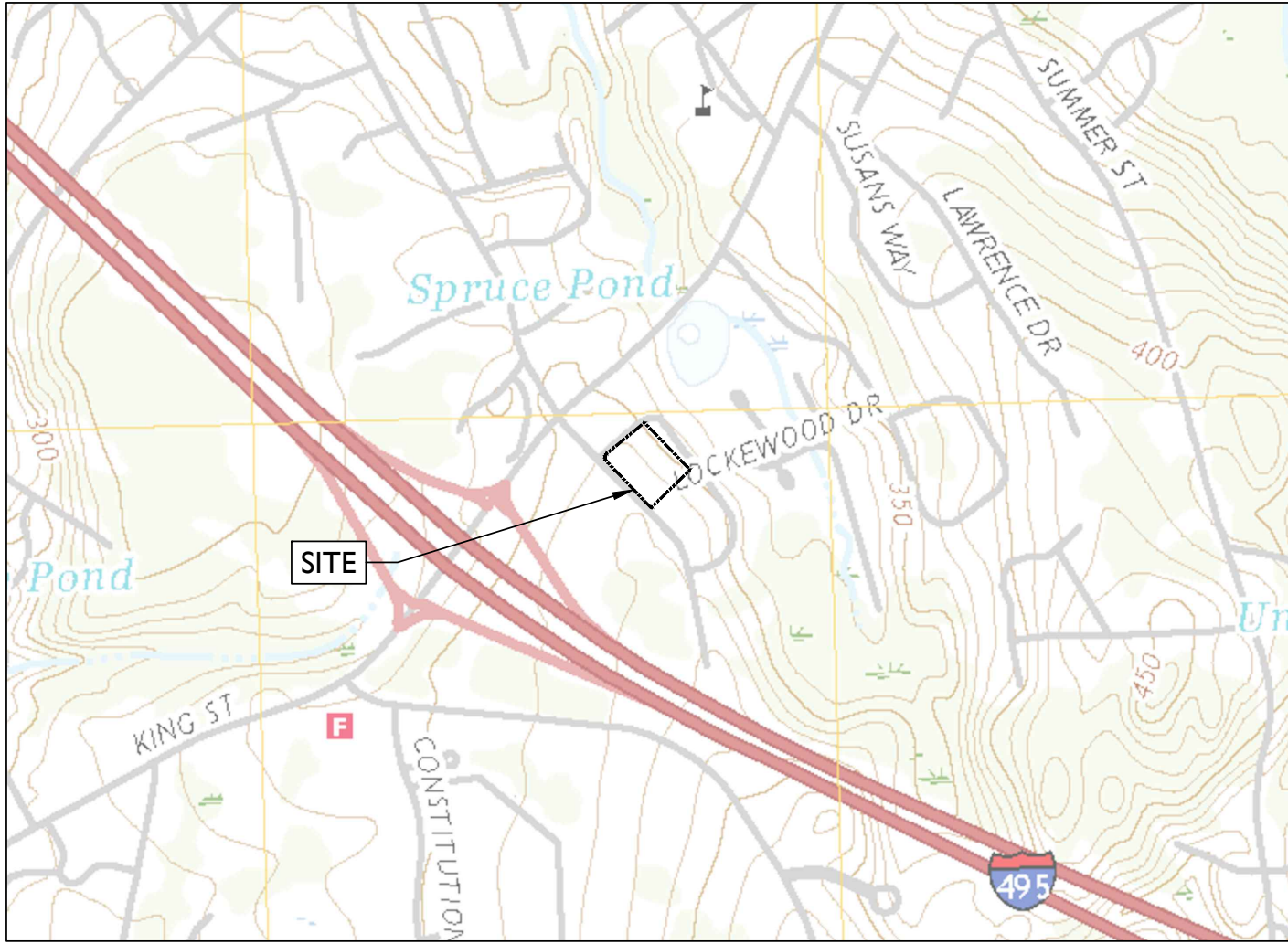
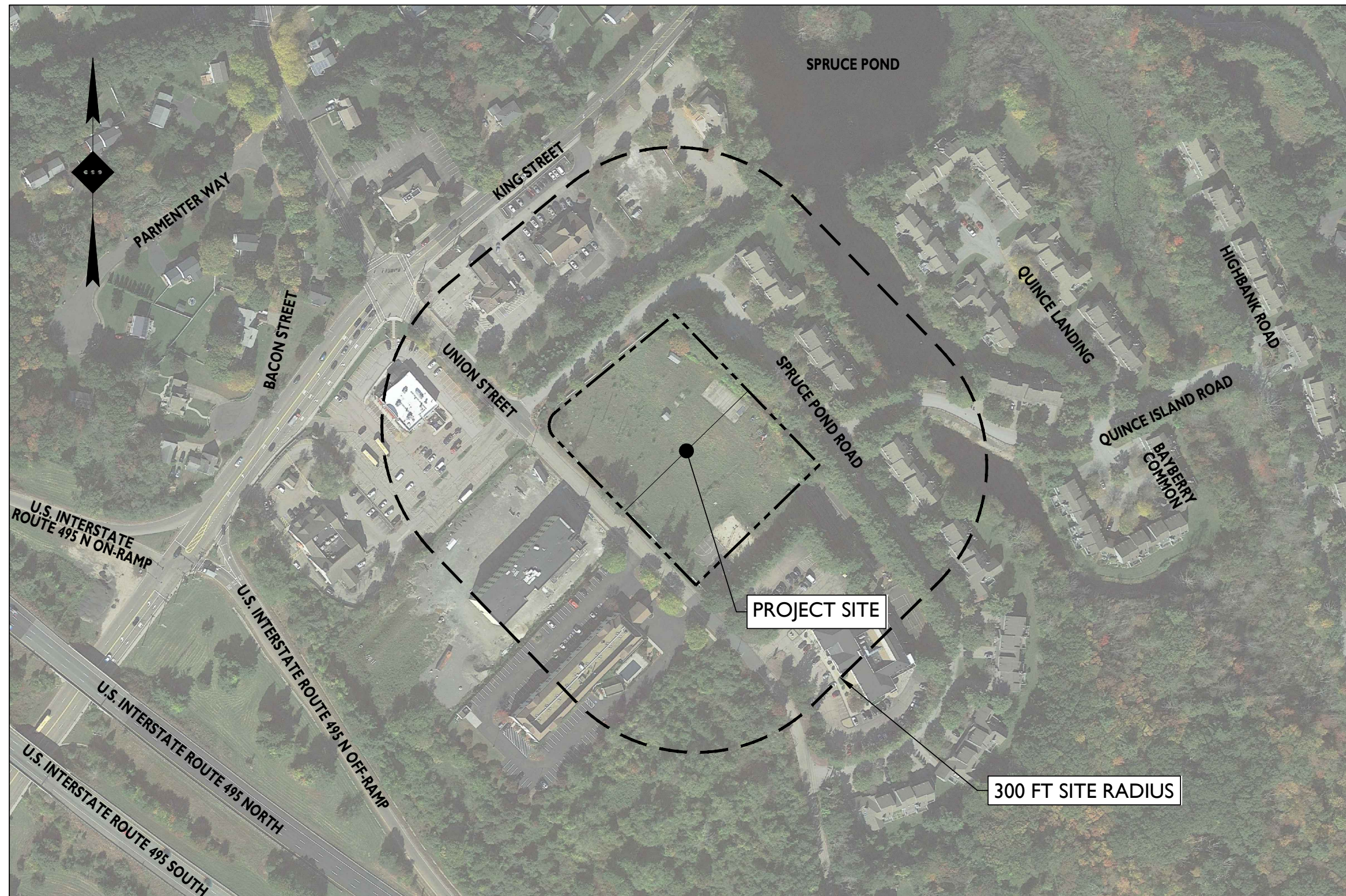




SOURCE: USGS QUADRANGLE MAP 7.5 MINUTE SERIES FRANKLIN, MA, RI DATED 2021

LOCUS MAP

SCALE: 1" = 1,000'±



SOURCE: GOOGLE EARTH PRO, DATED OCTOBER 12TH, 2021

AERIAL MAP

SCALE: 1" = 200'

TOWN OF FRANKLIN 300' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
303	41	MARGUERITE MARGARET, TR	PO BOX 1990 N FALMOUTH, MA 02556
303	42	MARGUERITE MARGARET, TR	MARGUERITE FAMILY TRUST PO BOX 1990 N FALMOUTH, MA 02038
303	43	MARGUERITE MARGARET, TR	BEAU GRASSIA-KING ST CAFE 390 KING ST FRANKLIN, MA 02038
303	44	DECOY INC	PO BOX 1990 N FALMOUTH, MA 02556
	45	SPRUCE POND VILLAGE C/O LANGLEY PAUL G	13 SPRUCE POND RD FRANKLIN, MA 02038
303	46	ROGER KALDAWY	9 TRAILSIDE WAY NORFOLK, MA 02056
303	47	ROGER KALDAWY	9 TRAILSIDE WAY NORFOLK, MA 02056
303	48	HOTEL BUILDING CORPORATION ATTN: TAGE	PO BOX 386 WESTON, MA 02493
314	5	ROGER KALDAWY	9 TRAILSIDE WAY NORFOLK, MA 02056
314	14	MILFORD WHITINSVILLE REG HOSP DIRECTOR OF FISCAL SERVICES	14 PROSPECT ST MILFORD, MA 01757
314	15	KRISTIN TURRELL	2 LAKESHORE CENTER BRIDGEWATER, MA 02324
314	16	450 FRANKLIN REALTY LLC	83 HARTWELL AVE LEXINGTON, MA 02421

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - SURVEY BY LEVESQUE GEOMATICS INC, DATED APRIL 7, 2022
 - ARCHITECTURAL PLANS BY ADA ARCHITECTS, INC., DATED APRIL 14, 2022
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED OCTOBER 12, 2021
 - TOWN OF FRANKLIN GIS MAPPING, UPDATED JANUARY 4, 2021 AND TOWN OF FRANKLIN ZONING MAP, REVISED MARCH 3, 2019
 - KEY MAP OBTAINED FROM USGS QUADRANGLE MAP 7.5 MINUTE SERIES FRANKLIN, MA, RI, DATED 2021
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SITE PLAN SET FOR PRIMROSE SCHOOL FRANCHISING COMPANY PROPOSED CHILD DAY CARE FACILITY

MAP 303, PARCELS 46 & 47

700-712 UNION STREET

TOWN OF FRANKLIN, NORFOLK COUNTY, MASSACHUSETTS



Know what's below
Call before you dig.

APPLICANT/OWNER

PRIMROSE SCHOOL FRANCHISING COMPANY
21 CONKLIN LANE
WARREN, NJ 07059
MTAYLOR@PRIMROSESCHOOLS.COM

ATTORNEY

THOMAS J. MALMAN
DAY PITNEY LLP
1 JEFFERSON ROAD
PARSIPPANY, NJ 07054-2891
(973) 966-8714



SOURCE: TOWN OF FRANKLIN GIS MAPPING (UPDATED JANUARY 4TH, 2021) & TOWN OF FRANKLIN ZONING MAP (REVISED MARCH 3RD, 2019)

TAX & ZONING MAP

SCALE: 1" = 200'

AMERICAN DISABILITIES ACT (ADA) CERTIFICATION:
THIS SITE PLAN IS IN COMPLIANCE WITH THE PROVISIONS OF
THE AMERICAN DISABILITIES ACT (ADA) AND MASSACHUSETTS
ARCHITECTURAL BARRIERS BOARD

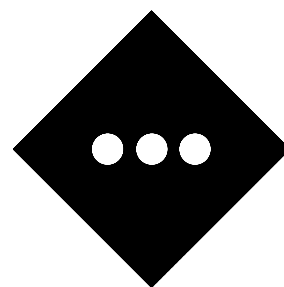
ZONING LEGEND

COMMERCIAL II DISTRICT	RESIDENTIAL VI DISTRICT
SINGLE-FAMILY III DISTRICT	U.S. INTERSTATE ROUTE 495

SHEET INDEX

DRAWING TITLE	SHEET #
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PLANS PREPARED BY:



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SITE PLAN SET

PRIMROSE SCHOOL
FRANCHISING COMPANY
PROPOSED CHILD DAY
CARE FACILITY

MAP 303, LOTS 46 & 47
700-712 UNION STREET
TOWN OF FRANKLIN
NORFOLK COUNTY, MASSACHUSETTS

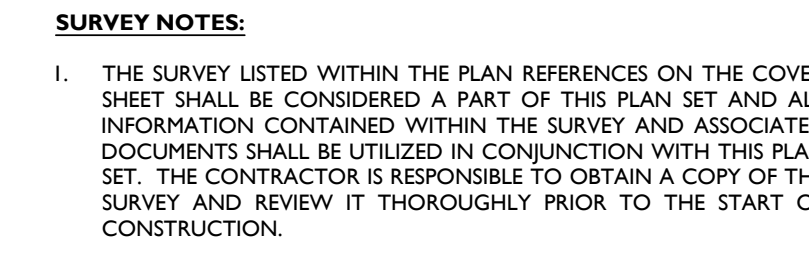
JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE No. 53936
LICENSED PROFESSIONAL ENGINEER

SCALE: AS SHOWN PROJECT ID: BOS-210005

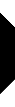
TITLE: COVER SHEET

DRAWING: C-1

DESIGN REVIEW COMMISSION SUBMISSION	DESCRIPTION
06/22/2022	NRK
06/22/2022	BY
06/22/2022	DATE
06/22/2022	ISSUE



I. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATE DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



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LICENSED PROFESSIONAL ENGINEER

SCALE:	1" = 30'	PROJECT ID: BOS-210005
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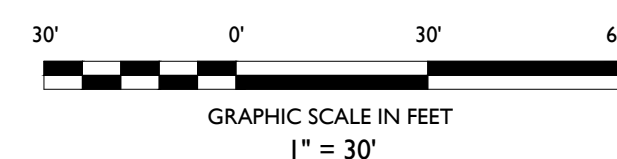
C-2

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DRAWING:

C-3

(*) MEASURED AS THE VERTICAL DISTANCE FROM THE AVERAGE FINISHED EXTERIOR GRADE ON THE STREET SIDE OF THE BUILDING (356.00) TO THE HIGHEST POINT OF THE ROOF.

(V) VARIANCE

(***) PER 185-21.A.4., THE NUMBER OF REQUIRED SPACES MAY BE REDUCED BY THE PLANNING BOARD OR BUILDING COMMISSIONER DUE TO THE UNUSUAL AGE OF SITE USERS.

(*) PER § 185-20.C.4.c.1., PROPERTIES WITHIN THE COMMERCIAL AND BUSINESS CORRIDOR DISTRICT THAT ABUT A RESIDENTIALLY ZONED DISTRICT SHALL HAVE ALL SIGNS REDUCED IN SIZE BY HALF.

GENERAL NOTES

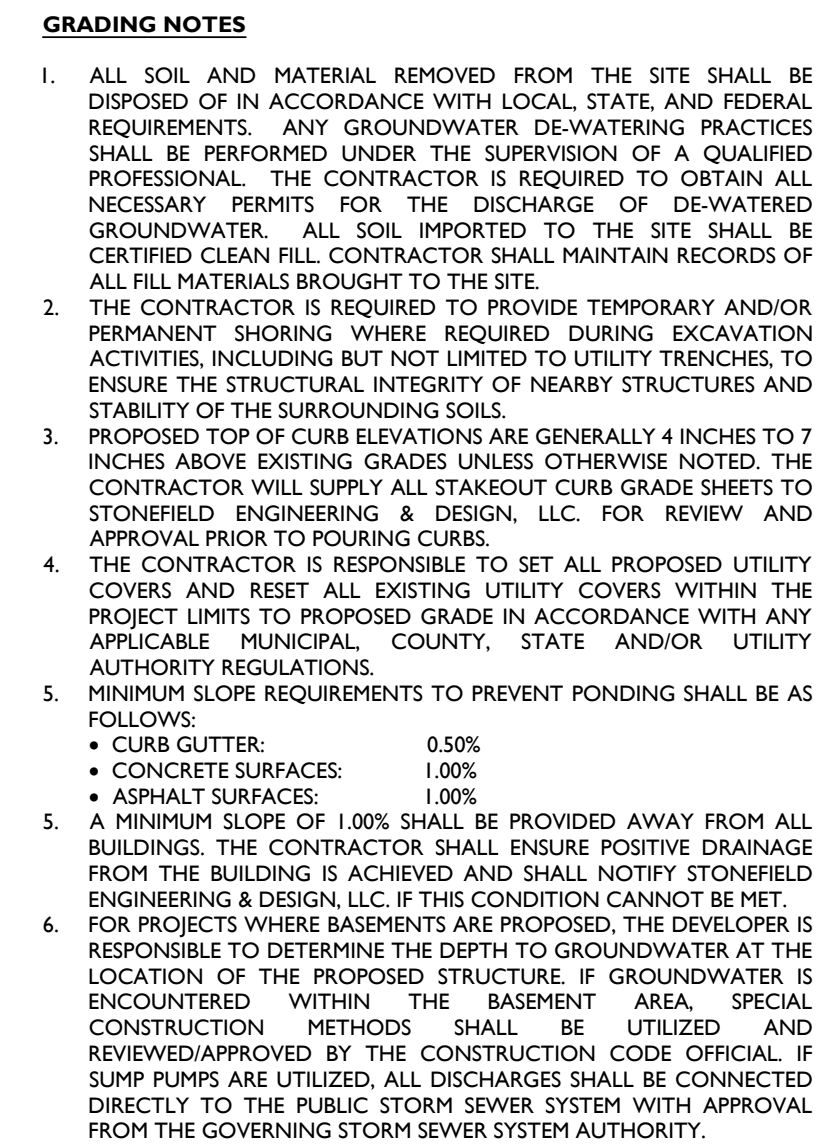
1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE NOTES. THE CONTRACTOR SHALL CONDUCT A REVIEW OF THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK WITH THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, EMPLOY AND PAY ALL NECESSARY PERSONNEL, INCLUDING DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO THE CONTRACTOR'S OWN NEGLIGENCE.
4. THE CONTRACTOR SHALL CARRY THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
5. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
7. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
8. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO BE DAMAGED OR UNDERMINED BY THE WORK. THE CONTRACTOR SHALL RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW ALL SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
10. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) LATEST EDITION.
11. THE CONTRACTOR IS RESPONSIBLE TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE LOCAL, STATE, AND FEDERAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
12. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED COMPETENT PERSON TO SUPERVISE ALL WORK ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
13. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT MEAN THE OWNER HAS ASSIGNED ANY RESPONSIBILITY TO THEM AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

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MAP 303, LOTS 46 & 47
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TOWN OF FRANKLIN
NORFOLK COUNTY MASSACHUSETTS

SCALE:	1" = 30'	PROJECT ID: BOS-210005
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C-4



30' 0' 30' 6'



GRAPHIC SCALE IN FEET
1" = 30'

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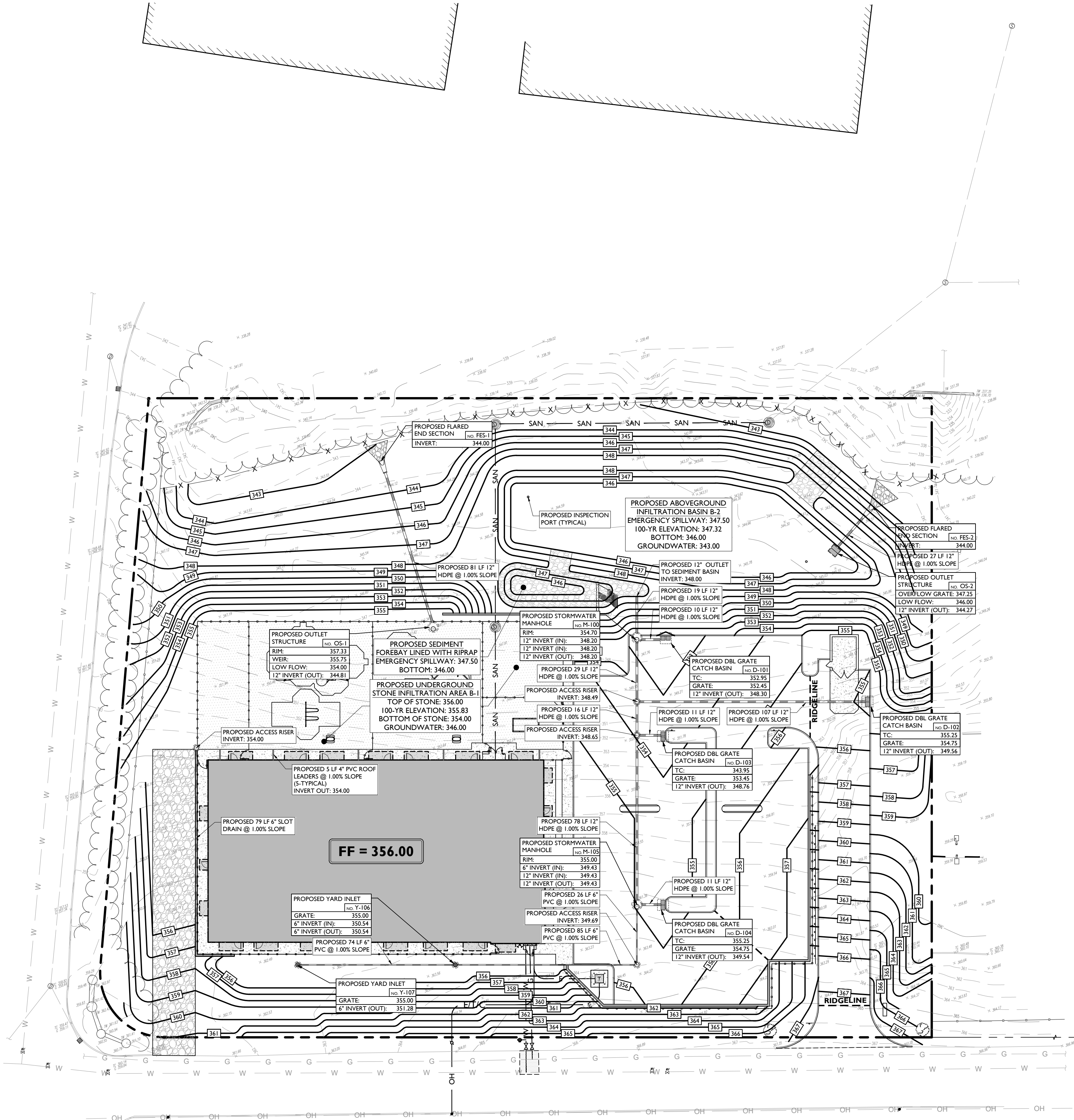
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MAP 303, LOTS 46 & 47
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TOWN OF FRANKLIN
NORFOLK COUNTY, MA

SCALE:	1" = 30'	PROJECT ID: BOS-210005
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C-5

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SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING

Drainage and Utility Notes

- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING.
- CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADE.
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DERIVED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

Excavation, Soil Preparation, and Dewatering Notes

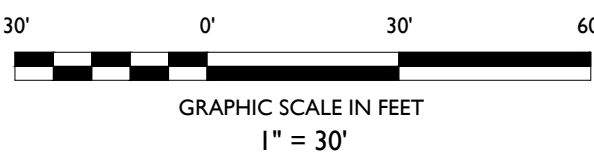
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL. ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

Stormwater Infiltration BMP Construction Notes

- PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIOTENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL, TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
- ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.
- THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
- DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DESPERLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
- FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION. IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
- THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

Stormwater Underground BMP Construction Notes

- THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
- NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.



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SITE PLAN SET
**PRIMROSE SCHOOL
FRANCHISING COMPANY**
PROPOSED CHILD DAY
CARE FACILITY

MAP 303, LOTS 46 & 47
700-717 UNION STREET
NORFOLK COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE No. 53936
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 30' PROJECT ID: BOS-210005

TITLE:

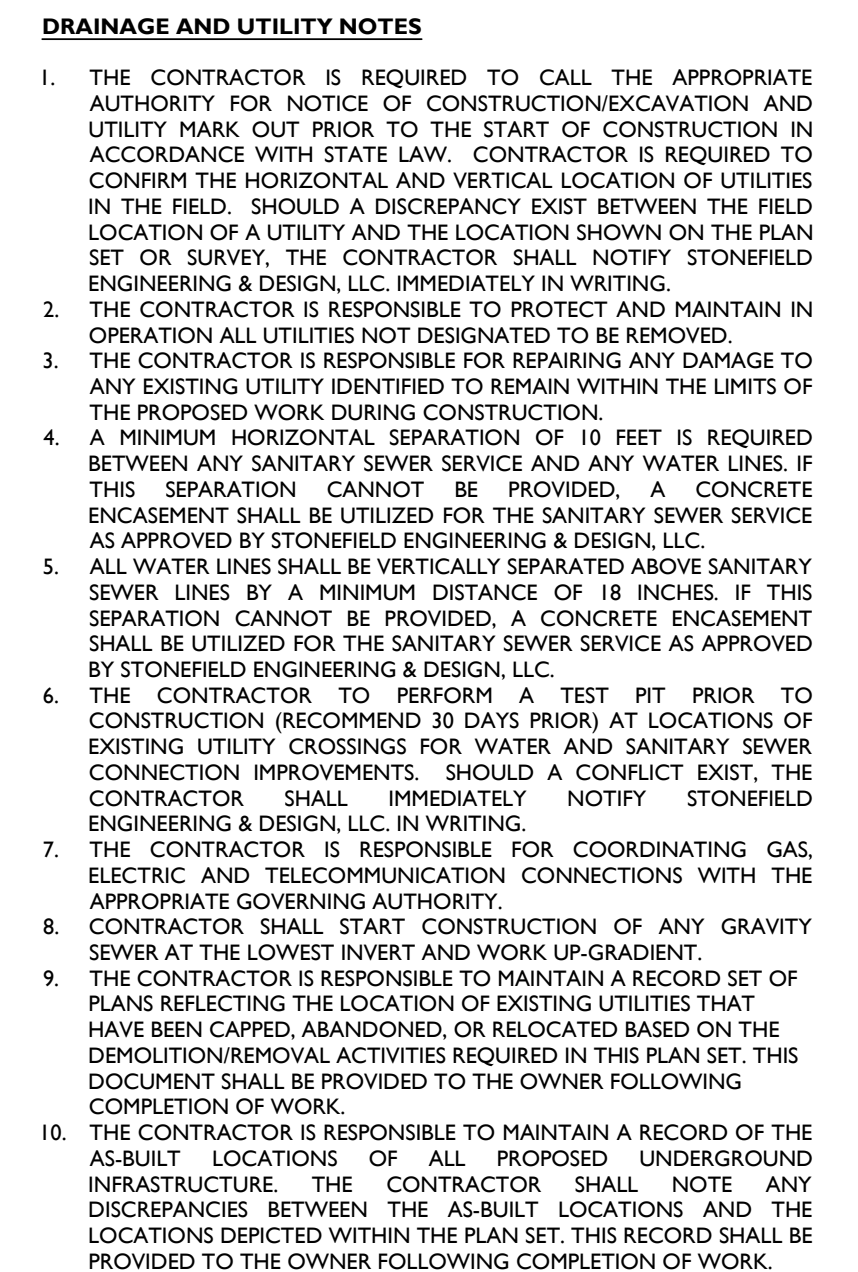
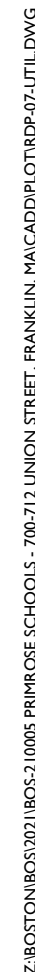
**STORMWATER
MANAGEMENT PLAN**

DRAWING:

C-6

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NRK		06/22/2023	
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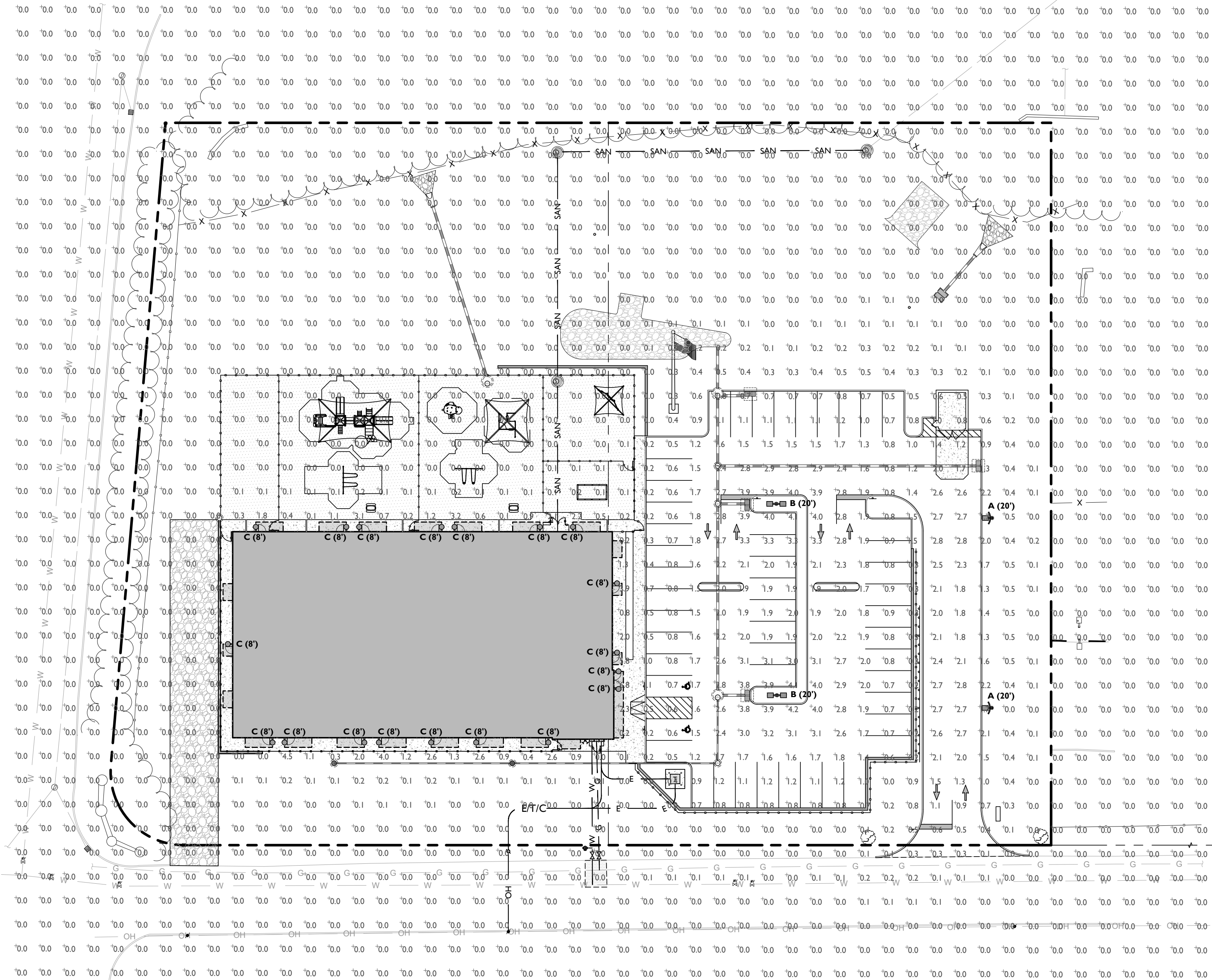
SCALE:	1" = 30'	PROJECT ID: BOS-210005
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UTILITY PLAN

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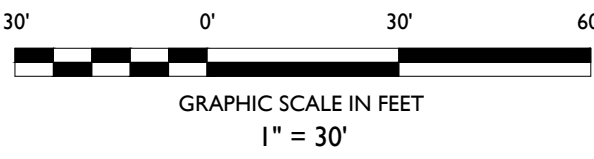
C-7

PROPOSED LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER
	A	2	MIRADA (MRM) AREA LIGHT - 9LED - 40K - BACKSHIELDED - 62 WATT	TYPE III	0.9	LSI
	B	2	MIRADA (MRM) AREA LIGHT - DOUBLE 180° - 9LED - 40K - 62 WATT	TYPE III	0.9	LSI
	C	19	HI-LITE WALL MOUNT LIGHT - LED - 30K - 12 WATT	TYPE V	0.9	HI-LITE MFG
			IES FILE			
			MRM-LED-09L-SIL-3-40-70CRI-IH.IES			
			MRM-LED-09L-SIL-3-40-70CRI-IH.IES			
			NEWH-CGU-1B LED3.IES			



SYMBOL	DESCRIPTION
-----	PROPOSED CALCULATION AREA
-----	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+xx	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.
- ATM LIGHTING NOTES:**
- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - FIXTURE 'X' = MINIMUM X WATTS
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
 - ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
 - PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
 - THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
 - ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
 - EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.



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JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE No. 53936
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 30' PROJECT ID: BOS-210005

TITLE:

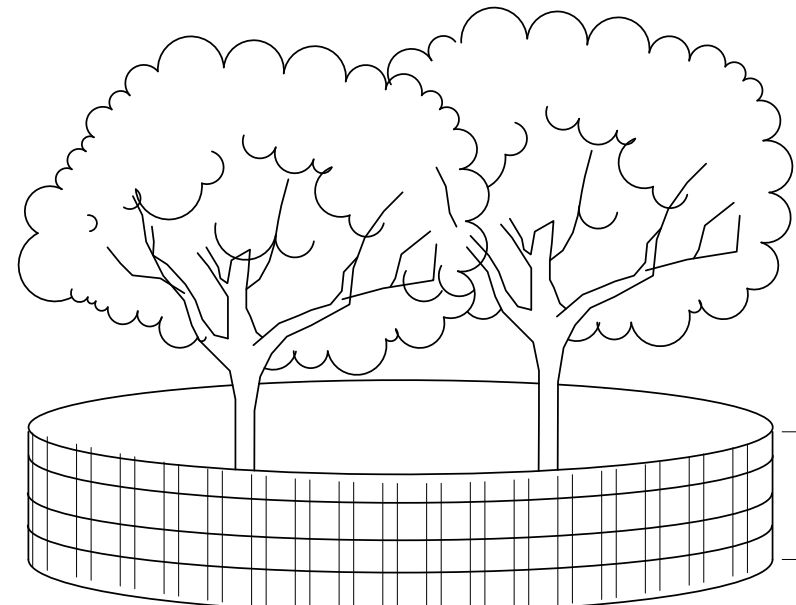
LIGHTING PLAN

DRAWING:

C-8

- DUST CONTROL NOTES**
- MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
 - VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1; PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
 - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS); KEEP TRAFFIC OFF THESE AREAS.
 - TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 - SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
 - BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
 - CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE IF USED ON STEEPER SLOPES; THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
 - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

- STABILIZATION SPECIFICATIONS:**
- I.A. TEMPORARY SEEDING AND MULCHING:
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (0.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNKNOTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- I.B. PERMANENT SEEDING AND MULCHING:
TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 550 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION).
MULCH - UNKNOTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).



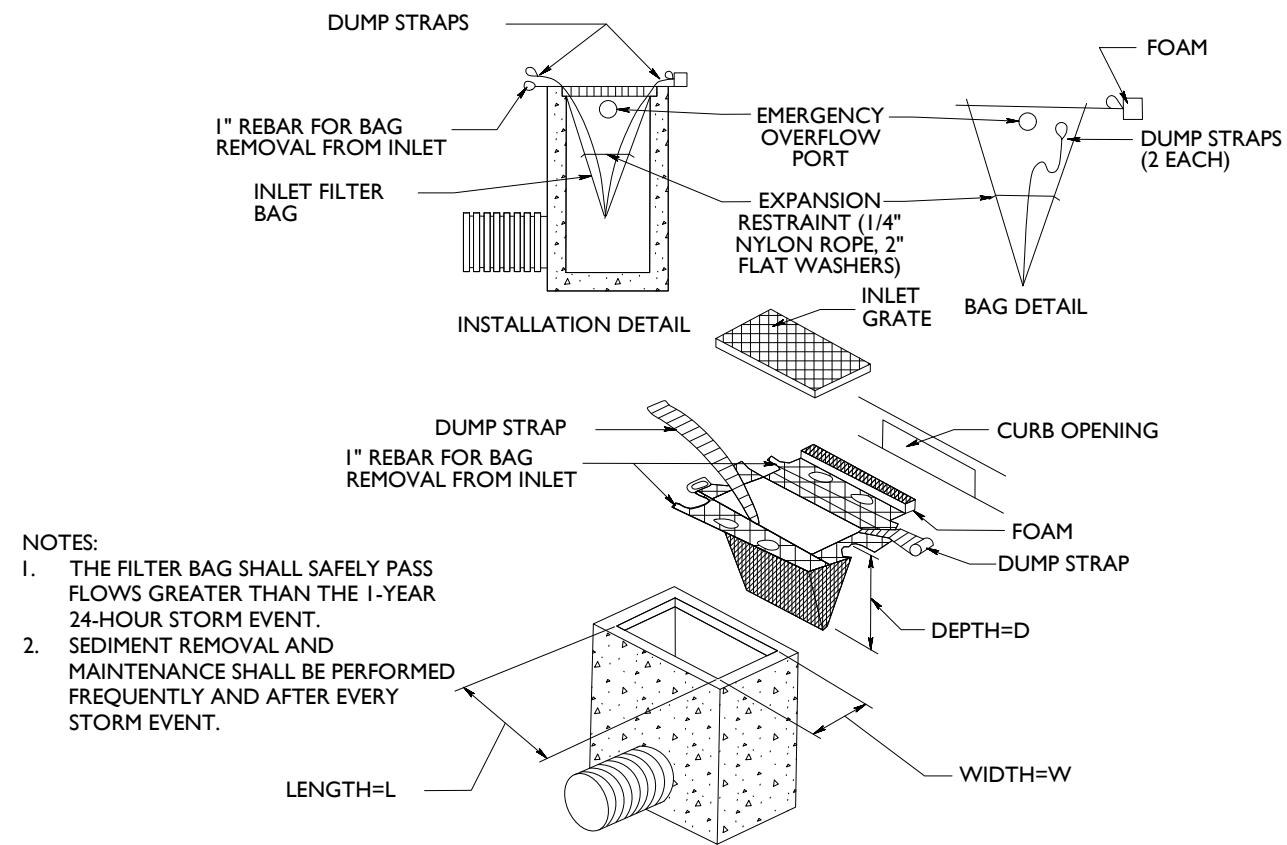
NOTES:

- SNOW FENCING IS TO BE 4'-0" HIGH AND SELF SUPPORTED.
- DO NOT STOCKPILE MATERIALS OR STORE EQUIPMENT WITHIN THE TREE PROTECTION FENCING.
- SNOW FENCE TO BE INSTALLED AT DRIP LINE OF EXISTING TREE OR TREE CLUSTER TO BE PROTECTED OR NO CLOSER THAN 6' FROM TREE TRUNK IF NECESSARY.
- IF THE PROJECT AREA ENCOMPASSES A PORTION OF THE DRIP LINE OF THE TREE, NO MORE THAN ONE THIRD OF THE OF THE TOTAL AREA OF WITHIN THE DRIP LINE SHOULD BE DISTURBED BY CONSTRUCTION OR REGRADING AND A 3" THICK LAYER OF MULCH SHALL BE INSTALLED OVER THE AREA OF THE DRIP LINE WHICH IS NOT PROTECTED BY FENCING TO PROVIDE A CUSHION.

TREE PROTECTION DETAIL

NOT TO SCALE

SOIL CHARACTERISTICS CHART			
TYPE OF SOIL	MONTAUK FINE SANDY LOAM (300B)	WOODBIDGE FINE SANDY LOAM (310B)	
PERCENT OF SITE COVERAGE	70.4%	29.6%	
HYDROLOGIC SOIL GROUP	C	C/D	
DEPTH TO RESTRICTIVE LAYER	20 TO 39 INCHES	20 TO 39 INCHES	
SOIL PERMEABILITY	0.00 TO 1.42 IN / HR	0.00 TO 0.14 IN / HR	
DEPTH TO WATER TABLE	18 TO 37 INCHES	18 TO 30 INCHES	

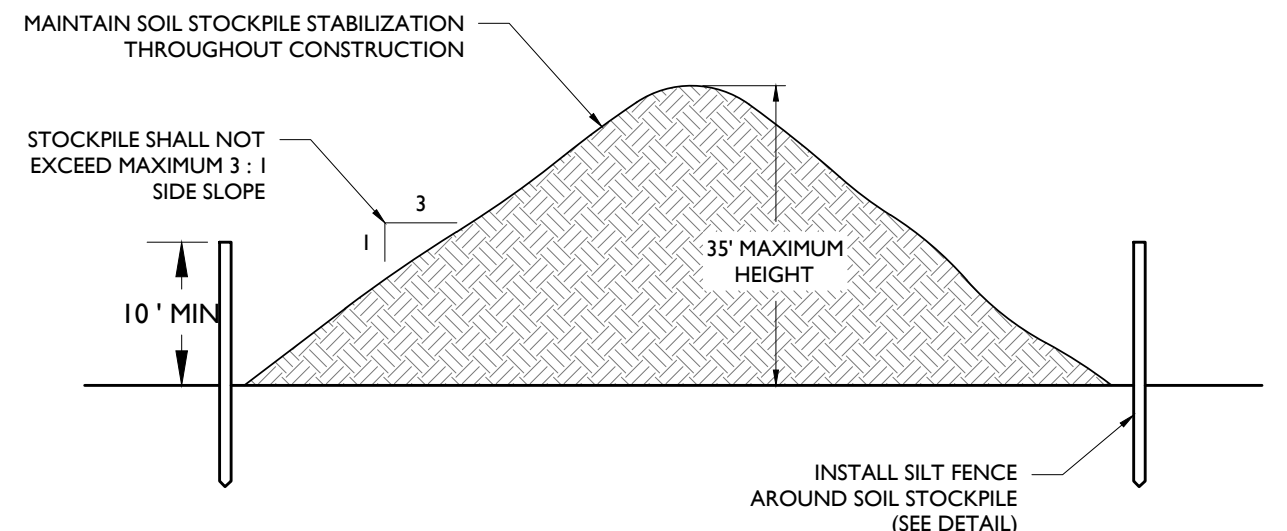


NOTES:

- THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
- SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

INLET FILTER BAG DETAIL

NOT TO SCALE

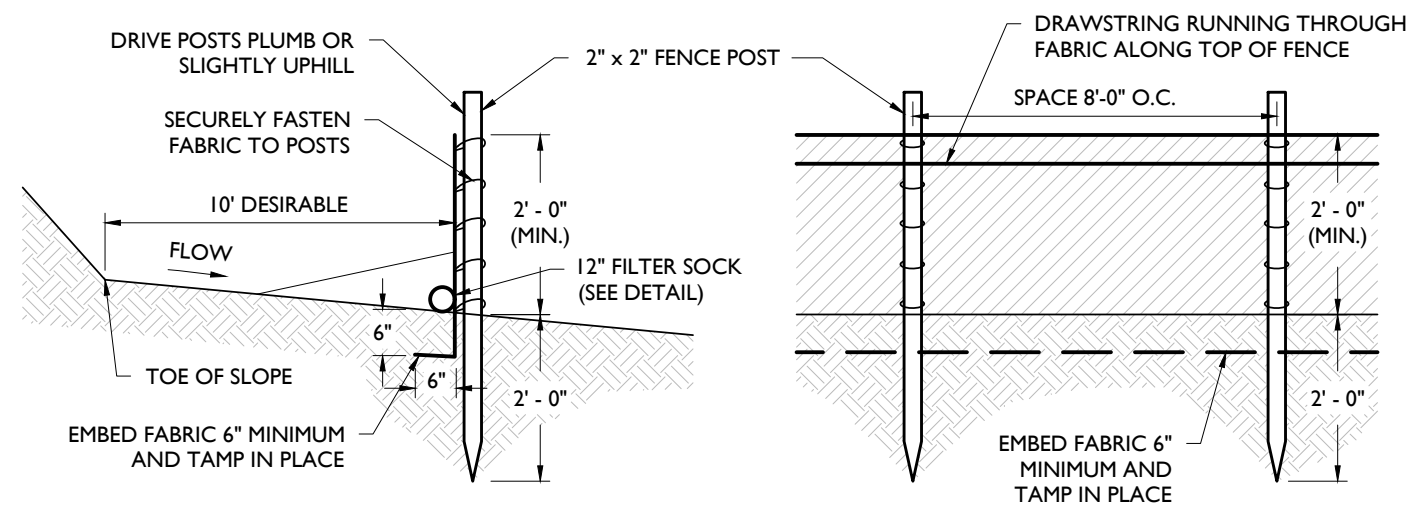


NOTES:

- STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
- STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

NOT TO SCALE

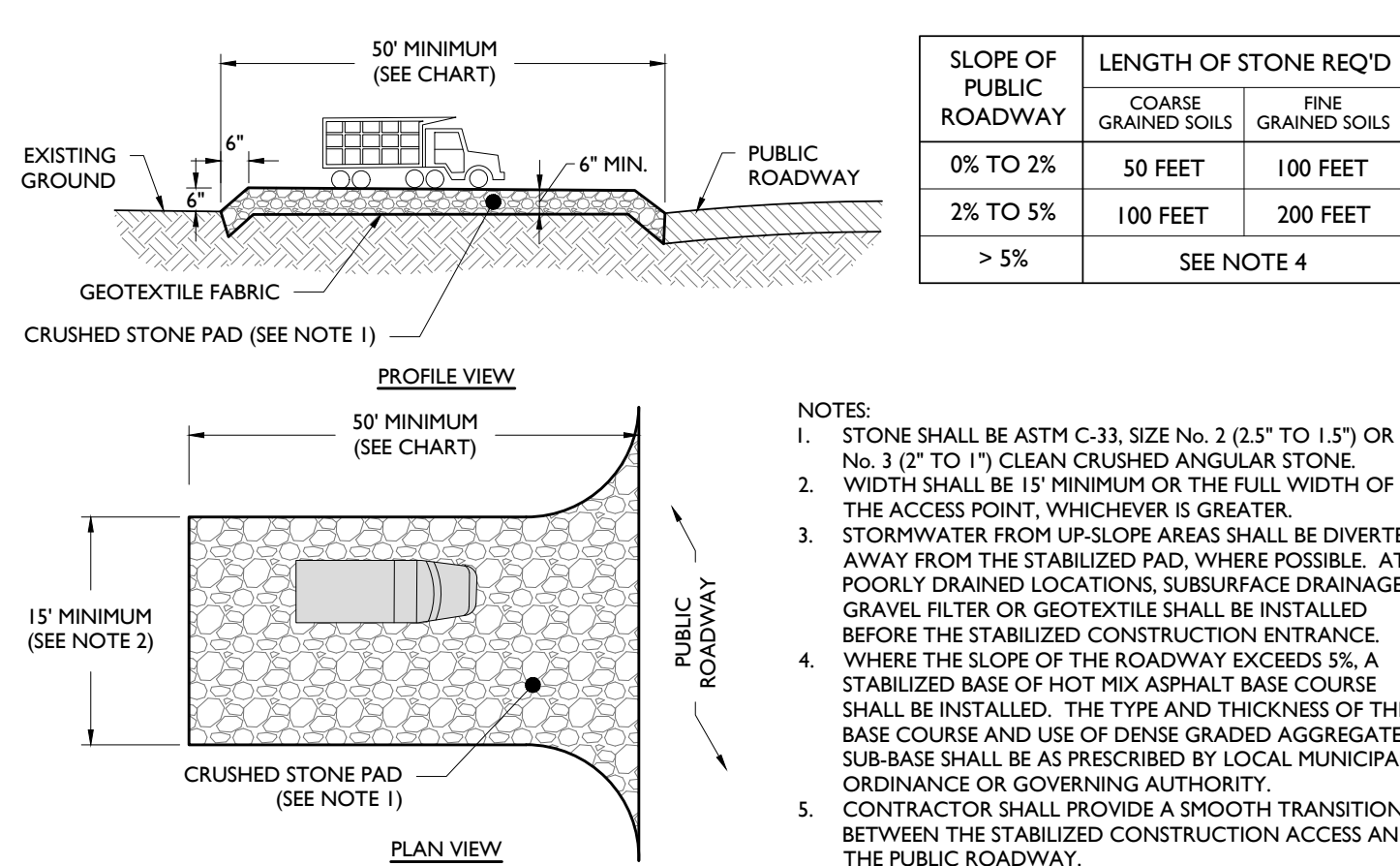


NOTES:

- SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
- GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
- SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
- SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE DETAIL

NOT TO SCALE



NOTES:

- STONE SHALL BE ASTM C-33, SIZE NO. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
- WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
- STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
- WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
- CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ACCESS DETAIL

NOT TO SCALE

SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED TREE PROTECTION FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER

SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

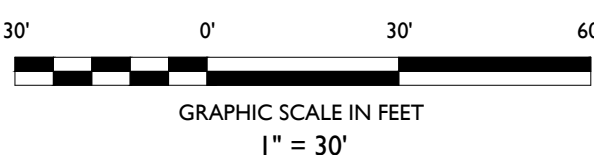
SEQUENCE OF CONSTRUCTION

- INSTALL CONSTRUCTION ENTRANCE (2 DAYS).
- INSTALL TEMPORARY SEDIMENT BASIN AND RIPRAP AREA TO FUNCTION UNTIL 75% OF THE DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED (2 DAYS).
- DEMOLISH EXISTING PAVEMENT WHERE APPLICABLE (7 DAYS).
- ROUGH GRADING AND TEMPORARY SEEDING (21 DAYS).
- BASIN CONSTRUCTION INCLUDING STABILIZATION (14 DAYS).
- DECOMMISSION TEMPORARY SEDIMENT BASIN AND RIPRAP AREA (1 DAY).
- BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (100 DAYS).
- INSTALL CURBSIDE SEDIMENT BARRIERS (1 DAY).
- SOIL RESTORATION MEASURES (3 DAYS).
- LANDSCAPING IMPROVEMENTS AND FINAL SEEDING & TOP SOILING (7 DAYS).
- REMOVE SOIL EROSION MEASURES (1 DAY).

NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.



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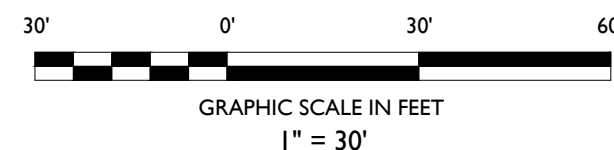
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SCALE: 1" = 30' PROJECT ID: BOS-210005

SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING:

C-9



NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

ERNST SEED CO. RETENTION BASIN WILDLIFE MIX
SEEDING SPECIFICATIONS (ERNST MIX-127):

ERNST SEED CO. NATIVE STEEP SLOPE MIX
SEEDING SPECIFICATIONS (ERNST MIX-181):

ERNST SEED CO. NATIVE STEP SLOPE MIX		
SEEDING SPECIFICATIONS (ERNST MIX-181):		
ARGEMONE MUTANS	INDIAN GRASS	31.1%
LILIUM MULTIFLORUM	ANNUAL RYE GRASS	20%
TRIFOLIUM HYDRICUM	BIG BLUE ST. PASTURE	20%
ELYNUS CANADENSIS	CANADA WILDBIRD	7%
ALFALFA	ALFALFA	7%
PANICUM VERGARE	SWITCHGRASS	4%
PANICUM CLANDESTINUM	PERFECT GRASS	4%
TRIFOLIUM PURPUREUM	FLORIDA CRACKER	4%
CHAMAECRISTA FASCICULATA	PORTUGUESE	1.2%
TRIFOLIUM HELICOIDES	PORTUGUESE	1.2%
COREOPSIS LANCEOLATA	LANCEFALL COREOPSIS	1.0%
TRIFOLIUM HYDRICUM	FLORIDA CRACKER	1.0%
MORONIA FLORESCENS	WILD BERGAMOT	1.0%
TRIFOLIUM HYDRICUM	FLORIDA CRACKER	1.0%
SOLIDAGO RUIGOSA	WINKLEFALL GOLDENROD	1.0%
ASTRUM LATIFOLIUM	HEATH ASTER	1.0%
ASTRUM FLOROSUM	HEATH ASTER	1.0%
1. SOW ABOVE MIX AT A RATE OF 15 LBS./ACRE 2. SOW BELOW MIX ABOVE MIX WITH ANNUAL RYE AT A RATE OF 10 LBS./ACRE. 3. SOW BELOW MIX AT PLACE, PLACE.		

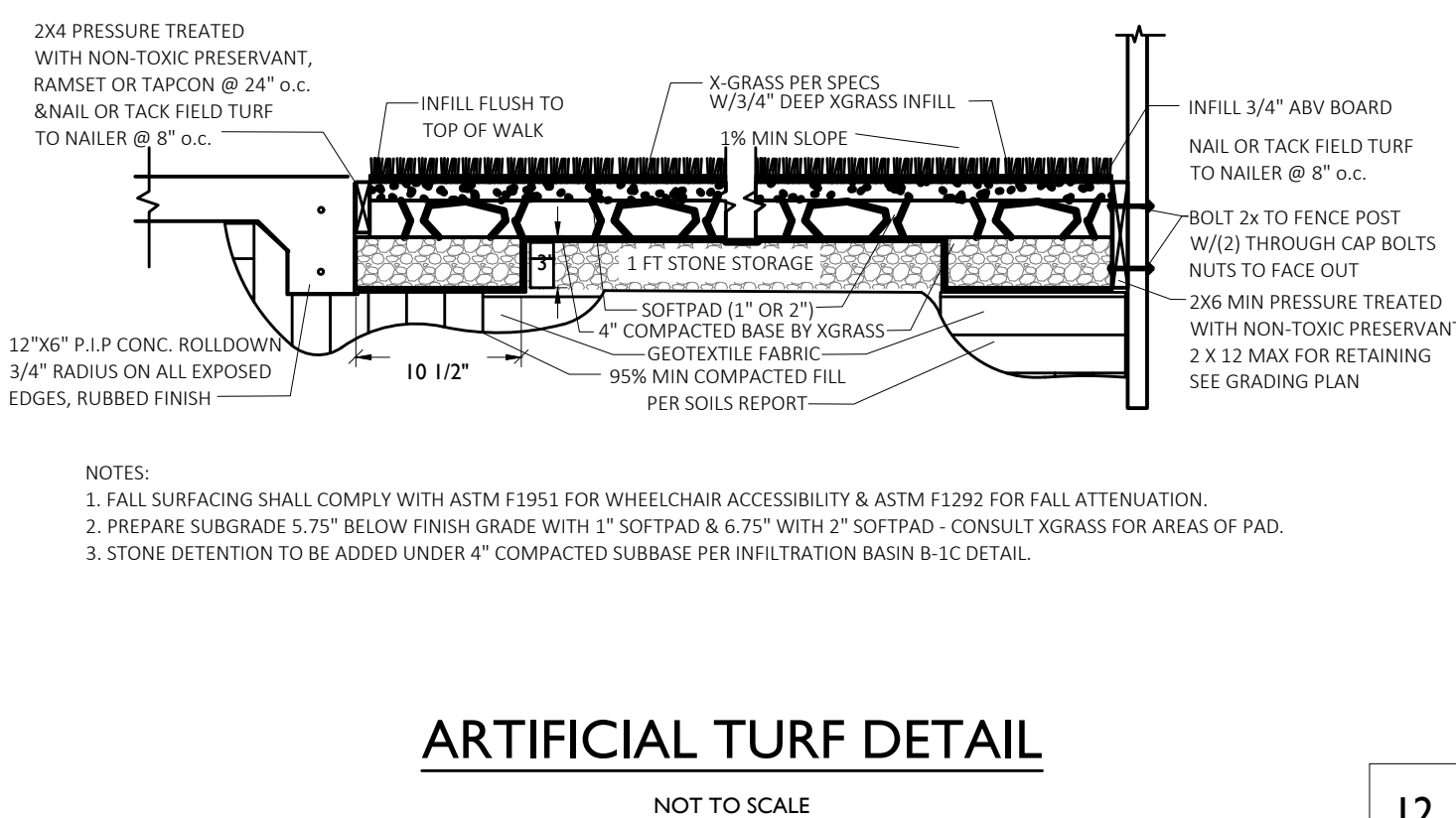
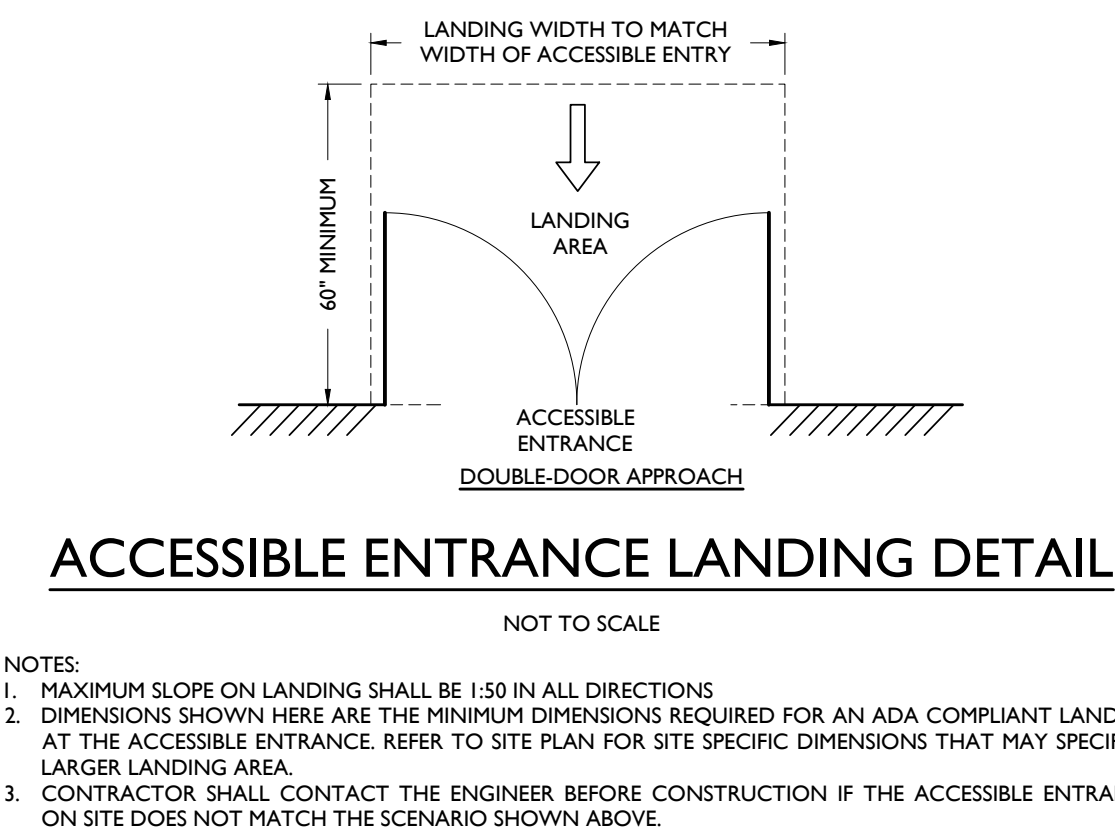
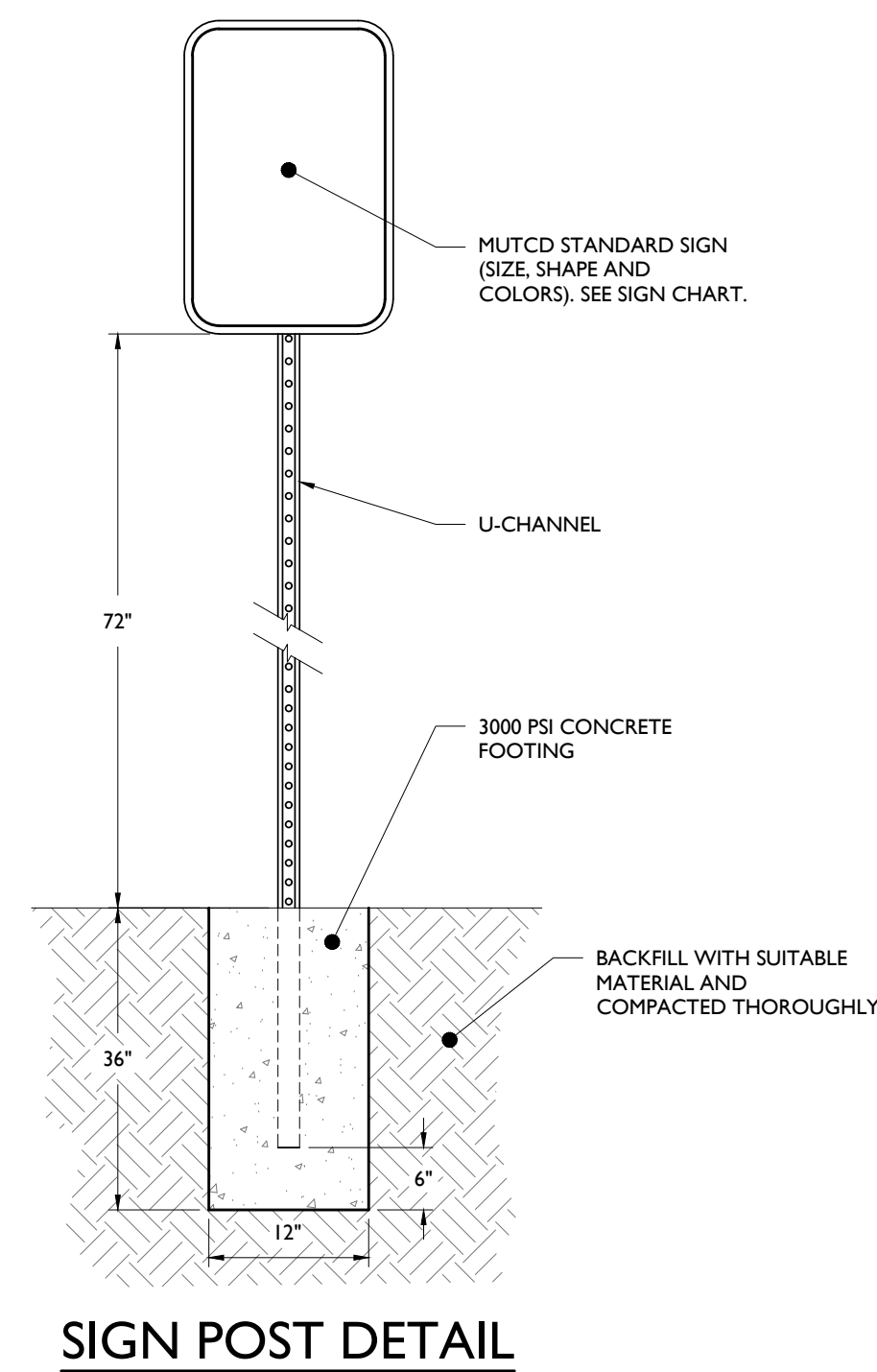
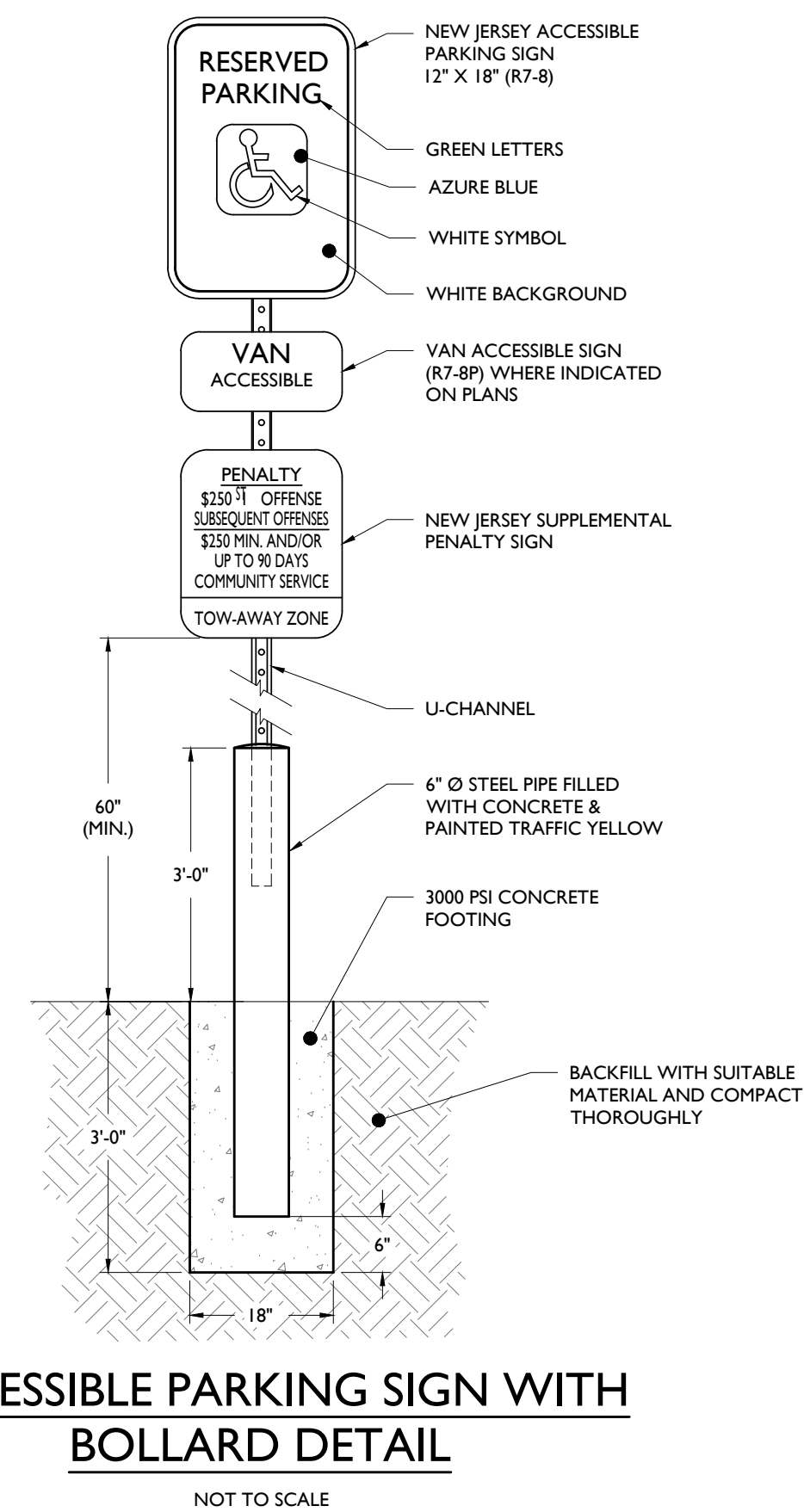
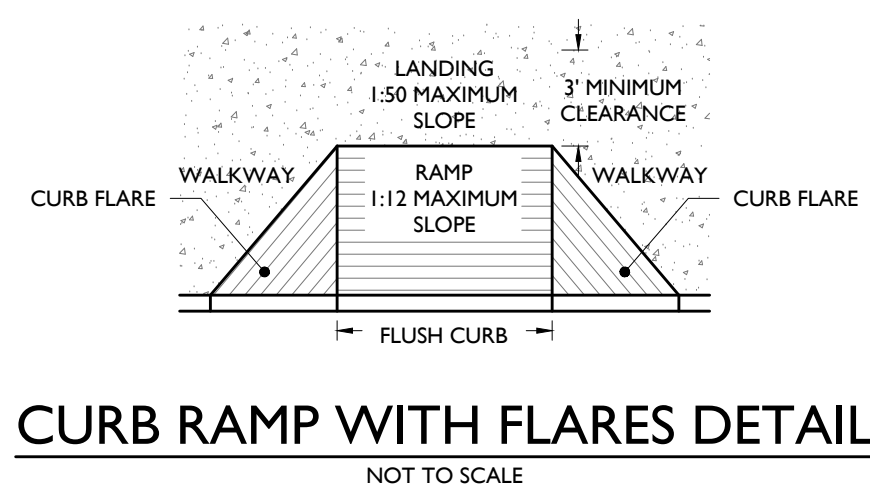
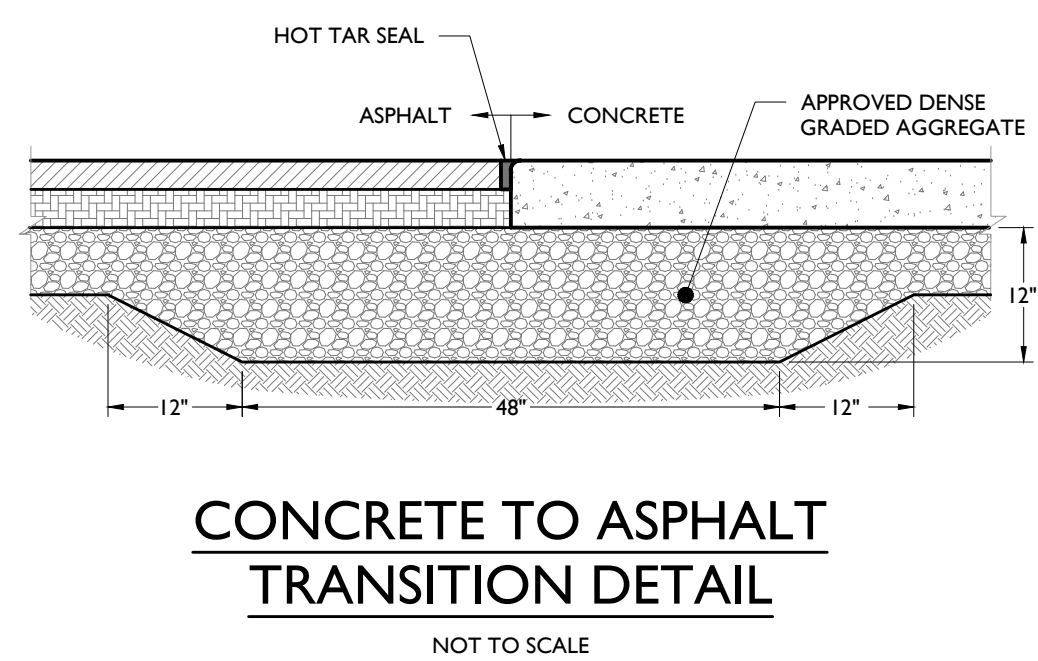
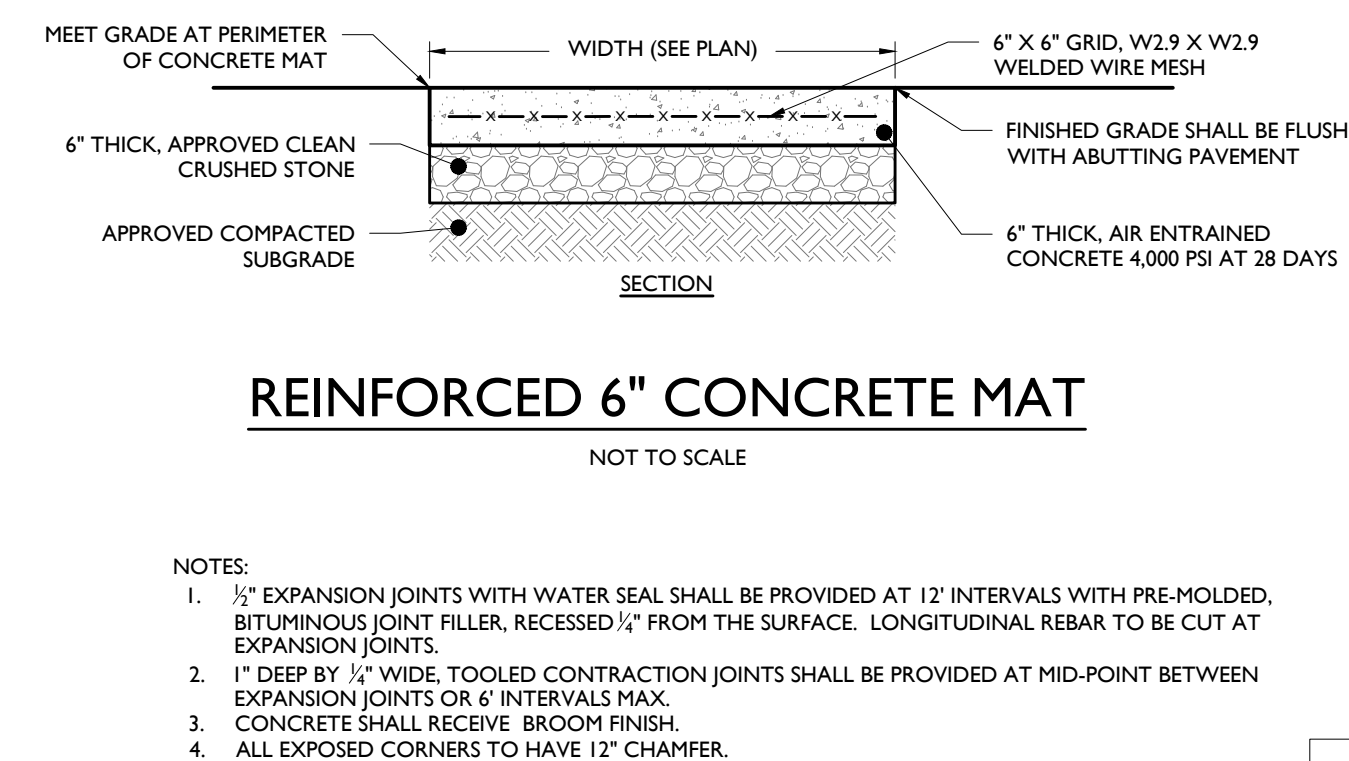
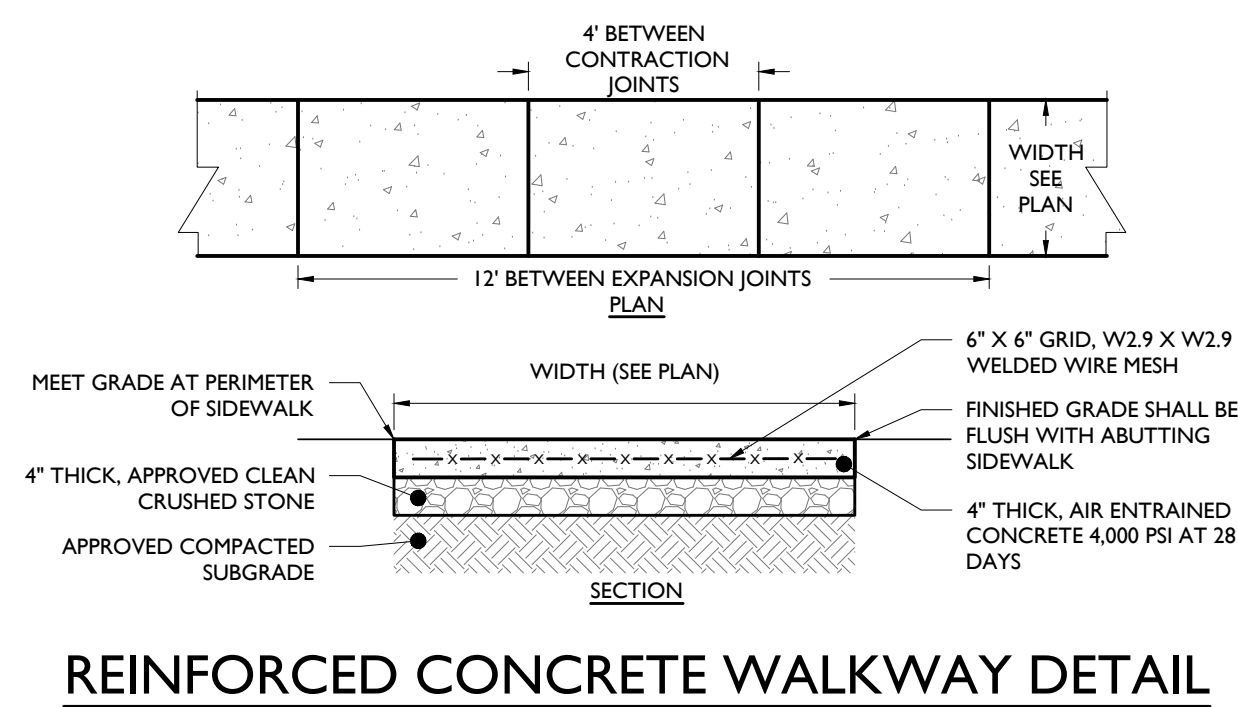
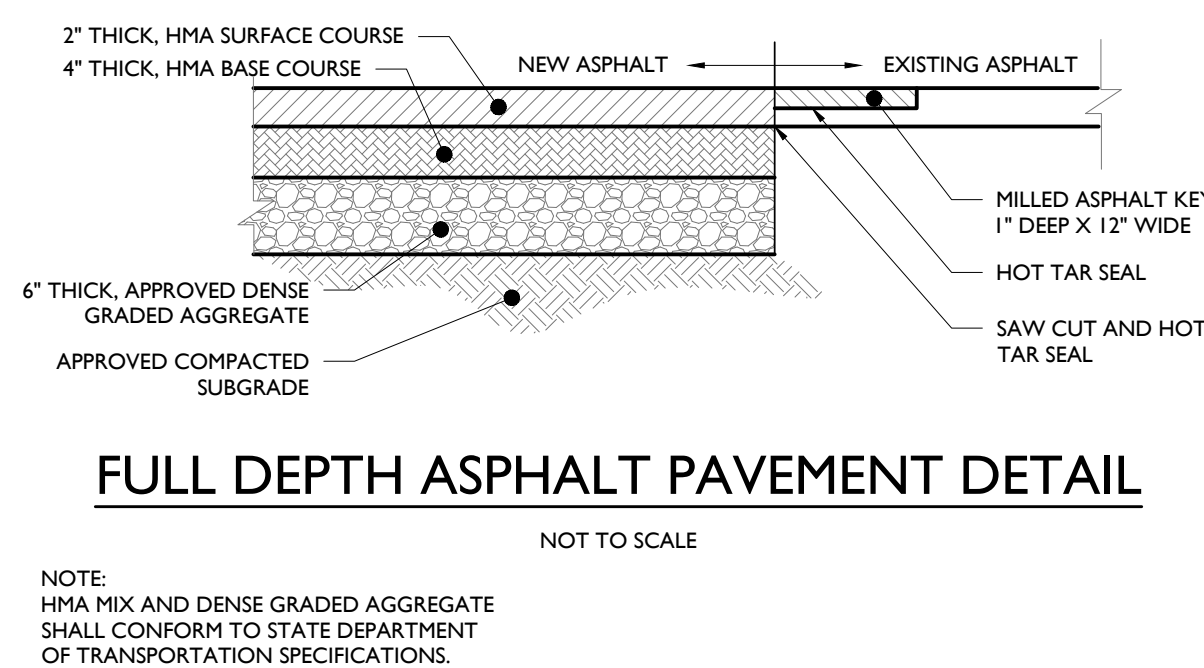
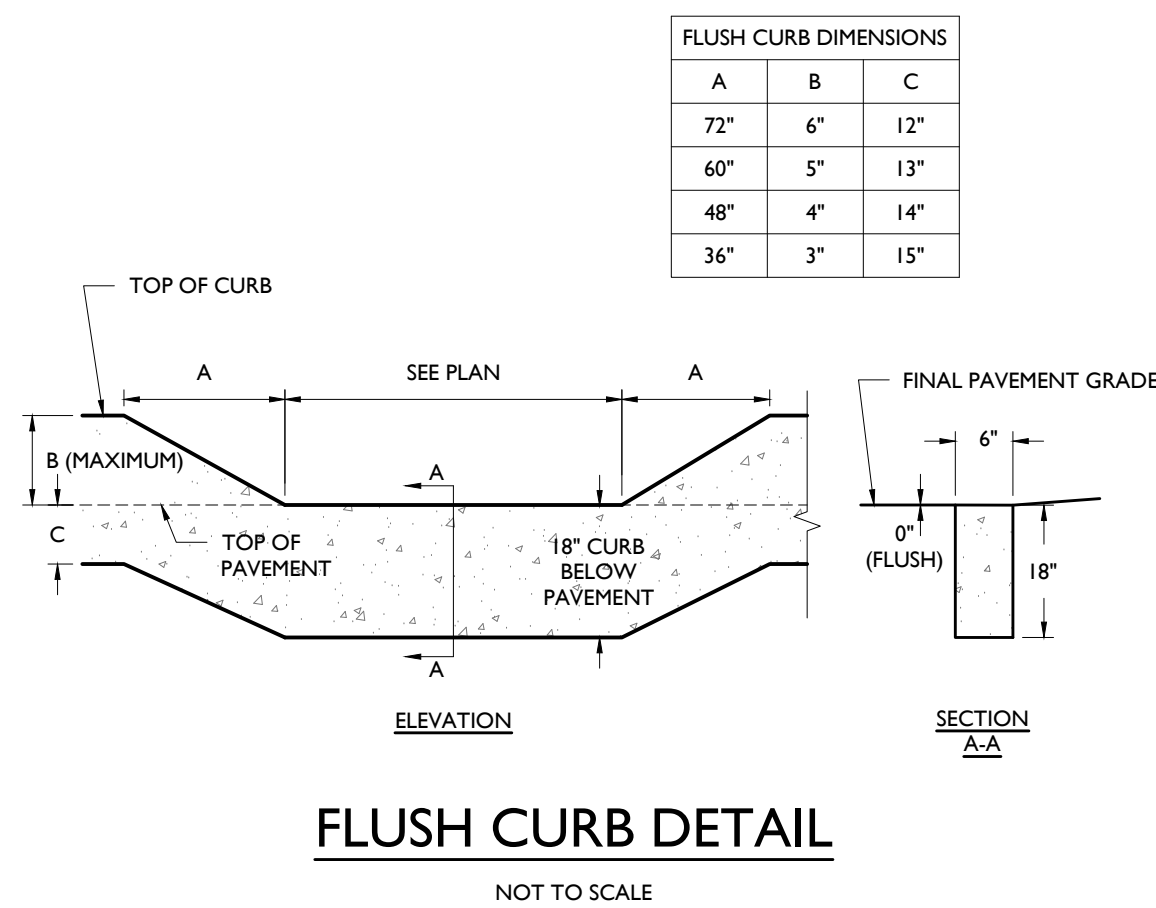
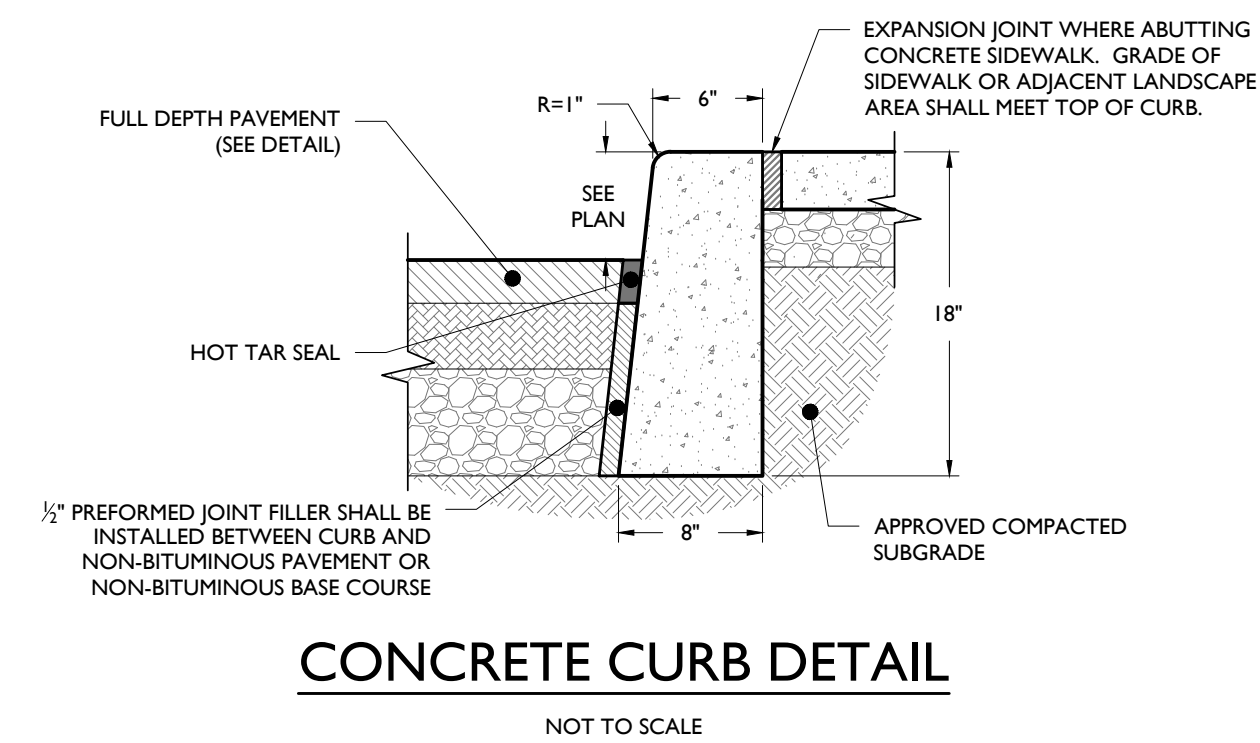
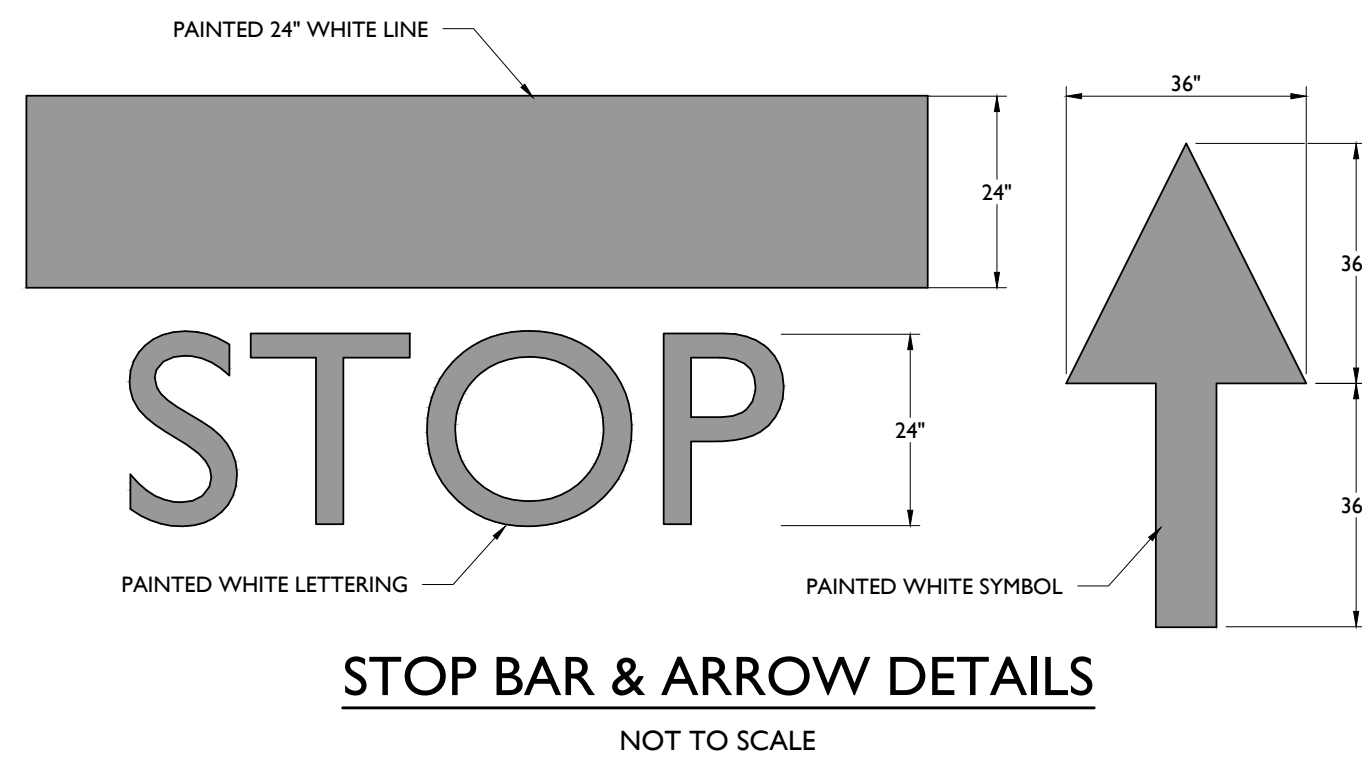
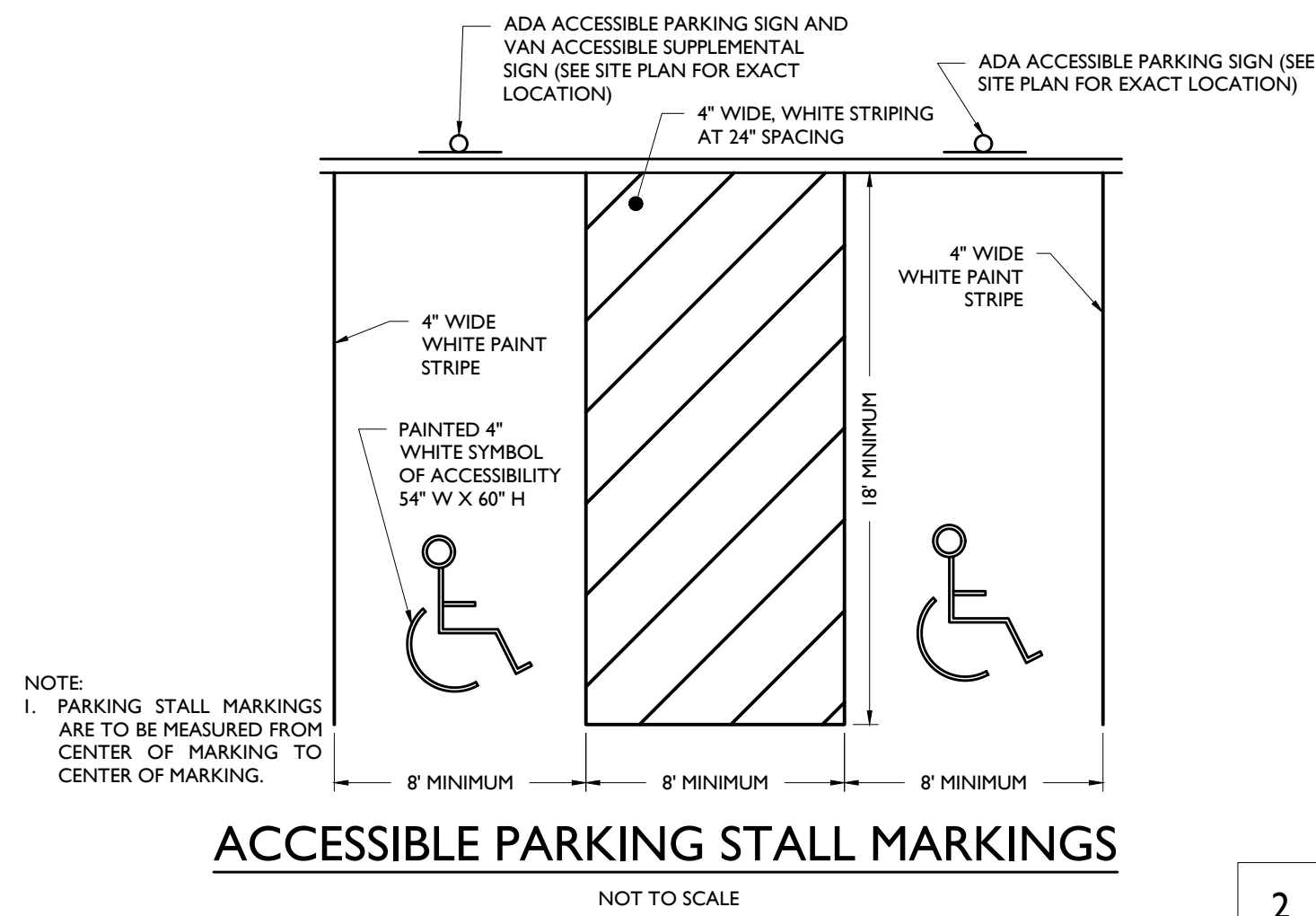
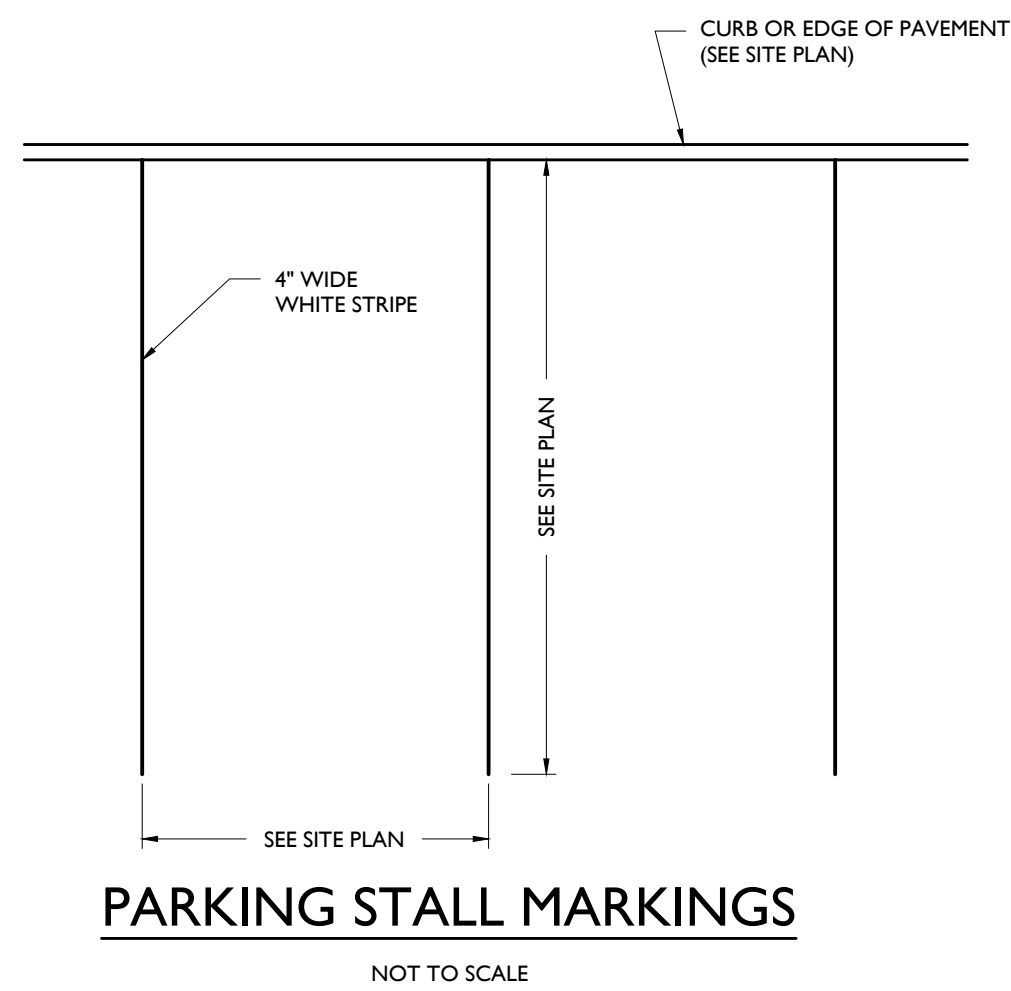
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO PROVIDE A DESIGN FOR WATER PRESSURE MONITORING DEVICES MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITH HARDSCAPE AREAS.

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. IN AN UNDISTURBED GRASSY OR DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. IN LANDSCAPED AREAS, SLOPEABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AN UNDISTURBED AREA PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPED AREAS.

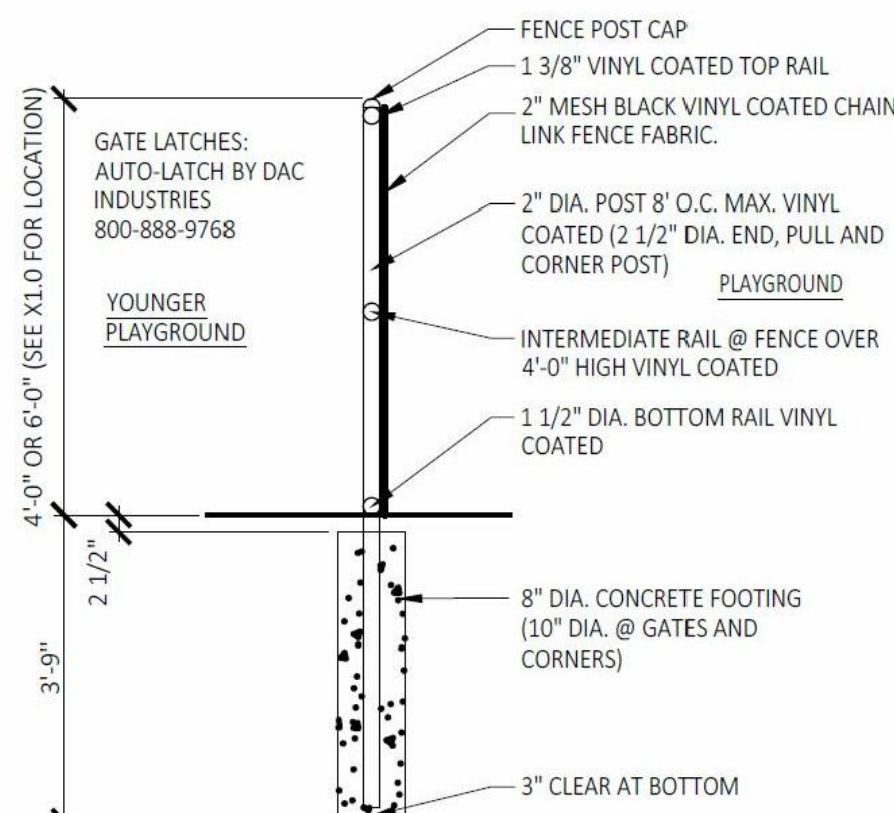
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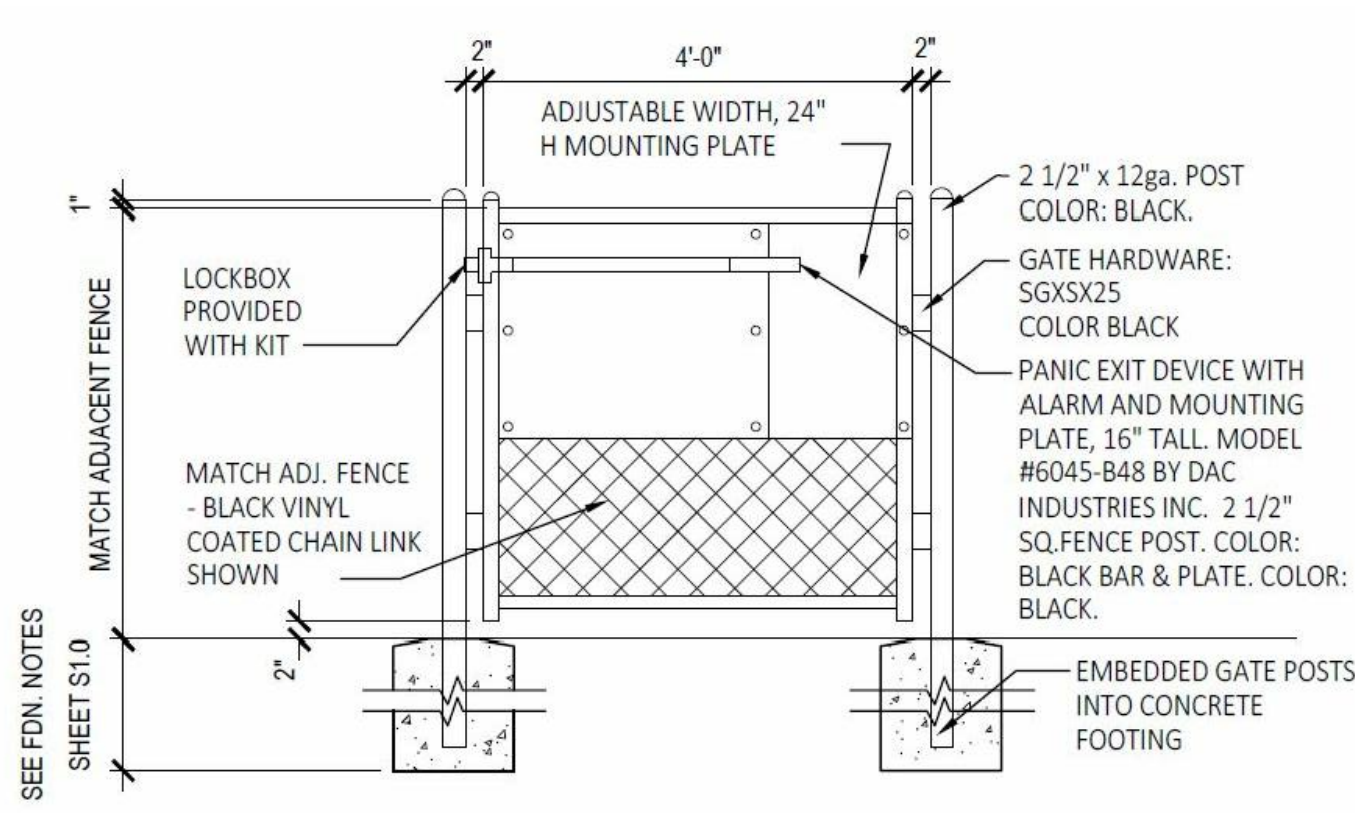
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND



VINYL CHAIN LINK FENCE DETAIL

NOT TO SCALE

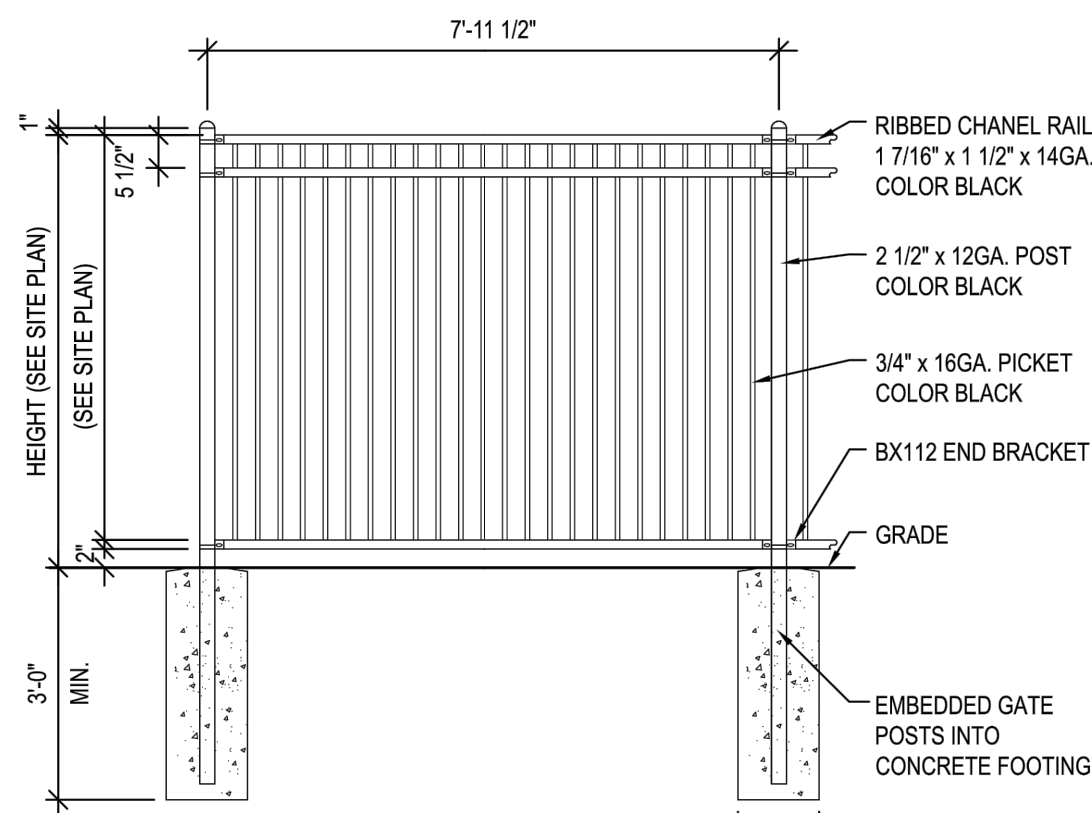
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VINYL COATED CHAIN LINK FENCE GATE DETAIL

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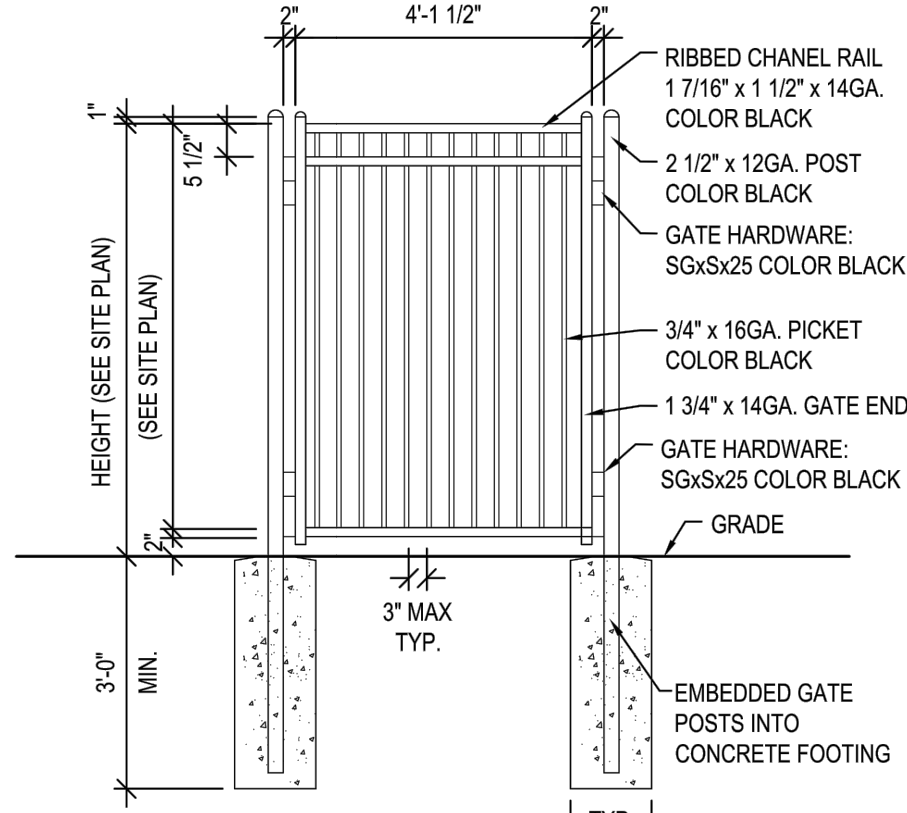
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ORNAMENTAL FENCE DETAIL

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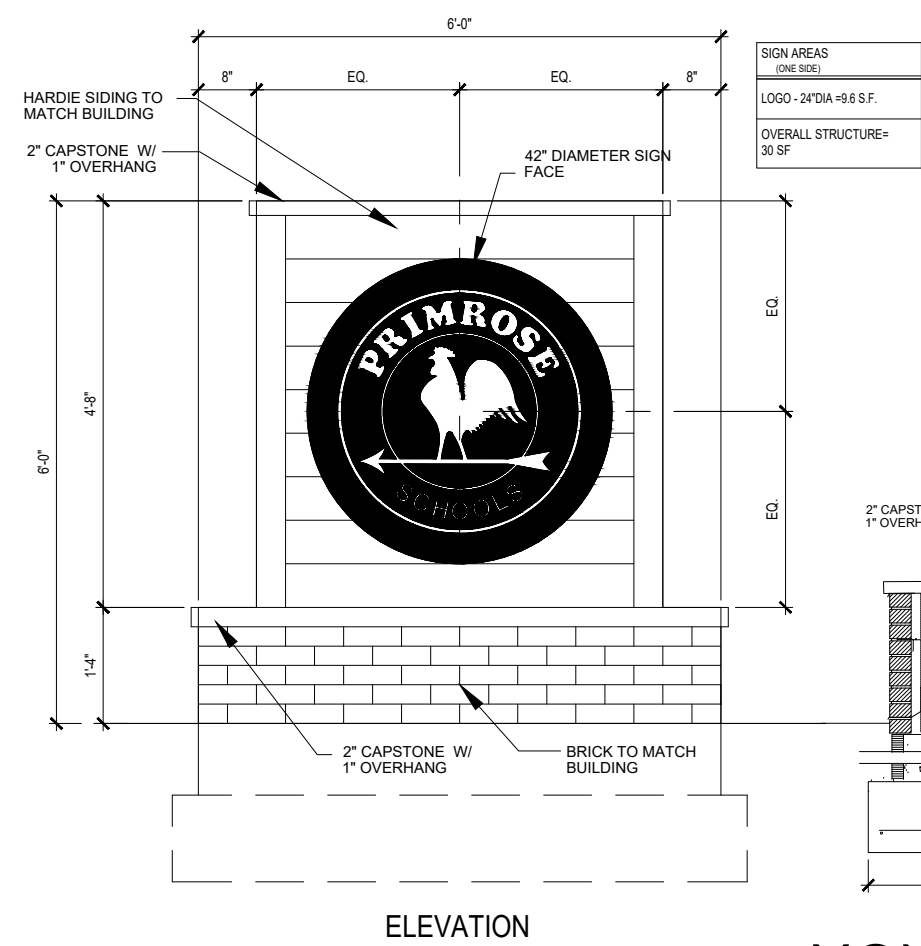
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ORNAMENTAL FENCE GATE DETAIL

NOT TO SCALE

4

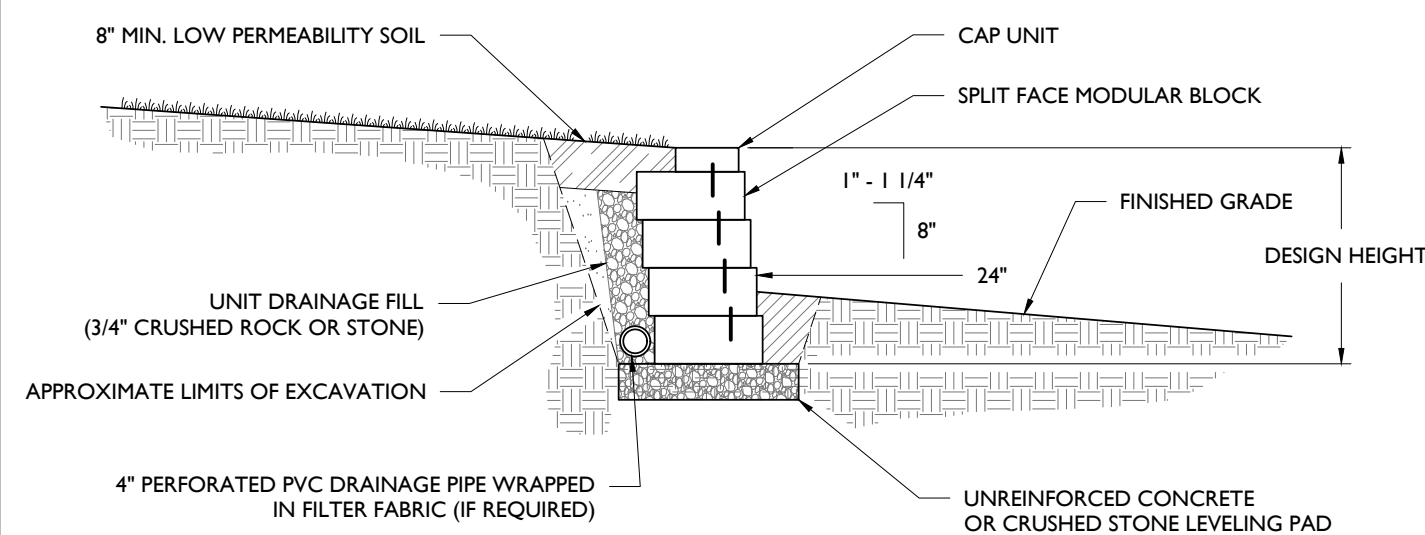


ELEVATION

MONUMENT SIGN DETAIL

NOT TO SCALE

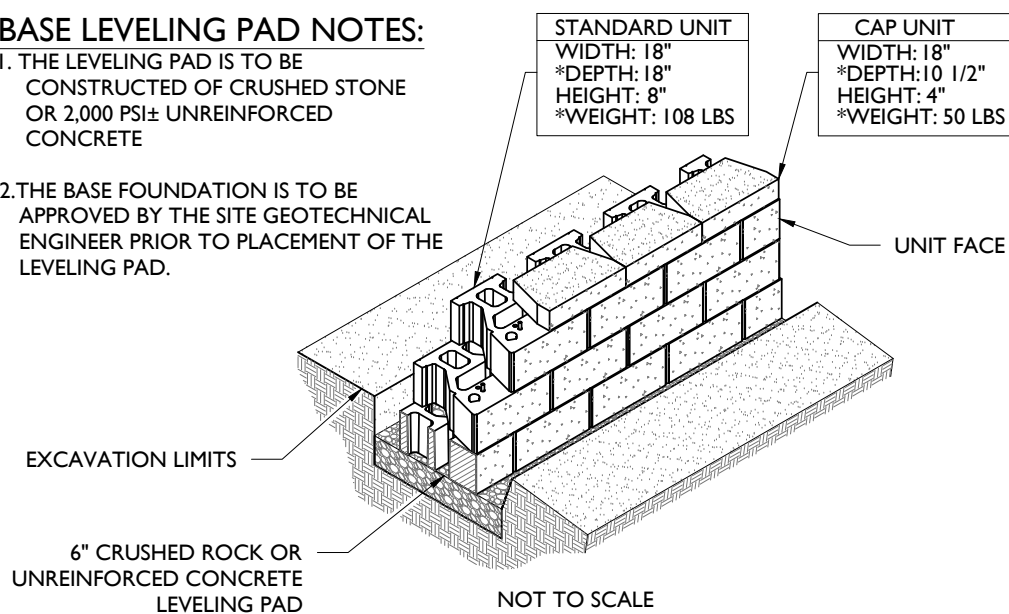
5



TYPICAL GRAVITY WALL SECTION
STANDARD UNIT - 1" SETBACK

BASE LEVELING PAD NOTES:
1. THE LEVELING PAD IS TO BE CONSTRUCTED OF CRUSHED STONE OR 2,000 PSI UNREINFORCED CONCRETE.

2. THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE LEVELING PAD.

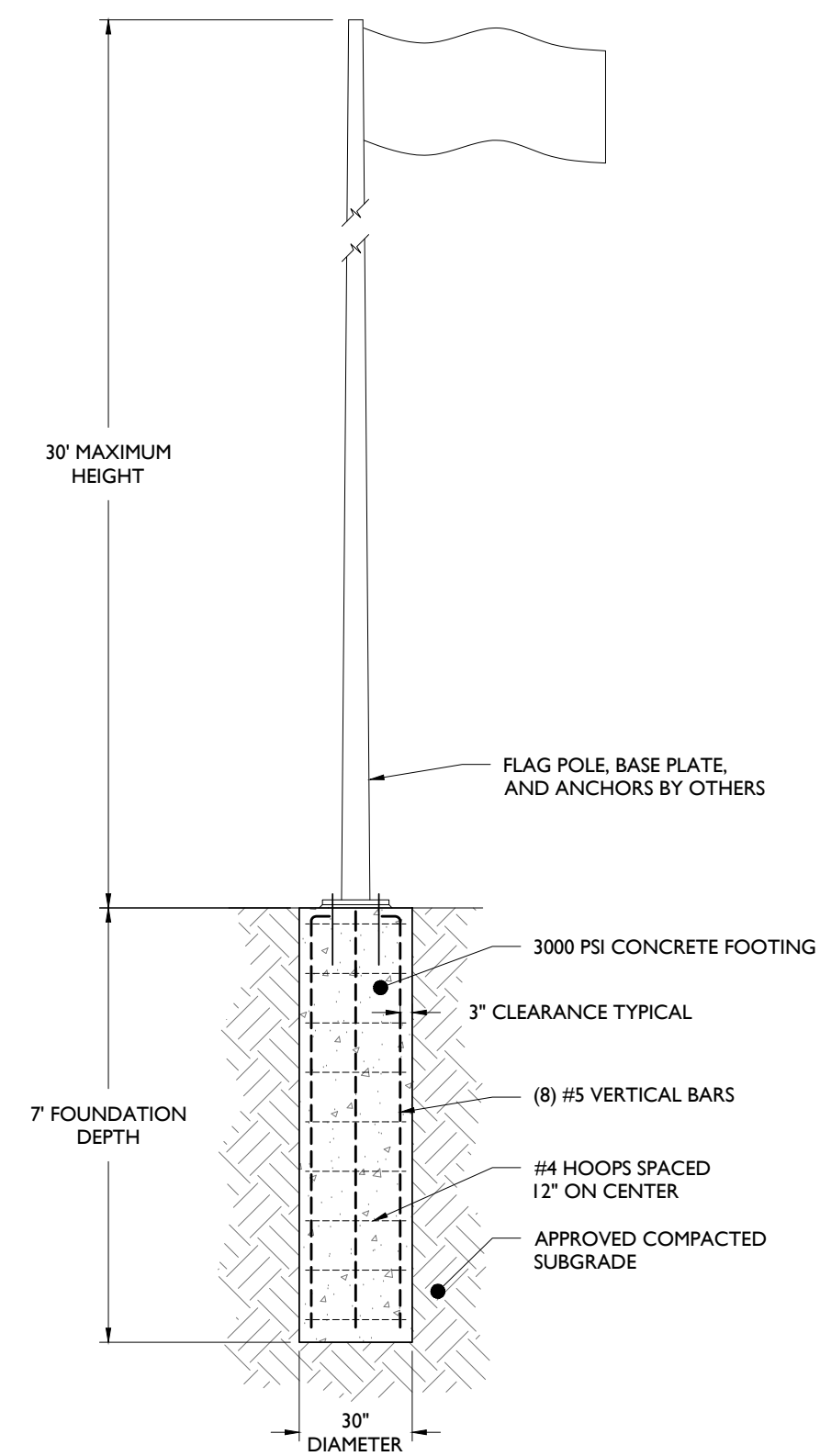


BLOCK WALL DETAIL

NOT TO SCALE

NOTES:
1. RETAINING WALL DESIGN PLANS TO BE PREPARED BY LICENSED PROFESSIONAL IN THE STATE OF NEW JERSEY.
2. KEYSTONE WALL SYSTEM, OR APPROVED EQUIVALENT, TO BE CONSTRUCTED.

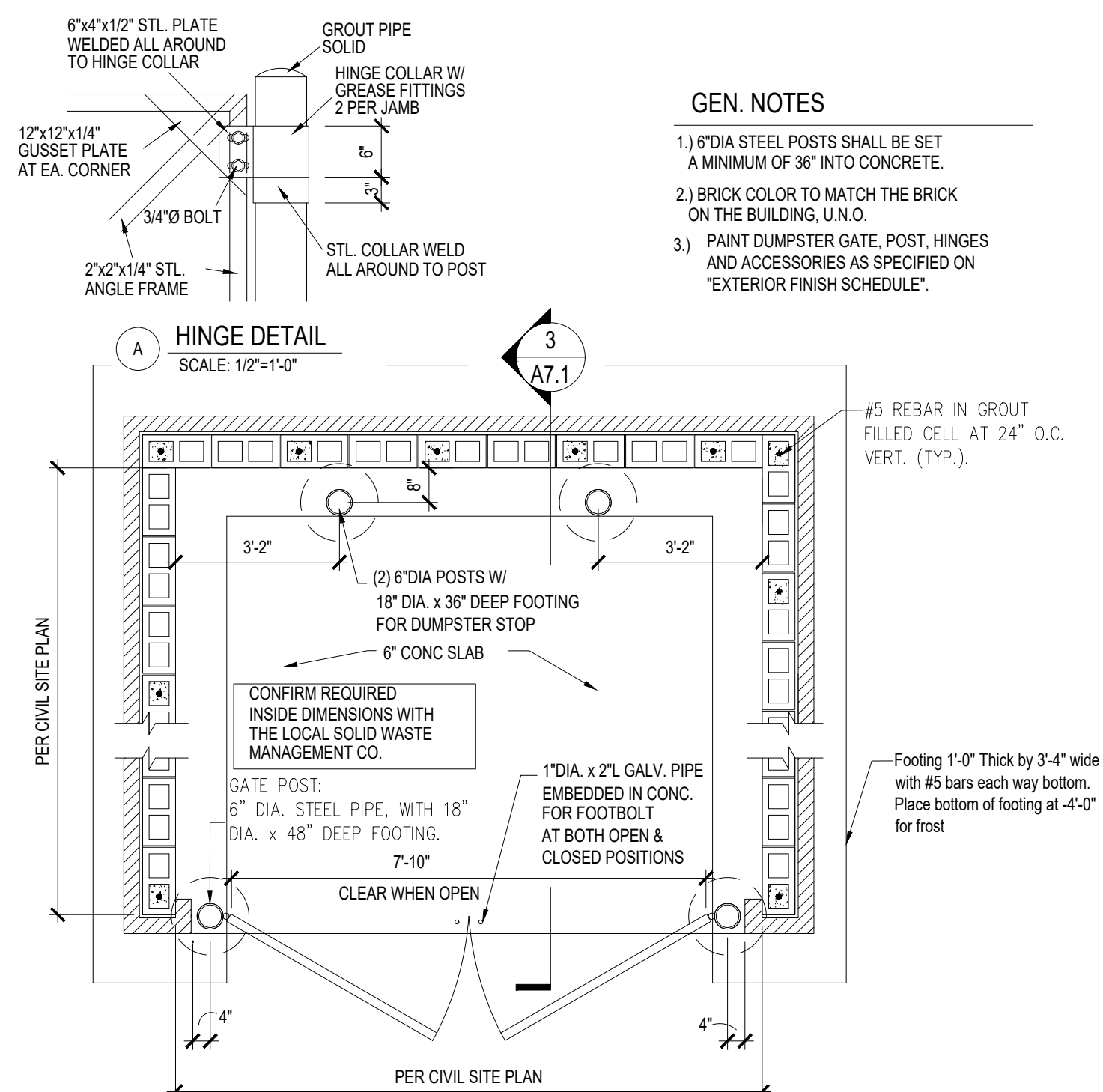
6



FLAG POLE FOOTING DETAIL

NOT TO SCALE

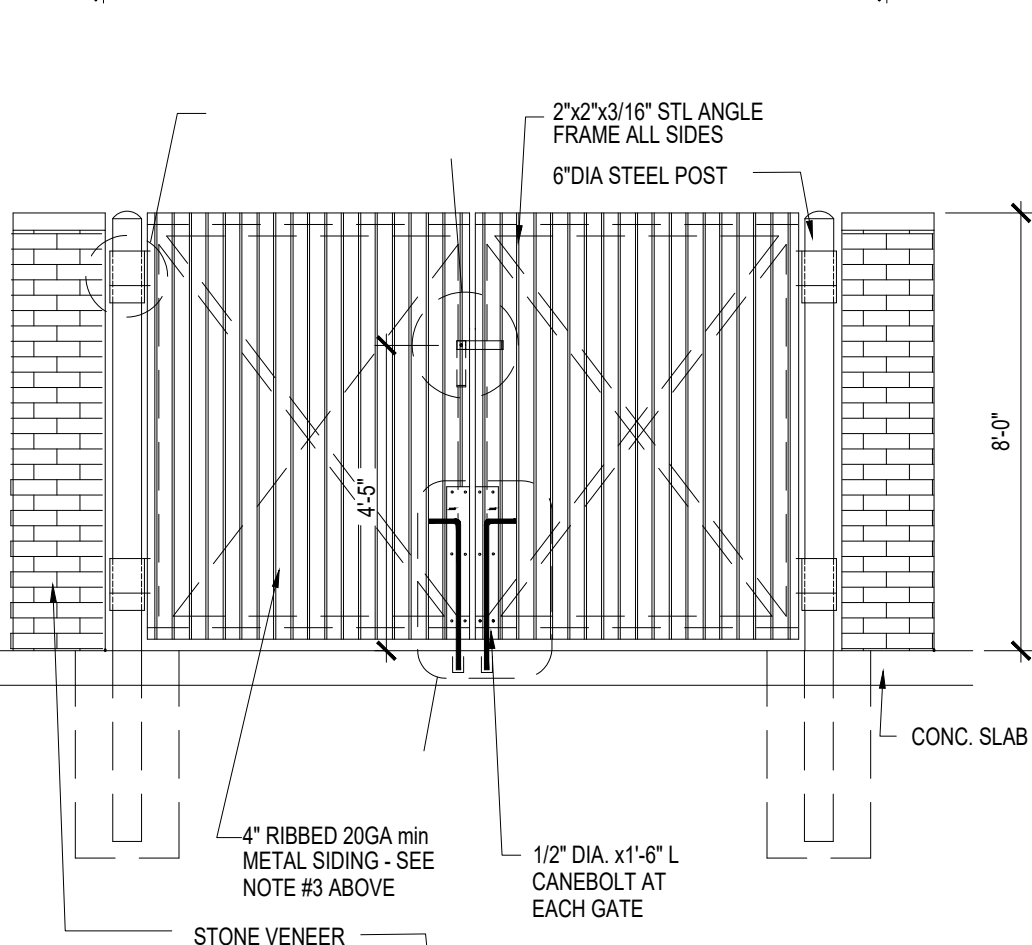
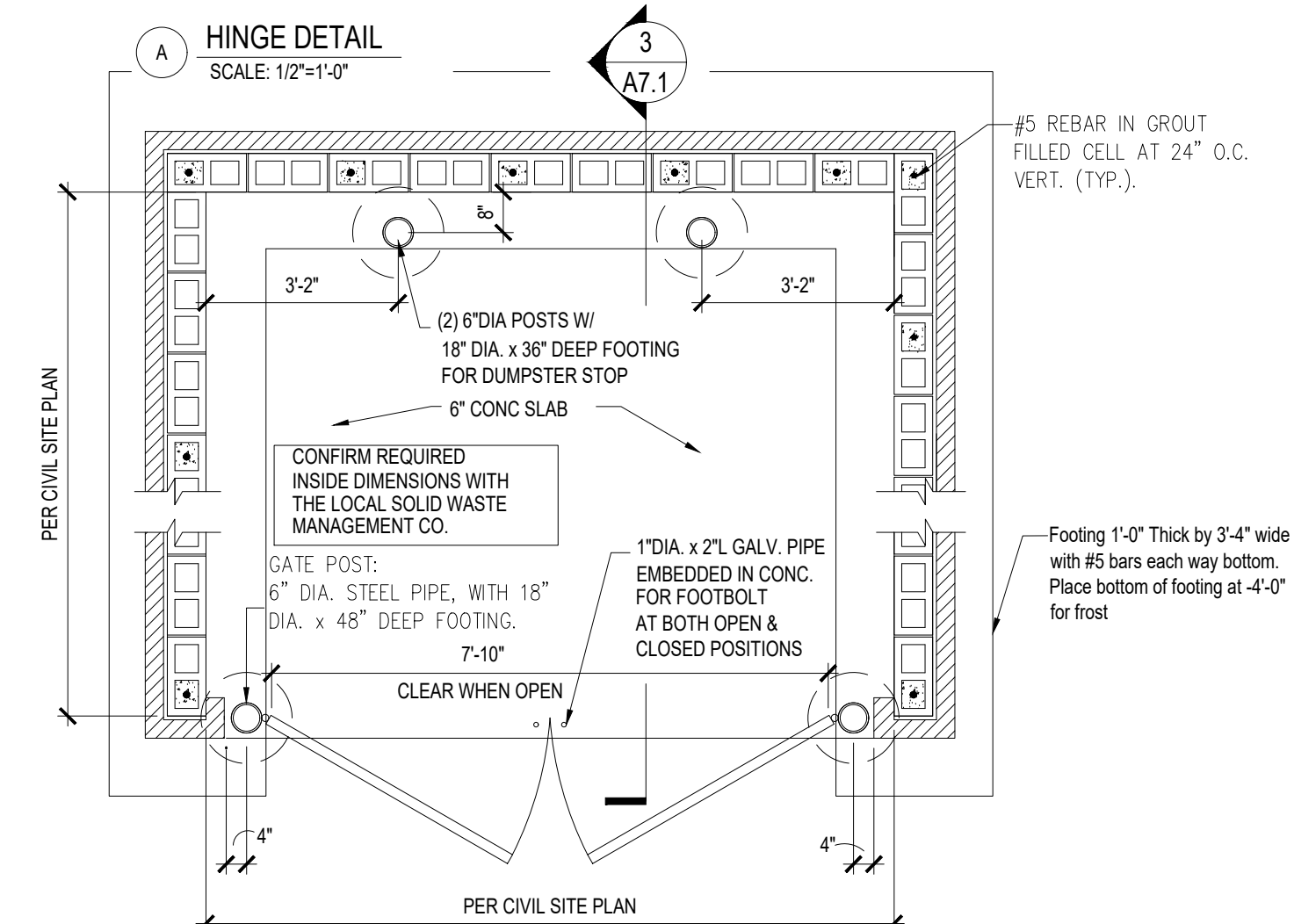
7



HINGE DETAIL

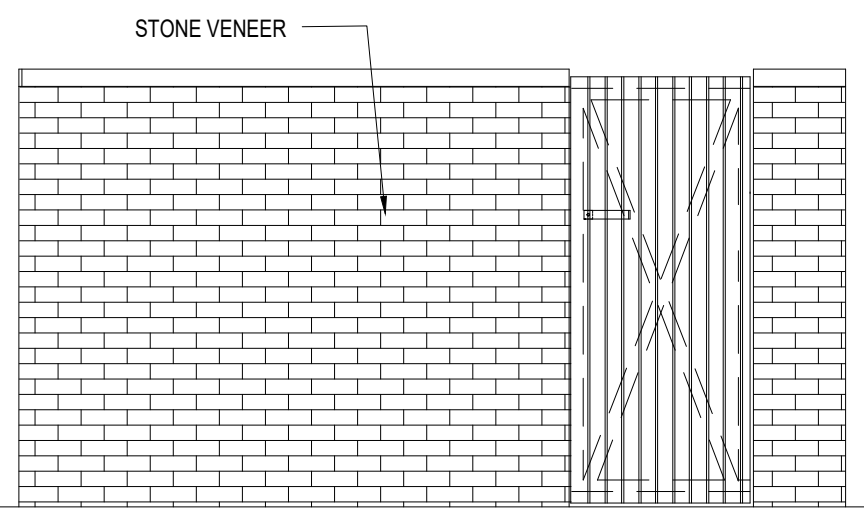
SCALE: 1/2"=1'-0"

GEN. NOTES
1) 6" DIA STEEL POSTS SHALL BE SET A MINIMUM OF 36" INTO CONCRETE.
2) BRICK COLOR TO MATCH THE BRICK ON THE BUILDING, U.N.O.
3) PAINT DUMPSTER GATE, POST, HINGES AND ACCESSORIES AS SPECIFIED ON "EXTERIOR FINISH SCHEDULE".



REAR ELEVATION

LEFT SIDE ELEVATIONS ARE SIMILAR



RIGHT SIDE ELEVATION

TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE

8

NOT APPROVED FOR CONSTRUCTION

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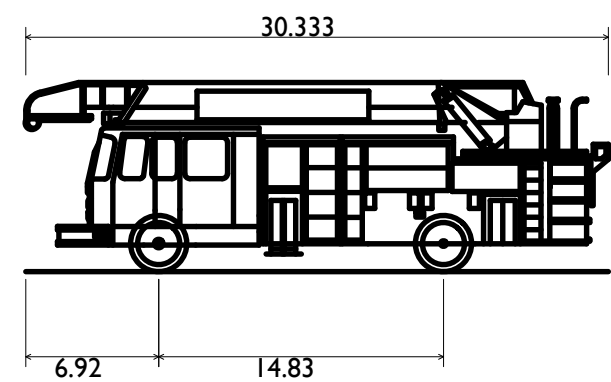
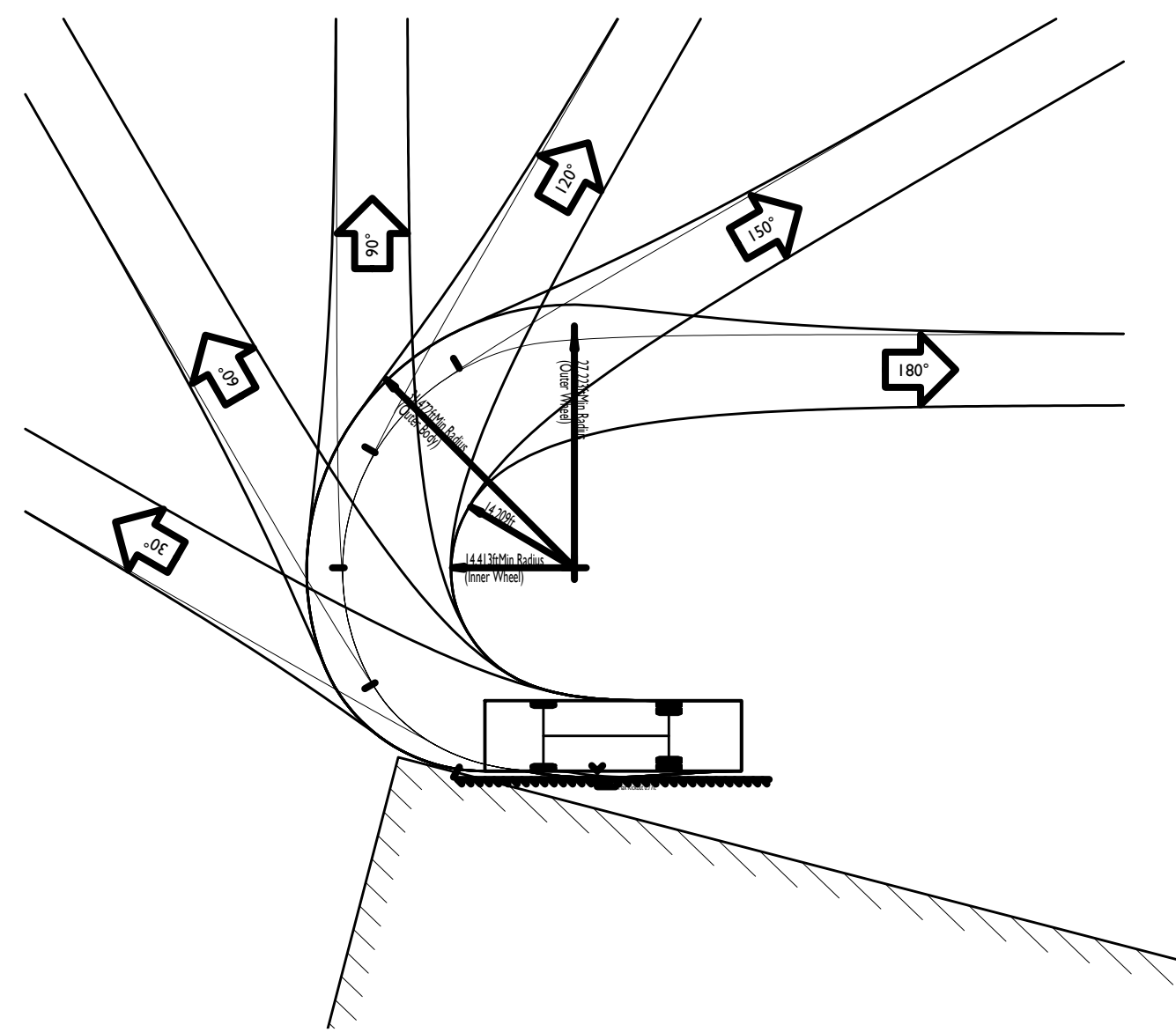
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TITLE:

CONSTRUCTION
DETAILS

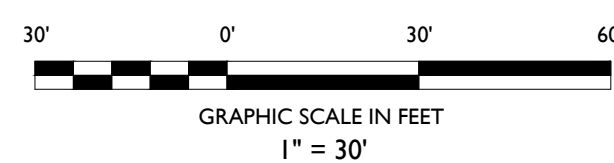
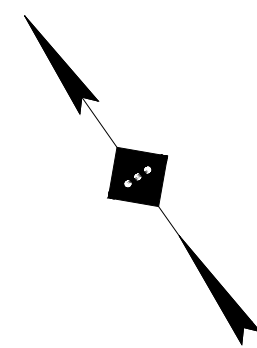
DRAWING:

C-13



E-ONE Typhoon
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

30.333ft
8.333ft
9.851ft
0.920ft
8.333ft
6.00s
45.00°

[illegible]