

100/200 Financial Park - NOTICE OF INTENT APPLICATION

Franklin Conservation Commission - June 1, 2023

Applicant: Berkeley Partners

100/200 Financial Park - NOTICE OF INTENT APPLICATION

Project Team

➤ Applicant/Proponent - Berkeley Partners

- Brendan Pellerin - Asset Management Director
- Andy Ramirez - Senior Vice President

➤ Civil Engineer - Highpoint Engineering

- Doug Hartnett - Principal
- Connie Lu - Project Manager

➤ Wetland Consultant/Surveyor - Hancock Associates

- David J. Cowell - Senior Wetland Scientist
- Dan Bremser - Surveyor/PLS

➤ Architect - Rode Architects

- Jonathan Quinn - Associate/Project Architect

➤ Landscape Architect - MDLA

- Nick Campanelli - Landscape Architect

➤ Traffic Consultant - MDM Transportation

- Dan Mills - Principal
- Dan Dumais - Project Manager

Berkeley Partners – Applicant Profile

- Berkeley Partners is a fully integrated Real Estate Investment firm focused exclusively on Industrial Real Estate.
- Strong local presence in the Greater Boston Region with over 3.5M square feet of managed real estate assets in the area.
- Regional office in Boston, MA, with a team of 10+ individuals responsible for all management aspects of regional properties.

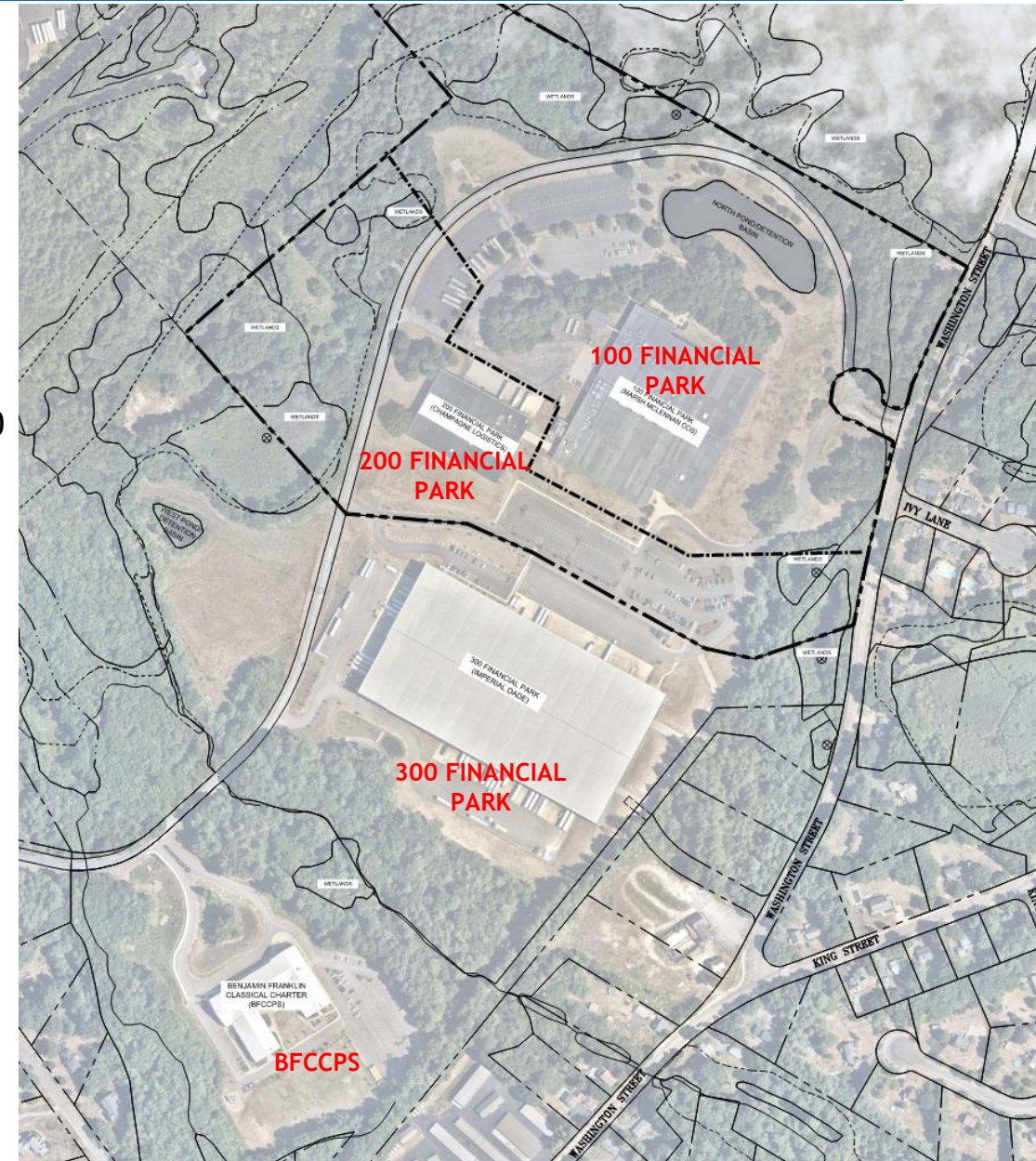
100/200 Financial Park - NOTICE OF INTENT APPLICATION | Development Plan

1. Redevelop the 100 Financial Park property that currently supports an existing 180,500 gsf office building occupied by Marsh McLennan Companies. Lease to expire fall 2023.
2. Demolish the obsolete c. 1980 office building and related site/infrastructure.
3. Construct the following:
 - 220,000 gsf single load warehouse with potential for one or two tenants.
 - 65,000 gsf flex industrial/warehouse.
 - Consolidate site access and truck loading/service with existing 200 Financial Park Drive property.
 - Reconfigure parking, trailer storage, and access points to new buildings.
4. Project activities are limited to resource area buffer zones only. No activities are proposed within resource areas and no thresholds are exceeded requiring adherence to performance standards under WPA.



100/200 Financial Park - NOTICE OF INTENT APPLICATION | Site History

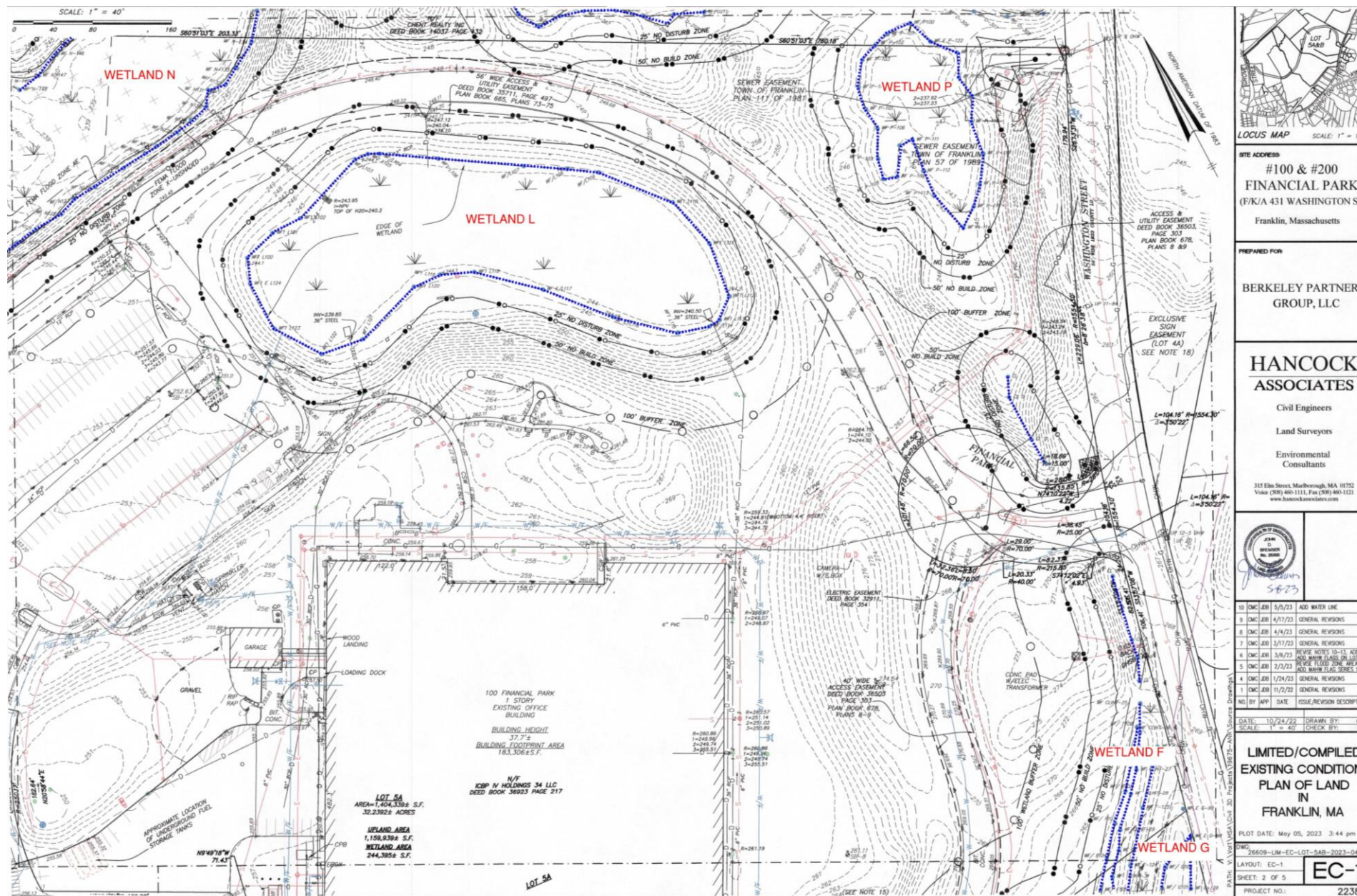
1. Originally developed by Digital Equipment Corp. in 1981.
2. Property purchased by Putnam Investments.
3. Putnam purchased by Marsh McLennan Companies. Real estate held in private industrial real estate portfolio with lease back to MMC.
4. Property sold to GFI Partners in 2015. GFI and Benjamin Franklin Classical Charter Public School reach agreement for land swap to allow construction of new school and 300 Financial Park. BFCCPS, 300 Financial Park, and 100 Financial Park subdivided and sold.
5. Berkeley Partners purchases 100 Financial park in 2020. Subdivides 180,000 gsf office building from 66,000 gsf warehouse building for leasing purposes creating 100/200 Financial Park.
6. Berkeley is advised that MMC will vacate their lease at 100 Financial Park in fall 2023. Redevelopment of site is appropriate given existing building is functionally obsolete.



Wetland Resource Area Inventory - See Hancock Associates Report

1. Bordering Vegetated Wetland (BVW)
 - a. Wetland F, G, H, J/K, M, N, P
2. Riverfront Area – associated with Mine Brook and Dix Brook
3. Inland Bank
 - a. Wetland L, O
4. Bordering Land Subject to Flooding (El. = 241.4)
5. Mapped Vernal Pool Habitat
 - a. Wetlands F, G, H, J/K, and N
6. Potential Vernal Pool Habitat
 - a. Wetland M, P
7. Buffer Zones
 - a. 100' Wetland Buffer – WPA
 - b. 25' No Disturb – Franklin Wetland Bylaw
 - c. 50' Limited Alteration – Franklin Wetland Bylaw

100/200 Financial Park - NOTICE OF INTENT APPLICATION | Resource Area Inventory



LOCUS MAP SCALE: 1" = 1500'

SITE ADDRESS
#100 & #200
FINANCIAL PARK
 (E/K/A 431 WASHINGTON ST.)
 Franklin, Massachusetts

PREPARED FOR
BERKELEY PARTNERS
GROUP, LLC

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Environmental Consultants

315 Elm Street, Marlborough, MA 01752
 Voice (508) 460-1111, Fax (508) 460-1121
 www.hancockassoc.com

10	CMC JBB	5/5/23	ADD WATER LINE
9	CMC JBB	4/17/23	GENERAL REVISIONS
8	CMC JBB	4/4/23	GENERAL REVISIONS
7	CMC JBB	3/17/23	GENERAL REVISIONS
6	CMC JBB	3/6/23	REVISE NOTES 10-13, ADD 13, ADD WATER MAINS ON LOT #4
5	CMC JBB	2/3/23	REVISE FLOOD ZONE AREAS & ADD WATER MAINS, ZONES, 10B
4	CMC JBB	1/24/23	GENERAL REVISIONS
1	CMC JBB	1/2/23	GENERAL REVISIONS
NO.	BY APP.	DATE	ISSUE/REVISION DESCRIPTION

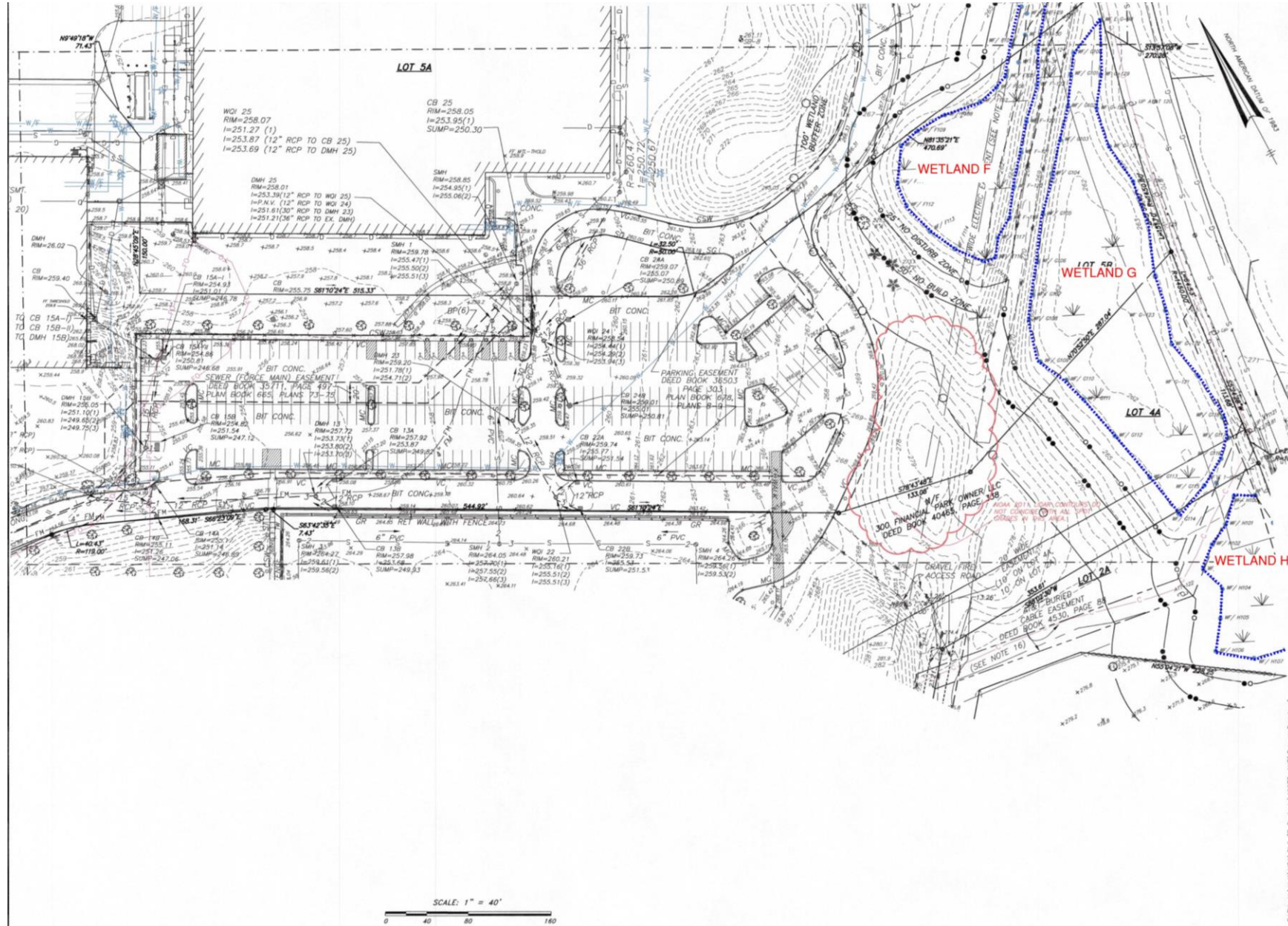
DATE: 10/24/22 DRAWN BY: CMC
 SCALE: 1" = 40' CHECK BY: JBB


LIMITED/COMPILED
EXISTING CONDITIONS
PLAN OF LAND
IN
FRANKLIN, MA

PLOT DATE: May 05, 2023 3:44 pm

DWG: 26609-LM-EC-LOT-FAB-2023-04-26
 LAYOUT: EC-1
 SHEET: 2 OF 5 **EC-1**
 PROJECT NO.: 22387

100/200 Financial Park - NOTICE OF INTENT APPLICATION | Resource Area Inventory





LOCUS MAP SCALE: 1" = 1500'

SITE ADDRESS

#100 & #200
FINANCIAL PARK
 (FK/A 431 WASHINGTON ST.)
 Franklin, Massachusetts


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10	CNC	05/05/23	ADD WATER LINE
9	CNC	4/17/23	GENERAL REVISIONS
8	CNC	4/14/23	GENERAL REVISIONS
7	CNC	3/17/23	GENERAL REVISIONS
6	CNC	3/4/23	PLEASE NOTE 105-11, NOV 11, 2010. REVISIONS TO LOT 4A. PLEASE FLOOD ZONE AREAS & ADD WATER LINE, STREETS, 30'
5	CNC	2/3/23	GENERAL REVISIONS
4	CNC	1/24/23	GENERAL REVISIONS
1	CNC	11/2/22	GENERAL REVISIONS
NO BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 10/24/22 DRAWN BY: CNC
 SCALE: 1" = 40' CHECK BY: CB

**LIMITED/COMPILED
 EXISTING CONDITIONS
 PLAN OF LAND
 IN
 FRANKLIN, MA**

PLOT DATE: May 05, 2023 3:43 pm

31609-LM-EC-LOT-SAB-2023-04-26

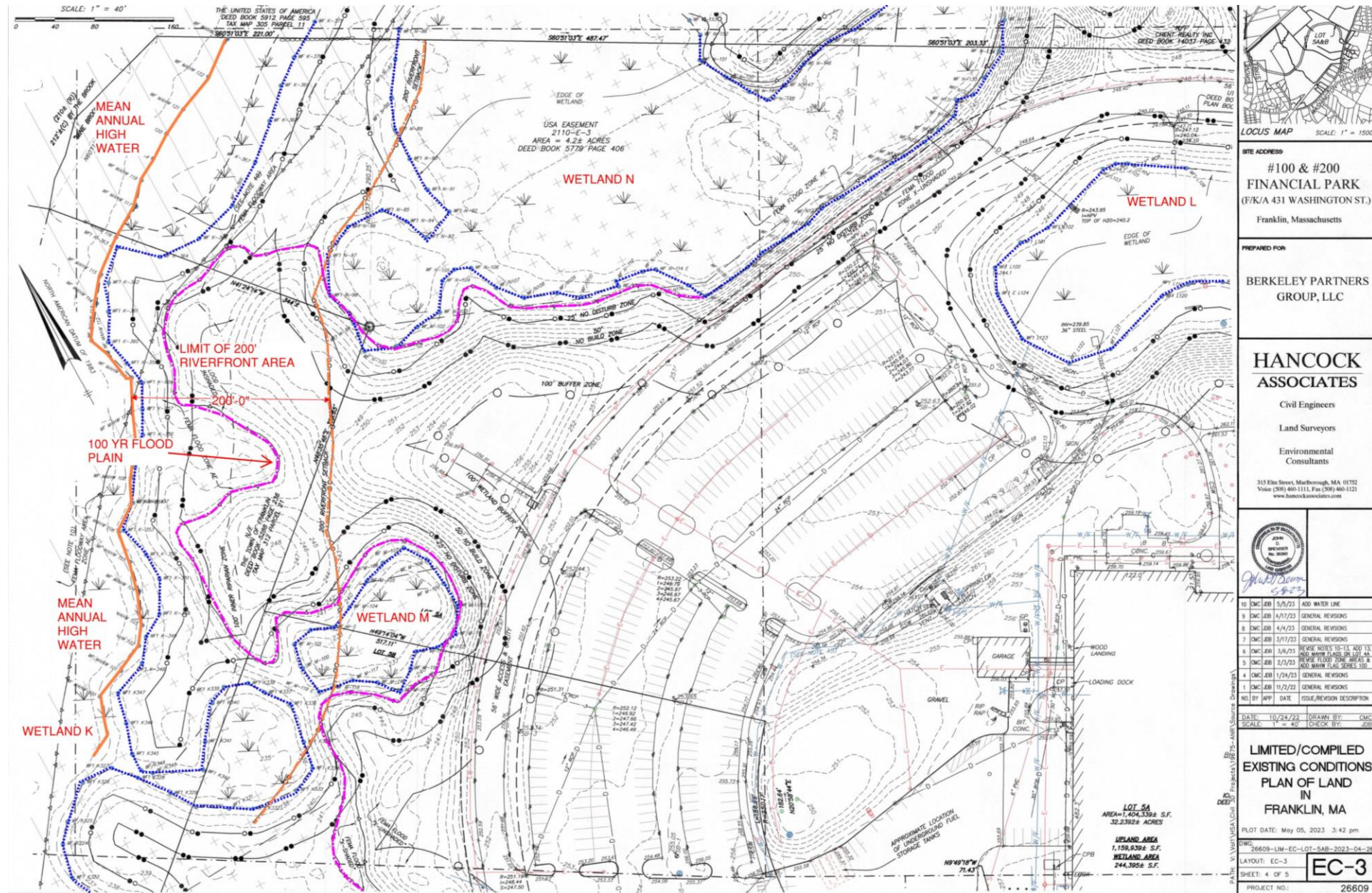
LAYOUT: EC-2

SHEET: 3 OF 5

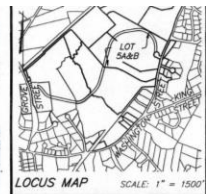
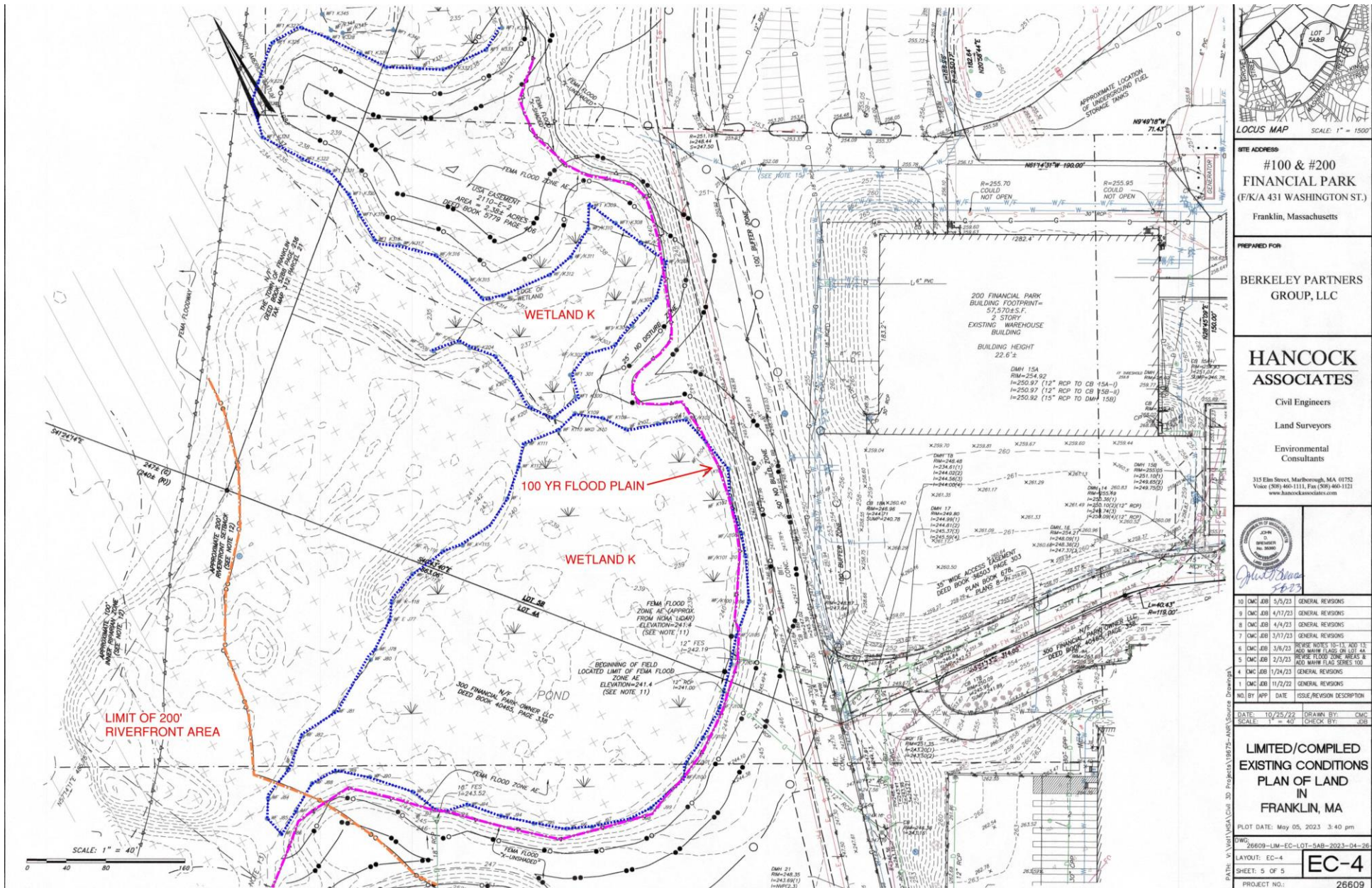
EC-2

PROJECT NO.: 26609

100/200 Financial Park - NOTICE OF INTENT APPLICATION | Resource Area Inventory



100/200 Financial Park - NOTICE OF INTENT APPLICATION | Resource Area Inventory



SITE ADDRESS
 #100 & #200
FINANCIAL PARK
 (F/K/A 431 WASHINGTON ST.)
 Franklin, Massachusetts

PREPARED FOR
 BERKELEY PARTNERS
 GROUP, LLC

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10	CMC	DOB	5/3/23	GENERAL REVISIONS
9	CMC	DOB	4/17/23	GENERAL REVISIONS
8	CMC	DOB	4/4/23	GENERAL REVISIONS
7	CMC	DOB	3/17/23	GENERAL REVISIONS
6	CMC	DOB	3/16/23	REVISION NOTES TO ADD 15' AND 30' WIDE FLARES ON LOT 44
5	CMC	DOB	2/7/23	REVISION FLOOD ZONE BREAKS AND ADD WIDE FLAG SERIES 100'
4	CMC	DOB	1/24/23	GENERAL REVISIONS
1	CMC	DOB	11/27/22	GENERAL REVISIONS

DATE: 10/25/22 DRAWN BY: CMC
 SCALE: 1" = 40' CHECK BY: DOB

LIMITED/COMPILED EXISTING CONDITIONS PLAN OF LAND IN FRANKLIN, MA
 PLOT DATE: May 05, 2023 3:40 pm
 DWG: 26609-LM-EC-LOT-548-2023-04-26
 LAYOUT: EC-4
 SHEET: 5 OF 5
EC-4
 PROJECT NO.: 26609

100/200 Financial Park - NOTICE OF INTENT APPLICATION | Development Plan

100 Financial Park

1. Construct 220,000 gsf warehouse building.
2. Construct 65,000 gsf warehouse/flex industrial building.
3. Consolidate loading for proposed buildings and 200 Financial Park.
4. 262 surface parking spaces (requires Planning Board parking waiver)
5. 54 dock positions/52 trailer storage spaces
6. Maintain existing surface parking easement for 300 Financial Park

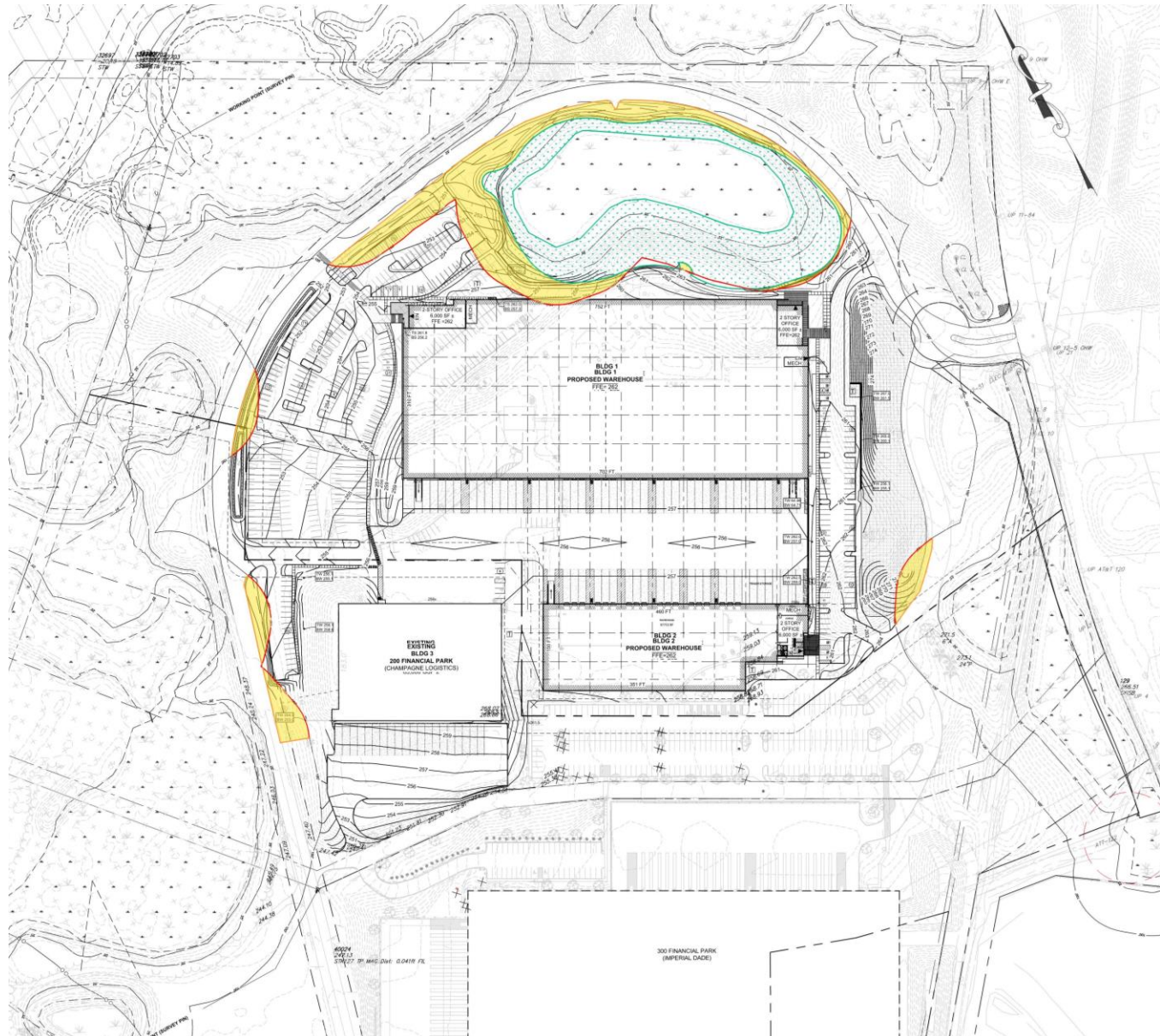
200 Financial Park

1. Maintain existing 65,000 gsf warehouse building
2. Construct 19 new parking spaces and restripe 6 existing (25 total).
3. Construct 20 trailer storage spaces.



100/200 Financial Park - NOTICE OF INTENT APPLICATION | Buffer Zone Impacts

Post-Development Buffer Zone Impacts



SYMBOL LEGEND

	LIMIT OF GRADING
	100-FT BUFFER
	PROPOSED MEADOW MIX
	BUFFER ZONE ALTERATION

1. BUFFER ZONE AREA IMPACTED - 17,600 SF



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 1000 CALIFORNIA STREET, SUITE 100
 SAN FRANCISCO, CA 94109
 www.hoffporteng.com

Client:
 Berkeley Partners
 1 Sansome Street | Suite 1500
 San Francisco, CA 94101

Project Name:
 100/200 FINANCIAL PARK

Owner/Applicant:
 BERKELEY PARTNERS

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
 FRANKLIN, MA

REV.	DATE	DESCRIPTION

Issue Type:
 EXHIBIT

Issue Date:
 05/31/2023

Project Number:
 22051

Drawn By:
 JJP

Checked By:
 DJH

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Sheet Title:
RESOURCE AREA EXHIBIT

1 OF 1

100/200 Financial Park - NOTICE OF INTENT APPLICATION | Civil Design Attributes

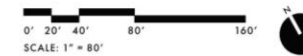
- ❑ No Project activity proposed within Resource Areas including Bordering Vegetated Wetlands, Inland Bank, Flood Plain, Riverfront Area, or Vernal Pool Habitat and their buffers.
- ❑ All Project activity located within previously developed areas.
- ❑ Total Buffer Zone Alteration (excluding fire pond meadow restoration) = 67,600 sf
- ❑ Total Impervious Reduction within Buffer Zone = 10,324 sf
- ❑ Restore grass area around fire/detention pond (Wetland L) to a more natural condition. Eliminate fertilizer application and reduce weekly maintenance requirements.
- ❑ Improve stormwater discharges by incorporating Best Management Practices (BMP's).



100/200 Financial Park - NOTICE OF INTENT APPLICATION | Landscape Design Attributes



- 1 MAIN ENTRANCE - NEW WAY-FINDING SIGNAGE, LIGHTING + ORNAMENTAL PLANTING
- 2 ENTRY PLAZAS - PERMEABLE CONCRETE PAVERS, (TO FRAME ENTRIES)
- 3 5' WIDE SEEDED LAWN STRIP ALONG SIDEWALK, TYPICAL
- 4 EXISTING PRIVACY MOUNDING AND LANDSCAPING TO BE MAINTAINED
- 5 FOUNDATION PLANTING AGAINST BUILDING, TYPICAL
- 6 CONCRETE WALKWAY - 6' SCORE JOINTS. 20' SPACING FOR EXPANSION JOINTS
- 7 DECIDUOUS TREE PLANTING - 2.5-3" DIAMETER (RED MAPLE, HONEYLOCUST, PIN OAK)
- 8 SEMI-TRUCK DOCKING/LOADING AREA - HEAVY VEHICULAR GRADE ASPHALT + STRIPING
- 9 NEW PARKING, TYP. - HEAVY VEHICULAR GRADE ASPHALT WITH STRIPING AND LIGHTING
- 10 EXISTING TREE, TYPICAL - TREE PROTECTION FENCING DURING CONSTRUCTION
- 11 SEEDED LAWN SURROUNDED BY MEADOW (POTENTIAL FOR FUTURE AMENITY SPACE)
- 12 POND PATH - STONE DUST OR 3/8" CRUSHED STONE SURFACING
- 13 RENOVATED SEATING AREA/OVERLOOK WITH STONE VENEER RETAINING WALL
- 14 STONE RETAINING WALL - CONCRETE FOOTING/CORE WITH STONE VENEER
- 15 FINANCIAL PARK LOOP ROAD TO REMAIN - PATCH DAMAGED VEHICULAR ASPHALT

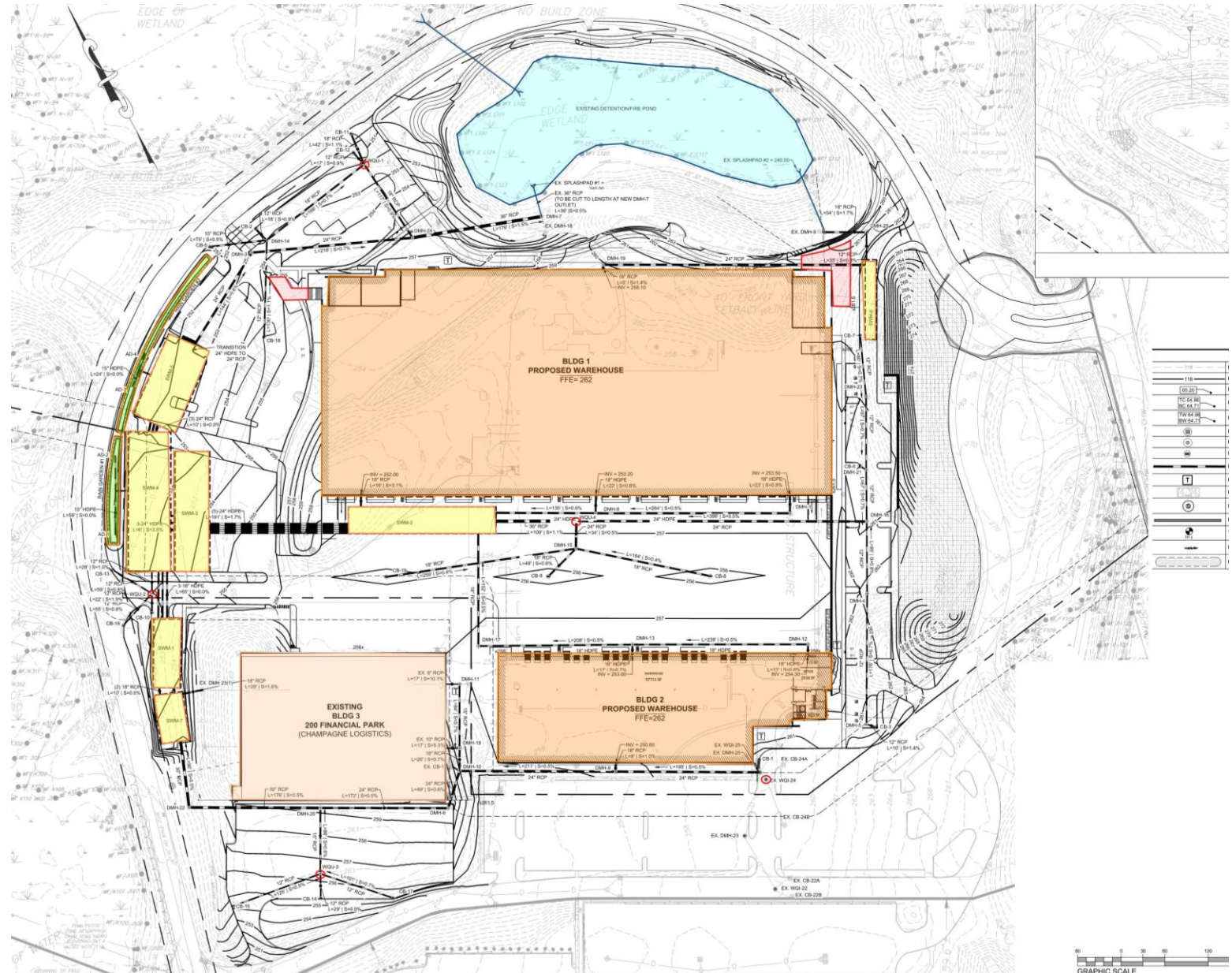


RESOURCE AREA LEGEND

- LIMITS OF DEFINED WETLANDS
- 25' RESOURCE AREA BUFFER
- 100' RESOURCE AREA BUFFER

100/200 Financial Park - NOTICE OF INTENT APPLICATION | Grading and Drainage Plan

- ❑ Improve stormwater discharges by incorporating Best Management Practices (BMP's) including:
 - Rain Garden/Bioretenion Areas
 - Pervious pavers at building entries
 - Proprietary WQ Units/Hydrodynamic Separators
 - Subsurface stormwater recharge systems (ACF – R-tank HD)
 - Provide required TSS removal efficiency for all paved surface stormwater discharges.
 - Provide required Phosphorous removal for stormwater discharges.



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Discussion

An architectural rendering of a modern building complex. The scene features a large, multi-story building with a facade of vertical, light-colored panels. To the left, a smaller, more modern structure with a grid-like facade is visible. The buildings are surrounded by lush green landscaping, including various trees and shrubs. In the foreground, a calm pond reflects the sky and the buildings. The sky is a clear, bright blue with a few wispy clouds and a single bird in flight. The overall atmosphere is serene and professional.