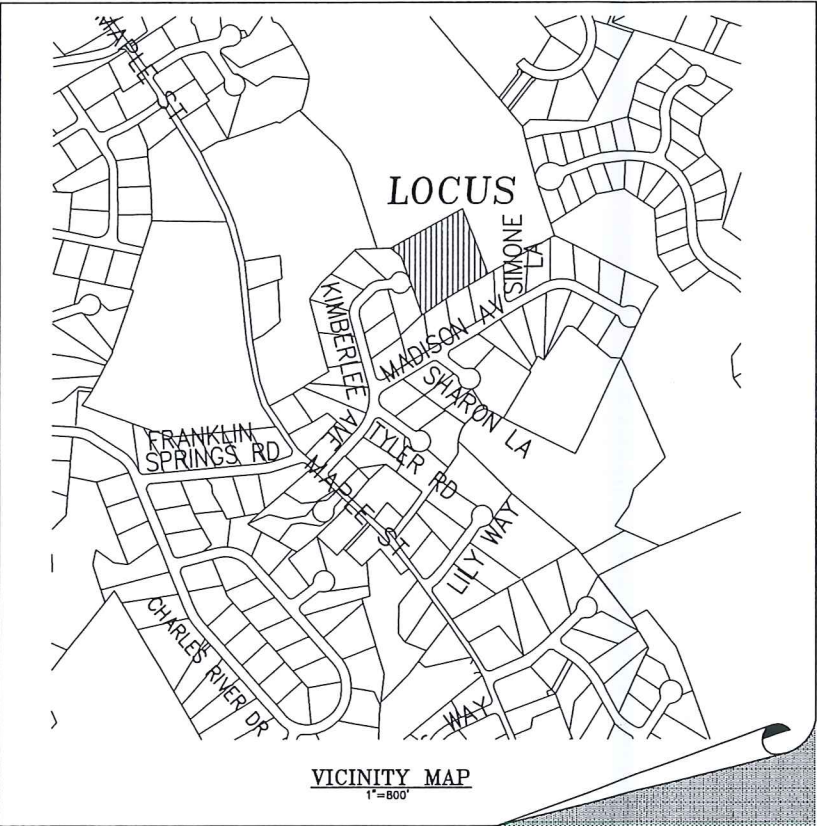
242\_032  
THOMAS POWDERLY LIVING  
TRUST  
6 MADISON AVE  
FRANKLIN, MA 02038

242\_049  
JONES EUGENE P  
JONES LISA A  
17 MADISON ST  
FRANKLIN, MA 02038

242\_050  
MAHONEY FAMILY LIVING TRUST  
11 MADISON AV  
FRANKLIN, MA 02038

242\_031  
MONISHA KALLIANPUR REVOC  
TRUST  
4 MADISON AVE  
FRANKLIN, MA 02038

242\_053  
O'BRIEN DAVID S  
O'BRIEN LISA A  
5 MADISON AV  
FRANKLIN, MA 02038



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2.

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4.

SITE DEVELOPMENT PLAN

APPROVED DATE: \_\_\_\_\_

FRANKLIN PLANNING BOARD

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

BEING A MAJORITY



OWNER

LORENA R. FITZGERALD  
441 MAPLE STREET  
FRANKLIN, MA 02039

A.M. 242 LOT 27  
DEED BK. 35754 PG. 562

APPLICANT

JOEL D'ERRICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

"BALSAM ESTATES"  
PRELIMINARY  
SUBDIVISION  
PLAN OF LAND  
FRANKLIN  
MASSACHUSETTS

| COVER             |      |                      |
|-------------------|------|----------------------|
| SEPTEMBER 5, 2023 |      |                      |
| SHEET             | DATE | REVISION DESCRIPTION |
| 1 OF 4            |      |                      |
|                   |      |                      |
|                   |      |                      |
|                   |      |                      |
|                   |      |                      |

Guerriere &  
Halton, Inc.

ENGINEERING & LAND SURVEYING

55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gondhengineering.com



PLAN REFERENCES

FOUND AT THE NORFOLK COUNTY REGISTRY OF DEEDS

1. RECORDED PLAN NO. 97 OF 1990 PLAN BOOK 389 ENTITLED "PLAN OF LAND IN FRANKLIN, MASS., BEING A SUBDIVISION OF PART OF L.C. CASE #38163A, PREPARED FOR: HENRY D. LABASTIE; SCALE 1"=120'; DATED FEBRUARY 1, 1990; PREPARED BY CLAYTON T. RYAN, JR., PLS.
2. RECORDED LAND COURT PLAN MARKED 38163C ENTITLED "PLAN OF LAND IN FRANKLIN, MASS., BEING A SUBDIVISION OF PART OF L.C. CASE #38163A, PREPARED FOR MAPLECREST DEVELOPMENT CORPORATION, SCALE 40 FT TO AN INCH, DATE AUGUST 25, 1995, PREPARED BY GUERRIERE & HALNON, INC., FRANKLIN, MASSACHUSETTS."
3. RECORDED PLAN NO. 120 OF 2002 PLAN BOOK 493 ENTITLED "COMPILED PLAN OF LAND IN FRANKLIN, MASS" PREPARED FOR LORENA FITZGERALD SCALE 1"=40' DATED AUGUST 29, 2001, PREPARED BY WILLIAM ROSSETTI, PLS.

RURAL RESIDENTIAL II

FRANKLIN ZONING BYLAW SECTION 185  
ATTACHMENT 9; LAST AMENDED  
03-13-2019 BY AMENDMENT 19-831

MINIMUM LOT AREA 30,000 SF  
MINIMUM LOT FRONTAGE 150'  
MINIMUM LOT DEPTH 200'  
MINIMUM LOT WIDTH 135'

MINIMUM YARDS  
FRONT 40'  
SIDE 35'  
REAR 35'

% OF LOT UPLAND COVERED BY:  
STRUCTURES 20  
STRUCTURES+PAVING 25

4. WITHIN OPEN SPACE DEVELOPMENTS, THE  
LOT WIDTH WHICH MUST BE MET FOR  
INDIVIDUAL LOTS SHALL NOT BE LESS THAN  
1/2 THOSE REQUIRED WITHIN THE UNDERLYING  
DISTRICT

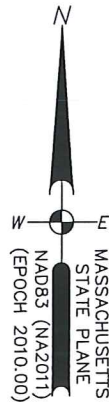
NOTES

1. THIS LAND REFERS TO FRANKLIN ASSESSOR MAP 242 LOT 27
2. THIS LAND IS ZONED RURAL RESIDENTIAL II (RRII).
3. THIS PLAN WAS CREATED FROM PLANS AND DEEDS RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS.
4. THERE ARE NO WETLANDS PRESENT ON THIS SITE.
5. THIS SITE IS NOT WITHIN WATER RESOURCE DISTRICT.
6. ELEVATIONS REFER TO NAVD 88.
7. TOPOGRAPHY AND PHYSICAL FEATURES WERE OBTAINED FROM AN ON-THE-GROUND SURVEY DONE BY GUERRIERE & HALNON, INC.

BENCHMARK SPIKE SET  
IN 12" PINE  
ELEVATION=306.28  
NAVD88 NB518/5

LEGEND

|        |                          |
|--------|--------------------------|
| ○      | EXISTING PIPE FOUND      |
| ■      | EXISTING BOUND FOUND     |
| ⊙      | EXISTING DRILLHOLE FOUND |
| ⊗      | EXISTING WATER VALVE     |
| ⊕      | EXISTING FIRE HYDRANT    |
| ⊞      | EXISTING CATCHBASIN      |
| ⊟      | EXISTING DRAIN MANHOLE   |
| ~      | EXISTING TREELINE        |
| ⊙      | EXISTING TEST PIT        |
| —W—    | EXISTING WATERLINE       |
| —D—    | EXISTING DRAINLINE       |
| 000.0x | EXISTING SPOT ELEVATION  |
| —000—  | EXISTING CONTOUR         |
| ○○○○○○ | EXISTING STONEWALL       |
| ⊞      | EXISTING MAILBOX         |



N/F  
CHRISTOPHER B. & LISA B.  
BRADY

EXISTING  
HOUSE  
#36

KIMBERLEE  
AVENUE  
(PUBLIC ~ 56' WIDE)

BENCHMARK  
VERTICAL RAILROAD  
SPIKE IN CROTCH OF  
TWIN 12" OAK  
ELEVATION=298.91  
NAVD88

EXISTING  
HOUSE  
#35

N/F  
JOSH L. &  
ERIN M. LECHTER

N/F  
LORENA R. FITZGERALD  
AREA=179,164±SF  
(4.113±ACRES)

ASSESSOR'S MAP 109 LOT  
13-1  
DEED BK. 3270 PG. 562-6

TP  
#23-6  
TOP OF  
PIPE=297.78

N/F  
FELICE N. & SHELBY P.  
MAGLIARI

EXISTING  
HOUSE  
#14

BENCHMARK  
SPIKE SET IN 20" PINE  
ELEVATION=293.21  
NAVD88 NB518/5

N/F  
KEVIN P. & SUZANNE M.  
GRADY

N/F  
KENT WROBLESKI &  
KENDRE BETRO

EXISTING  
HOUSE  
#18

SIMONE LANE  
(56' WIDE)

AVENUE  
(PUBLIC ~ 56' WIDE)  
MADISON

APPROVED DATE:

FRANKLIN PLANNING BOARD

BEING A MAJORITY



OWNER

LORENA R. FITZGERALD  
441 MAPLE STREET  
FRANKLIN, MA 02039

A.M. 242 LOT 27  
DEED BK. 35754 PG. 562

APPLICANT

JOEL D'ERRICO  
72 DEERVUE WAY  
FRANKLIN, MA 02038

PRELIMINARY  
SUBDIVISION  
PLAN OF LAND  
BALSAM ESTATES  
FRANKLIN  
MASSACHUSETTS

EXISTING CONDITIONS

AUGUST ,2023

DATE REVISION DESCRIPTION

GRAPHIC SCALE: 1"=30'



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SHEET  
2 OF 4

JOB NO.  
F4631

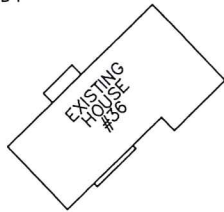
REGISTRY USE ONLY

F4631

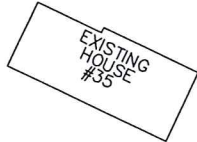


| LEGEND |                          |
|--------|--------------------------|
| ○      | EXISTING PIPE FOUND      |
| ■      | EXISTING BOUND FOUND     |
| ⊙      | EXISTING DRILLHOLE FOUND |
| ⊕      | EXISTING WATER VALVE     |
| ⊕      | EXISTING FIRE HYDRANT    |
| ⊕      | EXISTING CATCHBASIN      |
| ⊕      | EXISTING DRAIN MANHOLE   |
| ~~~~~  | EXISTING TREELINE        |
| ⊕      | EXISTING TEST PIT        |
| —W—    | EXISTING WATERLINE       |
| —D—    | EXISTING DRAINLINE       |
| 000.0x | EXISTING SPOT ELEVATION  |
| —000—  | EXISTING CONTOUR         |
| ⊕⊕⊕⊕⊕  | EXISTING STONEWALL       |
| ⊕      | EXISTING MAILBOX         |

N/F  
CHRISTOPHER B. & LISA B.  
BRADY



KIMBERLEE  
AVENUE  
(PUBLIC ~ 56' WIDE)



N/F  
JOSH L. &  
ERIN M LECHTER

PARCEL B  
AREA=15,262±SF  
(0.350±AC)  
NOT TO BE CONSIDERED A  
SEPARATE BUILDABLE LOT

LOT 1  
AREA=30,349±SF  
(0.697±AC)

PARCEL A  
AREA=17,996±SF  
(0.413±AC)  
NOT TO BE CONSIDERED A  
SEPARATE BUILDABLE LOT

BALSAM LANE  
(PRIVATE ~ 56' WIDE)  
AREA=24,953±SF  
(0.574±AC)

LOT 4  
AREA=30,237±SF  
(0.694±AC)

N/F  
KEVIN P. & SUZANNE M.  
GRADY

N/F  
FELICE N. & SHELBY P.  
MAGLIARI



LOT 2  
AREA=30,126±SF  
(0.692±AC)

LOT 3  
AREA=30,201±SF  
(0.693±AC)

N/F  
KENT WROBLESKI &  
KENDRE BETRO

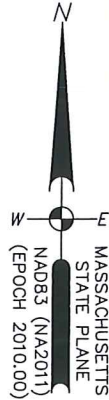


MADISON AVENUE  
(PUBLIC ~ 56' WIDE)

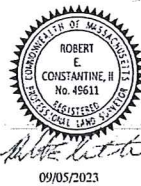
SIMONE LANE  
(56' WIDE)

I, NANCY DANELLO, CLERK OF THE TOWN OF  
FRANKLIN, RECEIVED AND RECORDED FROM  
THE PLANNING BOARD COVENANT APPROVAL  
OF THIS PLAN ON \_\_\_\_\_ AND NO  
APPEAL WAS TAKEN FOR TWENTY DAYS NEXT  
AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK DATE



APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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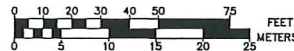
PRELIMINARY  
SUBDIVISION  
PLAN OF LAND  
BALSAM ESTATES  
FRANKLIN  
MASSACHUSETTS

LOTING PLAN

AUGUST ,2023

| DATE | REVISION DESCRIPTION |
|------|----------------------|
|      |                      |
|      |                      |
|      |                      |
|      |                      |
|      |                      |

GRAPHIC SCALE: 1"=30'



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SHEET 3 OF 4

JOB NO. F4631

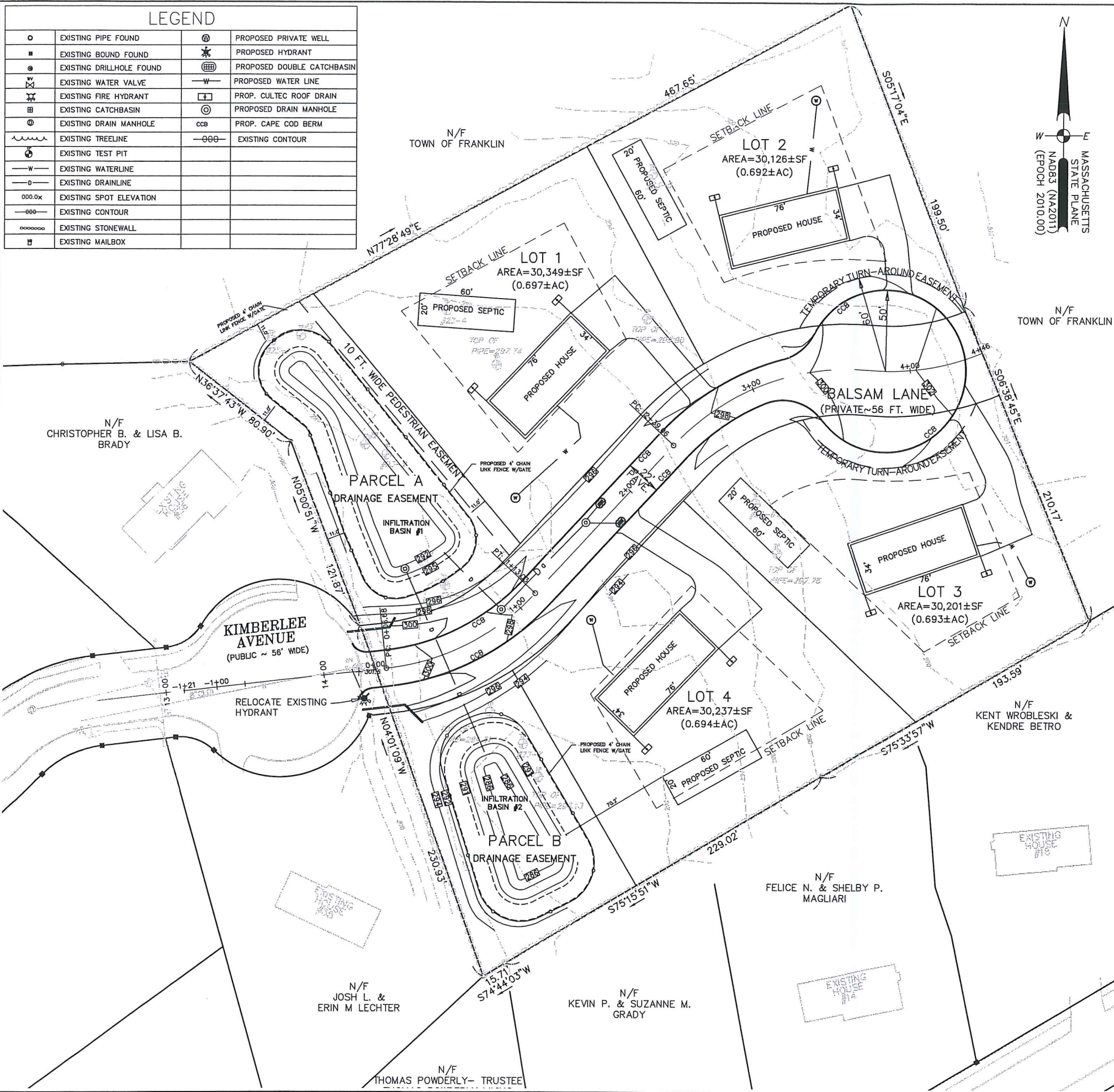
REGISTRY USE ONLY

F4631



# LEGEND

|        |                          |       |                            |
|--------|--------------------------|-------|----------------------------|
| ○      | EXISTING PIPE FOUND      | ⊗     | PROPOSED PRIVATE WELL      |
| ■      | EXISTING BOUND FOUND     | ⊕     | PROPOSED HYDRANT           |
| ⊙      | EXISTING DRILLHOLE FOUND | ⊞     | PROPOSED DOUBLE CATCHBASIN |
| ⊕      | EXISTING WATER VALVE     | —W—   | PROPOSED WATER LINE        |
| ⊕      | EXISTING FIRE HYDRANT    | ⊞     | PROP. CULTEC ROOF DRAIN    |
| ⊞      | EXISTING CATCHBASIN      | ⊞     | PROPOSED DRAIN MANHOLE     |
| ⊞      | EXISTING DRAIN MANHOLE   | CCB   | PROP. CAPE COD BERM        |
| —      | EXISTING TREETRUELINE    | —000— | EXISTING CONTOUR           |
| ⊕      | EXISTING TEST PIT        |       |                            |
| —W—    | EXISTING WATERLINE       |       |                            |
| —D—    | EXISTING DRAINLINE       |       |                            |
| 000.0x | EXISTING SPOT ELEVATION  |       |                            |
| —000—  | EXISTING CONTOUR         |       |                            |
| ⊞      | EXISTING STONEWALL       |       |                            |
| ⊞      | EXISTING MAILBOX         |       |                            |



## WAIVERS REQUESTED

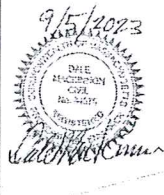
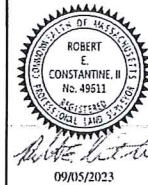
- SECTION 300-10 (D) GRADES (1)(2)(3) CUT/FILL. FILL TO EXCEED 5' MAXIMUM WHERE A MAXIMUM OF 5 FT. IS REQUIRED
- SECTION 300-10 STREETS (C)(1) TO REDUCE PAVEMENT WIDTH TO 22 FT.WHERE 26 FT. IS REQUIRED.
- SECTION 300-10 (E) DEAD END STREETS (4) TO EXTEND ROADWAY 446± BEYOND EXISTING KIMBERLEE AVE HAVING A LENGTH OF 1400 FT. WHERE 600 FT. MAXIMUM IS REQUIRED.
- SECTION 300-13 OTHER IMPROVEMENTS A SIDEWALKS(1) TO INSTALL NO SIDEWALKS WHERE TWO SIDEWALKS ARE REQUIRED.
- SECTION 300-10 STREETS (H) CURBING TO ALLOW MODIFIED CAPE COD BERM WHERE SLANT GRANITE CURB IS REQUIRED.

## TESTING INFORMATION

TESTING DATE: JULY 27, 2023 SOIL EVALUATOR: MICHAEL HASSETT

|        |                       |        |                         |
|--------|-----------------------|--------|-------------------------|
| 294.00 | TP 23-1               | 294.50 | TP 23-2                 |
| 293.50 | SANDY LOAM 10YR3/2    | 294.00 | SANDY LOAM A            |
| 291.50 | SANDY LOAM 10YR5/6    | 292.50 | SANDY LOAM B            |
| 287.83 | LOAMY SAND 2.5Y5/3    | 289.83 | FINE SAND 2.5Y5/2       |
| 283.00 | SANDY LOAM 2.5Y5/4    | 286.50 | GRAVELLY LOAMY SAND C-1 |
|        | NO REFUSAL NO MOTILES |        | NO REFUSAL              |
| 293.90 | TP 23-3               | 295.80 | TP 23-4                 |
| 293.40 | SANDY LOAM A          | 295.30 | SANDY LOAM A            |
| 290.90 | SANDY LOAM B          | 292.80 | SANDY LOAM B            |
| 289.90 | LOAMY SAND 2.5Y5/2    |        |                         |
| 285.90 | LOAMY SAND 2.5Y5/3    |        |                         |
| 280.90 | SANDY LOAM 10YR5/4    |        |                         |
|        | NO REFUSAL NO MOTILES |        |                         |

|        |                       |        |                |
|--------|-----------------------|--------|----------------|
| 299.80 | TP 23-5               | 299.30 | TP 23-6        |
| 296.80 | SANDY LOAM 10YR3/3    | 297.00 | SANDY LOAM A   |
|        | SANDY LOAM B          | 295.00 | SANDY LOAM B   |
|        | LOAMY SAND            | 293.00 | SAND 2.5Y4/3   |
|        | ANGULAR ROCKS         |        | LOAMY SAND C-1 |
| 289.80 | NO REFUSAL NO MOTILES |        | LOAMY SAND C-2 |
| 297.50 | TP 23-7               |        |                |
| 297.00 | SANDY LOAM A          |        |                |
| 288.80 | SANDY LOAM B          |        |                |
| 285.30 | LOAMY SAND 36"-78"    |        |                |
| 281.13 | LOAMY SAND 78"-128"   |        |                |



APPROVED DATE:  
FRANKLIN PLANNING BOARD

BEING A MAJORITY

## LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE FOR A VIEW OF THE UNDERGROUND UTILITIES. CONTRACTORS SHOULD BE CONSIDERED APPROXIMATE. MAKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY DETERMINED. COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

## OWNER

LORENA R. FITZGERALD  
441 MAPLE STREET  
FRANKLIN, MA 02039  
A.M. 242 LOT 27  
DEED BK. 35754 PG. 562

## APPLICANT

JOEL D'ERRICO  
72 DEERVIE WAY  
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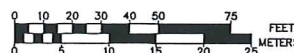
PRELIMINARY  
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PLAN OF LAND  
BALSAM ESTATES  
FRANKLIN  
MASSACHUSETTS

## SITE DEVELOPMENT

SEPTEMBER 5, 2023

| DATE | REVISION DESCRIPTION |
|------|----------------------|
|      |                      |
|      |                      |
|      |                      |
|      |                      |

GRAPHIC SCALE: 1"=30'



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