

May 25, 2023

Mr. Gregory Rondeau, Chairman  
Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

**Re: Warehouse/Industrial Development  
100 Financial Park  
Site Plan Application**

Dear Mr. Rondeau:

BETA Group, Inc. is pleased to provide engineering peer review services for the proposed project entitled “**Warehouse / Industrial Development**” located at 100 Financial Park in Franklin, Massachusetts. This letter is provided to outline findings, comments, and recommendations.

### **BASIS OF REVIEW**

The following documents were received by BETA and formed the basis of the review:

- Site Plan Review Application Package, prepared by Highpoint Engineering, Inc. of Dedham, MA (“Highpoint”), including the following:
  - Cover letter
  - Form P Application for Approval of a Site Plan
  - Certificate of Ownership
  - Form R Site Plan Review Waiver Request
  - Filing Fee Calculations Worksheet & Checks
  - Site Plan Review Narrative
  - Certified Abutters List
  - Franklin Best Development Guidebook - Checklist for Designers
  - 2018 Easement Plan
  - 2020 Approval Not Required Plan
  - 2021 Site Plan Review Modification Decision & 2021 Mylar Parking Plan
- Plans (45 sheets) entitled: ***Warehouse Industrial Development Site Development Plans 100/200 Financial Park Franklin Massachusetts***, dated May 11, 2023, prepared by Highpoint.
- ***Stormwater Management Analysis*** dated March 11, 2023, prepared by Highpoint.
- ***Traffic Impact and Access Study, dated April 2023, prepared by MDM Transportation Consultants, Inc.***

Review by BETA will include the above items along with the following, as applicable:

- Site Visit
- ***Zoning Chapter 185 From the Code of the Town of Franklin***, current through July 2021
- ***Zoning Map of the Town of Franklin, Massachusetts***, attested to October 7, 2020
- ***Stormwater Management Chapter 153 From the Code of the Town of Franklin***, Adopted May 2, 2007
- ***Subdivision Regulations Chapter 300 From the Code of the Town of Franklin***, current through March 8, 2021
- ***Wetlands Protection Chapter 181 From the Code of the Town of Franklin***, dated August 20, 1997
- ***Town of Franklin Best Development Practices Guidebook***, dated September 2016

## INTRODUCTION

The project site includes two parcels, Lots 312-020-000 and 312-020-001, with a total area of 51.045 acres, located at 100 Financial Park in the Town of Franklin (the "Site"). The Site and all the surrounding lots are located within the Industrial zoning district. The Site is located within a Water Resource District.

The existing Site is the location of a 1-story office building with a footprint area of 183,306± sq. ft. and a 2-story warehouse building with a footprint area of 57,570± sq. ft. Paved parking areas are located to the north and south of the buildings. Access to the Site is provided within Financial Park, a private roadway which connects to Washington Street to the east. The northernmost and westernmost portions of the Site are generally woodlands with flagged wetland resources areas present. A wetland resource area is also present to the north of the existing office building.

Topography at the Site generally slopes to the north and west towards the wetland resource areas. The Site is partially located within a Zone II wellhead protection area. Portions of the Site to the north and west are within a FEMA-mapped 100-year flood zone (Zone AE). The Site is not located within an NHESP-mapped estimated habitat of rare or endangered species, or any other critical area. NRCS soil maps indicate the presence of Merrimac fine sandy loam, Merrimac-Urban land, Hinckley loamy sand, and Udorthents, sandy, all with a Hydrologic Soil Group (HSG) rating of A (high infiltration potential).

The project proposes to construct two new warehouse buildings with footprint areas of 224,300± sq. ft and 70,500 ± sq. ft. The existing office building will be demolished, and the existing warehouse building will be retained. The existing parking layout will be replaced with new areas of paved parking proposed and existing areas either retained, removed, or reconfigured. A new loading area with heavy duty pavement is proposed in the central area of the Site between the two new buildings. Additional proposed site features include retaining walls, sidewalks, repairs to Financial Park and driveways, and new water, electric, telecommunication, sewer, and gas utilities. Stormwater management is proposed via new closed drainage systems which will convey stormwater runoff to several new subsurface infiltration systems and rain gardens.

## FIELD VISIT

BETA conducted a site visit on 5/26/2023 to review existing site features. BETA observed that Site conditions are generally consistent with the plans. Findings associated with site observations are as noted throughout this report.

## FINDINGS, COMMENTS, AND RECOMMENDATIONS

### GENERAL

- G1. Show the easement on Sheets C301 & 302 and continue the right side of the easement on sheet C201.
- G2. Confirm legal right to install Rain Gardens within the Access & Utility easement associated with the Ring Road.

### ZONING

The Site is located within the industrial (I) Zoning District. The proposed use is a warehouse which is permitted within this district.

**SCHEDULE OF LOT, AREA, FRONTAGE, YARD, AND HEIGHT REQUIREMENTS (§185 ATTACHMENT 9)**

The Site meets the requirements for lot area, depth, frontage, width, yard widths, building height, and impervious area coverage.

**PARKING, LOADING AND DRIVEWAY REQUIREMENTS (§185-21)**

The project proposes to retain the existing “Financial Park” private roadway, which connects to Washington Street to the east and Grove St to the west. Several driveways are proposed which will connect to the Financial Park ring road and provide access to various parking areas. Proposed driveways are 24’ in width.

Three warehouse buildings are proposed with approximate floor areas of 220,000 ± Sq. ft., 65,000 ± Sq. Ft., and 65,000 ± Sq. Ft. Required parking for warehouses is calculated as 1 space per 1,000 Sq. Ft., resulting in required parking quantities of 220, 65, and 65 spaces respectively. Provided parking is approximately 191 spaces for Building 1, 69 spaces for Building 2, and 24 spaces for Building 3.

The Applicant has requested a waiver from the need to provide the required parking on the grounds that actual demand is significantly lower than that required by the regulations.

Accessible parking spaces are required in accordance with the Americans with Disabilities Act (ADA) and Massachusetts Architectural Access Board (MAAB). Required/Provided accessible parking is as follows:

	Required	Required (Van)	Provided	Provided (Van)
Building 1	7	2	8	4
Building 2	3	1	3	2
Building 3	1	1	0	0

- P1. BETA defers to the Town regarding approval of the requested waiver.
- P2. The Parking Summary on Sheet C100 does not include the parking requirements for the proposed office space in Buildings 1 or 2. Sheet C300 indicates that there is 12,000 square feet of office proposed in Building 1 and another 6,000 square feet proposed in Building 2. Revise the parking summary table appropriately.
- P3. The existing parking spaces south of building 2 which are scheduled to remain, have not been included in the parking summary. There is a Parking Easement identified on the ANR Plan included in the application package revised 08/31/20. Is this parking area for the benefit of the Building on Lot 4A?
- P4. Provide required van-accessible parking space for Building 3.
- P5. Provide accessible route (521 CMR 20) for the accessible parking spaces located within the southern parking area to remain.
- P6. Provide turning plan for access to western trailer storage area. The median to the south of this area and small curb radii may inhibit vehicles accessing this area.

**INDUSTRIAL DISTRICT PERFORMANCE CONTROLS (§185-22)**

The project is located within an Industrial District and therefore must conform to these requirements.

- I1. Provide data quantifying anticipated sound, noise, vibrations, odor, and flashing to determine conformity with these requirements (§185-22.A).



### **FLOODPLAIN DISTRICT (§185-24)**

A FEMA-mapped 100-year floodzone (Zone AE) is located along the northern and western limits of the Site (Approx. elevation 241' to 241.4'). No work is proposed within this area and all proposed grading is above this elevation.

### **SIDEWALKS (§185-28) AND CURBING (§185-29)**

No sidewalks are proposed along Financial Park under this project. Several pedestrian walkways are proposed throughout the Site, generally along parking areas with connections to building entrances.

Proposed curbing includes precast concrete curb, sloped granite curb, vertical granite curb, and cape cod berm along the limits of new parking areas.

- C1. Provide detail for precast concrete curb and cape cod berm.

### **SITE PLAN AND DESIGN REVIEW (§185-31)**

The project has been submitted for Site Plan Review and is required to conform to the requirements of this section. The submitted planset appears to be in compliance with the drawing requirements except as noted below:

- S1. Depict areas included in the floodplain district (§185-31.C.3(g)).
- S2. Indicate means of waste disposal and proposed dumpster locations, if applicable (§185-31.C.3(i)).
- S3. Provide note indicating that all proposed plantings come from the Best Development Practices Guidebook (§185-31.C.3(k)).

### **LANDSCAPING AND SCREENING (§185-35)**

The project proposes outdoor parking for 10 or more cars and loading and service areas which must be screened in accordance with this section. Abutting residential districts are located across Washington Street to the East. Existing vegetation along the western side of Washington Street will be retained to provide required screening.

Proposed landscaping includes tree, shrub, and grass plantings proposed within landscaping islands, around the parking lot perimeter, and along Financial Park. Grassed areas throughout the Site will be seeded with native seed mix.

- LA1. Provide required tree and shrub plantings for bioretention basin in accordance with V2C2 Page 27 of the MA Stormwater Handbook. Good practice is to include at least one tree or shrub per 50 square feet of bioretention area, and at least 3 species each of herbaceous perennials and shrubs. Acceptable plant species are identified in the handbook.

### **UTILITIES**

Proposed utility include domestic water, water for fire protection, sanitary sewer, underground electric, gas, and telecommunications. Each utility will connect to an existing service within the Financial Park development. Existing utilities will generally be retained for Building 3.

- U1. Provide detail for water/sewer crossings.

### **WATER RESOURCES DISTRICT (§185-40)**

The Site is located within the Town of Franklin Water Resources District and a Zone II Wellhead Protection Area. The project does not include any use that would be prohibited in this district.

- W1. Confirm that the warehouse uses will not include any storage of toxic or hazardous materials (§185-40.D.1(a)).

### **STORMWATER MANAGEMENT**

The stormwater management design proposes two rain gardens and seven subsurface infiltration systems to capture, store, and infiltrate stormwater. Conveyance to these BMPs will be achieved via new closed drainage systems consisting of catch basins, manholes, water quality units, and roof leaders. Portions of the existing closed drainage system in the southern area of the Site will also be retained. Stormwater BMPs are proposed to connect to each other in series; overflow from these systems will ultimately discharge to the L-series wetlands in the northern portion of the Site through an existing culvert.

- SW1. Depict existing topography on Grading & Drainage Plans, and Watershed Plans.
- SW2. Provide labels for contours in the area of SWM-1 and SWM-7.
- SW3. Indicate proposed treatment of the existing catch basin near EX. DMH-9, which is not depicted on the drainage plans.
- SW4. BETA observed that the western detention basin was filled with water and overgrown with vegetation, suggesting it may not function as originally designed. BETA defers to the Town whether restoration and maintenance of this basin should be required under this application.

### **STORMWATER MANAGEMENT REGULATIONS (CHAPTER 153)**

The project proposes to disturb land in excess of one acre within the Town of Franklin. It is therefore subject to the Stormwater Management Regulations. The project is also required to comply with the Town of Franklin Best Development Practices Guidebook (BDPG). Compliance with these regulations is outlined below and throughout the following sections.

- SW5. Indicate any existing or proposed easements for the conveyance of stormwater across property lines. The proposed stormwater management system is dependent on conveying stormwater from Lot 5B to Lot 5A which must be maintained in perpetuity (§153-15.A(11) & §300-11.A(6)).

### **SUBDIVISION REGULATIONS - STORMWATER MANAGEMENT REGULATIONS (§300-11)**

Additional requirements for stormwater management are outlined in §300-11 of the Town of Franklin Subdivision Regulations.

- SW6. Revise proposed drainage pipe to be reinforced concrete or request waiver (§300-11.B(2.a)).
- SW7. Provide Type B winged headwall at all outfalls (§300-11.B(2.c)).

### **MASSDEP REPORTABLE RELEASES**

The MassDEP Waste Site / Reportable Release database identified the Site as the location of a reportable release under Release Tracking Number (RTN) 2-4017015. Available documentation indicates that the release originated from the discovery of Methyl Tert-butyl Ether (MTBE) in groundwater circa 2001. Response actions included the installation of monitoring wells to sample contaminant levels. Sampling

conducted circa 2003 did not detect MTBE concentration above reportable limits. A Response Action Outcome (RAO) Statement was submitted to MassDEP supporting a condition of “No Significant Risk.” The RTN has since been closed.

SW8. Indicate if existing monitoring wells will be retained.

#### **MASSDEP STORMWATER STANDARDS**

The project is subject to the Massachusetts Stormwater Standards as outlined by MassDEP. Compliance with these standards is outlined below:

**NO UNTREATED STORMWATER (STANDARD NUMBER 1):** *No new stormwater conveyances (e.g., outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.* The project proposes to connect new closed drainage systems to existing outfalls located within wetland resource areas. Existing splashpads are located at each outfall for erosion control.

SW9. Verify condition of existing outfalls at DB, J, and L-series wetlands. BETA could not locate the existing outfalls associated with the north “detention pond” in the field nor their respective splashpads. Confirm that inverts for these outfalls is above the typical water elevation for these ponds.

SW10. BETA recommends relocating existing splashpads 1 and 2 to outside of the L-series wetland boundaries.

SW11. Provide sizing calculations for existing splash pads to remain to confirm they are adequately sized to convey anticipated stormwater runoff.

**POST-DEVELOPMENT PEAK DISCHARGE RATES (STANDARD NUMBER 2):** *Stormwater management systems must be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.* The project proposes changes to site hydrology and ground cover which will impact stormwater flow to the analyzed design points. Stormwater runoff will be mitigated via capture, storage, and infiltration within nine new stormwater BMPs.

Calculations indicate a net increase in peak discharge rate for the 2-, 10-, and 25-year storm events for POA A and the 2-year storm event for POA C. These design points represent the wetlands located to the west of the Site for which no new BMPs are proposed. The stormwater mitigation narrative notes that POA A is a previously constructed detention basin sized for a larger inflow capacity.

Calculations indicate a net decrease in peak discharge rate for all other storm events and points of analysis.

SW12. Provide summary table for changes in runoff volume for all design points and storm events (BDPG Page 8).

SW13. Provide required peak flow mitigation for POA A. Although originally designed as a Detention Pond, this area has been flagged as a wetland and is overgrown with vegetation, impairing proper function. Given the significant decrease in peak discharge rate to POA C, BETA recommends redirecting a small portion of the POA A catchment to the proposed stormwater management system to meet this standard.

SW14. Review existing watershed plans:

- a. Adjust southern boundary of Watershed EX-D. An existing catch basin is located along the eastern wall of 200 Financial Park which conveys stormwater runoff to EX-D, but has not been included in the watershed.

b. Model areas of dense tree vegetation as “woodlands,” rather than grass.

SW15. Clarify intended routing of rain garden underdrains. If underdrains will connect to adjacent subsurface stormwater basins, then they must be included in the hydroCAD model.

SW16. Revise grading design to account for landscaping islands within parking lot interiors. Include spot grades at corners to ensure positive flow towards the intended catch basin.

SW17. Review pipe sizing calculation for DMH-16 to WQU-4 and DMH-7 to Splashpad-1. The peak flow is greater than the design flow.

**RECHARGE TO GROUNDWATER (STANDARD NUMBER 3):** *Loss of annual recharge to groundwater should be minimized through the use of infiltration measures to maximum extent practicable.* NRCS soil maps indicate the soils at the site are Merrimac-Urban Land, Udorthents, sandy, Hinckley loamy sand, and Merrimac fine sandy loam, all rated in Hydrologic Soil Group (HSG) A (high infiltration potential).

A Geotechnical Report prepared by McArdle Gannon Associates, Inc., has been included in the submission. Geotechnical analysis included eight test pits conducted throughout the Site. Underlying soil in the area of proposed infiltration was generally identified as Sand or Sandy Loam and groundwater was identified between 4.6' to 9' below grade.

The project proposes two rain gardens and seven subsurface infiltration systems to provide groundwater recharge. The project is anticipated to provide a recharge volume well in excess of what is required. Calculations have been provided indicating that all BMPs will drawdown within 72 hours.

SW18. Review model for Rain Gardens 1 and 2:

- a. Revise top elevation for “Custom Stage Data” model to match rain garden schedule.
- b. Revise bottom elevation for “Subsoil” portion of the model to match rain garden schedule. Revise to utilize a consistent Voids % for all elevations.
- c. Provide min. 3-inch freeboard above ponding elevation for rain gardens, in accordance with MA Stormwater Handbook V2C2 Page 27.
- d. Review peak elevation for rain gardens, which are above top of pond elevations.
- e. Provide spot grades and labels for contours around proposed rain gardens to clarify intended berm height.

SW19. Review model for SWM-1. Three outlet pipes are depicted on the plans, but only two are accounted for in the model.

SW20. Review model for SWM-5. Based on the design depicted on the plans, the routing for the 9x24” orifices (Device #2) should be to Device #3, rather than “primary.” Recommend reviewing the necessity of multiple orifices in this system, as flow will ultimately be constrained by the single 24” RCP outlet.

SW21. Review model for SWM-6:

- a. The peak elevation of 267.7' is above the pavement elevation in this area.
- b. Two outlet devices are depicted at elevation 257.95', but only one outlet pipe is depicted on the plans.



- SW22. Review model for SWM-7; the bottom/top of stone/elevation utilized in the model are inconsistent with the plans.
- SW23. Depict test pit locations on the drainage plans to show their location relative to proposed stormwater BMPs.
- SW24. Conduct test pits in the area of Rain Garden #1, SWM-1, SWM-2, SWM-4, and SWM-7.
- SW25. Review separation to groundwater for the following:
- SWM-1 & 7: The groundwater elevation in nearby TP-1 is 250.38' ±, which is well above the system bottom of 243.5'.
  - SWM-2: The groundwater elevation in nearby TP-1 is 250.38' ±, which is above the system bottom elevation of 250.0'.
  - SWM-3: The groundwater elevation in nearby TP-1 is 250.38' ±, which is above the system bottom elevation of 244.0'.
  - SWM-4: The groundwater elevation in nearby TP-1 is 250.38' ±, which is above the system bottom elevation of 243.0'.

**TOTAL SUSPENDED SOLIDS (STANDARD NUMBER 4):** *For new development, stormwater management systems must be designed to remove 80% (90% per Town Bylaw) of the annual load of Total Suspended Solids (TSS).* The project proposes treatment trains generally consisting of deep sump catch basins, water quality units, and subsurface infiltration systems or rain gardens. The project is anticipated to provide TSS removal in excess of what is required.

The project proposes to provide the 1.0-inch water quality volume via nine new infiltration BMPs. However, the provided volume is less than what is required.

As a project which discharges to a critical area (See Standard 6), the project is required to provide 44% pretreatment prior to discharge to all infiltration BMPs. Pretreatment is generally provided via deep sump catch basins and water quality units but has not been achieved for the proposed rain gardens.

- SW26. For a new Site, meet one of the following criteria (§153-16.B(1))
- Retain the volume of runoff equivalent to, or greater than, 1.0 inch multiplied by the total post-construction impervious surface area on the Site; and/or
  - Remove 90% of the average annual post-construction load of TSS and 60% of the average annual load of total phosphorus.
- SW27. Revise calculations for required water quality volume to include all impervious areas, including roofs. Per V1C1 Page 9 of the MA Stormwater Handbook, the required water quality volume includes the total impervious area of the Site.
- SW28. Clarify location of sediment forebays for Rain Gardens, which have been sized in the Stormwater Report but are not depicted on the plans.
- SW29. Provide required 44% Pretreatment for Rain Gardens. Note that the 90% TSS removal credit requires one of the specific pretreatment options identified on V2C2, Page 25 of the MA Stormwater Handbook.



SW30. Provide calculations or supporting documentation for EX-WQI-22, EX-WQI-24, and EX-WQI-25 to demonstrate that adequate pretreatment will be provided for SWM-7. Labels on manhole covers for these devices suggest they are Hydroworks units.

SW31. Revise stormwater management system to remove at least 60% of nitrogen loading from post-development stormwater (BDPG Pg. 8)

SW32. Identify discharge points in each of the TSS Removal charts.

**HIGHER POTENTIAL POLLUTANT LOADS (STANDARD NUMBER 5):** *Stormwater discharges from Land Uses with Higher Potential Pollutant Loads (LUHPPLs) require the use of specific stormwater management BMPs.* The project includes a parking lot with a high-intensity use (1,000 vehicle trips per day or more) which is considered a LUHPPL. The project is required to conform to this section. Deep sump catch basins, proprietary separators, rain gardens, and subsurface structures are considered recommended BMPs for LUHPPLs. A Spill Prevention, Containment, and Countermeasure Plan has been included with the Stormwater Report.

SW33. Revise narrative to identify the Site as a LUHPPL.

SW34. Provide means of emergency shut-off of the stormwater management system.

**CRITICAL AREAS (STANDARD NUMBER 6):** *Stormwater discharges to critical areas must utilize certain stormwater management BMPs approved for critical areas.* The project includes stormwater discharges to a Zone II Wellhead protection area which is a critical area. Deep sump catch basins, proprietary separators, rain gardens, and subsurface structures are considered recommended BMPs for this type of critical area. The project has been designed to provide 44% pretreatment and the 1.0-inch water quality volume, except as noted under the Standard 4 section above.

**REDEVELOPMENT (STANDARD NUMBER 7):** *Redevelopment of previously developed sites must meet the Stormwater Management Standards to the maximum extent practicable.* The project does not meet the definition of a redevelopment – The applicant has considered the site as new development and has not reviewed the development under redevelopment criteria.

**EROSION AND SEDIMENT CONTROLS (STANDARD NUMBER 8):** *Erosion and sediment controls must be implemented to prevent impacts during construction or land disturbance activities.* As the project proposes to disturb greater than one acre of land, it will be required to file a Notice of Intent with EPA and develop a Stormwater Pollution Prevention Plan (SWPPP). Erosion control measures are depicted on the plans include straw wattle, inlet protection, and stabilized construction entrance. A Construction-Period Operation and Maintenance Plan is included in the Stormwater Report including waste disposal, dust monitoring, spill prevention, and monitoring.

SW35. Provide description of construction and stockpile and/or excess materials removed from the Site expected to be stored on-site, including controls to reduce pollutants and storage practices (§153-12.L).

SW36. Provide sequence of construction (§153-12.M).

SW37. The applicant is reminded that a Stormwater permit from the Franklin DPW is required based upon the size of the disturbance.

SW38. Recommend revising perimeter controls at wetlands to compost filter tubes for enhanced sedimentation control.

Mr. Gregory Rondeau, Chairman

May 25, 2023

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- SW39. Indicate potential staging and stockpile areas. Recommend including a note or callout prohibiting the placement of stockpiles within wetland buffer zones.
- SW40. Provide means of ensuring all construction traffic will be over the anti-tracking pads.
- SW41. Provide detail for anti-tracking pads.
- SW42. Provide means of protecting proposed stormwater BMPs from construction-period sediment.
- SW43. Provide means of maintaining existing flow patterns following the removal of the existing closed drainage system but prior to installation of the proposed system.

**OPERATIONS/MAINTENANCE PLAN (STANDARD NUMBER 9):** *A Long-Term Operation and Maintenance Plan shall be developed and implemented to ensure that stormwater management systems function as designed.* A Stormwater Operation and Maintenance Manual was provided with the Stormwater Management Report.

- SW20. Provide owner signature (§153-18.B(5)).
- SW21. Include provision requiring a documentation submittal to the DPW confirming when maintenance has been satisfactory completed (§153-18.B(6)).
- SW22. Provide BMP location map identifying each BMP along with their treatment train to facilitate maintenance.
- SW23. Indicate how future property owners will be notified of the presence of the stormwater management system and the need for maintenance.
- SW24. Provide estimated operations and maintenance budget.
- SW25. Include operation and maintenance measures for EX WQI-22, 24, and 25.
- SW26. Provide operation and maintenance of outfalls and splashpads.

**ILLICIT DISCHARGES (STANDARD NUMBER 10):** *All illicit discharges to the stormwater management system are prohibited.* An Illicit Discharge Compliance Statement has not been provided.

- SW27. Provide illicit discharge compliance statement, including owner's signature.

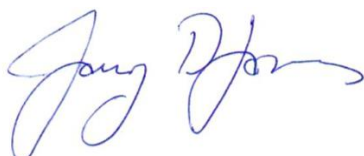
### **WETLANDS PROTECTION**

The Project proposes work within Areas Subject to Protection and Jurisdiction of the Franklin Conservation Commission, including the 100-foot Buffer Zones to a vegetated wetland. The Applicant has submitted an NOI to the Town of Franklin Conservation Commission and must obtain an Order of Conditions to complete the proposed work.

If we can be of any further assistance regarding this matter, please contact us at our office.

Very truly yours,

BETA Group, Inc.



Mr. Gregory Rondeau, Chairman

May 25, 2023

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Gary D. James, P.E.  
Senior Project Engineer

Stephen Borgatti, P.E.  
Project Engineer

cc: Amy Love, Town Planner

Date: June 1, 2023 Job No.: 10519.05  
To: Mr. Gregory Rondeau, Chairman  
Franklin Planning Board  
Cc: Amy Love, Franklin Town Planner  
From: Jaklyn Centracchio, PE, PTOE  
BETA Group, Inc  
Subject: Warehouse/Industrial Development, 100 Financial Park, Site Plan Application

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BETA Group, Inc is pleased to provide traffic engineering peer review services for the proposed project entitled "Warehouse / Industrial Development" located at 100 Financial Park in Franklin, Massachusetts.

## BASIS OF REVIEW

The following documents were received by BETA and formed the basis of the review:

- Plans (45 sheets) entitled: Warehouse Industrial Development Site Development Plans 100/200 Financial Park Franklin Massachusetts, dated May 11, 2023, prepared by Highpoint.
- Traffic Impact and Access Study (TIA), dated April 2023, prepared by MDM Transportation Consultants, Inc.

A critical portion of the review will be to ensure that the future (Build) conditions at the signalized intersection of Washington Street at King Street will operate similar to the existing conditions with the additional traffic (mainly trucks) generated by the new warehouse.

It is BETA's understanding that a comprehensive traffic discussion will take place at a future meeting; however, we have provided the following preliminary comments for consideration.

1. Synchro backup traffic data sheets for the Baseline (Existing), No-Build, and Build morning and afternoon peak periods are missing in the Appendix for the Financial Parkway and Washington Street intersection and the Washington Street and Union Avenue intersection. Provide backup data sheets for review and reference.
2. Crash data for the years 2020-2022 from the MassDOT database were summarized in the TIA for the three study area intersections. At this time, our understanding is that MassDOT has not "accepted" their crash data later than the year 2020 and crash data may be lower than normal due to the COVID-19 impacts on travel during 2020. Consideration should be given to providing crash data for the study area intersection for the years 2018-2019.
3. Although the TIA states that access to and from the site will not be permitted via the gated Grove Street driveway on the western side of the site based on preliminary discussions, we recommend that the existing number of vehicles accessing and egressing the Grove Street driveway be provided for reference.



# TOWN OF FRANKLIN

## DEPARTMENT OF PUBLIC WORKS

Franklin Municipal Building  
257 Fisher Street  
Franklin, MA 02038-3026

May 31, 2023

Mr. Greg Rondeau, Chairman  
Members of the Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

**RE: Site Plan Modification – New Warehouses, #100 Financial Park**

Dear Mr. Chairman and Members:

We have reviewed the submitted materials for the subject project and offer the following comments:

1. Applications that will need to be filed with the Franklin Department of Public Works may include, but are not necessarily limited to Water and Sewer Permits, Inflow & Infiltration Removal fees, and a Soil Erosion and Sediment Control Plan Permit.
2. Due to the significance of the proposed site changes and change of use, we recommend a Traffic Impact Assessment be performed to determine the expected impacts to the surrounding roadway network.
3. There are two runs of HDPE pipe called out on the plans, one 24" diameter along the south side of Building #1 and one 18" diameter along the north side of Building #2. The Board typically requires reinforced concrete pipe for on-site drainage systems, if the applicant proposes to use HDPE for some of the drainage pipes a waiver should be requested.
4. It is unclear if the fire loop around building #1 is proposed to be 8" or 10" diameter pipe. Also, there should only be one domestic water service to building #1 with one water meter. To simplify the new waterline layout, the designer may consider a single fire loop around the building with the proposed fire hydrants and domestic service connected to that loop.
5. Building #1 calls out for a van ramp into the building, a gas trap should be identified on the plans where any interior floor drains are connected to the sewer system. This work should also be coordinated with the Plumbing Inspector.
6. There are several different types of curbing called out on the plan: vertical granite, concrete curb, sloped granite edging, and cape cod berm. The applicant should indicate to the Board which type of curbing is to be used where and why.

Whereas this is a significant and substantial project, the DPW will continue to review the plans and submitted materials and we may have additional comments forthcoming.

Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'M Maglio', written in a cursive style.

Michael Maglio, P.E.  
Town Engineer

# Town of Franklin

355 East Central Street  
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907  
www.franklinma.gov

## DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

**DATE:** May 31, 2023  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 100-200 Financial Way  
Site Plan Modification

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The DPCD has reviewed the above referenced Site Plan Modification application for the Monday, June 5, 2023 Planning Board meeting and offers the following commentary:

### **General:**

1. The site is located at 100-200 Financial Way, and located in the Industrial Zoning District.
2. The proposed project includes the construction of a 220,000 sq/ft warehouse and a 65,000 sq/ft warehouse.
3. The Applicant has filed a NOI with the Conservation Commission.
4. Review letters included are from BETA, DPW and Fire.
5. BETA provided a summary letter for traffic, but will further review upon receiving the information requested.

### **Waivers:**

- §185-21 – Parking, reduce from the required amount of 350 spaces to 262 spaces.

### **Comments:**

1. The Planning Board approved the existing 2 warehouses back in 2016.
2. Per the request, at the time, from Water/Sewer Superintendent, trucks were not allowed to use Grove Street access. All truck traffic is to use Washington Street.
3. A traffic study has been provided and will be reviewed by BETA.
4. Any signage will need to file with Design Review Commission.





# *FRANKLIN FIRE DEPARTMENT*

To : DPCD

FROM : J. S. BARBIERI, DEPUTY FIRE CHIEF

DATE : 16 MAY 2023

RE : 100 & 200 FINANCIAL PARK – SITE PLAN MODIFICATION

Thank you for the opportunity to review the above referenced plan. We have met with the proponent and they have provided us with additional site access. As such, we have no further comments.

Please contact me should you have any question or require any additional information.

cc: file

---

**Project Address:** 100 & 200 Financial Park  
Franklin, MA 02038

---

**Date Prepared:** May 11, 2023

---

**Project Number:** 22051

---

**Prepared for:** Berkeley Partners  
1111 Broadway, Suite 1670  
Oakland, CA 94607

---

**Prepared by:** **Highpoint Engineering Inc.**  
Dedham Executive Center  
980 Washington Street, Suite 216  
Dedham, MA 02026  
[www.highpointeng.com](http://www.highpointeng.com)

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CERTIFICATE OF OWNERSHIP

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FILING FEE CALCULATION WORKSHEET &amp; CHECKS

SITE PLAN REVIEW NARRATIVE

---

**APPENDIX A****Supporting Documents**

- Certified Abutters List
- Franklin Best Development Guidebook – Checklist for Designers

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**APPENDIX B****Record Design Documents**

- 2018 Easement Plan
- 2020 Approval Not Required Plan
- 2021 Site Plan Review Modification Decision & 2021 Mylar Parking Plan

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**ATTACHMENTS**

- Site Development Plans (under separate cover) entitled:

Warehouse/Industrial Development | 100/200 Financial Park

Date: May 11, 2023

Prepared for: Berkeley Partners

Prepared by: Highpoint Engineering, Inc.

- Drainage Analysis (under separate cover) entitled:

Stormwater Management Analysis

Date: May 11, 2023

Prepared for: Berkeley Partners

Prepared by: Highpoint Engineering, Inc.

- Traffic Impact and Access Study entitled:

100/200 Financial Park Expansion | Proposed Warehouse Facilities

Date: May 11, 2023

Prepared for: Berkeley Partners

Prepared by: MDM Transportation Consultants, Inc.

---

May 11, 2023

Mr. Gregory Rondeau, Chairman  
Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

Re: Application for Site Plan Review  
100 & 200 Financial Park – Warehouse/Industrial Development  
Franklin, Massachusetts

Dear Mr. Chairman:

On behalf of our Client, Berkeley Partners (Applicant), Highpoint Engineering Inc. (Highpoint, Agent) is submitting the enclosed Site Plan Review Application for the project located at 100 & 200 Financial Park in Franklin, MA (the Site), identified on the Assessors' Map as Parcel #312-020-000-000 and #312-020-001-000.

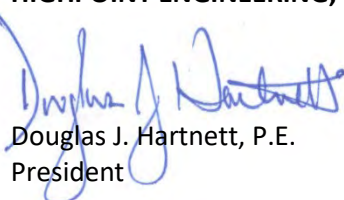
The Applicant requests review by the Town of Franklin Planning Board of the Site Plan Review Application for the proposed redevelopment of 100 Financial Park as indicated in the attached project Site Development Plans prepared by Highpoint Engineering Inc. dated May 11, 2023.

The submission includes the following documentation:

- Two (2) hard copies of full-size Site Development Plans, dated May 11, 2023
- Five (5) hard copies of half-size (11x17) Site Development Plans, dated May 11, 2023
- One (1) Site Plan Review Package with originals
- One (1) hard copy Site Plan Review Package
- Four (4) checks (filing fee, Independent Review, and Fire Department Review)
- One (1) hard copy full-size Site Development Plans and Site Plan Review Package for DPW

We respectfully request that this project be placed on the next available Planning Board agenda. If in the meantime, you should have any questions please contact my office at 781-770-0977.

Sincerely,  
**HIGHPOINT ENGINEERING, INC.**



Douglas J. Hartnett, P.E.  
President

cc: Commonwealth of Massachusetts, DEP, Central Regional Office, Worcester, MA  
Andy Ramirez, Berkeley Partners  
File




**FORM P**

**APPLICATION FOR APPROVAL OF A SITE PLAN**

To the Franklin Planning Board:

The undersigned, herewith, submits the accompanying Site Plan entitled “Warehouse/Industrial Development” for approval under the provisions of the Zoning By-Laws of the Town of Franklin covering Site Plans.

1. Name of Applicant: Brendan Pellerin, Asset Management Director, Berkeley Partners  
Address of Applicant: 1 Washington Mall, Suite 701, Boston, MA 02108  
Phone No.: (802) 353-2523 Email: bpellerin@berkeleypartners.com
  
2. Name of Owner (if not the Applicant): ICBP IV Holdings 34, LLC c/o Berkeley Partners  
Address of Owner: 1111 Broadway, Suite 1670, Oakland, CA 94607  
Phone No.: (415) 450-1762 Email: mnovak@berkeleypartners.com
  
3. Name of Engineer: Douglas Hartnett, P.E., President, Highpoint Engineering  
Address of Engineer: 980 Washington Street, Suite 216, Dedham, MA 02026  
Phone No.: (781) 770-0977 Email: dhartnett@highpointeng.com
  
4. Deed of Property recorded with Norfolk Registry of Deeds in Book 36923, Page 217, (or Certificate of Title No. \_\_\_\_\_)
  
5. Location and Description of Property:  
100/200 Financial Park - existing Marsh & McLennan Companies and Champagne Logistics Office/Warehouse Development  
  
Square Footage of Building(s) 285,000 GSF ±  
Assessor’s Map 312 Lot 020-000 & 020-001
  
6. Purpose of Site Plan: Design approval of a 220,000-GSF flex-warehouse building and a 65,000-GSF flex-warehouse building with related site improvements.
  
7. List of Waivers Requested (if any): Attach Form R for each waiver  
Section: Site Plan Review 185-21: Parking, Loading, Driveway Requirements: Reduce required parking.

  
\_\_\_\_\_  
Signature of Applicant

Brendan Pellerin  
\_\_\_\_\_  
Print Name of Applicant (for Berkeley Partners)

  
\_\_\_\_\_  
Signature of Owner

Matthew Novak  
\_\_\_\_\_  
Print Name of Owner (for ICBP IV Holdings 34, LLC)

CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Title of Plan: Warehouse/Industrial Development

Date of Plan: May 12, 2023 Assessor's Information: \_\_\_\_\_

Prepared by: Highpoint Engineering, Inc. 980 Washington Street, Suite 216, Dedham, MA 02026

Type of Plan: 81-P; Prelim.; Def.; **Site Plan**

SECTION B:

Name of Record Owner(s): ICBP IV Holdings 34, LLC

Address of Record Owner(s): c/o Berkeley Partners

1111 Broadway, Suite 1670, Oakland, CA 94607  
(formerly: 1 Sansome Street, Suite 1500, San Francisco, CA 94104)

\*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):  
\_\_\_\_\_

\*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation: \_\_\_\_\_

\*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation: \_\_\_\_\_  
\_\_\_\_\_

Executed as a sealed instrument this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

  
\_\_\_\_\_  
Signature of Applicant

Brendan Pellerin  
Print name of Applicant (for Berkeley Partners)

  
\_\_\_\_\_  
Signature of Owner

Matthew Novak  
Print name of Owner (for ICBP IV Holdings 34, LLC)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA  
COUNTY OF ALAMEDA

On April 27, 2023, before me, Yesenia Ruiz, Notary Public, personally appeared Matthew Novak, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature  (Seal)





**Form R:  
Franklin Planning Board  
Subdivision Waiver Request**

**Prepared by:** Highpoint Engineering, Inc.

**Signed:** Douglas Hartnett  
Douglas Hartnett, P.E.

Digitally signed by Douglas  
Hartnett  
Date: 2023.05.10  
10:42:24 -0400

**Subdivision:** 100/200 Financial Park - Warehouse/Industrial Development

**Date:** May 11, 2023

**Nature of Waiver:**

Request reduction of required parking from 350 spaces to 262 spaces.

**Subdivision Rules and Regulation Reference:**

Franklin Zoning By-Law Section 185-21(A)(4)

**Reason the waiver is requested:**

Waiver is requested as existing building tenant use and proposed warehouse parking demand is significantly lower than what off-street parking regulations require.

**Alternatives to granting the waiver:**

Construct additional parking that has no actual demand based upon existing and proposed tenant uses.

**Impact of waiver denial on the project:**

Construction of additional impervious area with associated stormwater improvements displaces existing landscape and natural wooded areas when it is not necessary to support the project.

**Reasons this waiver is in the best interests of the Town and consistent with the intent and purpose of the Subdivision Control Law:**

Granting of waiver reduces impervious area and related stormwater improvements within the Water Resource District retaining existing landscape and naturally wooded open space.

## Filing Fee Calculation

Pre-development impervious area: 706,894 sf

Post-development impervious area: 926,081 sf

Increase in impervious area: 220,000± sf

For 50,000 sf+ impervious coverage:

\$4,000 + \$100 per each 10,000 sf impervious coverage

= \$4,000 + \$100 X 220,000 sf / 10,000 sf

= \$6,200

DATE:04/24/2023 CK#:128 TOTAL:\$6,000.00\*\*\* BANK:ICBP IV Holdings 34, LLC(b100fp)  
PAYEE:Town of Franklin(v0001034) MEMO: Franklin Redevelopment Entitlement - des-16

Job(Prop)	Categ(Acct)	Invoice - Date	Description	Amount
des-16(b100fp)	01200000(1504-006)	b100fp600000-04/19/23	Franklin Redevelopment Entitlement -	6,000.00
				6,000.00

DATE:04/24/2023 CK#:128 TOTAL:\$6,000.00\*\*\* BANK:ICBP IV Holdings 34, LLC(b100fp)  
PAYEE:Town of Franklin(v0001034) MEMO: Franklin Redevelopment Entitlement - des-16

Job(Prop)	Categ(Acct)	Invoice - Date	Description	Amount
des-16(b100fp)	01200000(1504-006)	b100fp600000-04/19/23	Franklin Redevelopment Entitlement -	6,000.00
				6,000.00

ICBP IV Holdings 34, LLC  
1111 Broadway Suite 1670  
Oakland, CA 94607  
b100fp

JPMorgan Chase  
New York, NY 10017

Date	Check No.	Check Amount
04/24/2023	128	\$6,000.00***

\*\*\*\* SIX THOUSAND AND 00/100 DOLLARS

VOID IF NOT PAID WITHIN 90 DAYS

TO THE ORDER OF  
Town of Franklin  
P.O. Box 986  
Medford, MA 02155-0010

*Bahar Sidhu*

MEMO: Franklin Redevelopment Entitlement - des-16

000128

322271627 819265932

HIGHPOINT ENGINEERING INC.

Town of Franklin  
Project Related Expenses-COGS

5/11/2023

4054

200.00

Eastern Bank-Main Ck Site Plan Approval

200.00

		<b>HIGHPOINT ENGINEERING INC.</b> DEDHAM EXECUTIVE CENTER 980 WASHINGTON ST, STE 216 DEDHAM, MA 02026 (781) 770-0970	 Boston, MA 02110 easternbank.com 1-800-EASTERN	53-179/113	4054
PAY TO THE ORDER OF		Town of Franklin			5/11/2023
					\$ **200.00
Two Hundred and 00/100		*****			DOLLARS
MEMO		Town of Franklin Conservation Commission 355 East Central Street Franklin, MA 02038			
Site Plan Approval					 AUTHORIZED SIGNATURE

⑈004054⑈ ⑆011301798⑆ 0601614102⑈

Security features. Details on back.

DATE:04/24/2023 CK#:126 TOTAL:\$15,000.00\*\* BANK:ICBP IV Holdings 34, LLC(b100fp)  
PAYEE:Town of Franklin(v0001034) MEMO: Franklin Redevelopment Entitlement - des-16

Job(Prop)	Categ(Acct)	Invoice - Date	Description	Amount
des-16(b100fp)	01200000(1504-006)	b100fp1500000-04/19/23	Franklin Redevelopment Entitlement -	15,000.00
				15,000.00

DATE:04/24/2023 CK#:126 TOTAL:\$15,000.00\*\* BANK:ICBP IV Holdings 34, LLC(b100fp)  
PAYEE:Town of Franklin(v0001034) MEMO: Franklin Redevelopment Entitlement - des-16

Job(Prop)	Categ(Acct)	Invoice - Date	Description	Amount
des-16(b100fp)	01200000(1504-006)	b100fp1500000-04/19/23	Franklin Redevelopment Entitlement -	15,000.00
				15,000.00

ICBP IV Holdings 34, LLC  
1111 Broadway Suite 1670  
Oakland, CA 94607  
b100fp

JPMorgan Chase  
New York, NY 10017

Date	Check No.	Check Amount
04/24/2023	126	\$15,000.00**

\*\*\*\* FIFTEEN THOUSAND AND 00/100 DOLLARS

VOID IF NOT PAID WITHIN 90 DAYS

TO THE ORDER OF  
Town of Franklin  
P.O. Box 986  
Medford, MA 02155-0010

*Bahar Sidhu*

MEMO: Franklin Redevelopment Entitlement - des-16

0000126

322271627 819265932



DATE:04/24/2023 CK#:127 TOTAL:\$25.00\*\*\*\*\* BANK:ICBP IV Holdings 34, LLC(b100fp)  
PAYEE:Town of Franklin(v0001034) MEMO: Franklin Redevelopment Entitlement - des-16

Job(Prop)	Categ(Acct)	Invoice - Date	Description	Amount
des-16(b100fp)	01200000(1504-006)	b100fp2500-04/19/2023	Franklin Redevelopment Entitlement -	25.00
				25.00

DATE:04/24/2023 CK#:127 TOTAL:\$25.00\*\*\*\*\* BANK:ICBP IV Holdings 34, LLC(b100fp)  
PAYEE:Town of Franklin(v0001034) MEMO: Franklin Redevelopment Entitlement - des-16

Job(Prop)	Categ(Acct)	Invoice - Date	Description	Amount
des-16(b100fp)	01200000(1504-006)	b100fp2500-04/19/2023	Franklin Redevelopment Entitlement -	25.00
				25.00

ICBP IV Holdings 34, LLC  
1111 Broadway Suite 1670  
Oakland, CA 94607  
b100fp

JPMorgan Chase  
New York, NY 10017

Date	Check No.	Check Amount
04/24/2023	127	\$25.00*****

\*\*\*\* TWENTY FIVE AND 00/100 DOLLARS

VOID IF NOT PAID WITHIN 90 DAYS

TO THE ORDER OF  
Town of Franklin  
P.O. Box 986  
Medford, MA 02155-0010

*Bahaar Sidhu*

MEMO: Franklin Redevelopment Entitlement - des-16

00001270 3222716270 81926593210

## INTRODUCTION

This narrative summarizes the proposed development of a 220,000± sf flex-warehouse building and 65,000± sf flex-warehouse building expansion at 100 and 200 Financial Park, Franklin, Massachusetts, respectively (the Project). The properties subject to this Site Plan Review Application consists of two lots, Lot 5A and Lot 5GB, owned by ICBP IV Holdings 34, LLC with a total combined area of approximately 51.05 acres. Lot 5A currently supports a 180,500± sf office building that is leased by Marsh & McLennan Companies for a telecommunication data center. Lot 5B currently supports a 65,000± sf warehouse that is leased by Champagne Logistics. Primary site access is off Washington Street with a bituminous driveway that extends through the site providing secondary access to Grove Street. Surface parking lots and utility infrastructure support the buildings and site use.

Assuming all municipal permits and approvals can be obtained for the Project, ICBP IV Holdings 34, LLC will apply for reconfiguration of the lot lines under an 81P - Approval Not Required submission after obtaining the municipal approvals. The lot lines will be reconfigured such that each of the proposed buildings will be on separate lots. The proposed buildings and new lots will be compliant with zoning dimensional requirements after the reconfiguration of the lot lines.

With the exception of a waiver request to reduce the required surface parking, the warehouse development project has been designed in accordance with the Franklin Zoning By-laws (as amended). Given the existing developed nature of the property, topographic limitations, and environmental constraints the Project seeks to meet the design guidance set forth in the Franklin Best Development Practices Guidebook to the extent practicable.



## HISTORY

The property was originally developed in 1980 by Digital Equipment Corporation who constructed the current 180,500± sf office building and 56,000± sf attached warehouse building. A graded building pad for future 60,000± sf warehouse expansion was constructed, as well as surface parking lots and central stormwater management facility that provides both detention and supplemental water source for fire protection. An access driveway bisects the site connecting Washington Street with Grove Street. The work as proposed is shown on plans prepared by The Maguire Group. The property was subsequently sold to Putnam Investments (Putnam).

In 1994 Putnam (currently Marsh & McLennan) obtained Site Plan Approval and an Order of Conditions for construction of a 1,317 space parking lot expansion south of the office building. A Special Permit was also issued for installation of above-ground fuel storage tanks. The record plans and reports prepared by Sasaki Associates indicate that the parking lot expansion and related stormwater management improvements were designed to operate independently from the existing site drainage at that time, and the stormwater management system was designed in accordance with applicable state and local regulations in effect. Approximately 540 (42%) of the approved 1,317 parking spaces were constructed.

In 1995 Putnam obtained Definitive Subdivision Plan Approval from the Planning Board for the creation of Lots 1, 2, and a cul-de-sac.

In 1999 the Conservation Commission issued a Certificate of Compliance to close out the Order of Conditions regulating the parking lot construction and drainage improvements.

In 2015 Franklin Property Owner, LLC purchased the property from the California Teachers Retirement Association.

In 2016 the Conservation Commission issued an Order of Resource Area Delineation approving the locations of the bank of a perennial stream, bordering and isolated vegetated wetlands, and their respective buffer zones.

In 2017 Franklin Property Owner, LLC and Benjamin Franklin Education Foundation, Inc. recorded an Approval Not Required Plan for the subdivision of the property and adjacent vacant lots.

In 2018 Champagne Logistics, the tenant of the 56,000± sf warehouse building, added a 9,000± sf mezzanine inside the building, increasing its gross floor area to 65,000± sf. The breezeway connection between the 180,500± sf office building and warehouse building was also demolished in 2018.

In 2020 ICBP IV REIT Acquisitions, LLC recorded an Approval Not Required Plan for the subdivision of the property into Lots 5A and 5B.

Presently the existing office building is leased and operated as a telecommunications data center. The warehouse building is leased and operated as a logistics warehouse.

## SITE CONDITIONS

The Project site lies within the Industrial (I) zoning district, the Biotechnology Use Overlay District, and the Water Resource Overlay District. The property includes the existing 180,500± sf office building and 65,000± sf warehouse building with associated surface parking, trailer storage, landscape, stormwater improvements, utilities, and natural wooded open space.

Environmental resource areas include Mine Brook, which flows west to east along the north lot line. Dix Brook, located to the west of the property, flows south to north and discharges at its confluence with Mine Brook. Environmental resource areas located along the periphery of the Project site include perennial stream, bordering/isolated vegetated wetlands, riverfront area, inland bank, and 100-year flood zone associated with Mine Brook. No work is proposed within these environmental resource areas. The Project site also lies within a Zone II public water supply wellhead protection area.

Topography ranges from gently sloping within the previously developed area, to moderate/severe slopes in some of the natural wooded areas.

Soils are generally classified as HSG-A throughout the upland portions of the property based upon the USDA – Soil Conservation Service Soils Atlas for Norfolk County. On-site soil testing conducted via excavated test pits confirmed the presence of A-soils throughout both the higher and lower elevation areas. A groundwater gradient beneath the property has been established through extensive monitoring well readings and reporting associated with the Special Permit monitoring program. The groundwater gradient has been adopted from the exhibit entitled “Groundwater Contour Map, Spring 2010”, prepared by Environmental Health and Engineering, Inc. as provided by the building maintenance manager. Additionally, groundwater levels measured in monitoring wells shown on the exhibit by McArdle Gannon Associates on March 26, 2023 generally correlated with those shown on the exhibit.

## PROPOSED DEVELOPMENT

The Project includes the demolition of the existing 180,500± sf office building and the construction of a 220,000± sf one-story flex-warehouse building ("Building 1") and a 65,000± sf one-story flex-warehouse building ("Building 2") with a shared loading dock/truck court area. The existing 65,000± sf warehouse building ("Building 3") and associated loading dock will be maintained.

The proposed warehouses are located within developed areas of the property. The footprint falls within portions of the existing northwest parking/trailer storage lots to minimize construction and grading impacts to bordering vegetated wetland and Riverfront buffer zones, as well as reducing grading impacts to steep slopes that face these resource areas. The south parking lot will be maintained and will continue to be used by tenants of the adjacent warehouse building at 300 Financial Park. The remaining portion of the northwest parking/trailer storage lot will be reconfigured and supplemented with new parking lots to the east of proposed Buildings 1 and 2, and to the west of existing Building 3. An additional trailer storage lot is proposed to the south of existing Building 3. The parking areas and access drive alignments have been configured to maximize parking near each of the existing and proposed building entrances while providing a layout that integrates the overall development.

The proposed warehouse buildings are at the same elevation as the existing 180,500± sf office building, requiring significant re-grading along the eastern edge of proposed Building 1 and the shared truck court and at both proposed entrances of Building 1. Re-grading will also be required on the west and south sides of existing Building 3 to accommodate the proposed parking and trailer storage lots. These areas are provided with a minimum 5' shoulder and maximum 3:1 slope grading. No finished grades are proposed below the estimated seasonal high water table as identified in the referenced Groundwater Contour Map.

### Stormwater/Utility Infrastructure:

The stormwater management system within the northwest parking/trailer storage lot and around the existing office and warehouse buildings will be modified and expanded to accommodate the proposed development and reconfigured parking areas. The existing drainage system consists of a traditional catch basin/drain manhole collection system with discharge to the onsite detention pond located to the North of the property. The reconfigured drainage collection system will connect to existing on-site drainage requiring the use of the same catch basin/drain manhole methodology. Rain gardens and Contech hydrodynamic separators will be installed upstream of the on-site drainage connection points to enhance water quality and improve discharges above what is provided today.

Peak flow attenuation is accomplished by stormwater infiltration and controlled outflow via outlet control structure prior to discharge to the existing drainage collection system. Subsurface detention/infiltration basins with outlet control structures will be constructed beneath the shared loading dock/truck court area and the northwest, west, and east parking lots. Building, loading dock, and adjacent parking runoff will be treated, controlled, and discharged to the existing site drainage collection system that flows to an existing detention basin on the northern portion of the site. This basin will provide additional treatment downstream of the proposed stormwater BMP's. See the Stormwater Management Report for detailed analysis of the drainage collection system.

The sewer collection system will be modified and expanded to accommodate the proposed buildings and replace the existing sewers within the proposed development footprint, which currently remove sewage from Building 3, Benjamin Franklin Classical Charter Public School (BFCCPS), and 300 Financial. The proposed system consists of traditional gravity sewer serving the buildings with discharge to the existing site sewer collector located off the northeast corner of the existing office building. The existing sewer

force main from BFCCPS and the existing gravity sewer from the warehouse building at 300 Financial Park will be modified to discharge into a new manhole to the south of proposed Building 2 and then into a replacement gravity sewer collector which will convey the combined flow from BFCCPS and 300 Financial to the gravity sewer system serving the proposed development. The gravity sewer system will collect sewage from existing Building 3 and proposed Building 2, convey the combined sewage northwards, and then collect sewage from proposed Building 1. This area eventually flows to the Washington Street Sewer Pump station. A sewer capacity study will be coordinated with the Franklin DPW. The recommendations of the study will be shared with the Planning Board when the study is completed.

The water distribution system will consist of two new 10" CLDI water mains serving Building 1 and Building 2, respectively, each with connections to the existing 16" CLDI water main that extends from Washington Street through the site and into the warehouse building at 300 Financial. A 10" CLDI fire water line and a 4" domestic water line will extend from the new 10" water mains into each of the three proposed offices. Fire hydrants and fire protection services will extend off a proposed 8" CLDI water/fire protection loop around Building 1 and a proposed 6" CLDI water /hydrant water line around Building 2. Additionally, a fire hydrant connected directly to the water main will be provided near each of the three proposed utility rooms. Details of the water distribution system will be coordinated with the Franklin DPW.

**PROJECT ATTRIBUTES AND MITIGATION**

In addition to the scope of work noted in the Proposed Development section of this narrative, the following project attributes and mitigation are summarized for the Planning Board's consideration:

- **Structures:** After re-configuration of the lot lines, the proposed 220,000± sf warehouse and the proposed 65,000± sf warehouse will reside on Lot 5A and the existing 65,000± sf warehouse will reside on Lot 5B. All existing and new structures will meet applicable dimensional requirements under the Zoning By-laws, after the proposed lot line re-configuration. The Applicant may choose to subdivide the warehouse development project further pending final tenant leasing agreement.
- **Streets:** The existing site driveways on Washington Street and Grove Street will provide access to the project site identical to what occurs under existing conditions. The site driveway will serve as the principal access throughout the site with additional driveways located for vehicular and loading access in the core development area. New public or private rights-of-way are not proposed by the Project.
- **Access:** Access to the site from town streets will be provided as currently exists, with reconfiguration of driveways in the core development area. Access around the site is intended to support tractor trailer, fire/emergency apparatus, and passenger vehicle turning and maneuvering requirements.
- **Parking:** Parking is intended to be shared by tenants of the three warehouse buildings. The limited use of the existing warehouse facility under its current lease, and the projected parking demand for traditional warehouse operations for facilities of the type proposed, result in a parking demand that is much lower than what is required under the Zoning By-law. A waiver to reduce the required number of off-street parking spaces is requested from 350 to 262. New parking configurations meet dimensional requirements for stall size and drive aisle widths.
- **Loading Facilities:** The existing Building 3 loading facilities are unaffected by the project. New shared loading facilities for the 220,000± sf warehouse and 65,000± sf warehouse are designed to accommodate access and maneuvering for WB-67 tractor trailer design vehicles.
- **Trailer Storage:** The existing trailer storage area will be reconfigured and supplemented with an additional trailer storage lot to the south of existing Building 3. A small portion of the proposed shared loading facilities will also be dedicated to trailer storage. The ratio of trailer storage spaces to loading dock spaces in the shared loading area will be determined by tenant requirements.
- **Solid Waste Management:** The existing Building 3 warehouse solid waste management is unaffected by the proposed development. Solid waste management for proposed flex-warehouses (Buildings 1 and 2) in the form of refuse storage areas, containers, compactors, and other materials handling will be dictated by tenant requirements and located within the designated loading dock areas. Final locations of these facilities will be included on site plans submitted for building permit in conformance with the Zoning By-laws. Hazardous materials storage and handling is not anticipated at this time.
- **Landscape and Screening:** Landscape islands and tree quantities proposed within the parking fields are provided in accordance with the zoning by-laws. Landscape materials selection has been made with reference to the Franklin Best Development Guidebook. The existing and developed areas are located within the middle core of the campus with significant distance from adjacent industrial and residential areas. The development has been designed to maintain to the extent

practicable existing hills and natural vegetation to provide screening as viewed from Washington Street.

- Signage: Identity and wayfinding signage will be designed in accordance with the Signage Regulations of the Zoning By-laws.
- Traffic: See attached Traffic Impact and Access Study for analysis and conclusions.



122814

Abutter's List Request Form

Status: Active

Date Created: Mar 20, 2023

Applicant

Connie Lu  
clu@highpointeng.com  
980 WASHINGTON ST, 216  
216  
DEDHAM, MA 02026  
9787602414

Primary Location

100 FINANCIAL PARK  
FRANKLIN, MA 02038

Owner:

ICBP IV HOLDINGS 34 LLC C/O BERKELEY PARTNERS  
1 SANSONE STREET - SUITE 1500 SAN FRANCISCO, CA  
94104-4448

Abutter's List Request Form

Which Board/Commission is requiring this list?

Planning Board & Conservation Commission

What is the purpose for the request?

Site Plan Review & Notice of Intent

How would you like to receive this abutters list?

Emailed

What email address should we use to send you the abutters list?

clu@highpointeng.com

General Parcel Information

<b>Assessor's Parcel ID</b> 312-020-000-000	<b>Property Street Address</b> 100 Financial Park
--	--

<b>Assessor's Parcel ID</b> 312-020-001-000	<b>Property Street Address</b> 200 Financial Park
--	--

Property Owner Information

<b>Property Owner</b> ICBP IV HOLDINGS 34 LLC C/O BERKELEY PARTNERS	<b>Property Owner's Mailing Address</b> 1 SANSONE STREET, SUITE 1500
<b>Town/City</b> SAN FRANCISCO	<b>Zip/Postal Code</b> 94101-4448





100 & 200 FINANCIAL PK [312-020-000-000 & 312-020-001-000] - 300' ABUTTERS

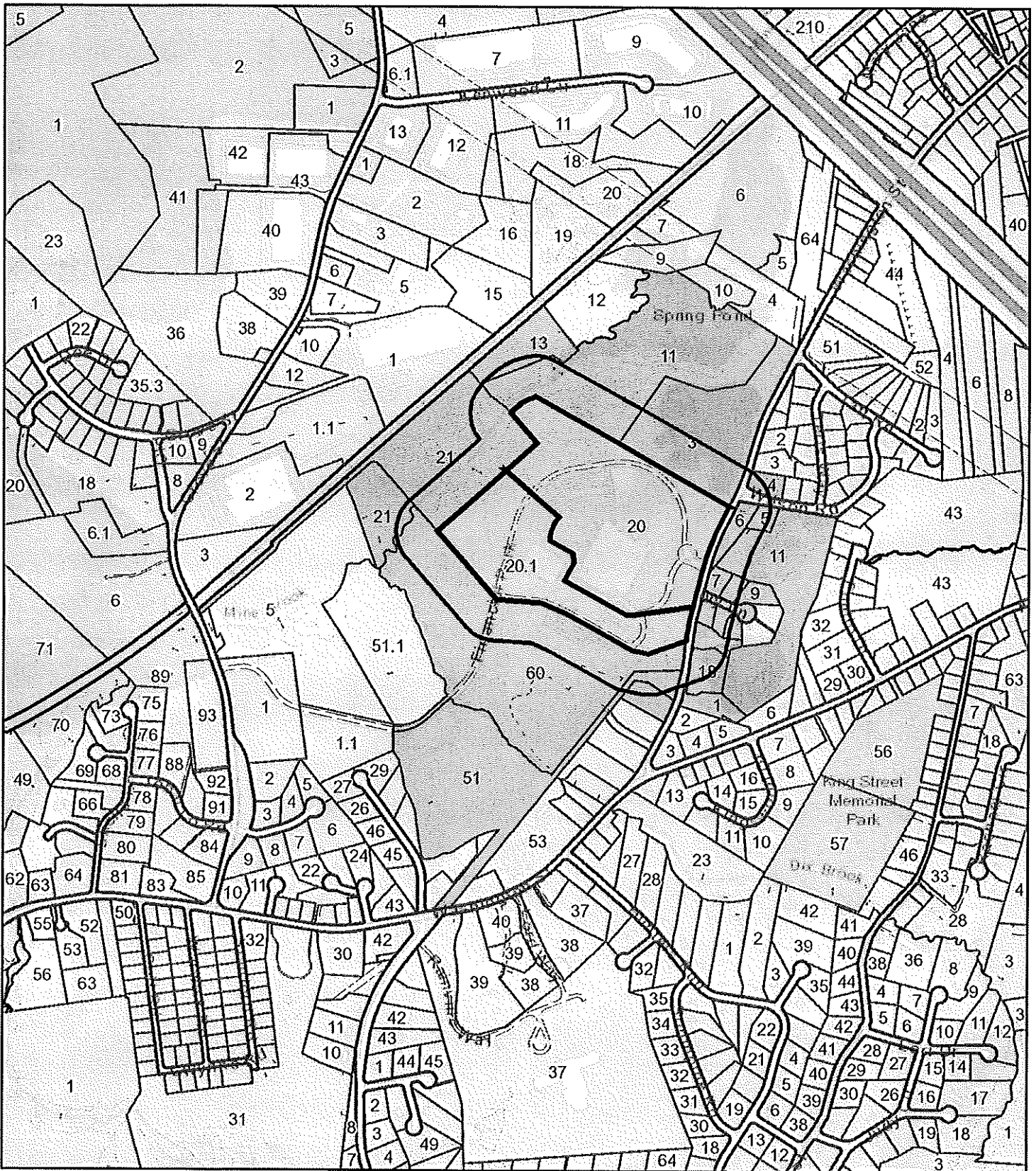
Franklin, MA



March 20, 2023

1 inch = 1000 Feet

www.cai-tech.com



This information is believed to be correct but is subject to change and is not warranted.





# 300 foot Abutters List Report

Franklin, MA  
March 20, 2023

## Subject Properties:

Parcel Number: 312-020-000  
CAMA Number: 312-020-000-000  
Property Address: 100 FINANCIAL PARK

Mailing Address: ICBP IV HOLDINGS 34 LLC C/O  
BERKELEY PARTNERS  
1 SANSONE STREET - SUITE 1500  
SAN FRANCISCO, CA 94104-4448

Parcel Number: 312-020-001  
CAMA Number: 312-020-001-000  
Property Address: 200 FINANCIAL PARK

Mailing Address: ICBP IV HOLDINGS 34 LLC C/O  
BERKELEY PARTNERS  
1 SANSONE STREET - SUITE 1500  
SAN FRANCISCO, CA 94104-4448

## Abutters:

Parcel Number: 305-003-000  
CAMA Number: 305-003-000-000  
Property Address: 291 WASHINGTON ST

Mailing Address: CHENT REALTY INC  
291 WASHINGTON ST  
FRANKLIN, MA 02038

Parcel Number: 305-011-000  
CAMA Number: 305-011-000-000  
Property Address: WASHINGTON ST

Mailing Address: UNITED STATES OF AMERICA  
696 VIRGINIA ROAD  
CONCORD, MA 01742

Parcel Number: 305-013-000  
CAMA Number: 305-013-000-000  
Property Address: MINE BROOK

Mailing Address: MCP III 176 GROVE LLC C/O MARCUS  
PARTNERS, INC.  
260 FRANKLIN ST  
BOSTON, MA 02110

Parcel Number: 311-021-000  
CAMA Number: 311-021-000-000  
Property Address: GROVE ST

Mailing Address: MCP III 210 GROVE LLC C/O MARCUS  
PROPERTIES INC  
260 FRANKLIN ST - SUITE 620  
BOSTON, MA 02110

Parcel Number: 312-004-000  
CAMA Number: 312-004-000-000  
Property Address: 372 WASHINGTON ST

Mailing Address: DANIELLO ALBERT AJR DANIELLO  
THERESA M  
372 WASHINGTON ST  
FRANKLIN, MA 02038

Parcel Number: 312-005-000  
CAMA Number: 312-005-000-000  
Property Address: 1 WILSON RD

Mailing Address: VERNEY LAWRENCE J VERNEY RITA E  
1 WILSON RD  
FRANKLIN, MA 02038

Parcel Number: 312-006-000  
CAMA Number: 312-006-000-000  
Property Address: 394 WASHINGTON ST

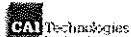
Mailing Address: WETZELL HALLIE PAONE NICHOLAS  
394 WASHINGTON ST  
FRANKLIN, MA 02038

Parcel Number: 312-007-000  
CAMA Number: 312-007-000-000  
Property Address: 2 IVY LN

Mailing Address: CARUSO MICHAEL CARUSO VANESSA  
2 IVY LN  
FRANKLIN, MA 02038

Parcel Number: 312-008-000  
CAMA Number: 312-008-000-000  
Property Address: 4 IVY LN

Mailing Address: RIPLEY JAMES F RIPLEY LAUREL E  
4 IVY LN  
FRANKLIN, MA 02038



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This information is believed to be correct but is subject to change and is not warranted.

3/20/2023

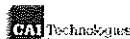
Page 1 of 3



# 300 foot Abutters List Report

Franklin, MA  
March 20, 2023

Parcel Number: 312-009-000 CAMA Number: 312-009-000-000 Property Address: 6 IVY LN	Mailing Address: TRAN DUC THUY DANG 6 IVY LN FRANKLIN, MA 02038
Parcel Number: 312-011-000 CAMA Number: 312-011-000-000 Property Address: WASHINGTON ST	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038
Parcel Number: 312-013-000 CAMA Number: 312-013-000-000 Property Address: IVY LN	Mailing Address: KANE JOHN 1 IVY LN FRANKLIN, MA 02038
Parcel Number: 312-014-000 CAMA Number: 312-014-000-000 Property Address: 5 IVY LN	Mailing Address: HAMMANN MICHELLE L HAMMANN JOHN 5 IVY LN FRANKLIN, MA 02038
Parcel Number: 312-015-000 CAMA Number: 312-015-000-000 Property Address: 3 IVY LN	Mailing Address: MOORE ROBERT E KIRK KRISTEN 3 IVY LN FRANKLIN, MA 02038
Parcel Number: 312-016-000 CAMA Number: 312-016-000-000 Property Address: 1 IVY LN	Mailing Address: BOYCE KEVIN BOYCE KATIE 1 IVY LN FRANKLIN, MA 02038
Parcel Number: 312-017-000 CAMA Number: 312-017-000-000 Property Address: 460 WASHINGTON ST	Mailing Address: SARKAR SUZANNA & AMBAR SARKAR JOANNE HEBERT 460 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 312-018-000 CAMA Number: 312-018-000-000 Property Address: 456 WASHINGTON ST	Mailing Address: GILMAN SCOTT J GILMAN AMY 456 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 312-020-000 CAMA Number: 312-020-000-000 Property Address: 100 FINANCIAL PARK	Mailing Address: ICBP IV HOLDINGS 34 LLC C/O BERKELEY PARTNERS 1 SANSONE STREET - SUITE 1500 SAN FRANCISCO, CA 94104-4448
Parcel Number: 312-020-001 CAMA Number: 312-020-001-000 Property Address: 200 FINANCIAL PARK	Mailing Address: ICBP IV HOLDINGS 34 LLC C/O BERKELEY PARTNERS 1 SANSONE STREET - SUITE 1500 SAN FRANCISCO, CA 94104-4448
Parcel Number: 312-021-000 CAMA Number: 312-021-000-000 Property Address: 340 GROVE ST	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038
Parcel Number: 321-001-000 CAMA Number: 321-001-000-000 Property Address: 462 WASHINGTON ST	Mailing Address: BIANCO ROSE M 462 WASHINGTON ST FRANKLIN, MA 02038



www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.



# 300 foot Abutters List Report

Franklin, MA  
March 20, 2023

Parcel Number: 321-051-000  
CAMA Number: 321-051-000-000  
Property Address: 500 FINANCIAL PARK

Mailing Address: BENJAMIN FRANKLIN CLASSICAL  
CHARTER PUBLIC SCHOOL  
500 FINANCIAL PARK  
FRANKLIN, MA 02038

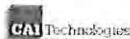
Parcel Number: 321-060-000  
CAMA Number: 321-060-000-000  
Property Address: 300 FINANCIAL PARK

Mailing Address: 300 FINANCIAL PARK OWNER LLC  
1270 SOLDIERS FIELD RD  
BOSTON, MA 01284

Parcel Number: 321-062-000  
CAMA Number: 321-062-000-000  
Property Address: WASHINGTON ST

Mailing Address: WASHINGTON LOT 1C LLC  
133 PEARL ST SUITE 400  
BOSTON, MA 02110

*Kevin M. Doyle, 3-20-23*



[www.cai-tech.com](http://www.cai-tech.com)

This information is believed to be correct but is subject to change and is not warranted.

3/20/2023

Page 3 of 3

300 FINANCIAL PARK OWNER  
1270 SOLDIERS FIELD RD  
BOSTON, MA 01284

ICBP IV HOLDINGS 34 LLC  
C/O BERKELEY PARTNERS  
1 SANSONE STREET - SUITE 1500  
SAN FRANCISCO, CA 94104-4448

WASHINGTON LOT 1C LLC  
133 PEARL ST SUITE 400  
BOSTON, MA 02110

BENJAMIN FRANKLIN CLASSIC  
500 FINANCIAL PARK  
FRANKLIN, MA 02038

KANE JOHN  
1 IVY LN  
FRANKLIN, MA 02038

WETZELL HALLIE  
PAONE NICHOLAS  
394 WASHINGTON ST  
FRANKLIN, MA 02038

BIANCO ROSE M  
462 WASHINGTON ST  
FRANKLIN, MA 02038

MCP III 176 GROVE LLC  
C/O MARCUS PARTNERS, INC.  
260 FRANKLIN ST  
BOSTON, MA 02110

BOYCE KEVIN  
BOYCE KATIE  
1 IVY LN  
FRANKLIN, MA 02038

MCP III 210 GROVE LLC  
C/O MARCUS PROPERTIES INC  
260 FRANKLIN ST - SUITE 620  
BOSTON, MA 02110

CARUSO MICHAEL  
CARUSO VANESSA  
2 IVY LN  
FRANKLIN, MA 02038

MOORE ROBERT E  
KIRK KRISTEN  
3 IVY LN  
FRANKLIN, MA 02038

CHENT REALTY INC  
291 WASHINGTON ST  
FRANKLIN, MA 02038

RIPLEY JAMES F  
RIPLEY LAUREL E  
4 IVY LN  
FRANKLIN, MA 02038

DANIELLO ALBERT AJR  
DANIELLO THERESA M  
372 WASHINGTON ST  
FRANKLIN, MA 02038

SARKAR SUZANNA & AMBAR  
SARKAR JOANNE HEBERT  
460 WASHINGTON ST  
FRANKLIN, MA 02038

FRANKLIN TOWN OF  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038

TRAN DUC  
THUY DANG  
6 IVY LN  
FRANKLIN, MA 02038

GILMAN SCOTT J  
GILMAN AMY  
456 WASHINGTON ST  
FRANKLIN, MA 02038

UNITED STATES OF AMERICA  
696 VIRGINIA ROAD  
CONCORD, MA 01742

HAMMANN MICHELLE L  
HAMMANN JOHN  
5 IVY LN  
FRANKLIN, MA 02038

VERNEY LAWRENCE J  
VERNEY RITA E  
1 WILSON RD  
FRANKLIN, MA 02038

## **CHECKLIST FOR DESIGNERS**

**GOALS and NEEDS Addressed:**

1. Create a visually appealing community
2. Stabilize and increase property values
3. Encourage low impact development
4. Preserve the Town's historic and cultural heritage
5. Protect Franklin's natural environment, including habitat, water resources, and ecosystem services

**FRANKLIN POLICY:**

Subdivision plans and site plans for all forms of development shall adhere to the principles of environmental and aesthetic compatibility and energy-efficient design.

<b>BEST DEVELOPMENT PRACTICES</b>	<b>Incorporated into Project?</b>
The site plan should be designed to address the following to the maximum extent practicable	
Unique natural features have been preserved ( <i>the development program should either avoid altering or showcase significant natural features</i> )	✓ To extent practicable
Native vegetation planted in disturbed areas as needed to enhance or restore habitat	✓
Historic and cultural resources have been preserved ( <i>the development program should either avoid altering or showcase significant historic and cultural features</i> )	✓
Clearing, grading, and building placement consider view sheds	✓
Cut and fill have been minimized	✓
Buildings blend into the natural topography	✓ To extent practicable
Buildings are oriented to the sun and wind for maximum energy efficiency <i>Vegetated protection from northwest (winter) winds is provided Deciduous species planted or retained close to the East, South and West building edges</i>	✓ To extent practicable
Conforms to §185-31 of the Town of Franklin Zoning Code and/or Chapter 300 of the Town of Franklin Subdivision Regulations	✓

## GOALS and NEEDS addressed:

1. Protect local and regional wetlands and water bodies;
2. Maximize groundwater recharge to retain a viable local groundwater supply; and
3. Minimize pollutants in stormwater runoff.

**FRANKLIN POLICY:** In addition to MassDEP's Stormwater Management Standards, all new development projects in Franklin must meet the following performance measures. All redevelopment projects shall meet the standards and if they fail to meet the standards, shall retrofit or expand existing stormwater management systems to improve existing conditions.

1. Post-development peak discharge rates and volumes from the site shall not exceed pre-development peak discharge rates and volumes from the site.
2. All drainage facilities proposed shall utilize best management practices as outlined in the Massachusetts Stormwater Management Standards.
3. All sites will have an Operation and Maintenance plan to insure future compliance.

Additionally, new development projects must:

1. Retain the volume of runoff equivalent to, or greater than, one (1.0) inch multiplied by the total post-construction impervious surface area on the site AND/OR
2. Remove 90% of the average annual load of Total Suspended Solids (TSS) generated from the total post-construction impervious area on the site AND 60% of the average annual load of Total Phosphorus (TP) generated from the total post-construction impervious surface area on the site.

And redevelopment projects must:

1. Retain the volume of runoff equivalent to, or greater than, 0.80 inch multiplied by the total post-construction impervious surface area on the site AND/OR
2. Remove 80% of the average annual post-construction load of Total Suspended Solids (TSS) generated from the total post-construction impervious area on the site AND 50% of the average annual load of Total Phosphorus (TP) generated from the total post-construction impervious surface area on the site.



BEST DEVELOPMENT PRACTICES	Incorporated into Project?
The site plan should be designed to address the following to the maximum extent practicable	
Vegetated swales <i>(recommended to convey runoff from roadways &amp; parking lots)</i>	
Vegetated filter strips <i>(recommended to filter and infiltrate runoff from roadways, parking lots, and driveways; use along roadsides and parking lots)</i>	✓
Constructed wetlands <i>(preferred method for stormwater retention &amp; pollutant removal)</i>	
Bioretention cells <i>(rain gardens)</i> <i>(recommended on residential lots and parking lot islands)</i>	✓
Pervious paving surfaces <i>(recommended in overflow parking and low-traffic areas)</i>	✓ permeable pavers at entry points and amenity spaces
Sediment Forebays <i>(use in combination with other BDP)</i>	
Roof gardens <i>(encouraged on flat or gently sloped commercial and industrial rooftops)</i>	
Retention/Detention basins <i>(may be used in series with other practices to provide pre-treatment)</i>	✓ Using existing detention basin
Recharge Systems <i>(suitable for all areas of development)</i>	✓
Drain pipe/catch basin systems <i>(as required to collect runoff when other systems are not practical)</i>	✓
If utilizing drain pipe and/or catch basin systems, have you documented that other systems are infeasible?	✓

See stormwater management summary

**GOALS and NEEDS addressed:**

1. Minimize clearing and regrading
2. Prevent erosion and sedimentation

<p><b>FRANKLIN POLICIES:</b></p> <p>a) Any proposed project on a previously undeveloped site shall accommodate the development program in a way that minimizes clearing and re-grading, especially in areas of steep slopes, erosion-prone soils, or sensitive vegetation. For redevelopment projects, the site plan shall concentrate development in previously-disturbed areas to the extent possible.</p> <p>b) As a condition of approval, every proposed project shall submit and adhere to an erosion control plan that addresses soil stabilization, sediment retention, perimeter protection, construction scheduling, and traffic area stabilization and dust control.</p> <p>c) If the proposed project is in an area under conservation jurisdiction, the project will require permitting deemed appropriate by the Conservation Commission.</p>
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<b>BEST DEVELOPMENT PRACTICES</b>	Incorporated into Project?
The site plan should be designed to address the following to the maximum extent practicable.	
Clearing and re-grading have been minimized	✓
Plan identifies sensitive areas to be protected and areas that are suitable for development	✓
Conservation Permits have been obtained <i>(when applicable)</i>	NOI permit submitted May 11
The erosion and sedimentation control plan addresses:	
<ul style="list-style-type: none"> <li>● Soil stabilization                             <ul style="list-style-type: none"> <li>○ <i>(cover or stabilize erodible surfaces not in immediate use)</i></li> </ul> </li> <li>● Sediment retention                             <ul style="list-style-type: none"> <li>○ <i>(runoff interceptors and sediment traps/ponds)</i></li> </ul> </li> <li>● Perimeter protection                             <ul style="list-style-type: none"> <li>○ <i>(vegetated buffers, compost socks or straw wattles at limit of work)</i></li> </ul> </li> <li>● Construction scheduling                             <ul style="list-style-type: none"> <li>○ <i>(minimize disturbed area at any given time)</i></li> </ul> </li> <li>● Traffic area stabilization                             <ul style="list-style-type: none"> <li>○ <i>(crushed rock or similar at construction vehicle entrance and parking areas)</i></li> </ul> </li> <li>● Dust control                             <ul style="list-style-type: none"> <li>○ <i>(plan for stabilizing dry, dust-prone surfaces when necessary)</i></li> </ul> </li> <li>● Vegetation                             <ul style="list-style-type: none"> <li>○ <i>(preserve existing vegetation and/or identify areas to be revegetated including proposed planting species, quantity and planting specifications)</i></li> </ul> </li> </ul>	✓ ✓ ✓ ✓ ✓ ✓ ✓

**GOALS and NEEDS addressed:**

1. Stabilize water use at a sustainable level;
2. Create landscapes that minimize habitat destruction and maximize habitat value;
3. Encourage the development of landscapes that provide environmental quality and visual relief through the planting of native or naturalized species

**FRANKLIN POLICIES:**

- a) Site plans and landscape plans for all proposed projects shall take appropriate steps, as outlined in the Guidebook, to minimize water use for irrigation and to allow for natural recharge of groundwater. Landscape plans shall follow the guidelines in the Guidebook for selecting species that are most appropriate to the site conditions.
- b) Native and habitat-creating species shall be used in all landscape plans to the maximum extent possible while still meeting the site’s landscaping needs. Invasive species may not be planted in Franklin under any condition. Refer to the Massachusetts Prohibited Plant list for more information.
- c) Actively promote the Town of Franklin’s Water Conservation Measures.

**BEST DEVELOPMENT PRACTICES**

Incorporated into Project?

The site plan must address all of the following principles.

<b>Retain and Recharge water on site</b> ( <i>install bio-retention cells, vegetated filter strips and minimize lawn areas where feasible</i> )	✓
<b>Preserve natural vegetation to the maximum extent practicable</b>	✓
<b>Irrigation system is water efficient</b> ( <i>if an in-ground irrigation system is proposed, it is a water efficient system with timers and automatic sensors to prevent overwatering</i> )	
<b>Preserve soil permeability</b> ( <i>minimize disturbing existing landscapes. Prepare new planting beds in accordance to the Planting Bed Guidelines on p. 13, and install 1-2” of shredded pine bark mulch on new planting areas</i> )	✓
<b>Minimize the use of turf grass</b> ( <i>when applicable, reduce the size of the lawn area; instead, plant a bio-retention cell, use alternative, drought tolerant groundcover</i> )	✓ <small>meadows have been planned where possible to reduce irrigation and maintenance demands</small>
<b>Specify variety of native and naturalized species</b> ( <i>species from the plant list have been incorporated into the landscape design, and no invasive species are used. Refer to the Plant Species Section and the Massachusetts Prohibited Plant List</i> )	✓ <small>the town's plant list was the primary resource for planting species shown on the plan.</small>
<b>Species are appropriate to the soil, site, and microclimate conditions</b> ( <i>select appropriate species from the plant list in this guidebook</i> )	✓ <small>all species proposed are native to the region and microclimate where this project is located.</small>

Northwest Registry of Deeds  
 Northam, Mass.  
 Received December 10, 2018  
 With  
 Filed as Page 6  
 PLB# 618  
 Attest: *Julian P. O'Connell*  
 Register

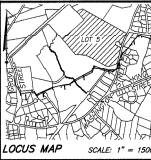
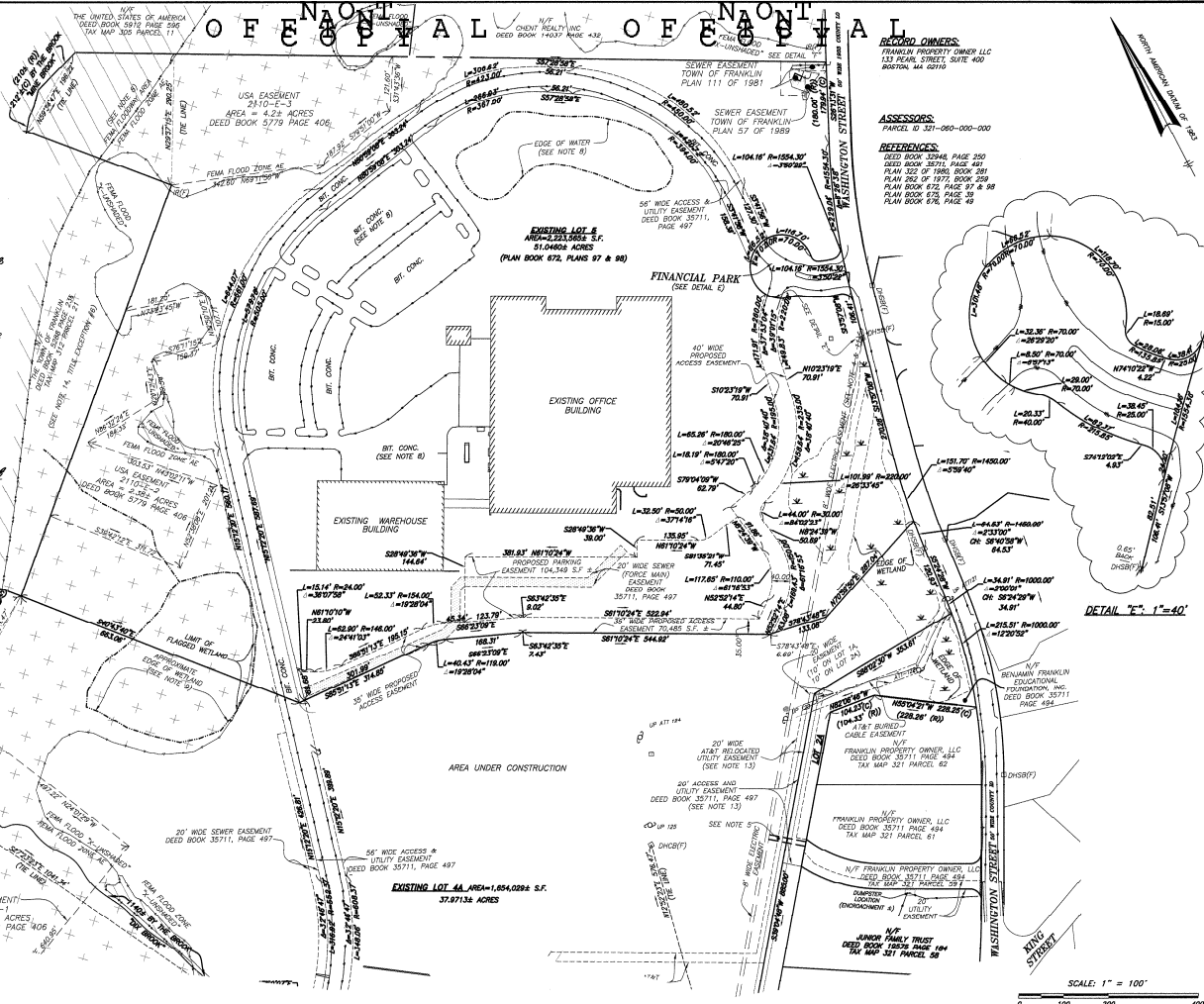
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

*Julian P. O'Connell*  
 PROFESSIONAL LAND SURVEYOR  
 12-10-18  
 DATE

I CERTIFY THAT THE PROPERTY LINES SHOWN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW WAYS ARE SHOWN. (MASS. GEN. LAWS CHAPTER 41, SEC. 81-A)

*Julian P. O'Connell*  
 PROFESSIONAL LAND SURVEYOR  
 12-10-18  
 DATE

# OFFICIAL OF NOTARIAL OF NOTARIAL



9100  
**#100  
 FINANCIAL  
 PARK**  
 Franklin, Massachusetts

PREPARED FOR  
**FRANKLIN PROPERTY  
 OWNER, LLC**

**HANCOCK  
 ASSOCIATES**  
 Civil Engineers  
 Land Surveyors  
 Environmental  
 Consultants  
 315 Elm Street, Marlborough, MA 01792  
 Voice (508) 460-1111, Fax (508) 460-1121  
 www.hancockassociates.com

NO.	BY	DATE	ISSUE/REVISION DESCRIPTION
1	JOB	10-10-18	NOTES, AREAS

DATE: 8/30/18 DRAWN BY: WC  
 SCALE: 1" = 100' CHECK BY: JBB

**PLAN OF LAND  
 IN  
 FRANKLIN, MA**

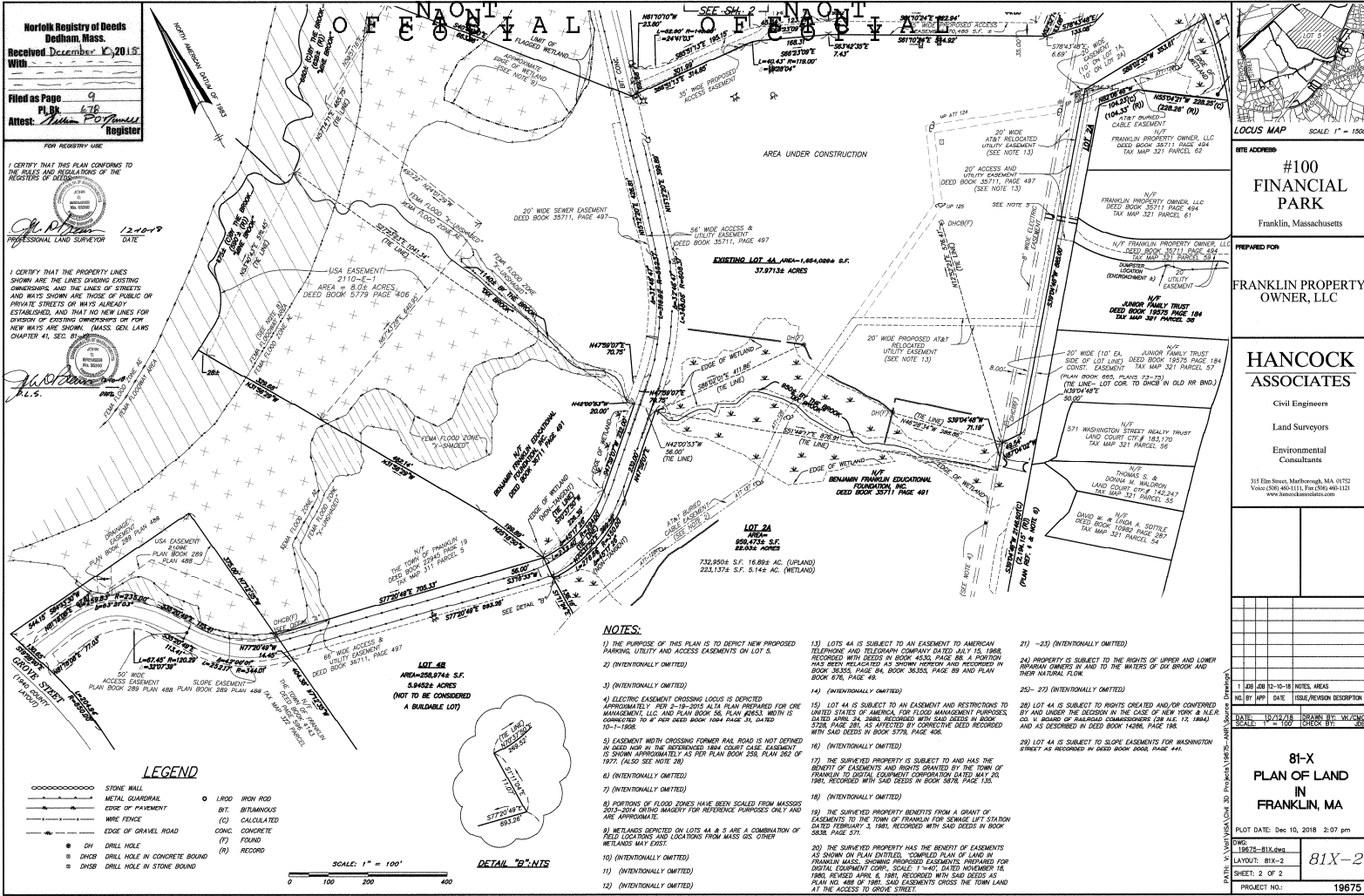
DWG. NO: 1818-1818-01  
 LAYOUT: 81X-1  
 SHEET: 1 OF 2

DATE: Dec 10, 2018 2:09 pm  
 DWG. NO: 1818-1818-01  
 LAYOUT: 81X-1  
 SHEET: 1 OF 2

SCALE: 1" = 100'

678-8-2018

PATH: N:\1818\1818-01\dwg\81X-1.dwg



Norfolk Registry of Deeds  
 Dedham, Mass.  
 Received December 12, 2018  
 With  
 Filed as Page 9  
 Plan 678  
 Attest: *William P. O'Connell*  
 Register

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

*John D. O'Connell*  
 PROFESSIONAL LAND SURVEYOR  
 12-12-18  
 DATE

I CERTIFY THAT THE PROPERTY LINES SHOWN ARE THE LINES SHOWING EXISTING OWNERSHIP, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR EXTENSION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (MASS. GEN. LAWS CHAPTER 41, SEC. 81.)

*John D. O'Connell*  
 P.L.S.

**LEGEND**

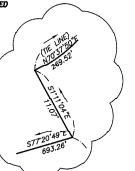
○ STONE WALL  
 — METAL GUARDRAIL  
 ○ EDGE OF PAVEMENT  
 — WIRE FENCE  
 — EDGE OF GRAVEL ROAD

○ LPOD IRON ROD  
 (B) SETBACK MARKER  
 (C) CALCULATED  
 CONC. CONCRETE  
 (F) FOUND  
 (R) RECORD

● DH DRILL HOLE  
 ■ DHCX DRILL HOLE IN CONCRETE BOUND  
 ■ DHSB DRILL HOLE IN STONE BOUND

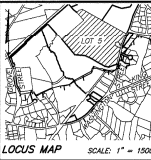
SCALE: 1" = 100'

0 100 200 300 400



**NOTES:**

- 1) THE PURPOSE OF THIS PLAN IS TO DEPICT NEW PROPOSED SHARING UTILITY AND ACCESS EASEMENTS ON LOT 5.
- 2) (INTENTIONALLY OMITTED)
- 3) (INTENTIONALLY OMITTED)
- 4) ELECTRIC EASEMENT CROSSING LOCUS IS DEPICTED APPROXIMATELY PER 21-18-2015 ALTA PLAN PREPARED FOR ONE MANAGEMENT, LLC AND PLAN BOOK 56, PLAN 986L1, WHICH IS CONNECTED TO 47' WIDE MAIN ROAD 1484 PAGE 14, 6/1/18, 10-1-1808.
- 5) EASEMENT WIDTH CROSSING FORMER RAIL ROAD IS NOT DEFINED AS SAID AOB IS IN THE DEPENDENT 1981 COURT CASE. EASEMENT IS SHOWN APPROXIMATELY AS PER PLAN BOOK 255, PLAN 282 OF 1977. (ALSO SEE NOTE 10)
- 6) (INTENTIONALLY OMITTED)
- 7) (INTENTIONALLY OMITTED)
- 8) PORTIONS OF FLOOD ZONES HAVE BEEN SCALED FROM MASSGIS 2015-2016 CHW1000 MAPS FOR REFERENCE PURPOSES ONLY AND ARE APPROXIMATE.
- 9) WETLANDS DEPICTED ON LOTS 44 & 5 ARE A COMBINATION OF FIELD LOCATIONS AND LOCATIONS FROM MASS GIS. OTHER WETLANDS MAY EXIST.
- 10) (INTENTIONALLY OMITTED)
- 11) (INTENTIONALLY OMITTED)
- 12) (INTENTIONALLY OMITTED)
- 13) LOTS 44 IS SUBJECT TO AN EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY DATED JULY 15, 1988, RECORDED WITH DEEDS IN BOOK 4330, PAGE 88. A PORTION HAS BEEN RELEASSED AS BROWN PERRY AND RECORDED IN BOOK 36355, PAGE 84, BOOK 36355, PAGE 89 AND PLAN BOOK 878, PAGE 808.
- 14) (INTENTIONALLY OMITTED)
- 15) LOT 44 IS SUBJECT TO AN EASEMENT AND RESTRICTIONS TO UNITED STATES OF AMERICA FOR FLOOD MANAGEMENT PURPOSES, 5/28, PAGE 84, 2/8, RECORDED WITH SAID DEEDS IN BOOK 3728, PAGE 84, 2/8, RECORDED BY CONNECTIVE DEC RECORDED WITH SAID DEEDS IN BOOK 2778, PAGE 808.
- 16) (INTENTIONALLY OMITTED)
- 17) THE SURVEYED PROPERTY IS SUBJECT TO AND HAS THE BENEFIT OF A DEEDS AND INSTRUMENTS GRANTED BY THE TOWN OF FRANKLIN 30 CAPITAL IMPROVEMENT CORPORATION DATED MAY 30, 1981, RECORDED WITH SAID DEEDS IN BOOK 5074, PAGE 155.
- 18) (INTENTIONALLY OMITTED)
- 19) THE SURVEYED PROPERTY BENEFITS FROM A GRANT OF EASEMENTS TO THE TOWN OF FRANKLIN FOR SEWAGE LIFT STATION DATED FEBRUARY 3, 1981, RECORDED WITH SAID DEEDS IN BOOK 5074, PAGE 155.
- 20) THE SURVEYED PROPERTY HAS THE BENEFIT OF EASEMENTS AS SHOWN ON PLAN ENTITLED, "COMPLETED PLAN OF LAND IN FRANKLIN MASS., SHOWING PROPOSED EASEMENTS, PREPARED FOR DIGITAL EQUIPMENT CORP., SCALE: 1"=40', DATED NOVEMBER 18, 1985, RECORDED APRIL 6, 1986, RECORDED WITH SAID DEEDS AS PLAN NO. 488 OF 1985. SAID EASEMENTS CROSS THE TOWN LAND AT THE ACCESS TO GROVE STREET.
- 21) -23) (INTENTIONALLY OMITTED)
- 24) PROPERTY IS SUBJECT TO THE RIGHTS OF UPPER AND LOWER PLANNING OWNERS IN AND TO THE WATERS OF SIX BROOK AND THEIR NATURAL FLOW.
- 25) -27) (INTENTIONALLY OMITTED)
- 28) LOT 44 IS SUBJECT TO RIGHTS CREATED AND/OR CONFERRED BY AND UNDER THE DECISION IN THE CASE OF NEW YORK & N.E. CO. v. BOARD OF HEALTH COMMISSIONERS (28 N.E. 13, 1884) AND AS DESCRIBED IN BOOK NUMBER 14386, PAGE 198.
- 29) LOT 44 IS SUBJECT TO SLOPE EASEMENTS FOR WASHINGTON STREET AS RECORDED IN DEED BOOK 4008, PAGE 441.



876 ADDRESS  
**#100 FINANCIAL PARK**  
 Franklin, Massachusetts

PREPARED FOR  
**FRANKLIN PROPERTY OWNER, LLC**

**HANCOCK ASSOCIATES**  
 Civil Engineers  
 Land Surveyors  
 Environmental Consultants  
 315 Elm Street, Marlborough, MA 01752  
 Voice (508) 463-1111, Fax (508) 463-1121  
 www.hancockassociates.com

1	08	48	12-10-18	NOTES, AREAS
NO BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

DATE: 07/17/18  
 PLAN: 678  
 SHEET: 1 of 2

**81-X**  
**PLAN OF LAND**  
**IN**  
**FRANKLIN, MA**

PLOT DATE: Dec 10, 2018 2:07 pm  
 DWG: 181X-2-R1X.dwg  
 LAYOUT: 81X-2  
 SHEET: 2 OF 2  
 PROJECT NO.: 19675







# Town of Franklin



## Planning Board

February 23, 2021

Nancy Danello, Acting Town Clerk  
Town of Franklin  
355 East Central Street  
Franklin, MA 02038

**CERTIFICATE OF VOTE**  
**LIMITED SITE PLAN MODIFICATION**  
**100 & 200 FINANCIAL WAY**

**Site Plan:** 100 & 200 Financial Park Parking Allotment Plan

**Applicant:** ICBP IV Holdings 34, LLC  
1 Sansome Street  
San Francisco, CA 94104

**Owner:** Same as Owner

Prepared By:

**Surveyor/ Engineer:** Highpoint Engineering, Canton, MA

**Dated:** October 9, 2020

**Property Location:** Financial Way  
Assessors Map 321, Lot 020

Dear Mrs. Danello:

Please be advised that at its meeting on Monday, February 22, 2021 upon motion duly made and seconded, the Planning Board voted (5-0) to **APPROVE**, the Limited Site Plan, as provided, with the following waivers:

1. Allow for reduced required parking on Lot 5A from 722 spaces to 342 spaces.
2. Allow existing parking spaces to be located greater than 300' of building entrances on Lots 5A & 5B as previously approved.

Prior to endorsement, the Certificate of Vote shall be added to the Site Plan.

Sincerely,

Anthony Padula Chairman







# Town of Franklin

355 East Central Street  
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907  
www.franklinma.gov

## PLANNING BOARD

The following notice will be published in the Milford Daily Newspaper once on Monday, May 22, 2023 and again on May 29, 2023

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### FRANKLIN PLANNING BOARD PUBLIC HEARING NOTICE

In accordance with the Town of Franklin Zoning By-Laws, the Franklin Planning Board will hold a public hearing at the Town Hall (and can also be attended remotely) on **Monday, June 5, 2023 at 7:05 PM** in the Town Council Chambers of the Franklin Municipal Building, 355 East Central Street, for a Site Plan application titled “Warehouse/Industrial Development” prepared by Douglas Hartnett, Highpoint Engineering, Boston, MA., and submitted to the Department of Planning & Community Development on May 12, 2023, by Brendan Pellerin, Berkeley Partners, Oakland, CA.

The property is located in the Industrial Zoning District (Assessors Map 312 Lots 020 and 020-001) at 100 and 200 Financial Park. The applicant is proposing to demolish the existing structure and construct a 220,000 square foot flex-warehouse building, as well as a 65,000 square foot flex-warehouse building. The applicant is also seeking a waiver to reduce the amount of required parking from 350 spaces down to 262.

**Please note: This will be your only written notice of this public hearing. Should the Planning Board vote to continue this Public Hearing, the date and time will be posted on the Planning Board’s website under Agendas.**

Please contact the Department of Planning & Community Development at (508) 520-4907 if you require further information or if you need to make arrangements to provide translation services for the hearing impaired, or for persons with language barriers.

Copies of the plan and supporting documentation may be reviewed in the Department of Planning & Community Development during regular office hours.

Greg Rondeau, Chairman