

# SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET

FEBRUARY 1, 2019

TOWN OF FRANKLIN  
TOWN CLERK

2019 FEB -4 A 10:48

RECEIVED

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## PROJECT INFO:

- PROPERTY INFORMATION:**  
STREET ADDRESS: WASHINGTON STREET, FRANKLIN, MA  
ASSESSORS REF.: PARCEL ID: 322-031-000-000  
ZONING DISTRICT: RURAL RESIDENTIAL 1  
DEED REFERENCE: BOOK 32881, PAGE 044
- ZONING INFORMATION:**  
DISTRICT: RURAL RESIDENTIAL 1  
USE: EDUCATIONAL  

	REQUIRED	PROPOSED
MIN. AREA:	40,000 SF	2,271,721 SF
MIN. FRONTAGE:	200'	370'
MIN. FRONT YARD:	40'	40'
MIN. SIDE YARD:	40'	40'
MIN. REAR YARD:	40'	58'
MAX. HEIGHT:	35'	32'4"
MAX IMPERVIOUS AREA:	25%	12.2%
- APPLICANT:**  
AMEGO, INC.  
33 PERRY AVE  
ATTLEBORO, MA 02703
- ARCHITECT:**  
WILLIAM A MASIELLO ARCHITECT INC.  
389 CENTRAL STREET  
BOYLSTON, MA 01505  
(508)869-0597
- ENGINEER:**  
QUINN ENGINEERING, INC.  
PO BOX 107  
PAXTON, MA 01612  
(508)753-7999
- SURVEYOR:**  
JARVIS LAND SURVEY  
28 GRAFTON CIRCLE  
SHREWSBURY, MA 01545  
(508)842-8087
- LIGHTING CONSULTANT:**  
SHEPHERD ENGINEERING  
1308 GRAFTON STREET  
WORCESTER, MA 01604  
(508)757-7793
- EMERGENCY CONTACT INFO**  
PERSON RESPONSIBLE FOR  
MAINTENANCE OF STORMWATER:  
JOHN RANDALL  
AMEGO, INC.  
33 PERRY AVE  
ATTLEBORO, MA 02703

## PARKING AND LOADING REQUIREMENTS

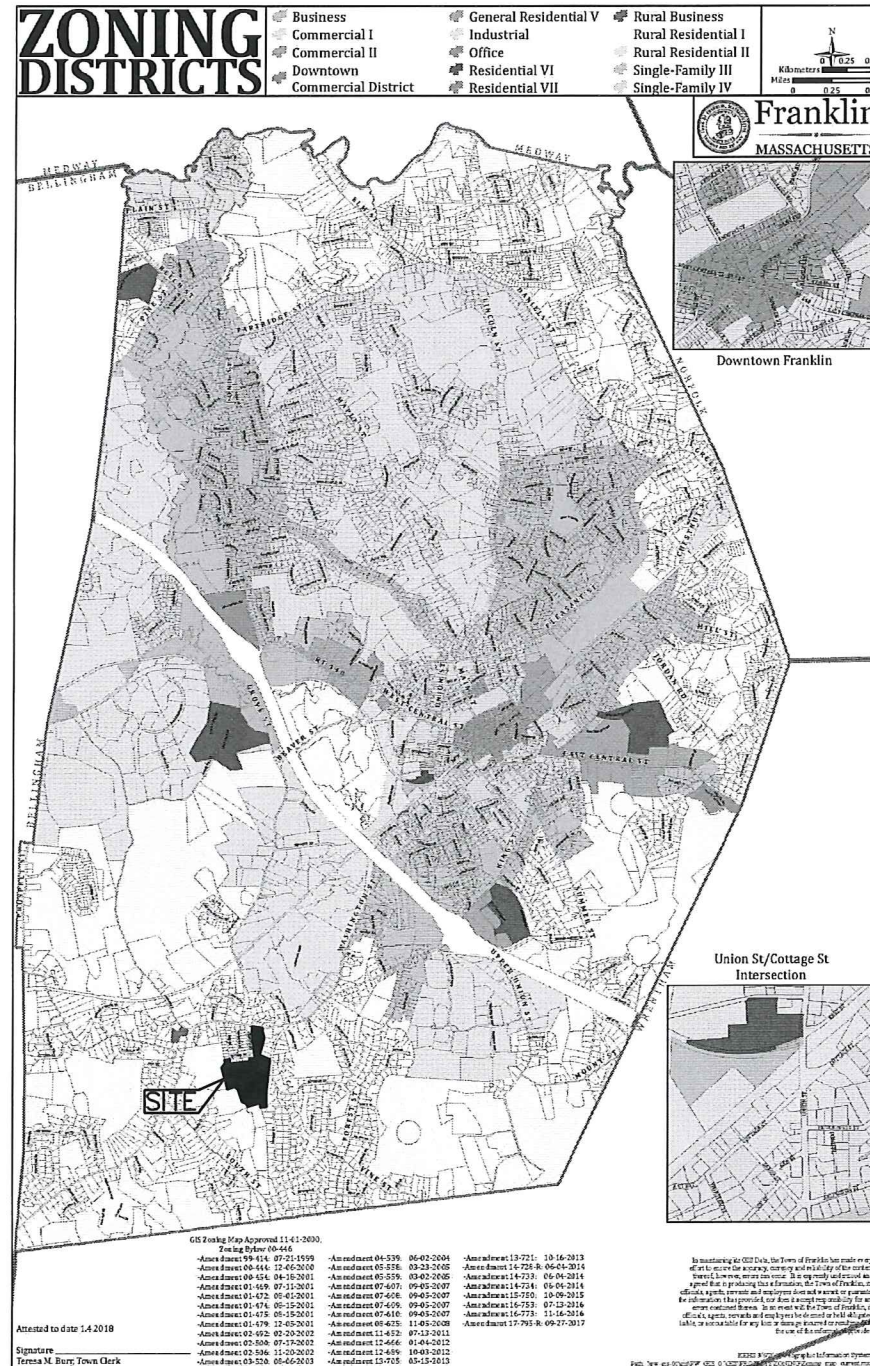
FROM SECTION 185-21 OF THE ZONING BYLAW

USE:	PARKING REQUIREMENT:	LOADING REQUIREMENT:
RESIDENTIAL	2 SPACES PER DWELLING	PROVIDE LOADING AREA
EDUCATIONAL OFFICE	1 SPACE PER 250 SF GROSS	PROVIDE LOADING AREA

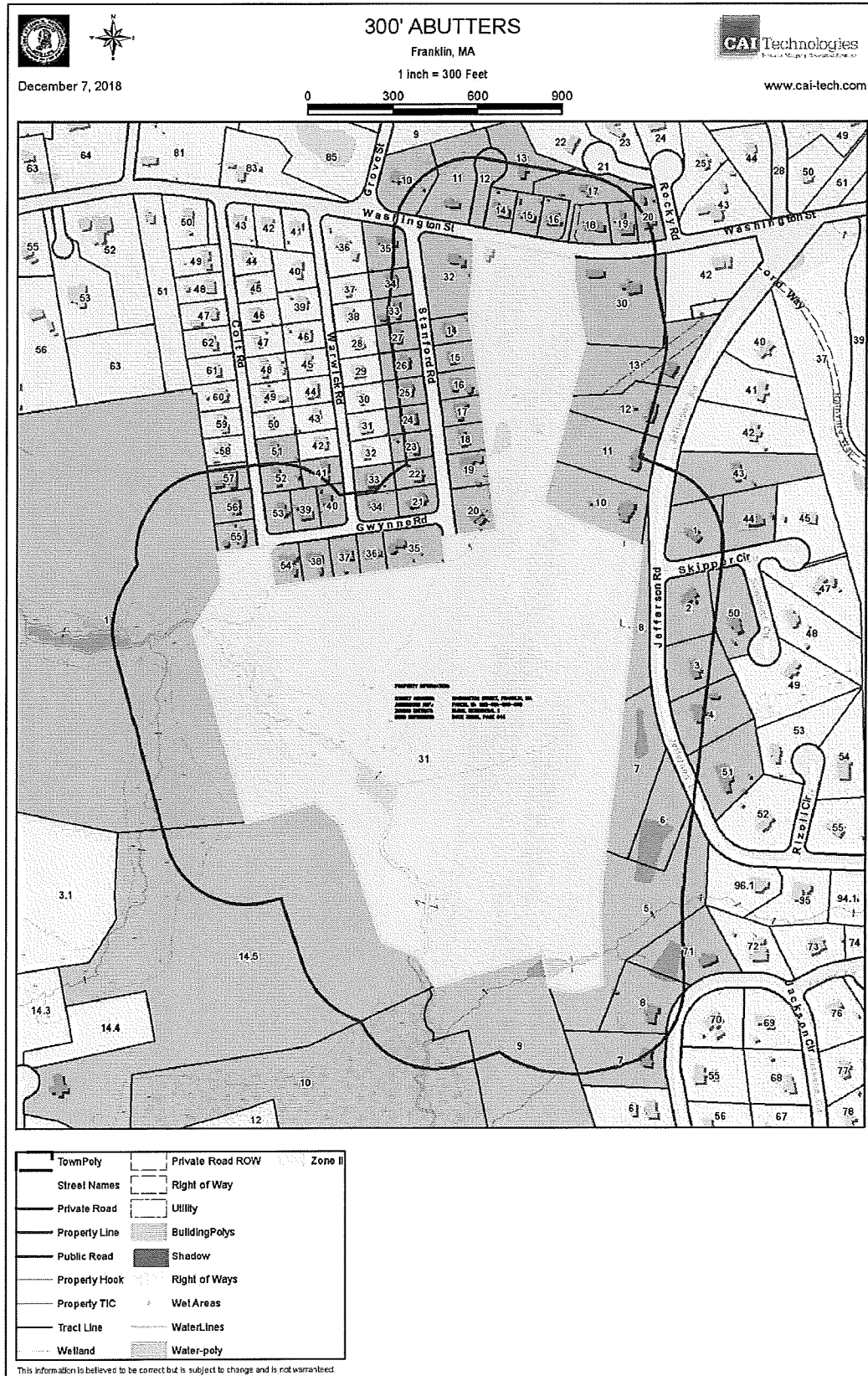
6 NEW DWELLINGS, A SMALL MAINTENANCE BLDG., AND A SMALL EDUCATIONAL USE BLDG. ARE PROPOSED.  
(6 DWELLINGS)(2 SPACES) + (3,000 SF)(1 SPACE/250 SF) = 24 SPACES REQUIRED

44 SPACES PROVIDED\* > 24 SPACES REQUIRED

\* THE 44 SPACES PROVIDED ARE BASED ON PROPOSED BUSINESS OPERATIONS AND IS INTENDED TO PROVIDE SUFFICIENT PARKING FOR RESIDENTS, STAFF, AND VISITORS WITH AMPLE LOADING SPACE FOR DROP OFF AND PICKUP OF DISABLED RESIDENTS.







TOWN OF FRANKLIN ABUTTERS MAP  
SCALE: NOT TO SCALE

Subject Property:	Mailing Address:	Parcel Number:	Mailing Address:
Parcel Number: 322-031-000 CAMA Number: 322-031-000-000 Property Address: WASHINGTON ST	HESSON MARY M & JAMES W JR RIMMER MARGHERITA G 7410 BUCKSKIN TRAIL NORTH JACKSONVILLE, FL 32202	Parcel Number: 327-013-000 CAMA Number: 327-013-000-000 Property Address: 7 JEFFERSON RD	Mailing Address: SEIFERT MARK E SEIFERT JULIE A 7 JEFFERSON RD FRANKLIN, MA 02038
Parcel Number: 322-010-000 CAMA Number: 322-010-000-000 Property Address: 370 GROVE ST	Mailing Address: SEAWARD PHILIP SEAWARD MEGHAN 370 GROVE ST FRANKLIN, MA 02038	Parcel Number: 327-014-000 CAMA Number: 327-014-000-000 Property Address: 6 STANFORD RD	Mailing Address: FRASER CHRISTOPHER P 6 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-011-000 CAMA Number: 322-011-000-000 Property Address: 727 WASHINGTON ST	Mailing Address: CIAMPOLILLO VITO M JR 727 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-015-000 CAMA Number: 327-015-000-000 Property Address: 8 STANFORD RD	Mailing Address: WINTERS ROBERT L WINTERS SUSAN 8 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-012-000 CAMA Number: 322-012-000-000 Property Address: BECKY LN	Mailing Address: CO MODAK SUSAN 723 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-016-000 CAMA Number: 327-016-000-000 Property Address: 10 STANFORD RD	Mailing Address: RICHARDS EUGENE RICHARDS DIANA 10 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-013-000 CAMA Number: 322-013-000-000 Property Address: 723 WASHINGTON ST	Mailing Address: MODAK SUSAN MODAK IRANI 723 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-017-000 CAMA Number: 327-017-000-000 Property Address: 12 STANFORD RD	Mailing Address: LOULACHE FOIAD B & HELEN R TRS BAYSIDE MEADOWS REALTY TRUST 12 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-014-000 CAMA Number: 322-014-000-000 Property Address: 719 WASHINGTON ST	Mailing Address: FOVEL LEO A FOVEL REALTY TRUST 719 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-018-000 CAMA Number: 327-018-000-000 Property Address: 14 STANFORD RD	Mailing Address: CASHMAN DANIEL J CASHMAN ROSEMARIE R 14 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-015-000 CAMA Number: 322-015-000-000 Property Address: 717 WASHINGTON ST	Mailing Address: MORGANTE STEVEN M MORGANTE MORGAN C 717 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-019-000 CAMA Number: 327-019-000-000 Property Address: 16 STANFORD RD	Mailing Address: FONTENAROSA SCOTT TR FONTENAROSA REALTY TRUST SONIE 25 BUCKHILL ROAD PASCOAG, RI 02859
Parcel Number: 322-016-000 CAMA Number: 322-016-000-000 Property Address: 715 WASHINGTON ST	Mailing Address: LABOSSIER FRANCIS L LABOSSIER COTILDA 715 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-020-000 CAMA Number: 327-020-000-000 Property Address: 18 STANFORD RD	Mailing Address: SMITH KEVIN D 18 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-017-000 CAMA Number: 322-017-000-000 Property Address: 713 WASHINGTON ST	Mailing Address: LICHTENSTEIN JAY LICHTENSTEIN AMY 713 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-021-000 CAMA Number: 327-021-000-000 Property Address: 17 STANFORD RD	Mailing Address: SMITH KIRK A & PAMELA A TRS SMITH FAMILY IRREVOC TRST 17 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-018-000 CAMA Number: 322-018-000-000 Property Address: 711 WASHINGTON ST	Mailing Address: SCIOLO YOLANDA C L'E SCIOLO DAVID J P O BOX 44 FRANKLIN, MA 02038	Parcel Number: 327-022-000 CAMA Number: 327-022-000-000 Property Address: 15 STANFORD RD	Mailing Address: LAURENCE MARIA 15 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-019-000 CAMA Number: 322-019-000-000 Property Address: 701 WASHINGTON ST	Mailing Address: BOYLE YOLANDA L'E FREDERICK G BOYLE 701 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-023-000 CAMA Number: 327-023-000-000 Property Address: 13 STANFORD RD	Mailing Address: OBRIEN CHARLES A III&PAMELA J M&M FAMILY REALTY TRUST 13 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-020-000 CAMA Number: 322-020-000-000 Property Address: 697 WASHINGTON ST	Mailing Address: UMPHREY MARK S II ZUNIGA ANGE SANTOS 697 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-024-000 CAMA Number: 327-024-000-000 Property Address: 11 STANFORD RD	Mailing Address: CONLEY KEVIN J CONLEY JENNIFER A 11 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-020-000 CAMA Number: 322-020-000-000 Property Address: 704 WASHINGTON ST	Mailing Address: LAJERO LLC 120 LEWIS ST FRANKLIN, MA 02038	Parcel Number: 327-025-000 CAMA Number: 327-025-000-000 Property Address: 9 STANFORD RD	Mailing Address: NUTTER BENJAMIN NUTTER JESSICA 9 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-032-000 CAMA Number: 322-032-000-000 Property Address: 724 WASHINGTON ST	Mailing Address: PADULA RALPH A PADULA ELIZABETH C 724 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-026-000 CAMA Number: 327-026-000-000 Property Address: 7 STANFORD RD	Mailing Address: RIPLEY ROBERT B RIPLEY ANN E 7 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-033-000 CAMA Number: 322-033-000-000 Property Address: 3 STANFORD RD	Mailing Address: ROHAN SUSAN C 3 STANFORD RD FRANKLIN, MA 02038	Parcel Number: 327-027-000 CAMA Number: 327-027-000-000 Property Address: 5 STANFORD RD	Mailing Address: EKSTROM BRETT MACESIC LAURA 5 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-034-000 CAMA Number: 322-034-000-000 Property Address: 1 STANFORD RD	Mailing Address: SHAUGHNESSY JOHN J DEXTER KAREN M 1 STANFORD RD FRANKLIN, MA 02038	Parcel Number: 327-033-000 CAMA Number: 327-033-000-000 Property Address: 16 WARWICK RD	Mailing Address: DOHERTY WILLIAM J DOHERTY ROSE A 16 WARWICK RD FRANKLIN, MA 02038
Parcel Number: 322-035-000 CAMA Number: 322-035-000-000 Property Address: 732 WASHINGTON ST	Mailing Address: GORDON MATTHEW GORDON A ROFIND 732 WASHINGTON ST FRANKLIN, MA 02038	Parcel Number: 327-034-000 CAMA Number: 327-034-000-000 Property Address: 10 GWYNNE RD	Mailing Address: COHEN HOWARD J COHEN DIANE S 10 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 326-001-000 CAMA Number: 326-001-000-000 Property Address: WASHINGTON ST	Mailing Address: COOK MARILYN E 2200 WEST ST WRENTHAM, MA 02093	Parcel Number: 327-035-000 CAMA Number: 327-035-000-000 Property Address: 9 GWYNNE RD	Mailing Address: WETMORE CHRISTOPHER J WETMORE NICOLE A 9 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 327-001-000 CAMA Number: 327-001-000-000 Property Address: 14 JEFFERSON RD	Mailing Address: NIEMI RALPH A NIEMI THERESA P 14 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-036-000 CAMA Number: 327-036-000-000 Property Address: 7 GWYNNE RD	Mailing Address: SCHARLACKEN RAYMOND J SCHARLACKEN DARLA J 7 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 327-002-000 CAMA Number: 327-002-000-000 Property Address: 16 JEFFERSON RD	Mailing Address: SBORDON JAMES V 11885-SBORDON DAWN 16 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-037-000 CAMA Number: 327-037-000-000 Property Address: 6 GWYNNE RD	Mailing Address: DOLINSKI BRIAN M STADNICK J L 9 MERCER LANE FRANKLIN, MA 02038
Parcel Number: 327-003-000 CAMA Number: 327-003-000-000 Property Address: 18 JEFFERSON RD	Mailing Address: WATSON LANE WILLIAM STURTEVANT ANABELA 1175 BOSTON PROVIDENCE TPKE NORWOOD, MA 02062-5019	Parcel Number: 327-038-000 CAMA Number: 327-038-000-000 Property Address: 3 GWYNNE RD	Mailing Address: DREW LORRAINE 3 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 327-004-000 CAMA Number: 327-004-000-000 Property Address: 20 JEFFERSON RD	Mailing Address: SCHARLAND MICHAEL J & HOLLY M SCHARLAND FAMILY LIVING TRUST 20 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-039-000 CAMA Number: 327-039-000-000 Property Address: 2 GWYNNE RD	Mailing Address: HARN MICHAEL HARN CHARLENE 2 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 327-005-000 CAMA Number: 327-005-000-000 Property Address: JEFFERSON RD	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038	Parcel Number: 327-040-000 CAMA Number: 327-040-000-000 Property Address: 17 WARWICK RD	Mailing Address: SOUZA RICHARD JOSEPH SOUZA MARILYN 17 WARWICK RD FRANKLIN, MA 02038
Parcel Number: 327-006-000 CAMA Number: 327-006-000-000 Property Address: 355 EAST CENTRAL STREET	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038	Parcel Number: 327-041-000 CAMA Number: 327-041-000-000 Property Address: 15 WARWICK RD	Mailing Address: WARNER CHRISTOPHER E WARNER JULIE A 15 WARWICK RD FRANKLIN, MA 02038
Parcel Number: 327-007-000 CAMA Number: 327-007-000-000 Property Address: 15 JEFFERSON RD	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038	Parcel Number: 327-042-000 CAMA Number: 327-042-000-000 Property Address: 16 COLT RD	Mailing Address: WOOD JENNIFER WOOD ROBERT 16 COLT RD FRANKLIN, MA 02038
Parcel Number: 327-008-000 CAMA Number: 327-008-000-000 Property Address: JEFFERSON RD	Mailing Address: MOLLO STEVEN J MOLLO WENDY L 13 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-052-000 CAMA Number: 327-052-000-000 Property Address: 18 COLT RD	Mailing Address: DEPEDRO DENISE DEPEDRO MICHAEL 18 COLT RD FRANKLIN, MA 02038
Parcel Number: 327-010-000 CAMA Number: 327-010-000-000 Property Address: 13 JEFFERSON RD	Mailing Address: MOLLO STEVEN J MOLLO WENDY L 13 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-053-000 CAMA Number: 327-053-000-000 Property Address: 20 COLT RD	Mailing Address: GAGNON STEFAN G GAGNON EMILY K 20 COLT RD FRANKLIN, MA 02038
Parcel Number: 327-011-000 CAMA Number: 327-011-000-000 Property Address: 11 JEFFERSON RD	Mailing Address: ZHANG JENNIFER 11 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-054-000 CAMA Number: 327-054-000-000 Property Address: 1 GWYNNE RD	Mailing Address: ROGERS ANTONY A ROGERS KAREN Z 1 GWYNNE RD FRANKLIN, MA 02038
Parcel Number: 327-012-000 CAMA Number: 327-012-000-000 Property Address: 9 JEFFERSON RD	Mailing Address: NARDUCCI STEVEN P NARDUCCI CHER A 9 JEFFERSON RD FRANKLIN, MA 02038	Parcel Number: 327-055-000 CAMA Number: 327-055-000-000 Property Address: 21 COLT RD	Mailing Address: MOGAURO STEPHEN MOGAURO JENNIFER 21 COLT RD FRANKLIN, MA 02038
		Parcel Number: 327-056-000 CAMA Number: 327-056-000-000 Property Address: 19 COLT RD	Mailing Address: SHEEHY EDWARD M MALIFF CHARLOTTE 19 COLT RD FRANKLIN, MA 02038

300' ABUTTERS LISTING  
SCALE: NOT TO SCALE

DATE	REVISION	NO.

APPLICANT:  
AMECO, INC.  
33 FERRY AVE  
ATLIDBORO, MA 02703

OWNER:  
MARY + JAMES HESSON  
MARGHERITA RIMMER  
NORTH  
JACKSONVILLE, FL 32202

SITE PLAN OF LAND  
IN FRANKLIN, MASSACHUSETTS  
WASHINGTON STREET

SCALE: AS NOTED

WILLIAM T.  
MASIELLO  
ARCHITECT  
INC.  
508.869.0597  
masielloarchitect.com

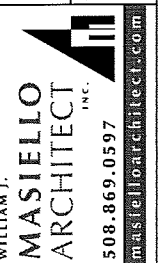
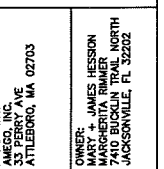
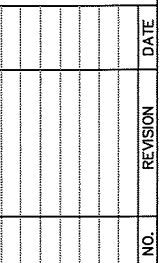
QUINN  
ENGINEERING, INC.  
P.O. Box 107  
Paxton, Massachusetts 01612  
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1,  
2019

ABUTTERS MAP AND  
ABUTTERS LISTING



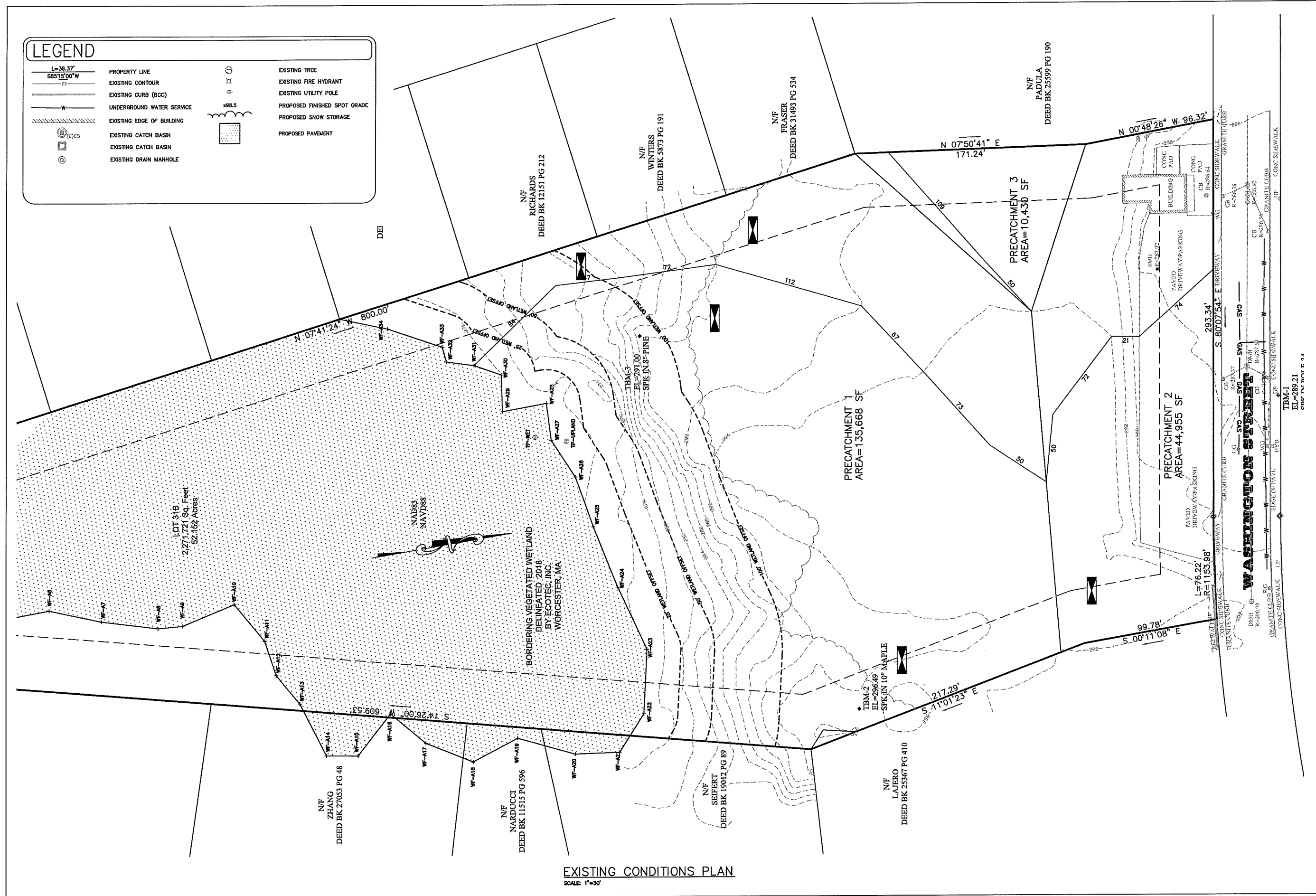
	PROPERTY LINE		EXISTING TREE
	EXISTING CONTOUR		EXISTING FIRE HYDRANT
	EXISTING CURB (BCC)		EXISTING UTILITY POLE
	UNDERGROUND WATER SERVICE		
	EXISTING EDGE OF BUILDING		
	EXISTING CATCH BASIN		
	EXISTING CATCH BASIN		
	EXISTING DRAIN MANHOLE		



DATE: FEBRUARY 1,  
2019

PROPERTY PLAN





<b>QUINN ENGINEERING, INC.</b> <b>P.O. Box 107</b> <b>Faxton, Massachusetts 01612</b> <b>(508)753-7999 Fax:(508)795-0939</b>		WILLIAM J. <b>MASIELLO</b> ARCHITECT INC. 508.869.0597 <a href="http://masielloarchitect.com">masielloarchitect.com</a>		SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET		APPLICANT: J. PERRY, INC. ATTLEBORO, MA 02703		OWNER: MARY & JAMES HESSON 7415 BUCKLE TRAIL, NORTH JACKSONVILLE, FL 32202				NO. _____ REVISION _____ DATE _____	
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[illegible]

1. ALL REQUIRED PERMITS SHALL BE SECURED PRIOR TO COMMENCING WORK. PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL NOTIFY THE TOWN OF FRANKLIN PLANNING AND ENGINEERING DEPARTMENTS, BUILDING DEPARTMENT, CONSERVATION COMMISSION, DEPARTMENT OF PUBLIC WORKS, SCHOOL DEPARTMENT, POLICE AND FIRE DEPARTMENTS.

2. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN REGULATIONS, ZONING BY-LAW, CONSERVATION COMMISSION LOCAL BY-LAW OR OTHER REGULATIONS AS APPLICABLE. ALL REQUIREMENTS OF THE TOWN OF FRANKLIN ARE HEREBY MADE CONDITIONS OF THIS WORK.

3. CONTRACTOR SHALL CONTROL AIRBORNE DUST WITH USE OF SPRAYED WATER AS REQUIRED TO MINIMIZE IMPACT ON NEIGHBORING PROPERTIES. USE OF CALCIUM CHLORIDE OR OTHER CHEMICALS IS NOT PERMITTED.

4. CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO LAY OUT THE SITE CONSTRUCTION, WHO CERTIFY THAT ALL LOCATIONS ARE AS PER PLAN.

5. PROVIDE DEEP SUMPS AT ALL CATCH BASINS ONSITE.

6. SEVENTY TWO HOURS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 811. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW UTILITIES WITH THE VICINITY OF EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) WITH THE APPROPRIATE UTILITY.

7. INTERIM AND/OR PERMANENT SOIL STABILIZATION MEASURE SHALL BE INSTITUTED AS SOON AS PRACTICABLE, BUT NO MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED ON THAT PORTION OF THE SITE.

8. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ANY FILL ONSITE. WHERE GRAVEL IS CALLED FOR ONSITE, CONTRACTOR MAY UTILIZE ONSITE MATERIALS, IF APPROVED BY OWNER.

9. CONTRACTOR SHALL MAINTAIN COMPLETE RECORDS OF AS-BUILT LOCATIONS OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES. PROVIDE THE OWNER WITH COMPLETE AS-BUILT PLANS UPON COMPLETION OF PROJECT, INCLUDING UTILITIES NOT INDICATED ON THIS PLAN.

10. CONSTRUCTION SEQUENCE:

ALL WORK OF THIS PROJECT SHALL PROCEED ACCORDING TO THE FOLLOWING PROPOSED SEQUENCE:

- 1.) EROSION CONTROL PROVISIONS IN PLACE
- 2.) CLEARING/GRUBBING
- 3.) CONSTRUCTION OF STORMWATER FACILITIES AND THEN SITE DEVELOPMENT CONSTRUCTION.

11. CONTRACTOR SHALL PLACE A MINIMUM OF (COMPACTED DEPTH) OF GOOD QUALITY LOAM AND GRASS SEED IN ALL AREAS NOT SUBJECT TO RESTORATION BY ANY OTHER MEANS.

12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS WORK WITH MUNICIPALITY TO LIMIT THE POTENTIAL DISRUPTIONS TO THE GENERAL PUBLIC. SHALL EMPLOY DUE CARE AND CAUTION TO PROTECT THE PUBLIC FROM DANGERS ASSOCIATED WITH THE OPERATION. SHALL INSTALL TEMPORARY FENCES, BARRICADES AND SIGNAGE TO ENSURE THAT NO PERSONS ENTER THE WORK AREA. SHALL COORDINATE PROJECT DETAILS AS REQUIRED FOR WORK TO BE CONDUCTED IN THE STREET. SHALL EMPLOY DUE CARE WHEN WORKING AROUND PEDESTRIAN AND VEHICLE TRAFFIC.

13. NO EXCAVATION SHALL TAKE PLACE ONSITE UNTIL ALL SEDIMENTATION CONTROLS (HAYBALE & SILT, FENCE, ETC.) ARE FULLY INSTALLED AS PER PLAN. FOLLOWING COMPLETION OF GRADING IN ANY AREA CONTRACTOR SHALL ACT TO PLACE PERMANENT SURFACE FINISH OR TO STABILIZE SURFACE SOILS AGAINST EROSION. LOAM AND SEED SHALL BE PLACED IMMEDIATELY UPON FINAL GRADING.

14. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE PROPOSED CONSTRUCTION ACTIVITIES DO NOT DAMAGE OR UNDERMINE EXISTING SLOPES, BUILDINGS, WALLS, STRUCTURES, ETC. IN THE AREA AROUND THE CONSTRUCTION. REPAIR OF EXISTING SLOPES, BUILDINGS, WALLS, STRUCTURES, ETC. THAT ARE DAMAGED OR UNDERMINED BY THE CONTRACTORS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

15. EXISTING UTILITY LOCATIONS ARE APPROPRIATE TO BE TO FIELD VERIFIED, ZONING ENGINEERING, INC. DOES NOT WARRANT THAT ALL EXISTING UTILITIES HAVE BEEN INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE EXISTING UTILITY LOCATIONS AND ENSURING THAT THE PROPOSED WORK DOES NOT CONFLICT WITH THE EXISTING UTILITIES NOT SHOWN.

16. SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PRESENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHOULD BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHOULD BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CAN NOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHOULD BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH SEWER AND WATER MAIN SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.

17. THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING, IN ACCORDANCE WITH 780 CMR 1813.7, AT A SLOPE OF NOT LESS THAN 1:12 FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. OTHER APPROVED ALTERNATE METHODS OF DIVERTING WATER AWAY FROM THE FOUNDATION MAY BE ACCEPTABLE.

18. REINFORCED CONCRETE PIPE:

- A. SHALL BE CLASS V CONCRETE.
- B. SHALL CONFORM TO ASTM 678, WALL B.
- C. JOINT MATERIAL TO BE RUBBER GASKET CONFORMING TO ASTM C443 OR MORTAR REINFORCED.

19. PRECAST CONCRETE MANHOLE/CATCH BASIN BASE, BARREL, AND CONE STRUCTURES:

- A. SHALL CONFORM TO ASTM 443.
- B. SHALL BE CAPABLE OF WITHSTANDING H20 LOADING CONDITIONS.
- C. MANHOLE STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC.
- D. STEEL REINFORCING SHALL BE GRADE 60 AND CONFORM TO ASTM A165 AND A615.

20. ALL SDR35 PVC SEWER PIPE & FITTINGS SHALL CONFORM TO ASTM D3034 OR ASTM F679.

21. ALL SCH. 40 & SCH. 80 PVC PIPE & FITTINGS SHALL CONFORM TO ASTM D1784 D3915, 4, ASTM D 1785, ASTM D3915, ASTM D4398

22. THE SITE IS LOCATED WITHIN A TOWN OF FRANKLIN WATERSHED PROTECTION OVERLAY DISTRICT.

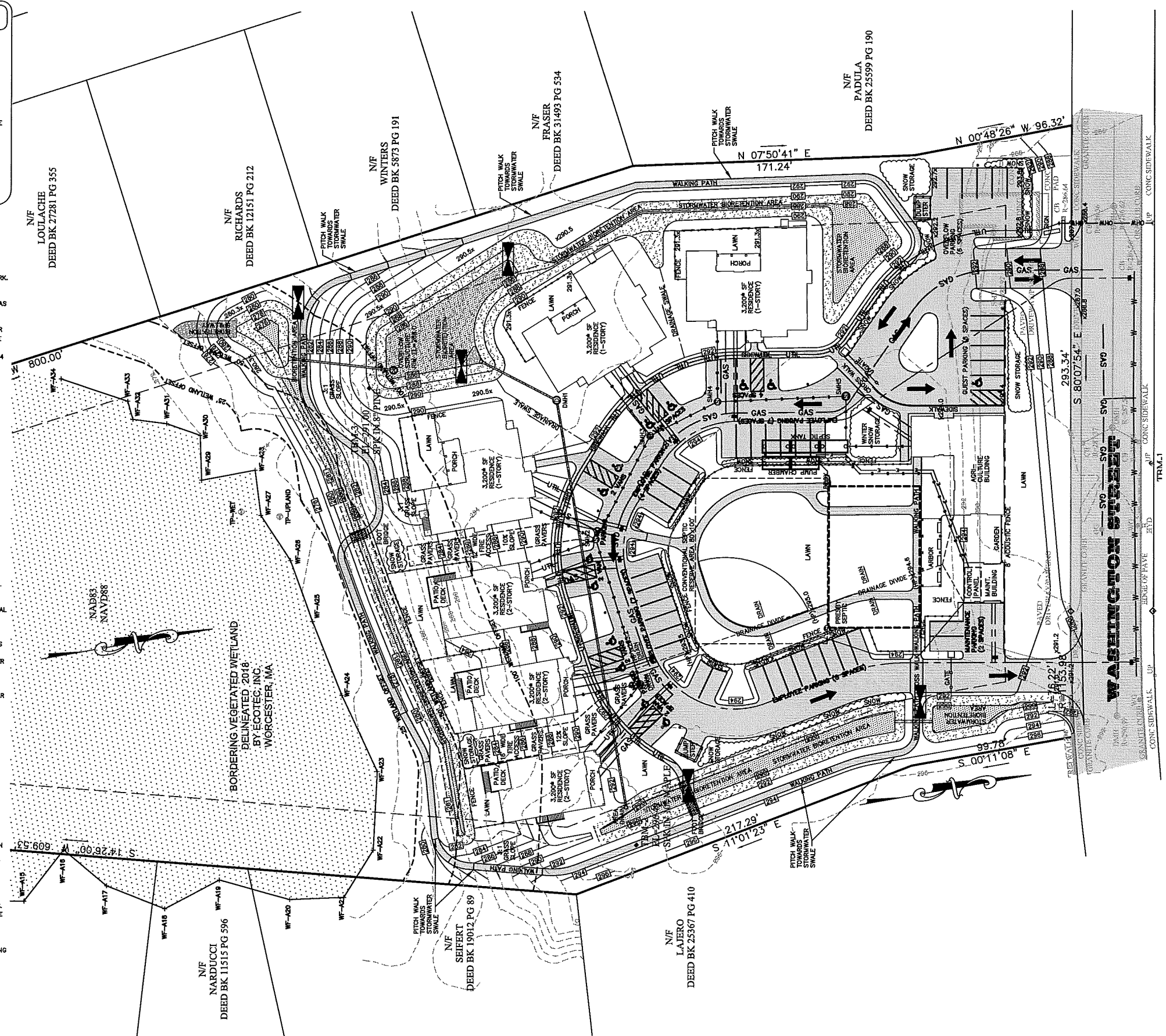
23. SUITABLE FILL SHALL CONSIST OF MATERIAL SOIL FREE OF ORGANIC MATERIALS, LOAM, AND ANY DELETERIOUS (AS SUITABLE) MATERIALS. SUITABLE CONFORMABLE FILL SHALL NOT CONTAIN STONES LARGER THAN 10" IN ANY DIMENSION, AND SHALL HAVE LESS THAN 75% PASSING THE NO. 4 SEVE AND A MAXIMUM OF 200000 PASSING THE NO. 200 SEIVE. SUITABLE FILL SHALL NOT CONTAIN ANY OF THE FOLLOWING: RUBBER, CRACKED OR BLOWN CONCRETE BLOCK, ROOFING MATERIALS, OR OTHER CONSTRUCTION REFUSE. AT THE TIME OF PLACEMENT SUITABLE FILL SHALL NOT CONTAIN FROST, SNOW, OR ICE AND SHALL NOT CONTAIN WATER GREATER THAN THE OPTIMAL MOISTURE CONTENT.

24. ALL SITE LIGHTING SHALL MEET THE TOWN OF FRANKLIN DESIGN STANDARDS AND SHALL INCORPORATE DARK SKIES ELEMENTS WITH NO UPWARD PROJECTING LIGHTING, ENERGY SAVING FIXTURES, AND TIMING CONTROLS TO EXTINGUISH ALL LIGHTING NOT USED FOR SECURITY PURPOSES ONE-HALF HOUR AFTER PROPOSED LIGHTING SHOULD CONFORM TO THE STANDARDS OUTLINED IN BUSINESS HOURS. THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA AND SHALL NOT BE ILLUMINATED DURING NON-OPERATING HOURS WITH THE EXCEPTION OF SECURITY LIGHTING.

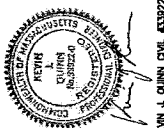
25. PROPOSED WORK SHALL CONFORM TO REGULATIONS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) AND BY THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB).

26. THE QUANTITY OF MATERIAL ESTIMATED FOR REMOVAL FOR THIS PROJECT IS LESS THAN 500 CUBIC YARDS. SUITABILITY OF EXISTING SOILS TO SUPPORT PROPOSED TRAFFIC LOADS IS ASSUED.

27. THE HAY BALE LINE SHALL BE STAKED BY A LICENSED SURVEYOR PRIOR TO THE INSTALLATION OF HAY BALE. THE HAY BALE LINE SHALL SERVE AS THE LIMIT OF WORK.



SITE PLAN  
SCALE: 1"=30'

[illegible]

**APPLICANT:**  
**AMEGO, INC.**  
**33 PERRY AVE**  
**ATTLEBORO, MA 02703**

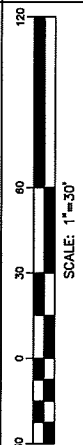
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**OWNER:**  
**MARY + JAMES HESSON**  
**MARGHERITA RIMMER**  
**7410 BUCKLIN TRAIL NORTH**  
**JACKSONVILLE, FL 32202**

SITE PLAN OF LAND  
IN FRANKLIN, MASSACHUSETTS  
WASHINGTON STREET

30 60

SCALE: 1"=30'



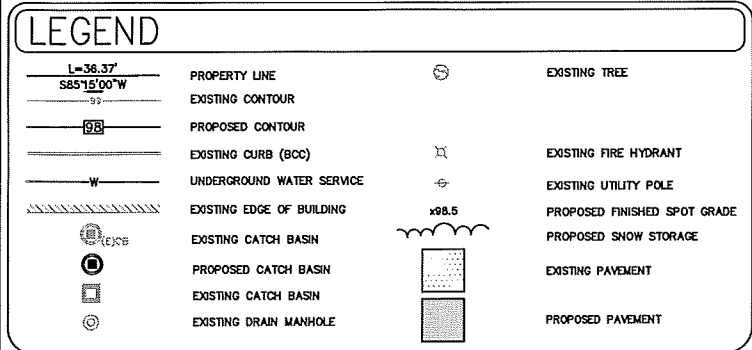
WILLIAM J.  
**MASIELLO**  
ARCHITECT  
INC.  
508.869.0597  
masielloarchitect

**QUINN  
ENGINEERING, INC.**  
P.O. Box 107  
Paxton, Massachusetts 01612  
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1,  
2019

### SITE PLAN AND NOTES





SCALE: 1"=30'

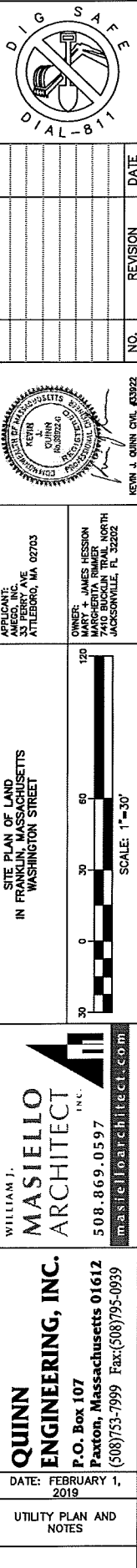
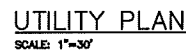
<b>QUINN ENGINEERING, INC.</b> P.O. Box 107 Paxton, Massachusetts 01612 (508)753-7999 Fax:(508)795-0939	WILLIAM J. <b>MASIELLO</b> ARCHITECT INC. 508-869-0597 <a href="http://masielloarchitect.com">masielloarchitect.com</a>	SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET		APPLICANT: AMERCO, INC. 155 STATE STREET ATTLEBORO, MA 02703		NO. _____ REVISION _____ DATE _____
GRADING PLAN AND NOTES						



<b>LEGEND</b>	
$L=38.37'$ $S85^{\circ}15'00''W$ — 62 —	PROPERTY LINE
— 98 —	EXISTING CONTOUR
— 98 —	PROPOSED CONTOUR
— W —	EXISTING CURB (BOC)
— W —	UNDERGROUND WATER SERVICE
— W —	EXISTING EDGE OF BUILDING
⊙	EXISTING CATCH BASIN
⊙	PROPOSED CATCH BASIN
⊙	EXISTING CATCH BASIN
⊙	EXISTING DRAIN MANHOLE
⊙	EXISTING TREE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING UTILITY POLE
⊙	PROPOSED FINISHED SPOT GRADE
⊙	PROPOSED SNOW STORAGE
⊙	EXISTING PAVEMENT
⊙	PROPOSED PAVEMENT

STRUCTURE	TO	CULVERT
<b>SMH1</b> RM EL= 293.04 INV IN= 287.52 INV IN= 287.48 INV OUT= 287.36	SMH2	6" SCH 40 L=68' S=0.0050
<b>SMH2</b> RM EL= 293.04 INV IN= 287.52 INV IN= 287.54 INV IN= 286.82 INV OUT= 286.82	SMH3	6" SCH 40 L=68' S=0.0050
<b>SMH3</b> RM EL= 293.04 INV IN= 287.52 INV IN= 286.82 INV OUT= 286.38	SMH4	6" SCH 40 L=42' S=0.0050
<b>SMH4</b> RM EL= 293.04 INV IN= 287.56 INV IN= 286.17 INV OUT= 286.07	SMH5	6" SCH 40 L=74' S=0.0050
<b>SMH5</b> RM EL= 293.04 INV IN= 285.70 INV OUT= 285.60	SEPTIC TANK	6" SCH 40 L=24' S=0.0050
<b>SEPTIC TANK</b> RM EL= 293.04 INV IN= 285.48 INV OUT= 285.23	PUMP CHAMBER	6" SCH 40 L=6' S=0.0300
<b>PUMP CHAMBER</b> RM EL= 294.04 INV IN= 285.05 INV OUT= 285.05	DIST. BOX	2" SCH 40 L=48' SLOPE UP
<b>DISTRIBUTION BOX</b> RM GRAC=294.24 INV IN= 282.65 INV OUT= 292.48	LEACH FIELD	4" SCH 40 L=VARIES S=0.024

1. SEVENTY TWO HOURS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY LOCATION SERVICE TO IDENTIFY ANY UNDERGROUND UTILITIES IN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UTILITIES FOUND DIFFER FROM WHAT HAS BEEN INDICATED ON THE PLANS.
2. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW UTILITIES WITHIN THE VICINITY OF EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) WITH THE APPROPRIATE UTILITY PROVIDER.





LEGEND

L=36.37'  
S85°15'00"W

PROPERTY LINE  
EXISTING CONTOUR  
PROPOSED CONTOUR  
EXISTING CURB (BCC)  
UNDERGROUND WATER SERVICE  
EXISTING EDGE OF BUILDING  
EXISTING CATCH BASIN  
PROPOSED CATCH BASIN  
EXISTING CATCH BASIN  
EXISTING DRAIN MANHOLE

EXISTING TREE  
EXISTING FIRE HYDRANT  
EXISTING UTILITY POLE  
PROPOSED FINISHED SPOT GRADE  
PROPOSED SNOW STORAGE  
EXISTING PAVEMENT  
PROPOSED PAVEMENT

CONSTRUCTION PERIOD POLLUTION PREVENTION PLAN NOTES:

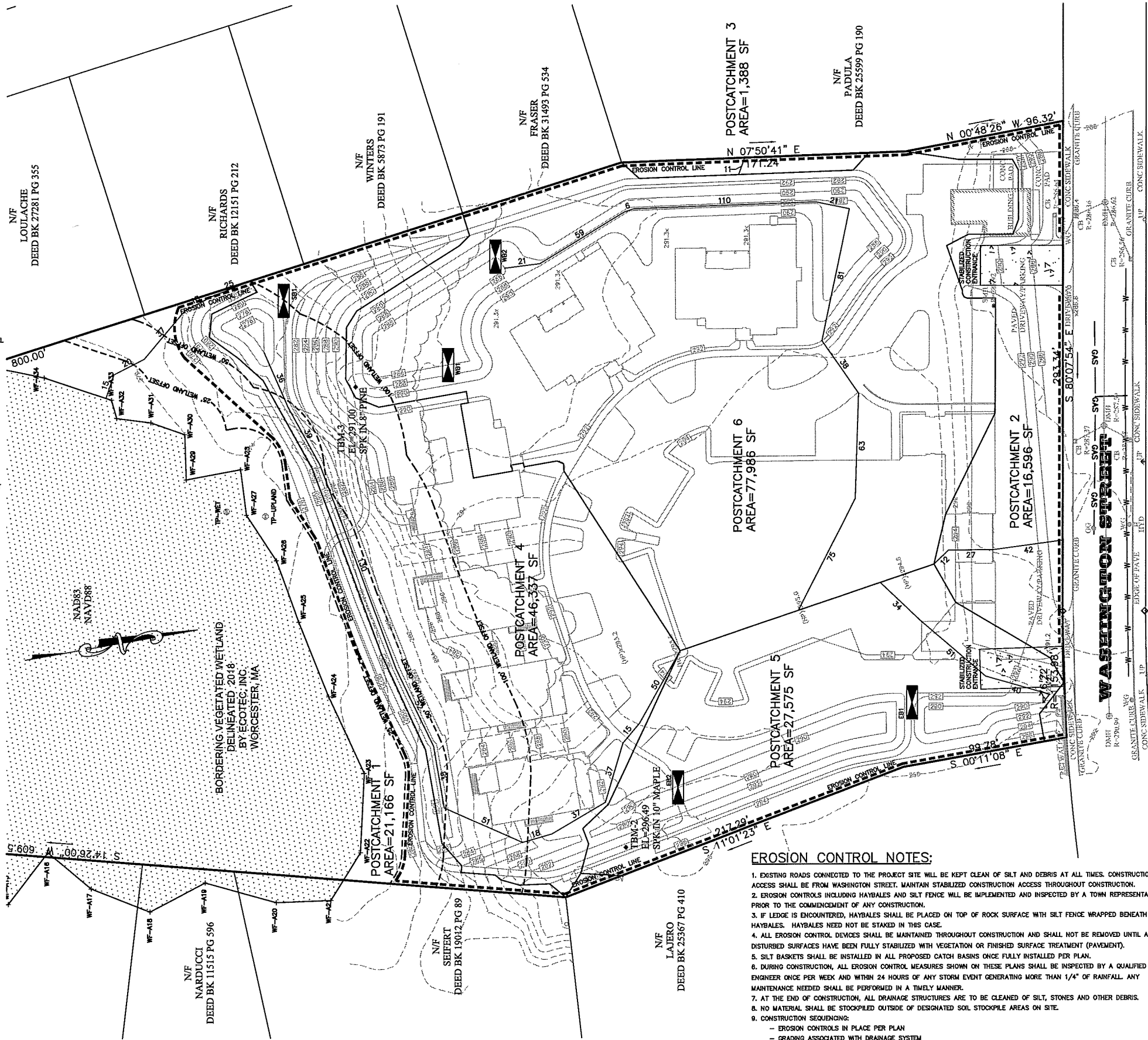
- A. CONTROLS TO REDUCE POLLUTANTS:
1. THE FOLLOWING IS A BRIEF DESCRIPTION OF EACH BMP IMPLEMENTED TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES.
1. HAY BALES & SILT FENCE: HAY BALES AND SILT FENCE PROVIDE MEASURES OF CONTROLLING EROSION AND SEDIMENTATION AND SHALL BE IMPLEMENTED BY THE CONTRACTOR WHERE NEEDED TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE.
2. EARTH DIKES, TEMPORARY DRAINAGE SWALES, INTERCEPTOR DIKES AND/OR SWALES SHALL BE EMPLOYED BY THE SITE CONTRACTOR TO DIRECT STORMWATER RUNOFF FROM DISTURBED AREAS TO AREAS WHERE DISCHARGE IS ACCEPTABLE.
3. TEMPORARY CONSTRUCTION ENTRANCES OF CRUSHED STONE SHALL BE IMPLEMENTED BY THE CONTRACTOR WHEN NEEDED TO PREVENT SEDIMENT FROM TRACKING OFF-SITE AND INTO EXISTING ROADWAYS.
- B. DISTURBED AREAS NOT SUBJECT TO RESTORATION BY OTHER MEANS SHALL BE STABILIZED UPON FINISH GRADING WITH 4" OF LOAM AND GRASS SEED. AREAS SLOPED AT GREATER THAN 3:1 SHALL BE STABILIZED WITH GEOTEXTILE FABRIC.
- C. THE FOLLOWING RECORDS SHOULD BE MAINTAINED BY THE OPERATOR AS PART OF THE POLLUTION PREVENTION PLAN.
1. DATES WHEN MAJOR GRADING ACTIVITIES OCCUR.
2. DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE.
3. DATES WHEN STABILIZATION MEASURES ARE INITIATED.
- D. HAY BALES, SILT FENCE, STONE CONSTRUCTION ENTRANCES, EARTH DIKES, TEMPORARY DRAINAGE SWALES, INTERCEPTOR DIKES AND SWALES, AND OTHER STRUCTURAL PRACTICES SHALL BE EMPLOYED BY THE SITE CONTRACTOR TO DIRECT STORMWATER RUNOFF FROM DISTURBED AREAS TO AREAS WHERE DISCHARGE IS ACCEPTABLE. THE APPROPRIATE LOCATION AND INSTALLATION TIMING SHALL BE DETERMINED BY THE SITE CONTRACTOR.
- E. THE DISCHARGE OF SOLID MATERIALS, INCLUDING BUILDING MATERIALS, TO ANY WETLAND AREAS, CATCH BASIN, STORMWATER BASIN, ETC. ARE PROHIBITED.
- F. THE CONTRACTOR SHALL MINIMIZE VEHICLE TRACKED SEDIMENT ONTO THE SURROUNDING ROADWAYS. AIRBORNE DUST SHALL BE CONTROLLED WITH WATER.
- G. CONSTRUCTION MATERIALS AND CONSTRUCTION WASTE MATERIALS ASSOCIATED WITH THE PROPOSED DEVELOPMENT SHALL BE STORED IN A MANNER THAT MINIMIZES EXPOSURE TO STORMWATER, IE USE OF TARPULAINS, INSIDE STORAGE, ETC. MATERIALS AND WASTE SHALL BE MAINTAINED IN AN ORDERLY MANNER AND SHALL BE COLLECTED IMMEDIATELY UPON SPILLS OR DISPERSION.
- H. DURING CONSTRUCTION, POLLUTANTS FROM SOURCES OTHER THAN THE CONSTRUCTION ACTIVITIES ARE NOT EXPECTED.
2. ILLIOT AND NON STORMWATER DISCHARGES:
- A. IN ACCORDANCE WITH THE DEP MASSACHUSETTS STORMWATER HANDBOOK, AN ILLIOT DISCHARGE DOES NOT INCLUDE DISCHARGES FROM THE FOLLOWING ACTIVITIES OR FACILITIES: FIRE FIGHTING, WATER LINE FLUSHING, LANDSCAPE IRRIGATION, UNCONTAMINATED GROUNDWATER, POTABLE WATER SOURCES, FOUNDATION DRAINS, AIR CONDITIONING CONDENSATION, FOOTING DRAINS, INDIVIDUAL RESIDENT CAR WASHING, FLOWS FROM RIPARIAN HABITATS AND WETLANDS, DECONTAMINATED WATER FROM SWIMMING POOLS, WATER USED FOR STREET WASHING AND WATER USED TO CLEAN RESIDENTIAL BUILDINGS WITHOUT DETERGENTS.
- B. ILLIOT DISCHARGES TO THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROHIBITED. ILLIOT DISCHARGES INCLUDE WASTEWATER DISCHARGES AND DISCHARGES OF STORMWATER CONTAMINATED BY CONTACT WITH PROCESS WASTES, RAW MATERIALS, TOXIC POLLUTANTS, HAZARDOUS SUBSTANCES, OIL, OR GREASE.
3. MAINTENANCE AND CONTROLS:
- A. DURING CONSTRUCTION, ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION, IN THE EVENT THAT THE MEASURES ARE NOT WORKING PROPERLY OR IF ADDITIONAL MEASURES ARE REQUIRED, MAINTENANCE AND ADJUSTMENTS SHALL BE MADE BY THE OPERATOR AS SOON AS POSSIBLE BEFORE THE NEXT RAIN STORM.
- B. DURING CONSTRUCTION, IN THE EVENT THAT MAINTENANCE OR IMPLEMENTATION CANNOT BE MADE PRIOR TO THE NEXT RAIN STORM, THE SITUATION SHALL BE DOCUMENTED BY THE OPERATOR AND ALTERNATIVE BMP'S IMPLEMENTED AS SOON AS POSSIBLE.
- C. DURING CONSTRUCTION, CATCH BASIN SUMP AND SEDIMENT TRAPS SHALL BE CLEANED OF SEDIMENT WHEN THE CAPACITY HAS BEEN REDUCED BY 50%.
4. MANAGEMENT PRACTICES:
- A. ALL CONTROL MEASURES SHALL BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND GOOD PRACTICES. INAPPROPRIATE OR INCORRECT USE OF THE CONTROL SHALL BE MODIFIED AS SOON AS PRACTICABLE.
- B. OFF-SITE ACCUMULATION OF SEDIMENT MUST BE REMOVED IMMEDIATELY.
- C. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- D. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED PRIOR TO AND DURING WINTER CONDITIONS.
- E. A VEGETATED BUFFER SHALL BE MAINTAINED WHEREVER POSSIBLE BETWEEN THE WORK AREA AND DOWNSTREAM RESOURCE AREAS AND PROPERTY BOUNDARIES.
- F. PROVIDE VELOCITY DISSIPATORS OR RIP RAP AT ALL TEMPORARY AND PERMANENT STORMWATER POINT DISCHARGES.

LONG TERM POLLUTION PREVENTION PLAN MEASURES:

1. GOOD HOUSEKEEPING PRACTICES SHALL BE EMPLOYED IN MAINTENANCE OF THE STORMWATER SYSTEM AND ON SITE AREAS. THE MINIMUM HOUSEKEEPING PRACTICES ARE IDENTIFIED IN THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN.
2. STORAGE OF MATERIALS AND WASTE PRODUCTS SHALL BE STORED IN A MANNER THAT MINIMIZES EXPOSURE TO STORMWATER, IE USE OF TARPULAINS, INSIDE STORAGE, ETC. MATERIALS AND WASTE SHALL BE MAINTAINED IN AN ORDERLY MANNER AND SHALL BE COLLECTED IMMEDIATELY UPON SPILLS OR DISPERSION.
3. VEHICLE WASHING SHOULD OCCUR IN ACCORDANCE WITH THE "ILLIOT AND NON STORMWATER DISCHARGES" PORTION OF THE STORMWATER POLLUTION PREVENTION PLAN NOTES.
4. LONG TERM MAINTENANCE OF THE STORMWATER SYSTEM SHALL FOLLOW THE OPERATION AND MAINTENANCE REQUIREMENTS ON THESE PLANS AT A MINIMUM.
5. PARTIES RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM SHOULD BE FAMILIAR WITH "CLEAN UP OF SITES AND SPILLS" INFORMATION AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/cleanup/losses/aplmgm.doc>) AND SHOULD BE PREPARED TO ACT ACCORDINGLY IN THE EVENT OF A SPILL.
6. THE MINIMUM PRACTICES EMPLOYED IN INSPECTION AND MAINTENANCE OF THE ON SITE AREAS AND STORMWATER SYSTEM COMPONENTS ARE IDENTIFIED IN THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN.
7. THE MASSACHUSETTS BUREAU OF FARM PRODUCTS & PLANT INDUSTRIES FACT SHEET FOR "PROTECTING WATER RESOURCES FROM FERTILIZER" RECOMMENDS THAT:

UNUSED FERTILIZER SHOULD BE REMOVED FROM THE SPREADER AND RETURNED TO THE ORIGINAL BAG OR CONTAINER FOR FUTURE USE. STORE UNUSED FERTILIZER IN A DRY PLACE AWAY FROM ANY WATER SOURCE. IF STORED FERTILIZER GETS WET YOU NOT ONLY LOSE NUTRIENT VALUE, THERE IS POTENTIAL FOR NITRATES TO LEACH INTO WATER SOURCES.

- THE HANDLING OF HERBICIDES AND PESTICIDES SHOULD BE CONDUCTED IN ACCORDANCE WITH GUIDELINES AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/pesticide/cleanup/pesticide.htm>)
8. MANAGEMENT OF WASTE SHOULD BE CONDUCTED IN ACCORDANCE WITH THE GUIDELINES AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/resources/pestwaste.pdf>)
9. OPERATION AND MAINTENANCE OF ANY ON SITE SEPTIC SYSTEM SHOULD BE CONDUCTED IN ACCORDANCE 310 CMR 15.00.
10. SOLID WASTE SHOULD BE MANAGED IN ACCORDANCE WITH LOCAL, STATE, FEDERAL REGULATIONS AND GUIDELINES.
11. SNOW DISPOSAL SHALL BE CONDUCTED IN ACCORDANCE WITH THE MA DEP GUIDELINE BRP001-01 (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/losses/mwrdp.htm>)
12. USE OF SALT ON ROADS AND WALKS IS TO BE MINIMIZED. STORAGE OF SNOW SALT AND OTHER DE-ICING MATERIALS SHALL BE IN ACCORDANCE WITH MA DEP POLICY DWS097-1 (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/losses/mwrdp.htm>)
13. THE FOLLOWING PAVEMENT SWEEPING SCHEDULE IS RECOMMENDED WITH SWEEPING SCHEDULED PRIMARILY IN THE SPRING AND FALL:
- QUARTERLY AVERAGE USING A HIGH EFFICIENCY VACUUM SWEEPER
  - QUARTERLY AVERAGE USING A REGENERATIVE AIR SWEEPER
  - MONTHLY AVERAGE USING A MECHANICAL SWEEPER (ROTARY BROOM)
- SWEEPINGS SHOULD BE HANDLED IN ACCORDANCE WITH MA DEP POLICY BRP-94-092.
14. ILLIOT DISCHARGES TO THE STORMWATER SYSTEM ARE PROHIBITED.
15. FOR LAND USES NEAR CRITICAL AREAS OR FROM LAND USED WITH HIGHER POTENTIAL POLLUTANT LOADS THE STORMWATER SYSTEM SHOULD BE PROVIDED WITH A SHUTDOWN DEVICE.
16. PARTIES RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM SHOULD BECOME FAMILIAR WITH THE REQUIREMENTS OF:
- THE STORMWATER POLLUTION PREVENTION PLAN AND NOTES
  - THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN
  - THESE LONG TERM POLLUTION PREVENTION PLAN MEASURES
17. IN THE CASE OF AN EMERGENCY DIAL 911 OR CONTACT:
- MASS DEP CENTRAL REGION  
8 NEW BOND STREET  
WORCESTER, MA 01606  
(508) 792-7650



EROSION CONTROL NOTES:

1. EXISTING ROADS CONNECTED TO THE PROJECT SITE WILL BE KEPT CLEAN OF SILT AND DEBRIS AT ALL TIMES. CONSTRUCTION ACCESS SHALL BE FROM WASHINGTON STREET. MAINTAIN STABILIZED CONSTRUCTION ACCESS THROUGHOUT CONSTRUCTION.
2. EROSION CONTROLS INCLUDING HAYBALES AND SILT FENCE WILL BE IMPLEMENTED AND INSPECTED BY A TOWN REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
3. IF LEDGE IS ENCOUNTERED, HAYBALES SHALL BE PLACED ON TOP OF ROCK SURFACE WITH SILT FENCE WRAPPED BENEATH THE HAYBALES. HAYBALES NEED NOT BE STAKED IN THIS CASE.
4. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL ALL DISTURBED SURFACES HAVE BEEN FULLY STABILIZED WITH VEGETATION OR FINISHED SURFACE TREATMENT (PAVEMENT).
5. SILT BASKETS SHALL BE INSTALLED IN ALL PROPOSED CATCH BASINS ONCE FULLY INSTALLED PER PLAN.
6. DURING CONSTRUCTION, ALL EROSION CONTROL MEASURES SHOWN ON THESE PLANS SHALL BE INSPECTED BY A QUALIFIED ENGINEER ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/4" OF RAINFALL. ANY MAINTENANCE NEEDED SHALL BE PERFORMED IN A TIMELY MANNER.
7. AT THE END OF CONSTRUCTION, ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS.
8. NO MATERIAL SHALL BE STOCKPILED OUTSIDE OF DESIGNATED SOIL STOCKPILE AREAS ON SITE.
9. CONSTRUCTION SEQUENCING:
- EROSION CONTROLS IN PLACE PER PLAN
  - GRADING ASSOCIATED WITH DRAINAGE SYSTEM
  - CONSTRUCT DRAINAGE SYSTEM
  - CONSTRUCT REMAINING PORTION OF PROJECT
10. CONTRACTOR SHALL PLACE 6" OF LOAM AND SEED IN ALL DISTURBED AREAS NOT SUBJECT TO RESTORATION BY ANY OTHER MEANS.

SEDIMENT AND EROSION CONTROL PLAN

SCALE: 1"=30'

DIG SAFE  
DIAL-B-11

APPLICANT:  
AMECO, INC.  
33 PERRY AVE  
ATLANTIC, MA 02703

OWNER:  
MARY + JAMES HESION  
MARSHBURY FARM NORTH  
JACKSONVILLE, FL 32202

DATE: FEBRUARY 1, 2019

SEDIMENTATION AND EROSION CONTROL PLAN AND NOTES

QUINN ENGINEERING, INC.  
P.O. Box 107  
Paxton, Massachusetts 01612  
(508)753-7999 Fax:(508)795-0939

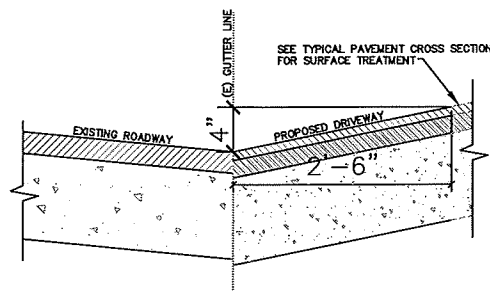
WILLIAM T. MASIELLO ARCHITECT INC.  
508.869.0597  
masielloarchitect.com

SCALE: 1"=30'

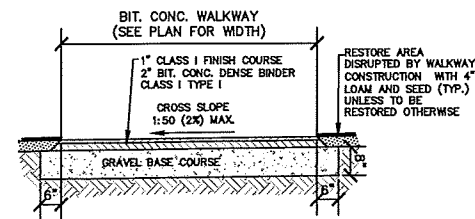
SITE PLAN OF LAND IN FRAMINGHAM, MASSACHUSETTS  
WASHINGTON STREET

CONTRACT NO. 03922  
KEY: L. QUINN CIVIL

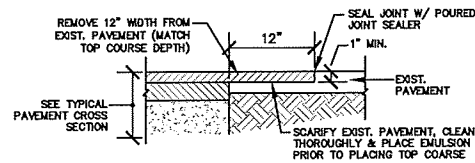




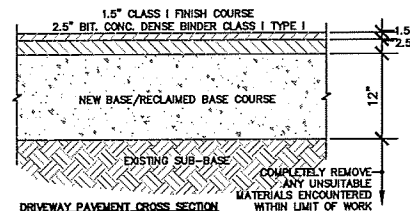
TYPICAL DRIVEWAY BERM DETAIL  
SCALE: NOT TO SCALE



BITUMINOUS CONCRETE WALK DETAIL  
SCALE: NOT TO SCALE

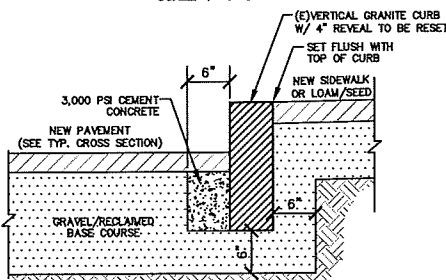


ROW PAVEMENT JOINT DETAIL  
SCALE: 1/2"=1'-0"



- NOTES:
1. IMPORTED GRAVEL USED AS BASE MATERIAL SHALL CONFORM TO MA DOT STANDARD SPECIFICATION M1.03.0 TYPE B.
  2. GRAVEL BASE SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE, AND FREE FROM LOAM AND CLAY, SURFACE COATINGS, AND DELETERIOUS MATERIALS.
  3. GRADATION REQUIREMENTS FOR IMPORTED GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:
- | SIZE DESIGNATION: | % PASSING: |
|-------------------|------------|
| 1/2 IN.           | 50-85      |
| NO. 4             | 40-75      |
| NO. 50            | 8-28       |
| NO. 200           | 0-10       |
4. THE MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 3" LARGEST DIMENSION FOR M1.03.0 TYPE B.
  5. ALL PAVEMENT SHALL HAVE A CONTINUOUS LONGITUDINAL SLOPE OR SHALL BE CROSS PITCHED TO ADEQUATELY SHED SURFACE WATER.

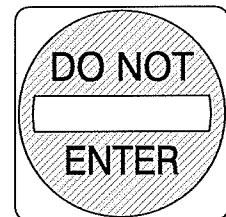
TYPICAL NEW BITUMINOUS PAVEMENT CROSS SECTION  
SCALE: 1/2"=1'-0"



ROW VERTICAL GRANITE CURB (VGC) DETAILS  
SCALE: 1/2"=1'-0"



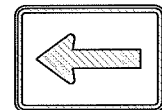
STOP SIGN DETAIL  
(R1-1 GRAPHIC)  
SCALE: NOT TO SCALE



DO NOT ENTER  
(R5-1 GRAPHIC)  
SCALE: NOT TO SCALE



ONE WAY  
(R6-2 GRAPHIC)  
SCALE: NOT TO SCALE

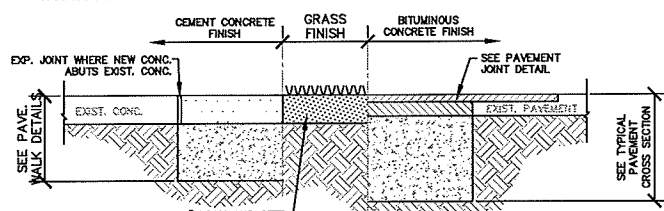


M6-1 GRAPHIC  
SCALE: NOT TO SCALE

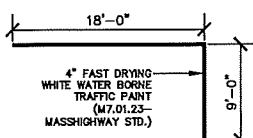
- NOTES:
1. TRAFFIC SIGN DIMENSIONS, MATERIAL, REFLECTIVITY, ETC. SHALL CONFORM TO THE MA DOT SECTION 828 TRAFFIC SIGNS AND MOUNTING REQUIREMENTS.
  2. SIGN POSTS, FOUNDATIONS, AND MOUNTINGS SHALL BE SO CONSTRUCTED AS TO HOLD SIGNS IN A PROPER AND PERMANENT POSITION, AND TO RESIST SWAYING IN THE WIND OR DISPLACEMENT BY VANDALISM.
  3. SIGN SUPPORTS SHALL CONFORM TO MA DOT SECTION 828 TRAFFIC SIGNS AND THE LATEST EDITION OF AASHTO'S "SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES, AND TRAFFIC SIGNALS".

SIGN DETAILS  
SCALE: NOT TO SCALE

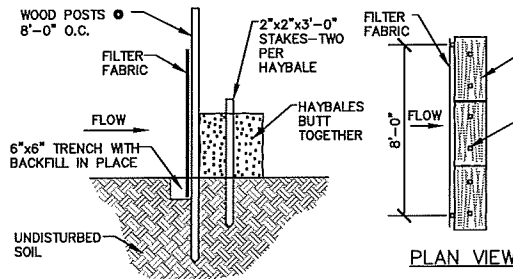
- NOTE:
1. ALL AREAS DISTURBED BY THE PROPOSED WORK SHALL BE SUBJECT TO RESTORATION.
  2. ALL FINISH SURFACES SHALL:
- A. BE CONSTRUCTED FLUSH WITH THE ADJACENT FINISH SURFACES.
  - B. HAVE UNIFORM SLOPES AND SHALL NOT CONTAIN ANY IRREGULARITIES.
  - C. SHALL SLOPE AWAY FROM THE EXISTING BUILDINGS (UNLESS OTHERWISE NOTED).
  - D. SHALL SLOPE TOWARDS THE EXISTING SURFACE DRAINS (UNLESS OTHERWISE NOTED).
  - E. SHALL BE FINISHED WITH 4 INCHES OF TOP SOIL AND GRASS (UNLESS FINISHED WITH BITUMINOUS CONCRETE, CEMENT CONCRETE OR OTHERWISE NOTED). THE CONTRACTOR SHALL WATER AND FERTILIZE THE GRASS SO THAT A DENSE GROWTH IS DEVELOPED.



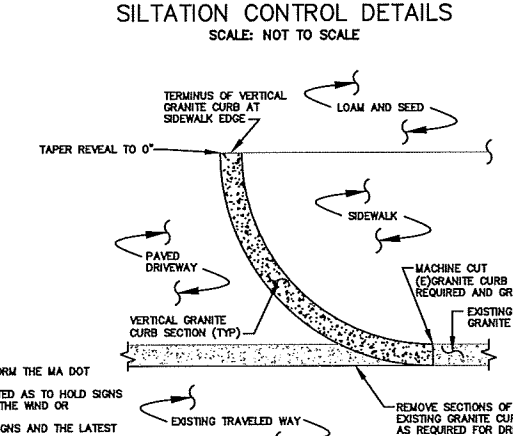
ROW SURFACE RESTORATION DETAIL  
SCALE: 1/2"=1'-0"



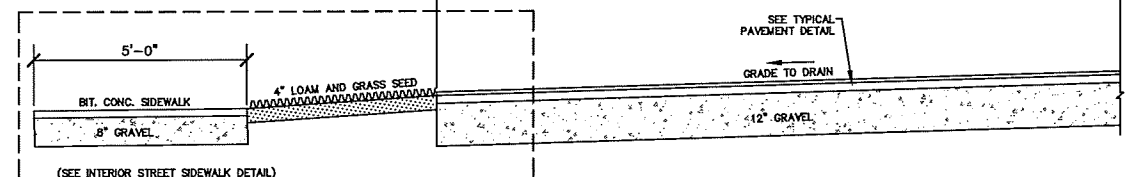
TYPICAL PARKING SPACE DETAILS  
SCALE: 1/8"=1'-0"



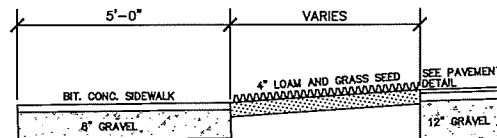
HAYBALE CROSS SECTION  
SCALE: NOT TO SCALE



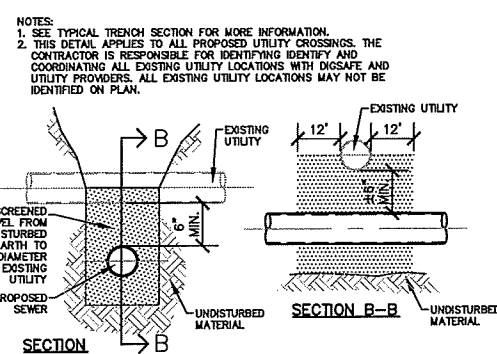
ROW GRANITE CURB INTERFACE  
SCALE: NOT TO SCALE



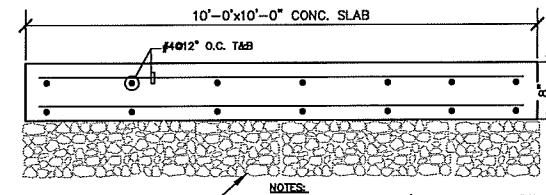
TYPICAL PARTIAL SECTION THROUGH LOOP DRIVEWAY  
SCALE: 1/2"=1'-0"



INTERIOR SIDEWALK DETAILS  
SCALE: 3/4"=1'-0"

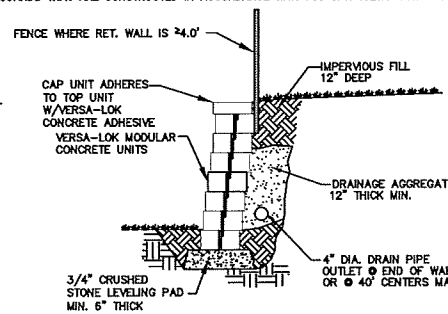


UTILITY CROSSING DETAILS  
SCALE: 1/2"=1'-0"

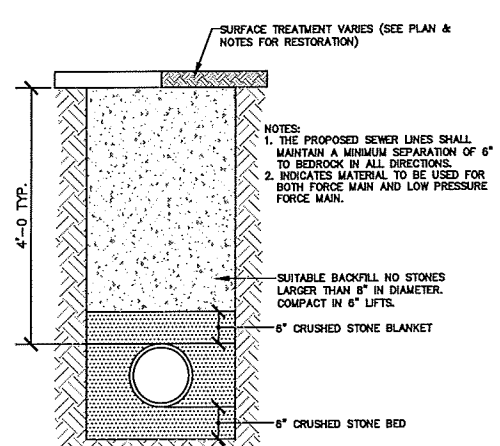


TYPICAL DUMPSTER PAD DETAIL  
SCALE: NOT TO SCALE

- NOTES:
1. RETAINING WALL SHALL BE VERSA-LOK PRECAST CONCRETE BLOCK RETAINING WALL SYSTEM, OR EQUAL.
  2. INSTALL WALL AS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
  3. RETAINING WALLS WITH DIFFERENCES IN GRADE LEVEL ON EITHER SIDE OF THE WALL IN EXCESS OF FOUR FEET SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER IN ACCORDANCE WITH 780 CMR 116.0. THE MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER SHALL PROVIDE HIS/HER SEAL AND SIGNATURE ON THE CONSTRUCTION PLANS AND SPECIFICATIONS.
  4. RETAINING WALLS WITH DIFFERENCES IN GRADE LEVEL ON EITHER SIDE OF THE WALL IN EXCESS OF FOUR FEET, ARE CLOSER THAN TWO FEET TO WALK, PATH, PARKING LOT, OR DRIVEWAY ON THE HIGH SIDE SHALL BE PROVIDED WITH GUARDS THAT ARE CONSTRUCTED IN ACCORDANCE WITH 780 CMR 102.0. INTEGRITY OF THE WALL.

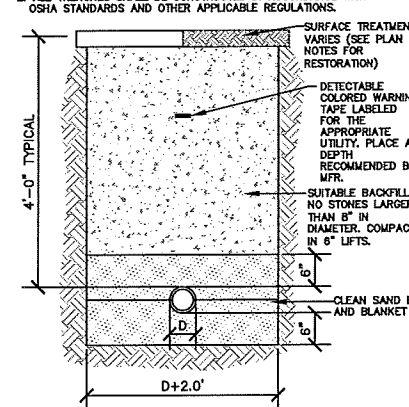


TYPICAL RETAINING WALL  
SCALE: NOT TO SCALE



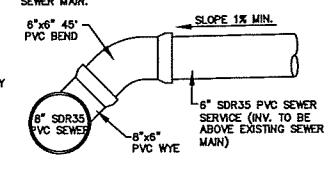
SEWER SERVICE TRENCH DETAIL  
SCALE: 3/4"=1'-0"

- NOTE:
1. THIS DETAIL APPLIES TO UTILITY TRENCHES THAT HAVE NOT BEEN SPECIFIED IN THESE PLANS AND THAT ARE NOT SPECIFIED BY STATE BUILDING CODE, LOCAL REGULATIONS, OR BY THE UTILITY PROVIDER.
  2. ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA STANDARDS AND OTHER APPLICABLE REGULATIONS.

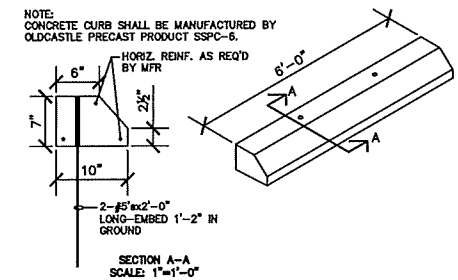


MISC. UTILITY TRENCH DETAIL  
SCALE: NOT TO SCALE

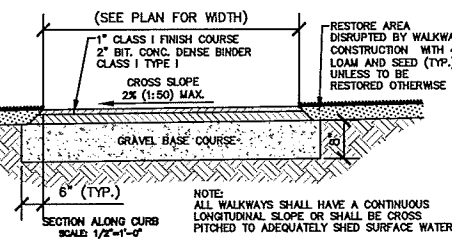
- NOTE:
1. INSTALL A SINGLE SERVICE WYE TO SERVE EACH BUILDING SO THAT EACH BUILDING MAY DRAIN BY GRAVITY TO THE SEWER MAIN.



TYPICAL SEWER SERVICE CONNECTION DETAIL  
SCALE: 1/2"=1'-0"



PRECAST CONCRETE PARKING CURB  
SCALE: 1/2"=1'-0"



BIT. CONC. WALKWAY DETAIL  
SCALE: AS NOTED

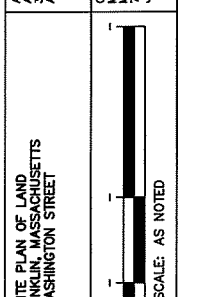


NO.	REVISION	DATE



APPLICANT:  
AMESO, INC.  
33 PERRY AVE.  
ATTLEBORO, MA 02703

OWNER:  
MARY J. JAMES HESSON  
MARGHERITA RUMER, NORTH  
JACKSONVILLE, FL 32202



SCALE: AS NOTED

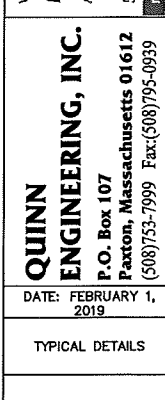
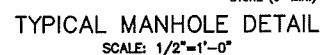
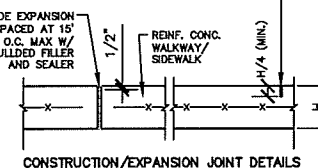
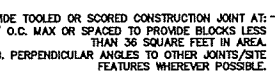
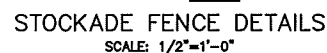
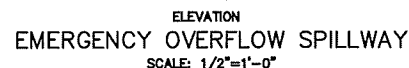
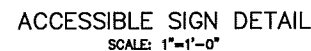
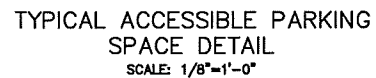
WILLIAM J. MASIello ARCHITECT INC.  
508.869.0597  
masielloarchitect.com

QUINN ENGINEERING, INC.  
P.O. Box 107  
Paxton, Massachusetts 01612  
(508)753-7999 Fax:(508)795-0959

DATE: FEBRUARY 1, 2019

TYPICAL DETAILS



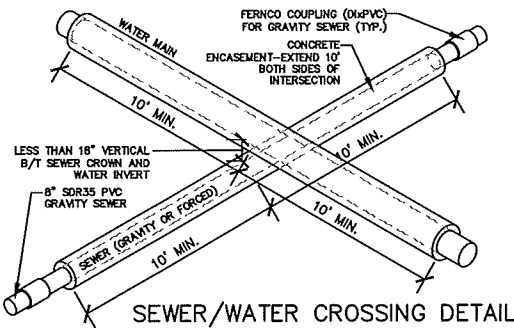




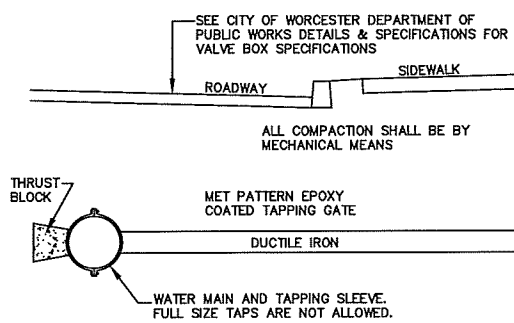
NOTE:  
1. SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHOULD BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.

WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHOULD BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHOULD BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.

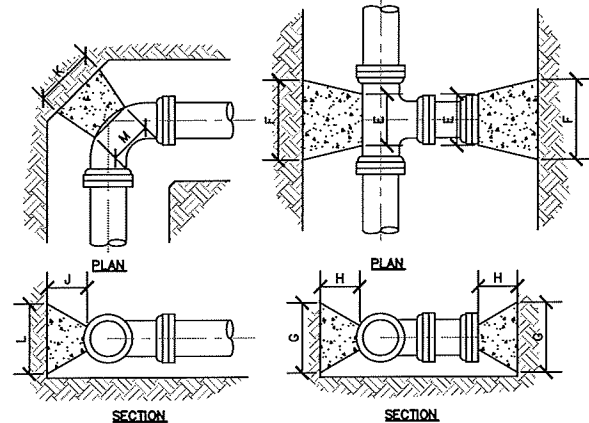
WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH SEWER AND WATER MAIN SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING. (SEE DETAIL BELOW).



SCALE: 1/2"=1'-0"



SCALE: NOT TO SCALE



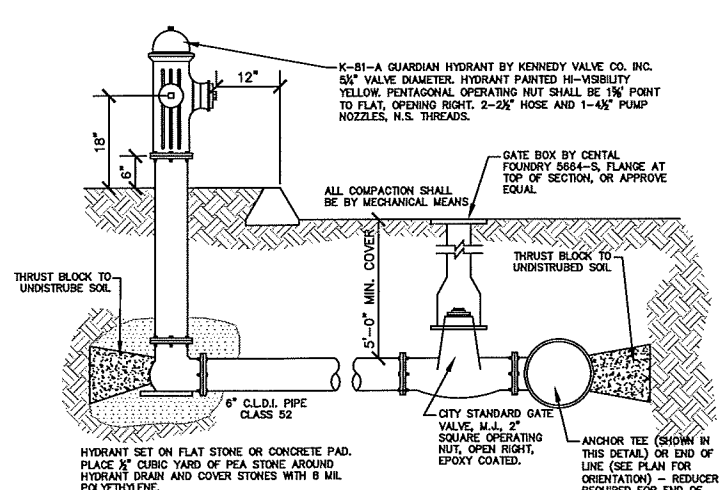
DIMENSIONS FOR BLOCKS BEHIND TEES AND PLUGS

	6"	8"	12"	16"	24"
E	1'-0"	1'-0"	1'-0"	1'-3"	1'-6"
F	1'-6"	2'-0"	3'-0"	4'-0"	7'-0"
G	2'-0"	2'-6"	3'-6"	4'-0"	5'-0"
H	1'-0"	1'-0"	1'-3"	1'-6"	2'-0"

TYPICAL PLACEMENT ON BENDS

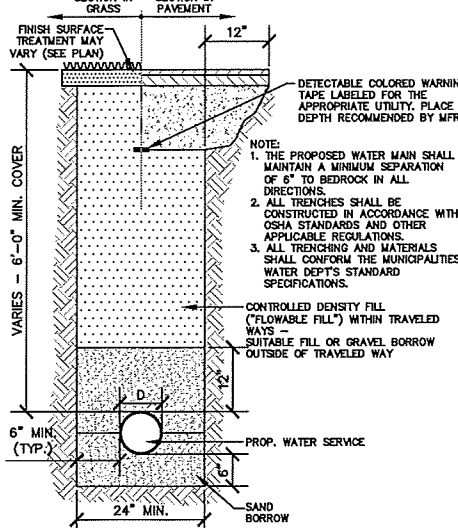
	1/4 BEND	1/8 BEND	1/16 BEND	1/32 BEND
6"	J 1'-0"	K 2'-0"	L 2'-0"	M 1'-0"
8"	J 1'-0"	K 2'-6"	L 3'-0"	M 1'-0"
12"	J 1'-3"	K 3'-6"	L 3'-0"	M 1'-0"
16"	J 1'-6"	K 4'-6"	L 5'-0"	M 1'-3"
24"	J 2'-0"	K 7'-0"	L 7'-0"	M 1'-6"

THRUST BLOCK DETAILS  
SCALE: NOT TO SCALE

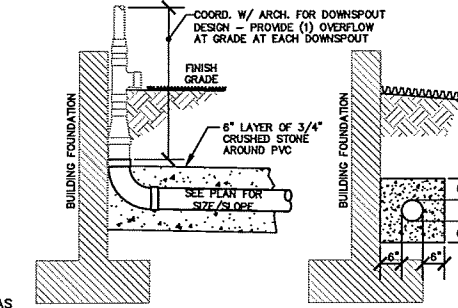


TYPICAL HYDRANT DETAIL  
SCALE: NOT TO SCALE

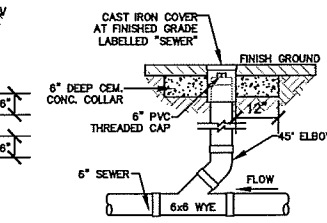
TYPICAL DOMESTIC WATER SERVICE DETAIL  
SCALE: NOT TO SCALE



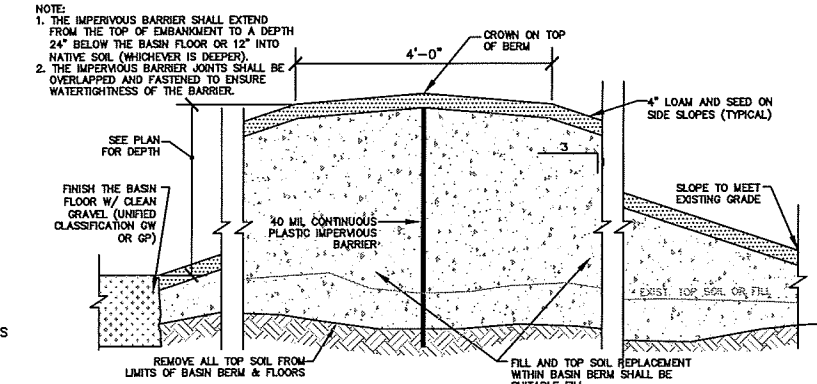
SCALE: 3/4"=1'-0"



SCALE: 1/2"=1'-0"

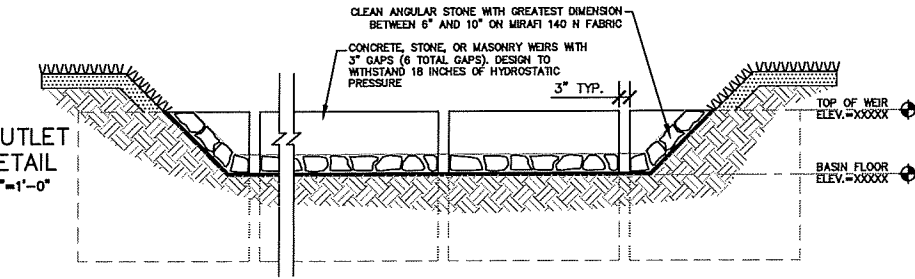


SCALE: 1/2"=1'-0"

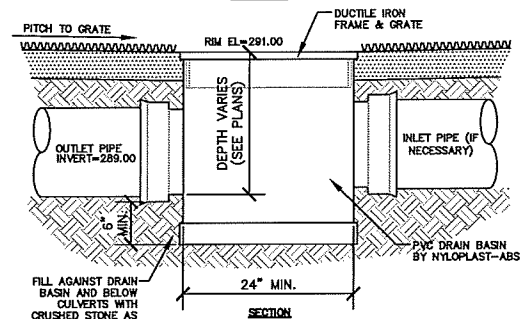
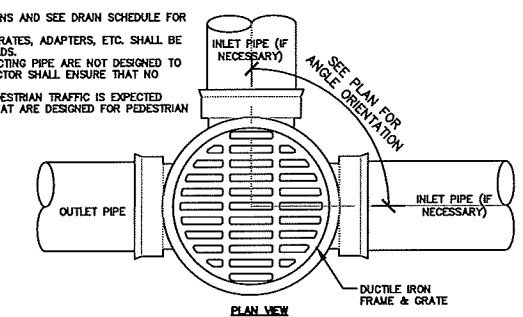


NOT TO SCALE

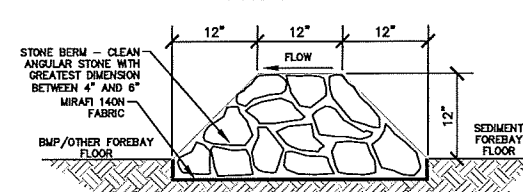
BASIN OUTLET  
WEIR DETAIL  
SCALE: 1/4"=1'-0"



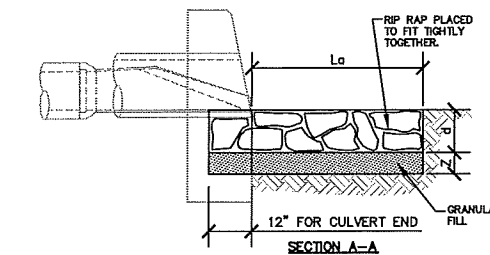
NOTE:  
1. SEE PLAN FOR DRAIN BASIN LOCATIONS AND SEE DRAIN SCHEDULE FOR PIPE SIZE, MATERIALS, AND INVERTS.  
2. DRAIN BASINS, COVER FRAME AND GRATES, ADAPTERS, ETC. SHALL BE AS MANUFACTURED BY MULOPLAST-ABS.  
3. DRAIN BASINS AND THE INTERCONNECTING PIPE ARE NOT DESIGNED TO CARRY VEHICLE LOADS. THE CONTRACTOR SHALL ENSURE THAT NO VEHICLES TRAVEL ON THESE ITEMS.  
4. DRAIN BASINS INSTALLED WHERE PEDESTRIAN TRAFFIC IS EXPECTED SHALL BE EQUIPPED WITH GRATES THAT ARE DESIGNED FOR PEDESTRIAN TRAFFIC.



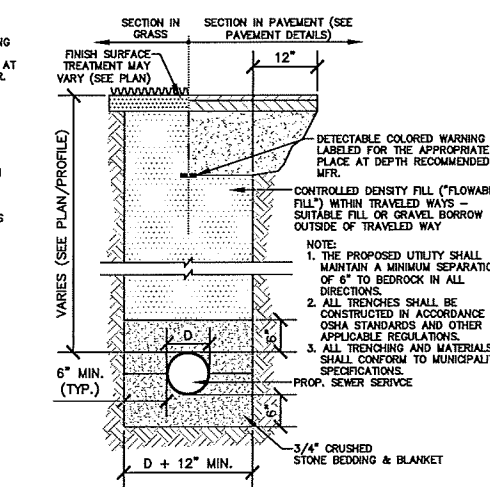
AREA DRAIN DETAIL  
SCALE: 1"=1'-0"



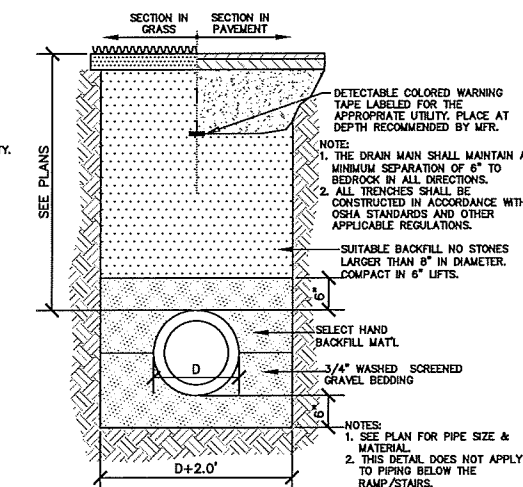
SCALE: 1"=1'-0"



SCALE: NOT TO SCALE



SCALE: 3/4"=1'-0"



SCALE: 3/4"=1'-0"

**DIG SAFE**  
DIAL-811

DATE: FEBRUARY 1, 2019

REVISION: NO.

NO. 43922

APPLICANT: AHECO, INC. 33 PERRY AVE. ARLINGTON, MA 02703

OWNER: MARY + JAMES HESSON NORTH JACKSONVILLE, FL 32202

SITE PLAN OF LAND SUBSETS IN FRIEDSBURTS WASHINGTON STREET

SCALE: AS NOTED

**MASIELLO ARCHITECT INC.**  
508.869.0597  
masielloarchitect.com

**QUINN ENGINEERING, INC.**  
P.O. Box 107  
Paxton, Massachusetts 01612  
(508)753-7999 Fax: (508)795-0939

TYPICAL DETAILS







PART 6:

THE PROVISIONS IN THIS PART PROVIDE MODIFICATIONS OR ADDITIONS TO THE APPLICABLE CONDITIONS OF THE PERMIT TO CONSIDER CERTAIN OPERATIONS AND ACTIONS AS PART OF THE STATE OR TRIBAL CWA SECTION 401 CERTIFICATION PROCESS, OR THE COASTAL ZONE MANAGEMENT ACT (CZMA) CERTIFICATION PROCESS, OR AS OTHERWISE ESTABLISHED BY THE PERMITTING AUTHORITY. THE SPECIFIC ADDITIONAL REVISIONS AND REQUIREMENTS ONLY APPLY TO ACTIVITIES IN THOSE SPECIFIC STATES, TERRITORIES, POSSESSIONS, AND TRIBES, AND ARE SUBJECT TO THE APPLICABLE REQUIREMENTS OF THE FEDERAL CWA, THE CZMA, THE STATE, INDIAN COUNTRY, AND AREAS SUBJECT TO CONSTRUCTION BY FEDERAL OPERATORS NOT INCLUDED IN THIS PART. THERE MAY BE MODIFICATIONS OR ADDITIONS TO THE APPLICABLE CONDITIONS OF THE PERMIT

0.1.1.1. MAR2000C02: COMMONWEALTH OF MASSACHUSETTS (EXCEPT INDIAN COUNTRY)

0.1.1.1.1.1. COMPLY WITH THE MASSACHUSETTS CLEAN WATERS ACT (CWA), 26A CMR 1.00.

0.1.1.1.1.2. COMPLY WITH THE CONDITIONS IN 314 CWR 4.00-- MASSACHUSETTS SURFACE WATER QUALITY STANDARDS.

0.1.1.1.1.3. COMPLY WITH THE CONDITIONS IN 314 CWR 3.00-- MASSACHUSETTS SURFACE WATER QUALITY STANDARDS PROGRAM.

0.1.1.1.1.4. COMPLY WITH THE CONDITIONS IN 314 CWR 3.30-- MASSACHUSETTS SURFACE WATER QUALITY STANDARDS PROGRAM.

0.1.1.1.1.5. COMPLY WITH THE CONDITIONS IN 314 CWR 3.31-- 401 REGULATIONS, 310 CWR 10.00 AND ANY OTHER ORDER OF CONDITIONS ISSUED BY A CONSERVATION COMMISSION OR A SUPERSEDING ORDER OF CONDITIONS ISSUED BY THE PERMITTING AUTHORITY.

0.1.1.1.1.6. COMPLY WITH THE MASSACHUSETTS STORM WATER PERFORMANCE STANDARDS, AS PRESCRIBED BY STATE REGULATIONS PROMULGATED UNDER THE AUTHORITY OF THE MASSACHUSETTS CLEAN WATERS ACT, MGL CH. 26, SS 28-53 AND THE MASSACHUSETTS STORM WATER MANAGEMENT REGULATIONS, 26A CMR 1.00.

0.1.1.1.1.7. COMPLY WITH THE MASSACHUSETTS BIODIVERSITY SPECIES ACT (MESA), MGL CH. 313A AND REGULATIONS AT 321 CWR 10.00 AND ANY ACTIONS UNDERTAKEN TO COMPLY WITH THIS STORMWATER GENERAL PERMIT SHALL NOT RESULT IN NON-COMPLIANCE WITH THE MASSACHUSETTS BIODIVERSITY SPECIES ACT.

0.1.1.1.1.8. ACTIVITIES COVERED UNDER THIS GENERAL PERMIT SHALL NOT INTERFERE WITH THE IMPLEMENTATION OF WOODSTOCK RIVER RESTORATION PROJECT, 26A CMR 1.00.

0.1.1.1.1.9. THE PERMITTEE SHALL REQUEST A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE PERMITTEE IS REQUIRED TO SUBMIT THE SWPPP TO THE DEPARTMENT WITHIN 14 DAYS OF SUCH REQUEST. THE DEPARTMENT MAY CONDUCT AN INSPECTION TO VERIFY COMPLIANCE WITH THE SWPPP. IF THE DEPARTMENT FINDS NON-COMPLIANCE WITH ANY OF THE STATE WATER QUALITY STANDARDS, THE DEPARTMENT MAY DEFOCE ITS CERTIFICATION. CONDITIONS.

0.1.1.1.1.10. THE DEPARTMENT MAY REQUIRE THE PERMIT HOLDER TO PERFORM WATER QUALITY MONITORING DURING THE PERMIT TERM AND TO SUBMIT MONITORING DATA TO THE DEPARTMENT FOR REVIEW.

0.1.1.1.1.11. THE DEPARTMENT MAY REQUIRE THE PERMIT HOLDER TO PROVIDE MEASURABLE VERIFICATION OF THE EFFECTIVENESS OF IMPLEMENTING WATER QUALITY MONITORING.

0.1.1.1.1.12. THE DEPARTMENT MAY REQUIRE THE PERMIT HOLDER TO PROVIDE MEASURABLE VERIFICATION OF THE EFFECTIVENESS OF IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) AND OTHER CONTROL MEASURES USED IN THE STORMWATER MANAGEMENT PROGRAM.

0.1.1.1.1.13. THE DEPARTMENT MAY DETERMINE THAT COMPLIANCE WITH THE PERMIT DOES NOT PROTECT THE PERMIT HOLDER FROM ENFORCEMENT ACTIONS DEEMED NECESSARY BY THE DEPARTMENT UNDER ITS ASSOCIATED REGULATIONS TO ADDRESS AN IMMINENT THREAT TO PUBLIC HEALTH OR A SIGNIFICANT ADVERSE ENVIRONMENTAL IMPACT WHICH RESULTS IN A VIOLATION OF MASSACHUSETTS SURFACE WATER QUALITY STANDARDS.

0.1.1.1.1.14. THE DEPARTMENT RESERVES THE RIGHT TO MODIFY THIS 401 WATER QUALITY CERTIFICATION IF ANY CHANGES, INCLUDING BUT NOT LIMITED TO, CHANGES TO THE PERMIT, CHANGES TO THE CWA, OR CHANGES TO THE RIGHT TO ADD AND/OR ALTER THE TERMS AND CONDITIONS OF THIS 401 WATER QUALITY CERTIFICATION TO CARRY OUT ITS RESPONSIBILITIES DURING THE TERM OF THIS GENERAL PERMIT WITH RESPECT TO WATER QUALITY, INCLUDING ANY REVISIONS TO 314 CWR 4.00 MASSACHUSETTS SURFACE WATER QUALITY STANDARDS.

0.1.1.1.1.15. SHOULD ANY VIOLATION OF THE MASSACHUSETTS SURFACE WATER QUALITY STANDARDS, 314 CWR 4.00, OR THE MASSACHUSETTS STORM WATER MANAGEMENT REGULATIONS, 26A CMR 1.00, BE IDENTIFIED, THE DEPARTMENT HAS THE RIGHT TO CORRECT THE VIOLATION(S). THE DEPARTMENT HAS THE RIGHT TO TAKE ANY ACTION AS AUTHORIZED BY THE GENERAL LAWS OF THE COMMONWEALTH TO ADDRESS THE VIOLATION(S) OF THE PERMIT OR THE MASSACHUSETTS CLEAN WATERS ACT AND THE MASSACHUSETTS STORM WATER MANAGEMENT REGULATIONS, 26A CMR 1.00.

0.1.1.1.1.16. THE DEPARTMENT RESERVES THE RIGHT TO TAKE ANY ACTION AS AUTHORIZED BY THE GENERAL LAWS OF THE COMMONWEALTH TO ADDRESS THE VIOLATION(S) OF THE PERMIT OR THE MASSACHUSETTS CLEAN WATERS ACT AND THE MASSACHUSETTS STORM WATER MANAGEMENT REGULATIONS, 26A CMR 1.00.

0.1.1.1.1.17. S. 42 FOR DISCHARGING INTO MASSACHUSETTS' WATERS IN VIOLATION OF AN ORDER OR PERMIT ISSUED BY THIS DEPARTMENT.

0.1.1.1.1.18. THIS 401 WATER QUALITY CERTIFICATION DOES NOT REQUIRE THE PERMIT HOLDER OF THE DUTY TO COMPLY WITH OTHER APPLICABLE REQUIREMENTS OF THE CWA, THE CZMA, THE STATE, INDIAN COUNTRY, AND AREAS SUBJECT TO CONSTRUCTION BY FEDERAL OPERATORS NOT INCLUDED IN THIS PART.

[illegible]

1. A MAP OR DRAWING LOCATING AREAS WHERE HAZARDOUS MATERIALS ARE STORED, HANDLED, AND/OR IN USE. THE MAP SHALL BE DRAWN TO SCALE, ON 8 1/2" X 11" PAPER (OR AN AS BUILT PLAN OF THE FACILITY MAY BE SUBSTITUTED), WITH A NORTH ARROW AND NAMES OF BORDERING STREETS CLEARLY NOTED. IF STORAGE OCCURS BOTH INDOORS AND OUTDOORS, A MAP FOR EACH OF THE INDOOR AND OUTDOOR STORAGE AREAS SHALL BE SUBMITTED. AREAS IN WHICH EMERGENCY EQUIPMENT SUCH AS SPILL KITS AND MEDICAL SUPPLIES ARE KEPT MUST ALSO BE IDENTIFIED ON THE MAP, AND SUBMITTED TO THE BOARD OF HEALTH AS WELL AS THE FIRE DEPARTMENT.

2. A WRITTEN DESCRIPTION SHALL ACCOMPANY THE MAP AND SPECIFY: PRODUCT NAMES (CHEMICAL NAMES OR TYPES MAY BE SUBSTITUTED HERE); MSDS SHEETS FOR EACH PRODUCT; QUANTITIES OF MATERIALS IN EACH LOCATION; THE TYPE OF STORAGE CONTAINER (E.G., 55 GALLON DRUM, UNDERGROUND STORAGE TANK); AND ANTICIPATED ON-SITE ADDITIONS, OF HAZARDOUS MATERIALS.
3. INFORMATION PERTAINING TO THE DISPOSAL OF HAZARDOUS WASTES: HAZARDOUS WASTE GENERATOR ID NUMBER, NAME OF THE HAZARDOUS WASTE TRANSPORTER(S), AND METHODS OF HANDLING SPILLS OF A VOLUME UNDER THE REPORTABLE QUANTITY (AS DEFINED IN THIS DOCUMENT). FACILITIES WITHOUT AN ID# MAY CONTACT THE DEPARTMENT AT 1-800-343-3420 TO OBTAIN ONE.

1. IN CASE OF A SPILL AND/OR LOSS OF HAZARDOUS MATERIAL OF ANY QUANTITY AT THE FACILITY, THE OWNER/OPERATOR MUST IMMEDIATELY REPORT THE SPILL OR LOSS TO THE FIRE DEPARTMENT, NOTIFICATION TO THE BOARD OF HEALTH SHALL OCCUR WITHIN 24 HOURS OF THE SPILL. NOTIFICATION TO THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION EMERGENCY RESPONSE SECTION SHALL BE IN ACCORDANCE WITH 310 CMR 40.0000.
2. REPORT ANY OIL SPILLS OF 10 GALLONS OR MORE INTO THE ENVIRONMENT TO MASS DEP WITHIN TWO HOURS. CALL 1-888-340-1333. SPILLS OF LESS THAN 10 GALLONS STILL MUST BE REPORTED TO THE BOARD OF HEALTH. HAZARDOUS MATERIALS RELEASES ON, AND OFF, FACILITY MUST BE REPORTED TO THE ENVIRONMENT AS ESTABLISHED BY THE MASSACHUSETTS CONTINGENCY PLAN (310 CMR 40.0000), WHICH ALSO ESTABLISHES SPECIFIC REPORTING QUANTITIES OR CONCENTRATIONS FOR OTHER HAZARDOUS MATERIALS.

FOLLOWING PRECAUTIONS SHALL BE TAKEN BY THE FACILITY:

1. THE MAP AND WRITTEN DESCRIPTION SPECIFIED ABOVE MUST ALSO BE POSTED AT ONE OF THE FOLLOWING ON-SITE LOCATIONS: GUARD SHACK, FIRE ALARM BOX, SPRINKLER RISER, OR OTHER LOCATION ACCESSIBLE TO THE HEAD OF THE FIRE DEPARTMENT.
2. MEETINGS SHALL BE CONDUCTED ON SITE AT ALL TIMES AT AN ON-SITE LOCATION, AND MUST BE READILY AVAILABLE DURING ROUTINE INSPECTIONS AND IN THE EVENT OF AN EMERGENCY.
3. FACILITIES SHALL PROVIDE ADEQUATE AND REASONABLE EMPLOYEE TRAINING PROGRAMS TO ENSURE THE PROPER USE, STORAGE, TRANSPORTATION AND HANDLING OF HAZARDOUS MATERIALS.
4. FACILITIES SHALL PROVIDE EMERGENCY SPILL CONTAINMENT KITS ON SITE AND IN ACCESSIBLE AREAS, AND ALL EMPLOYEES SHALL BE TRAINED IN THEIR USE. EMERGENCY SPILL CONTAINMENT KITS SHALL INCLUDE ITEMS SUCH AS
- SORBENT MATERIALS (PILLOWS, GRANULES, SOCKS, PADS, ETC.)
  - NITRILE GLOVES
  - SAFETY GOGGLES
  - DISPOSAL CONTAINERS
  - INFLATABLE BOOMS
  - EPOXY STICK/REPAIR PUTTY
5. ANY SPILL REMEDIATION REQUIRED SHALL BE CONDUCTED UNDER THE DIRECTION OF A LICENSED SITE PROFESSIONAL (LSP).

THIS PLAN DEFINES:

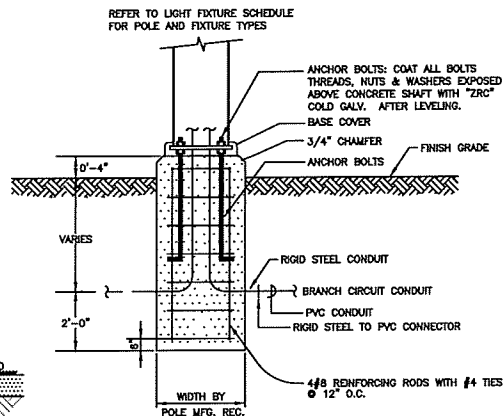
- SITE PROVISIONS FOR STORAGE AND DISPOSAL OF SNOW AND ICE.
- ANTICIPATED OPERATIONS NECESSARY FOR THE REMOVAL, STORAGE AND DISPOSAL OF SNOW AND ICE.

ON THIS SITE, PARKING IS PROPOSED IN THREE DISTINCT AREAS. IN ORDER TO REMOVE SNOW FROM PAVED AREAS, AND PLACE IT IN NON-PAVED AREAS, A FRONT-END LOADER MUST BE USED. SNOW PLOWING MAY BE EMPLOYED IN COLLECTING SNOW, HOWEVER, A LOADER MUST BE USED TO MOVE THE SNOW FROM THE PAVED SURFACE.

DURING SOME WINTERS, IT MAY BE NECESSARY TO TRANSFER SNOW STOCKPILED IN THE SNOW STORAGE AREAS TO THE LOWER PAVED AREAS. THIS MAY BE ACCOMPLISHED BY EITHER A FRONT-END LOADER, MID-LA TRUCK OR BY LOADER OPERATING ALONE.

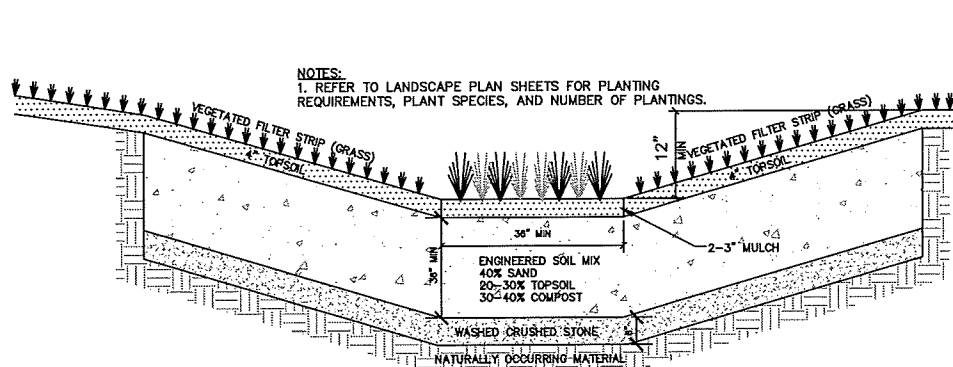
## 1. WETLAND DELINEATION BY ECOTEC, INC., OF WORCESTER MA.

1. WETLAND DELINEATION BY ECOTEC, INC., OF WORCESTER MA.
2. EROSION CONTROLS INCLUDING TEMPORARY BASINS SHALL BE IMPLEMENTED AND INSPECTED BY A TOWN REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION.
3. APPROVAL FROM THE FRANKLIN CONSERVATION COMMISSION IS REQUIRED FOR THIS PROJECT. WETLAND AREAS IDENTIFIED IN THIS PLAN SET QUALIFY AS WETLANDS UNDER 310 CMR 10.00.
4. NO EXCAVATION SHALL TAKE PLACE ON SITE UNTIL ALL SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) ARE FULLY INSTALLED PER PLAN.
5. FOLLOWING COMPLETION OF GRADING IN ANY AREA, CONTRACTOR SHALL ACT TO PLACE PERMANENT SURFACE FINISH OR TO STABILIZE SOILS AGAINST EROSION. LOAM AND SEED SHALL BE PLACED IMMEDIATELY UPON FINAL GRADING.
6. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL ALL DISTURBED SURFACES HAVE BEEN FULLY STABILIZED WITH VEGETATION.
7. EXISTING ROADS CONNECTED TO THE PROJECT SITE WILL BE KEPT CLEAN OF SILT AND DEBRIS AT ALL TIMES.
8. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE AS INDICATED ON NFP FIRM MAPS.
9. THE SITE DOES NOT LIE WITHIN A WATER SUPPLY PROTECTION AREA AS MAPPED ON THE MASS GIS WEBSITE.
10. THE SITE DOES NOT LIE WITHIN AN ESTIMATED HABITAT OR RARE WILDLIFE OR PRIORITY HABITAT OF RARE SPECIES.

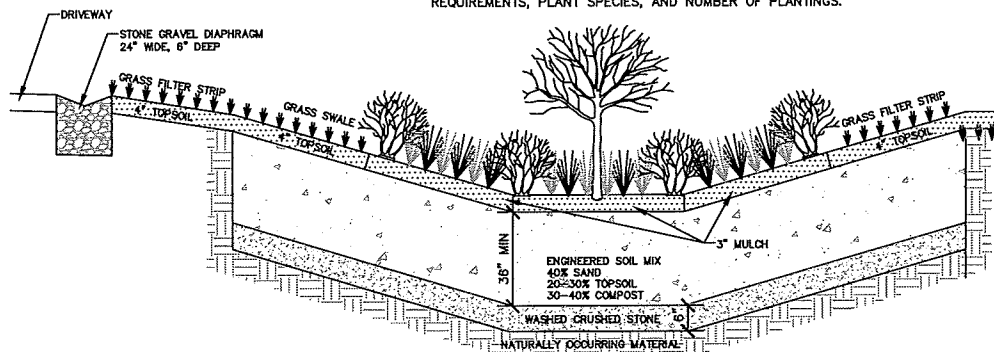


LIGHT POLE MOUNTING BASE  
SCALE: NOT TO SCALE

BIO-RETENTION AREA OVERFLOW CONTROL  
STRUCTURE DETAIL  
SCALE: NTS



BIO-RETENTION SWALE DETAIL  
SCALE: NTS



BIO-RETENTION AREA DETAIL  
SCALE: NTS

**NOTES:**  
1. REFER TO LANDSCAPE PLAN SHEETS FOR PLANTING REQUIREMENTS, PLANT SPECIES, AND NUMBER OF PLANTINGS

[illegible]

APPLICANT:  
AMEGO, INC.  
33 PERRY AVE  
ATTLEBORO, MA 02703

OWNER:  
MARY + JAMES HESSON  
MARGHERITA RIMMER  
7410 BUCKLIN TRAIL NO  
JACKSONVILLE, FL 32202

**SITE PLAN OF LAND  
IN FRANKLIN, MASSACHUSETTS  
WASHINGTON STREET**

WILLIAM J.  
**MASIELLO**  
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**QUINN  
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(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1,  
2019

CONST. GEN. PERMIT  
CONT'D NOTES,  
DETAILS, + NOTES