

SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET

FEBRUARY 1, 2019

RECEIVED
APR 26 2019
PLANNING DEPT.

REVISED

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PROJECT INFO:

1. PROPERTY INFORMATION:
STREET ADDRESS: WASHINGTON STREET, FRANKLIN, MA
ASSESSORS REF.: PARCEL ID: 322-031-000-000
ZONING DISTRICT: RURAL RESIDENTIAL 1
DEED REFERENCE: BOOK 32881, PAGE 044

2. ZONING INFORMATION:	
DISTRICT:	RURAL RESIDENTIAL 1
USE:	EDUCATIONAL
	REQUIRED PROPOSED
MIN. AREA:	40,000 SF 2,271,721 SF
MIN. FRONTAGE:	200' 370'
MIN. FRONT YARD:	40' 40'
MIN. SIDE YARD:	40' 40'
MIN. REAR YARD:	40' 58'
MAX. HEIGHT:	35' 32'4"
MIN. LOT WIDTH:	180' 300'
MIN. LOT DEPTH:	200' 1000'
MAX. IMPERVIOUS LOT COVERAGE:	25% 3%
MAX. IMPERVIOUS UPLAND ONLY:	15% 12.5%

3. APPLICANT:
AMEGO, INC.
33 PERRY AVE
ATTLEBORO, MA 02703

4. ARCHITECT:
WILLIAM A MASIELLO ARCHITECT INC.
389 CENTRAL STREET
BOYLSTON, MA 01505
(508)869-0597

5. ENGINEER:
QUINN ENGINEERING, INC.
PO BOX 107
PAXTON, MA 01612
(508)753-7899

6. SURVEYOR:
JARVIS LAND SURVEY
29 GRAFTON CIRCLE
SHREWSBURY, MA 01545
(508)842-8087

7. LIGHTING CONSULTANT:
SHEPHERD ENGINEERING
1300 GRAFTON STREET
WORCESTER, MA 01604
(508)757-7783

8. EMERGENCY CONTACT INFO
PERSON RESPONSIBLE FOR
MAINTENANCE OF STORMWATER:
JOHN RANDALL
AMEGO, INC.
33 PERRY AVE
ATTLEBORO, MA 02703

PARKING AND LOADING REQUIREMENTS

FROM SECTION 165-21 OF THE ZONING BYLAW

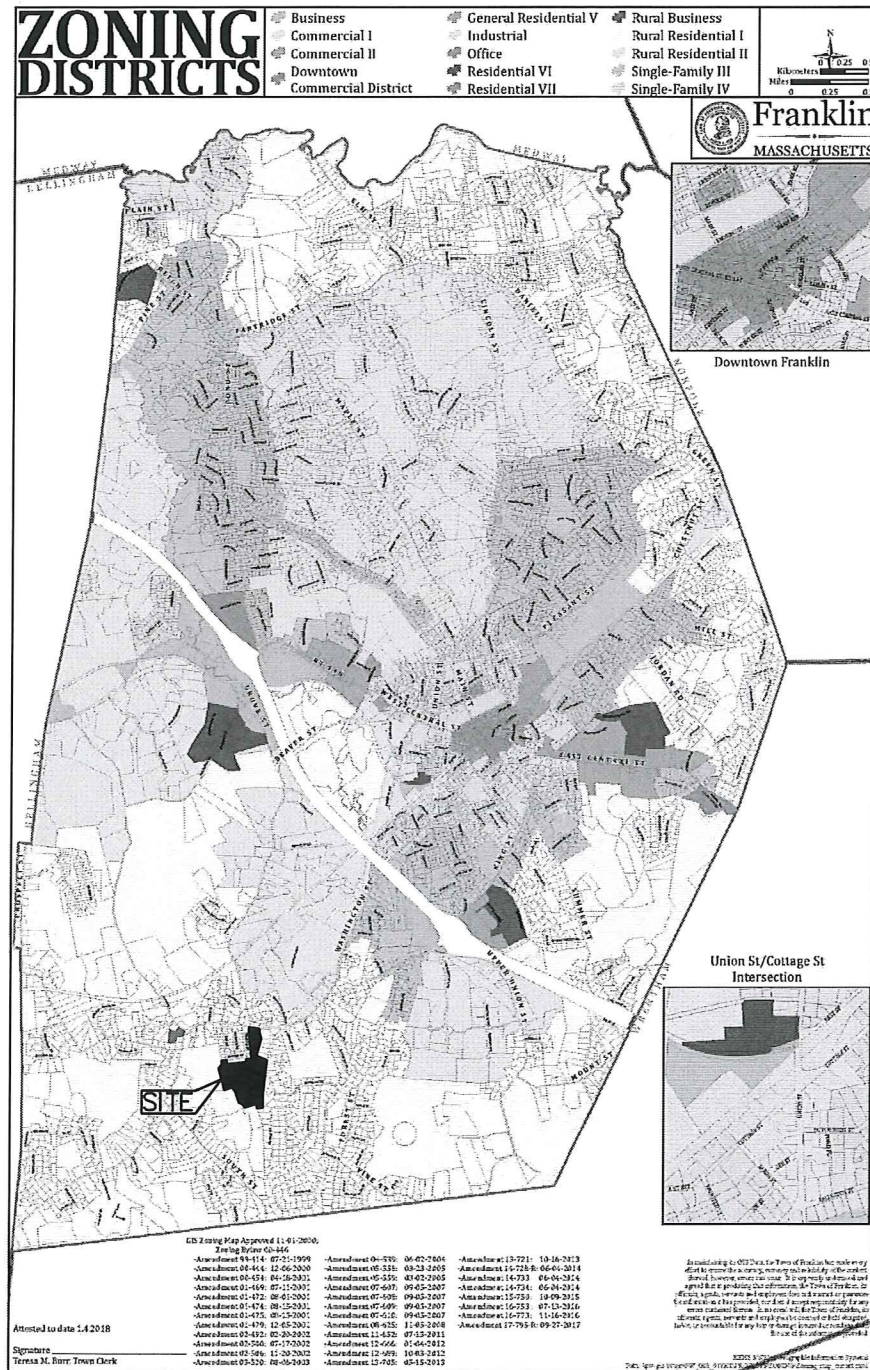
USE:	PARKING REQUIREMENT:	LOADING REQUIREMENT:
RESIDENTIAL	2 SPACES PER DWELLING	PROVIDE LOADING AREA
EDUCATIONAL OFFICE	1 SPACE PER 250 SF GROSS	PROVIDE LOADING AREA

6 NEW DWELLINGS, A SMALL MAINTENANCE BLDG., AND A SMALL EDUCATIONAL USE BLDG. ARE PROPOSED.

(6 DWELLINGS)(2 SPACES) + (3,000 SF)(1 SPACE/250 SF) = 24 SPACES REQUIRED

44 SPACES PROVIDED* > 24 SPACES REQUIRED

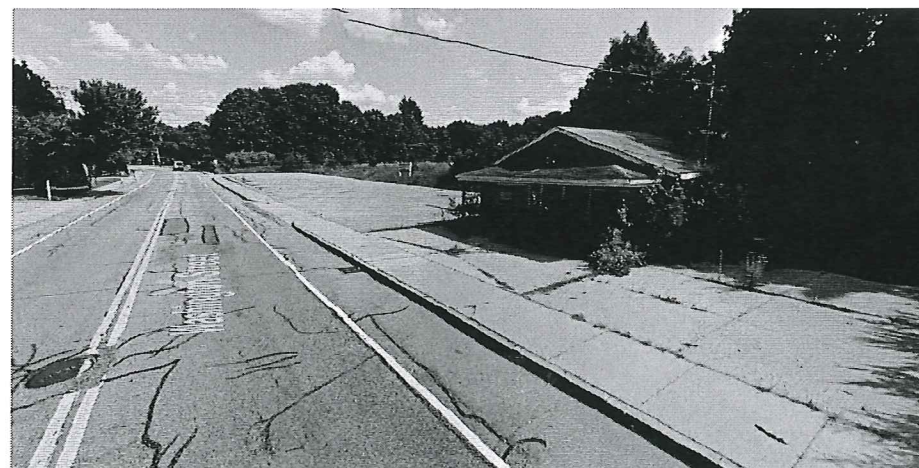
* THE 44 SPACES PROVIDED ARE BASED ON PROPOSED BUSINESS OPERATIONS AND IS INTENDED TO PROVIDE SUFFICIENT PARKING FOR RESIDENTS, STAFF, AND VISITORS WITH AMPLE LOADING SPACE FOR DROP OFF AND PICKUP OF DISABLED RESIDENTS.



TOWN OF FRANKLIN ZONING MAP
SCALE: NOT TO SCALE



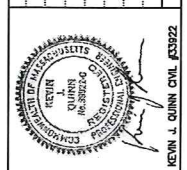
TOWN OF FRANKLIN ZONING MAP - PARTIAL
SCALE: NOT TO SCALE



SITE PHOTOGRAPH
SCALE: NOT TO SCALE

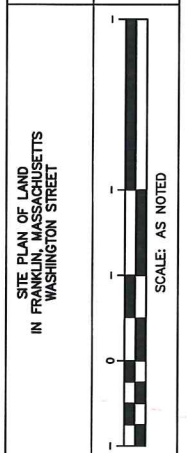


DATE	4/25/19
REVISION	1
NO.	1



APPLICANT:
AMEGO, INC.
33 PERRY AVE
ATTLEBORO, MA 02703

OWNER:
MARY + JAMES HESSON
MARQUETTE RIMMER
JACKSONVILLE, FL 32202

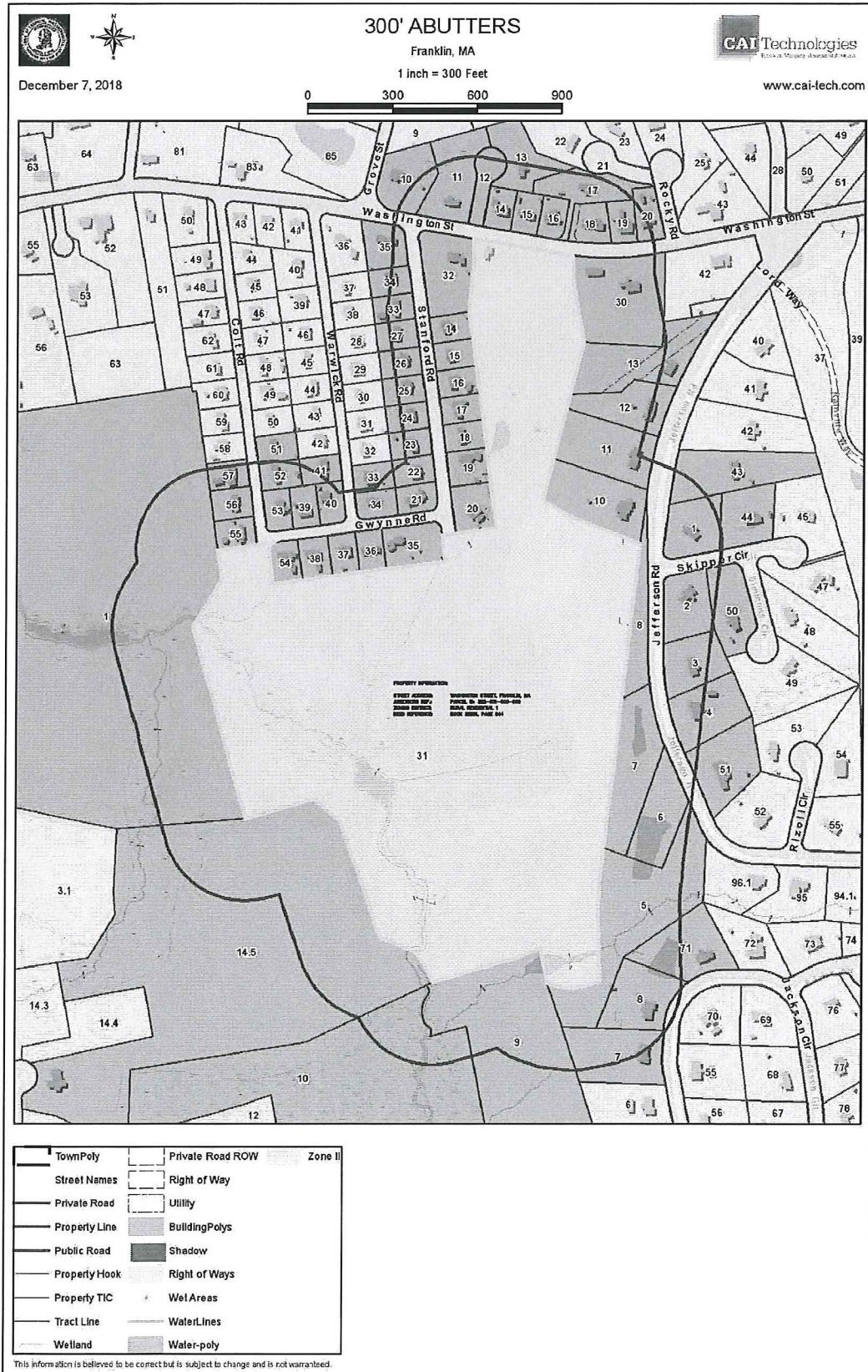


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MASIELLO
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QUINN
ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1,
2019

COVER
SHEET 1



TOWN OF FRANKLIN ABUTTERS MAP
SCALE: NOT TO SCALE

Subject Property:	Mailing Address:	Parcel Number:	Mailing Address:
Parcel Number: 322-031-000 CAMA Number: 322-031-000-000 Property Address: WASHINGTON ST	HESSION MARY M & JAMES W JR RIMMER MARGHERITA G 7410 BUCKSKIN TRAIL NORTH JACKSONVILLE, FL 32202	Parcel Number: 327-013-000 CAMA Number: 327-013-000-000 Property Address: 7 JEFFERSON RD	Mailing Address: SEIFERT MARK E SEIFERT JULIE A 7 JEFFERSON RD FRANKLIN, MA 02038
Abutters:			
Parcel Number: 322-010-000 CAMA Number: 322-010-000-000 Property Address: 970 GROVE ST	Mailing Address: SEAWARD PHILIP SEAWARD MEGHAN 970 GROVE ST FRANKLIN, MA 02038	Parcel Number: 327-014-000 CAMA Number: 327-014-000-000 Property Address: 6 STANFORD RD	Mailing Address: FRASER CHRISTOPHER P 6 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-011-000 CAMA Number: 322-011-000-000 Property Address: 727 WASHINGTON ST	Mailing Address: CIAMPOLILLO VITO M JR 727 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-016-000 CAMA Number: 327-016-000-000 Property Address: 10 STANFORD RD	Mailing Address: WINTERS ROBERT L WINTERS SUSAN 10 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-012-000 CAMA Number: 322-012-000-000 Property Address: BECKY LN	Mailing Address: CIO MODAK SUSAN 723 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-017-000 CAMA Number: 327-017-000-000 Property Address: 12 STANFORD RD	Mailing Address: LOULACHE FOUAD B & HELEN R TRS BAYSIDE MEADOWS REALTY TRUST 12 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-013-000 CAMA Number: 322-013-000-000 Property Address: 723 WASHINGTON ST	Mailing Address: MODAK SUSAN MODAK IRAN 723 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-018-000 CAMA Number: 327-018-000-000 Property Address: 14 STANFORD RD	Mailing Address: CASHMAN DANIEL J CASHMAN ROSEMARIE R 14 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-014-000 CAMA Number: 322-014-000-000 Property Address: 719 WASHINGTON ST	Mailing Address: FOVEL LEO A FOVEL REALTY TRUST PROVIDENCE 719 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-019-000 CAMA Number: 327-019-000-000 Property Address: 16 STANFORD RD	Mailing Address: FONTENAROSA SCOTT TR FONTENAROSA REALTY TRUST SONIE 25 BUCKHILL ROAD PASCOAG, RI 02859
Parcel Number: 322-015-000 CAMA Number: 322-015-000-000 Property Address: 717 WASHINGTON ST	Mailing Address: MORGANTE STEVEN M MORGANTE MORGAN C 717 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-020-000 CAMA Number: 327-020-000-000 Property Address: 18 STANFORD RD	Mailing Address: SMITH KEVIN D 18 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-016-000 CAMA Number: 322-016-000-000 Property Address: 715 WASHINGTON ST	Mailing Address: LABOSSIER FRANCIS L LABOSSIER COTILDA 715 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-021-000 CAMA Number: 327-021-000-000 Property Address: 17 STANFORD RD	Mailing Address: SMITH KIRK A & PAMELA A TRS KIRK SMITH FAMILY IRREVOC TRST 17 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-017-000 CAMA Number: 322-017-000-000 Property Address: 713 WASHINGTON ST	Mailing Address: LICHTENSTEIN JAY LICHTENSTEIN AMY 713 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-022-000 CAMA Number: 327-022-000-000 Property Address: 15 STANFORD RD	Mailing Address: LAURENCE MARIA 15 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-018-000 CAMA Number: 322-018-000-000 Property Address: 711 WASHINGTON ST	Mailing Address: SCIOLO YOLANDA C U/E SCIOLO DAVID J P O BOX 44 FRANKLIN, MA 02038	Parcel Number: 327-023-000 CAMA Number: 327-023-000-000 Property Address: 13 STANFORD RD	Mailing Address: OBRIEN CHARLES A III&PAMELA J MAM FAMILY REALTY TRUST 13 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-019-000 CAMA Number: 322-019-000-000 Property Address: 701 WASHINGTON ST	Mailing Address: BOYLE YOLANDA L/E FREDERICK G BOYLE 701 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-024-000 CAMA Number: 327-024-000-000 Property Address: 11 STANFORD RD	Mailing Address: CONLEY KEVIN J CONLEY JENNIFER A 11 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-020-000 CAMA Number: 322-020-000-000 Property Address: 697 WASHINGTON ST	Mailing Address: UMPHREY MARK S II ZUNIGA ANGEE SANTOS 697 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-025-000 CAMA Number: 327-025-000-000 Property Address: 9 STANFORD RD	Mailing Address: NUTTER BENJAMIN NUTTER JESSICA 9 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-030-000 CAMA Number: 322-030-000-000 Property Address: 704 WASHINGTON ST	Mailing Address: LAJERO LLC 120 LEWIS ST FRANKLIN, MA 02038	Parcel Number: 327-026-000 CAMA Number: 327-026-000-000 Property Address: 7 STANFORD RD	Mailing Address: RIPLEY ROBERT B RIPLEY ANN E 7 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-032-000 CAMA Number: 322-032-000-000 Property Address: 724 WASHINGTON ST	Mailing Address: PADULA RALPH A PADULA ELIZABETH C 724 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-027-000 CAMA Number: 327-027-000-000 Property Address: 5 STANFORD RD	Mailing Address: EKSTROM BRETT MACESIC LAURA 5 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-033-000 CAMA Number: 322-033-000-000 Property Address: 3 STANFORD RD	Mailing Address: ROHAN SUSAN C 3 STANFORD RD FRANKLIN, MA 02038	Parcel Number: 327-033-000 CAMA Number: 327-033-000-000 Property Address: 16 WARWICK RD	Mailing Address: DOHERTY WILLIAM J DOHERTY ROSE A 16 WARWICK RD FRANKLIN, MA 02038
Parcel Number: 322-034-000 CAMA Number: 322-034-000-000 Property Address: 1 STANFORD RD	Mailing Address: SHUAUGHNESSY JOHN J DEXTER KAREN M 1 STANFORD RD FRANKLIN, MA 02038	Parcel Number: 327-034-000 CAMA Number: 327-034-000-000 Property Address: 10 GWYNNE RD	Mailing Address: COHEN HOWARD J COHEN DIANE S 10 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 322-035-000 CAMA Number: 322-035-000-000 Property Address: 732 WASHINGTON ST	Mailing Address: GORDON MATTHEW GORDON A RODINO 732 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-035-000 CAMA Number: 327-035-000-000 Property Address: 9 GWYNNE RD	Mailing Address: WETMORE CHRISTOPHER J WETMORE NICOLE A 9 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 326-001-000 CAMA Number: 326-001-000-000 Property Address: WASHINGTON ST	Mailing Address: COOK MARILYN E 2200 WEST ST WRENTHAM, MA 02093	Parcel Number: 327-036-000 CAMA Number: 327-036-000-000 Property Address: 7 GWYNNE RD	Mailing Address: SCHARLACKEN RAYMOND J SCHARLACKEN DARLA J 7 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 327-001-000 CAMA Number: 327-001-000-000 Property Address: 14 JEFFERSON RD	Mailing Address: NIEMI RALPH A NIEMI THERESA P 14 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-037-000 CAMA Number: 327-037-000-000 Property Address: 5 GWYNNE RD	Mailing Address: DOLINSKI BRIAN M STADNICKI J L 9 MERCER LANE FRANKLIN, MA 02038
Parcel Number: 327-002-000 CAMA Number: 327-002-000-000 Property Address: 16 JEFFERSON RD	Mailing Address: SBORDON JAMES V TIBBS-SBORDON DAWN 16 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-038-000 CAMA Number: 327-038-000-000 Property Address: 3 GWYNNE RD	Mailing Address: DREW LORRAINE 3 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 327-003-000 CAMA Number: 327-003-000-000 Property Address: 15 JEFFERSON RD	Mailing Address: WATSON LANE WILLIAM STURTEVANT ANABELA 1175 BOSTON PROVIDENCE TPKE NORWOOD, MA 02062-5019	Parcel Number: 327-039-000 CAMA Number: 327-039-000-000 Property Address: 2 GWYNNE RD	Mailing Address: HARN MICHAEL HARN CHARLENE 2 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 327-004-000 CAMA Number: 327-004-000-000 Property Address: 20 JEFFERSON RD	Mailing Address: SCHARLAND MICHAEL J & HOLLY M SCHARLAND FAMILY LIVING TRUST 20 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-040-000 CAMA Number: 327-040-000-000 Property Address: 17 WARWICK RD	Mailing Address: SOUZA RICHARD JOSEPH SOUZA MARILYN 17 WARWICK RD FRANKLIN, MA 02038
Parcel Number: 327-005-000 CAMA Number: 327-005-000-000 Property Address: JEFFERSON RD	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038	Parcel Number: 327-041-000 CAMA Number: 327-041-000-000 Property Address: 15 WARWICK RD	Mailing Address: WARNER CHRISTOPHER E WARNER JULIE A 15 WARWICK RD FRANKLIN, MA 02038
Parcel Number: 327-006-000 CAMA Number: 327-006-000-000 Property Address: 17 JEFFERSON RD	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038	Parcel Number: 327-051-000 CAMA Number: 327-051-000-000 Property Address: 16 COLT RD	Mailing Address: WOOD JENNIFER WOOD ROBERT 16 COLT RD FRANKLIN, MA 02038
Parcel Number: 327-007-000 CAMA Number: 327-007-000-000 Property Address: 15 JEFFERSON RD	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038	Parcel Number: 327-052-000 CAMA Number: 327-052-000-000 Property Address: 16 COLT RD	Mailing Address: DEPEDRO DENISE DEPEDRO MICHAEL 16 COLT RD FRANKLIN, MA 02038
Parcel Number: 327-008-000 CAMA Number: 327-008-000-000 Property Address: JEFFERSON RD	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038	Parcel Number: 327-053-000 CAMA Number: 327-053-000-000 Property Address: 20 COLT RD	Mailing Address: GAGNON STEFAN C GAGNON EMILY K 20 COLT RD FRANKLIN, MA 02038
Parcel Number: 327-010-000 CAMA Number: 327-010-000-000 Property Address: 13 JEFFERSON RD	Mailing Address: MOLLO STEVEN J MOLLO WENDY L 13 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-054-000 CAMA Number: 327-054-000-000 Property Address: 1 GWYNNE RD	Mailing Address: ROGERS ANTONY A ROGERS KAREN Z 1 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 327-011-000 CAMA Number: 327-011-000-000 Property Address: 11 JEFFERSON RD	Mailing Address: ZHANG MENSTAO 11 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-055-000 CAMA Number: 327-055-000-000 Property Address: 21 COLT RD	Mailing Address: MOGAURO STEPHEN MOGAURO JENNIFER 21 COLT RD FRANKLIN, MA 02038
Parcel Number: 327-012-000 CAMA Number: 327-012-000-000 Property Address: 9 JEFFERSON RD	Mailing Address: NARDUCCI STEVEN P NARDUCCI CHERI A 9 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-058-000 CAMA Number: 327-058-000-000 Property Address: 19 COLT RD	Mailing Address: SHEEHY EDWARD M MALIFF CHARLOTTE 19 COLT RD FRANKLIN, MA 02038

300' ABUTTERS LISTING
SCALE: NOT TO SCALE

DATE: 4/25/19
TOWN/BETA COMMENTS
NO. 1
REVISION

APPLICANT: AMECO, INC.
1000 STATE ST
ATLANTIC, MA 02703
OWNER: MARY + JAMES HESSON
7410 BUCKSKIN TRAIL NORTH
JACKSONVILLE, FL 32202
KEVIN J QUINN CIVIL #3922

SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET

SCALE: AS NOTED

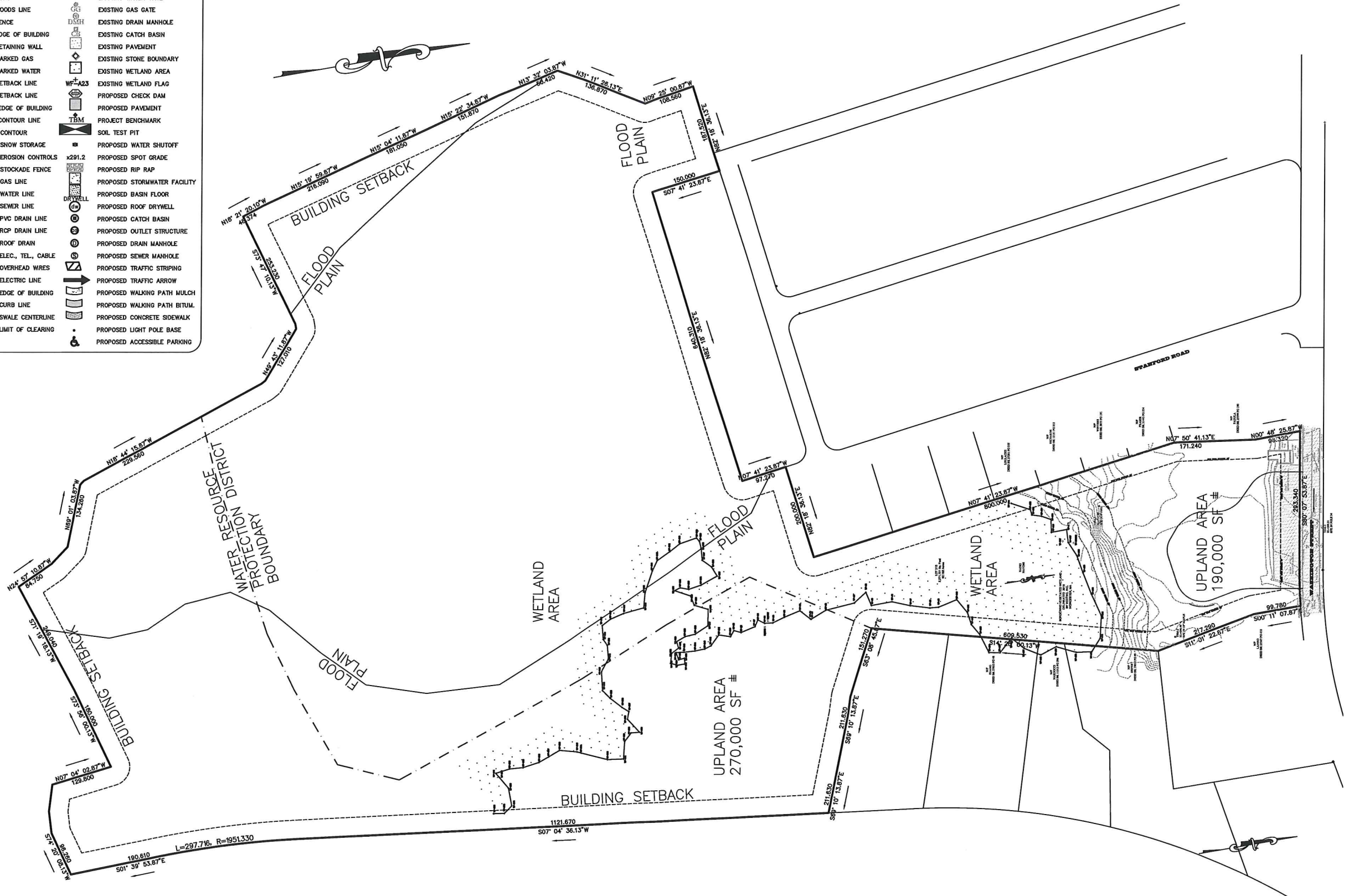
WILLIAM J. MASIELLO ARCHITECT INC.
508-869-0597
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QUINN ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019
ABUTTERS MAP AND
ABUTTERS LISTING
SHEET 2

LEGEND

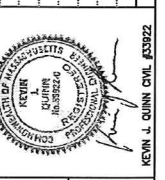
	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
	EXISTING FENCE		EXISTING DRAIN MANHOLE
	EXISTING EDGE OF BUILDING		EXISTING CATCH BASIN
	EXISTING RETAINING WALL		EXISTING PAVEMENT
	EXISTING MARKED GAS		EXISTING STONE BOUNDARY
	EXISTING MARKED WATER		EXISTING WETLAND AREA
	BUILDING SETBACK LINE		EXISTING WETLAND FLAG
	WETLAND OFFSET		PROPOSED CHECK DAM
	TOWN GIS EDGE OF BUILDING		PROPOSED PAVEMENT
	TOWN GIS CONTOUR LINE		PROJECT BENCHMARK
	PROPOSED CONTOUR		SOIL TEST PIT
	PROPOSED SNOW STORAGE		PROPOSED WATER SHUTOFF
	PROPOSED EROSION CONTROLS		PROPOSED SPOT GRADE
	PROPOSED STOCKADE FENCE		PROPOSED RIP RAP
	PROPOSED GAS LINE		PROPOSED STORMWATER FACILITY
	PROPOSED WATER LINE		PROPOSED BASIN FLOOR
	PROPOSED SEWER LINE		PROPOSED ROOF DRYWELL
	PROPOSED PVC DRAIN LINE		PROPOSED CATCH BASIN
	PROPOSED RCP DRAIN LINE		PROPOSED OUTLET STRUCTURE
	PROPOSED ROOF DRAIN		PROPOSED DRAIN MANHOLE
	PROPOSED ELEC., TEL., CABLE		PROPOSED SEWER MANHOLE
	PROPOSED OVERHEAD WIRES		PROPOSED TRAFFIC STRIPING
	PROPOSED ELECTRIC LINE		PROPOSED TRAFFIC ARROW
	PROPOSED EDGE OF BUILDING		PROPOSED WALKING PATH MULCH
	PROPOSED CURB LINE		PROPOSED WALKING PATH BITUM.
	PROPOSED SWALE CENTERLINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED LIMIT OF CLEARING		PROPOSED LIGHT POLE BASE
			PROPOSED ACCESSIBLE PARKING



PROPERTY PLAN
SCALE: 1"=100'



NO.	REVISION	DATE
1	TOWN/RETA COMMENTS	4/25/19



APPLICANT:
AMECO, INC.
33 PERRY AVE.
ATLANTIC, MA 02703

OWNER:
MARY + JAMES HESSON
MARQUETTA RIMMER NORTH
JACKSONVILLE, FL 32202



SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET

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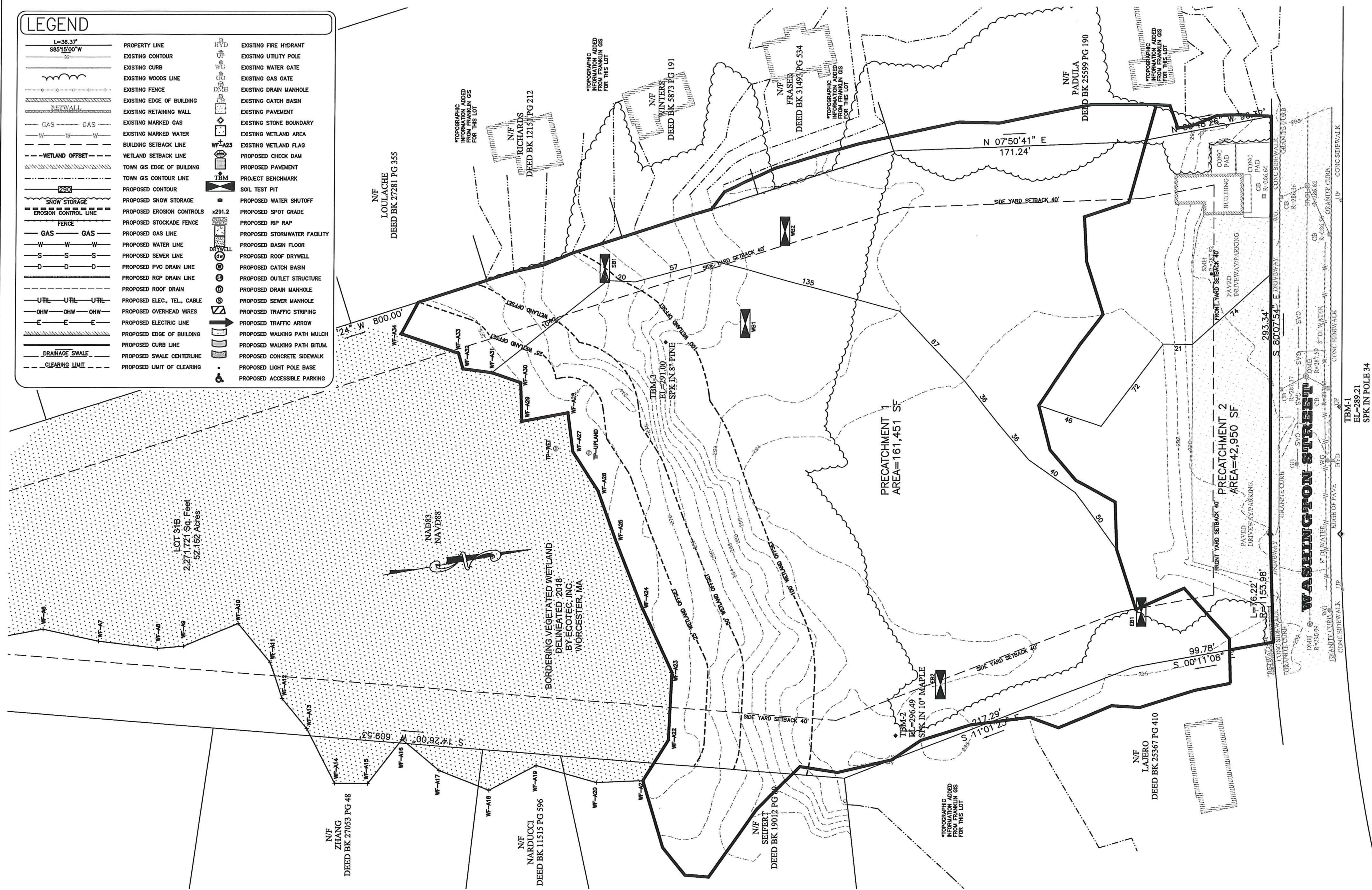
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ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1,
2019

PROPERTY PLAN
SHEET 3

LEGEND

	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
	EXISTING FENCE		EXISTING DRAIN MANHOLE
	EXISTING CATCH BASIN		EXISTING PAVEMENT
	EXISTING RETAINING WALL		EXISTING STONE BOUNDARY
	EXISTING MARKED GAS		EXISTING WETLAND AREA
	EXISTING MARKED WATER		EXISTING WETLAND FLAG
	BUILDING SETBACK LINE		PROPOSED CHECK DAM
	WETLAND OFFSET		PROPOSED PAVEMENT
	TOWN GIS EDGE OF BUILDING		PROJECT BENCHMARK
	TOWN GIS CONTOUR LINE		SOIL TEST PIT
	PROPOSED CONTOUR		PROPOSED WATER SHUTOFF
	PROPOSED SNOW STORAGE		PROPOSED SPOT GRADE
	PROPOSED EROSION CONTROLS		PROPOSED RIP RAP
	PROPOSED STOCKADE FENCE		PROPOSED STORMWATER FACILITY
	PROPOSED GAS LINE		PROPOSED BASIN FLOOR
	PROPOSED WATER LINE		PROPOSED ROOF DRYWELL
	PROPOSED SEWER LINE		PROPOSED CATCH BASIN
	PROPOSED PVC DRAIN LINE		PROPOSED OUTLET STRUCTURE
	PROPOSED RCP DRAIN LINE		PROPOSED DRAIN MANHOLE
	PROPOSED ROOF DRAIN		PROPOSED SEWER MANHOLE
	PROPOSED ELEC., TEL., CABLE		PROPOSED TRAFFIC STRIPING
	PROPOSED OVERHEAD WIRES		PROPOSED TRAFFIC ARROW
	PROPOSED ELECTRIC LINE		PROPOSED WALKING PATH MULCH
	PROPOSED EDGE OF BUILDING		PROPOSED WALKING PATH BITUM.
	PROPOSED CURB LINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED SWALE CENTERLINE		PROPOSED LIGHT POLE BASE
	PROPOSED LIMIT OF CLEARING		PROPOSED ACCESSIBLE PARKING



EXISTING CONDITIONS PLAN
SCALE: 1"=30'

QUINN ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019
EXISTING CONDITIONS
PLAN
SHEET 4

MASIELLO ARCHITECT INC.
508-869-0597
masielloarchitect.com

WILLIAM J. MASIELLO ARCHITECT

SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET

APPLICANT: AMECO, INC. 33 FERRY AVE. ATTLEBORO, MA 02703

OWNER: MARY + JAMES HESSON 7410 ROCKY RIVER NORTH JACKSONVILLE, FL 32202

NO. 1

REVISION

DATE

1

TOWN/BETA COMMENTS

4/28/19

NO. 1

REVISION

DATE

1

TOWN/BETA COMMENTS

4/28/19

NO. 1

REVISION

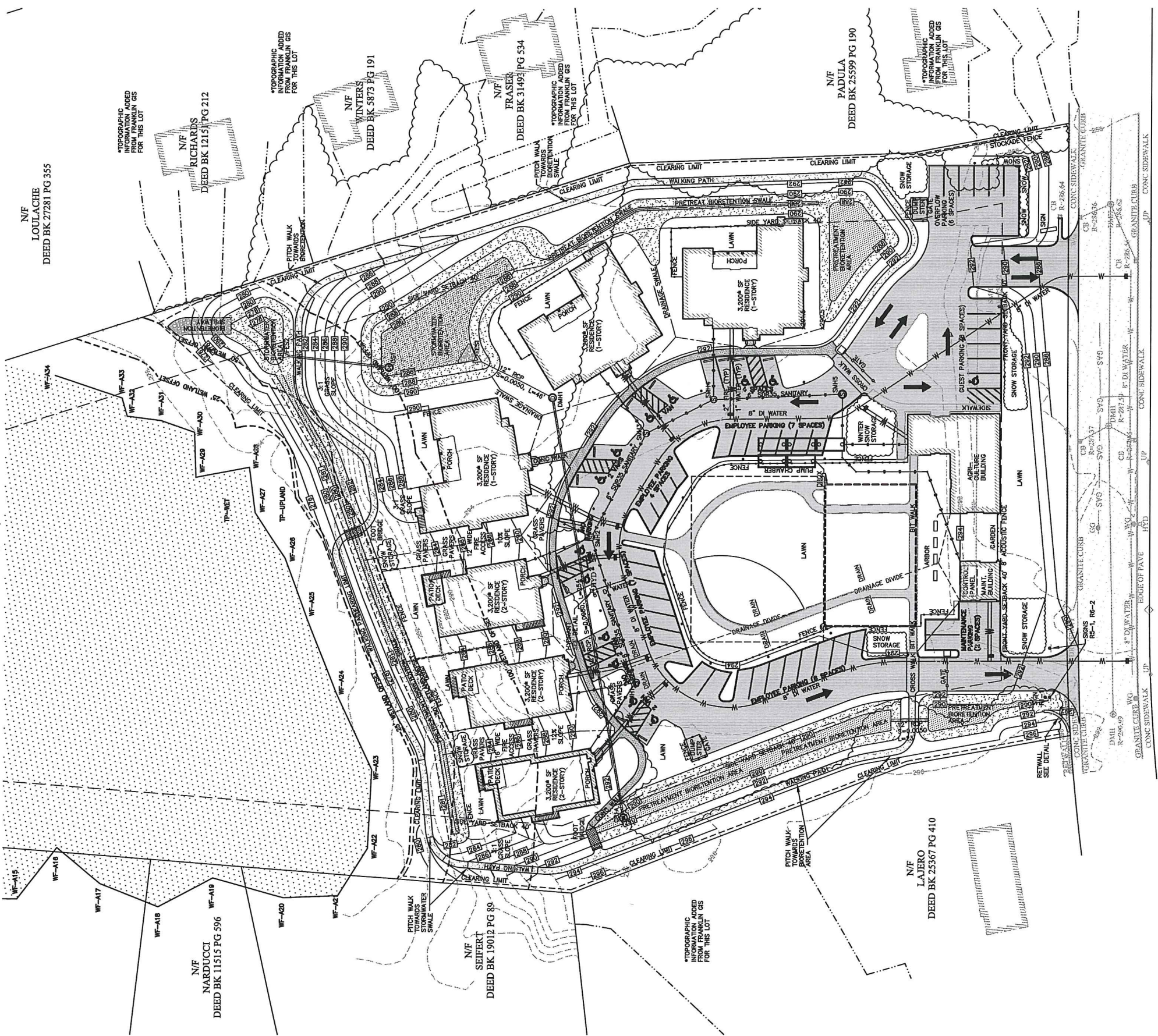
DATE

LEGEND

	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
	EXISTING FENCE		EXISTING DRAIN MANHOLE
	EXISTING EDGE OF BUILDING		EXISTING CATCH BASIN
	EXISTING RETAINING WALL		EXISTING PAVEMENT
	EXISTING MARKED GAS		EXISTING STONE BOUNDARY
	EXISTING MARKED WATER		EXISTING WETLAND AREA
	BUILDING SETBACK LINE		EXISTING WETLAND FLAG
	WETLAND OFFSET		PROPOSED CHECK DAM
	TOWN GS EDGE OF BUILDING		PROPOSED PAVEMENT
	TOWN GS CONTOUR LINE		PROJECT BENCHMARK
	PROPOSED CONTOUR		SOIL TEST PIT
	PROPOSED SNOW STORAGE		PROPOSED WATER SHUTOFF
	PROPOSED EROSION CONTROLS		PROPOSED SPOT GRADE
	PROPOSED STOCKADE FENCE		PROPOSED RIP RAP
	PROPOSED GAS LINE		PROPOSED STORMWATER FACILITY
	PROPOSED WATER LINE		PROPOSED BASIN FLOOR
	PROPOSED SEWER LINE		PROPOSED ROOF DRYWELL
	PROPOSED PVC DRAIN LINE		PROPOSED CATCH BASIN
	PROPOSED RCP DRAIN LINE		PROPOSED OUTLET STRUCTURE
	PROPOSED ROOF DRAIN		PROPOSED DRAIN MANHOLE
	PROPOSED ELEC., TEL., CABLE		PROPOSED SEWER MANHOLE
	PROPOSED OVERHEAD WIRES		PROPOSED TRAFFIC STRIPING
	PROPOSED ELECTRIC LINE		PROPOSED TRAFFIC ARROW
	PROPOSED EDGE OF BUILDING		PROPOSED WALKING PATH MULCH
	PROPOSED CURB LINE		PROPOSED WALKING PATH BITUM./
	PROPOSED SWALE CENTERLINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED LIMIT OF CLEARING		PROPOSED LIGHT POLE BASE
			PROPOSED ACCESSIBLE PARKING

GENERAL NOTES:

- ALL REQUIRED PERMITS SHALL BE SECURED PRIOR TO COMMENCING WORK. PRIOR TO COMMENCING ANY WORK ON SITE, CONTRACTOR SHALL NOTIFY THE TOWN OF FRANKLIN PLANNING AND ENGINEERING DEPARTMENTS, BUILDING DEPARTMENT, CONSERVATION COMMISSION, DEPARTMENT OF PUBLIC WORKS, SCHOOL DEPARTMENT, POLICE AND FIRE DEPARTMENTS.
- ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN REGULATIONS, ZONING BY-LAW, CONSERVATION COMMISSION LOCAL BY-LAW OR OTHER REGULATIONS AS APPLICABLE. ALL REQUIREMENTS OF THE TOWN OF FRANKLIN ARE HEREBY MADE CONDITIONS OF THIS WORK.
- CONTRACTOR SHALL CONTROL AIRBORNE DUST WITH USE OF SPRAYED WATER AS REQUIRED TO MINIMIZE IMPACT ON NEIGHBORING PROPERTIES. USE OF CALCIUM CHLORIDE OR OTHER CHEMICALS IS NOT PERMITTED.
- CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO LAY OUT THE SITE CONSTRUCTION, WHO CERTIFY THAT ALL LOCATIONS ARE AS PER PLAN.
- PROVIDE DEEP SUMPS AT ALL CATCH BASINS ON SITE.
- SEVENTY TWO HOURS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 811. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW UTILITIES WITH THE VICINITY OF EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) WITH THE APPROPRIATE UTILITY.
- INTERIM AND/OR PERMANENT SOIL STABILIZATION MEASURE SHALL BE INSTITUTED AS SOON AS PRACTICABLE, BUT NO MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED ON THAT PORTION OF THE SITE.
- REMOVE ALL TOPSOIL, SUBSOIL, PRIOR TO PLACING ANY FILL ON SITE. WHERE GRAVEL IS CALLED FOR ON SITE, CONTRACTOR MAY UTILIZE ON SITE MATERIALS, IF APPROVED BY OWNER.
- CONTRACTOR SHALL MAINTAIN COMPLETE RECORDS OF AS-BUILT LOCATIONS OF ALL UNDERGROUND AND ABOVE GROUND FACILITIES. PROVIDE THE OWNER WITH COMPLETE AS-BUILT PLANS UPON COMPLETION OF PROJECT, INCLUDING UTILITIES NOT INDICATED ON THIS PLAN.
- CONSTRUCTION SEQUENCE:
 - ALL WORK OF THIS PROJECT SHALL PROCEED ACCORDING TO THE FOLLOWING PROPOSED SEQUENCE:
 - EROSION CONTROL PROVISIONS IN PLACE
 - CLEARING/GRUBBING
 - CONSTRUCTION OF STORMWATER FACILITIES AND THEN SITE DEVELOPMENT CONSTRUCTION.
- CONTRACTOR SHALL PLACE A MINIMUM OF 6" (COMPACTED DEPTH) OF GOOD QUALITY LOAM AND GRASS SEED IN ALL AREAS NOT SUBJECT TO RESTORATION BY ANY OTHER MEANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS WORK WITH MUNICIPALITY TO LIMIT THE POTENTIAL DISRUPTIONS TO THE GENERAL PUBLIC. SHALL EMPLOY DUE CARE AND CAUTION TO PROTECT THE PUBLIC FROM DANGERS ASSOCIATED WITH THE OPERATION. SHALL INSTALL TEMPORARY FENCES, BARRICADES AND SIGNAGE TO ENSURE THAT NO PERSONS ENTER THE WORK AREA. SHALL COORDINATE POLICE DETAILS AS REQUIRED FOR WORK TO BE CONDUCTED IN THE STREET. SHALL EMPLOY DUE CARE WHEN WORKING AROUND PEDESTRIAN AND VEHICLE TRAFFIC.
- NO EXCAVATION SHALL TAKE PLACE ON SITE UNTIL ALL SEDIMENTATION CONTROLS (HAYBALE & SILT, FENCE, ETC.) ARE FULLY INSTALLED AS PER PLAN. FOLLOWING COMPLETION OF GRADING IN ANY AREA CONTRACTOR SHALL ACT TO PLACE PERMANENT SURFACE FINISH OR TO STABILIZE SURFACE SOILS AGAINST EROSION. LOAM AND SEED SHALL BE PLACED IMMEDIATELY UPON FINAL GRADING.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE PROPOSED CONSTRUCTION ACTIVITIES DO NOT DAMAGE OR UNDERMINE EXISTING SLOPES, BUILDINGS, WALLS, STRUCTURES, ETC. IN THE AREA AROUND THE CONSTRUCTION. REPAIR OF EXISTING SLOPES, BUILDINGS, WALLS, STRUCTURES, ETC. THAT ARE DAMAGED OR UNDERMINED BY THE CONTRACTORS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE ARE TO BE FIELD VERIFIED. QUINN ENGINEERING, INC. DOES NOT WARRANT THAT ALL EXISTING UTILITIES HAVE BEEN INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE EXISTING UTILITY LOCATIONS AND ENSURING THAT THE PROPOSED WORK DOES NOT CONFLICT WITH THE EXISTING UTILITIES NOT SHOWN.
- SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHOULD BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE GROUND OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHOULD BE LAID AT SUCH AN ELEVATION THAT THE GROUND OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CAN NOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHOULD BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH SEWER AND WATER MAIN SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING, IN ACCORDANCE WITH 780 CMR 1813.7, AT A SLOPE OF NOT LESS THAN 1:12 FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. OTHER APPROVED ALTERNATE METHODS OF DIVERTING WATER AWAY FROM THE FOUNDATION MAY BE ACCEPTABLE.
- REINFORCED CONCRETE PIPE:
 - SHALL BE CLASS V CONCRETE.
 - SHALL CONFORM TO ASTM C76, WALL B.
 - JOINT MATERIAL TO BE RUBBER GASKET CONFORMING TO ASTM C443 OR MORTAR REINFORCED.
- PRECAST CONCRETE MANHOLE/CATCH BASIN BASE, BARREL, AND CONE STRUCTURES:
 - SHALL CONFORM TO ASTM C478.
 - SHALL BE CAPABLE OF WITHSTANDING H2O LOADING CONDITIONS.
 - MANHOLE STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC.
 - STEEL REINFORCING SHALL BE GRADE 60 AND CONFORM TO ASTM A185 AND A615.
- ALL SDR35 PVC SEWER PIPE & FITTINGS SHALL CONFORM TO ASTM D3034 OR ASTM F679.
- ALL SCH. 40 & SCH. 80 PVC PIPE & FITTINGS SHALL CONFORM TO ASTM D178M D3915, -4, ASTM . D1785, ASTM D3915, ASTM D4396



SITE PLAN
SCALE: 1"=30'

		TOWN/BETA COMMENTS 1 4/25/19		DATE
		NO.	REVISION	DATE
		KEVIN J. QUINN CIVIL #33922		
APPLICANT: AMCO, INC. 1000 WASHINGTON STREET ATTLEBORO, MA 02703		OWNER: MARY + JAMES HESSON 7410 BUCKINGHAM TRAIL NORTH JACKSONVILLE, FL 32202		
SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET		SCALE: 1"=30' 0 30 60 120		
WILLIAM J. MASIello ARCHITECT INC. 508.869.0597 masielloarchitect.com		QUINN ENGINEERING, INC. P.O. Box 107 Paxton, Massachusetts 01612 (508)753-7999 Fax(508)795-0939		
DATE: FEBRUARY 1, 2019		SITE PLAN AND NOTES SHEET 5		

	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
	EXISTING FENCE		EXISTING DRAIN MANHOLE
	EXISTING EDGE OF BUILDING		EXISTING CATCH BASIN
	EXISTING RETAINING WALL		EXISTING PAVEMENT
	EXISTING MARKED GAS		EXISTING STONE BOUNDARY
	EXISTING MARKED WATER		EXISTING WETLAND AREA
	BUILDING SETBACK LINE		EXISTING WETLAND FLAG
	WETLAND SETBACK LINE		PROPOSED CHECK DAM
	TOWN GS EDGE OF BUILDING		PROPOSED PAVEMENT
	TOWN GS CONTOUR LINE		PROJECT BENCHMARK
	PROPOSED CONTOUR		SOIL TEST PIT
	PROPOSED SNOW STORAGE		PROPOSED WATER SHUTOFF
	PROPOSED EROSION CONTROLS		PROPOSED SPOT GRADE
	PROPOSED STOCKADE FENCE		PROPOSED RIP RAP
	PROPOSED GAS LINE		PROPOSED STORMWATER FACILITY
	PROPOSED WATER LINE		PROPOSED BASIN FLOOR
	PROPOSED SEWER LINE		PROPOSED ROOF DRYWELL
	PROPOSED PVC DRAIN LINE		PROPOSED CATCH BASIN
	PROPOSED ROP DRAIN LINE		PROPOSED OUTLET STRUCTURE
	PROPOSED ROOF DRAIN		PROPOSED DRAIN MANHOLE
	PROPOSED ELEC., TEL., CABLE		PROPOSED SEWER MANHOLE
	PROPOSED OVERHEAD WIRES		PROPOSED TRAFFIC STRIP
	PROPOSED ELECTRIC LINE		PROPOSED TRAFFIC ARROW
	PROPOSED EDGE OF BUILDING		PROPOSED WALKING PATH MULCH
	PROPOSED CURB LINE		PROPOSED WALKING PATH BITUM.
	PROPOSED SWALE CENTERLINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED LIMIT OF CLEARING		PROPOSED LIGHT POLE BASE
			PROPOSED ACCESSIBLE PARKING

22. THE SITE IS LOCATED WITHIN A TOWN OF FRANKLIN WATERSHED RESOURCE PROTECTION DISTRICT.

23. SUITABLE FILL SHALL CONSIST OF MATERIAL SOIL, FREE OF ORGANIC MATERIALS, LOAM, AND ANY DELETERIOUS (CAN SUITABLE) MATERIALS. SUITAL CONFORMABLE FILL SHALL NOT CONTAIN STONES LARGER THAN 10" IN ANY DIMENSION, AND SHALL HAVE LESS THAN 75% PASSING THE NO. 4 SIEVE AND A MAXIMUM OF 200000 PASSING THE NO. 200 SIEVE. SUITABLE FILL SHALL NOT CONTAIN ANY BUILDING RUBBLE, GRANITE, OR CONCRETE BLOCK, ROOFING MATERIALS, OR OTHER CONSTRUCTION REFUSE. AT THE TIME OF PLACEMENT SUITABLE FILL SHALL NOT CONTAIN FROST, SNOW, OR ICE AND SHALL NOT CONTAIN WATER GREATER THAN THE OPTIMAL MOISTURE CONTENT.

24. ALL SITE LIGHTING SHALL MEET THE TOWN OF FRANKLIN DESIGN STANDARDS AND SHALL INCORPORATE DARK SKIES ELEMENTS WITH MINIMAL AND PROTECTING LIGHTING, ENERGY SAVING FEATURES, AND TIMING CONTROLS TO EXTENDLESS ALL LIGHTING NOT USED FOR SECURITY PURPOSES. ONE-HOUR AFTER PROPOSED LIGHTING SHOULD CONFORM TO THE STANDARDS OUTLINED IN BUSINESS HOURS. THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA AND SHALL NOT BE ILLUMINATED DURING NON-OPERATING HOURS WITH THE EXCEPTION OF SECURITY LIGHTING.

25. PROPOSED WORK SHALL CONFORM TO REGULATIONS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) AND BY THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB).

26. THE QUANTITY OF MATERIAL ESTIMATED FOR REMOVAL FOR THIS PROJECT IS LESS THAN 500 CUBIC YARDS. SUITABILITY OF EXISTING SOILS TO SUPPORT PROPOSED TRAFFIC LOADS IS ASSUMED.


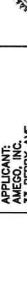
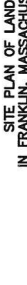
27. THE HAY BALE LINE SHALL BE STAKED BY A MA REGISTERED SURVEYOR PRIOR TO THE INSTALLATION OF HAY BALES. THE HAY BALE LINE SHALL SERVE AS THE LIMIT OF WORK.

28. SITE OPERATIONS SHALL NOT DIRECT HAZARDOUS MATERIALS IN QUANTITIES SUBSTANTIALLY GREATER THAN THOSE ASSOCIATE WITH NORMAL FILLING AND USE TO THE SOIL ABSORPTION SYSTEM.

29. PLACEMENT OF MORE THAN 15 CY OF FILL IN A ZONE II WATER RESOURCE DISTRICT REQUIRES CERTIFICATION THAT THE FILL DOES NOT EXCEED MCF STANDARDS.

1. GOOD HOUSEKEEPING PRACTICES SHALL BE EMPLOYED IN MAINTENANCE OF THE STORMWATER SYSTEM AND ON SITE AREAS. THE MINIMUM HOUSEKEEPING PRACTICES ARE IDENTIFIED IN THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN.
2. STORAGE OF MATERIALS AND WASTE PRODUCTS SHALL BE STORED IN A MANNER THAT MINIMIZES EXPOSURE TO STORMWATER, IE USE OF TARPAPLAINS, INSIDE STORAGE, ETC. MATERIALS AND WASTE SHALL BE MAINTAINED IN AN OPEN MANNER AND SHALL BE IMMEDIATELY PICKED UP FOLLOWING SPILLS OR DISPERSION.
3. VEHICLE WASHING SHOULD OCCUR IN ACCORDANCE WITH THE "ILICIT AND NON STORMWATER DISCHARGES" PORTION OF THE STORMWATER POLLUTION PREVENTION PLAN NOTES.
4. LONG TERM MAINTENANCE OF THE STORMWATER SYSTEM SHALL FOLLOW THE OPERATION AND MAINTENANCE REQUIREMENTS ON THESE PLANS AT A MINIMUM.
5. PARTIES RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM SHOULD BE FAMILIAR WITH "CLEAN UP OF SITES AND SPILLS" INFORMATION AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/cleanup/flows/aplplan.doc>) AND SHOULD BE PREPARED TO ACT ACCORDINGLY IN THE EVENT OF A SPILL.
6. THE MINIMUM PRACTICES IDENTIFIED IN INSPECTION AND MAINTENANCE OF THE ON SITE AREAS AND STORMWATER COLLECTION AREAS ARE IDENTIFIED IN THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN.
7. THE MASSACHUSETTS BUREAU OF FARM PRODUCTS & PLANT INDUSTRIES FACT SHEET FOR "PROTECTING WATER RESOURCES FROM FERTILIZERS" (<http://www.mass.gov/dep/fertilizer/factsheet.htm>) STATES THAT UNUSED FERTILIZER SHOULD BE REMOVED FROM THE SPREADER AND RETURNED TO THE ORIGINAL BAG OR CONTAINER FOR FUTURE USE. STORE UNUSED FERTILIZER IN A DRY PLACE AWAY FROM ANY WATER SOURCE. IF FERTILIZER GETS INTO WATER YOU NOT ONLY LOSE NUTRIENT VALUE, THERE IS POTENTIAL FOR NITRATES TO LEACH INTO WATER SOURCES.
8. THE HANDLING OF HERBICIDES AND PESTICIDES SHOULD BE CONDUCTED IN ACCORDANCE WITH GUIDELINES AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/fertilizer/factsheet.htm>).
9. MANAGEMENT OF PET WASTE SHOULD BE CONDUCTED IN ACCORDANCE WITH THE GUIDELINES AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/resources/petwaste.pdf>).
9. OPERATION AND MAINTENANCE OF ANY ON SITE SEPTIC SYSTEM SHOULD BE CONDUCTED IN ACCORDANCE 310 QIR 15.00.
10. SOLID WASTE SHOULD BE MANAGED IN ACCORDANCE WITH LOCAL, STATE, FEDERAL REGULATIONS AND GUIDELINES.
11. SNOW DISPOSAL SHALL BE CONDUCTED IN ACCORDANCE WITH THE MA DEP GUIDELINE BRP001-01 (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/flows/snowdisposal.htm>).
12. SNOW AND ICE REMOVAL SHOULD BE CONDUCTED IN ACCORDANCE WITH THE MA DEP GUIDELINE BRP001-01 (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/flows/snowdisposal.htm>).
13. THE FOLLOWING PAVEMENT SWEEPING SCHEDULE IS RECOMMENDED WITH SWEEPING SCHEDULED PRIMARILY IN THE SPRING AND FALL:
 - QUARTERLY AVERAGE USING A HIGH EFFICIENCY VACUUM SWEEPER
 - QUARTERLY AVERAGE USING A REGENERATIVE AIR SWEEPER
 - MONTHLY AVERAGE USING A MECHANICAL SWEEPER (ROTARY BROOM)
14. SWEEPINGS SHOULD BE HANDLED IN ACCORDANCE WITH MA DEP POLICY DWSS97-1 (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/flows/atgdpd.pdf>).
15. ILICIT DISCHARGES TO THE STORMWATER SYSTEM ARE PROHIBITED.
16. FOR STORED MATERIALS CRITICAL TO THE SYSTEM AND USED WITH HIGHER POTENTIAL POLLUTANT LOADS THE STORMWATER SYSTEM SHOULD BE PROVIDED WITH A SHUTDOWN DEVICE.
17. PARTIES RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM SHOULD BECOME FAMILIAR WITH THE REQUIREMENTS OF THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN.
18. THESE LONG TERM POLLUTION PREVENTION PLAN MEASURES
19. IN THE CASE OF AN EMERGENCY DIAL 911 OR CONTACT:
 - MASS DEP CENTRAL REGION
 - 808 NEW BOND STREET
 - WORCESTER, MA 01606
 - (508) 782-7550



QUINN ENGINEERING, INC. P.O. Box 107 Paxton, Massachusetts 01612 (508)733-7999 Fax:(508)795-0939		WILLIAM J. MASIELLO ARCHITECT INC. 508.869.0597 masielloarchitecture.com		SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET		APPLICANT: 33 PERRY AVE ATTLEBORO, MA 02703 OWNER: MARY + JAMES HESSON MARGHERITA RIMMER 10000 WASHINGTON NORTH JACKSONVILLE, FL 32202								TOWN/BETA COMMENTS 1 NO REVISION DATE	
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LEGEND

	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
	EXISTING FENCE		EXISTING DRAIN MANHOLE
	EXISTING EDGE OF BUILDING		EXISTING CATCH BASIN
	EXISTING RETAINING WALL		EXISTING PAVEMENT
	EXISTING MARKED GAS		EXISTING STONE BOUNDARY
	EXISTING MARKED WATER		EXISTING WETLAND AREA
	BUILDING SETBACK LINE		EXISTING WETLAND FLAG
	WETLAND OFFSET		PROPOSED CHECK DAM
	TOWN GIS EDGE OF BUILDING		PROPOSED PAVEMENT
	TOWN GIS CONTOUR LINE		PROJECT BENCHMARK
	PROPOSED CONTOUR		SOIL TEST PIT
	PROPOSED SNOW STORAGE		PROPOSED WATER SHUTOFF
	EROSION CONTROL LINE		PROPOSED SPOT GRADE
	FENCE		PROPOSED RIP RAP
	PROPOSED STOCKADE FENCE		PROPOSED STORMWATER FACILITY
	PROPOSED GAS LINE		PROPOSED BASIN FLOOR
	PROPOSED WATER LINE		PROPOSED ROOF DRYWELL
	PROPOSED SEWER LINE		PROPOSED CATCH BASIN
	PROPOSED PVC DRAIN LINE		PROPOSED OUTLET STRUCTURE
	PROPOSED RCP DRAIN LINE		PROPOSED DRAIN MANHOLE
	PROPOSED ROOF DRAIN		PROPOSED SEWER MANHOLE
	PROPOSED ELEC., TEL., CABLE		PROPOSED TRAFFIC STRIPING
	PROPOSED OVERHEAD WIRES		PROPOSED TRAFFIC ARROW
	PROPOSED ELECTRIC LINE		PROPOSED WALKING PATH MULCH
	PROPOSED EDGE OF BUILDING		PROPOSED WALKING PATH BITUM.
	PROPOSED CURB LINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED SWALE CENTERLINE		PROPOSED LIGHT POLE BASE
	PROPOSED LIMIT OF CLEARING		PROPOSED ACCESSIBLE PARKING

SANITARY SEWER SCHEDULE (S=0.005):

STRUCTURE	TO	CULVERT
SMH1 RIM EL= 293.04 INV IN= 289.52 INV IN= 289.46 INV OUT= 289.36	SMH2	6" SDR 35 PVC L=88' S=0.0050
SMH2 RIM EL= 293.04 INV IN= 289.55 INV IN= 289.54 INV IN= 288.92 INV OUT= 288.82	SMH3	6" SDR 35 PVC L=68' S=0.0050
SMH3 RIM EL= 293.04 INV IN= 289.52 INV IN= 289.54 INV IN= 288.92 INV OUT= 288.38	SMH4	6" SDR 35 PVC L=42' S=0.0050
SMH4 RIM EL= 293.04 INV IN= 289.56 INV IN= 288.17 INV OUT= 288.07	SMH5	6" SDR 35 PVC L=74' S=0.0050
SMH5 RIM EL= 293.04 INV IN= 287.70 INV OUT= 287.60	SEPTIC TANK	6" SDR 35 PVC L=24' S=0.0050
SEPTIC TANK RIM EL= 293.04 INV IN= 287.48 INV OUT= 287.23	PUMP CHAMBER	6" SDR 35 PVC L=6' S=0.0300
PUMP CHAMBER RIM EL= 294.04 INV IN= 287.05 INV OUT= 287.05	DIST. BOX	2" SDR 35 PVC L=48' SLOPE UP
DISTRIBUTION BOX FIN GRADE=294.24 INV IN= 292.65 INV OUT= 292.48	LEACH FIELD	4" SDR 35 PVC L=VARIES S=0.02+

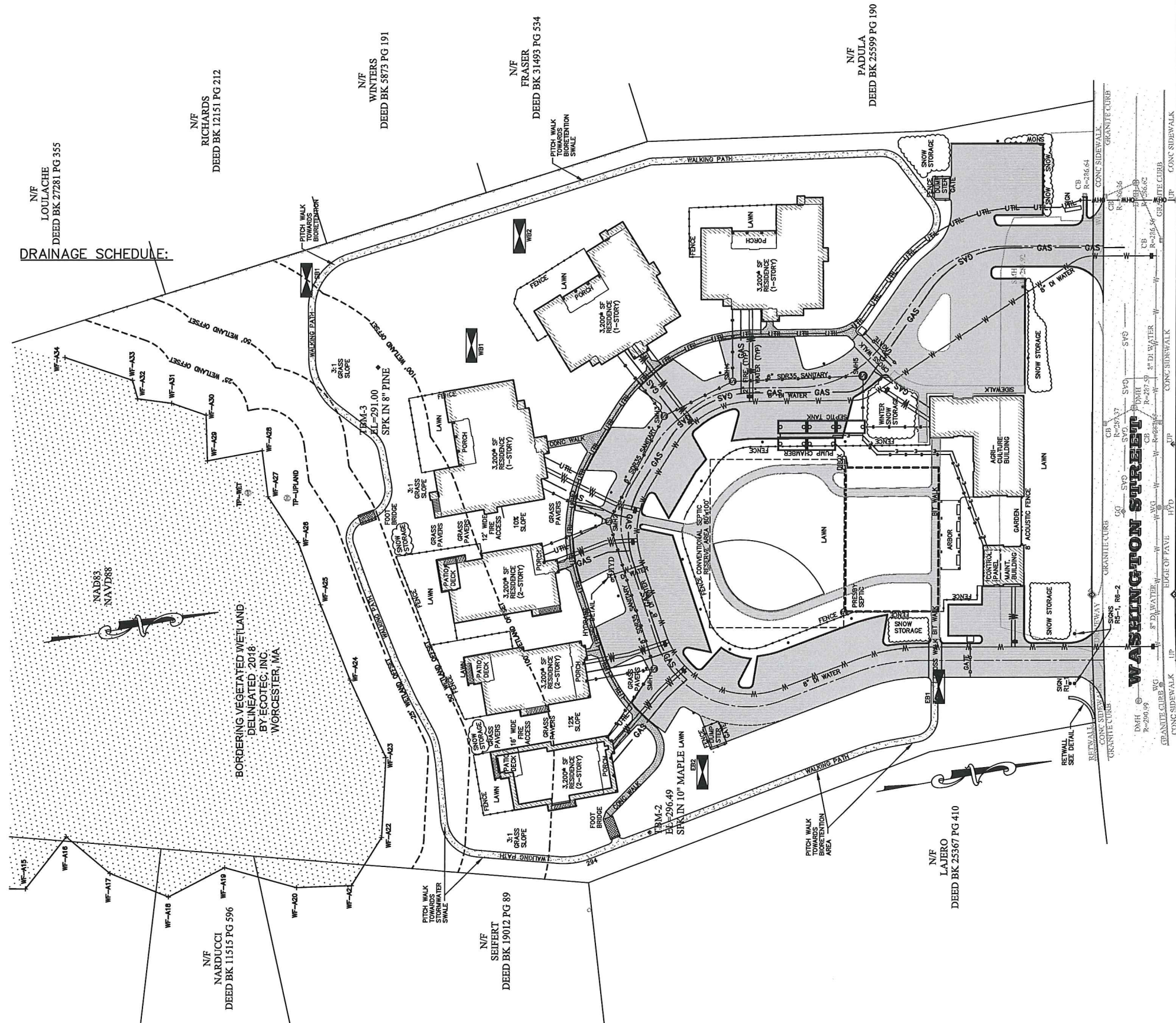
DRAINAGE SCHEDULE:

STRUCTURE	TO STRUCTURE	CULVERT
DMH1 RIM EL=291.50 INV IN=286.33 INV OUT=286.23	FES1	12" RCP S=0.0050 L=46'
CB 1A RIM EL=291.00 INV IN=287.60	DMH1	12" RCP S=0.0050 L=254'
OUTLET STRUCT 1 RIM EL=289.00 INV OUT=278.50	FES2	24" RCP S=0.0300 L=60'
FES1 INV OUT=286.00	BIORETENT 1	
FES2 INV OUT=277.00	BIORETENT 2	
EMERGENCY SPILLWAY INV OUT=279.30		

UTILITY NOTES:

- SEVENTY TWO HOURS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY LOCATION SERVICES TO IDENTIFY ANY UNDERGROUND UTILITIES IN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UTILITIES FOUND DIFFER FROM WHAT HAS BEEN INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW UTILITIES WITHIN THE VICINITY OF EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) WITH THE APPROPRIATE UTILITY PROVIDER.
- ALL UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH TOWN OF FRANKLIN DPW STANDARDS AND REQUIREMENTS.

DRAINAGE SCHEDULE:



UTILITY PLAN

SCALE: 1"=30'

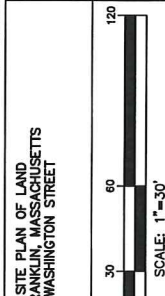


TOWN/BETA COMMENTS	NO.	REVISION	DATE
1			4/25/19



APPLICANT:
AMECO, INC.
ATTLEBORO, MA 02703

OWNER:
MARY + JAMES HESSON
7410 BUCKLEBERRY NORTH
JACKSONVILLE, FL 32202



SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET

WILLIAM J.
MASIELLO
ARCHITECT
INC.
508.869.0597
masielloarchitect.com

QUINN
ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1,
2019

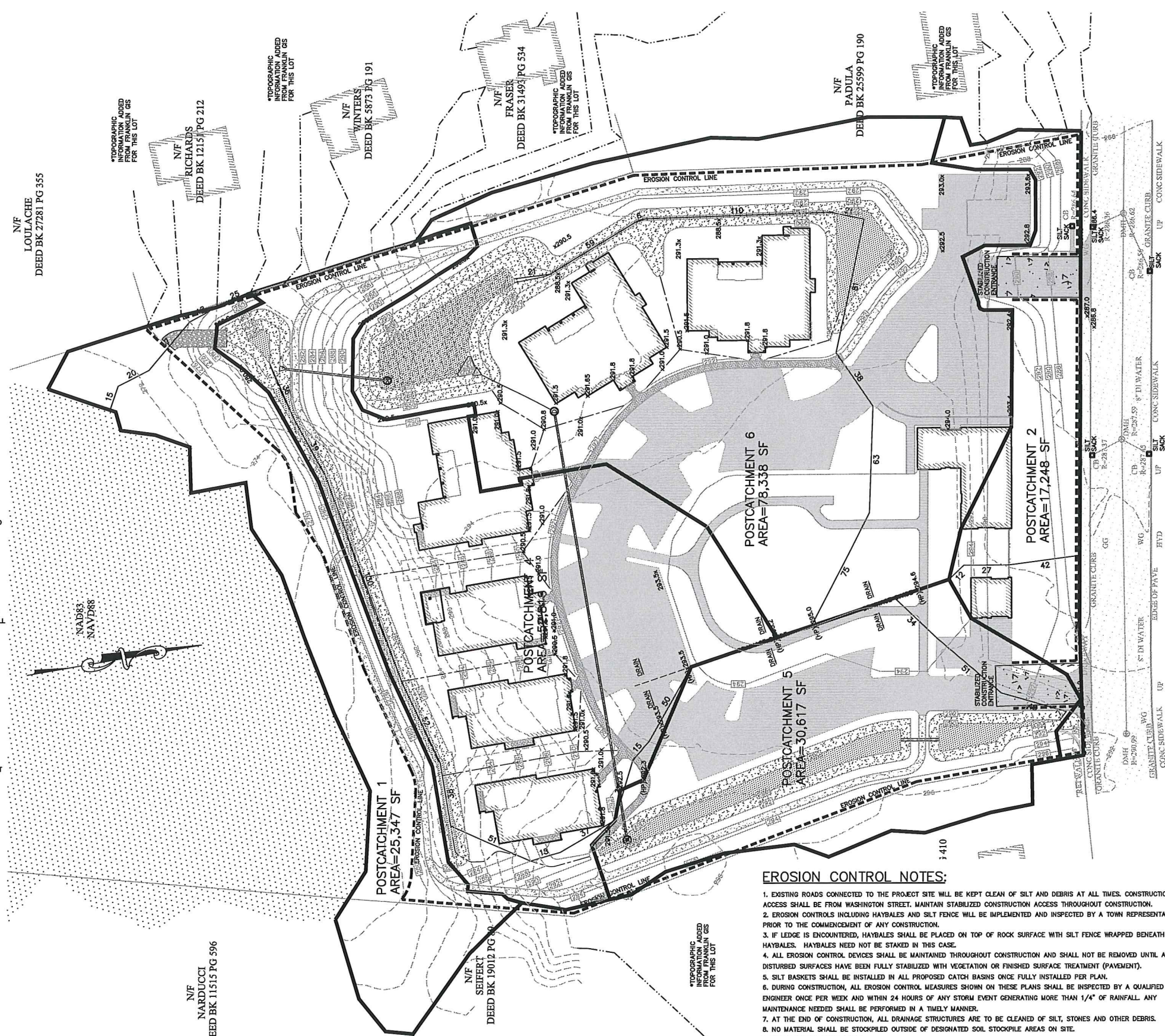
UTILITY PLAN AND
NOTES
SHEET 7

LEGEND

	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
	EXISTING FENCE		EXISTING DRAIN MANHOLE
	EXISTING EDGE OF BUILDING		EXISTING CATCH BASIN
	EXISTING RETAINING WALL		EXISTING PAVEMENT
	EXISTING MARKED GAS		EXISTING STONE BOUNDARY
	EXISTING MARKED WATER		EXISTING WETLAND AREA
	BUILDING SETBACK LINE		EXISTING WETLAND FLAG
	WETLAND OFFSET		PROPOSED CHECK DAM
	TOWN GS EDGE OF BUILDING		PROPOSED PAVEMENT
	TOWN GS CONTOUR LINE		PROJECT BENCHMARK
	PROPOSED CONTOUR		SOIL TEST PIT
	PROPOSED SNOW STORAGE		PROPOSED WATER SHUTOFF
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	PROPOSED RCP DRAIN LINE		PROPOSED OUTLET STRUCTURE
	PROPOSED ROOF DRAIN		PROPOSED DRAIN MANHOLE
	PROPOSED ELEC. TEL. CABLE		PROPOSED SEWER MANHOLE
	PROPOSED OVERHEAD WIRES		PROPOSED TRAFFIC STRIPING
	PROPOSED ELECTRIC LINE		PROPOSED TRAFFIC ARROW
	PROPOSED EDGE OF BUILDING		PROPOSED WALKING PATH MULCH
	PROPOSED CURB LINE		PROPOSED WALKING PATH BITUM.
	PROPOSED SWALE CENTERLINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED LIMIT OF CLEARING		PROPOSED LIGHT POLE BASE
	PROPOSED ACCESSIBLE PARKING		

CONSTRUCTION PERIOD POLLUTION PREVENTION PLAN NOTES:

- CONTROLS TO REDUCE POLLUTANTS:
 - THE FOLLOWING IS A BRIEF DESCRIPTION OF EACH BMP IMPLEMENTED TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES.
 - HAY BALES & SILT FENCE: HAY BALES AND SILT FENCE PROVIDE MEASURES OF CONTROLLING EROSION AND SEDIMENTATION AND SHALL BE IMPLEMENTED BY THE CONTRACTOR WHERE NEEDED TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE.
 - EARTH DIKES, TEMPORARY DRAINAGE SWALES, INTERCEPTOR DIKES AND/OR SWALES SHALL BE EMPLOYED BY THE SITE CONTRACTOR TO DIRECT STORMWATER RUNOFF FROM DISTURBED AREAS TO AREAS WHERE DISCHARGE IS ACCEPTABLE.
 - TEMPORARY CONSTRUCTION ENTRANCES OF CRUSHED STONE SHALL BE IMPLEMENTED BY THE CONTRACTOR WHEN NEEDED TO PREVENT SEDIMENT FROM TRACKING OFF-SITE AND INTO EXISTING ROADWAYS.
 - DISTURBED AREAS NOT SUBJECT TO RESTORATION BY OTHER MEANS SHALL BE STABILIZED UPON FINISH GRADING WITH 4" OF LOAM AND GRASS SEED. AREAS SLOPED AT GREATER THAN 3:1 SHALL BE STABILIZED WITH GEOTEXTILE FABRIC.
 - THE FOLLOWING RECORDS SHOULD BE MAINTAINED BY THE OPERATOR AS PART OF THE POLLUTION PREVENTION PLAN.
 - DATES WHEN MAJOR GRADING ACTIVITIES OCCUR.
 - DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE.
 - DATES WHEN STABILIZATION MEASURES ARE INITIATED.
 - HAY BALES, SILT FENCE, STONE CONSTRUCTION ENTRANCES, EARTH DIKES, TEMPORARY DRAINAGE SWALES, INTERCEPTOR DIKES AND SWALES, AND OTHER STRUCTURAL PRACTICES SHALL BE EMPLOYED BY THE SITE CONTRACTOR TO DIRECT STORMWATER RUNOFF FROM DISTURBED AREAS TO AREAS WHERE DISCHARGE IS ACCEPTABLE. THE APPROPRIATE LOCATION AND INSTALLATION TIMING SHALL BE DETERMINED BY THE SITE CONTRACTOR.
 - THE DISCHARGE OF SOLID MATERIALS, INCLUDING BUILDING MATERIALS, TO ANY WETLAND AREAS, CATCH BASIN, STORMWATER BASIN, ETC. ARE PROHIBITED.
 - THE CONTRACTOR SHALL MINIMIZE VEHICLE TRACKED SEDIMENT ONTO THE SURROUNDING ROADWAYS. AIRBORNE DUST SHALL BE CONTROLLED WITH WATER.
 - CONSTRUCTION MATERIALS AND CONSTRUCTION WASTE MATERIALS ASSOCIATED WITH THE PROPOSED DEVELOPMENT SHALL BE STORED IN A MANNER THAT MINIMIZES EXPOSURE TO STORMWATER, IE USE OF TARPULINS, INSIDE STORAGE, ETC. MATERIALS AND WASTE SHALL BE MAINTAINED IN AN ORDERLY MANNER AND SHALL BE COLLECTED IMMEDIATELY UPON SPILLS OR DISPERSION.
 - DURING CONSTRUCTION, POLLUTANTS FROM SOURCES OTHER THAN THE CONSTRUCTION ACTIVITIES ARE NOT EXPECTED.
- ILLUOT AND NON STORMWATER DISCHARGES:
 - IN ACCORDANCE WITH THE DEP MASSACHUSETTS STORMWATER HANDBOOK, AN ILLUOT DISCHARGE DOES NOT INCLUDE DISCHARGES FROM THE FOLLOWING ACTIVITIES OR FACILITIES: FIRE FIGHTING, WATER LINE FLUSHING, LANDSCAPE IRRIGATION, UNCONTAMINATED GROUNDWATER, POTABLE WATER SOURCES, FOUNDATION DRAINS, AIR CONDITIONING CONDENSATION, FOOTING DRAINS, INDIVIDUAL RESIDENT CAR WASHING, FLOWS FROM RIPARIAN HABITATS AND WETLANDS, DECHLORINATED WATER FROM SWIMMING POOLS, WATER USED FOR STREET WASHING AND WATER USED TO CLEAN RESIDENTIAL BUILDINGS WITHOUT DETERGENTS.
 - ILLUOT DISCHARGES TO THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROHIBITED. ILLUOT DISCHARGES INCLUDE WASTEWATER DISCHARGES AND DISCHARGES OF STORMWATER CONTAMINATED BY CONTACT WITH PROCESS WASTES, RAW MATERIALS, TOXIC POLLUTANTS, HAZARDOUS SUBSTANCES, OIL OR GREASE.
- MAINTENANCE AND CONTROLS:
 - DURING CONSTRUCTION, ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IN THE EVENT THAT THE MEASURES ARE NOT WORKING PROPERLY OR IF ADDITIONAL MEASURES ARE REQUIRED, MAINTENANCE AND ADJUSTMENTS SHALL BE MADE BY THE OPERATOR AS SOON AS POSSIBLE BEFORE THE NEXT RAIN STORM.
 - DURING CONSTRUCTION, IN THE EVENT THAT MAINTENANCE OR IMPLEMENTATION CANNOT BE MADE PRIOR TO THE NEXT RAIN STORM, THE SITUATION SHALL BE DOCUMENTED BY THE OPERATOR AND ALTERNATIVE BMP'S IMPLEMENTED AS SOON AS POSSIBLE.
 - DURING CONSTRUCTION, CATCH BASINS SUMPS AND SEDIMENT TRAPS SHALL BE CLEANED OF SEDIMENT WHEN THE CAPACITY HAS BEEN REDUCED BY 50%.
- MANAGEMENT PRACTICES:
 - ALL CONTROL MEASURES SHALL BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATIONS AND GOOD PRACTICES. INAPPROPRIATE OR INCORRECT USE OF THE CONTROL SHALL BE MODIFIED AS SOON AS PRACTICABLE.
 - OFF-SITE ACCUMULATION OF SEDIMENT MUST BE REMOVED IMMEDIATELY.
 - LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED PRIOR TO AND DURING WINTER CONDITIONS.
 - A VEGETATED BUFFER SHALL BE MAINTAINED WHEREVER POSSIBLE BETWEEN THE WORK AREA AND DOWNSTREAM RESOURCE AREAS AND PROPERTY BOUNDARIES.
 - PROVIDE VELOCITY DISSIPATORS OR RIP RAP AT ALL TEMPORARY AND PERMANENT STORMWATER POINT DISCHARGES.



EROSION CONTROL NOTES:

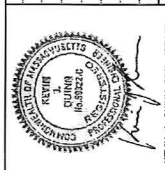
- EXISTING ROADS CONNECTED TO THE PROJECT SITE WILL BE KEPT CLEAN OF SILT AND DEBRIS AT ALL TIMES. CONSTRUCTION ACCESS SHALL BE FROM WASHINGTON STREET. MAINTAIN STABILIZED CONSTRUCTION ACCESS THROUGHOUT CONSTRUCTION.
- EROSION CONTROLS INCLUDING HAYBALES AND SILT FENCE WILL BE IMPLEMENTED AND INSPECTED BY A TOWN REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- IF LEDGE IS ENCOUNTERED, HAYBALES SHALL BE PLACED ON TOP OF ROCK SURFACE WITH SILT FENCE WRAPPED BENEATH THE HAYBALES. HAYBALES NEED NOT BE STAKED IN THIS CASE.
- ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL ALL DISTURBED SURFACES HAVE BEEN FULLY STABILIZED WITH VEGETATION OR FINISHED SURFACE TREATMENT (PAVEMENT).
- SILT BASKETS SHALL BE INSTALLED IN ALL PROPOSED CATCH BASINS ONCE FULLY INSTALLED PER PLAN.
- DURING CONSTRUCTION, ALL EROSION CONTROL MEASURES SHOWN ON THESE PLANS SHALL BE INSPECTED BY A QUALIFIED ENGINEER ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/4" OF RAINFALL. ANY MAINTENANCE NEEDED SHALL BE PERFORMED IN A TIMELY MANNER.
- AT THE END OF CONSTRUCTION, ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS.
- NO MATERIAL SHALL BE STOCKPILED OUTSIDE OF DESIGNATED SOIL STOCKPILE AREAS ON SITE.
- CONSTRUCTION SEQUENCING:
 - EROSION CONTROLS IN PLACE PER PLAN
 - GRADING ASSOCIATED WITH DRAINAGE SYSTEM
 - CONSTRUCT DRAINAGE SYSTEM
 - CONSTRUCT REMAINING PORTION OF PROJECT PER PHASING PLAN
- CONTRACTOR SHALL PLACE 6" OF LOAM AND SEED IN ALL DISTURBED AREAS NOT SUBJECT TO RESTORATION BY ANY OTHER MEANS.

SEDIMENT AND EROSION CONTROL PLAN WITH POST CONSTRUCTION DRAINAGE CATCHMENTS

SCALE: 1"=30'

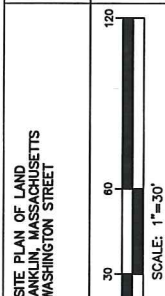


NO.	REVISION	DATE
1	TOWN/BETA COMMENTS	4/25/19



APPLICANT:
AMECO, INC.
ATLBERG, MA 02703

OWNER:
MARY + JAMES HESSON
7410 BUCKLIN TRAIL NORTH
JACKSONVILLE, FL 32202



SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET

WILLIAM J.
MASIELLO
ARCHITECT
INC.

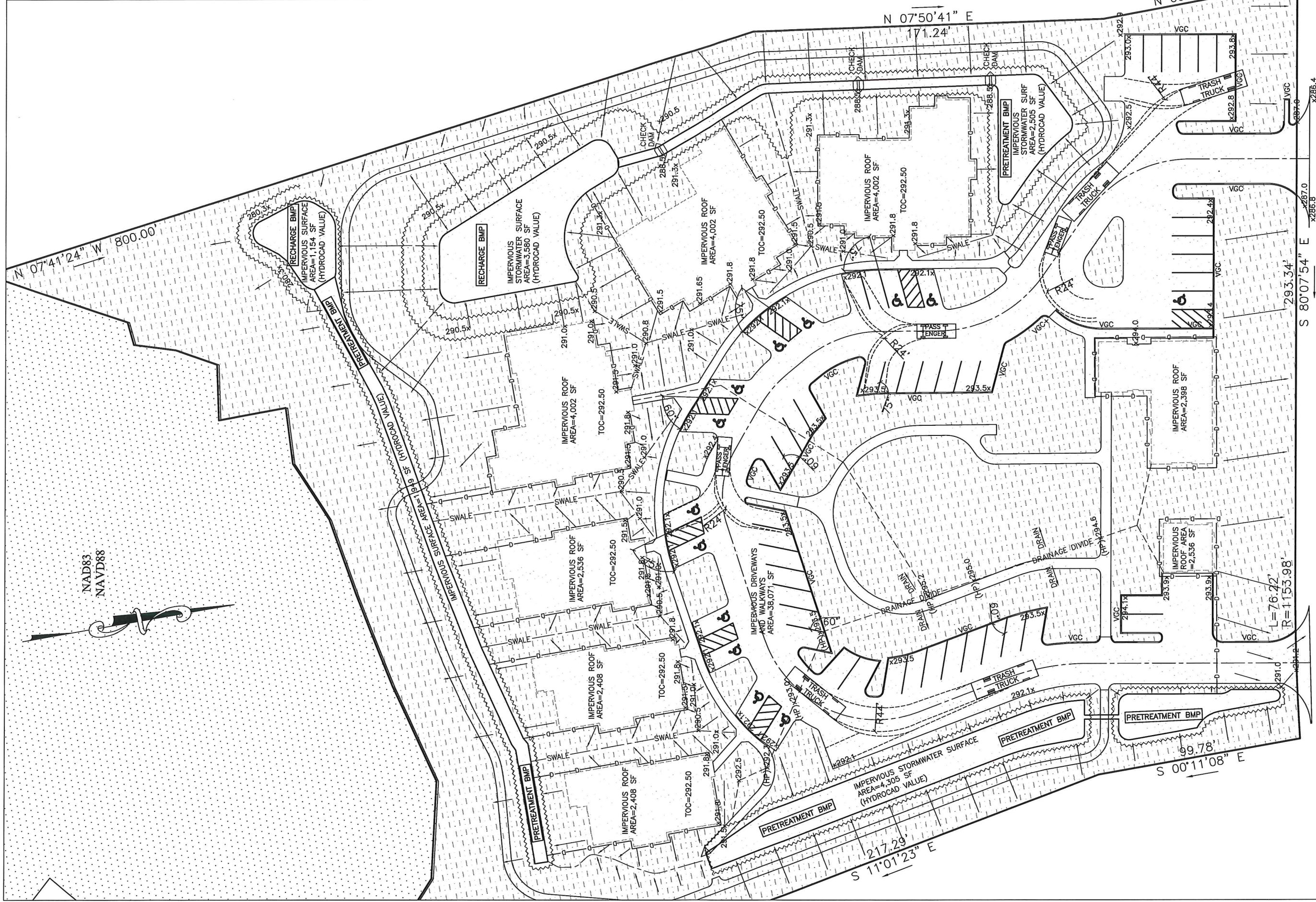
508-869-0597
masielloarchitect.com

QUINN
ENGINEERING, INC.

P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1,
2019

SEDIMENTATION AND
EROSION CONTROL
PLAN AND NOTES
SHEET 8



NAD83
NAVD88

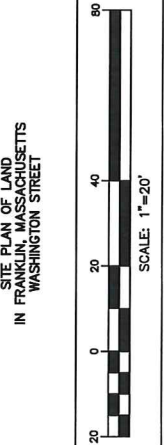


NO.	REVISION	DATE
1	TOWN/BETA COMMENTS	4/25/19



APPLICANT:
AMCO, INC.
100 WASHINGTON STREET
ATTLEBORO, MA 02703

OWNER:
MARY + JAMES HESSON
7410 BUCKLEBURN NORTH
JACKSONVILLE, FL 32202



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DATE: FEBRUARY 1,
2019
SURFACE COVER AND
LAYOUT DETAIL
PLANS
SHEET 9

	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
	EXISTING FENCE		EXISTING DRAIN MANHOLE
	EXISTING EDGE OF BUILDING		EXISTING CATCH BASIN
	EXISTING RETAINING WALL		EXISTING PAVEMENT
	EXISTING MARKED GAS		EXISTING STONE BOUNDARY
	EXISTING MARKED WATER		EXISTING WETLAND AREA
	BUILDING SETBACK LINE		PROPOSED CHECK DAM
	WETLAND SETBACK LINE		PROPOSED PAVEMENT
	TOWN GIS EDGE OF BUILDING		PROJECT BENCHMARK
	TOWN GIS CONTOUR LINE		SOIL TEST PIT
	PROPOSED CONTOUR		PROPOSED WATER SHUTOFF
	PROPOSED SNOW STORAGE		PROPOSED SPOT GRADE
	PROPOSED EROSION CONTROLS		PROPOSED RIP RAP
	PROPOSED STOCKADE FENCE		PROPOSED STORMWATER FACILITY
	PROPOSED GAS LINE		PROPOSED BASIN FLOOR
	PROPOSED WATER LINE		PROPOSED ROOF DRYWELL
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	PROPOSED ROOF DRAIN		PROPOSED SEWER MANHOLE
	PROPOSED ELEC., TEL., CABLE		PROPOSED TRAFFIC STRIPING
	PROPOSED OVERHEAD WRES		PROPOSED TRAFFIC ARROW
	PROPOSED ELECTRIC LINE		PROPOSED WALKING PATH MULCH
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	PROPOSED CURB LINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED SWALE CENTERLINE		PROPOSED LIGHT POLE BASE
	PROPOSED LIMIT OF CLEARING		PROPOSED ACCESSIBLE PARKING

1. ALL REQUIRED PERMITS SHALL BE SECURED PRIOR TO COMMENCING WORK. PRIOR TO COMMENCING WORK, CONTRACTOR SHALL NOTIFY THE TOWN OF FRANKLIN PLANNING AND ENGINEERING DEPARTMENTS, BUILDING DEPARTMENT, CONSERVATION COMMISSION, DEPARTMENT OF PUBLIC WORKS, SCHOOL DEPARTMENT, POLICE AND FIRE DEPARTMENTS.

2. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN REGULATIONS, ZONING BY-LAW, CONSERVATION COMMISSION LOCAL BY-LAW OR OTHER REGULATIONS AS APPLICABLE. ALL REQUIREMENTS OF THE TOWN OF FRANKLIN ARE HEREBY MADE CONDITIONS OF THIS WORK.

3. CONTRACTOR SHALL CONTROL AIRBORNE DUST WITH USE OF SPRAYED WATER AS REQUIRED TO MINIMIZE IMPACT ON NEIGHBORING PROPERTIES. USE OF CALCIUM CHLORIDE OR OTHER CHEMICALS IS NOT PERMITTED.

4. CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO LAY OUT THE SITE CONSTRUCTION, WHO CERTIFY THAT ALL LOCATIONS ARE AS PER PLAN.

5. PROVIDE DEEP SUMPS AT ALL CATCH BASINS ONSITE.

6. SEVENTY TWO HOURS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 811. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW UTILITIES WITH THE VICINITY OF EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) WITH THE APPROPRIATE UTILITY.

7. INTERIM AND/OR PERMANENT SOIL STABILIZATION MEASURE SHALL BE INSTITUTED AS SOON AS PRACTICABLE, BUT NO MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED ON THAT PORTION OF THE SITE.

8. REMOVE ALL TOPSOIL, SUBSOIL, PRIOR TO PLACING ANY FILL ONSITE. WHERE GRAVEL IS CALLED FOR ONSITE, CONTRACTOR MAY SUBSTITUTE A FINE GRAIN FILL.

9. CONTRACTOR SHALL MAINTAIN COMPLETE RECORDS OF AS-BUILT LOCATIONS OF ALL UNDERGROUND AND ABOVE GROUND FACILITIES. PROVIDE THE OWNER WITH COMPLETE AS-BUILT PLANS UPON COMPLETION OF PROJECT, INCLUDING UTILITIES NOT INDICATED ON THIS PLAN.

10. CONSTRUCTION SEQUENCE:

ALL WORK OF THIS PROJECT SHALL PROCEED ACCORDING TO THE FOLLOWING PROPOSED SEQUENCE:

- 1.) EROSION CONTROL PROVISIONS IN PLACE
- 2.) CLEARING/GRUBBING
- 3.) CONSTRUCTION OF STORMWATER FACILITIES AND THEN SITE DEVELOPMENT CONSTRUCTION.

11. CONTRACTOR SHALL PLACE A MINIMUM OF 6" (COMPACTED DEPTH) OF GOOD QUALITY LOAM AND GRASS SEED IN ALL AREAS NOT SUBJECT TO RESTORATION BY ANY OTHER MEANS.

12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS WORK WITH MUNICIPALITY TO LIMIT THE POTENTIAL DISRUPTIONS TO THE GENERAL PUBLIC. SHALL EMPLOY DUE CARE AND CAUTION TO PROTECT THE PUBLIC FROM DANGERS ASSOCIATED WITH THE OPERATION. SHALL INSTALL TEMPORARY FENCES, BARRICADES AND SIGNAGE TO ENSURE THAT NO PERSONS ENTER THE WORK AREA. SHALL COORDINATE POLICE DETAILS AS REQUIRED FOR WORK TO BE CONDUCTED IN THE STREET. SHALL EMPLOY DUE CARE WHEN WORKING AROUND PEDESTRIAN AND VEHICLE TRAFFIC.

13. NO EXCAVATION SHALL TAKE PLACE ONSITE UNTIL ALL SEDIMENTATION CONTROLS (HAYBALE & SILT, FENCE, ETC.) ARE FULLY INSTALLED AS PER PLAN. FOLLOWING COMPLETION OF GRADING IN ANY AREA CONTRACTOR SHALL ACT TO PLACE PERMANENT SURFACE FINISH OR TO STABILIZE SURFACE SOILS AGAINST EROSION. LOAM AND SEED SHALL BE PLACED IMMEDIATELY UPON FINAL GRADING.

14. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE PROPOSED CONSTRUCTION ACTIVITIES DO NOT DAMAGE OR UNDERMINE EXISTING SLOPES, BUILDINGS, WALLS, STRUCTURES, ETC. IN THE AREA AROUND THE CONSTRUCTION. REPAIR OF EXISTING SLOPES, BUILDINGS, WALLS, STRUCTURES, ETC. THAT ARE DAMAGED OR UNDERMINED BY THE CONTRACTORS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

15. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ARE TO BE FIELD VERIFIED. QUINN ENGINEERING, INC. DOES NOT WARRANT THAT ALL EXISTING UTILITIES HAVE BEEN INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE EXISTING UTILITY LOCATIONS AND ENSURING THAT THE PROPOSED WORK DOES NOT CONFLICT WITH THE EXISTING UTILITIES NOT SHOWN.

16. SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHOULD BE LAID IN A SEPARATE TRENCH AND UNDERMINE THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHOULD BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN, WHEN THE ELEVATION OF THE SEWER CAN NOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHOULD BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE. FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER, ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH SEWER AND WATER MAIN SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.

17. THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING, IN ACCORDANCE WITH 780 CMR 18B.7, AT A SLOPE OF NOT LESS THAN 1:12 FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. OTHER APPROVED ALTERNATE METHODS OF DIVERTING WATER AWAY FROM THE FOUNDATION MAY BE ACCEPTABLE.

18. REINFORCED CONCRETE PIPE:

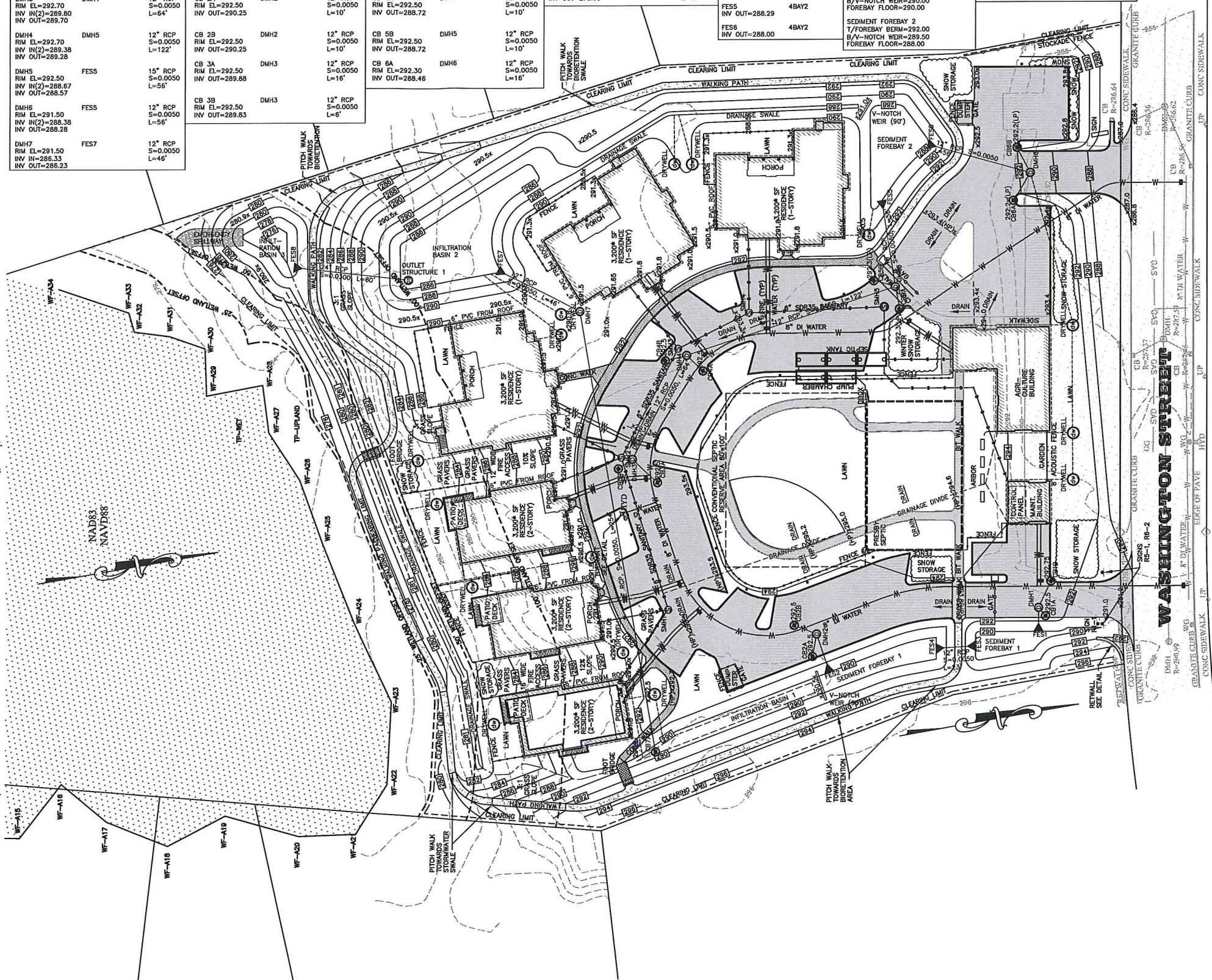
- A. SHALL BE CLASS V CONCRETE.
- B. SHALL CONFORM TO ASTM C76, WALL B.
- C. JOINT MATERIAL TO BE RUBBER GASKET CONFORMING TO ASTM C443 OR MORTAR REINFORCED.

19. PRECAST CONCRETE MANHOLE/CATCH BASIN BASE, BARREL, AND CONE STRUCTURES:

- A. SHALL CONFORM TO ASTM C478.
- B. SHALL BE CAPABLE OF WITHSTANDING H20 LOADING CONDITIONS.
- C. MANHOLE STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC.
- D. STEEL REINFORCING SHALL BE GRADE 60 AND CONFORM TO ASTM A185 AND A615.

20. ALL SDR35 PVC SEWER PIPE & FITTINGS SHALL CONFORM TO ASTM D3034 OR ASTM F679.

21. ALL 8" OR 4" & SCH. 80 PVC PIPE & FITTINGS SHALL CONFORM TO ASTM D178M D3915, -4, ASTM - D1785, ASTM D3915, ASTM D4398

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SCALE: 1"=30'

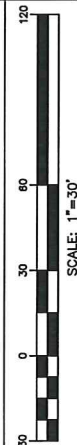


1	TOWN/BETA COMMENTS	4/25/18
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APPLICANT:
AMEGO, INC.
33 PERRY AVE
NATTEBORO, MA 02703

OWNER:
MARY + JAMES HESSON
MARGHERITA RIMMER
7410 BUCKLIN TRAIL NOR
JACKSONVILLE, FL 32202



**SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET**



**QUINN
ENGINEERING, INC.**
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1,
2019

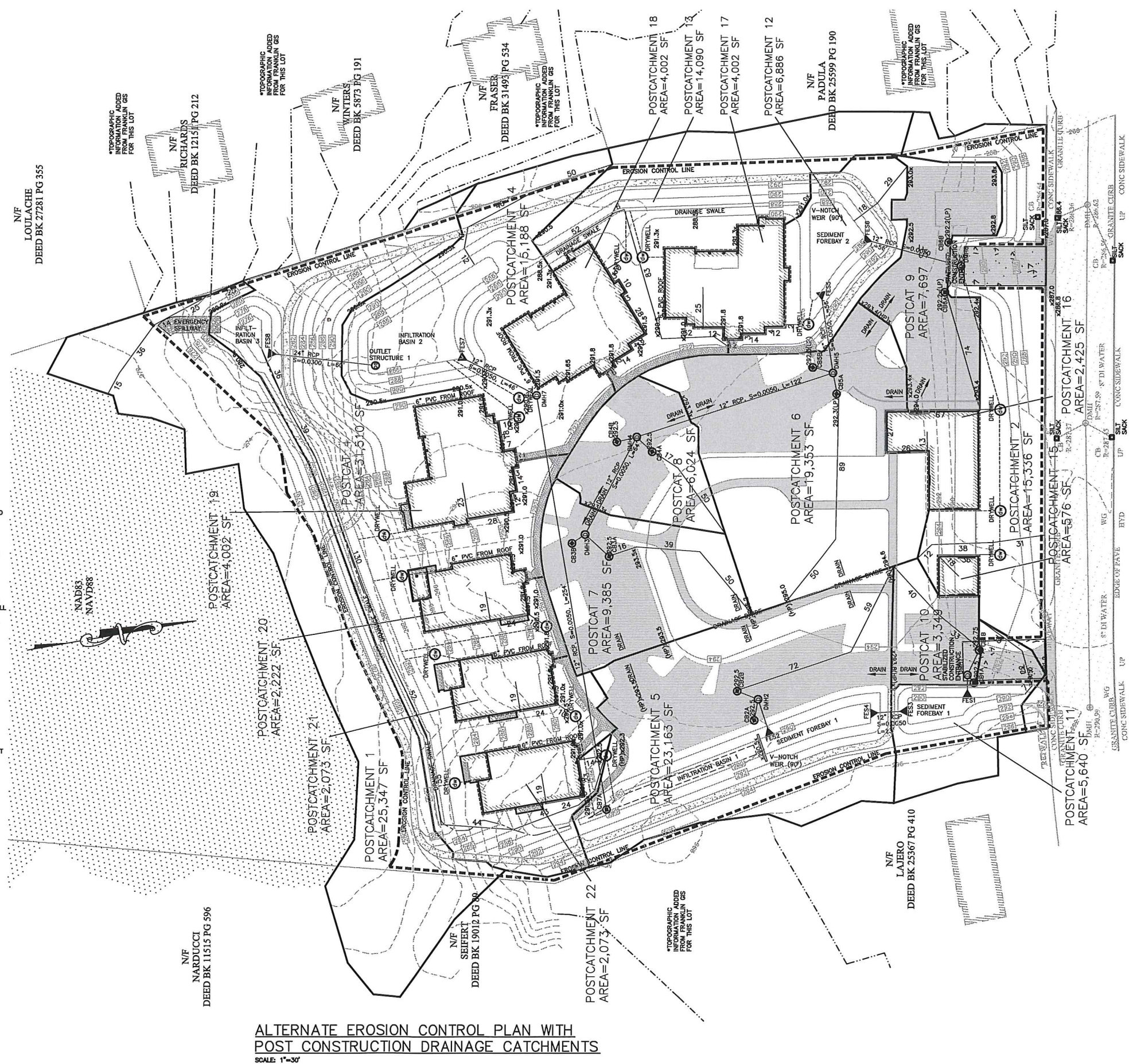
ALTERNATE SITE
PLAN, DRAINAGE
SCHEDULE, NOTES
SHEET 10

LEGEND

	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
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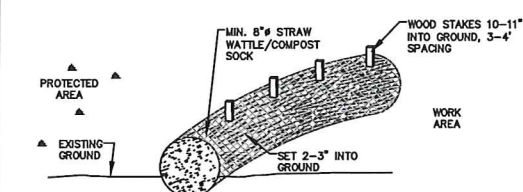
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 - DURING CONSTRUCTION, POLLUTANTS FROM SOURCES OTHER THAN THE CONSTRUCTION ACTIVITIES ARE NOT EXPECTED.
- ILLEGAL AND NON STORMWATER DISCHARGES:
 - IN ACCORDANCE WITH THE DEP MASSACHUSETTS STORMWATER HANDBOOK, AN ILLEGAL DISCHARGE DOES NOT INCLUDE DISCHARGES FROM THE FOLLOWING ACTIVITIES OR FACILITIES: FIRE FIGHTING, WATER LINE FLUSHING, LANDSCAPE IRRIGATION, UNCONTAMINATED GROUNDWATER, POTABLE WATER SOURCES, FOUNDATION DRAINS, AIR CONDITIONING CONDENSATION, FOOTING DRAINS, INDIVIDUAL RESIDENT CAR WASHING, FLOWS FROM RIPARIAN HABITATS AND WETLANDS, DECHLORINATED WATER FROM SWIMMING POOLS, WATER USED FOR STREET WASHING AND WATER USED TO CLEAN RESIDENTIAL BUILDINGS WITHOUT DETERGENTS.
 - ILLEGAL DISCHARGES TO THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROHIBITED. ILLEGAL DISCHARGES INCLUDE WASTEWATER DISCHARGES AND DISCHARGES OF STORMWATER CONTAMINATED BY CONTACT WITH PROCESS WASTES, RAW MATERIALS, TOXIC POLLUTANTS, HAZARDOUS SUBSTANCES, OIL, OR GREASE.
- MAINTENANCE AND CONTROLS:
 - DURING CONSTRUCTION, ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IN THE EVENT THAT THE MEASURES ARE NOT WORKING PROPERLY OR IF ADDITIONAL MEASURES ARE REQUIRED, MAINTENANCE AND ADJUSTMENTS SHALL BE MADE BY THE OPERATOR AS SOON AS POSSIBLE BEFORE THE NEXT RAIN STORM.
 - DURING CONSTRUCTION, IN THE EVENT THAT MAINTENANCE OR IMPLEMENTATION CANNOT BE MADE PRIOR TO THE NEXT RAIN STORM, THE SITUATION SHALL BE DOCUMENTED BY THE OPERATOR AND ALTERNATIVE BMP'S IMPLEMENTED AS SOON AS POSSIBLE.
 - DURING CONSTRUCTION, CATCH BASINS SUMPS AND SEDIMENT TRAPS SHALL BE CLEANED OF SEDIMENT WHEN THE CAPACITY HAS BEEN REDUCED BY 50%.
- MANAGEMENT PRACTICES:
 - ALL CONTROL MEASURES SHALL BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATIONS AND GOOD PRACTICES. INAPPROPRIATE OR INCORRECT USE OF THE CONTROL SHALL BE MODIFIED AS SOON AS PRACTICABLE.
 - OFF-SITE ACCUMULATION OF SEDIMENT MUST BE REMOVED IMMEDIATELY.
 - LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED PRIOR TO AND DURING WINTER CONDITIONS.
 - A VEGETATED BUFFER SHALL BE MAINTAINED WHEREVER POSSIBLE BETWEEN THE WORK AREA AND DOWNSTREAM RESOURCE AREAS AND PROPERTY BOUNDARIES.
 - PROVIDE VELOCITY DISSIPATORS OR RIP RAP AT ALL TEMPORARY AND PERMANENT STORMWATER POINT DISCHARGES.

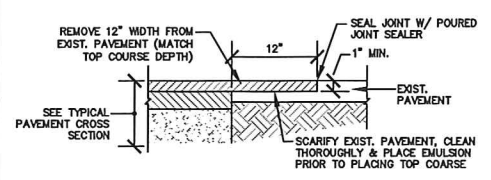


ALTERNATE EROSION CONTROL PLAN WITH
POST CONSTRUCTION DRAINAGE CATCHMENTS
SCALE: 1"=30'

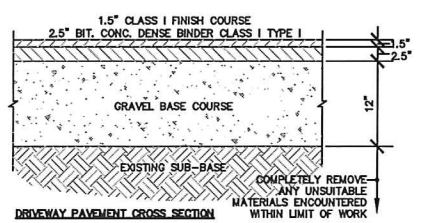
APPLICANT: AMECO, INC. 1000 WASHINGTON STREET ATLANTA, GA 30303		OWNER: MARY J. JAMES HESSON 7410 BUCKINGHAM TRAIL NORTH JACKSONVILLE, FL 32202	
SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET		SCALE: 1"=30' 	
WILLIAM J. MASIELLO MASIELLO ARCHITECT INC. 508.869.0597 masielloarchitect.com		QUINN ENGINEERING, INC. P.O. Box 107 Paxton, Massachusetts 01612 (508)753-7999 Fax:(508)795-0939	
DATE: FEBRUARY 1, 2019 ALTERNATE EROSION CONTROL PLAN WITH POSTCATCHMENTS SHEET 11		TOWN/BETA COMMENTS: 4/25/19 NO. 1 REVISION DATE	



EROSION CONTROL DETAIL
STRAW WATTLE/COMPOST SOCK
SCALE: NOT TO SCALE

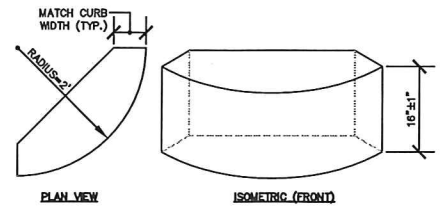


PAVEMENT JOINT DETAIL
SCALE: 1\"/>

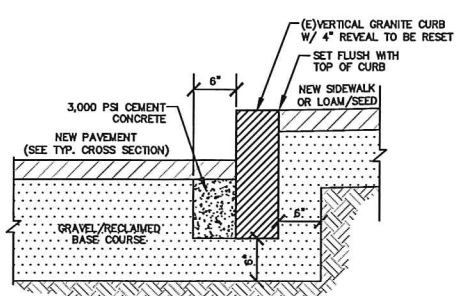


- NOTES:
1. IMPORTED GRAVEL USED AS BASE MATERIAL SHALL CONFORM TO MA DOT STANDARD SPECIFICATION M1.03.0 TYPE B.
 2. GRAVEL BASE SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS, AND DELETERIOUS MATERIALS.
 3. GRADATION REQUIREMENTS FOR IMPORTED GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:
- | SEIVE DESIGNATION: | % PASSING: |
|--------------------|------------|
| 1/2 IN. | 50-65 |
| NO. 4 | 40-75 |
| NO. 50 | 8-28 |
| NO. 200 | 0-10 |
4. THE MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 3\"/>
 5. ALL PAVEMENT SHALL HAVE A CONTINUOUS LONGITUDINAL SLOPE OR SHALL BE CROSS PITCHED TO ADEQUATELY SHED SURFACE WATER.

BITUMINOUS PAVEMENT CROSS SECTION
SCALE: 1\"/>

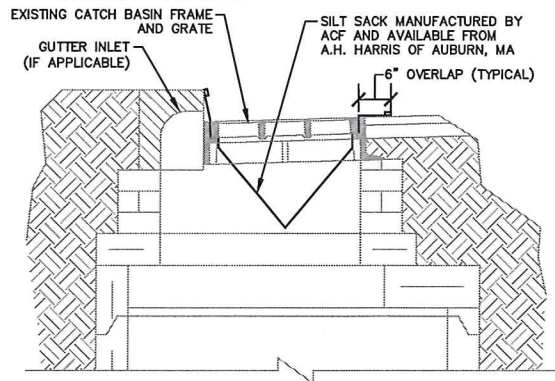


90° GRANITE CORNER
SCALE: 3/4\"/>

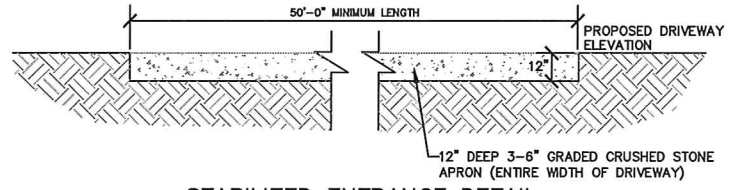


VERTICAL GRANITE CURB (VGC) DETAILS
SCALE: 1\"/>

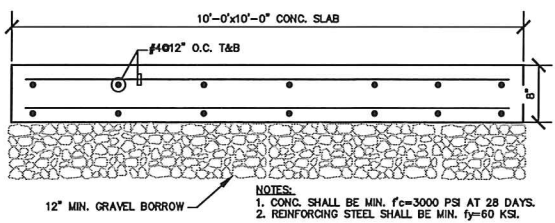
- NOTES:
1. THIS DETAIL APPLIES TO ALL CATCH BASINS IDENTIFIED ON THE EROSION & SEDIMENT CONTROL PLAN.
 2. SILT SACK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. INSPECT SILT SACKS WEEKLY OR AFTER EVERY RAIN EVENT OF MORE THAN 0.25\"/>



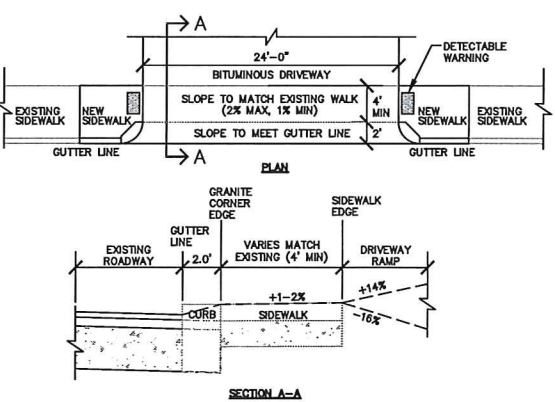
SILT SACK DETAIL
SCALE: NOT TO SCALE



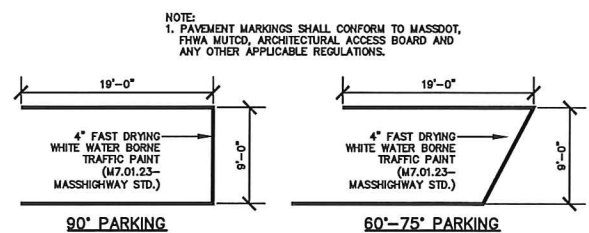
STABILIZED ENTRANCE DETAIL
SCALE: NOT TO SCALE



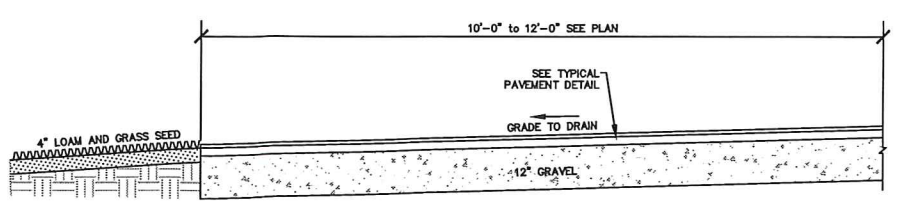
DUMPSTER PAD DETAIL
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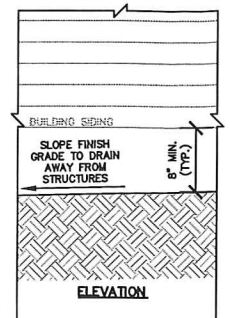
DRIVEWAY CURB CUT DETAIL
SCALE: NOT TO SCALE



PARKING SPACE DETAILS
SCALE: 1/8\"/>

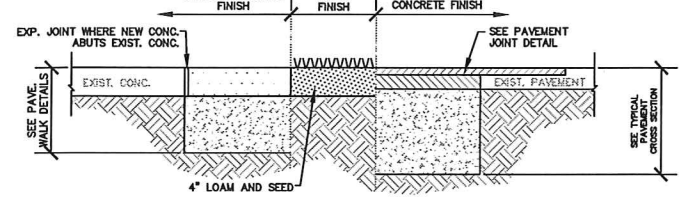


PARTIAL SECTION THROUGH LOOP DRIVEWAY
SCALE: 1/2\"/>

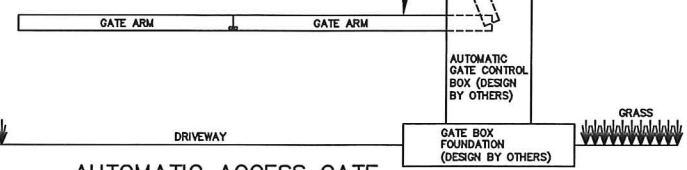


FINISH GRADING DETAIL AT BUILDINGS
SCALE: 1\"/>

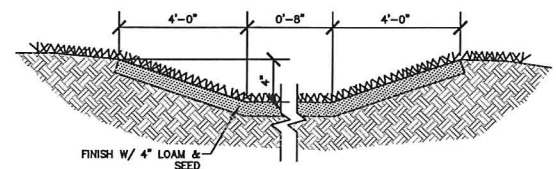
- NOTE:
1. ALL AREAS WITHIN THE TOWN RIGHT OF WAY DISTURBED BY THE PROPOSED WORK SHALL BE SUBJECT TO RESTORATION.
 2. ALL FINISH SURFACES SHALL:
- A. BE CONSTRUCTED FLUSH WITH THE ADJACENT FINISH SURFACES.
 - B. HAVE UNIFORM SLOPES AND SHALL NOT CONTAIN ANY IRREGULARITIES.
 - C. SHALL SLOPE AWAY FROM THE EXISTING BUILDINGS (UNLESS OTHERWISE NOTED).
 - D. SHALL SLOPE TOWARDS THE EXISTING SURFACE DRAINS (UNLESS OTHERWISE NOTED).
 - E. SHALL BE FINISHED WITH 4 INCHES OF TOP SOIL AND GRASS (UNLESS FINISHED WITH BITUMINOUS CONCRETE, CEMENT CONCRETE OR OTHERWISE NOTED). THE CONTRACTOR SHALL WATER AND FERTILIZE THE GRASS SO THAT A DENSE GROWTH IS DEVELOPED.



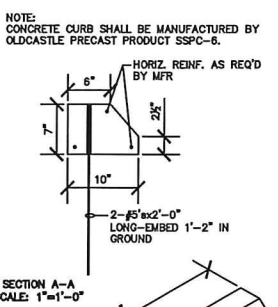
ROW SURFACE RESTORATION DETAIL
SCALE: 1\"/>



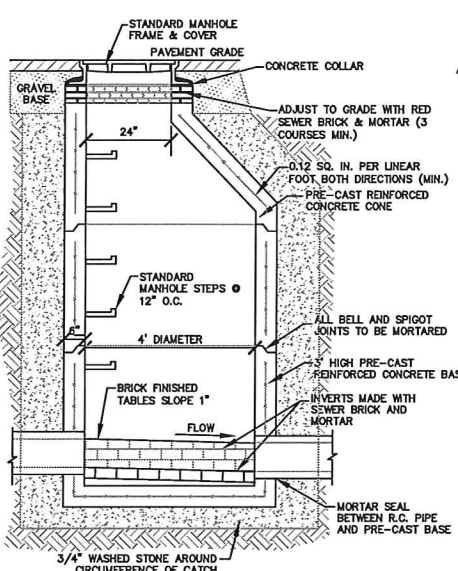
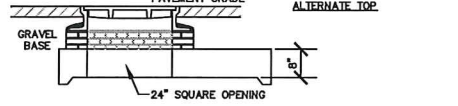
AUTOMATIC ACCESS GATE SCHEMATIC DETAIL
SCALE: NOT TO SCALE



GRASSED DRAINAGE SWALE DETAIL
SCALE: NTS

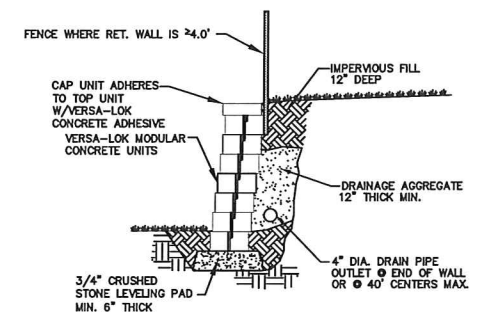


CONCRETE PARKING CURB
SCALE: 1/2\"/>

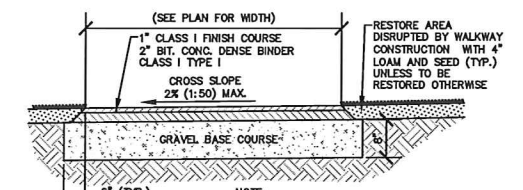


DRAIN MANHOLE DETAIL
SCALE: NOT TO SCALE

- NOTES:
1. RETAINING WALL SHALL BE VERSA-LOK PRECAST CONCRETE BLOCK RETAINING WALL SYSTEM, OR EQUAL.
 2. INSTALL WALL AS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
 3. RETAINING WALLS WITH DIFFERENCES IN GRADE LEVEL ON EITHER SIDE OF THE WALL IN EXCESS OF FOUR FEET SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER IN ACCORDANCE WITH 780 CMR 116.0. THE MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER SHALL PROVIDE HIS/HER SEAL AND SIGNATURE ON THE CONSTRUCTION PLANS AND SPECIFICATIONS.
 4. RETAINING WALLS WITH DIFFERENCES IN GRADE LEVEL ON EITHER SIDE OF THE WALL IN EXCESS OF FOUR FEET, ARE CLOSER THAN TWO FEET TO A WALK, PATH, PARKING LOT, OR DRIVEWAY ON THE HIGH SIDE SHALL BE PROVIDED WITH GUARDS THAT ARE CONSTRUCTED IN ACCORDANCE WITH 780 CMR 1021.0. INTEGRITY OF THE WALL.

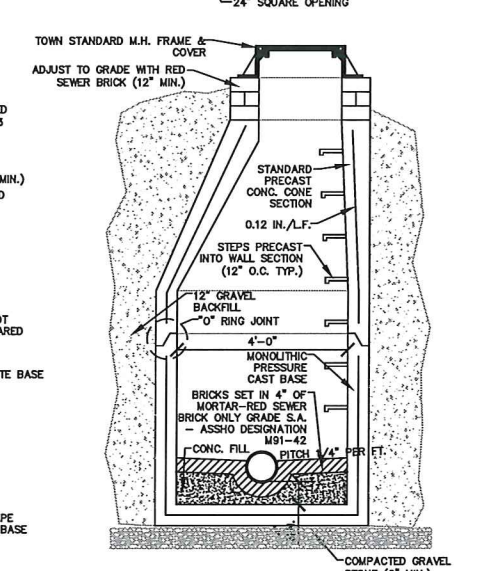
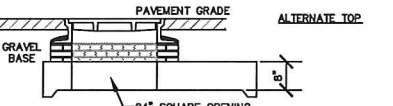


TYPICAL RETAINING WALL
SCALE: NOT TO SCALE




BIT. CONC. WALKWAY DETAIL
SCALE: NOT TO SCALE


- NOTE:
1. STRUCTURE & REINFORCEMENT SHALL MEET OR EXCEED REQUIREMENTS OF H-20 LOADING.
 2. STRUCTURE SHALL CONFORM TO ASTM C-478.
 3. SEE TYPICAL PAVEMENT CROSS SECTION FOR PAVEMENT & BASE MATERIALS.
 4. SET AND RAISE FRAME & COVER PER DPW REQUIREMENTS AND SUBDIVISION REGULATIONS.



SEWER MANHOLE DETAIL
SCALE: NOT TO SCALE




TOWN/BETA COMMENTS	DATE	REVISION
1	4/25/19	NO.



APPLICANT: AMCO, INC.
ATTORNEY: WA 02703

OWNER: MARY + JAMES HESSON
7410 BUCKLEBAY NORTH
JACKSONVILLE, FL 32202

SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET



SCALE: AS NOTED

WILLIAM J. MASIELLO ARCHITECT INC.

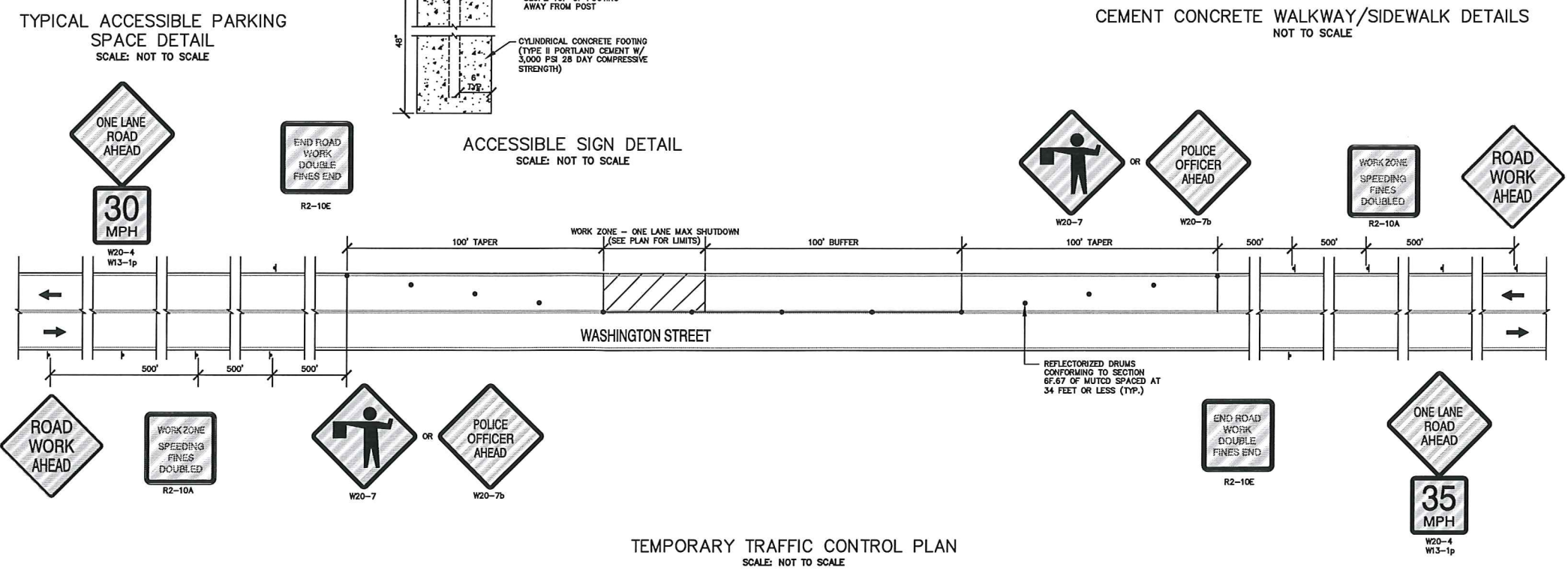
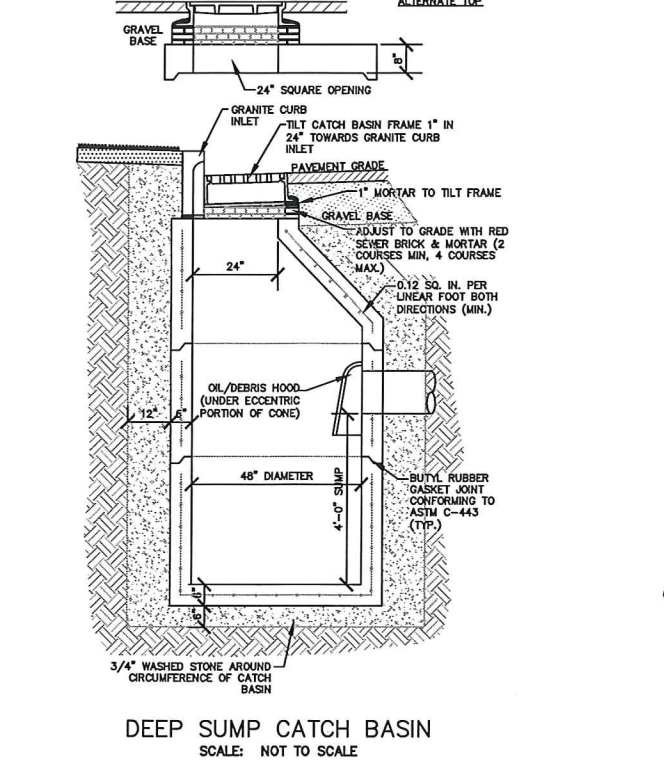
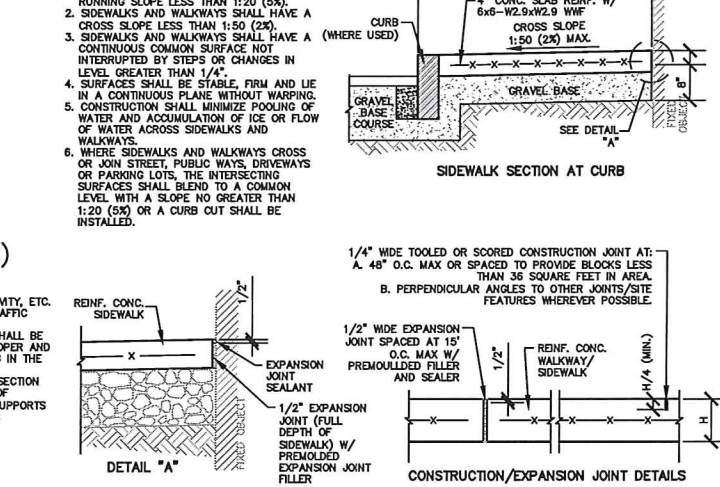
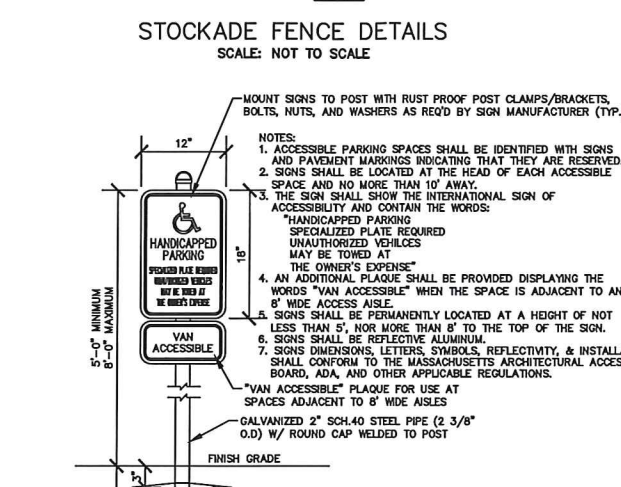
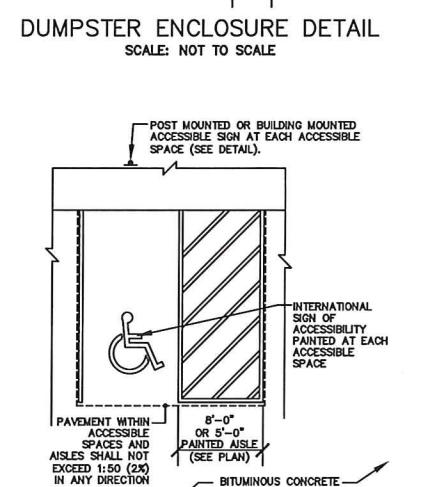
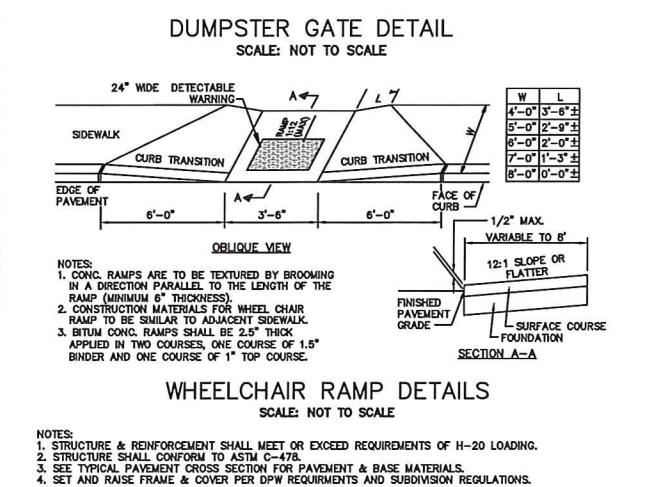
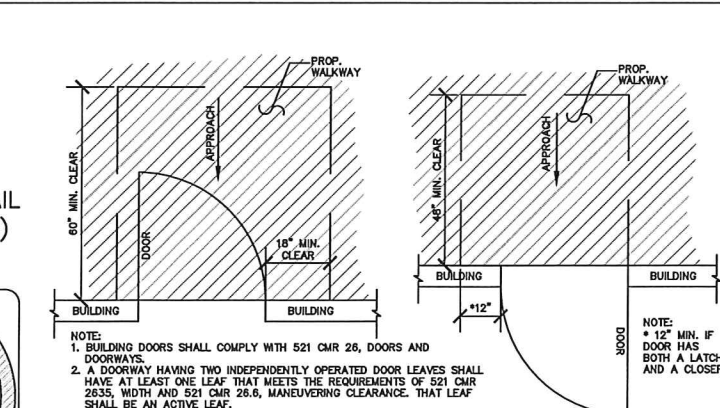
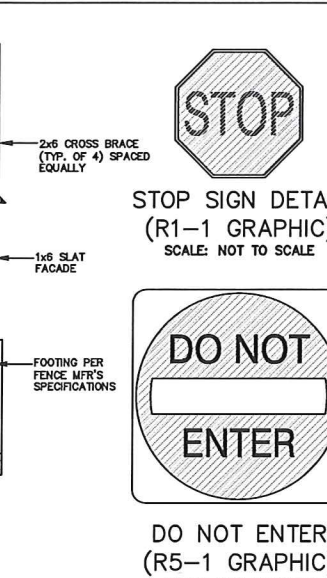
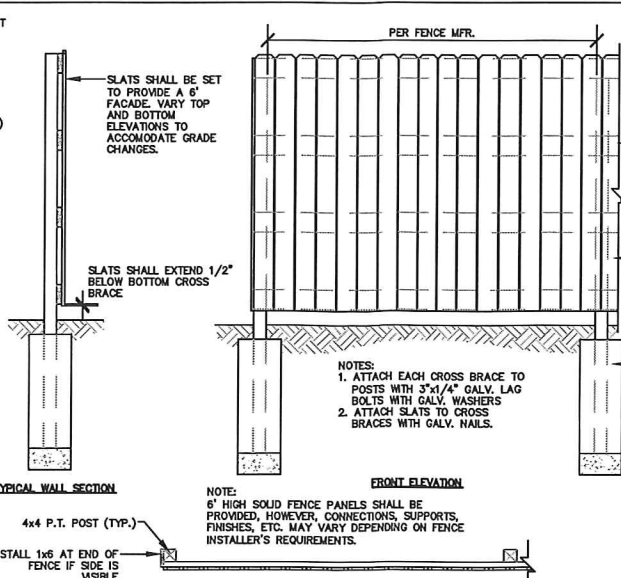
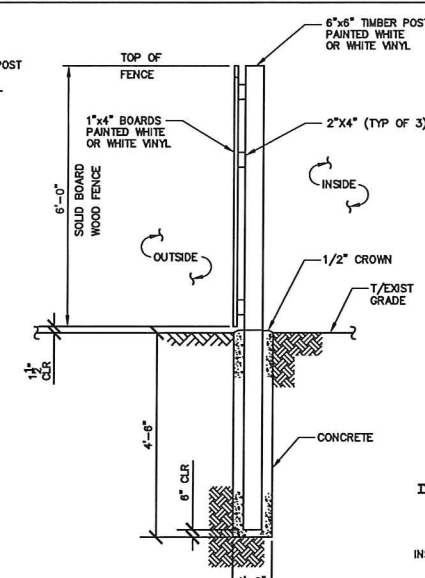
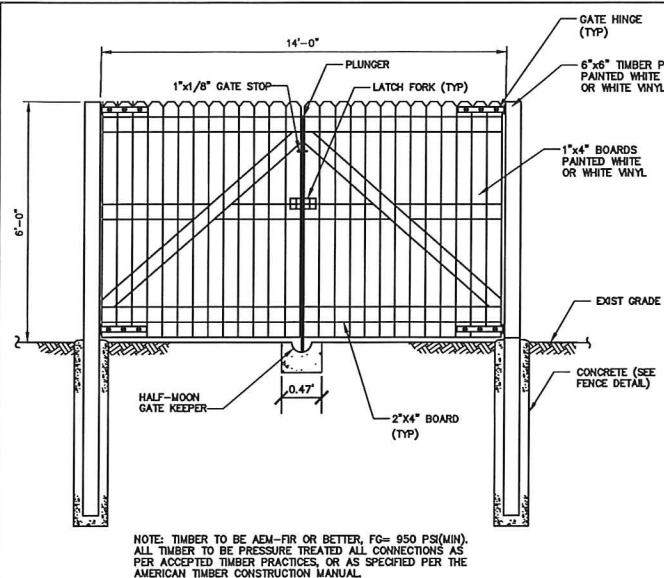
508.869.0597
masielloarchitect.com

QUINN ENGINEERING, INC.

P.O. Box 107
Faxon, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019

TYPICAL DETAILS SHEET 12



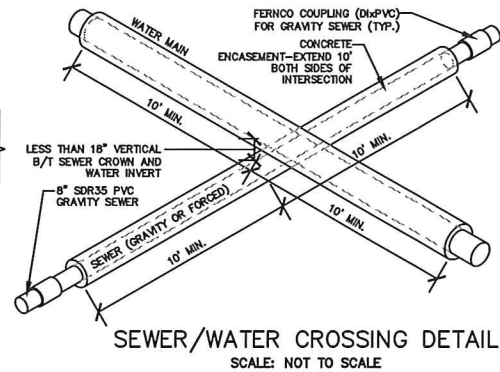
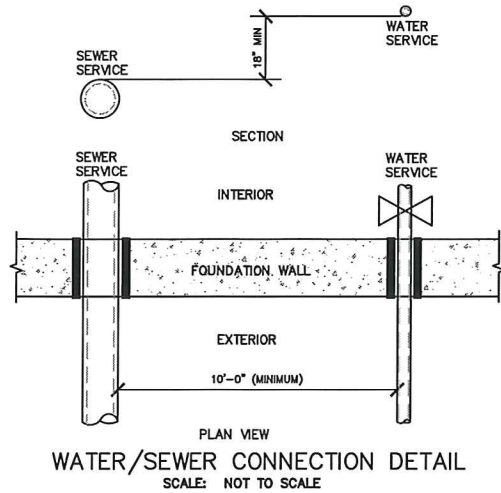
DIG SAFE
DIAL-811

APPLICANT: AMED, INC. ATTLEBORO, MA 02703
OWNER: MARY + JAMES HESSON 7410 BUCKINGHAM NORTH JACKSONVILLE, FL 32202

DATE: FEBRUARY 1, 2019
TYPICAL DETAILS SHEET 13

QUINN ENGINEERING, INC.
P.O. Box 107
Faxon, Massachusetts 01612
(508) 753-7999 Fax: (508) 795-0939

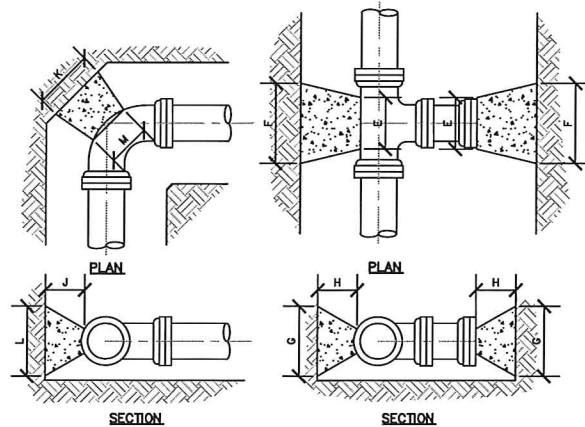
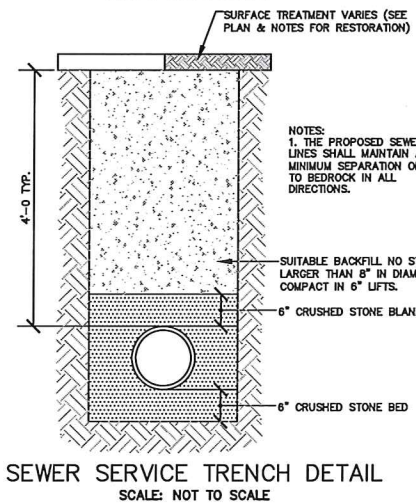
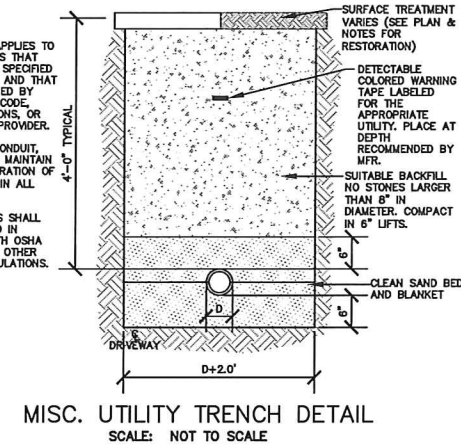
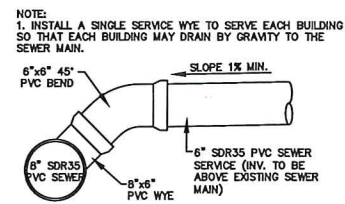
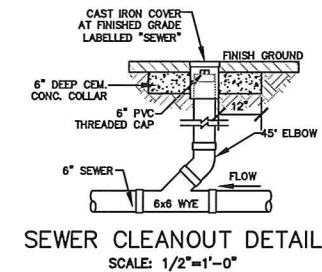
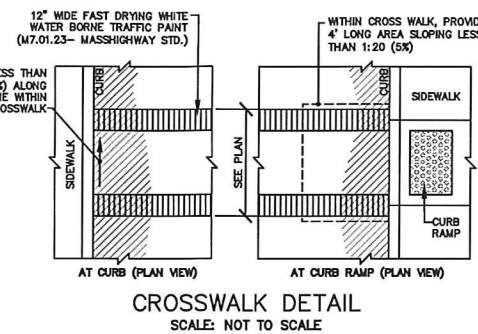
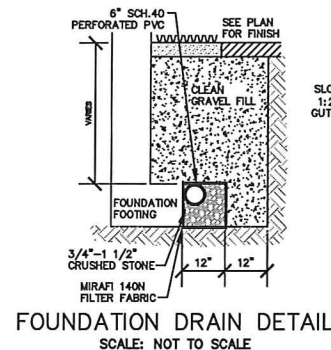
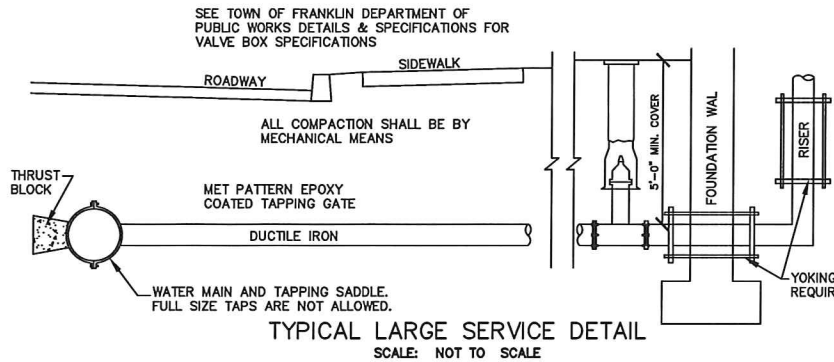
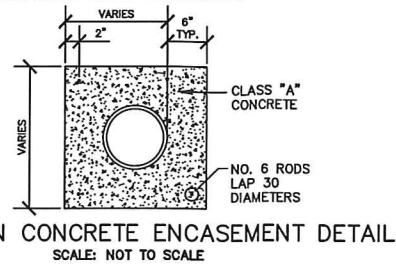
WILLIAM J. MASIELLO ARCHITECT INC.
508-869-0597
masielloarchitect.com



SEWER SERVICES TO BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER SERVICE. SHOULD LOCAL CONDITIONS PREVENT LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHOULD BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.

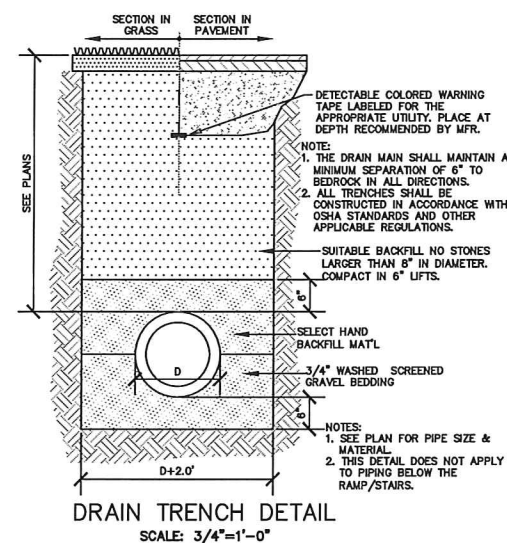
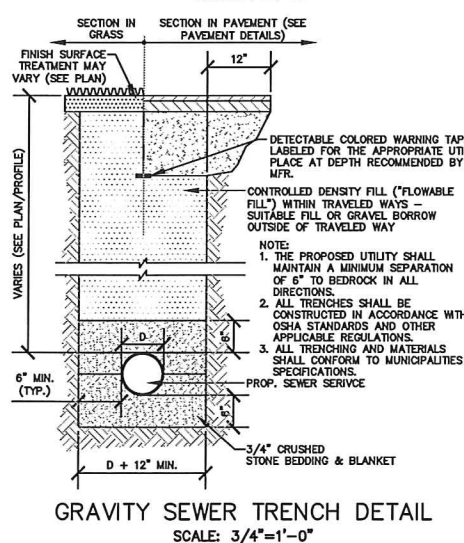
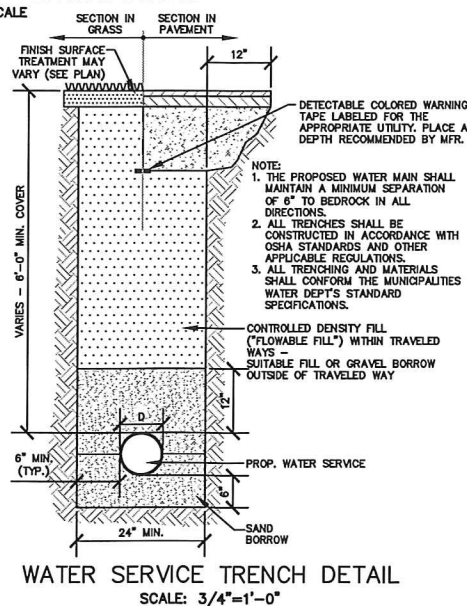
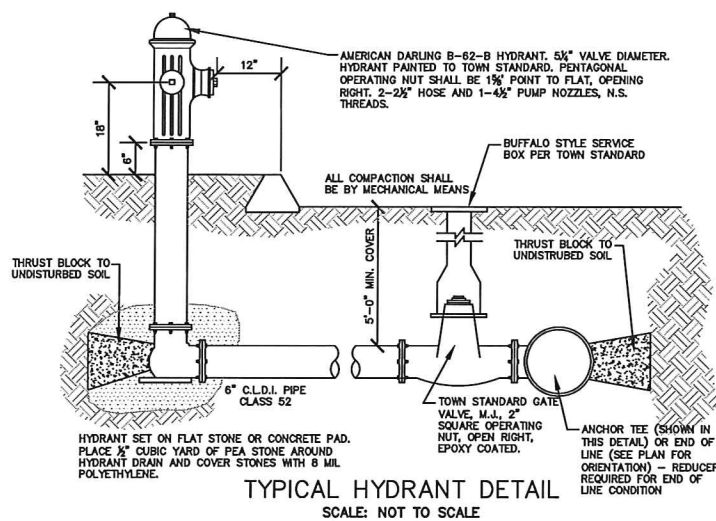
IF SEWER CONNECTIONS MUST CROSS UNDER WATER LINES, THE SEWER SHOULD BE AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER LINE. IF THE ELEVATION OF THE SEWER SERVICE CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER LINE SHOULD BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH SLEEVED PIPE AND WATER STOPS EXTENDING 10' BEYOND THE INTERSECTION IN EITHER DIRECTION.

WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH SEWER CONN AND WATER LINE SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.



DIMENSIONS FOR BLOCKS BEHIND TEES AND PLUGS

	6"	8"	12"	16"	24"
E	1'-0"	1'-0"	1'-0"	1'-3"	1'-6"
F	1'-6"	2'-0"	3'-0"	4'-0"	7'-0"
G	2'-0"	2'-6"	3'-6"	4'-0"	5'-0"
H	1'-0"	1'-0"	1'-3"	1'-6"	2'-0"



TYPICAL PLACEMENT ON BENDS

	1/4 BEND	1/8 BEND	1/16 BEND	1/32 BEND
6"	J 1'-0"	1'-0"	1'-0"	1'-0"
	K 2'-0"	2'-0"	2'-0"	2'-0"
	L 2'-0"	2'-0"	2'-0"	2'-0"
	M 1'-0"	1'-0"	1'-0"	1'-0"
8"	J 1'-0"	1'-0"	1'-0"	1'-0"
	K 2'-6"	2'-6"	2'-6"	2'-6"
	L 3'-0"	2'-6"	2'-0"	1'-0"
	M 1'-0"	1'-0"	1'-0"	1'-0"
12"	J 1'-3"	1'-3"	1'-3"	1'-3"
	K 3'-6"	2'-6"	2'-0"	1'-0"
	L 3'-0"	3'-0"	2'-0"	2'-0"
	M 1'-0"	1'-0"	1'-0"	1'-0"
16"	J 1'-6"	1'-6"	1'-6"	1'-6"
	K 4'-6"	3'-0"	2'-6"	1'-6"
	L 5'-0"	4'-0"	3'-0"	2'-6"
	M 1'-3"	1'-3"	1'-3"	1'-3"
24"	J 2'-0"	2'-0"	2'-0"	2'-0"
	K 7'-0"	4'-6"	3'-5"	2'-6"
	L 3'-0"	6'-0"	4'-0"	3'-0"
	M 1'-6"	1'-6"	1'-6"	1'-6"

NOTES:
1. THIS DETAIL APPLIES TO UTILITY TRENCHES THAT HAVE NOT BEEN SPECIFIED IN THESE PLANS AND THAT ARE NOT SPECIFIED BY STATE BUILDING CODE, LOCAL REGULATIONS, OR BY THE UTILITY PROVIDER.
2. ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA STANDARDS AND OTHER APPLICABLE REGULATIONS.

1. THE UTILITY CONDUIT, PIPE, ETC. SHALL MAINTAIN A MINIMUM SEPARATION OF 6" TO BEDROCK IN ALL DIRECTIONS.
2. ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA STANDARDS AND OTHER APPLICABLE REGULATIONS.

NOTES:
1. THE PROPOSED SEWER LINES SHALL MAINTAIN A MINIMUM SEPARATION OF 6" TO BEDROCK IN ALL DIRECTIONS.
2. ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA STANDARDS AND OTHER APPLICABLE REGULATIONS.

NOTES:
1. THE DRAIN MAIN SHALL MAINTAIN A MINIMUM SEPARATION OF 6" TO BEDROCK IN ALL DIRECTIONS.
2. ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA STANDARDS AND OTHER APPLICABLE REGULATIONS.



NO.	REVISION	DATE
1	TOWN/BETA COMMENTS	4/25/19



APPLICANT: AMCO, INC.
7410 BUCKINGHAM ROAD
ATLANTA, GA 30328

OWNER: MARY + JAMES HESSON
7410 BUCKINGHAM ROAD
JACKSONVILLE, FL 32222

SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET

WILLIAM J. MASIELLO
ARCHITECT INC.
508.869.0597
masielloarchitect.com

QUINN
ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019
TYPICAL DETAILS
SHEET 14

CONSTRUCTION GENERAL PERMIT AND STORMWATER POLLUTION PREVENTION PLAN NOTES:

THE CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) AND BECOME FAMILIAR WITH ALL REQUIREMENTS. THE FOLLOWING IS ONLY A SIMPLIFIED LIST OF REQUIREMENTS TAKEN FROM THE CGP.

- 1.1. THIS PROJECT MEETS THE FOLLOWING ELIGIBILITY CONDITIONS AND MAY BE COVERED UNDER THE CGP:
A. THE CONTRACTOR IS HEREBY DESIGNATED AS THE SITE "OPERATOR".
B. THIS PROJECT BEING DISBURSED OF GREATER THAN 1.0 ACRE OF AREA AND THEREFORE REQUIRES OBTAINING A CONSTRUCTION GENERAL PERMIT.
C. PERMIT COVERAGE IS PROVIDED BY:
1. EPA REGION 1 OFFICE OF ECOSYSTEM PROTECTION, NPDES STORMWATER PROGRAM
2. POST OFFICE BOX
3. BOSTON, MA 02268-0002
D. QUINN ENGINEERING, INC. IS NOT AWARE OF THIS PROJECT BEING COVERED UNDER A SEPARATE NPDES PERMIT FOR THE SAME DISCHARGE AND IS UNWARE OF THIS PROJECT BEING IN THE PROCESS OF HAVING COVERAGE UNDER A DIFFERENT NPDES PERMIT FOR THE SAME DISCHARGE (EVEN, TERMINATED OR REVOKED).
E. SEE PART 7 FOR INFORMATION REGARDING THE ENDANGERED SPECIES ACT OR FEDERALLY DESIGNATED CRITICAL HABITAT.
F. SEE PART 7 FOR INFORMATION REGARDING THE ENDANGERED SPECIES ACT OR FEDERALLY DESIGNATED CRITICAL HABITAT.
G. THE CONDITIONS OF THE APPLICABLE PORTIONS OF CONSTRUCTION GENERAL PERMIT PART 9 MUST BE COMPLIED WITH.
1.2. THIS PROPOSED WORK IS NOT PART OF A PUBLIC EMERGENCY.
1.3. DISCHARGE SHALL NOT OCCUR UNTIL AUTHORIZATION BY THE EPA. COMPLIANCE WITH THE STORMWATER CONTROL REQUIREMENTS OF THE CGP, INCLUDING THE REQUIREMENTS APPLICABLE TO DISCHARGES IN PART 3.2, SHALL RESULT IN DISCHARGE OF WATER THAT CAUSES NO REASONABLE POTENTIAL TO CAUSE OR CONTRIBUTE TO AN EXCURSION ABOVE ANY APPLICABLE WATER QUALITY STANDARD.
1.2.3. NEW SOURCE DISCHARGES TO A TIER 2, TIER 2.5 OR TIER 3 WATER ARE USUALLY ONLY IF THE DISCHARGE WILL NOT LOWER THE WATER QUALITY OF THE APPLICABLE WATER.
1.2.4. THE REGIONAL EPA OFFICE MUST BE NOTIFIED AND AUTHORIZE USE OF CATIONIC TREATMENT CHEMICALS PRIOR TO USE.
1.3.0. FOLLOWING IS A LIST OF DISCHARGES THAT ARE ALLOWED UNDER THE CGP PROVIDED THAT APPROPRIATE STORMWATER CONTROLS ARE DESIGNED, INSTALLED, AND MAINTAINED:
A. STORMWATER DISCHARGES, INCLUDING STORMWATER RUNOFF, SHOWN ON MAP, AND SURFACE RUNOFF AND DRAINAGE, ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER 40 CFR § 122.26(b)(1)(i) OR § 122.26(b)(1)(ii) OR § 122.26(b)(1)(iii).
B. STORMWATER DISCHARGES DESIGNATED BY EPA AS NEEDING A PERMIT UNDER 40 CFR § 122.26(a)(1)(v) OR § 122.26(b)(1)(iv).
C. STORMWATER DISCHARGES FROM CONSTRUCTION SUPPORT ACTIVITIES (E.G., CONCRETE OR ASPHALT BATCH PLANTS, EQUIPMENT STAGING YARDS, MATERIAL STORAGE AREAS, EXCAVATED MATERIAL DISPOSAL AREAS, BORROW AREAS, ETC.) PROVIDED:
I. THE SUPPORT ACTIVITY IS DIRECTLY RELATED TO THE CONSTRUCTION SITE REQUIRED TO HAVE PERMIT COVERAGE FOR STORMWATER DISCHARGES.
II. THE SUPPORT ACTIVITY IS NOT A COMMERCIAL OPERATION, NOR DOES IT EXERCISE MULTIPLE UNRELATED CONSTRUCTION PROJECTS.
III. THE SUPPORT ACTIVITY DOES NOT CONTINUE TO OPERATE BEYOND THE COMPLETION OF THE CONSTRUCTION ACTIVITY AT THE PROJECT IT SUPPORTS, AND
IV. STORMWATER CONTROLS ARE IMPLEMENTED IN ACCORDANCE WITH PART 2 AND 4, IF APPLICABLE, PART 3, FOR DISCHARGES FROM THE SUPPORT ACTIVITY AREAS.
D. THE FOLLOWING NON-STORMWATER DISCHARGES FROM THE CONSTRUCTION ACTIVITY, PROVIDED THAT, WITH THE EXCEPTION OF DISCHARGES FROM THE SUPPORT ACTIVITY AREAS, DISCHARGES FROM THESE ACTIVITIES ARE NOT TO BE MADE TO AREAS OF EXPOSED SOIL ON THE SITE AND COMPLY WITH ANY APPLICABLE REQUIREMENTS FOR DISCHARGES IN PART 2:
I. DISCHARGES OF EMERGENCY FIRE-FIGHTING ACTIVITIES;
II. FIRE HYDRANT FLUSHINGS;
III. DISCHARGES OF WASH WATER FROM EQUIPMENT;
IV. WATER USED TO WASH VEHICLES AND EQUIPMENT, PROVIDED THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, OR DETERGENTS USED FOR SUCH PURPOSES;
V. WATER USED TO CONTROL DUST;
VI. PORTABLE WASH WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHINGS;
VII. WATER USED TO CONTROL DUST;
VIII. PAVEMENT WASH WATERS PROVIDED SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS ALL SPILL MATERIAL HAS BEEN REMOVED) AND WHERE DETERGENTS ARE NOT USED, THE CONTRACTOR IS PROHIBITED FROM DISCHARGING PAVEMENT WASH WATERS DIRECTLY INTO ANY SURFACE WATER, STORM DRAIN INLET, OR STORMWATER CONVEYANCE, UNLESS THE CONVEYANCE IS CONNECTED TO A SEDIMENT BASIN, SEDIMENT TRAP, OR SIMILARLY EFFECTIVE CONTROL.
IX. UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
X. UNCONTAMINATED, NON-TURBID DISCHARGES OF GROUND WATER OR SPRING WATER;
XI. FLOODING OR FLOODING BRANCHES WHERE FLOODS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS OR CONTAMINATED GROUND WATER; AND
XII. DISCHARGES OF STORMWATER LISTED ABOVE IN PARTS A, B, AND C, OR AUTHORIZED NONSTORMWATER DISCHARGES IN PART D ABOVE, COMINGLED WITH A DISCHARGE AUTHORIZED BY A DIFFERENT NPDES PERMIT AND/OR A DISCHARGE THAT DOES NOT REQUIRE PERMIT AUTHORIZATION.
1.4.0. THE CONTRACTOR SHALL SUBMIT A COMPLETE AND ACCURATE NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO COMMENCING CONSTRUCTION.
1.4.1. THE CONTRACTOR IS REQUIRED TO USE THE EPA'S ELECTRONIC ENR DSD SYSTEM TO PREPARE AND SUBMIT THE NOI.
1.4.2. THE CONTRACTOR SHALL SUBMIT THE NOI IN ACCORDANCE WITH THE DEADLINES LISTED IN THE CGP.
1.4.3. THE NOI DATE OF PERMIT COVERAGE SHALL BE IN ACCORDANCE WITH THOSE LISTED IN THE CGP.
1.4.4. THE CONTINUATION OF COVERAGE FOR EXISTING PERMITTES AFTER THE PERMIT EXPRESS SHALL BE IN ACCORDANCE WITH THE CGP.
1.4.5. PROCEDURES FOR DENIAL OF COVERAGE SHALL BE FOLLOWED IN ACCORDANCE WITH THE CGP.
1.5.0. THE CONTRACTOR SHALL POST A SIGN OR NOTICE CONSPICUOUS AT A SAFE, PUBLICLY ACCESSIBLE LOCATION IN CLOSE PROXIMITY TO THE PROJECT SITE. THE SIGN/NOTICE SHALL CONFORM TO THE REQUIREMENTS IN THE CGP.
PART 2
2.1. EROSION AND SEDIMENT CONTROLS SHOWN ON THESE PLANS SHALL BE INSTALLED AND MAINTAINED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EARTH DISTURBING ACTIVITIES. EROSION AND SEDIMENT CONTROLS THAT ARE NOT SHOWN ON THESE PLANS (EXCEPT WHERE SPECIFICALLY NOTED) SHALL BE DESIGNED, INSTALLED AND MAINTAINED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EARTH DISTURBING ACTIVITIES.
2.1.1. THE CONTRACTOR SHALL MAINTAIN THE AMOUNT OF EXPOSED EARTH TO A MINIMUM DURING CONSTRUCTION ACTIVITIES AND CONFORM TO DEADLINES FOR TEMPORARY AND/OR PERMANENT STABILIZATION.
2.1.2. DESIGN REQUIREMENTS:
A. ACCOUNT FOR THE FOLLOWING DESIGN FACTORS IN STORMWATER CONTROLS:
I. THE EXPECTED AMOUNT, FREQUENCY, INTENSITY AND DURATION OF PRECIPITATION.
II. THE NATURE OF STORMWATER RUNOFF AND RUN ON AT THE SITE.
III. THE RANGE OF SOIL PARTICLE SIZES EXPECTED TO BE PRESENT AT THE SITE.
B. DIRECT DISCHARGES TO VEGETATED AREAS ON SITE TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE INFILTRATION. USE VEGETATION AS NECESSARY TO PREVENT EROSION.
2.1.3. INSTALLATION REQUIREMENTS:
A. COMPLETE INSTALLATION OF STORMWATER CONTROLS BEFORE EACH PHASE OF EARTH DISTURBANCE BEGINS UNLESS INFEASIBLE, IF INFEASIBLE, SEE THE CGP FOR REQUIREMENTS.
B. USE GOOD PRACTICES AND FOLLOW MANUFACTURER'S SPECIFICATIONS.
2.1.4. MAINTENANCE REQUIREMENTS:
A. PROTECT CONTROLS FROM ACTIVITIES THAT WILL REDUCE THEIR EFFECTIVENESS.
B. INSPECT CONTROLS IN ACCORDANCE WITH THE REQUIREMENTS OF PART 4.1 AND DOCUMENT FINDINGS. IF A PROBLEM IS FOUND, IMMEDIATE REPAIR OR REPLACEMENT OF THE CONTROL SHALL BE COMPLETED AND THE CGP SHALL BE UPDATED.
2.1.5. EROSION AND SEDIMENT CONTROL REQUIREMENTS APPLICABLE TO ALL SITES:
A. PROVIDE HATCHES OR EQUIPMENT COVERS TO ACHIEVE A REDUCTION IN SEDIMENT LOAD EQUIVALENT THAT ACHIEVED BY A 50 FOOT NATURAL BUFFER.
B. COMPLY WITH THE FOLLOWING:
I. PROVIDE AND MAINTAIN A 50 FOOT UNDISTURBED BUFFER.
II. PROVIDE AND MAINTAIN AN UNDISTURBED NATURAL BUFFER THAT IS LESS THAN 50 FEET AND IS SUPPLEMENTED BY ADDITIONAL EROSION AND SEDIMENT CONTROLS, WHEN IN COORDINATION ACHIEVE THE SEDIMENT LOAD REDUCTION EQUIVALENT TO A 50-FOOT UNDISTURBED NATURAL BUFFER, OR
III. IF IT IS INFEASIBLE TO PROVIDE AND MAINTAIN AN UNDISTURBED NATURAL BUFFER OF ANY SIZE, IMPLEMENT EROSION AND SEDIMENT CONTROLS THAT ACHIEVE THE SEDIMENT LOAD REDUCTION EQUIVALENT TO A 50-FOOT UNDISTURBED NATURAL BUFFER.
C. SEE THE CGP FOR ADDITIONAL REQUIREMENTS FOR THE COMPLIANCE ALTERNATIVES AND EXCEPTIONS.
2.1.6. PERMITTER CONTROLS:
A. REMOVE SEDIMENT BEFORE IT ACCUMULATES TO ONE HALF ABOVE THE GROUND HEIGHT OF ANY PERMITTER CONTROL.
2.1.7. MAINTENANCE REQUIREMENTS:
A. RESTRICT VEHICLE USE TO PROPERLY DESIGNATED DOT POINTS.
B. USE APPROPRIATE TRACKING TECHNIQUES AT ALL POINTS THAT EXIST ON PAVED ROADS SO THAT SEDIMENT REMOVAL OCCURS PRIOR TO VEHICLE EXIT.
C. WHERE NECESSARY, USE ADDITIONAL CONTROLS TO REMOVE SEDIMENT FROM VEHICLE TIRES PRIOR TO EXIT.
D. WHERE SEDIMENT HAS TRACKED-OUT FROM THE SITE, REMOVE THE SEDIMENT BY SHOVING, HOSSING OR SWEEPING TRACKED-OUT SEDIMENT INTO ANY CONTAINER (WHICH IS CONNECTED TO A SEDIMENT BASIN, SEDIMENT TRAP, OR SIMILARLY EFFECTIVE CONTROL), STORM DRAIN INLET, OR SURFACE WATER. EROSION IS PROHIBITED.
2.1.8. CONTROL DISCHARGES FROM STOCKPILED SEDIMENT AND SOIL:
A. LOCATE THE PILES OUTSIDE OF THE UNDISTURBED BUFFER UNDER PART 2.1.2.1 AND PHYSICALLY SEPARATED FROM OTHER STORMWATER CONTROLS IMPLEMENTED IN ACCORDANCE WITH PART 2.1.
B. PROTECT FROM CONTACT WITH STORMWATER (INCLUDING RUN-ON) USING A TEMPORARY PERIMETER SEDIMENT BARRIER OR OTHER PRACTICABLE APPROPRIATE TEMPORARY STABILIZATION TO AVOID DIRECT CONTACT WITH PRECIPITATION OR TO MINIMIZE SEDIMENT DISCHARGE.
C. DO NOT HOSE DOWN OR SWEEP SOIL OR SEDIMENT ACCUMULATED ON PAVEMENT OR OTHER IMPERVIOUS SURFACES INTO ANY STORMWATER CONVEYANCE (UNLESS CONNECTED TO A SEDIMENT BASIN, SEDIMENT TRAP, OR SIMILARLY EFFECTIVE CONTROL), STORM DRAIN INLET, OR SURFACE WATER.
D. UNLESS INFEASIBLE, CONTROL AND SECURITY PROTECT FROM WIND.
2.1.9. IN ORDER TO AVOID POLLUTANTS FROM BEING DISCHARGED INTO SURFACE WATERS, TO THE EXTENT FEASIBLE, THE CONTRACTOR MUST MINIMIZE THE GENERATION OF DUST THROUGH THE APPROPRIATE APPLICATION OF WATER OR OTHER DUST SUPPRESSION TECHNIQUES.
2.1.10. THE CONTRACTOR MUST MINIMIZE THE DISTURBANCE OF "STEEP SLOPES".
2.1.11. THE CONTRACTOR MUST PRESERVE NATIVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE.
2.1.12. IN AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR OR WHERE INFILTRATION PRACTICES WILL BE INSTALLED, THE CONTRACTOR MUST EITHER:
A. RESTRICT VEHICLE / EQUIPMENT USE IN THESE LOCATIONS, OR
B. PRIOR TO SEEDING OR PLANTING AREAS OF EXPOSED SOIL THAT HAVE BEEN COMPACTED, USE TECHNIQUES THAT CONDITION THE SOILS TO SUPPORT VEGETATION GROWTH IF NECESSARY AND FEASIBLE.
2.1.13. PROTECT STORM DRAIN INLETS.
A. INSTALL INLET PROTECTION MEASURES THAT REMOVE SEDIMENT FROM THE DISCHARGE PRIOR TO ENTRY INTO THE STORM DRAIN INLET.
B. CLEAN, OR REMOVE AND REPLACE, THE PROTECTION MEASURES AS SEDIMENT ACCUMULATES, THE FILTER BECOMES CLOGGED, OR FOR PERFORMANCE DEGRADATION.
2.1.4. REQUIREMENTS APPLICABLE ONLY TO SITES USING THESE SPECIFIC STORMWATER CONTROLS
2.1.5. DESIGN REQUIREMENTS:
A. STORMWATER CONVEYANCE CHANNELS TO AVOID UNSTABILIZED AREAS ON THE SITE AND TO REDUCE EROSION.
B. STORMWATER CONVEYANCE CHANNELS TO AVOID UNSTABILIZED AREAS ON THE SITE AND TO REDUCE EROSION.
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