

SITE PLAN

100 AND 110 EAST CENTRAL STREET

THE 122 AND 138 EAST CENTRAL STREET PROPERTIES ARE LOCATED WITHIN A COMMERCIAL I ZONE.

	REQUIREMENTS:	EXISTING	PROPOSED
AREA:	5,000 S.F.	56,329± S.F.	56,329± S.F.
FRONTAGE:	50'	245.1'	245.1'
DEPTH:	50'	176.5'	176.5'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	3 STORIES < 40' **
WIDTH:	45'	> 45'	> 45'
SETBACKS			
FRONT:	20' *1	31.3'	20.5'
SIDE WEST:	10' *14	15.0'	15.0'
SIDE EAST:	10' *14	14.7'	10.4'
REAR:	15'	114.5'	120.4'
COVERAGE			
STRUCTURES:	80%	11.7%	18.2%
STRUC. & PAVING:	90%	34.1%	64.9%

LOT COVERAGE BASED ON UPLAND AREA.

**REFER TO ARCHITECTURAL PLANS FOR BUILDING HEIGHT.

*1 - BUT NO NEW STRUCTURE SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN EXISTED ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.

*14 - THE 10-FOOT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF THE LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT, A 20-FOOT SETBACK IS REQUIRED ON THE ABUTTING SIDE.

*15 - BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

REQUIREMENTS FOR 100 AND 110 EAST CENTRAL STREET ZONE COMMERCIAL I EXISTING AND PROPOSED LOT AREA, FRONTAGE, DEPTH, WIDTH AND COVERAGE BASED ON THE LOTS BEING COMBINED.

BUILDING HEIGHT, AND SETBACKS BASED ON EXISTING AND PROPOSED BUILDINGS LOCATED ON 100 AND 110 EAST CENTRAL STREET.

PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT. THE PROPERTY IS LOCATED IN A ZONE C BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.



LOCUS MAP
SCALE: 1" = 100'

DRAWING INDEX:

1. COVER SHEET
 2. EXISTING CONDITIONS PLAN
 3. SITE LAYOUT PLAN
 4. SITE GRADING AND UTILITY PLAN
 5. PLANTING PLAN
 6. EROSION CONTROL PLAN
 7. CONSTRUCTION DETAILS - 1
 8. CONSTRUCTION DETAILS - 2
 9. CONSTRUCTION DETAILS - 3
 10. CONSTRUCTION DETAILS - 4
- SITE LIGHTING-LIGHTING PLAN, PHOTOMETRICS AND SCHEDULES BY SK & ASSOCIATES

REFERENCES:
ASSESSORS MAP 286 PARCELS 30 AND 31
DEED BOOK 38897 PAGE 557
CERTIFICATE NUMBER 209218

PLAN 19290B
PLAN IN BOOK 1091 PAGE 108
PLAN 3334 OF 1913

OWNERS:
100 EAST CENTRAL STREET RE, LLC
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

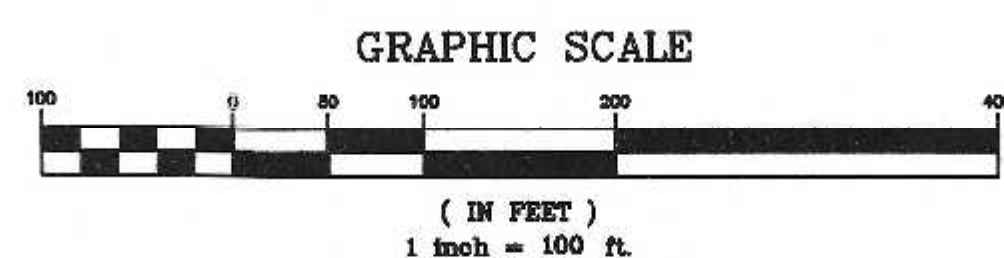
- WAIVER REQUESTS:
1. TO ALLOW THE USE OF PVC AND HPDE PIPE FOR THE ROOF DRAINS AND UNDERGROUND STORMWATER STORAGE AREA.
 2. TO ALLOW SITE LIGHTING TO EXTEND PAST THE PROPERTY LINE.

- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

SITE PLAN
COVER SHEET
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY



DATE	FIELD BY:	INT.
7/23	BL	BL
BK#	FIELD BOOK	PG#
1/24	RRG	RRG
1/24	RRG	RRG
1/24	COMP	COMP
1/24	CAQ	CAQ

UNITED CONSULTANTS INC.

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-884-8580 FAX 508-884-8586

DATE	JAN. 5, 2024
SCALE	1" = 100'
PROJECT	UC1587
SHEET	1 of 10

- NOTES:
- ELEVATIONS DATUM NGVD 1929.
 - EXISTING CONDITIONS SURVEY WAS COMPLETED BETWEEN AUGUST 28, 2020 AND JULY 18, 2023.
 - SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

EXISTING UTILITY NOTE:
SEWER, DRAIN AND WATER LOCATIONS AND ELEVATIONS WERE TAKEN FROM PLANS OF RECORD AND ARE NOT THE RESULT OF A FIELD SURVEY.

LEGEND:

- 297- EXISTING CONTOUR
- 297- PROPOSED CONTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX SPOT GRADE - EXISTING
- 48M EXIST. TREE - DIAMETER - SPECIES
- UTILITY POLE
- OVERHEAD WIRES
- GAS GATE
- WATER CURB STOP
- WATER GATE
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- Handicap Parking Space
- Building Mounted Light
- B BOLLARD
- M MONITOR WELL

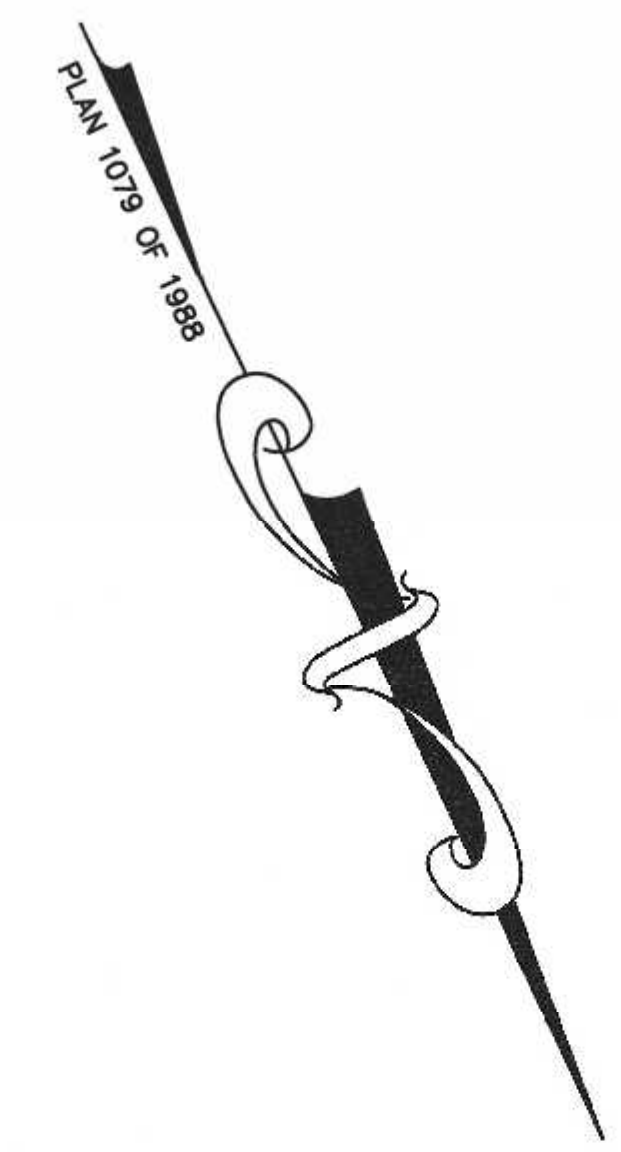
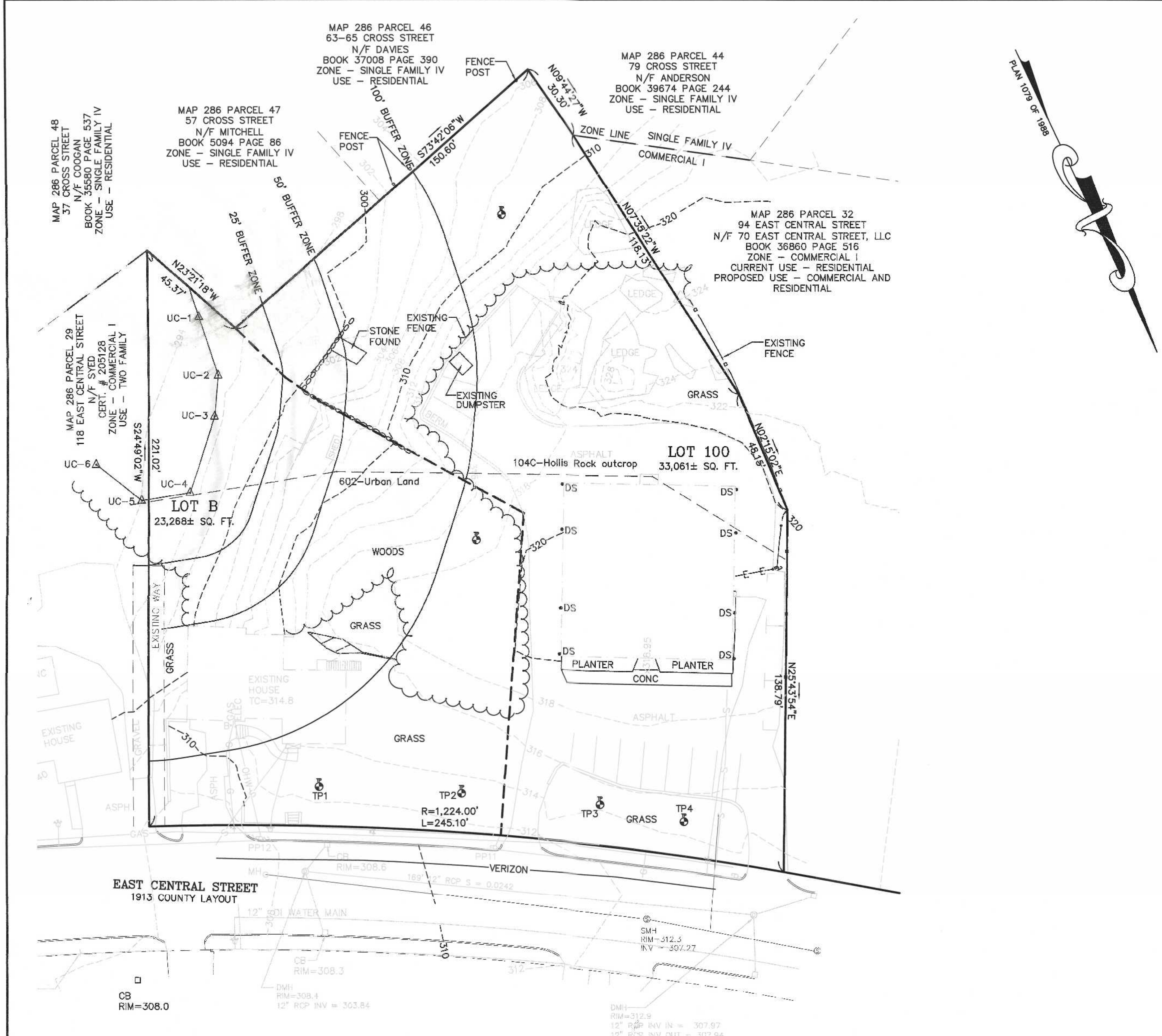
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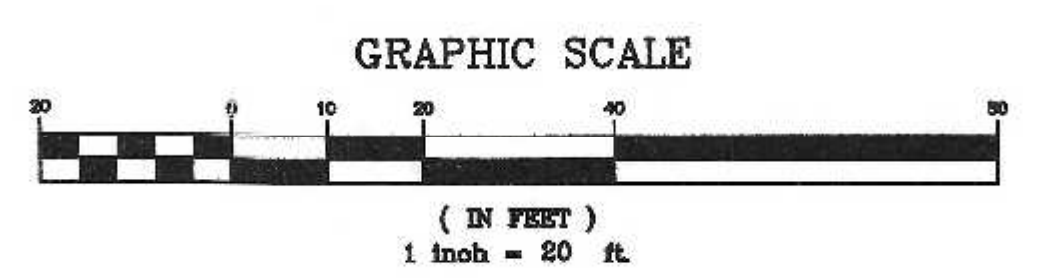
SITE PLAN
EXISTING CONDITIONS PLAN
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
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FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'



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1/24	RRG	
1/24	DESIGNED BY:	RRG
1/24	DRAWN BY:	COMP
1/24	CHECKED BY:	ACM

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8560 FAX 508-384-8586

DATE	JAN. 5, 2024
SCALE	1" = 20'
PROJECT	UC1587
SHEET	2 of 10

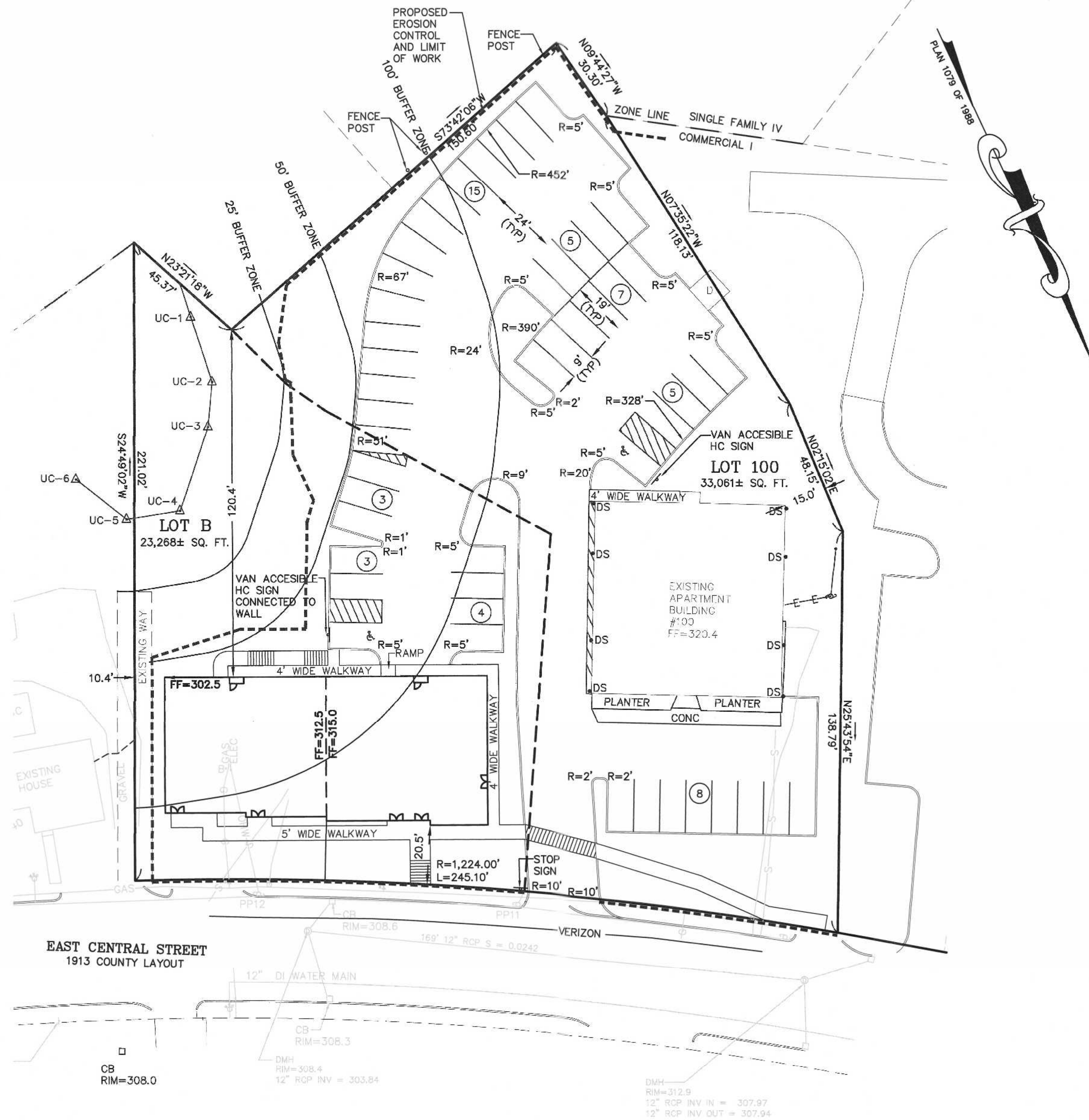


NO.	DATE	DESCRIPTION	BY

ANDREW C. MURPHY P.L.S. #35042

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE _____



PARKING CALCULATIONS:
 #100 - #110 EAST CENTRAL STREET
 COMMERCIAL I REQUIREMENTS (SECTIONS 185-21B.(2)(a))
 1.5 SPACES PER DWELLING UNIT
 RESIDENTIAL DWELLINGS - 30 x 1.5 = 45

COMMERCIAL I REQUIREMENTS (SECTIONS 185-21B.(2)(b))
 COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500
 SQ. FT. = 500 SQ. FT. / 500 = 1 SPACE REQUIRED

46 SPACES REQUIRED
 50 TOTAL SPACES PROVIDED INCLUDING 2 HANDICAP SPACES.

RESIDENTIAL UNIT DENSITY:
 1 UNIT PER 2,250 SQ. FT.
 56,329 SQ. FT. / 2,250 = 25.03 UNITS
 SEE 185 ATTACHMENT 7 NOTE 3.
 30 DWELLING UNITS PROPOSED (INCLUDING 10 EXISTING UNITS)
 SPECIAL PERMIT REQUIRED.

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 - CATCH BASIN
 - SEWER MANHOLE
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING (REINFORCED)
 - VGC VERTICAL GRANITE CURBING
 - Handicap symbol HANDICAP PARKING SPACE
 - Building mounted light symbol BUILDING MOUNTED LIGHT
 - B BOLLARD
 - M MONITOR WELL

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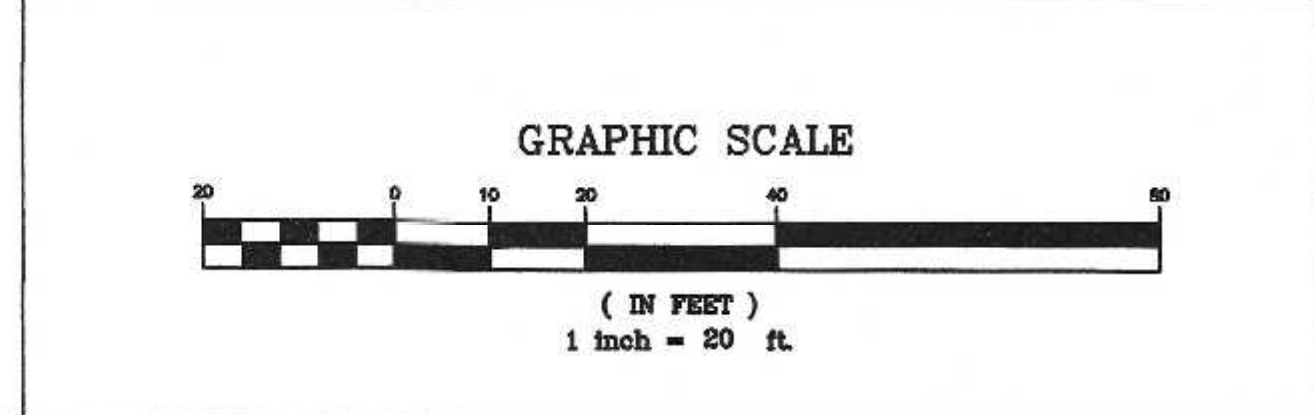
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 FRANKLIN, MASSACHUSETTS

APPLICANT:
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 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
SITE LAYOUT PLAN
 100 & 110 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
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 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 JANUARY 5, 2024
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SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE _____



NO.	DATE	DESCRIPTION	BY

CARLOS A. QUINTAL
 CIVIL
 No. 30812
 REGISTERED PROFESSIONAL ENGINEER

Carlos A. Quintal

DATE	FIELD BY:	INT.
7/23	BL	BL
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1/24	RRG	RRG
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 508-884-6560 FAX 508-884-6566

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 UC1587

SHEET
 3 of 10

OPERATION AND MAINTENANCE PLAN

CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, 110 EAST CENTRAL STREET RE, LLC 1-508-507-9020 SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AND/OR SILT FENCE AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS EXISTING AND PROPOSED AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
9. THE WATER QUALITY UNIT SHALL BE CLEANED WITH A VACUUM TRUCK.

INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENTS ARE TO BE REMOVED.
3. INSPECTIONS OF THE WATER QUALITY UNIT TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1 TO DETERMINE IF CLEANING IS NECESSARY.
6. THE HEADWALL OUTLET RIPRAP SHALL BE INSPECTED WEEKLY AND ANY SEDIMENT OBSERVED SHALL BE IMMEDIATELY REMOVED.

OPERATION AND MAINTENANCE SCHEDULE

CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. THE EXISTING PAVED PARKING AREAS AS WELL THE PROPOSED PARKING AREA ONCE PAVED WILL REQUIRE DAILY INSPECTIONS TO BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS. SILT SAKS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
4. THE WATER QUALITY UNIT SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
5. THE POND SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.
6. IMMEDIATELY UPON COMPLETION OF SITE GRADING ACTIVITIES OF PROPOSED LANDSCAPED AREA, THE AREAS SHALL HAVE LOAM APPLIED AND SHALL BE SEEDED.
7. ALL MATERIAL STOCKPILES THAT ARE NOT BEING ACTIVELY USED FOR A PERIOD OF 2 WEEKS SHALL BE COVERED WITH A TARP(S) OR VEGETATED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

LONG TERM:

1. THE PARKING LOT SHALL BE SWEEP FOUR TIMES PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE WATER QUALITY UNITS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES.
3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

EROSION CONTROL NOTES:

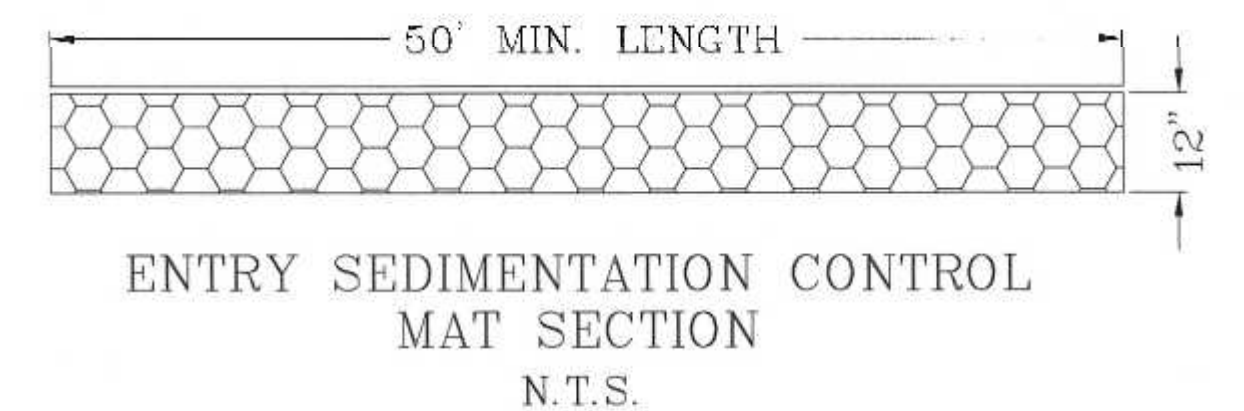
1. COMPOST SOCK AND SILT FENCE SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. COMPOST SOCK AND SILT FENCE TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
3. REFER TO CONSTRUCTION SEQUENCE FOR SLOPE GREATER THAN 3° HORIZONTAL TO 1° VERTICAL.
4. WATER QUALITY UNITS, CATCH BASINS, UNDERGROUND POND AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
5. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
7. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
9. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

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- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- BOLLARD
- MONITOR WELL

CONSTRUCTION SEQUENCE:

1. INSTALL EROSION CONTROL AND SIGN.
2. COMPLETE TREE CLEARING, STUMP REMOVAL AND REMOVE LOAM AND SUBSOIL.
3. REMOVE EXISTING UTILITIES AND RAZE EXISTING BUILDING.
4. EXCAVATE THE FOUNDATION HOLE. FORM AND POUR THE FOUNDATION AND THEN BACKFILL FOUNDATION.
5. INSTALL SITE UTILITIES. THE STORMWATER SYSTEM SHALL BE INSTALLED WITH EXCESS MATERIAL BEING REMOVED FROM THE SITE AND NECESSARY CONSTRUCTION MATERIALS DELIVERED TO THE SITE. MINIMIZE THE USE OF THE MATERIAL STOCKPILE AREA.
6. CONSTRUCT RETAINING WALLS.
7. BRING THE SITE TO SUB GRADE.
8. INSTALL A BINDER COURSE OF PAVING. CONSTRUCT THE SITE WALKWAYS.
9. CURBING SHALL BE INSTALLED.
10. LANDSCAPING SHALL BE PLANTED AND ALL REMAINING DISTURBED AREAS SHALL BE LOAMED AND SEEDED.



- NOTES:
1. PAD SHALL BE A MINIMUM OF 20 FEET IN WIDTH. EXISTING ASPHALT DRIVE TO REMAIN IN PLACE UNTIL FINAL PAVEMENT IS TO BE INSTALLED.
 2. PAD SHALL CONSIST OF 4" STONE 8" MIN. DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.

SITE PLAN
EROSION CONTROL PLAN
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
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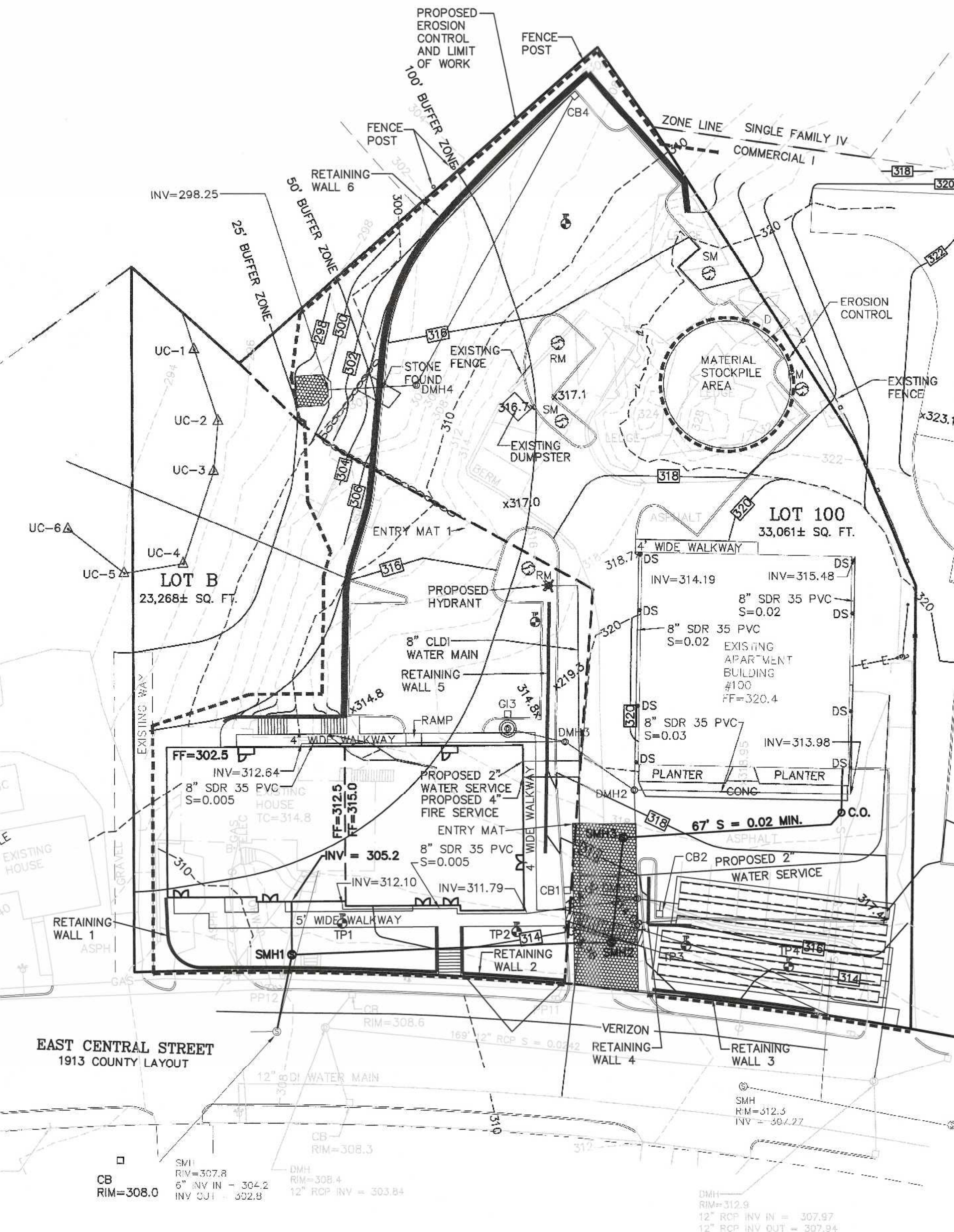
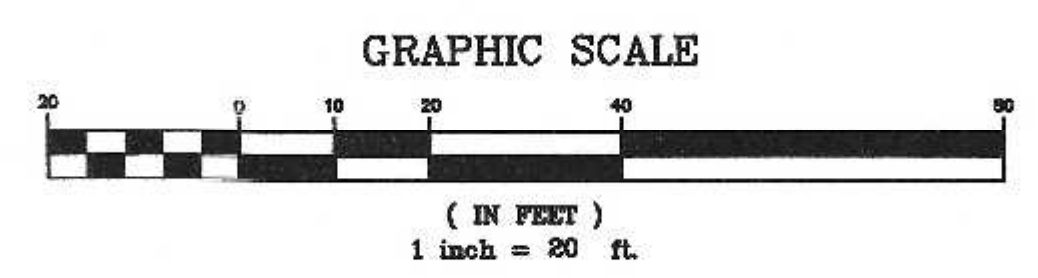
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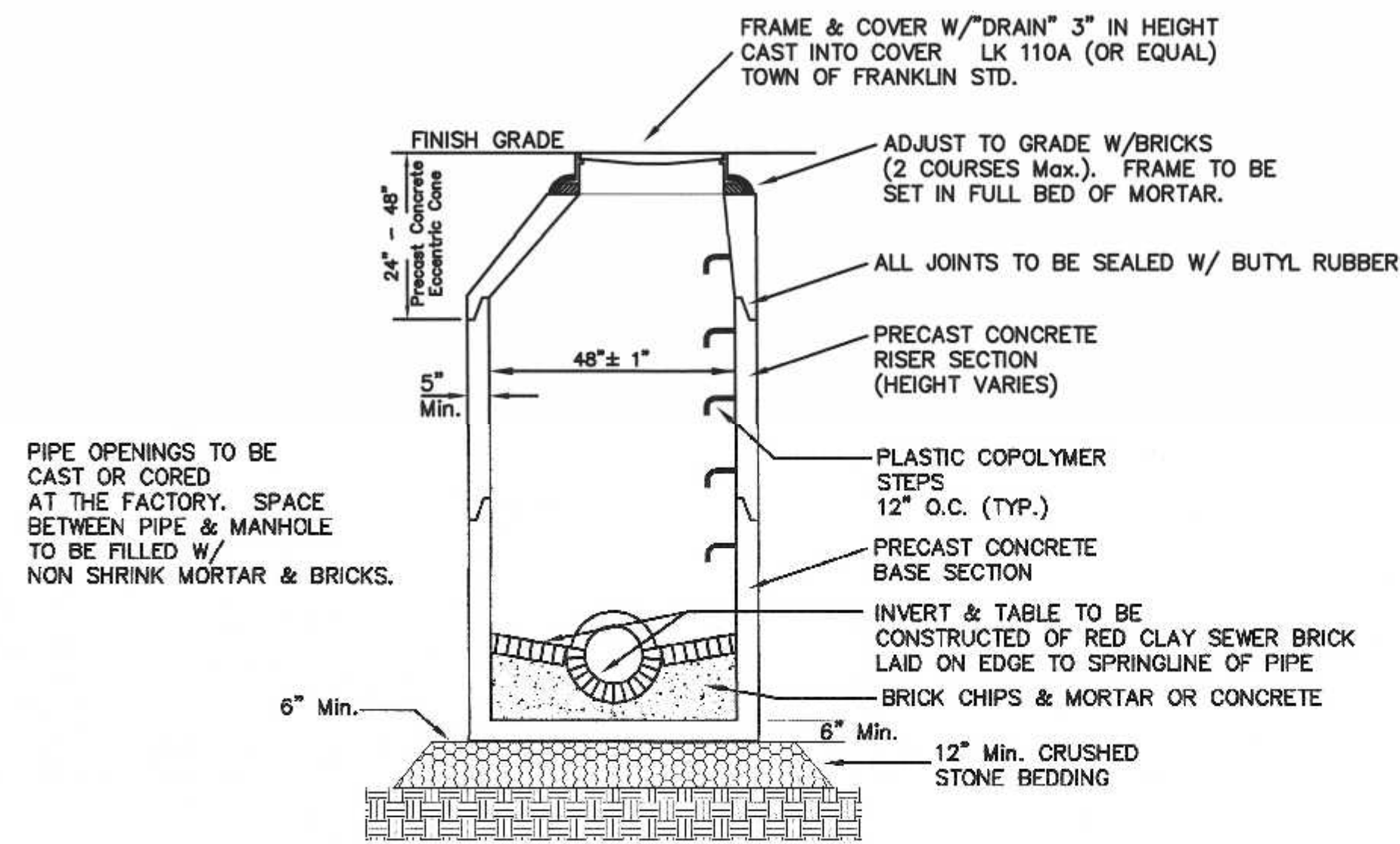
CARLOS A. GUNTAL P.E. #50812

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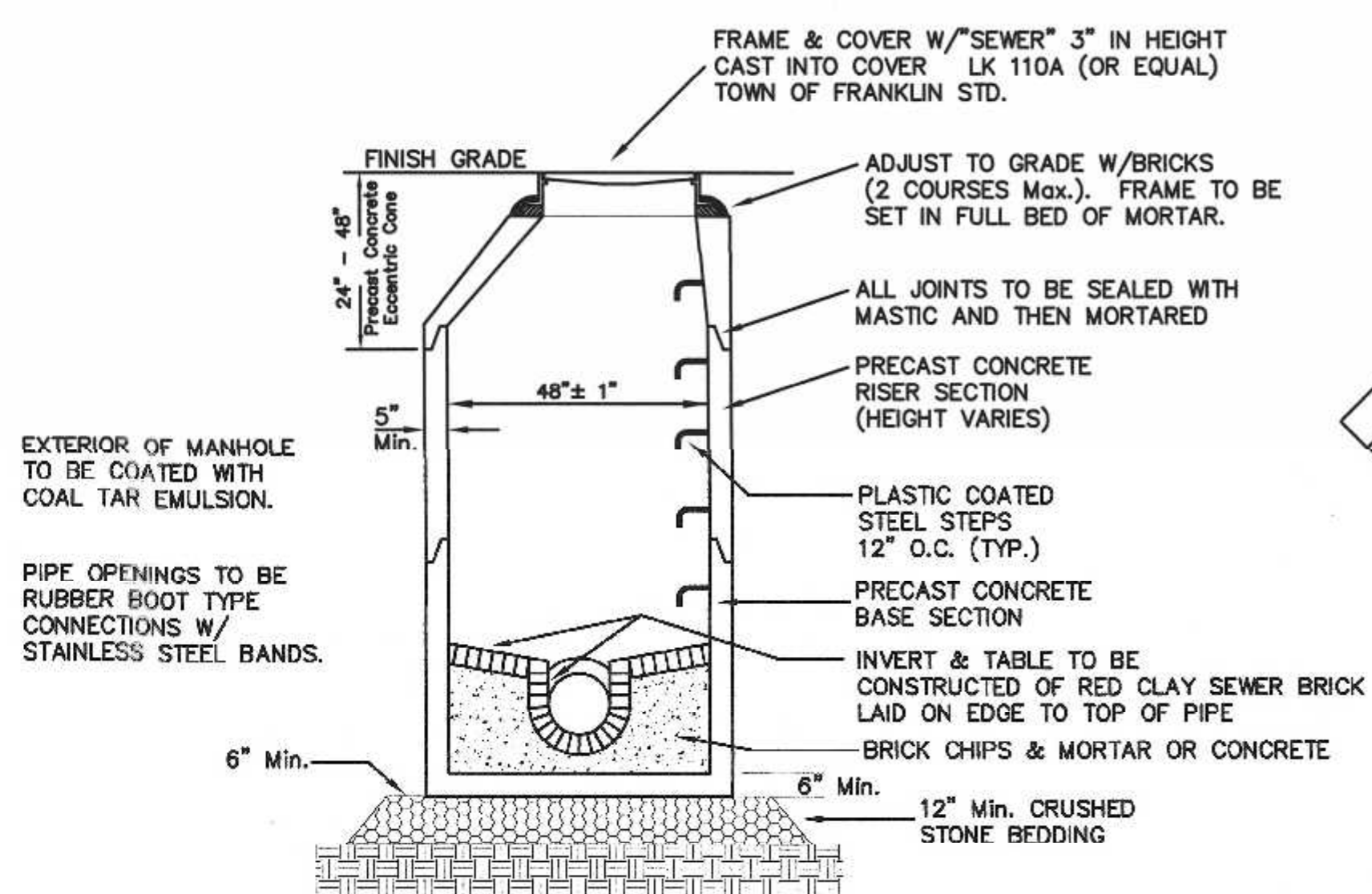


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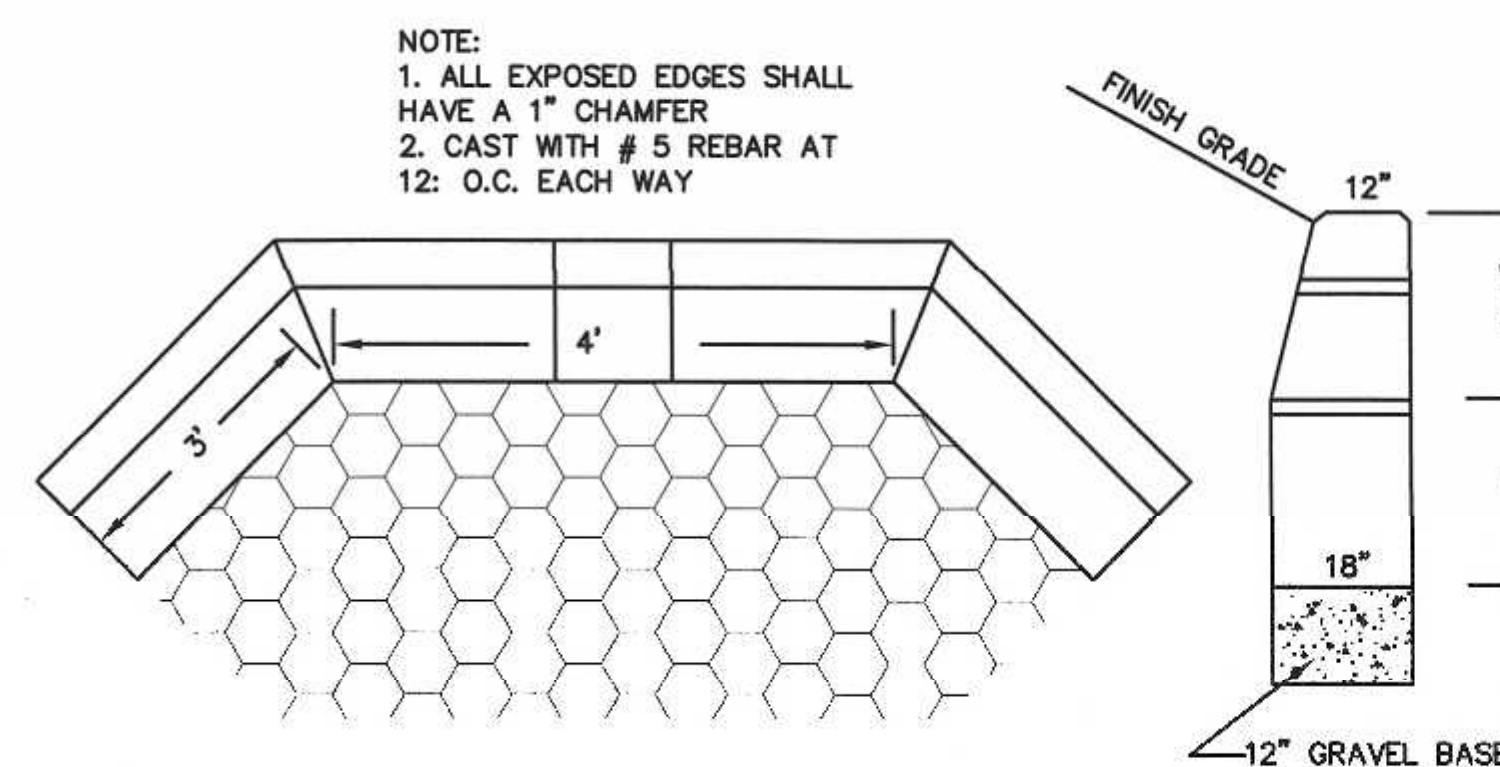
DATE _____



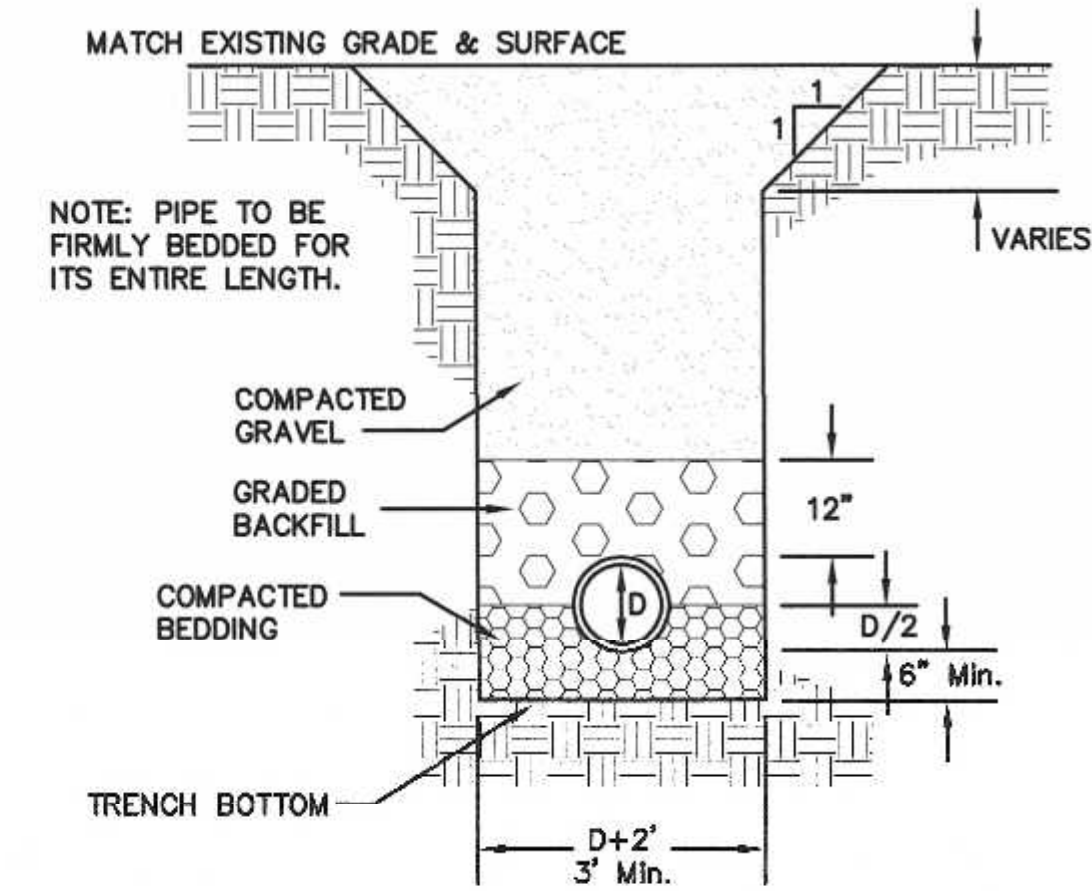
PRECAST DRAIN MANHOLE



PRECAST SEWER MANHOLE

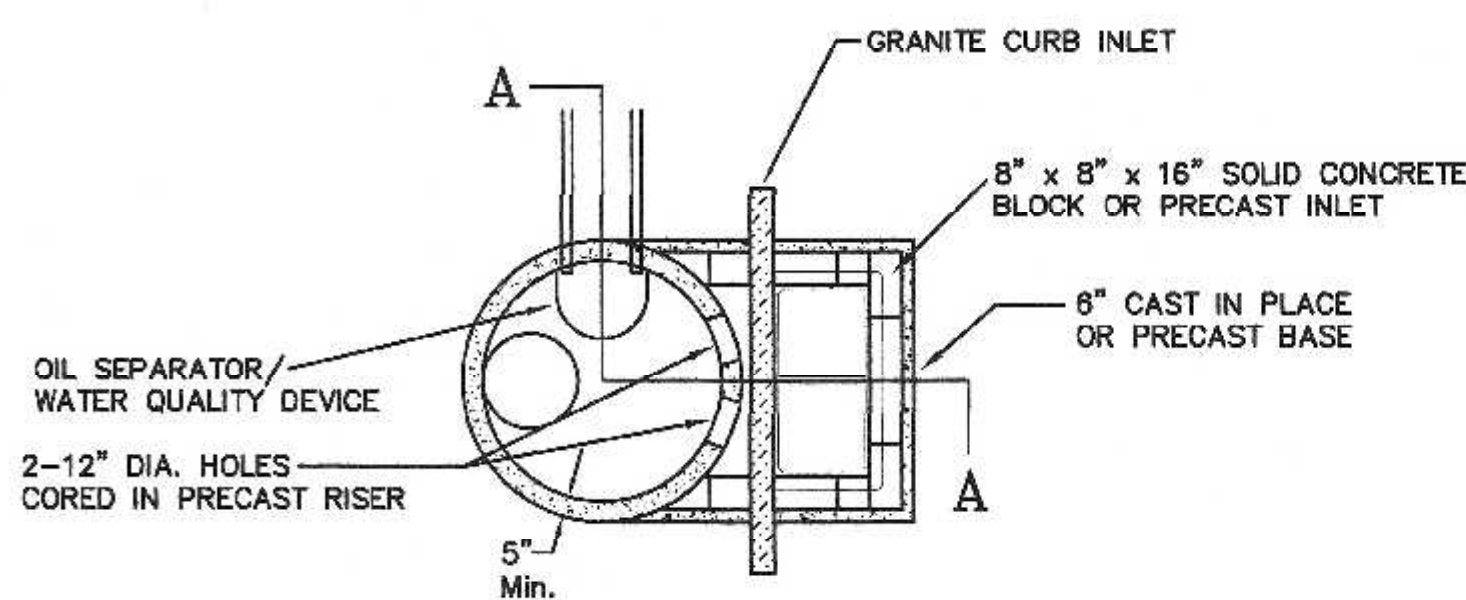


PRECAST HEADWALL
SITUATE COMPANIES OR APPROVED EQUAL



TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING MATERIAL	PROC. GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE	3/8" STONE

UTILITY TRENCH DETAIL

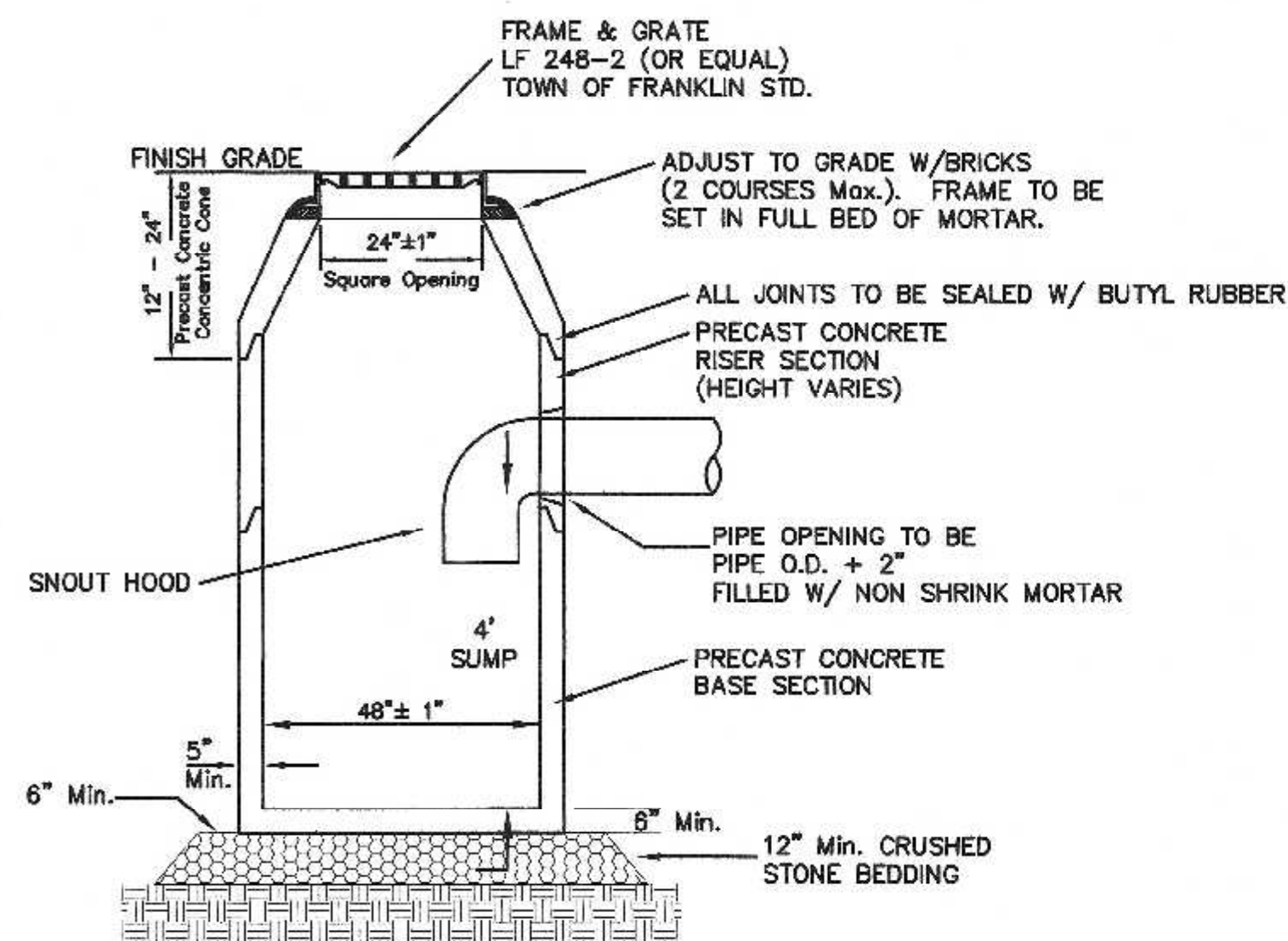


PLAN VIEW

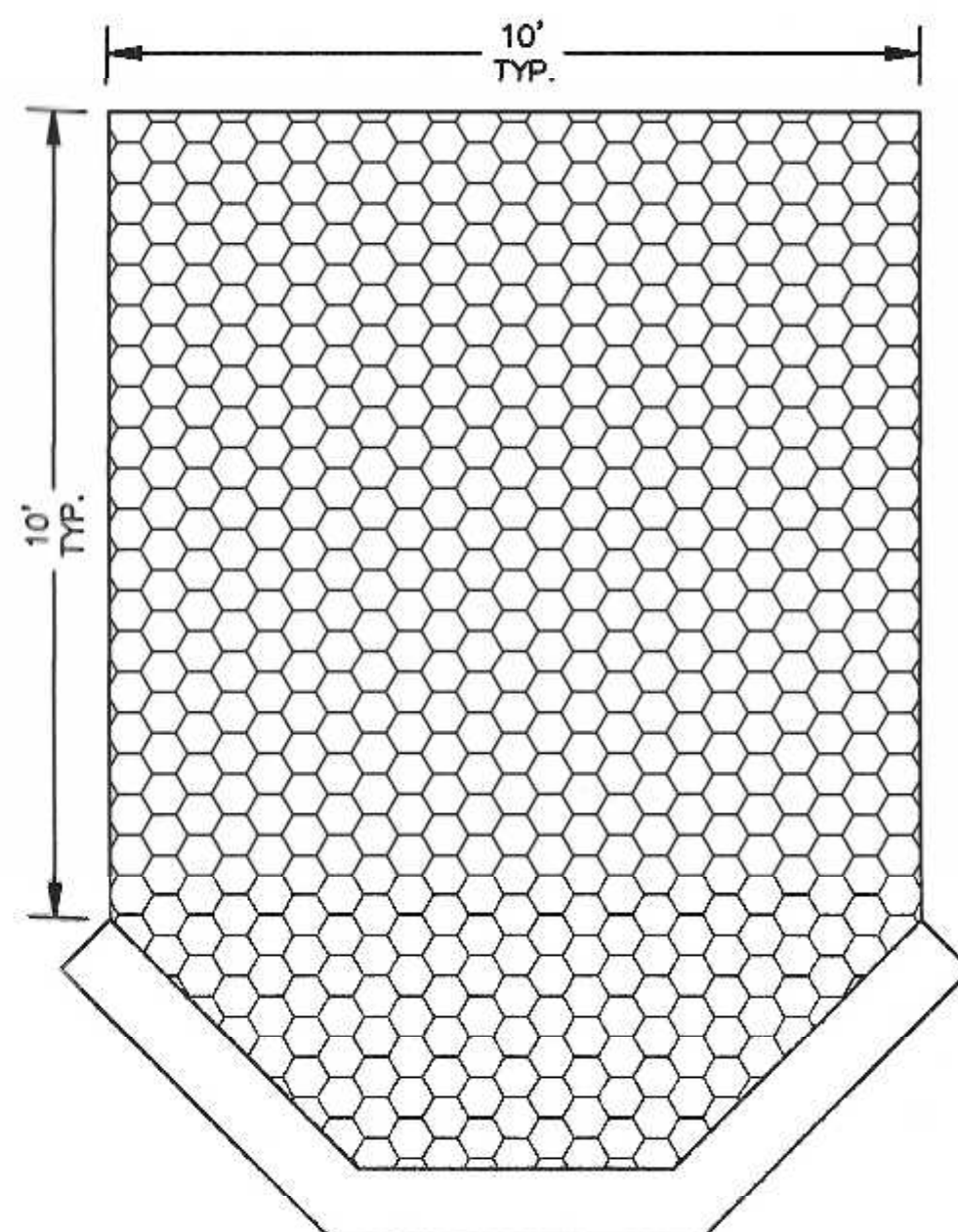
CONSTRUCTION NOTES:
1. RIP RAP TO BE MAXIMUM OF 14" AVERAGE OF 9" AND MINIMUM OF 6".
2. RIP RAP TO BE PLACED OVER A FILTER FABRIC.
3. RIP RAP MINIMUM DEPTH SHALL BE 18"

REFERENCE TECHNICAL SUPPLEMENT 14C - US BUREAU OF RECLIMATION METHOD.

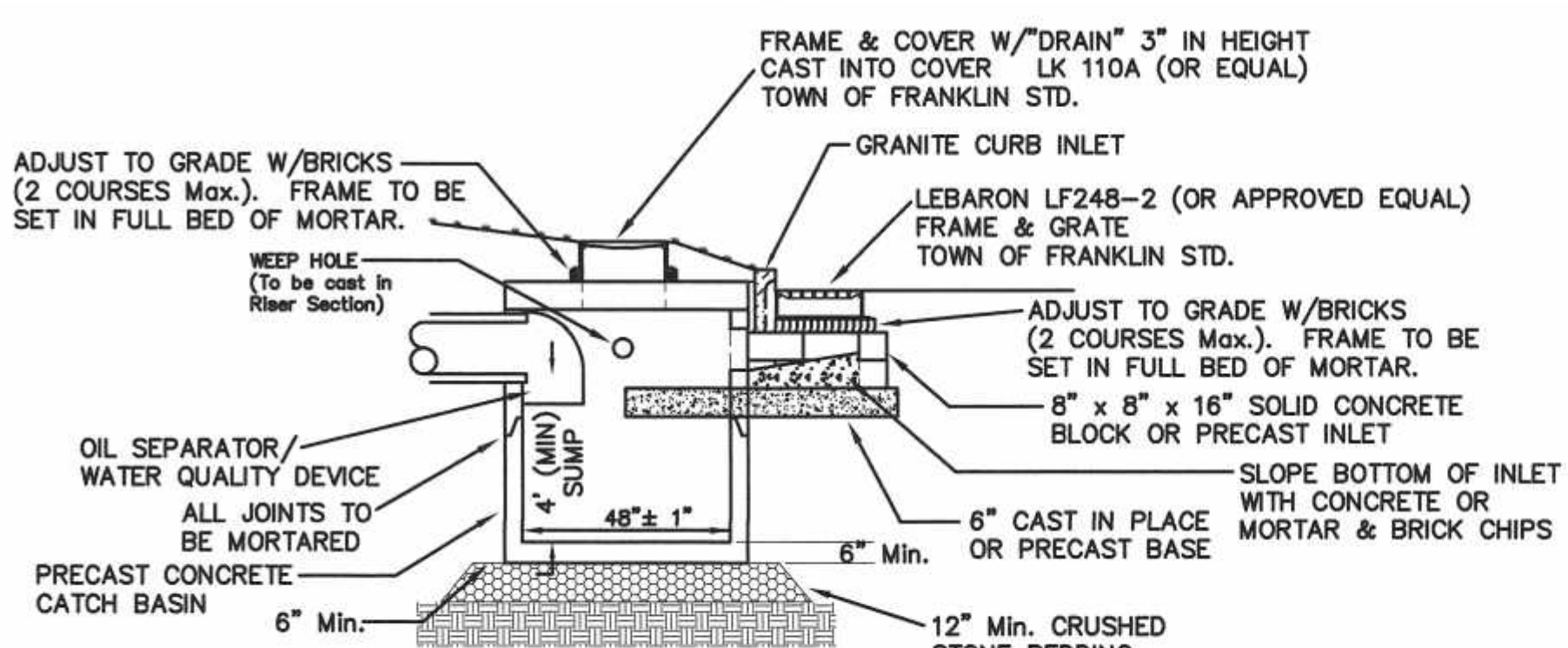
$$D50 = \frac{2.06}{0.0122 \times 7.31} = 0.73$$



PRECAST CATCH BASIN
CB - 1 AND 2



RIP RAP AT HEADWALL
N.T.S.



SECTION A-A

DOUBLE GRATE
PRECAST GUTTER INLET
W/ DEEP SUMP
CB - 3

Hydro Conduit

DR. BY: _____
CK. BY: _____
DATE: _____
SCALE: N.T.S.
DWG#: _____

STC 4501 Precast Concrete Stormceptor® (400 US Gallon Capacity)

PROJECT: _____
LOCATION: _____

SECTION THRU CHAMBER

SECTION THRU PLAN VIEW

CB 4

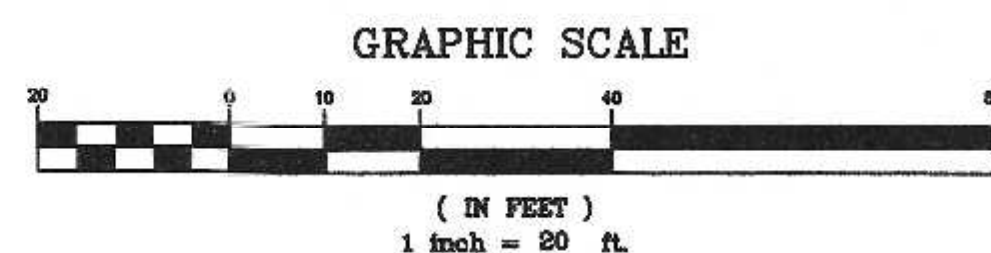
NOTES:
1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE CLEANOUT/VENT PIPE.
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OFF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.

NOTES:
1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

SITE PLAN
CONSTRUCTION DETAILS - 1
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
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110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY

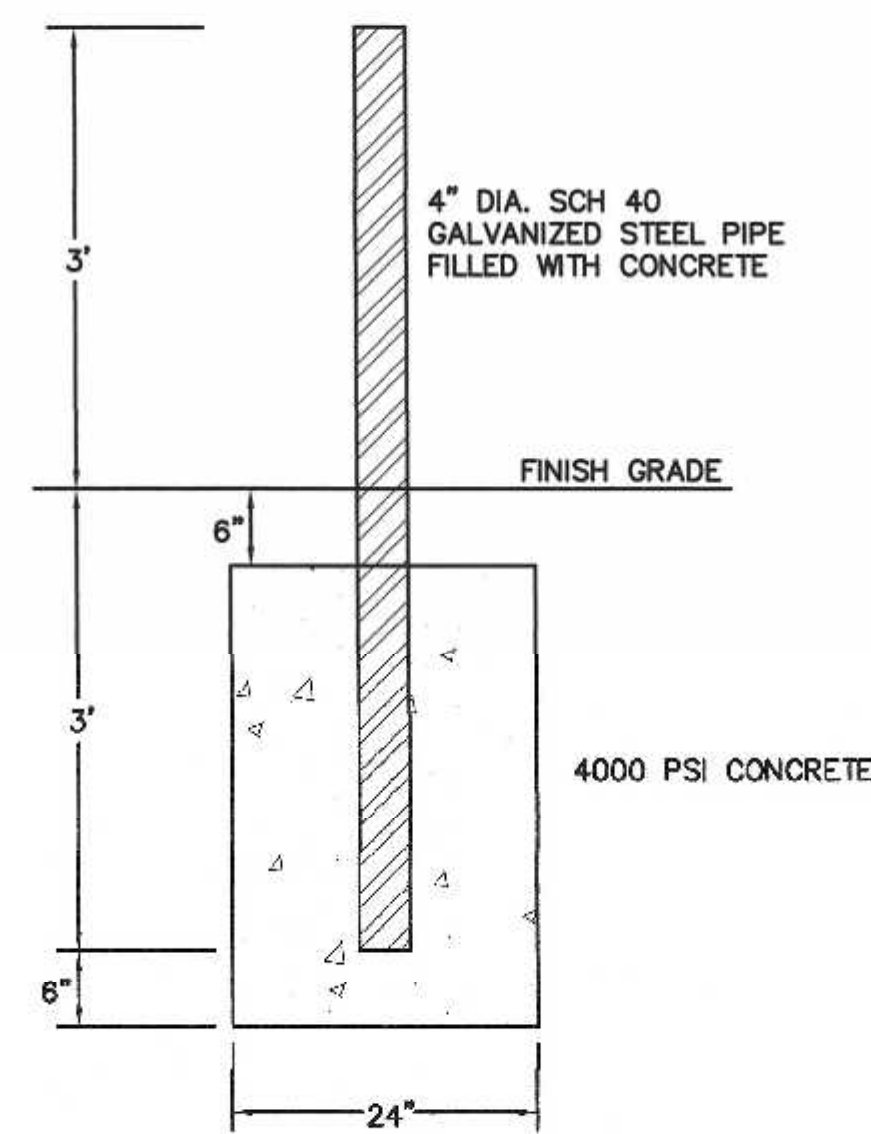


DATE	FIELD BY:	INT.
7/23	BL	
1/24	FIELD BOOK	PG#
1/24	CALCS BY: RRG	
1/24	DESIGNED BY: RRG	
1/24	DRAWN BY: COMP	
1/24	CHECKED BY: CAQ	

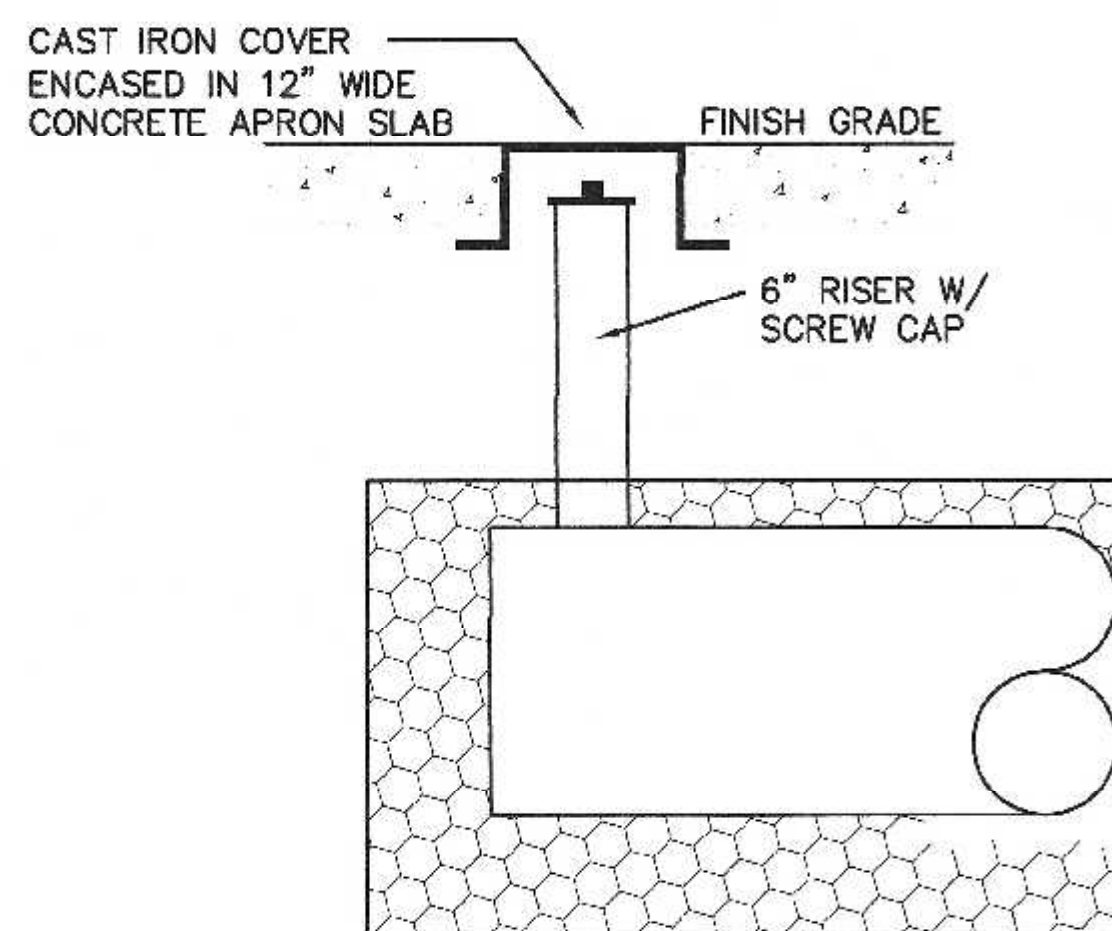
UNITED CONSULTANTS INC.

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8586

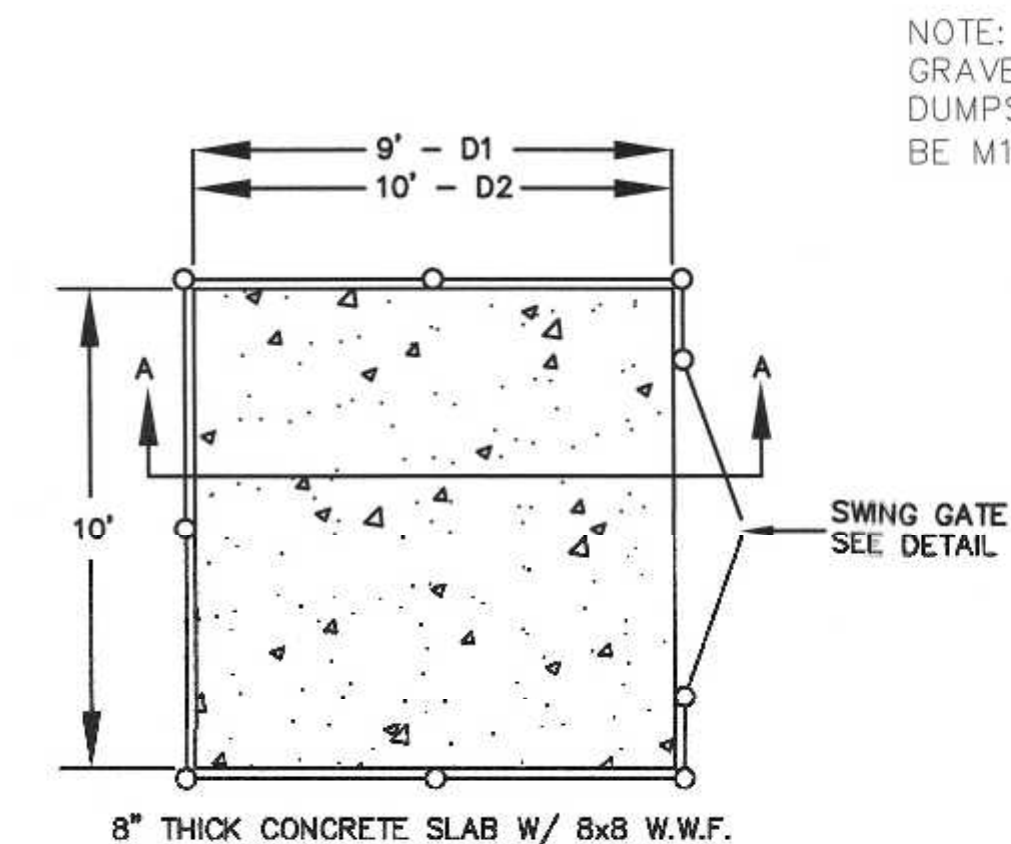
DATE	SCALE	PROJECT	SHEET
JAN. 5, 2024	1" = 20'	UC1587	7 of 10



BOLLARD DETAIL

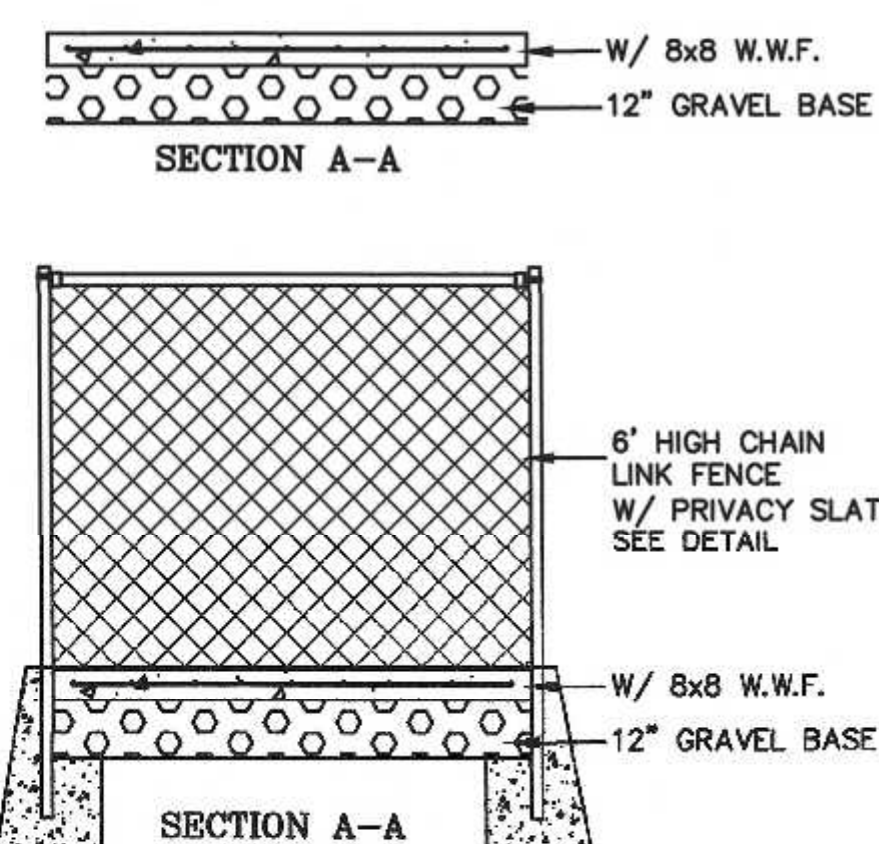


INSPECTION PORT DETAIL
DRAINAGE INFILTRATION AREAS
N.T.S.

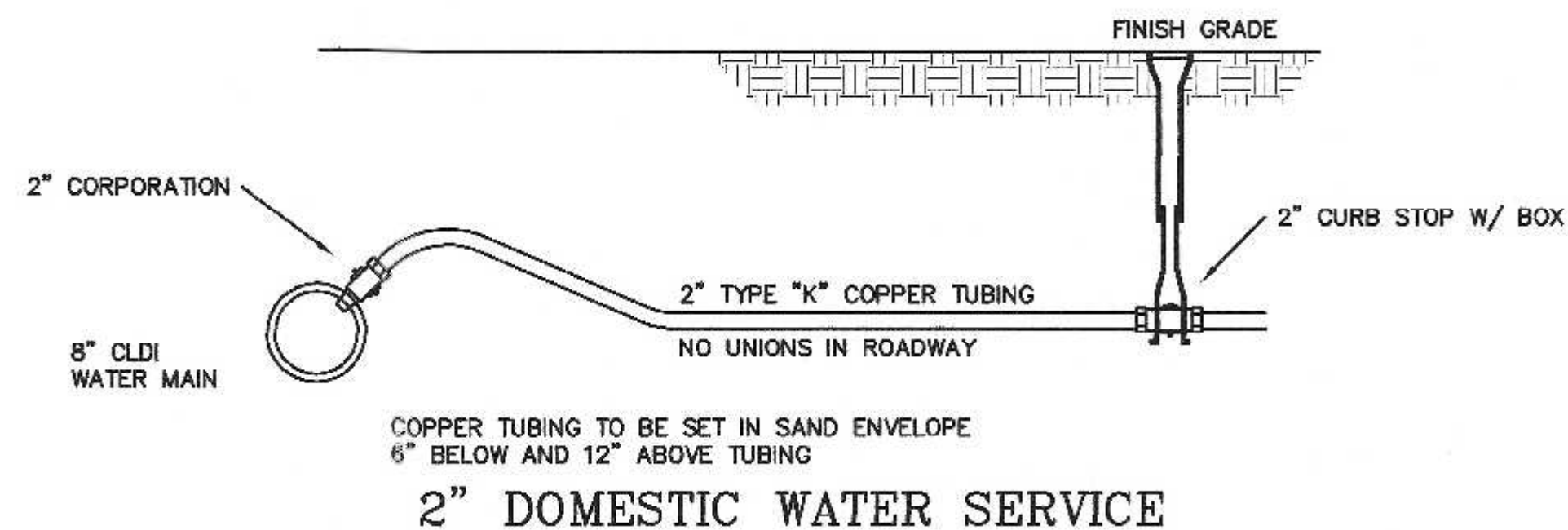


CONCRETE DUMPSTER PAD

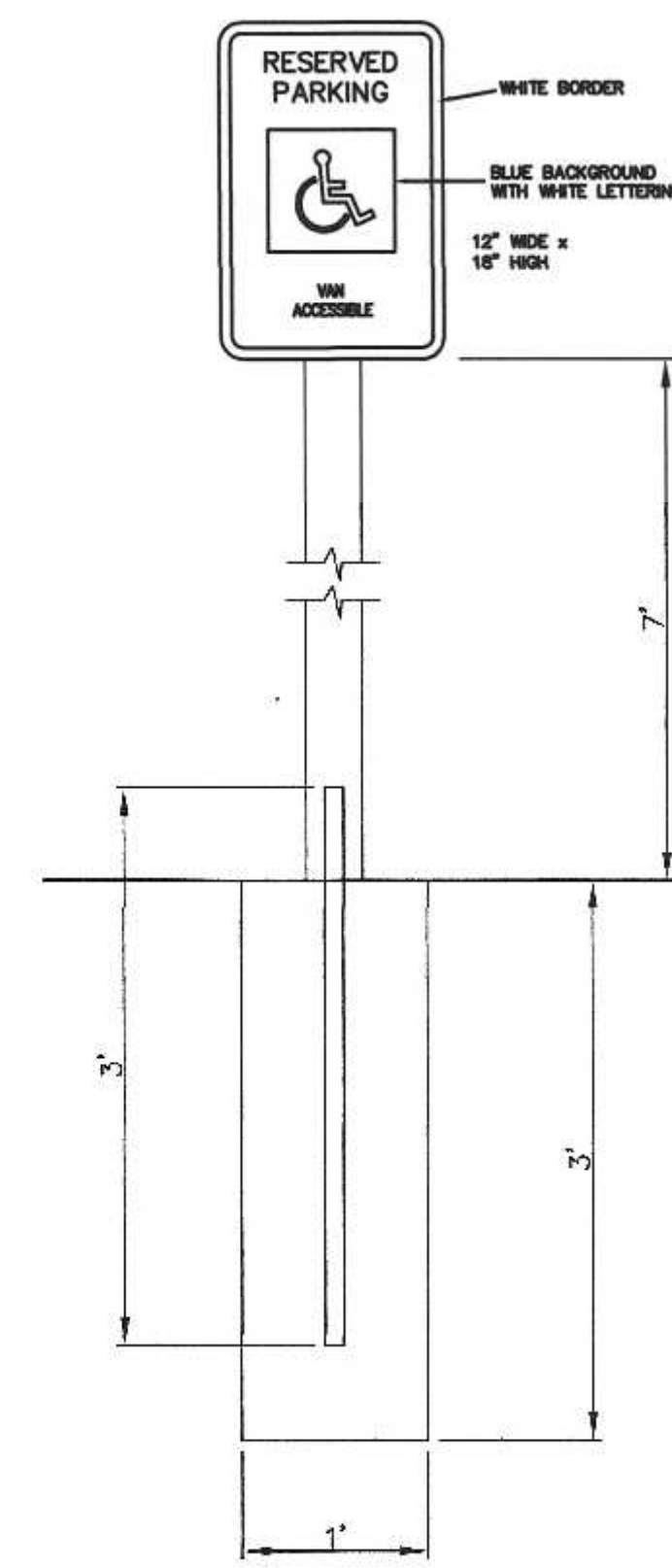
NOTE:
GRAVEL UNDER
DUMPSTER PAD TO
BE M1.03.0 (TYPE B)



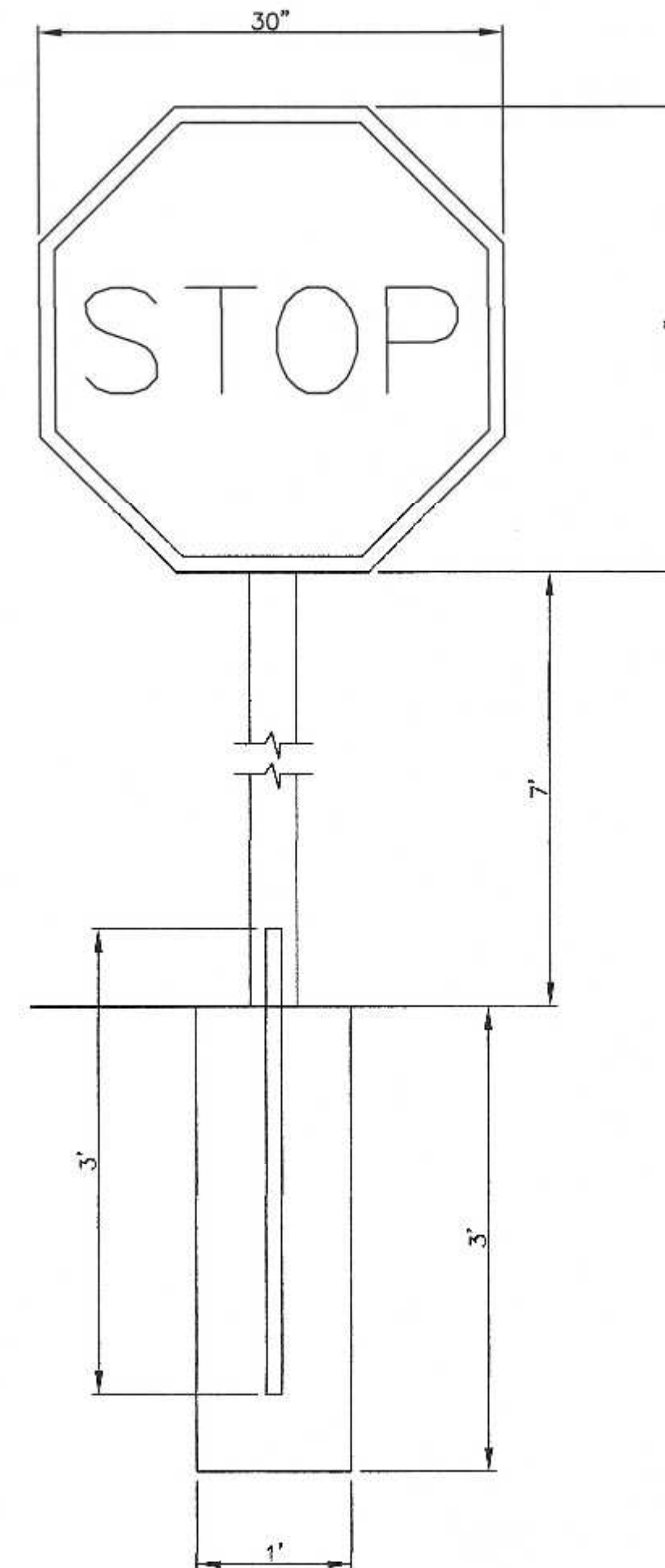
DUMPSTER AREA FENCE



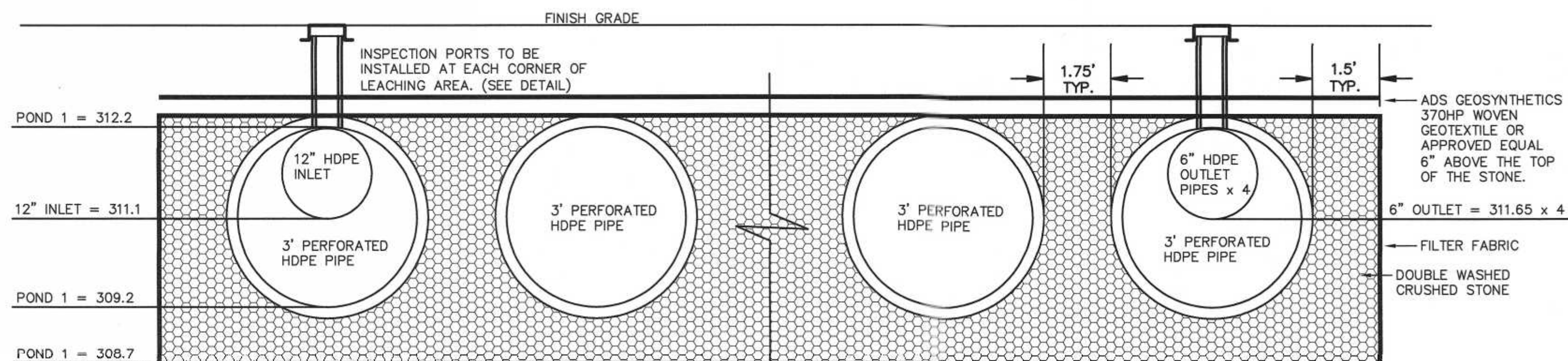
2" DOMESTIC WATER SERVICE



VAN ACCESSIBLE HANDICAP SIGN DETAIL
N.T.S.



STOP SIGN DETAIL
N.T.S.

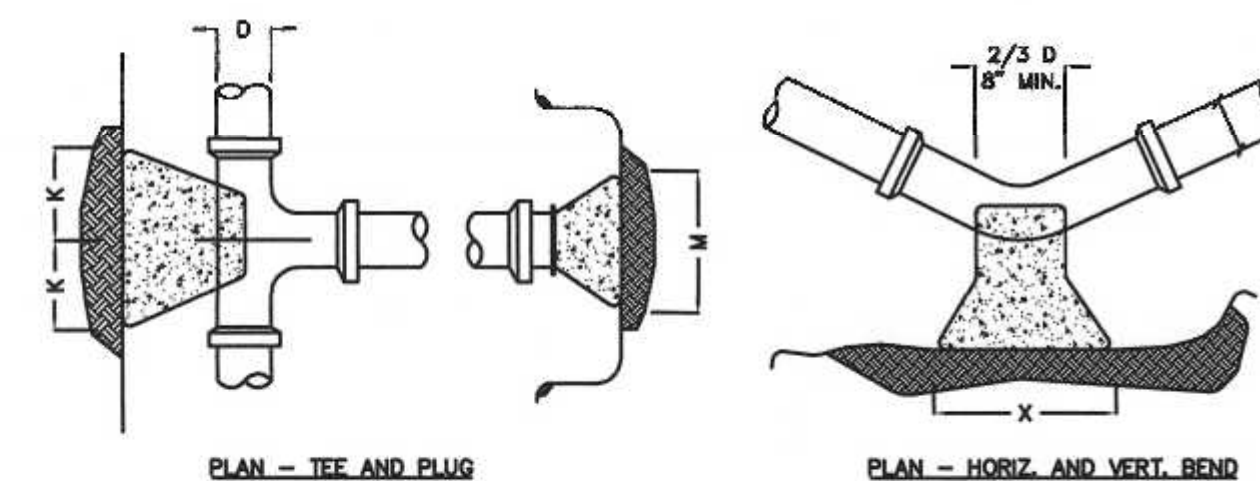


DRAINAGE INFILTRATION AREA

NOTE:
INFILTRATION POND 1 CONSISTS OF
6 ROWS OF 3' DIAMETER PERFORATED HDPE PIPE.
3 ROWS AT 66' IN LENGTH.
3 ROWS AT 70' IN LENGTH.
STONE EXTENTS 32.75' x 69' TO 73' (SEE PLAN)

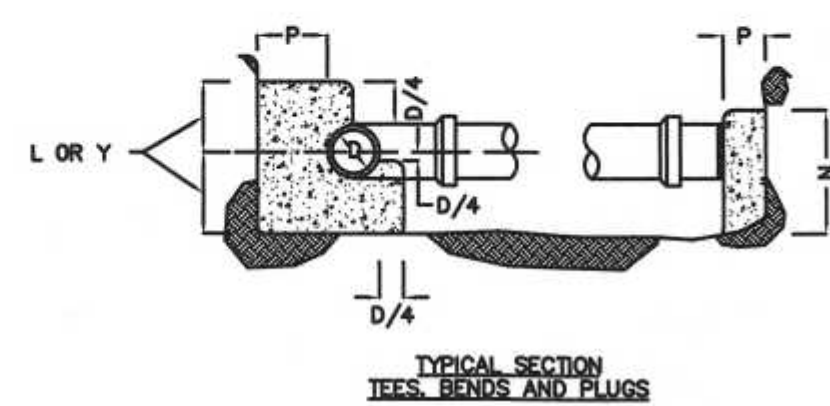
THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL BEING PLACED.

- NOTES:
- CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
 - ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
 - MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.



PLAN - TEE AND PLUG

PLAN - HORIZ. AND VERT. BEND



TYPICAL SECTION
TEES, BENDS AND PLUGS

SIZE OF BENDS	J	K	L	M	N	O
4" TO 8"	10"	10"	1'-0"	2'-0"	1'-6"	10"
10" TO 16"	1'-0"	1'-6"	1'-6"	3'-10"	2'-10"	1'-8"
24"	1'-4"	2'-0"	2'-6"	5'-0"	3'-6"	1'-8"

TEES AND PLUGS

	90 & 45	22 1/2 & 11 1/4				
D	4" TO 8"	10" TO 16"	24"	4" TO 8"	10" TO 16"	24"
X	1'-8"	3'-4"	3'-6"	1'-4"	2'-0"	3'-6"
Y	1'-2"	1'-8"	2'-4"	1'-0"	1'-2"	2'-4"

BENDS

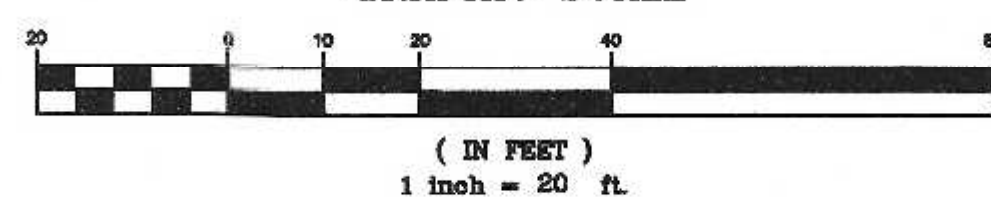
THRUST BLOCK DETAILS

SITE PLAN
CONSTRUCTION DETAILS - 2
100 & 110 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
110 EAST CENTRAL STREET RE, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JANUARY 5, 2024
SCALE: 1" = 100'

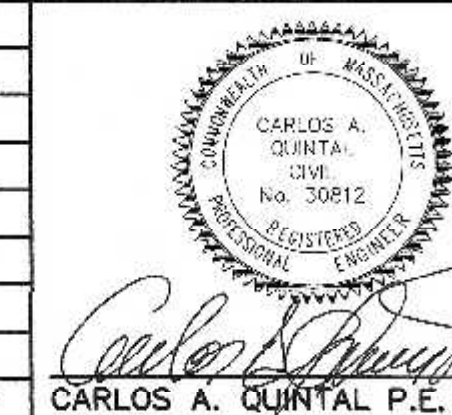
SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



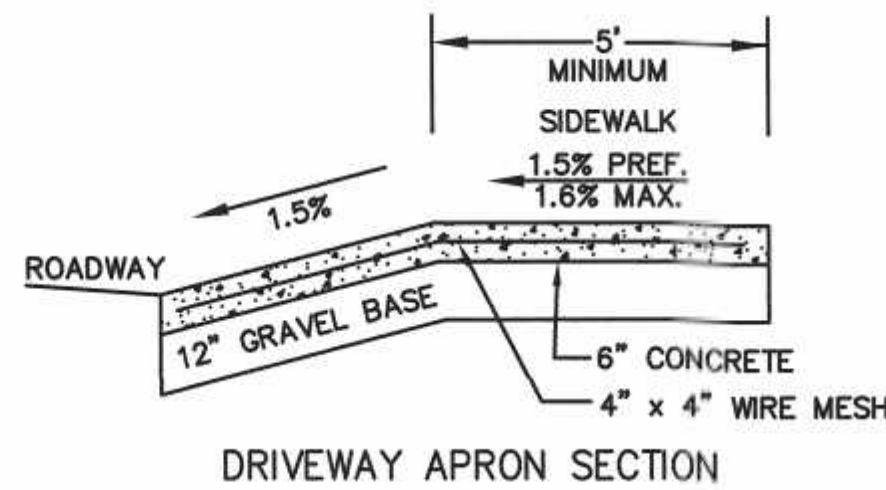
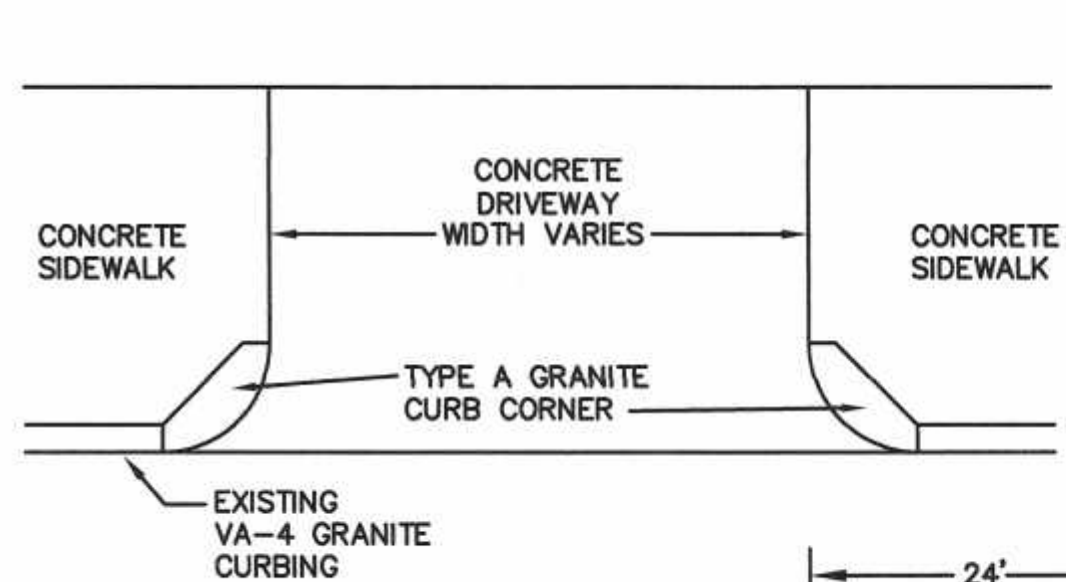
NO.	DATE	DESCRIPTION	BY



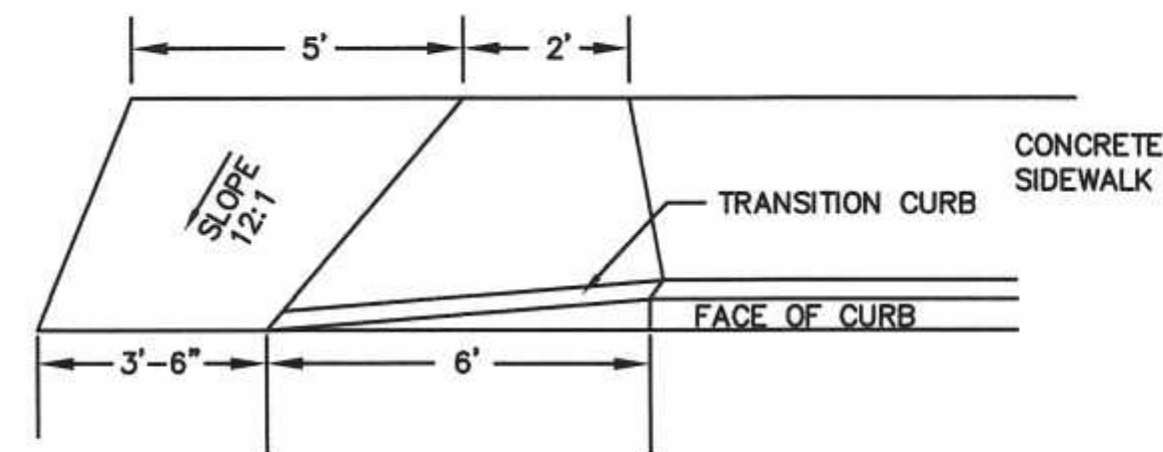
DATE	FIELD BY:	INT.
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1/24	RRG	
1/24	DESIGNED BY:	RRG
1/24	COMP	
1/24	CHECKED BY:	CAQ

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INC.
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WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

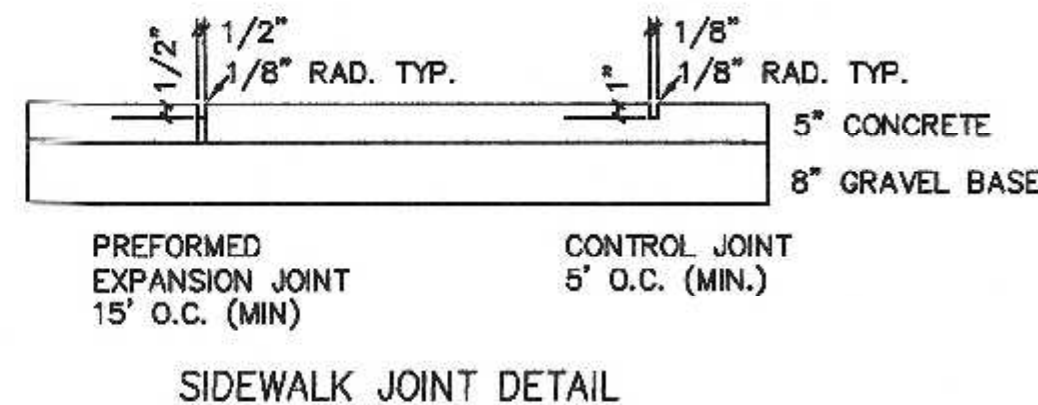
DATE	JAN. 5, 2024
SCALE	1" = 20'
PROJECT	UC1587
SHEET	8 of 10



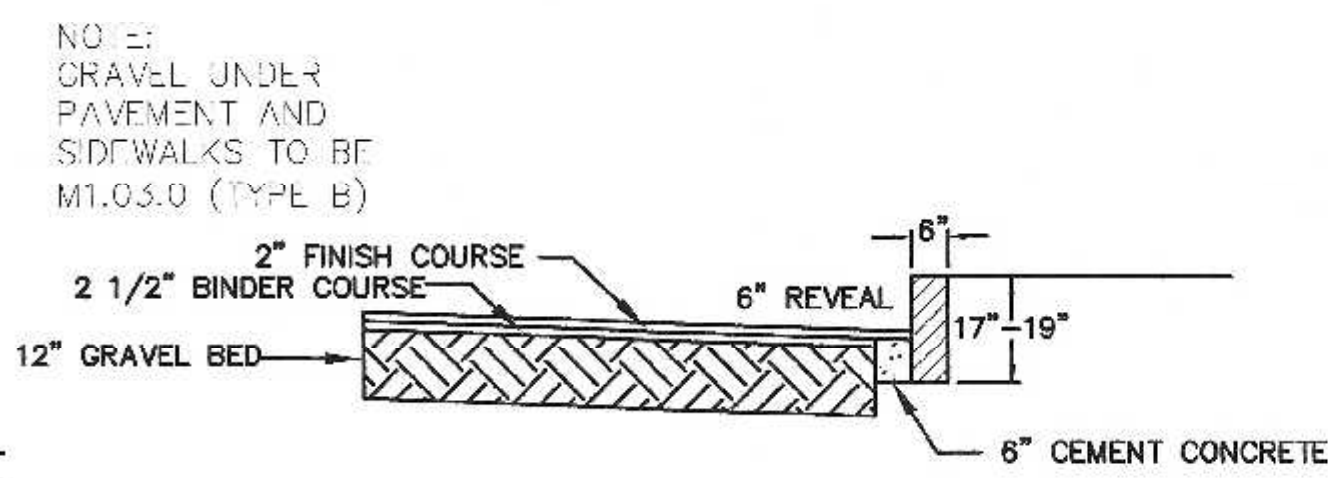
NOTES:
 1. CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.
 2. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.
 3. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.
 4. GRAVEL UNDER SIDEWALK TO BE M1.03.0 (TYPE B)



WHEELCHAIR RAMP

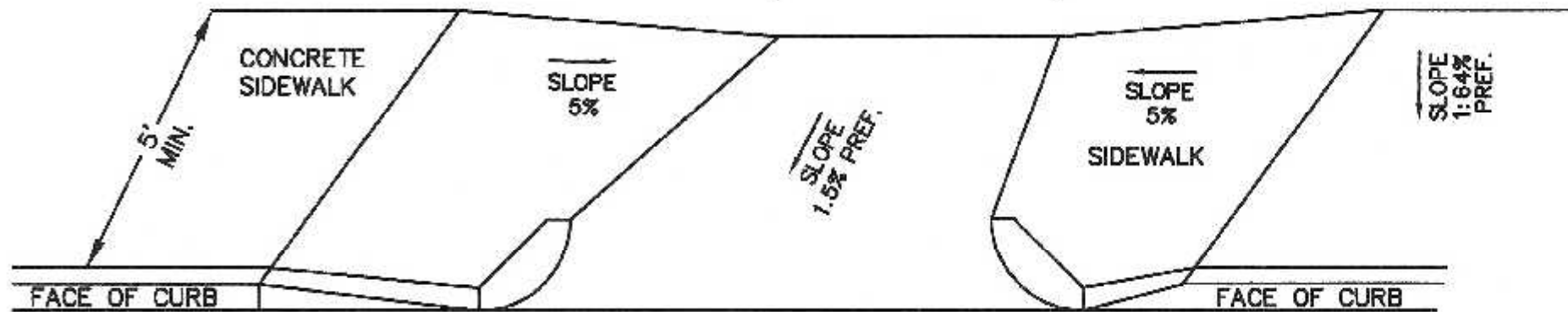
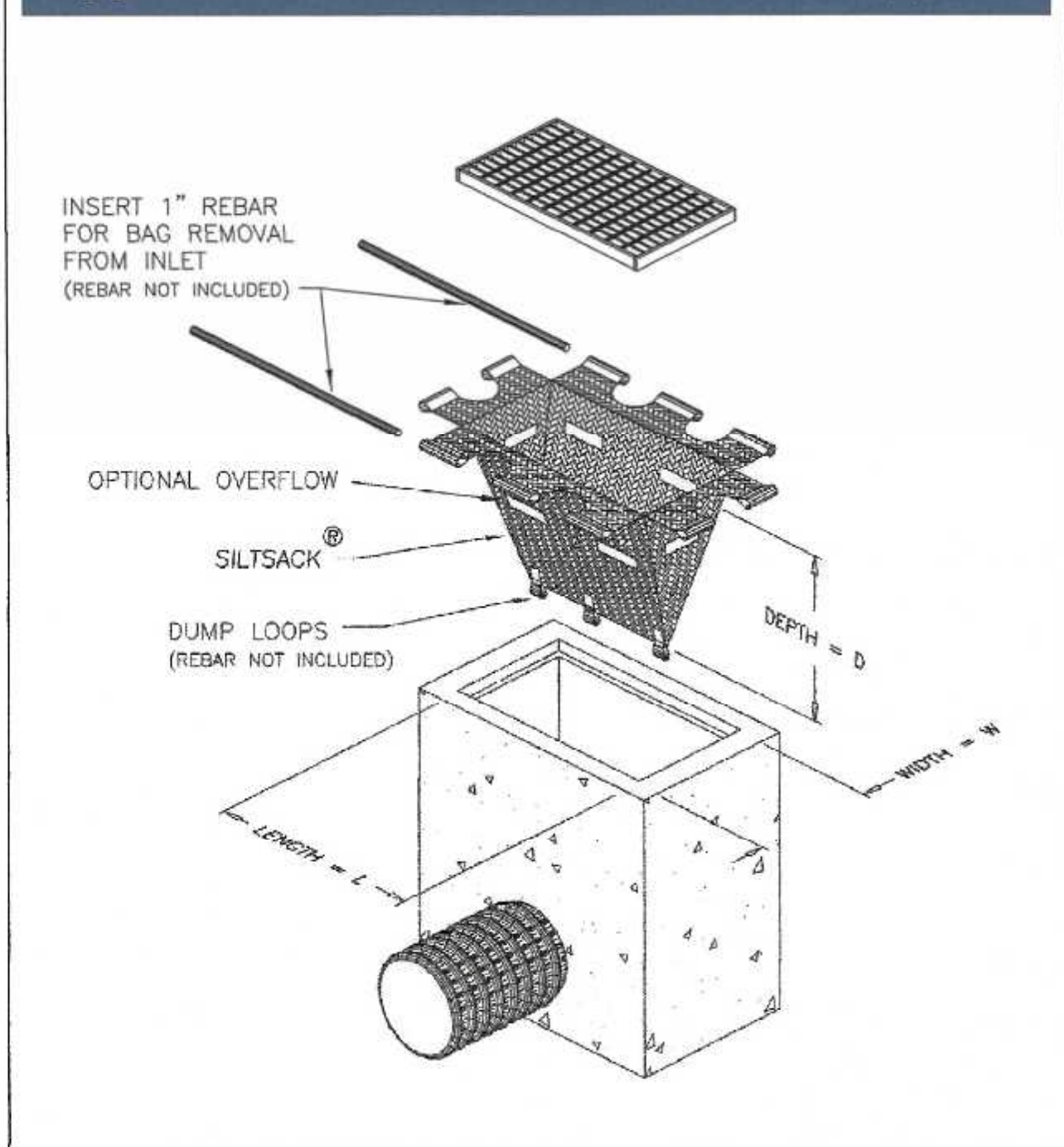


SIDEWALK JOINT DETAIL

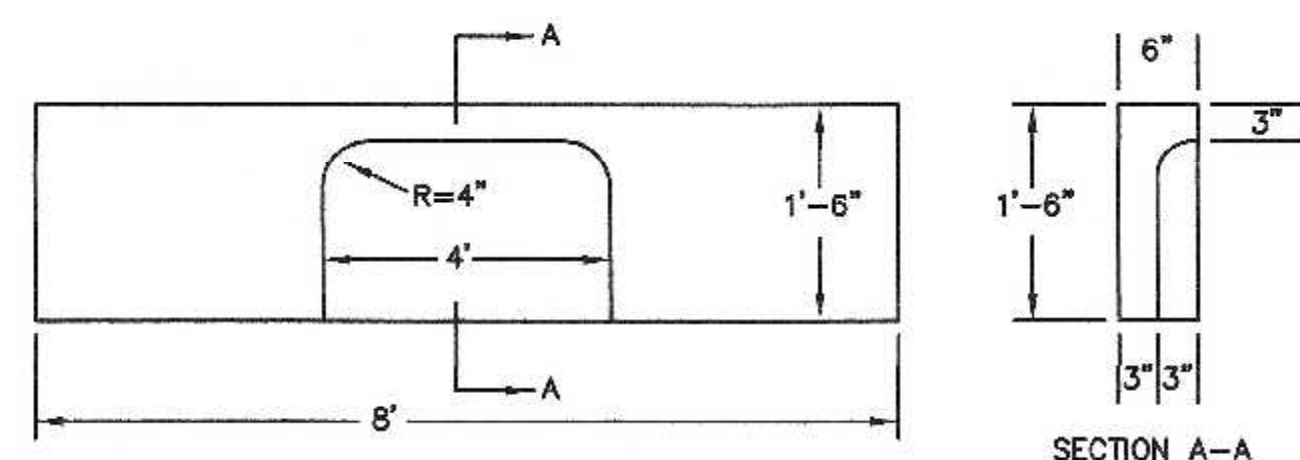


PAVEMENT AND VA-4 VERTICAL GRANITE CURBING

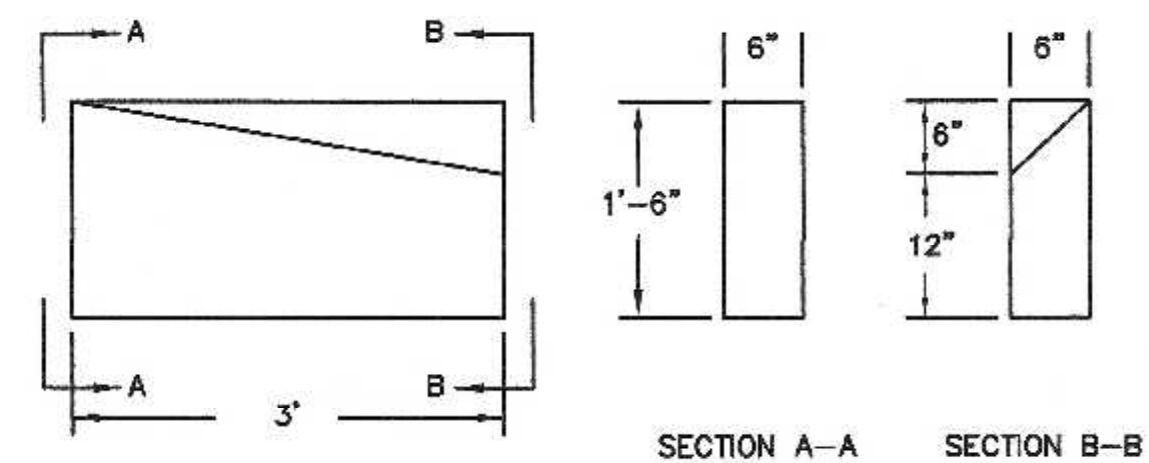
Typical Siltsack® Construction - Type B



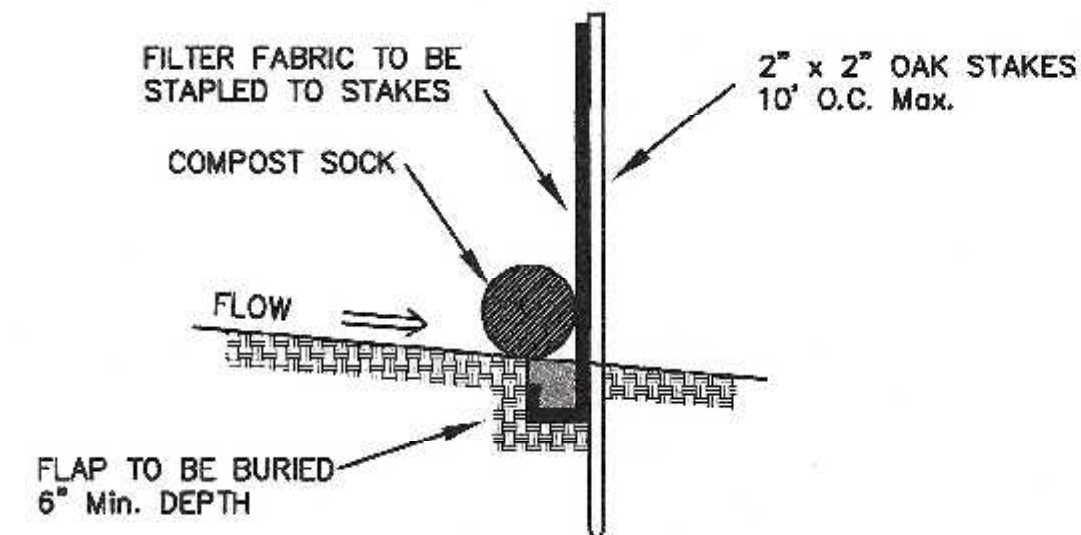
DRIVEWAY APRON



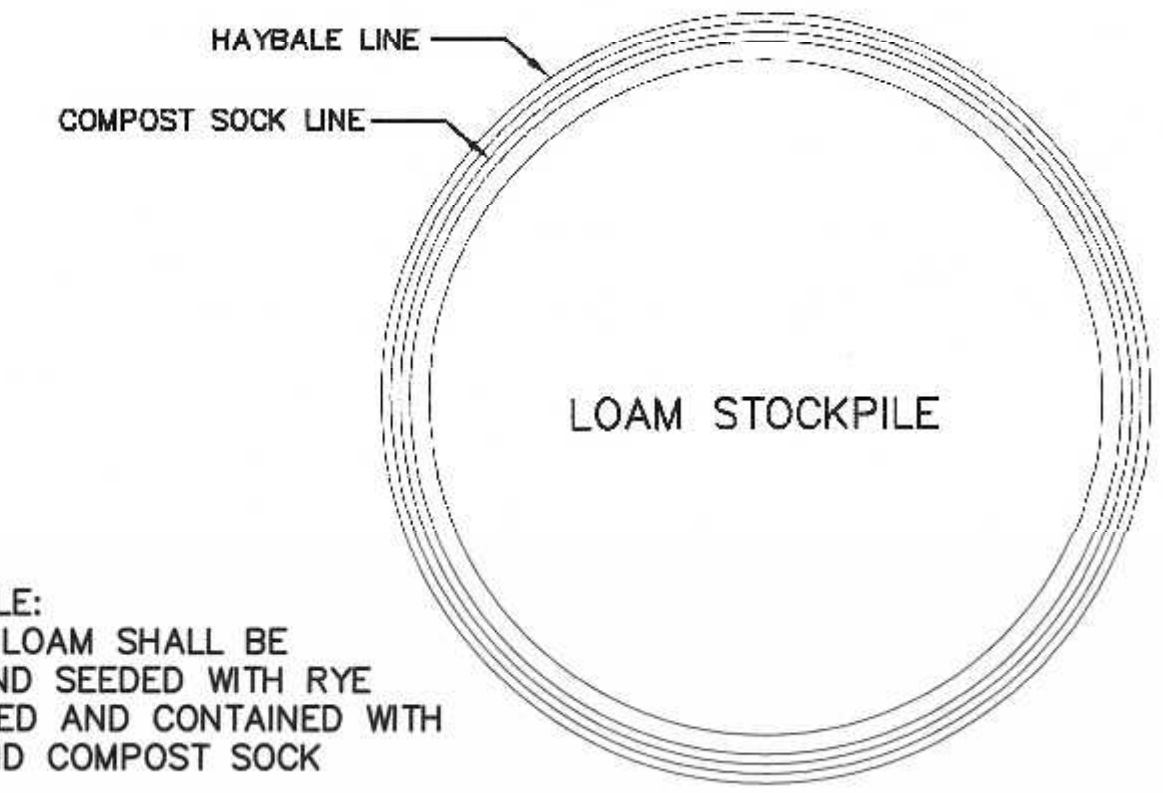
GRANITE CURB INLET DETAIL



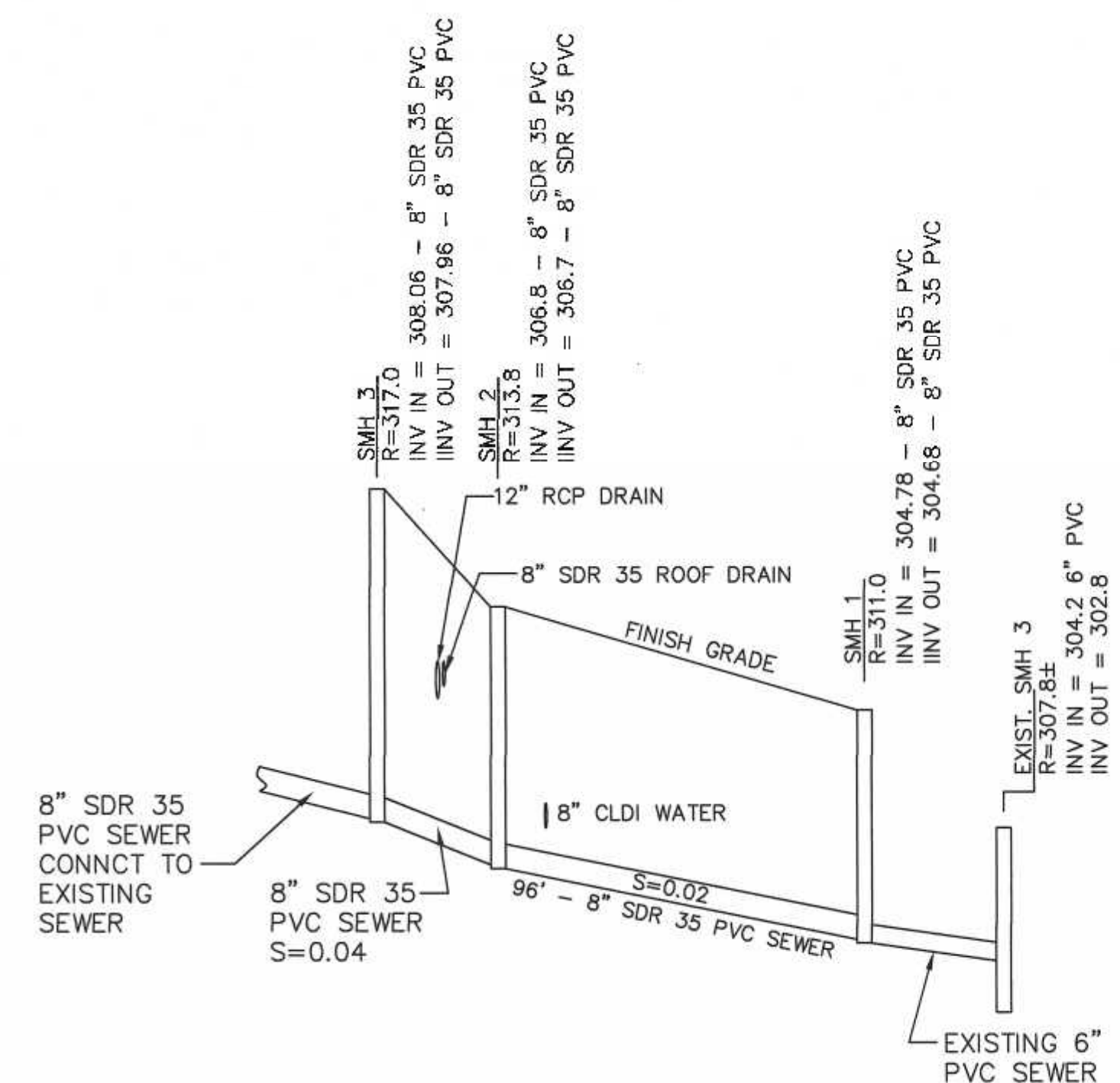
GRANITE CURB TRANSITION DETAIL



EROSION CONTROL DETAIL

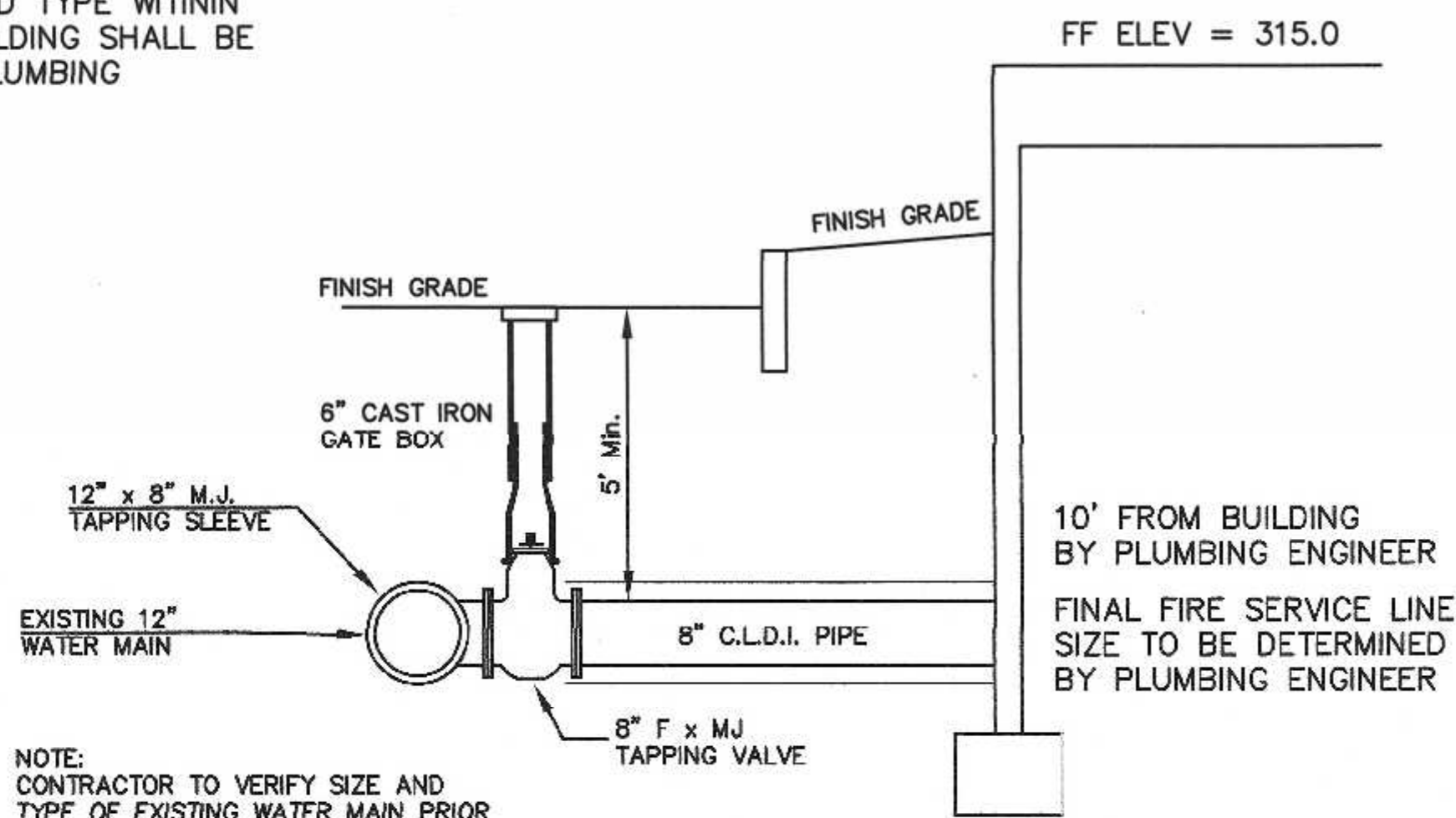


STOCKPILE DETAIL

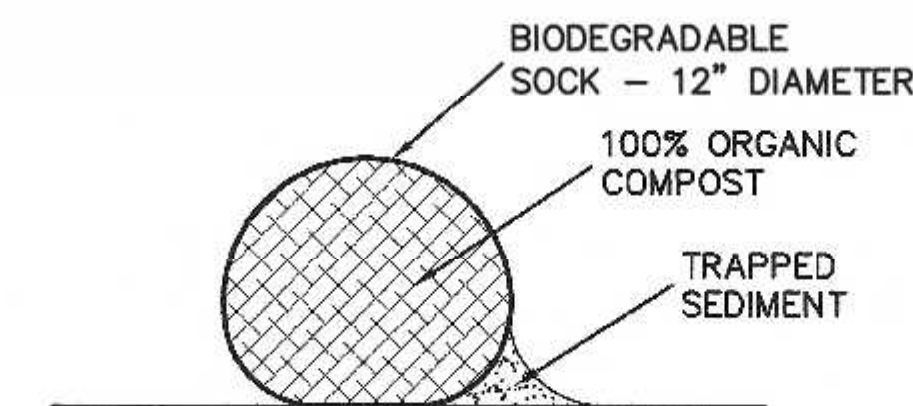


SEWER PROFILE
 SCALE: H - 1" = 40'
 V - 1" = 4'

CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AT CONNECTION POINT AND NOTIFY THE DESIGN ENGINEER.
 SEWER PIPE TO BE 8" SDR 35. SEWER PIPE SIZE AND TYPE WITHIN 10 FEET OF THE BUILDING SHALL BE PROVIDED BY THE PLUMBING ENGINEER.



FIRE SERVICE CONNECTION



COMPOST SOCK DETAIL

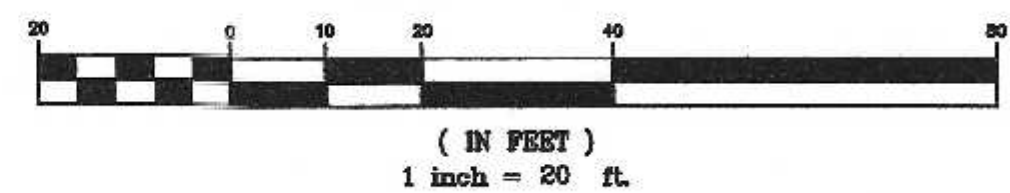
LOAM STOCKPILE: ALL STRIPPED LOAM SHALL BE STOCKPILED AND SEEDED WITH RYE GRASS, WATERED AND CONTAINED WITH SILT FENCE AND COMPOST SOCK

SITE PLAN
 CONSTRUCTION DETAILS - 3
 100 & 110 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 110 EAST CENTRAL STREET RE, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 JANUARY 5, 2024
 SCALE: 1" = 100'

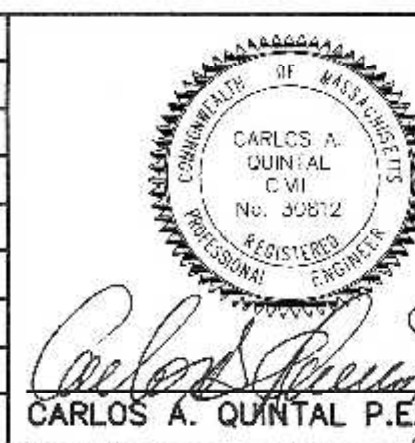
SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY

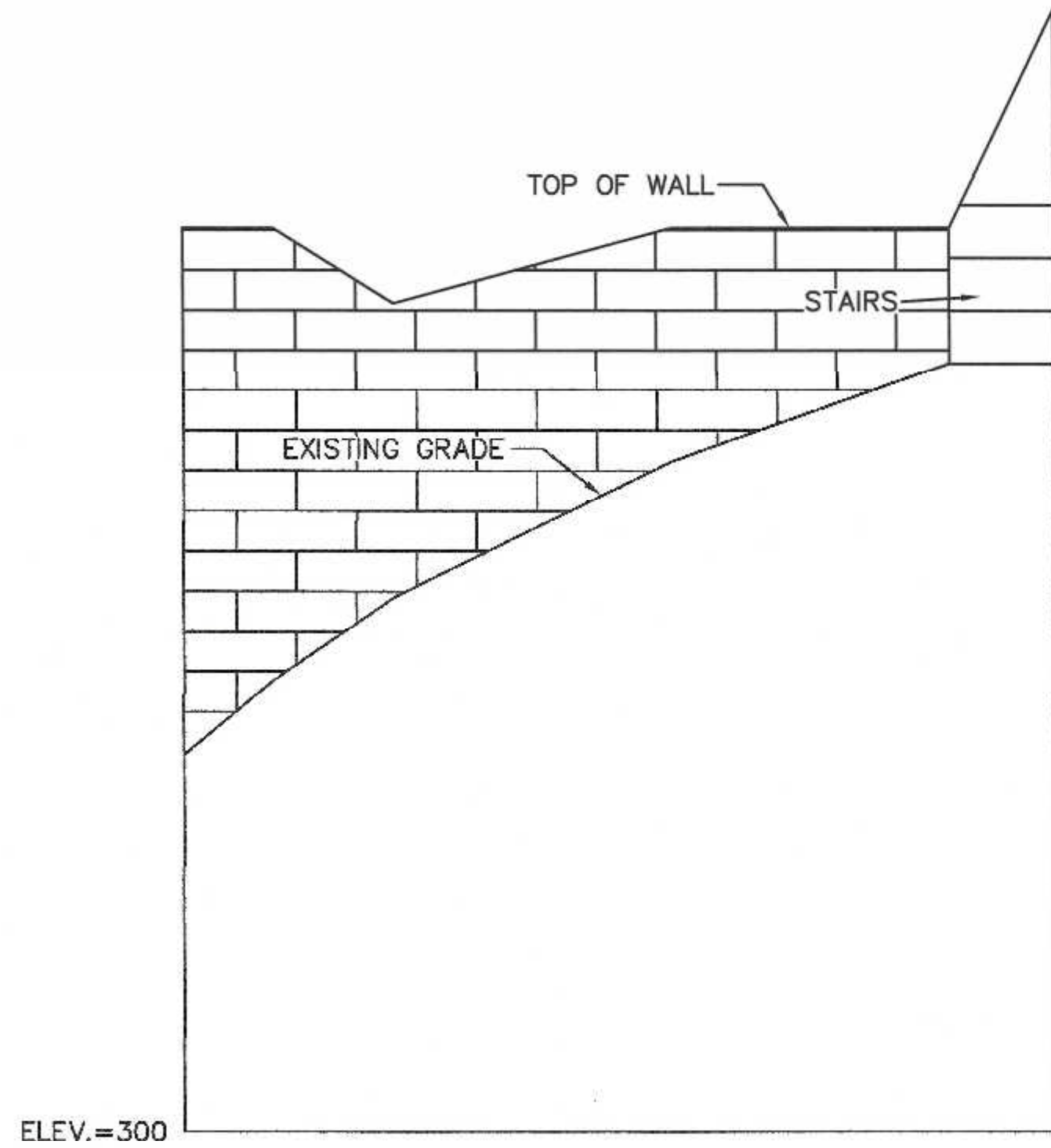


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1/24	RRG	
1/24	DESIGNED BY:	RRG
1/24	COMP	
1/24	CHECKED BY:	CAQ

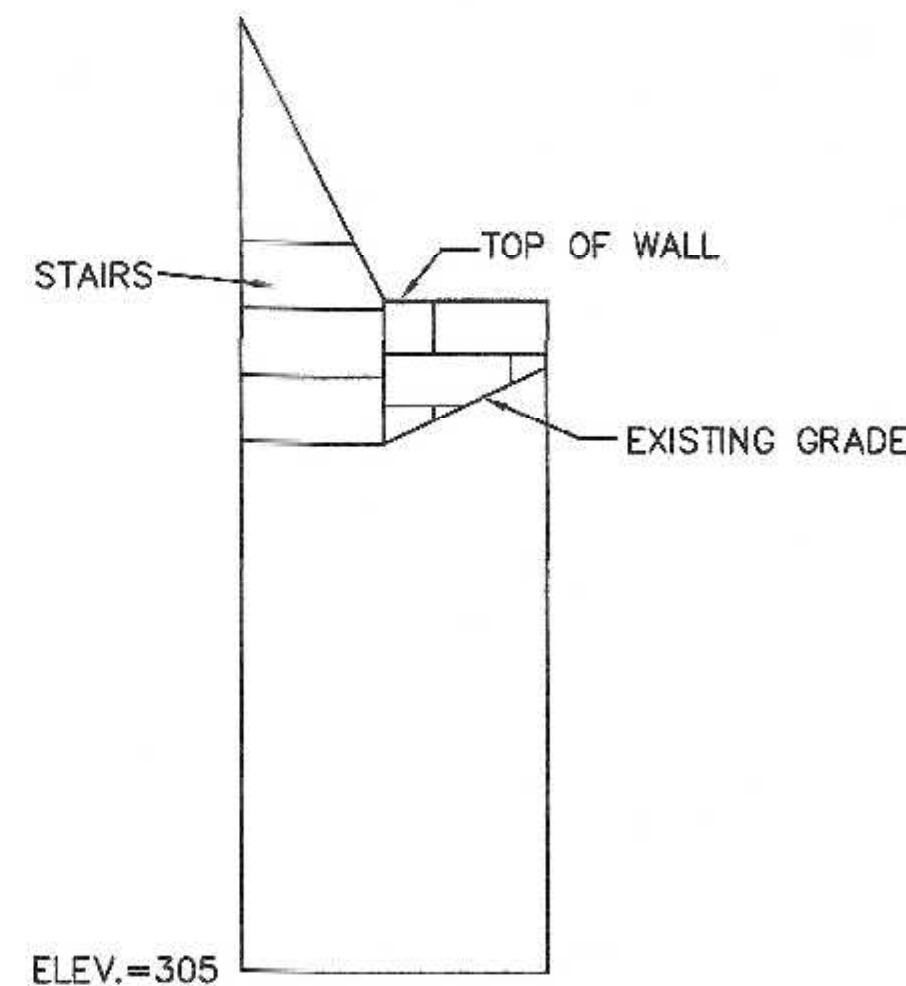
UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE
JAN. 5, 2024
SCALE
1" = 20'
PROJECT
UC1587
SHEET
9 of 10

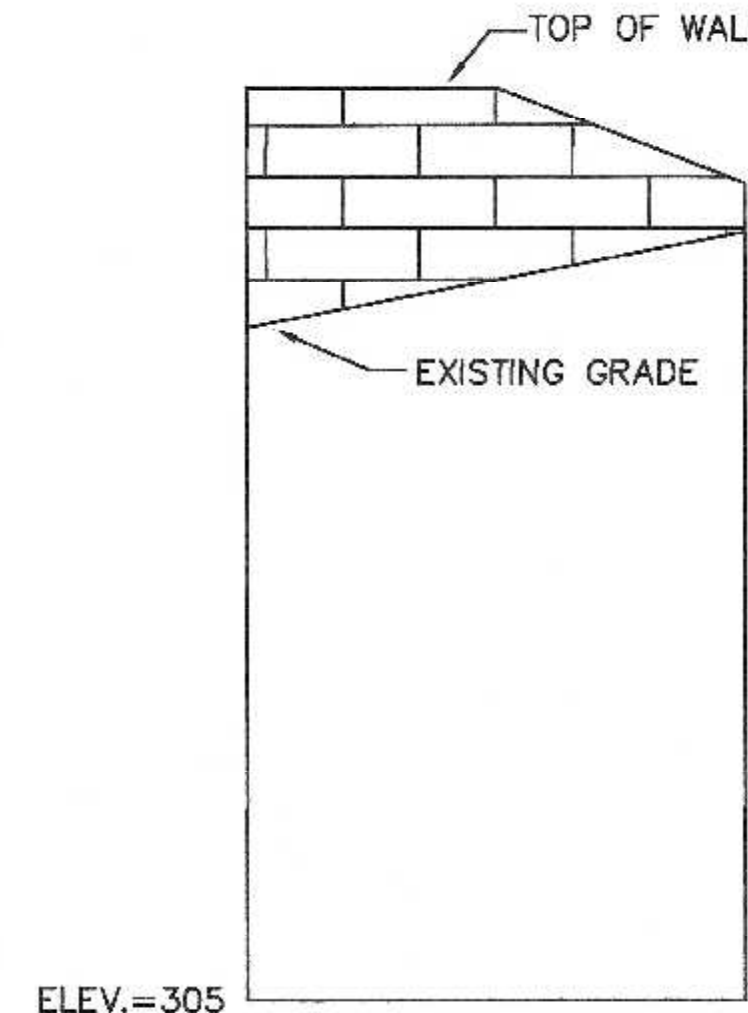
RETAINING WALL NOTES:
 1. RETAINING WALLS 1, 2, 3 AND 4 SHALL BE CONSTRUCTED OF STONE.
 2. RETAINING WALL 5 SHALL BE SEGMENTAL BLOCK.
 3. ALL WALLS REQUIRING A BUILDING PERMIT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
 4. ALL WALLS THAT EXCEED FOUR FEET IN HEIGHT SHALL HAVE A NON-CLIMBABLE FENCE.
 5. GUARDRAILS SHALL BE PROVIDED AT RETAINING WALLS 4, 5 AND 6 AND SHALL BE DESIGNED BY THE WALL STRUCTURAL ENGINEER.



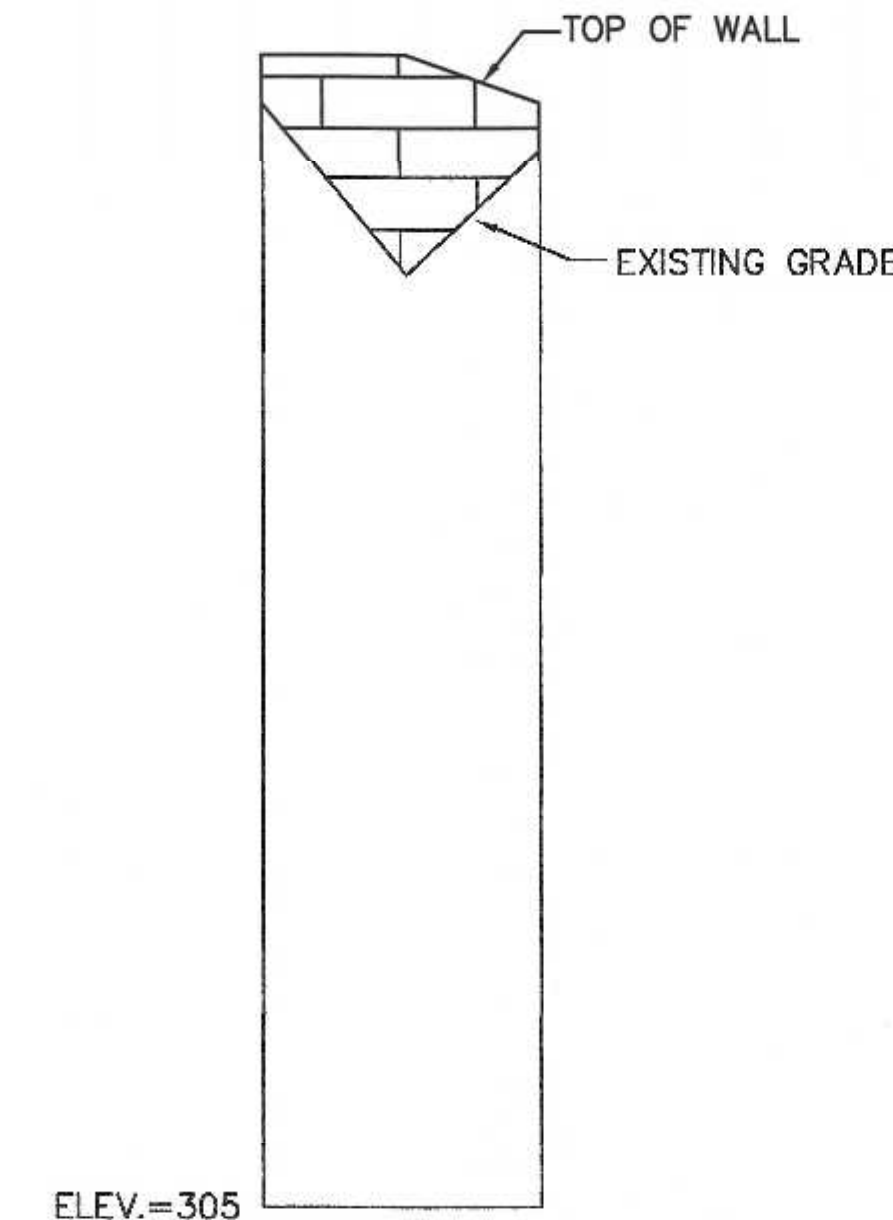
RETAINING WALL 1
 SCALE: H- 1" = 20'
 V- 1" = 2'



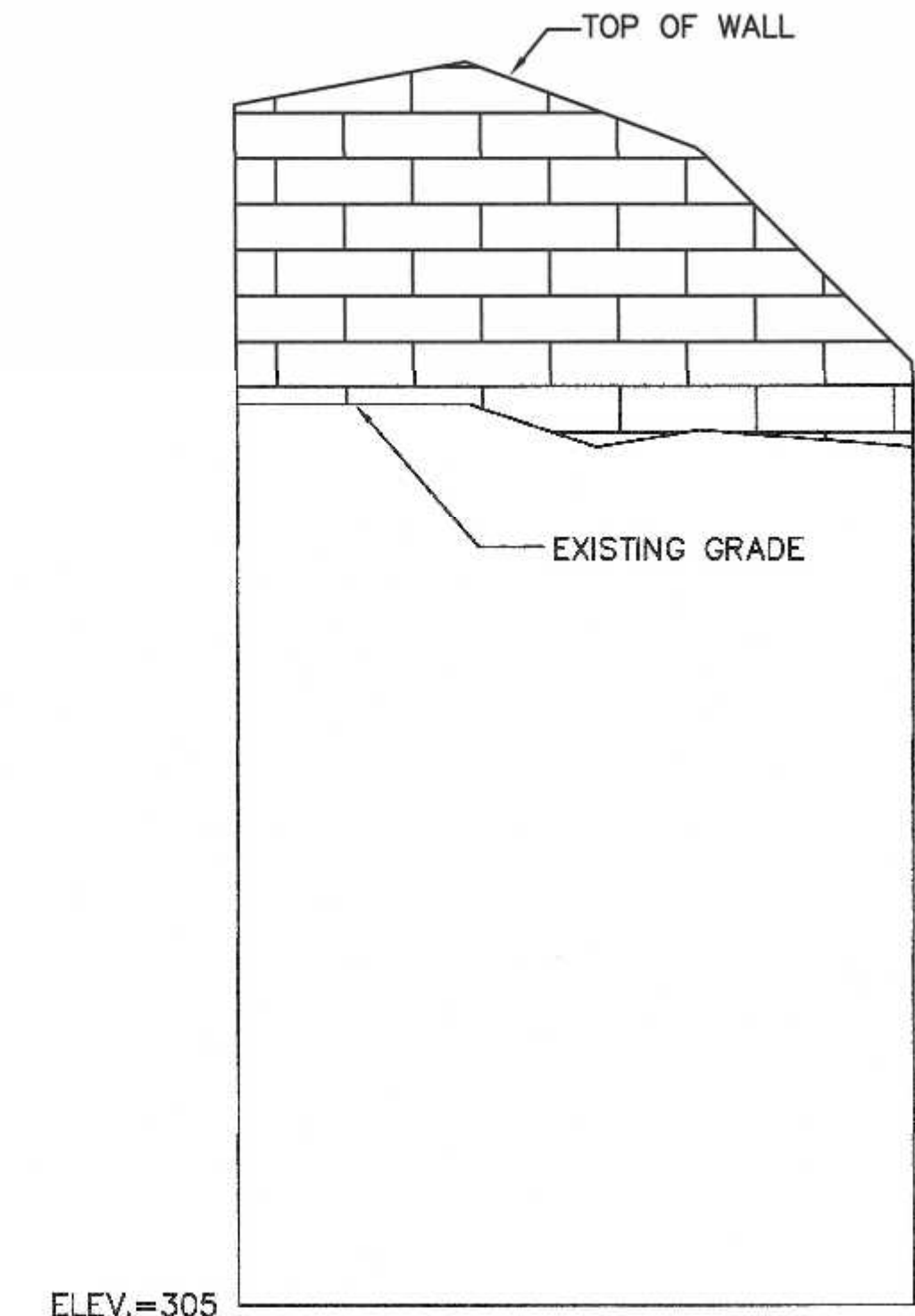
RETAINING WALL 2
 SCALE: H- 1" = 20'
 V- 1" = 2'



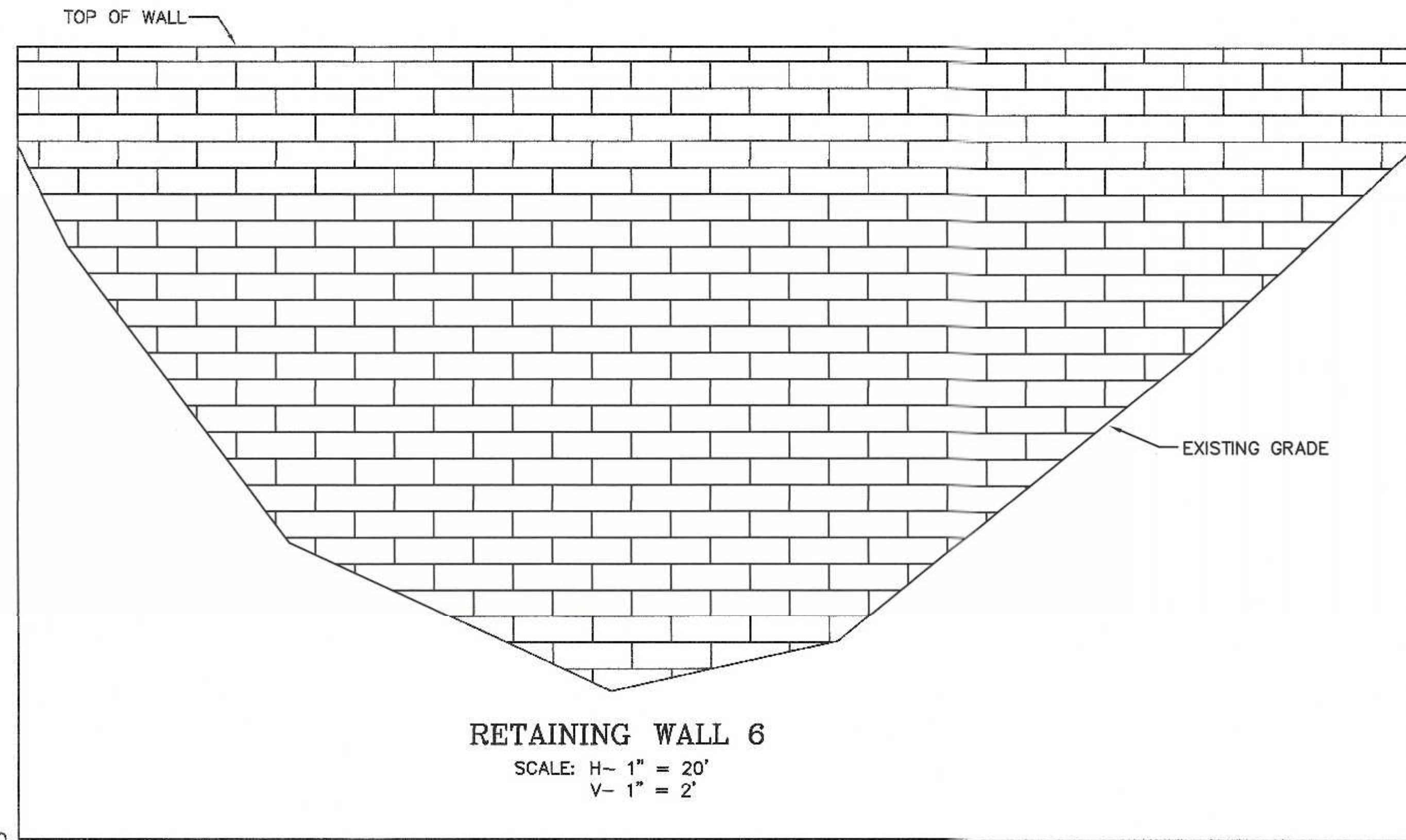
RETAINING WALL 3
 SCALE: H- 1" = 20'
 V- 1" = 2'



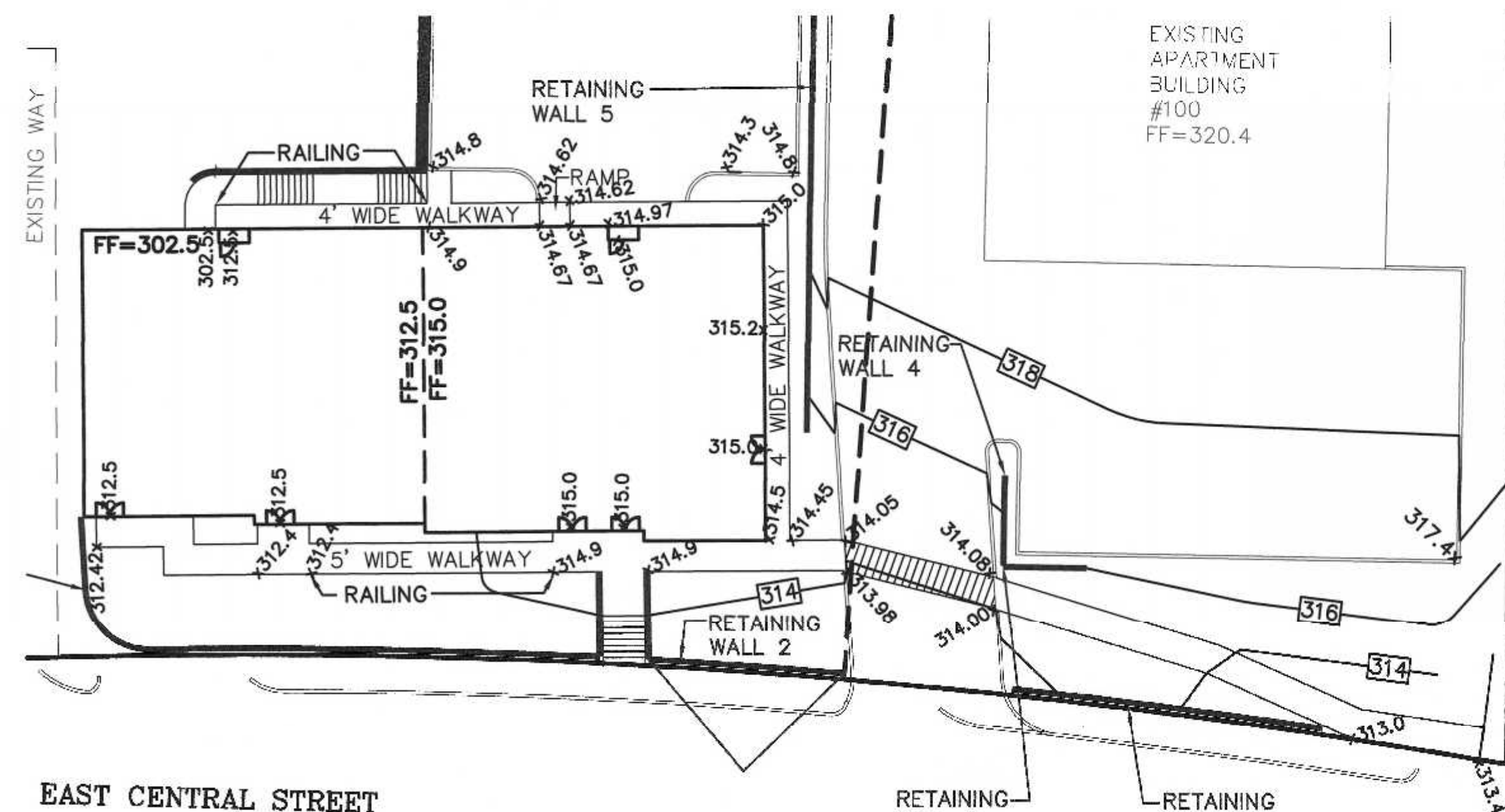
RETAINING WALL 4
 SCALE: H- 1" = 20'
 V- 1" = 2'



RETAINING WALL 5
 SCALE: H- 1" = 20'
 V- 1" = 2'



RETAINING WALL 6
 SCALE: H- 1" = 20'
 V- 1" = 2'



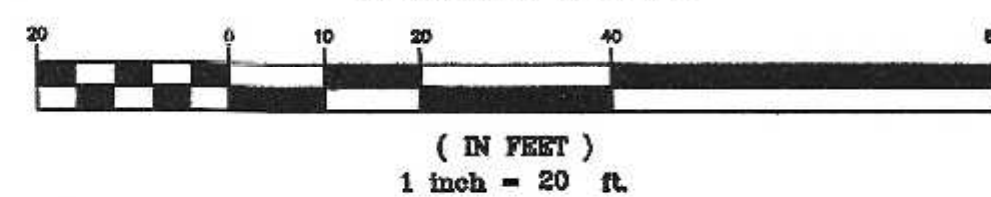
WALKWAY GRADING PLAN
 SCALE: 1" = 20'

SITE PLAN
 CONSTRUCTION DETAILS - 4
 100 & 110 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 110 EAST CENTRAL STREET RE, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 JANUARY 5, 2024
 SCALE: 1" = 100'

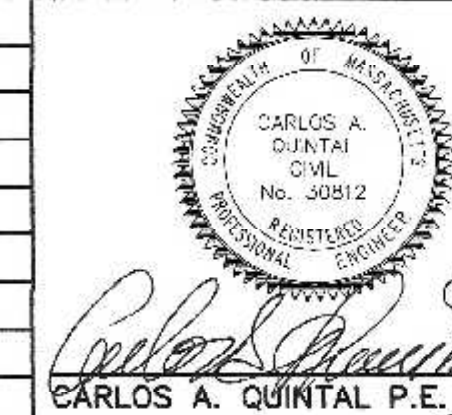
SITE PLAN APPROVAL
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GRAPHIC SCALE



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DATE	JAN. 5, 2024
SCALE	1" = 20'
PROJECT	UC1587
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