

TOWN OF FRANKLIN  
TOWN CLERK

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# SITE PLAN

## 100 AND 110 EAST CENTRAL STREET

THE 122 AND 138 EAST CENTRAL STREET PROPERTIES ARE LOCATED WITHIN A COMMERCIAL I ZONE.

AREA:	REQUIREMENTS: 5,000 S.F.	EXISTING 56,329± S.F.	PROPOSED 56,329± S.F.
FRONTAGE:	50'	245.1'	245.1'
DEPTH:	50'	176.5'	176.5'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	3 STORIES < 40**
WIDTH:	45'	> 45'	> 45'
SETBACKS:			
FRONT:	20' *1	31.3'	20.5'
SIDE WEST:	10' *14	15.0'	15.0'
SIDE EAST:	10' *14	14.7'	10.4'
REAR:	15'	114.5'	120.4'
COVERAGE:			
STRUCTURES:	80%	11.7%	18.2%
STRUC. & PAVING:	90%	34.1%	64.9%

LOT COVERAGE BASED ON UPLAND AREA.  
\*\*REFER TO ARCHITECTURAL PLANS FOR BUILDING HEIGHT.  
\*1 - BUT NO NEW STRUCTURE SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN EXISTED ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.  
\*14 - THE 10-FOOT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF THE LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT, A 20-FOOT SETBACK IS REQUIRED ON THE ABUTTING SIDE.  
\*15 - BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

REQUIREMENTS FOR 100 AND 110 EAST CENTRAL STREET ZONE COMMERCIAL 1 EXISTING AND PROPOSED LOT AREA, FRONTAGE, DEPTH, WIDTH AND COVERAGE BASED ON THE LOTS BEING COMBINED.  
BUILDING HEIGHT, AND SETBACKS BASED ON EXISTING AND PROPOSED BUILDINGS LOCATED ON 100 AND 110 EAST CENTRAL STREET.  
PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT.  
THE PROPERTY IS LOCATED IN A ZONE C BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.



LOCUS MAP  
SCALE: 1" = 100'

DRAWING INDEX:

1. COVER SHEET
  2. EXISTING CONDITIONS PLAN
  3. SITE LAYOUT PLAN
  4. SITE GRADING AND UTILITY PLAN
  5. PLANTING PLAN
  6. EROSION CONTROL PLAN
  7. CONSTRUCTION DETAILS - 1
  8. CONSTRUCTION DETAILS - 2
  9. CONSTRUCTION DETAILS - 3
  10. CONSTRUCTION DETAILS - 4
- SITE LIGHTING-LIGHTING PLAN,  
PHOTOMETRICS AND SCHEDULES  
BY SK & ACCOCIATES

REFERENCES:  
ASSESSORS MAP 286 PARCELS 30 AND 31  
DEED BOOK 38897 PAGE 557  
CERTIFICATE NUMBER 209218

PLAN 192908  
PLAN IN BOOK 1091 PAGE 108  
PLAN 3334 OF 1913

OWNERS:  
100 EAST CENTRAL STREET RE, LLC  
110 EAST CENTRAL STREET RE, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

APPLICANT:  
110 EAST CENTRAL STREET RE, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

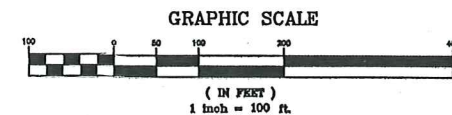
- WAIVER REQUESTS:
1. TO ALLOW THE USE OF PVC AND HPDE PIPE FOR THE ROOF DRAINS AND UNDERGROUND STORMWATER STORAGE AREA.
  2. TO ALLOW SITE LIGHTING TO EXTEND PAST THE PROPERTY LINE.

- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

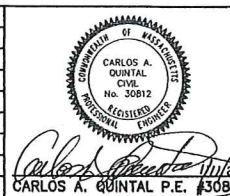
SITE PLAN  
COVER SHEET  
100 & 110 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
110 EAST CENTRAL STREET RE, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
JANUARY 5, 2024  
SCALE: 1" = 100'

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY



DATE	FIELD BY:	INT.
7/23	BL	BL
BK#	FIELD BOOK	PG#
1/24	RRG	RRG
1/24	DESIGNED BY:	RRG
1/24	DRAWN BY:	COMP
1/24	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
608-384-8580 FAX 608-384-8586

DATE	SCALE	PROJECT	SHEET
JAN. 5, 2024	1" = 100'	UC1587	1 of 10



NOTES:  
 1. ELEVATIONS DATUM NGVD 1929.  
 2. EXISTING CONDITIONS SURVEY WAS COMPLETED BETWEEN AUGUST 28, 2020 AND JULY 18, 2023.  
 3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

EXISTING UTILITY NOTE:  
 SEWER, DRAIN AND WATER LOCATIONS AND ELEVATIONS WERE TAKEN FROM PLANS OF RECORD AND ARE NOT THE RESULT OF A FIELD SURVEY.

LEGEND:

- EXISTING CONTOUR
- 297- PROPOSED CONTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX. SPOT GRADE - EXISTING
- EXIST. TREE - DIAMETER - SPECIES
- UTILITY POLE
- OVERHEAD WIRES
- GAS GATE
- WATER CURB STOP
- WATER GATE
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- Handicap symbol HANDICAP PARKING SPACE
- Building symbol BUILDING MOUNTED LIGHT
- B BOLLARD
- M MONITOR WELL

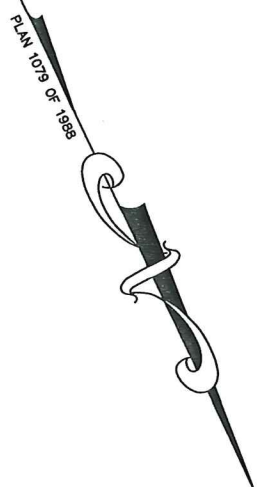
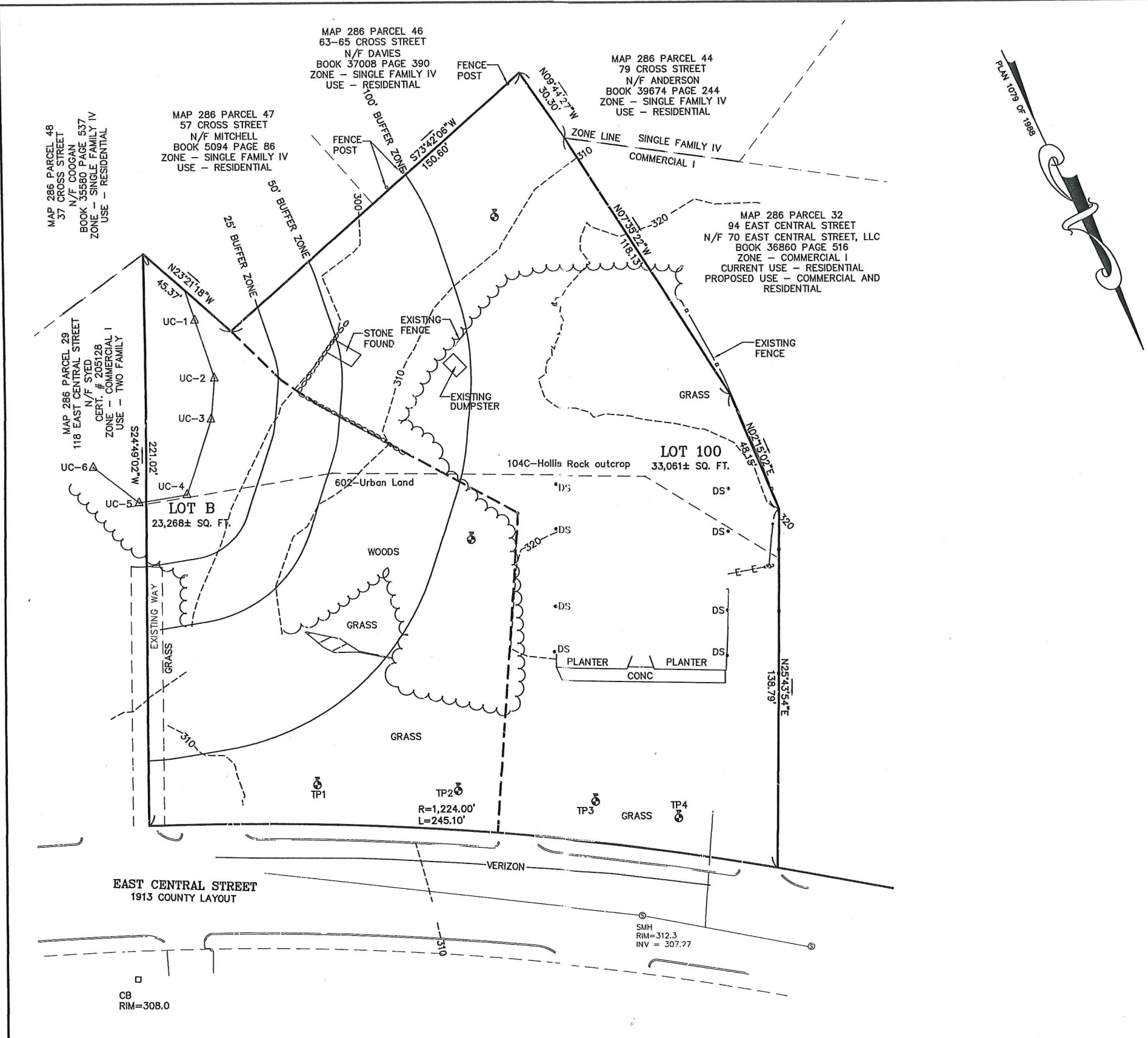
REFERENCES:  
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 DEED BOOK 38897 PAGE 557  
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PLAN 19290B  
 PLAN IN BOOK 1091 PAGE 108  
 PLAN 3334 OF 1913

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 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

APPLICANT:  
 110 EAST CENTRAL STREET RE, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

SITE PLAN  
 EXISTING CONDITIONS PLAN  
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 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
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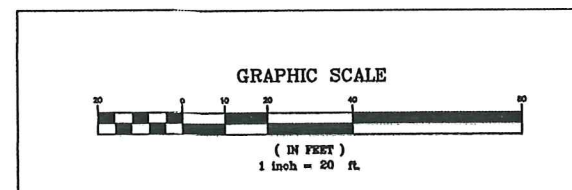
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1/24	ACM	

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
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 508-384-6560 FAX 508-384-6566

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 PROJECT: UC1587  
 SHEET: 2 of 10

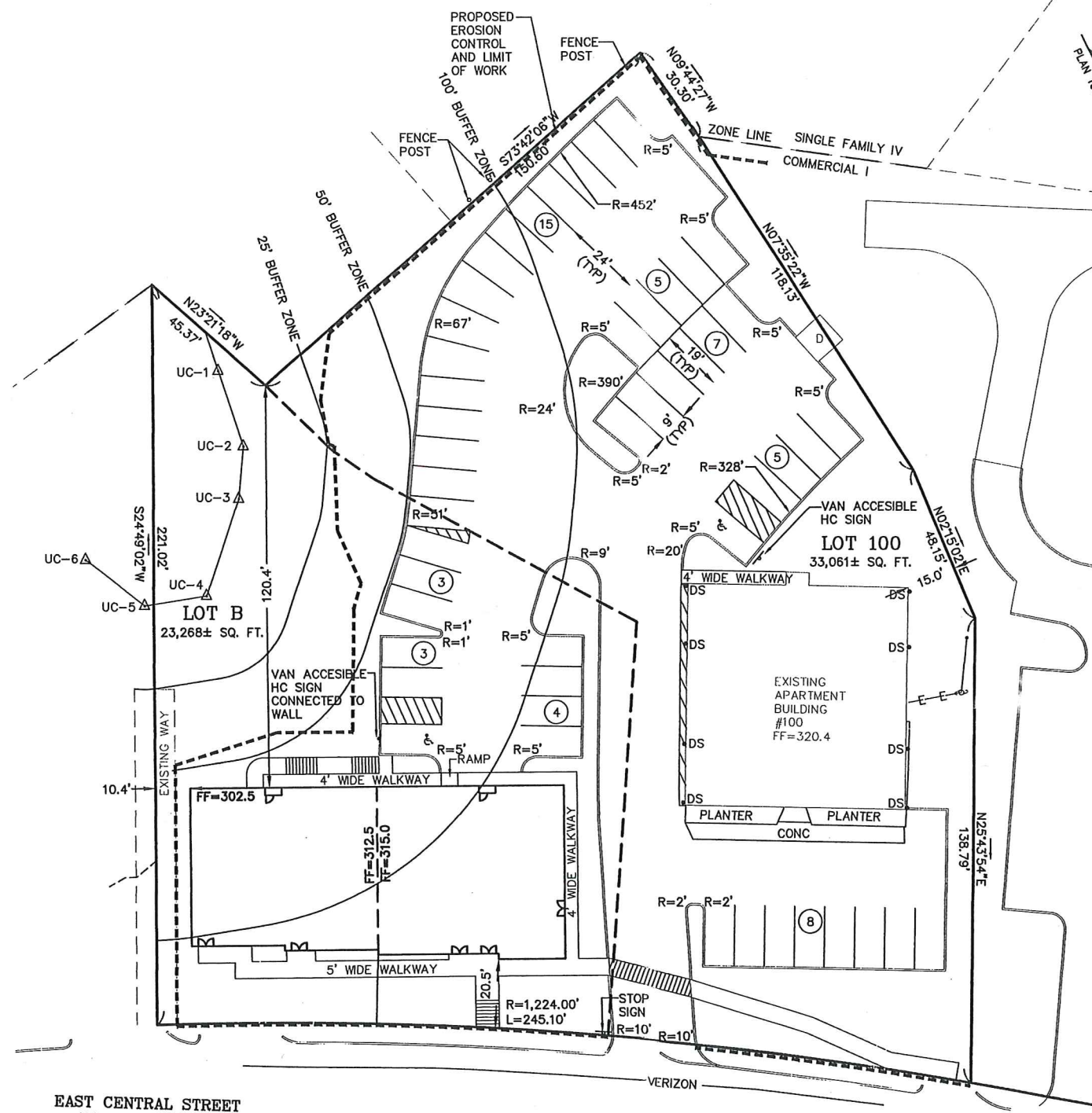
SITE PLAN APPROVAL REQUIRED  
 FRANKLIN PLANNING BOARD

DATE \_\_\_\_\_



NO.	DATE	DESCRIPTION	BY

ANDREW C. MURPHY P.L.S. #35042



**PARKING CALCULATIONS:**  
 #100 - #110 EAST CENTRAL STREET  
 COMMERCIAL I REQUIREMENTS (SECTIONS 185-21B.(2)(a))  
 1.5 SPACES PER DWELLING UNIT  
 RESIDENTIAL DWELLINGS - 30 x 1.5 = 45

COMMERCIAL I REQUIREMENTS (SECTIONS 185-21B.(2)(b))  
 COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500 SQ. FT. = 500 SQ. FT. / 500 = 1 SPACE REQUIRED

46 SPACES REQUIRED

50 TOTAL SPACES PROVIDED INCLUDING 2 HANDICAP SPACES.

**RESIDENTIAL UNIT DENSITY:**  
 1 UNIT PER 2,250 SQ. FT.  
 56,329 SQ. FT. / 2,250 = 25.03 UNITS  
 SEE 185 ATTACHMENT 7 NOTE 3.  
 30 DWELLING UNITS PROPOSED (INCLUDING 10 EXISTING UNITS)  
 SPECIAL PERMIT REQUIRED.

- LEGEND:**
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  - WATER CURB STOP
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  - DRAIN MANHOLE
  - CATCH BASIN
  - SEWER MANHOLE
  - D DUMPSTER
  - VCC VERTICAL CONCRETE CURBING (REINFORCED)
  - VGC VERTICAL GRANITE CURBING
  - ⊕ HANDICAP PARKING SPACE
  - BUILDING MOUNTED LIGHT
  - BOLLARD
  - M MONITOR WELL

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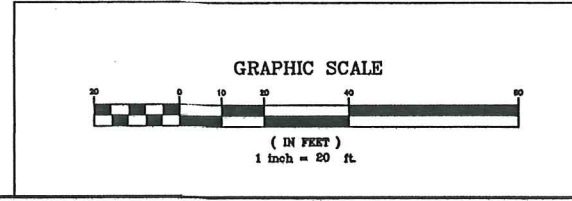
**SITE PLAN**  
**SITE LAYOUT PLAN**  
 100 & 110 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
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 JANUARY 5, 2024  
 SCALE: 1" = 100'

EAST CENTRAL STREET  
 1913 COUNTY LAYOUT

CB  
 RIM=308.0

**SITE PLAN APPROVAL**  
**REQUIRED**  
**FRANKLIN PLANNING BOARD**

DATE \_\_\_\_\_



NO.	DATE	DESCRIPTION	BY

**CARLOS A. QUINTAL**  
 CIVIL  
 No. 30812  
 REGISTERED PROFESSIONAL ENGINEER

*Carlos A. Quintal*  
 CARLOS A. QUINTAL P.E. #30812

DATE	FIELD BY:	INT.
7/23	BL	BL
1/24	RRG	RRG
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**UNITED CONSULTANTS INC.**

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 508-384-6560 FAX 508-384-6566

DATE  
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SCALE  
 1" = 20'

PROJECT  
 UC1587

SHEET  
 3 of 10



MAY 8, 2023

PERFORMED BY CARLOS A. QUINTAL, P.E., SOIL EVALUATOR  
RICHARD GOODREAU AND JARED LIBERTI

TP 1 ELEV. = 312.89  
0' - 7.5" A 10YR 3/2 - ELEV. = 312.26  
7.5' - 19" B 10YR 4/4 - ELEV. = 311.31  
19" - 39" C SANDY 2.5Y 5/6 - ELEV. = 309.64  
REFUSAL @ 39" - ELEV. = 309.64

TP 2 ELEV. = 313.96  
0' - 6" A 10YR 3/2 - ELEV. = 313.46  
6" - 18" B 10YR 4/4 - ELEV. = 312.46  
18" - 45" C SANDY 2.5Y 5/6 - ELEV. = 310.21  
REFUSAL @ 45" - ELEV. = 310.21

TP 3 ELEV. = 314.17  
0 - 12" A 10YR 3/2 - ELEV. = 313.17  
12" - 62" B 10YR 4/4 - ELEV. = 308.75  
62" - 96" C SANDY LOAM 2.5Y 5/6 - ELEV. = 306.17  
PERMEABILITY TEST @ 62" RATE - 1.506 IN / HR  
MOTTLING @ 90" - ELEV. = 306.67

TP 4 ELEV. = 314.60  
0 - 50" FILL - ELEV. = 310.43  
50" - 73" B 10YR 4/4 - ELEV. = 308.22  
73" - 96" C1 10YR 4/4 - ELEV. = 306.6  
96" - 102" C2 ELEV. = 306.10  
REFUSAL @ 102" - ELEV. = 306.10

DRAINAGE STRUCTURE SCHEDULE:

CB 1  
RIM = 314.5  
INV OUT = 311.39 - 12" RCP

CB 2  
RIM = 316.7  
INV OUT = 311.2 - 12" RCP

GI 3  
GRATE RIM = 314.3  
MH RIM = 314.8  
INV OUT = 311.98 - 12" RCP

CB 4 - STORMCEPTOR 450I  
RIM = 314.4  
INV OUT = 305.70

DMH 1  
RIM = 315.2  
INV IN = 311.63 - 8" SDR 35 PVC  
INV IN = 311.30 - 12" RCP  
INV OUT = 311.20 - 12" HDPE

DMH 2  
RIM = 318.5  
INV IN = 312.1 - 8" PVC  
INV IN = 311.70 - 12" RCP  
INV OUT = 311.60 - 12" RCP

DMH 3  
RIM = 318.5  
INV IN = 312.31  
INV IN = 311.91 - 12" RCP  
INV OUT = 311.81 - 12" RCP

DMH 4  
RIM = 316.2  
INV IN = 300.75  
INV OUT = 298.75

PAVEMENT RESTORATION WITHIN THE 140 RIGHT OF WAY SHALL MATCH THE EXISTING GRAVEL, DENSE GRADE, BINDER COURSE AND FINISH COURSE DEPTHS OF BITUMINOUS CONCRETE. EXISTING CONCRETE SIDEWALK TO BE REMOVED AND RECONSTRUCTED AS NECESSARY AND SHALL MATCH EXISTING CONCRETE SIDEWALK ALONG THE FRONTAGE OF 100 AND 110 EAST CENTRAL STREET.

ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% OR A RUNNING SLOPE GREATER THAN 5% SEE 521 CMR 20.9.

LEGEND:

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- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- Handicap Parking Space
- Building Mounted Light
- BOLLARD
- MONITOR WELL

BUFFER ZONE DISTURBANCES:

- 0 - 25' BUFFER ZONE  
0 - SQ. FT.
- 25' - 50' BUFFER ZONE  
1,852 SQ. FT.
- 50' - 100' BUFFER ZONE  
13,652, SQ. FT.

SEWER STRUCTURE SCHEDULE:

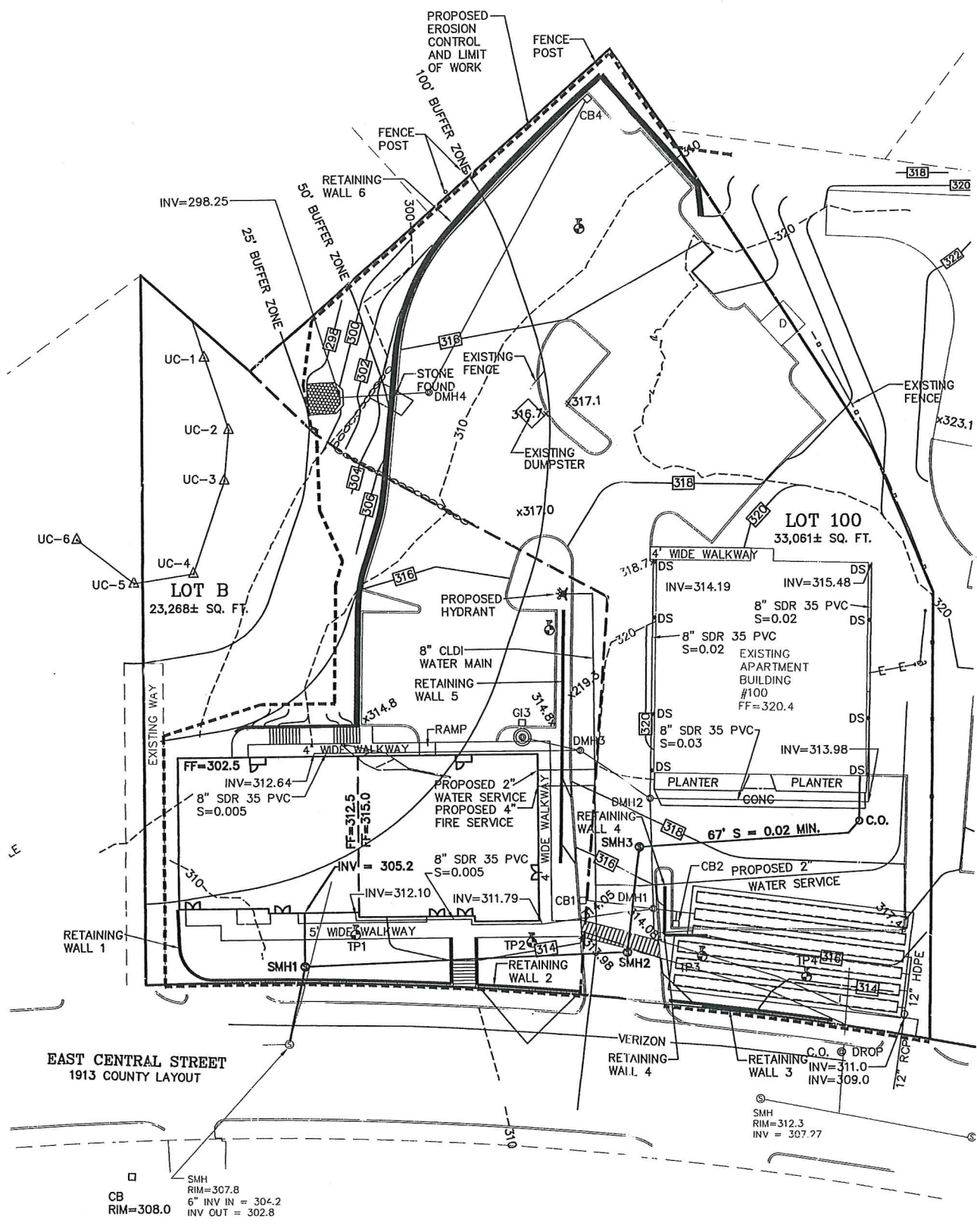
SMH 1  
RIM = 311.0  
INV IN = 304.78 - 8" SDR 35  
INV OUT = 304.68 - 6" PVC (EXISTING)

SMH 2  
RIM = 313.8  
INV IN = 307.76 - 8" SDR 35  
INV OUT = 307.66 - 8" SDR 35

SMH 3  
RIM = 317.0  
INV IN = 309.02 - 8" SDR 35  
INV OUT = 308.92 - 8" SDR 35

SEWER NOTES:

1. CONTRACTOR TO CONFIRM ELEVATION OF THE EXISTING 6" PVC SEWER SERVICE AT THE RIGHT OF WAY LINE PRIOR TO INSTALLING AND SEWER LINES OR MANHOLES. CONTRACTOR TO COORDINATE WITH THE DESIGN ENGINEER AND PROVIDE 48 HOUR NOTICE (MINIMUM) PRIOR TO ANY SEWER WORK COMMENCING.
2. CONTRACTOR TO CONFIRM THE LOCATION OF THE DUCT BANK AND REPORT LOCATIONS TO THE DESIGN ENGINEER A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WITH ANY SEWER LINES OR MANHOLE INSTALLATION.
3. ALL NEW SEWER LINES TO BE 8" SDR 35 PVC SEWER.

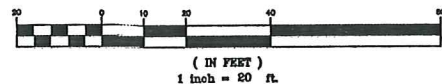


SITE PLAN  
SITE GRADING AND UTILITY PLAN  
100 & 110 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
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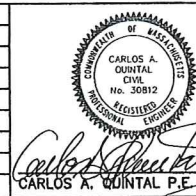
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GRAPHIC SCALE



NO. DATE DESCRIPTION BY



DATE	FIELD BY:	INT.
7/23	BL	BL
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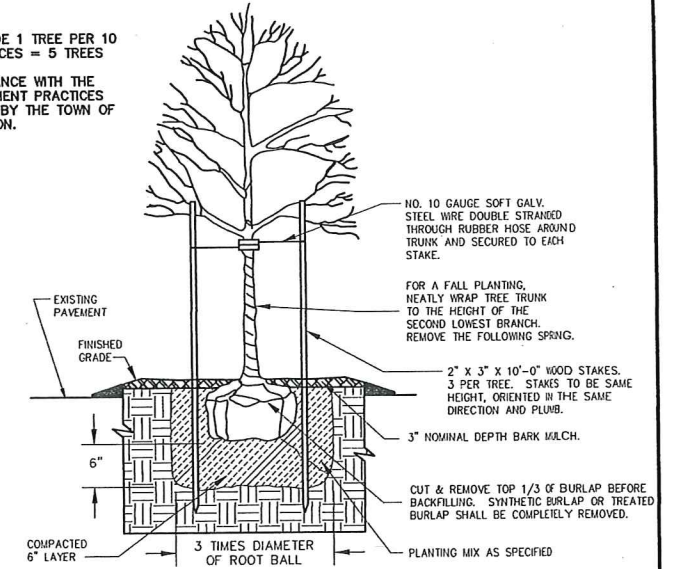


LANDSCAPE AND SNOW STORAGE / REMOVAL NOTES:  
 1. LANDSCAPE AREAS TO BE COVERED WITH MULCH OR DECORATIVE STONE.  
 2. LANDSCAPE AREAS TO BE UTILIZED AS SNOW STORAGE AREAS.  
 3. SNOW STORAGE TO BE IN EXTRA PARKING SPACES 21-25.

PLANTING SCHEDULE

NUMBER	SCIENTIFIC NAME	SIZE	CONDITION
2	SUGAR MAPLE - SM ACER SACCHARUM	2 - 2 1/2"	B&B
3	RED MAPLE - RM ACER RUBRUM	2 - 2 1/2"	B&B

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES. 50 PARKING SPACES = 5 TREES  
 5 TREES PROVIDED.  
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK OR WILL BE APPROVED BY THE TOWN OF FRANKLIN CONSERVATION COMMISSION.

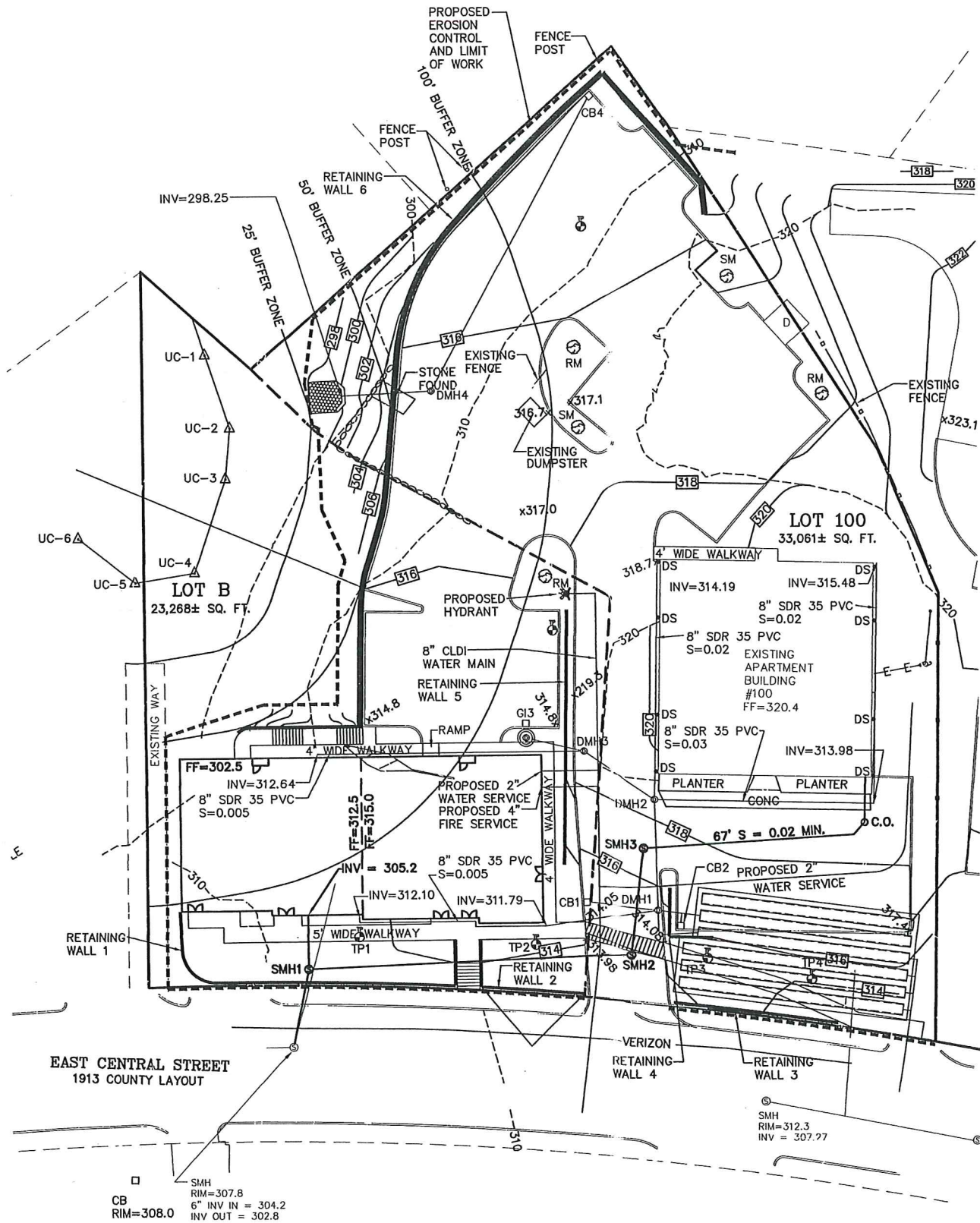


DECIDUOUS TREE PLANTING

NOTES:  
 1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
 2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.  
 3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.  
 4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

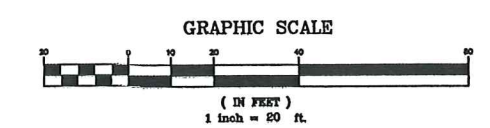
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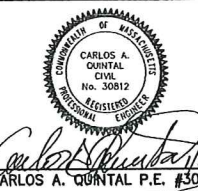


SITE PLAN  
 PLANTING PLAN  
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 FRANKLIN, MASSACHUSETTS  
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PROJECT	UC1587
SHEET	5 of 10



# OPERATION AND MAINTENANCE PLAN

## CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, 110 EAST CENTRAL STREET RE, LLC 1-508-507-9020 SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AND/OR SILT FENCE AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS EXISTING AND PROPOSED AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
9. THE WATER QUALITY UNIT SHALL BE CLEANED WITH A VACUUM TRUCK.

## INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENTS ARE TO BE REMOVED.
3. INSPECTIONS OF THE WATER QUALITY UNIT TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1 TO DETERMINE IF CLEANING IS NECESSARY.
6. THE HEADWALL OUTLET RIPRAP SHALL BE INSPECTED WEEKLY AND ANY SEDIMENT OBSERVED SHALL BE IMMEDIATELY REMOVED.

## OPERATION AND MAINTENANCE SCHEDULE

### CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. THE EXISTING PAVED PARKING AREAS AS WELL AS THE PROPOSED PARKING AREA ONCE PAVED WILL REQUIRE DAILY INSPECTIONS TO BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS. SILT SAKS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
4. THE WATER QUALITY UNIT SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
5. THE POND SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.
6. IMMEDIATELY UPON COMPLETION OF SITE GRADING ACTIVITIES OF PROPOSED LANDSCAPED AREA, THE AREAS SHALL HAVE LOAM APPLIED AND SHALL BE SEEDDED.
7. ALL MATERIAL STOCKPILES THAT ARE NOT BEING ACTIVELY USED FOR A PERIOD OF 2 WEEKS SHALL BE COVERED WITH A TARP(S) OR VEGETATED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

### LONG TERM:

1. THE PARKING LOT SHALL BE SWEEPED FOUR TIMES PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE WATER QUALITY UNITS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES.
3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

## EROSION CONTROL NOTES:

1. COMPOST SOCK AND SILT FENCE SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. COMPOST SOCK AND SILT FENCE TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
3. REFER TO CONSTRUCTION SEQUENCE FOR SLOPE GREATER THAN 3' HORIZONTAL TO 1' VERTICAL.
4. WATER QUALITY UNITS, CATCH BASINS, UNDERGROUND POND AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
5. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
7. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
9. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

## LEGEND:

- 297 — EXISTING CONTOUR
- x274.3- PROPOSED CONTOUR
- x274.3EX- SPOT GRADE - PROPOSED
- x274.3EX- SPOT GRADE - EXISTING
- EXIST. TREE - DIAMETER - SPECIES
- UTILITY POLE
- OVERHEAD WIRES
- GAS GATE
- WATER CURB STOP
- WATER GATE
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- ♿ HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- B BOLLARD
- M MONITOR WELL

## CONSTRUCTION SEQUENCE:

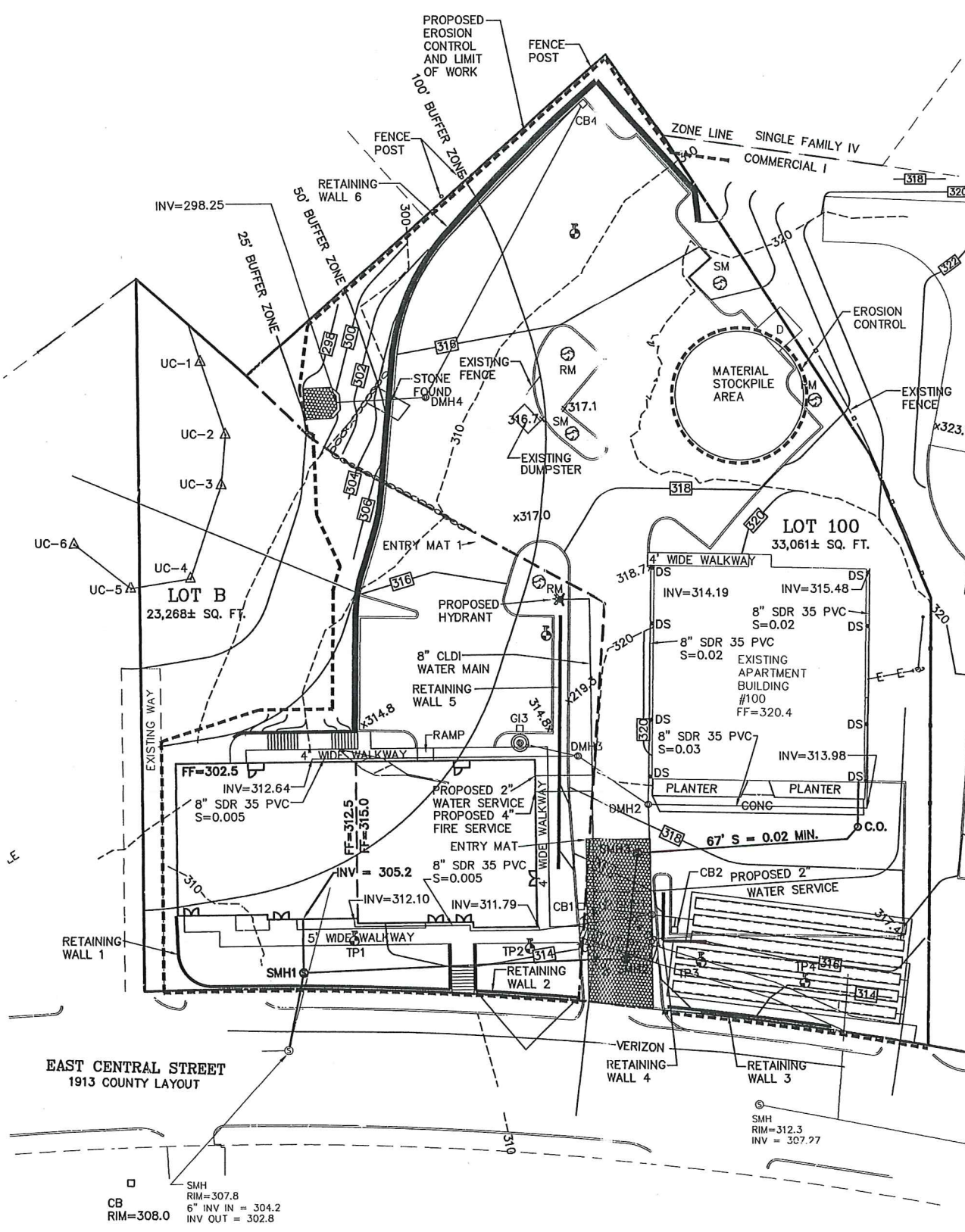
1. INSTALL EROSION CONTROL AND SIGN.
2. COMPLETE TREE CLEARING, STUMP REMOVAL AND REMOVE LOAM AND SUBSOIL.
3. REMOVE EXISTING UTILITIES AND RAZE EXISTING BUILDING.
4. EXCAVATE THE FOUNDATION HOLE. FORM AND POUR THE FOUNDATION AND THEN BACKFILL FOUNDATION.
5. INSTALL SITE UTILITIES. THE STORMWATER SYSTEM SHALL BE INSTALLED WITH EXCESS MATERIAL BEING REMOVED FROM THE SITE AND NECESSARY CONSTRUCTION MATERIALS DELIVERED TO THE SITE. MINIMIZE THE USE OF THE MATERIAL STOCKPILE AREA.
6. CONSTRUCT RETAINING WALLS.
7. BRING THE SITE TO SUB GRADE.
8. INSTALL A BINDER COURSE OF PAVING, CONSTRUCT THE SITE WALKWAYS.
9. CURBING SHALL BE INSTALLED.
10. LANDSCAPING SHALL BE PLANTED AND ALL REMAINING DISTURBED AREAS SHALL BE LOAMED AND SEEDDED.



ENTRY SEDIMENTATION CONTROL MAT SECTION  
N.T.S.

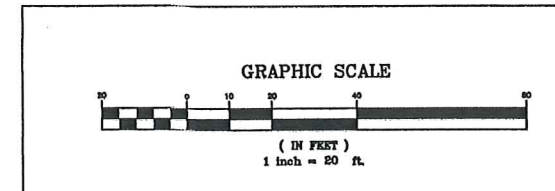
- NOTES:
1. PAD SHALL BE A MINIMUM OF 20 FEET IN WIDTH. EXISTING ASPHALT DRIVE TO REMAIN IN PLACE UNTIL FINAL PAVEMENT IS TO BE INSTALLED.
  2. PAD SHALL CONSIST OF 4" STONE 8" MIN. DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.

SITE PLAN  
EROSION CONTROL PLAN  
100 & 110 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
110 EAST CENTRAL STREET RE, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
JANUARY 5, 2024  
SCALE: 1" = 100'



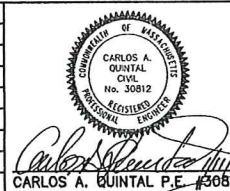
SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE \_\_\_\_\_



NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
7/23		BL
1/24		RRG
1/24		RRG
1/24		COMP
1/24		CAQ

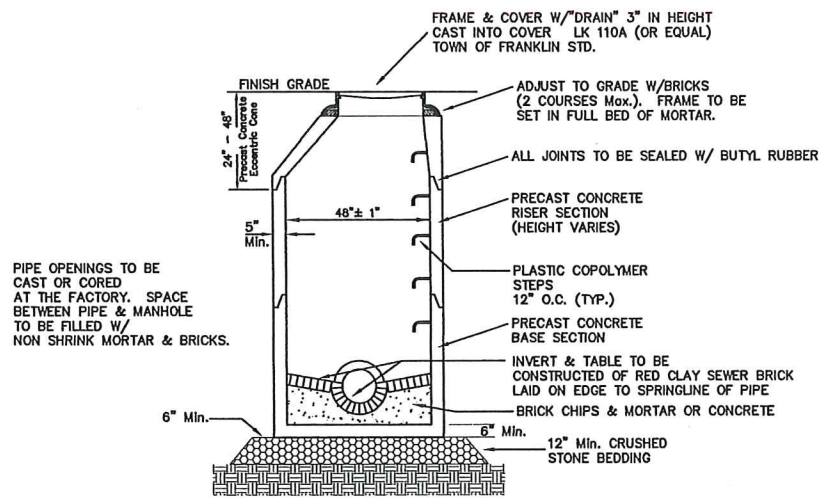


UNITED CONSULTANTS INC.

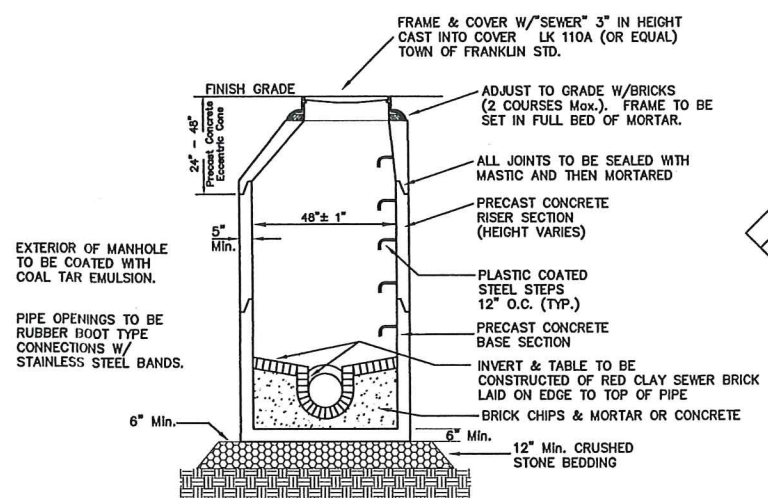
650 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-8560 FAX 508-384-8560

DATE	SCALE	PROJECT	SHEET
JAN. 5, 2024	1" = 20'	UC1587	6 of 10



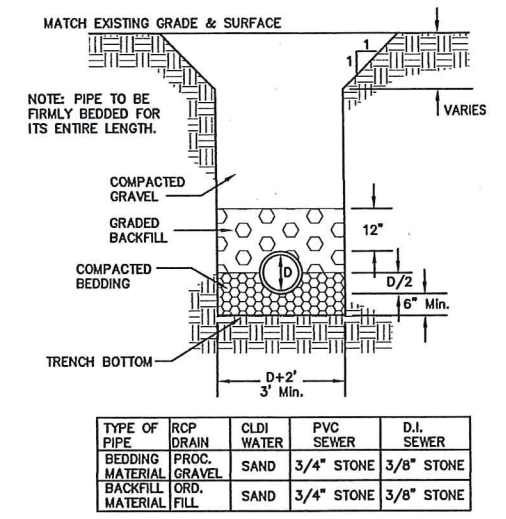
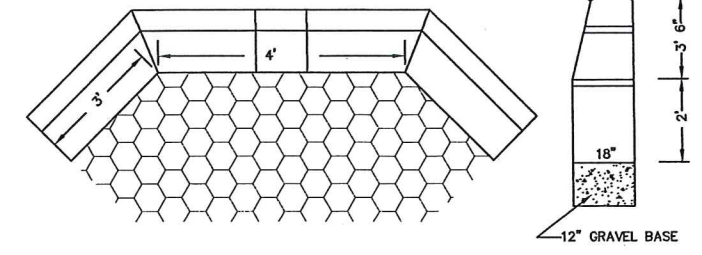


PRECAST DRAIN MANHOLE

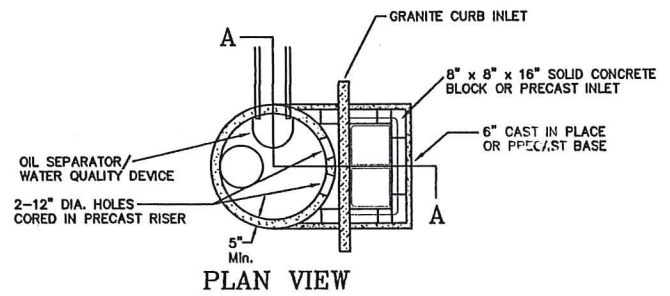


PRECAST SEWER MANHOLE

NOTE:  
1. ALL EXPOSED EDGES SHALL HAVE A 1" CHAMFER  
2. CAST WITH # 5 REBAR AT 12" O.C. EACH WAY



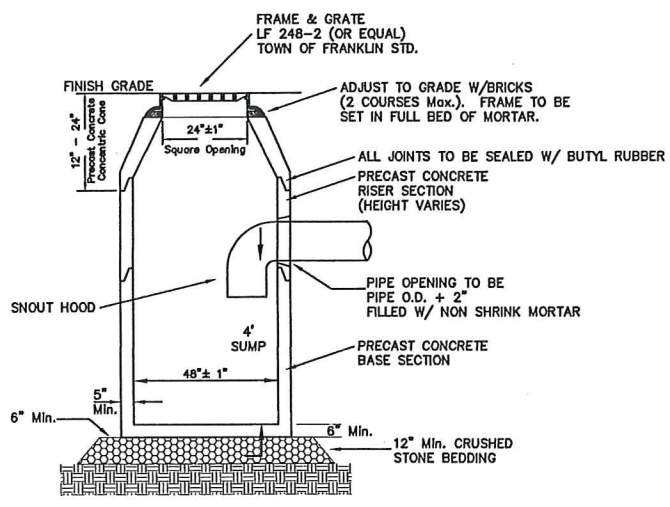
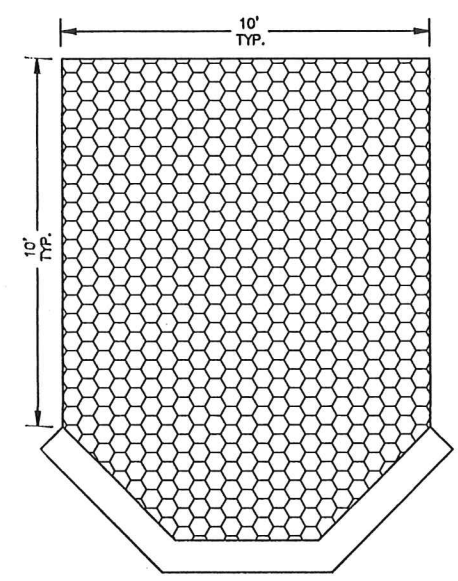
UTILITY TRENCH DETAIL



SECTION A-A  
DOUBLE GRATE  
PRECAST GUTTER INLET  
W/ DEEP SUMP  
CB - 3

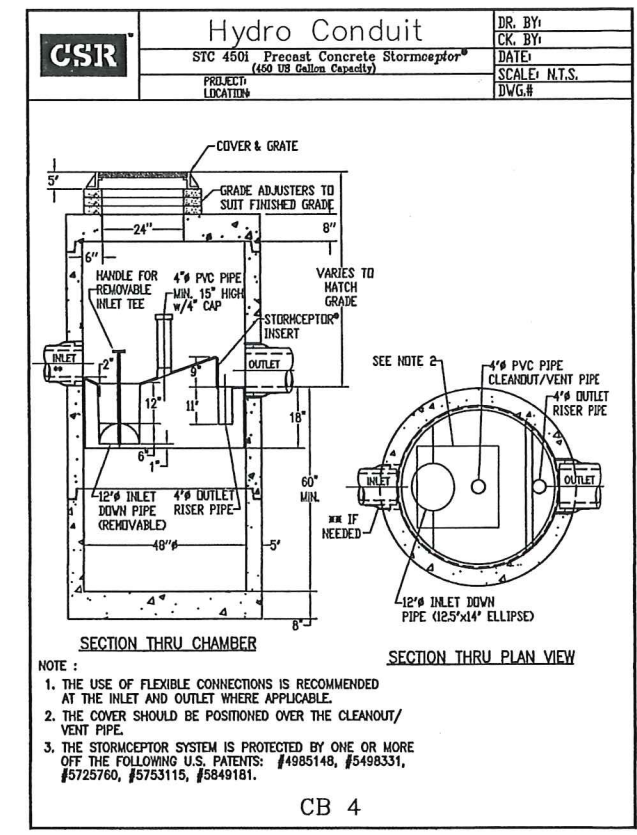
CONSTRUCTION NOTES:  
1. RIP RAP TO BE MAXIMUM OF 14" AVERAGE OF 9" AND MINIMUM OF 6".  
2. RIP RAP TO BE PLACED OVER A FILTER FABRIC.  
3. RIP RAP MINIMUM DEPTH SHALL BE 18"

REFERENCE TECHNICAL SUPPLEMENT 14C - US BUREAU OF RECLAMATION METHOD.

$$D50 = 0.0122 \times 7.31^{2.06} = 0.73$$


PRECAST CATCH BASIN  
CB - 1 AND 2

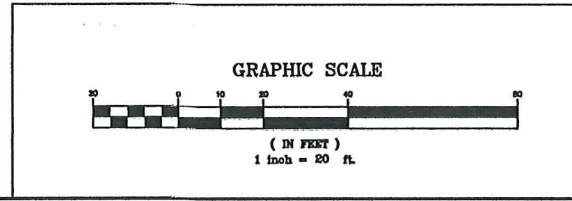
NOTES:  
1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.  
3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.  
4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.



SITE PLAN  
CONSTRUCTION DETAILS - 1  
100 & 110 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
110 EAST CENTRAL STREET RE, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
JANUARY 5, 2024  
SCALE: 1" = 100'

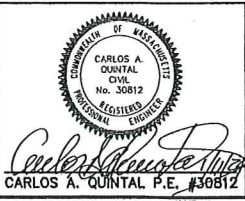
SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE \_\_\_\_\_



NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
7/23	BL	
1/24	FIELD BOOK	
1/24	DESIGNED BY:	RRG
1/24	DRAWN BY:	COMP
1/24	CHECKED BY:	CAQ

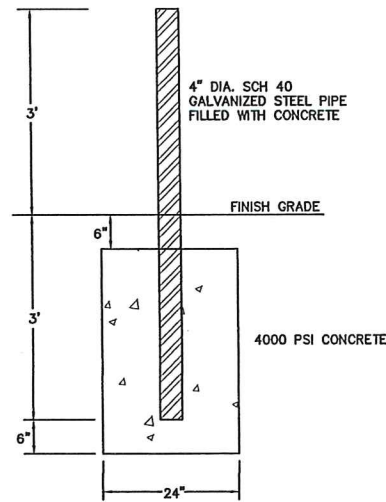


**UNITED CONSULTANTS INC.**

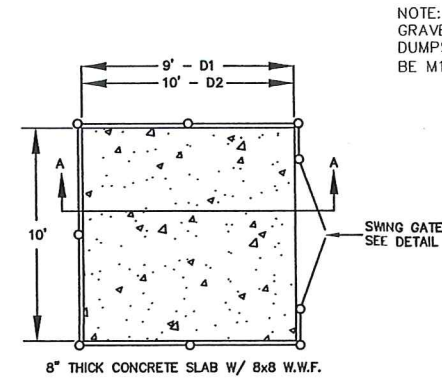
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
608-384-6560 FAX 608-384-6566

DATE	SCALE	PROJECT	SHEET
JAN. 5, 2024	1" = 20'	UC1587	7 of 10



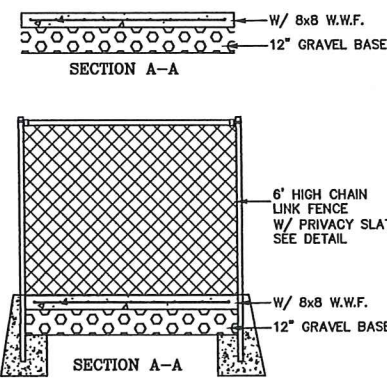


BOLLARD DETAIL

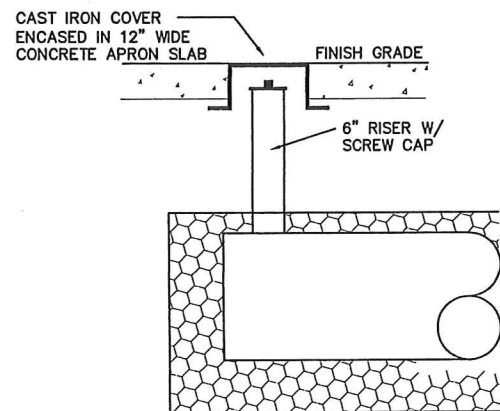


CONCRETE DUMPSTER PAD

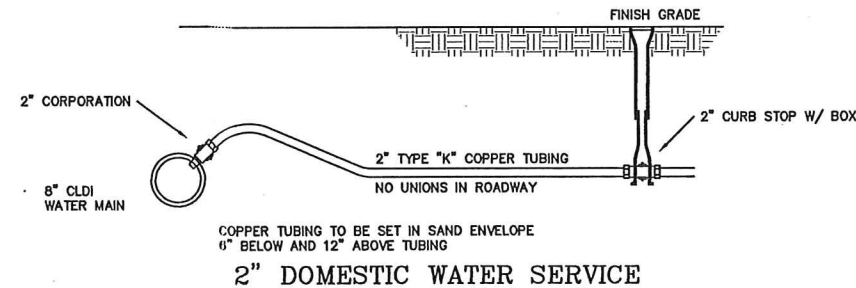
NOTE:  
GRAVEL UNDER  
DUMPSTER PAD TO  
BE M1.03.0 (TYPE B)



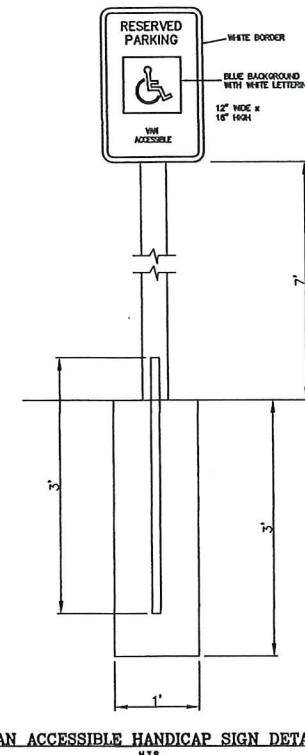
DUMPSTER AREA FENCE



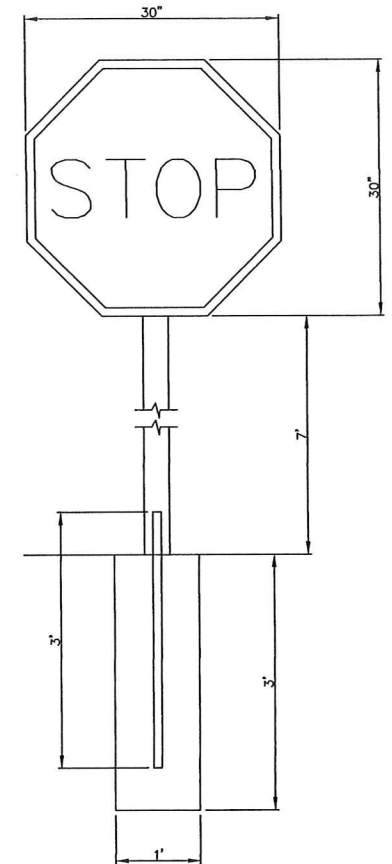
INSPECTION PORT DETAIL  
DRAINAGE INFILTRATION AREAS  
N.T.S.



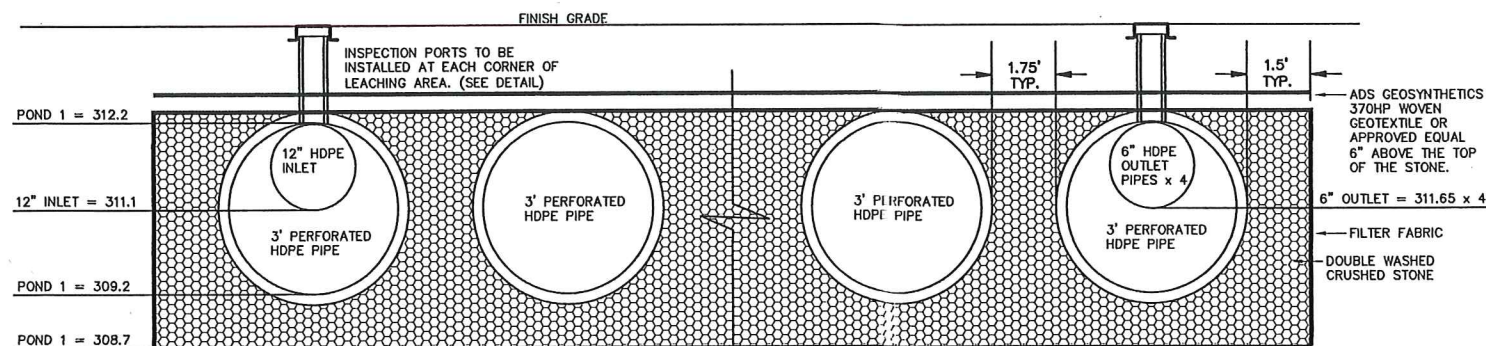
2" DOMESTIC WATER SERVICE



VAN ACCESSIBLE HANDICAP SIGN DETAIL



STOP SIGN DETAIL

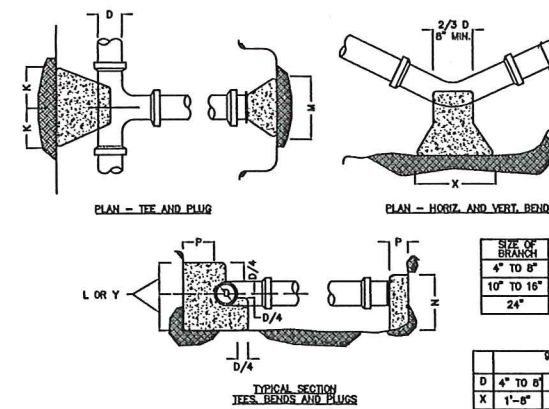


DRAINAGE INFILTRATION AREA

NOTE:  
INFILTRATION POND 1 CONSISTS OF  
6 ROWS OF 3' DIAMETER PERFORATED HDPE PIPE.  
3 ROWS AT 66' IN LENGTH.  
3 ROWS AT 70' IN LENGTH.  
STONE EXTENTS 32.75' x 69' TO 73' (SEE PLAN)

THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL BEING PLACED.

NOTES:  
1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.  
3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.  
4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.



THRUST BLOCK DETAILS

SIZE OF BRANCH	J	K	L	M	N	O
4" TO 8"	10"	10"	1'-0"	2'-0"	1'-8"	10"
10" TO 16"	1'-0"	1'-6"	1'-8"	3'-10"	2'-10"	1'-8"
24"	1'-4"	2'-0"	2'-8"	5'-0"	3'-6"	1'-8"

TEES AND PLUGS

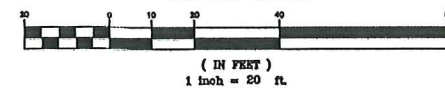
	90 & 45 BENDS	22 1/2 & 11 1/4 BENDS
D	4" TO 8" 10" TO 16" 24"	4" TO 8" 10" TO 16" 24"
X	1'-8" 3'-4" 3'-0"	1'-4" 2'-0" 3'-8"
Y	1'-2" 1'-8" 2'-4"	1'-0" 1'-2" 2'-4"

SITE PLAN  
CONSTRUCTION DETAILS - 2  
100 & 110 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
110 EAST CENTRAL STREET RE, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
JANUARY 5, 2024  
SCALE: 1" = 100'

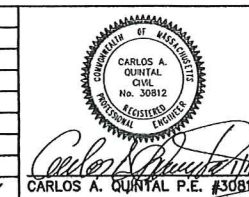
SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



NO. DATE DESCRIPTION BY

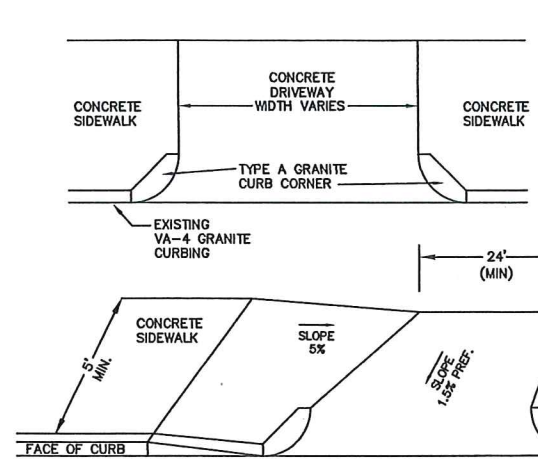


DATE	FIELD BY:	INT.
7/23	BL	
BK#	FIELD BOOK	PG#
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1/24	RRG	
1/24	COMP	
1/24	CAQ	

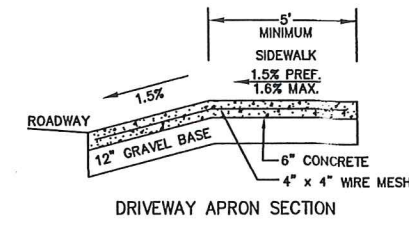
UNITED  
CONSULTANTS  
INC.  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6560 FAX 508-384-6568

DATE  
JAN. 5, 2024  
SCALE  
1" = 20'  
PROJECT  
UC1587  
SHEET  
8 of 10



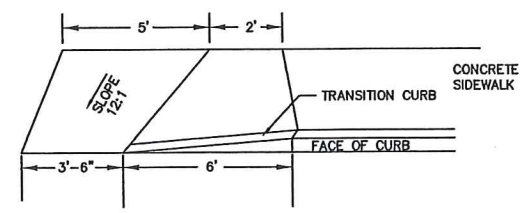


DRIVEWAY APRON

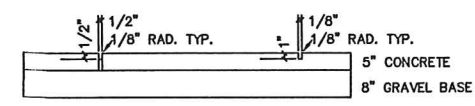


DRIVEWAY APRON SECTION

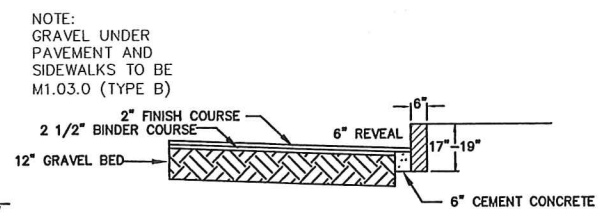
NOTES:  
 1. CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.  
 2. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.  
 3. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.  
 4. GRAVEL UNDER SIDEWALK TO BE M1.03.0 (TYPE B)



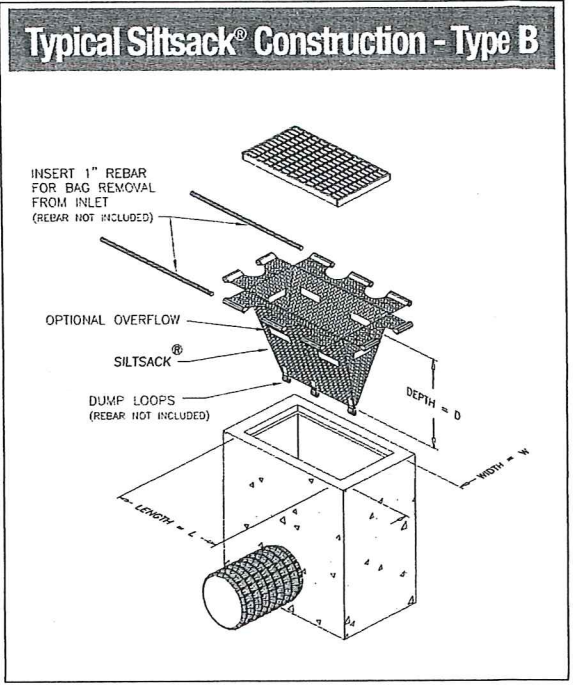
WHEELCHAIR RAMP



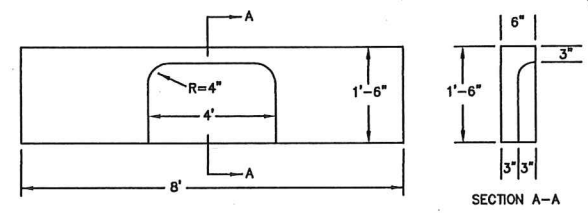
SIDEWALK JOINT DETAIL



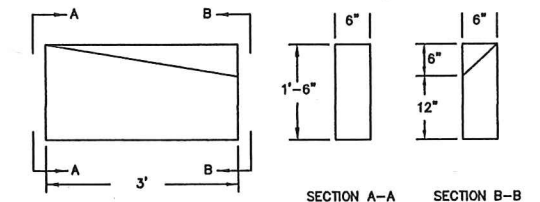
PAVEMENT AND VA-4 VERTICAL GRANITE CURBING



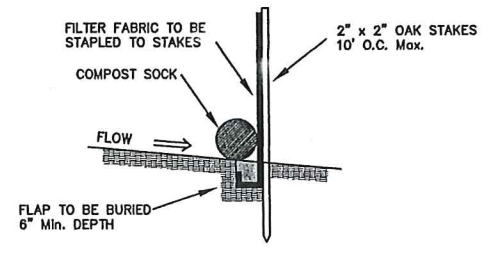
Typical SiltSack® Construction - Type B



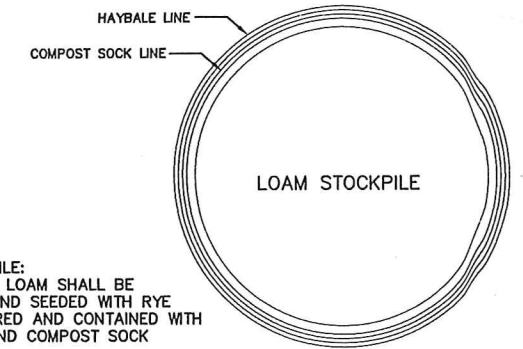
GRANITE CURB INLET DETAIL



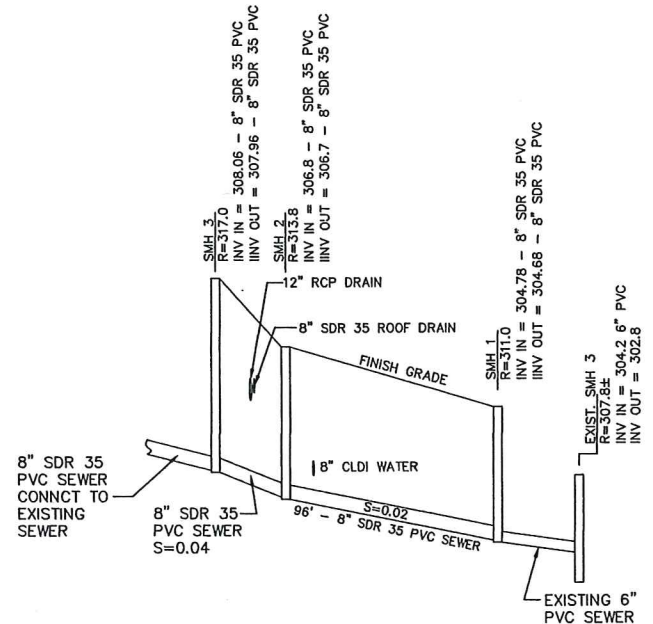
GRANITE CURB TRANSITION DETAIL



EROSION CONTROL DETAIL

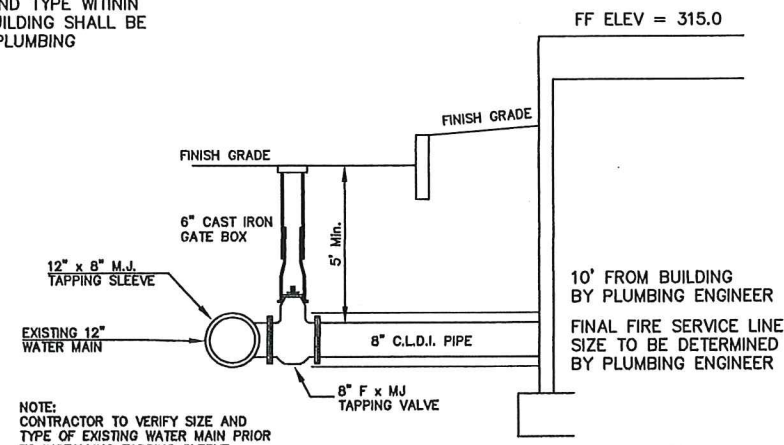


STOCKPILE DETAIL

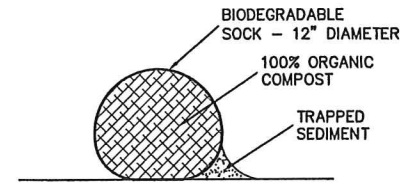


SEWER PROFILE  
 SCALE: H - 1" = 40'  
 V - 1" = 4'

CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AT CONNECTION POINT AND NOTIFY THE DESIGN ENGINEER.  
 SEWER PIPE TO BE 8" SDR 35. SEWER PIPE SIZE AND TYPE WITHIN 10 FEET OF THE BUILDING SHALL BE PROVIDED BY THE PLUMBING ENGINEER.



FIRE SERVICE CONNECTION

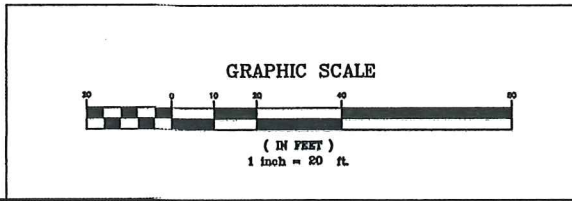


COMPOST SOCK DETAIL

LOAM STOCKPILE: ALL STRIPPED LOAM SHALL BE STOCKPILED AND SEEDED WITH RYE GRASS, WATERED AND CONTAINED WITH SILT FENCE AND COMPOST SOCK

SITE PLAN  
 CONSTRUCTION DETAILS - 3  
 100 & 110 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 110 EAST CENTRAL STREET RE, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 JANUARY 5, 2024  
 SCALE: 1" = 100'

SITE PLAN APPROVAL REQUIRED  
 FRANKLIN PLANNING BOARD  
 DATE \_\_\_\_\_



NO.	DATE	DESCRIPTION	BY

CARLOS A. QUINTAL P.E. #30812

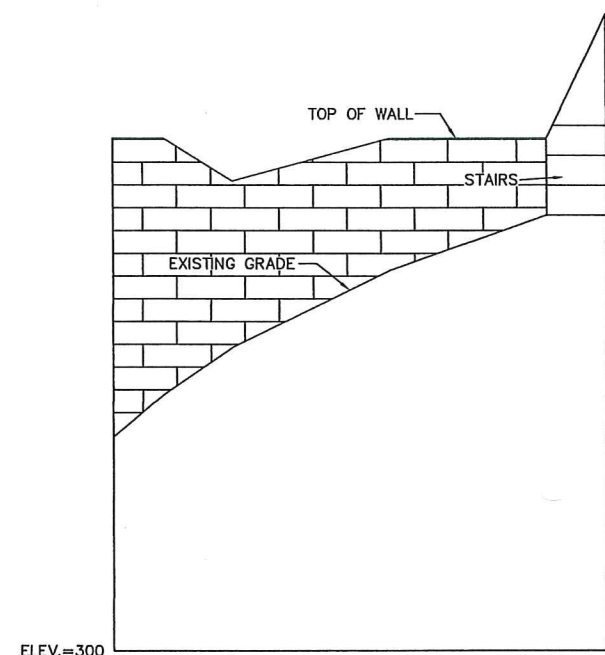
DATE	FIELD BY:	INT.
7/23		BL
1/24		
1/24		
1/24		
1/24		

UNITED CONSULTANTS INC.  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6680 FAX 508-384-6566

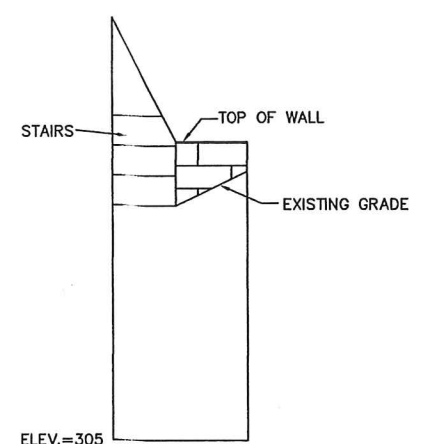
DATE  
 JAN. 5, 2024  
 SCALE  
 1" = 20'  
 PROJECT  
 UC1587  
 SHEET  
 9 of 10



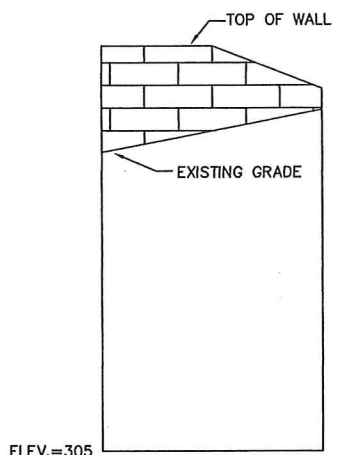
RETAINING WALL NOTES:  
 1. RETAINING WALLS 1, 2, 3 AND 4 SHALL BE CONSTRUCTED OF STONE.  
 2. RETAINING WALL 5 SHALL BE SEGMENTAL BLOCK.  
 3. ALL WALLS REQUIRING A BUILDING PERMIT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.  
 4. ALL WALLS THAT EXCEED FOUR FEET IN HEIGHT SHALL HAVE A NON-CLIMBABLE FENCE.  
 5. GUARDRAILS SHALL BE PROVIDED AT RETAINING WALLS 4, 5 AND 6 AND SHALL BE DESIGNED BY THE WALL STRUCTURAL ENGINEER.



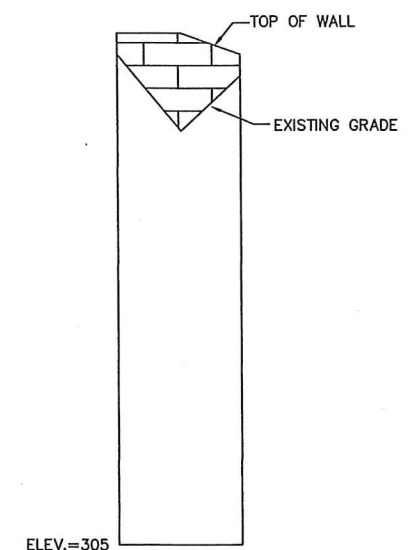
RETAINING WALL 1  
 SCALE: H- 1" = 20'  
 V- 1" = 2'



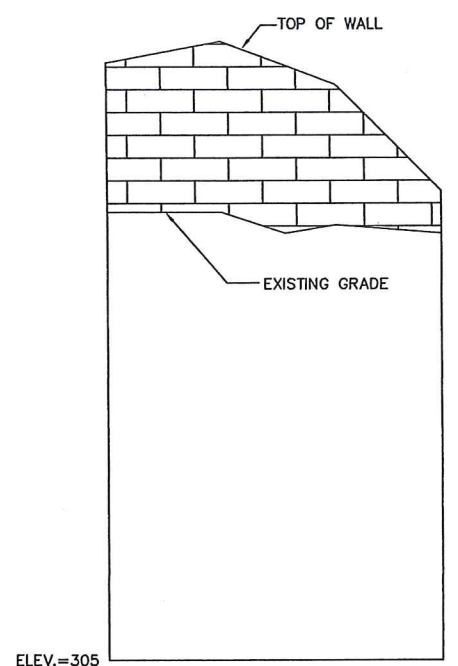
RETAINING WALL 2  
 SCALE: H- 1" = 20'  
 V- 1" = 2'



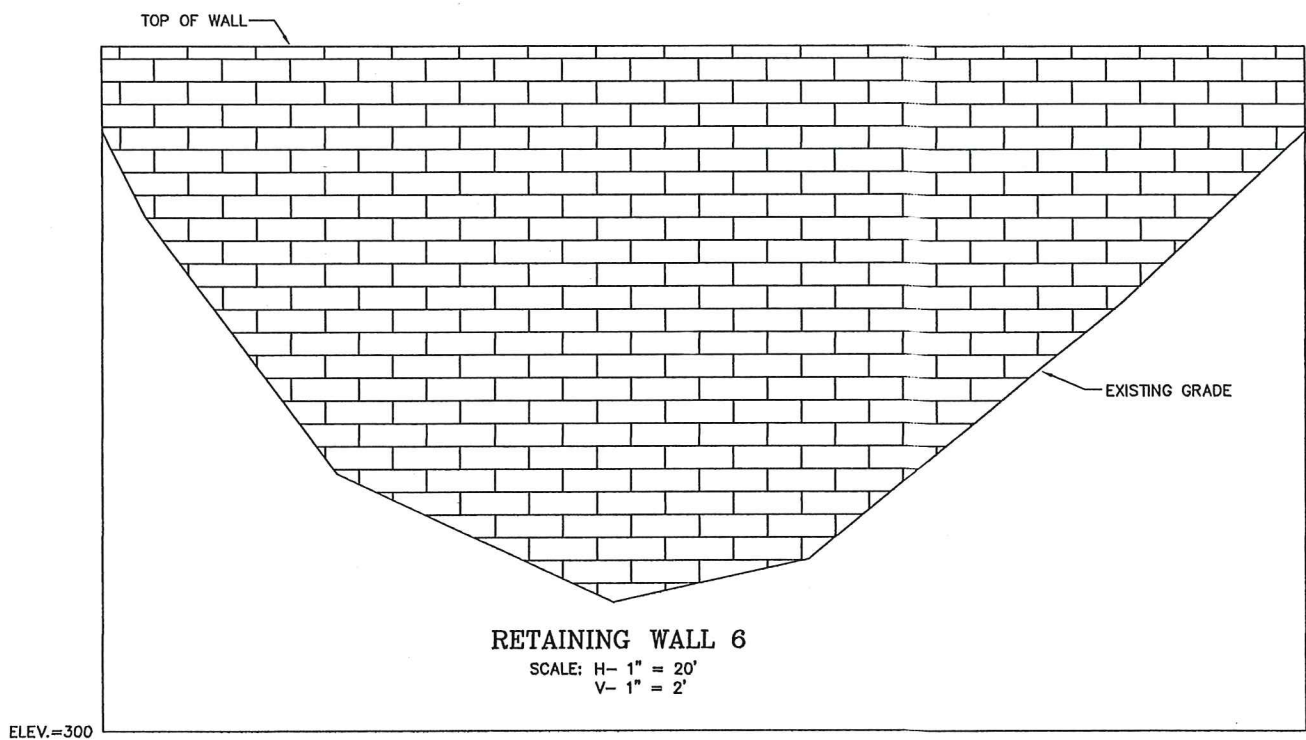
RETAINING WALL 3  
 SCALE: H- 1" = 20'  
 V- 1" = 2'



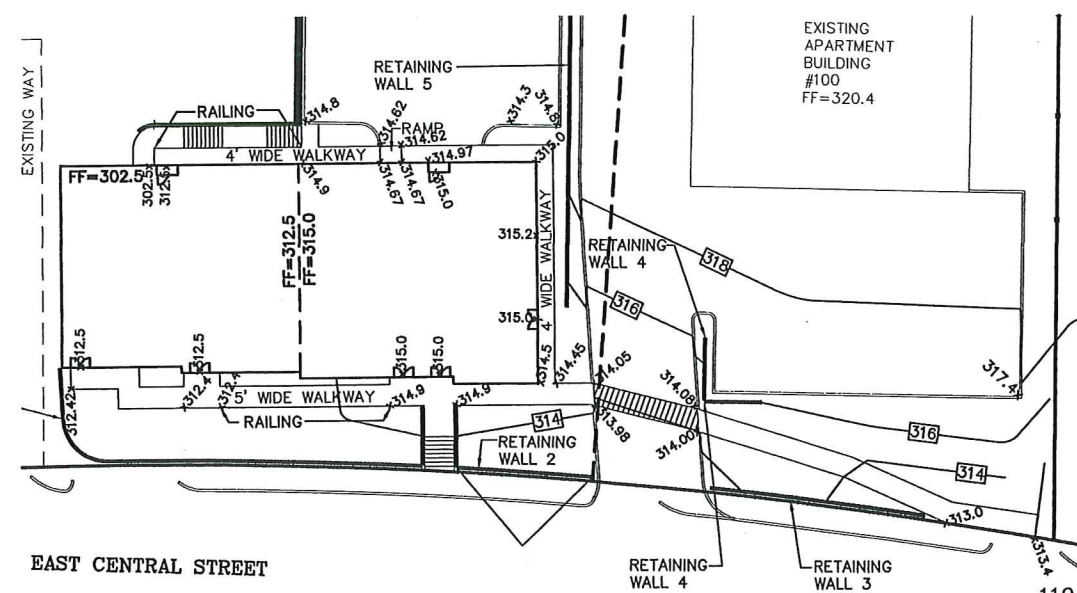
RETAINING WALL 4  
 SCALE: H- 1" = 20'  
 V- 1" = 2'



RETAINING WALL 5  
 SCALE: H- 1" = 20'  
 V- 1" = 2'



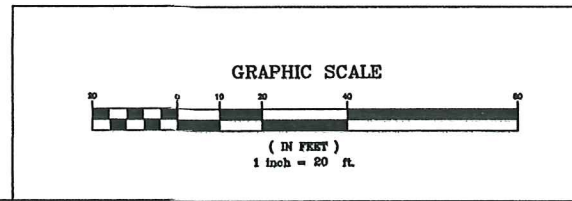
RETAINING WALL 6  
 SCALE: H- 1" = 20'  
 V- 1" = 2'



WALKWAY GRADING PLAN  
 SCALE: 1" = 20'

SITE PLAN  
 CONSTRUCTION DETAILS - 4  
 100 & 110 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 110 EAST CENTRAL STREET RE, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 JANUARY 5, 2024  
 SCALE: 1" = 100'

SITE PLAN APPROVAL  
 REQUIRED  
 FRANKLIN PLANNING BOARD  
 DATE \_\_\_\_\_



NO.	DATE	DESCRIPTION	BY

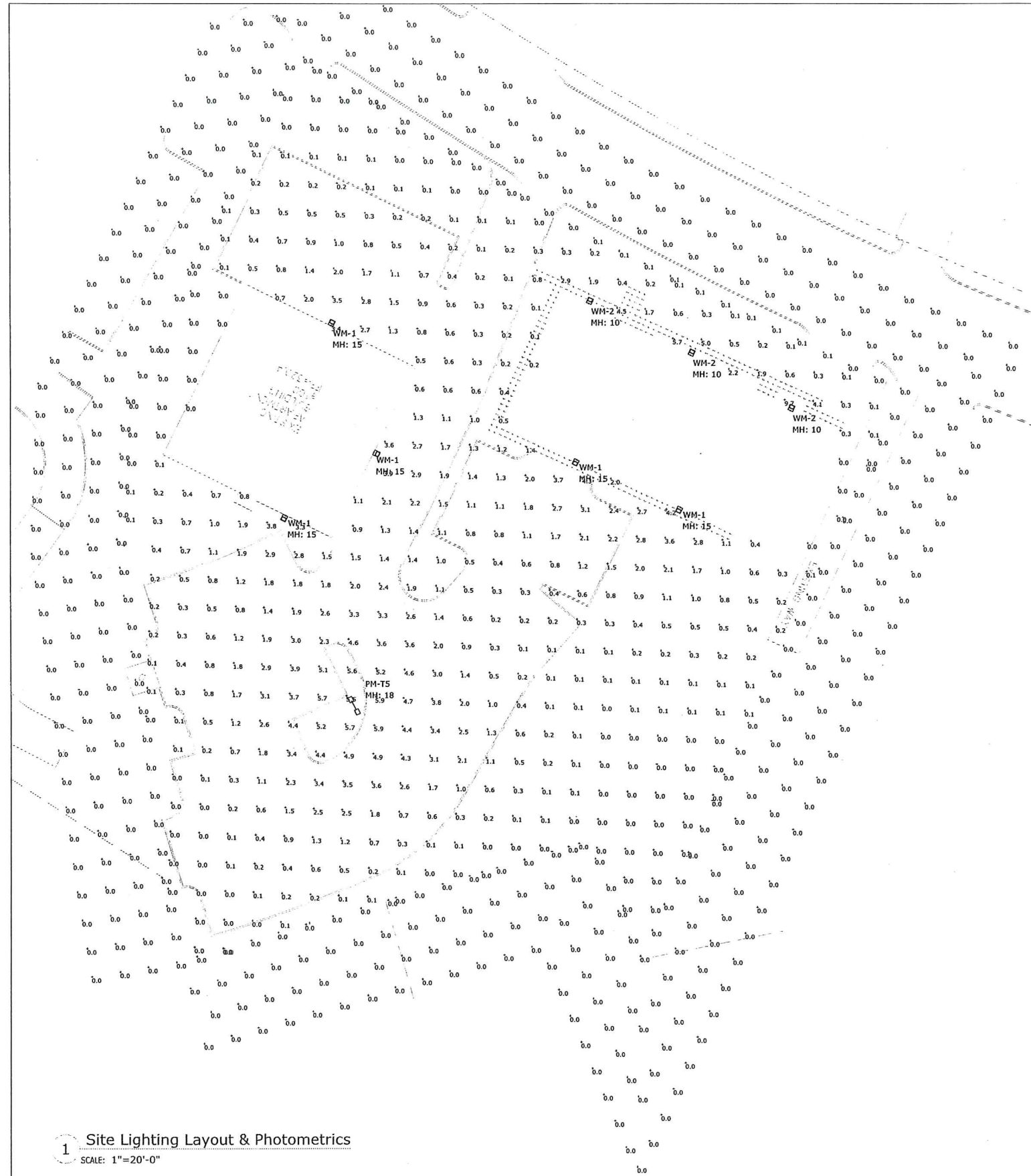
CARLOS A. QUINTAL  
 CIVIL ENGINEER  
 No. 30812  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF MASSACHUSETTS

DATE	FIELD BY:	INT.
7/23	BL	
BK#	FIELD BOOK	PG#
1/24	RRG	
DESIGNED BY:	RRG	
DRAWN BY:	COMP	
CHECKED BY:	CAQ	

UNITED CONSULTANTS INC.  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6560 FAX 508-384-6566

DATE	JAN. 5, 2024
SCALE	1" = 20'
PROJECT	UC1587
SHEET	10 of 10





1 Site Lighting Layout & Photometrics  
SCALE: 1"=20'-0"

Symbol	Label	Qty	Part Number	Arrangement	LLF	Total Watts	Total Luminaire Lumens	BUG Rating
□	PM-T5	1	Solais Lighting # GL1-12H-SQS-730-STD-10-1PS-00-SBZ-ES / POLE # SSP18-S-11-BRZ-DM2180 / KAB13611R	Back-Back	0.950	164.56	24590	B4-U0-G2
	WM-1	5	Solais Lighting # GL1-SH-4WS-730-STD-10-0-BZ-WP	Single	0.950	44.5	5203	B1-U0-G1
	WM-2	3	Solais Lighting # GL1-2-H-2RM-730-STD-10-0-BZ-WP-FS	Single	0.950	18	2232	B1-U0-G1

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
New Construction Walkway	ILLUMINANCE	Fc	2.85	11.5	0.1	28.50	115.00
Property Line	ILLUMINANCE	Fc	0.01	0.2	0.0	N.A.	N.A.
Site Points	ILLUMINANCE	Fc	1.03	9.7	0.0	N.A.	N.A.

- NOTES:
- A LIGHT LOSS FACTOR OF 0.950 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
  - SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
  - CALCULATION POINTS ARE TAKEN AT GRADE.
  - CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.

ENERGYLITE TYPE

### GridLite GL3

LED SITE + AREA LUMINAIRE

**ROHS COMPLIANT**

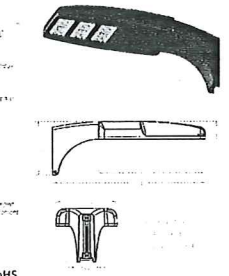
**FEATURES:**

- 120-277V Standard, 347-480V optional available
- 10 year warranty
- Chip-scale package LEDs
- 0-10V dimming standard
- ICPC polyester super durable powder coating with superior glass, color retention, and weather resistance. For marine grade finish, consult factory
- Die cast aluminum housing designed for optimal thermal performance
- Marine grade finish option available
- IMA Dark Sky listed >3000K
- IP66 rated optical and electrical chambers
- Surge Protection (IEEE C610.2-2015)
- ITRM SAA Standard, 20kV 100A optional
- Suitable for wet locations
- Rated for operation -40°C to 40°C. For 50°C, consult factory

**ROHS COMPLIANT**

**FEATURES:**

- 120-277V Standard, 347-480V optional available
- 10 year warranty
- Chip-scale package LEDs
- 0-10V dimming standard
- ICPC polyester super durable powder coating with superior glass, color retention, and weather resistance. For marine grade finish, consult factory
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- Surge Protection (IEEE C610.2-2015)
- ITRM SAA Standard, 20kV 100A optional
- Suitable for wet locations
- Rated for operation -40°C to 40°C. For 50°C, consult factory



2 Fixture Specification - Solais Lighting GridLite 3

ENERGYLITE TYPE

### GridLite Wall Pack

LED WALL PACK FIXTURE

**ROHS COMPLIANT**

**FEATURES:**

- 120-277V Standard, 347-480V optional available
- 10 year warranty
- Chip-scale package LEDs
- 0-10V dimming standard
- ICPC polyester super durable powder coating with superior glass, color retention, and weather resistance. For marine grade finish, consult factory
- Die cast aluminum housing designed for optimal thermal performance
- Marine grade finish option available
- IMA Dark Sky listed >3000K
- IP66 rated optical and electrical chambers
- Surge Protection (IEEE C610.2-2015)
- ITRM SAA Standard, 20kV 100A optional
- Suitable for wet locations
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**ROHS COMPLIANT**

**FEATURES:**

- 120-277V Standard, 347-480V optional available
- 10 year warranty
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- ICPC polyester super durable powder coating with superior glass, color retention, and weather resistance. For marine grade finish, consult factory
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- Marine grade finish option available
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- IP66 rated optical and electrical chambers
- Surge Protection (IEEE C610.2-2015)
- ITRM SAA Standard, 20kV 100A optional
- Suitable for wet locations
- Rated for operation -40°C to 40°C. For 50°C, consult factory



3 Fixture Specification - Solais Lighting GridLite WP

DATE	REVISIONS	DESCRIPTION	DATE
January 11, 2024	1		
PROJECT NUMBER: 24-0028	2		
DRAWN BY: AD	3		
CHECKED BY: HD	4		
APPROVED BY: HD	5		
SCALE: AS NOTED	6		
	7		