

WAREHOUSE/INDUSTRIAL DEVELOPMENT SITE DEVELOPMENT PLANS

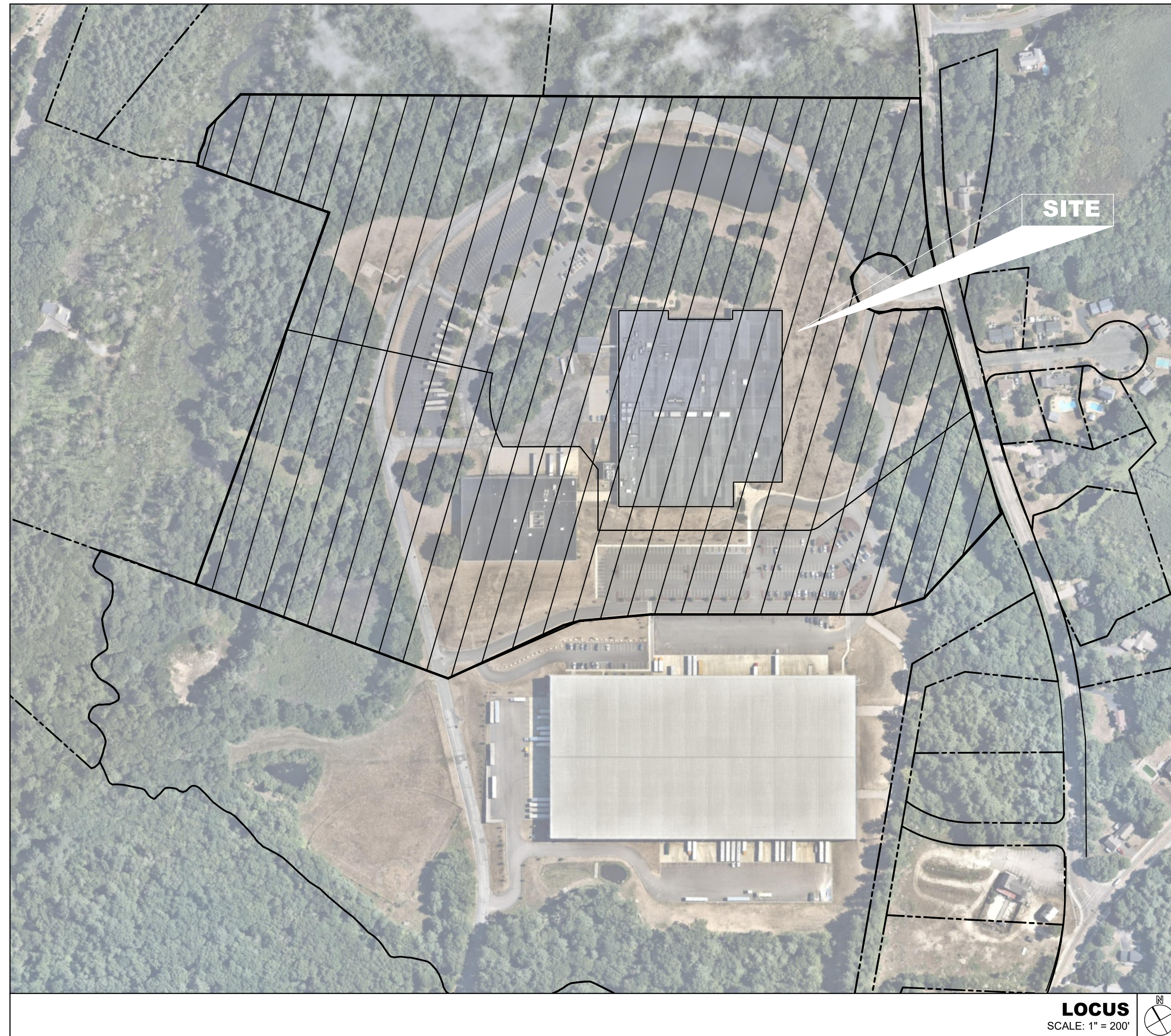
100/200 FINANCIAL PARK FRANKLIN, MASSACHUSETTS

PERMIT SET: MAY 11, 2023



CLIENT:
Berkeley Partners
1 WASHINGTON MALL | Suite 701
BOSTON, MA 02108

CONSULTANT:



APPLICANT:

BERKELEY PARTNERS
1 WASHINGTON MALL | SUITE 701
BOSTON, MA 02108

OWNER/APPLICANT:

OWNER ICBP IV HOLDINGS 34, LLC
CO-OWNER C/O BERKELEY PARTNERS
ADDRESS 1111 BROADWAY | SUITE 1670
OAKLAND, CA 94607

ASSESSOR'S ID:

100 FRANKLIN STREET
BOOK - 40397
PAGE - 34
MAP - 312
PARCEL 020-000-000

200 FRANKLIN STREET
BOOK - 36923
PAGE - 217
MAP - 312
PARCEL 020-001-000

ZONE INDUSTRIAL

PROJECT TEAM

CIVIL ENGINEER: HIGHPOINT ENGINEERING, INC.
980 WASHINGTON STREET | SUITE 216
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TEL: (781) 770-0970
ATTN: Douglas Hartnett
www.highpointeng.com

**LAND SURVEYOR/
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TEL: (508) 460-1111

TRAFFIC CONSULTANT: MDM TRANSPORTATION CONSULTANTS
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MARLBOROUGH, MA 01752
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ARCHITECT: RODE ARCHITECTS
535 ALBANY STREET, #405
BOSTON, MA 02118
www.rodearchitects.com

LANDSCAPE ARCHITECT: MICHAEL D'ANGELO
LANDSCAPE ARCHITECTS
840 SUMMER STREET | SUITE 201A
BOSTON, MA 02110

INDEX OF DRAWINGS

GENERAL	ISSUE HISTORY:		RESPONSE TO COMMENTS	DATE	DESCRIPTION
	PERMIT SET MAY 11, 2023	RESPONSE TO COMMENTS JULY 17, 2023			
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C201 SITE PREPARATION & DEMOLITION PLAN	•	•			
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C301 LAYOUT & MATERIALS PLAN	•	•			
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L107 MATERIALS PLAN	•	•			
L108 PLANTING & LIGHTING PLAN	•	•			
L109 PLANTING & LIGHTING PLAN	•	•			
L110 PLANTING & LIGHTING PLAN	•	•			
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L112 PLANTING & LIGHTING PLAN	•	•			
L113 PLANTING & LIGHTING PLAN	•	•			
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L115 PLANTING SCHEDULE & DETAILS	•	•			
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L117 PHOTOMETRIC PLAN	•	•			
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L120 PHOTOMETRIC PLAN	•	•			
L121 PHOTOMETRIC PLAN	•	•			
L122 PHOTOMETRIC PLAN	•	•			
L123 PHOTOMETRIC PLAN	•	•			

WAREHOUSE/INDUSTRIAL DEVELOPMENT
100/200 FINANCIAL PARK
FRANKLIN, MA
OWNER/APPLICANT: BERKELEY PARTNERS

1 07.17.2023 RESPONSE TO COMMENTS
REV DATE DESCRIPTION
ISSUE TYPE:
PERMIT SET
ISSUE DATE:
05/11/2023
PROJECT NUMBER:
22051
DRAWN BY: JJP / CCL/ WH
CHECKED BY: DJH
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SHEET TITLE:
T100
SHEET NUMBER:
T100

LOCUS
SCALE: 1" = 200'

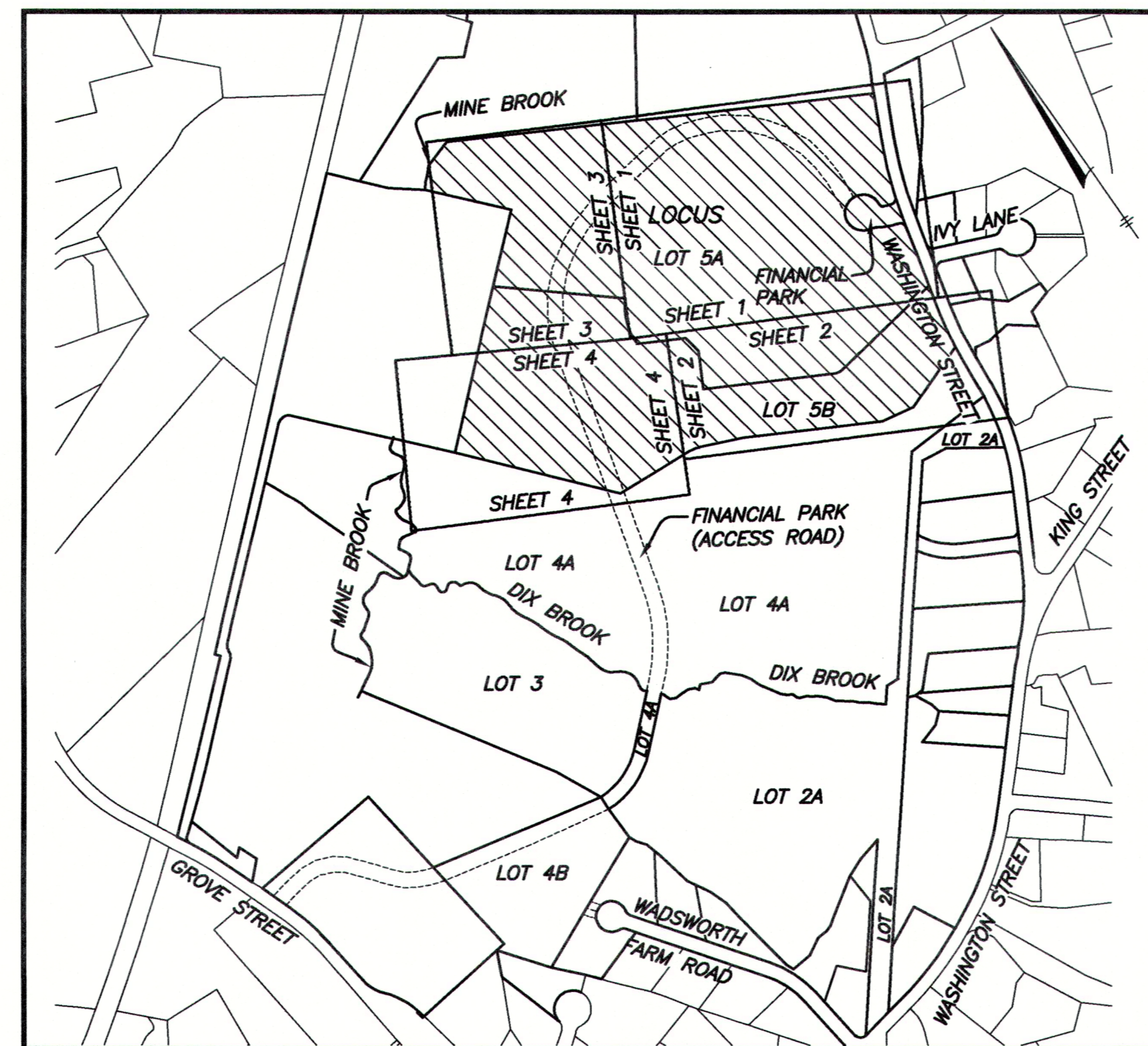
LEGEND

- E— ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
- FO— FIBER OPTIC LINES
- IR IRON ROD
- BIT. BITUMINOUS
- (C) CALCULATED
- CONC. CONCRETE
- (F) FOUND
- (R) RECORD
- ⊕ POST INDICATOR VALVE
- ⊕ CAMERA
- ⊕ DRY WELL
- ☆ LIGHT POLE
- BOLLARD
- SIGN
- DH DRILL HOLE
- DHCB DRILL HOLE IN CONCRETE BOUND
- DHSB DRILL HOLE IN STONE BOUND
- ⊕ CB CATCH BASIN
- ⊕ SMH SEWER MANHOLE
- W 6" WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- G 10" GAS MAIN WITH SIZE & GATE VALVE
- OHW— EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
- ⊕ AREA OF FLOOD ZONES (SEE NOTE 10)
- STONE WALL
- METAL GUARDRAIL
- EDGE OF PAVEMENT
- WIRE FENCE
- EDGE OF GRAVEL ROAD
- T/C TELECOMMUNICATIONS EASEMENT
- 208.8 WFA2 LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION
- LIMIT OF 25-FOOT NO DISTURB WETLAND BUFFER ZONE
- LIMIT OF 50-FOOT NO BUILD ZONE WETLAND BUFFER ZONE
- LIMIT OF 100-FOOT WETLAND BUFFER ZONE
- S SEWERLINE & MANHOLE
- D DRAINLINE WITH CATCHBASIN, MANHOLE & ROUND CATCHBASIN
- LIMIT OF 100-YEAR FLOOD PLAIN (SEE NOTE 10 & 11)
- LIMIT OF FEMA FLOOD WAY (SEE NOTE 10)
- LIMIT OF 100-FOOT INNER RIPARIAN ZONE
- LIMIT OF 200-FOOT OUTER RIPARIAN ZONE

LIMITED/COMPLIED EXISTING CONDITIONS PLAN

FOR 100 & 200 FINANCIAL PARK FRANKLIN, MA OCTOBER 24, 2022

REV. MAY 5, 2023



LOCUS MAP
1"=500'

NOTES:

- 1) PROJECT SOURCE BENCHMARK IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988
- 2) THE PURPOSE OF THIS PLAN IS TO FACILITATE CONCEPT DESIGN ONLY. IT COMPILES INFORMATION FROM THE FOLLOWING SOURCES:
 - A: TOPOGRAPHY AND WETLANDS (SERIES F&G) NEAR WASHINGTON STREET FROM 2016 ANRAD BY THIS OFFICE.
 - B: REMAINDER OF WETLANDS FROM 2019 WETLANDS PLAN OF LOT 5 BY THIS OFFICE.
 - C: 2020 SITE "AS-BUILT" BY THIS OFFICE OF LOT 4A (TO THE SOUTH) WHICH INCLUDES PARKING EASEMENT ON LOT 5A AND ACCESS EASEMENT TO FINANCIAL PARK CUL-DE-SAC.
 - D: UTILITY LOCATIONS FROM 2021 ALTA PLAN FOR LOT 5A AND LOT 5B.
 - E: PORTIONS OF CONTOURS FROM NOAA 2011 LIDAR.
 - F: GPS FILL IN CONTOURS IN AREA SOUTH OF SMALL WAREHOUSE.
- 3) UNDERGROUND UTILITIES SHOWN HEREON ARE FROM A DECEMBER 15, 2021 ALTA BY THIS OFFICE (AND HAVE NOT BEEN UPDATED). THEY WERE COMPILED FROM FIELD LOCATIONS OF STRUCTURES, CONTRACTOR PAINT MARKS, AND AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF ANY FUTURE PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 4) THE LOCATION OF UNDERGROUND STORAGE TANKS, IF ANY, ARE UNKNOWN.
- 5) THIS PLAN IS A COMPILATION OF SEVERAL TOPOGRAPHIC SURVEYS PREPARED AT VARIOUS SCALES, AS SUCH, SCALES OF SOME SYMBOLS ARE NOT CONSISTENT.
- 6) ELECTRIC EASEMENT CROSSING LOCUS IS DEPICTED APPROXIMATELY PER 2-19-15 ALTA PLAN PREPARED FOR CRE MANAGEMENT, LLC. AND PLAN BOOK 56, PLAN #2653.
- 7) INTENTIONALLY OMITTED
- 8) A TWO LOT DEFINITIVE SUBDIVISION PLAN WAS APPROVED FOR PREVIOUS OWNERS BUT NOT REFERENCED ON THE CURRENT DEED. THE COVER SHEET (ONLY) WAS RECORDED IN PLAN BOOK 428, PLAN 163 OF 1995 AT THE NORFOLK COUNTY REGISTRY OF DEEDS. THE LOTTING SHEETS, NOT RECORDED, ARE ON FILE AT THE FRANKLIN PLANNING BOARD. THE LOCATION OF THE "FINANCIAL PARK" CUL-DE-SAC IS SHOWN FROM SAID PLANS.
- 9) LOCATION OF IRRIGATION SYSTEM COMPONENTS NOT INCLUDED IN THIS SURVEY.
- 10) FEMA FLOOD ZONE LINES FOR "ZONE X-SHADED" ARE SHOWN APPROXIMATELY FROM MASS GIS.
- 11) THE 100 YEAR FLOOD PLAIN (FLOOD ZONE AE) WAS FIELD LOCATED ON LOT 4A AND PARTIALLY ONTO THE SOUTHERLY PORTION OF LOT 5 ON AUGUST 19, 2019. THE FLOOD ZONE LINE IS SHOWN PER FIELD LOCATION BETWEEN WETLAND FLAG J105 (SHEETS 4 & 5) AND MEAN ANNUAL HIGH WATER FLAG 215. ALL OTHER PORTIONS OF FLOOD ZONE AE LINES ARE SHOWN APPROXIMATELY PER INTERPOLATION OF THE NOAA LIDAR CONTOURS THAT ARE PART OF THIS COMPILATION PLAN AND ARE NOT FIELD LOCATED.
- 12) MEAN ANNUAL HIGH WATER (MAHW) HAS BEEN FIELD DELINEATED AT THE NORTHWEST CORNER OF LOT 5A AND SEVERAL HUNDRED FEET SOUTH OF THERE. ON LOT 4A, ALONG MINE BROOK AND THE PORTION OF DIX BROOK THAT HAS NOT BEEN FIELD DELINEATED, MAHW HAS BEEN APPROXIMATED BASED ON DIGITIZED CENTERLINE OF SAID BROOKS AND MAHW WIDTHS FROM USGS STREAMSTATS BANKFULL STATISTICS.
- 13) BVW (BORDERING VEGETATED WETLANDS) HAS NOT BEEN FLAGGED WEST OF THE DETENTION POND ON ABUTTING LOT 4A, BETWEEN DIX BROOK AND ROUGH WF-JB5. THIS LINE WOULD NOT IMPACT THE 100' SETBACK LINE ON LOT 4A AS THE DETENTION POND BROADCASTS A 100' BUFFER FARTHER EAST AS DEPICTED.
- 14) OFF-SITE ACCESS EASEMENTS AND UTILITY EASEMENTS EXIST BUT ARE NOT SHOWN AS THEY ARE OUTSIDE THE SCOPE OF THIS SURVEY.
- 15) WATER LINE SHOWN HEREON FOR WELL PUMP IS COMPILED FROM A SKETCH SUPPLIED BY HIGHPOINT ENGINEERING AND IS SHOWN APPROXIMATE ONLY. A WELL PUMP EXISTS ON SITE BUT HAS NOT BEEN LOCATED AS OF THE DATE OF THIS PLAN.

SHEET INDEX:

COVER SHEET
LIMITED/COMPILED EXISTING.....EC-1 THRU EC-5
CONDITIONS PLANS

RECORD OWNERS:

ICBP IV HOLDINGS 34, LLC
C/O BERKELEY PARTERS
1 SANSOME STREET, SUITE 1500
SAN FRANCISCO, CALIFORNIA

ASSESSORS' PARCEL ID:

LOT 5A: 312-020-000-000
LOT 5B: 312-020-001-000
W/R/T EASEMENT OVER LOT 4A
LOT 4A: 321-060-000-000

REFERENCES:

DEED BOOK 36923, PAGE 217
PLAN BOOK 56, PLAN 2653 & 2654
PLAN BOOK 107, PAGE 253
PLAN BOOK 117, PAGES 388 & 389
PLAN BOOK 190, PAGE 1305
PLAN 262 OF 1977, PLAN BOOK 259
PLAN BOOK 281, PLAN 323 OF 1980
PLAN 322 OF 1980, PLAN BOOK 281
PLAN BOOK 665, PAGES 8 & 9
PLAN BOOK 672, PAGE 97 & 98
PLAN BOOK 675, PAGE 39
PLAN BOOK 676, PAGE 49
PLAN BOOK 678, PAGES 8 & 9
PLAN BOOK 701, PAGE 31
PLAN BOOK 281, PLAN 323 OF 1980

ZONING:

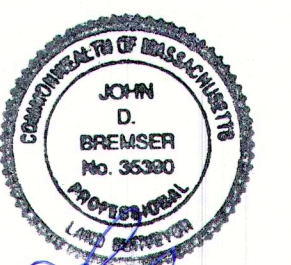
INDUSTRIAL

SURVEYOR

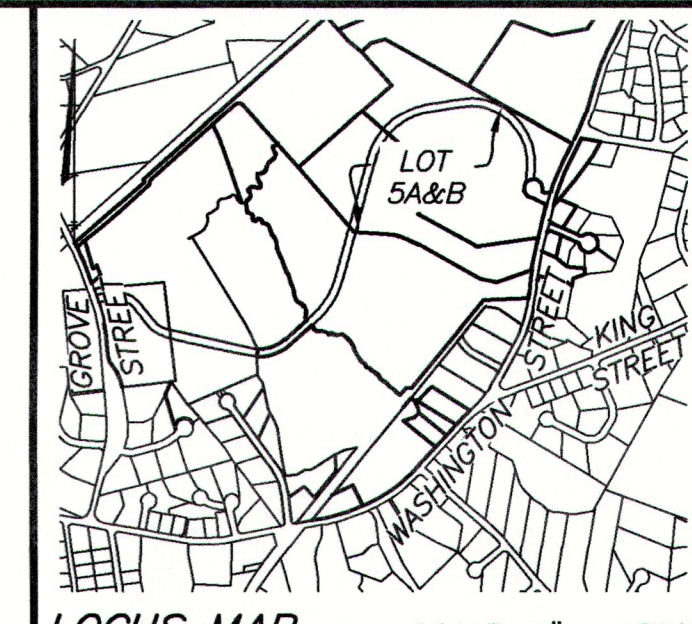
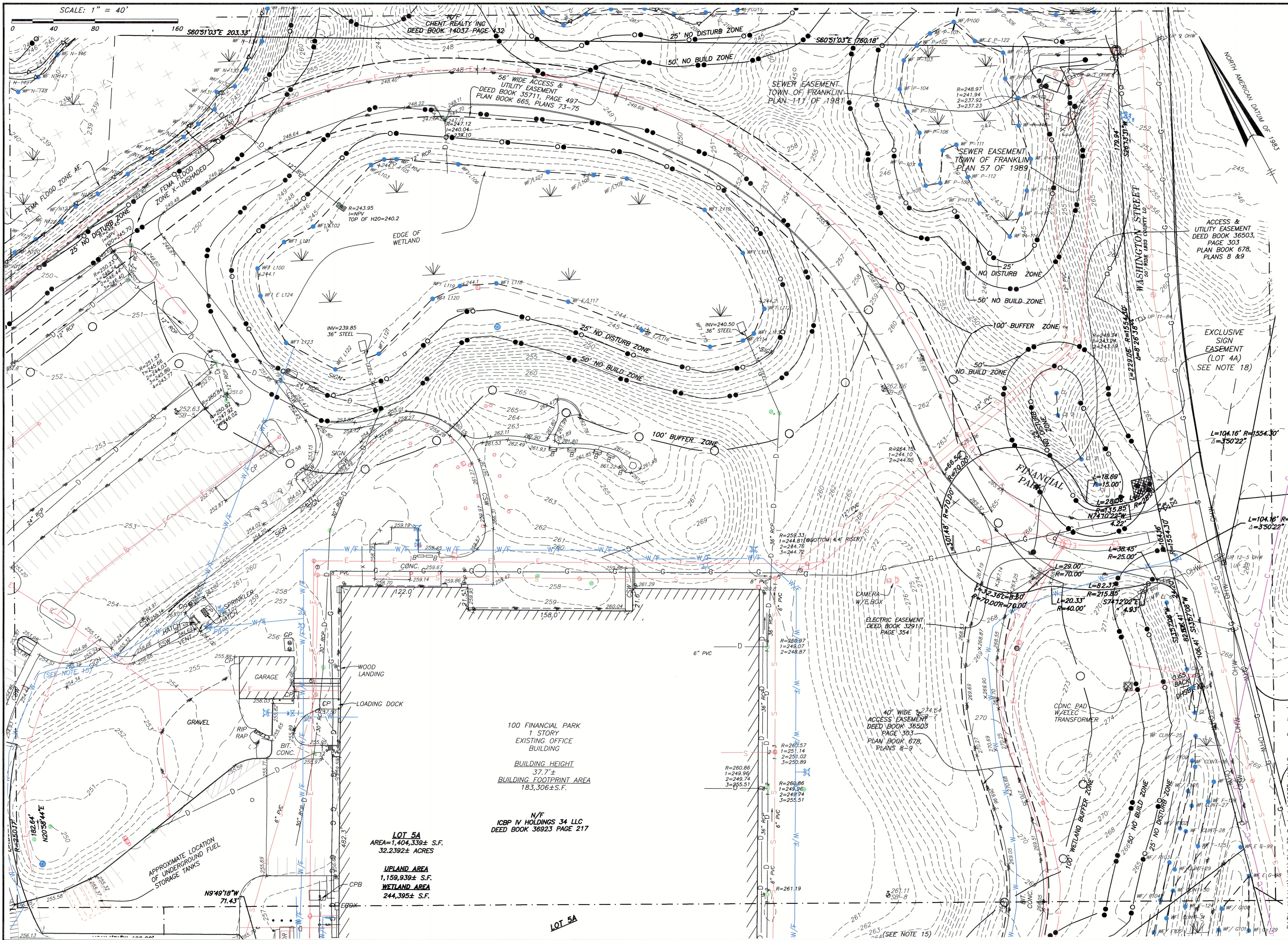
HANCOCK ASSOCIATES
315 ELM STREET
MARLBOROUGH, MA 01752
PHONE (508) 460-1111

CIVIL ENGINEER

HIGHPOINT ENGINEERING, INC.
980 WASHINGTON STREET
DEDHAM, MA 02026
PHONE (781) 770-0973



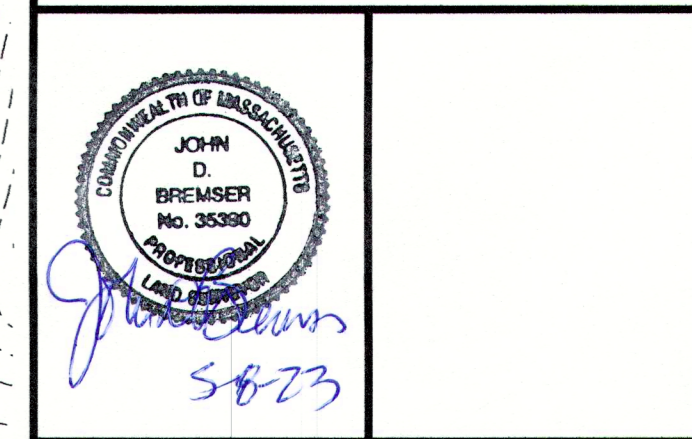
John D. Bremsler
5-8-23



SITE ADDRESS
**#100 & #200
 FINANCIAL PARK**
 (F/K/A 431 WASHINGTON ST.)
 Franklin, Massachusetts

PREPARED FOR:
**BERKELEY PARTNERS
 GROUP, LLC**

**HANCOCK
 ASSOCIATES**
 Civil Engineers
 Land Surveyors
 Environmental
 Consultants
 315 Elm Street, Marlborough, MA 01752
 Voice (508) 460-1111, Fax (508) 460-1121
 www.hancockassociates.com

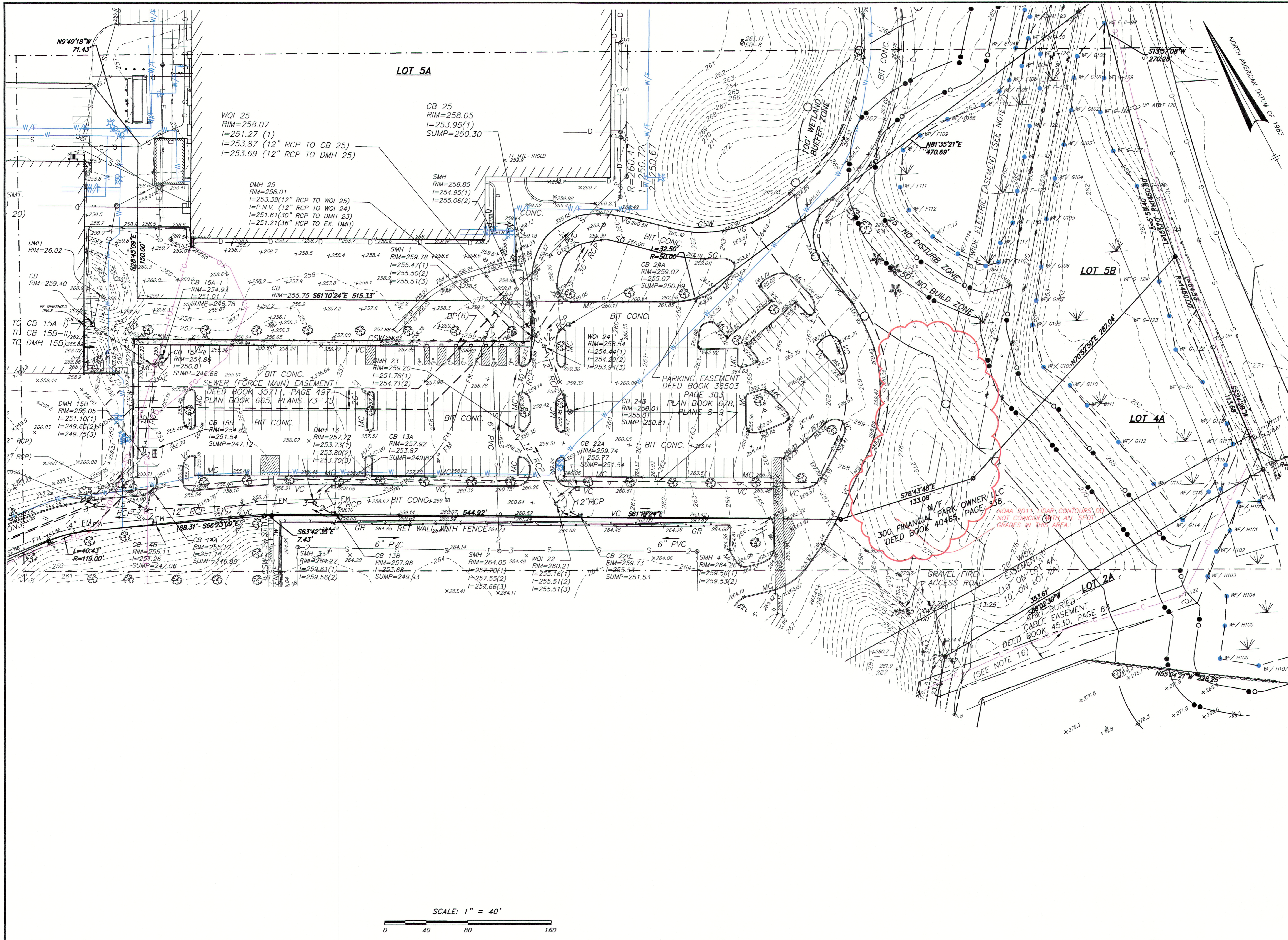


NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
10	CMC	JDB	5/5/23	ADD WATER LINE
9	CMC	JDB	4/17/23	GENERAL REVISIONS
8	CMC	JDB	4/4/23	GENERAL REVISIONS
7	CMC	JDB	3/17/23	GENERAL REVISIONS
6	CMC	JDB	3/6/23	REVISE NOTES 10-13, ADD 13; ADD MAHW FLAGS ON LOT 4A
5	CMC	JDB	2/3/23	REVISE FLOOD ZONE AREAS & ADD MAHW FLAG SERIES 100
4	CMC	JDB	1/24/23	GENERAL REVISIONS
1	CMC	JDB	11/2/22	GENERAL REVISIONS

DATE: 10/24/22 DRAWN BY: CMC
 SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED
 EXISTING CONDITIONS
 PLAN OF LAND
 IN
 FRANKLIN, MA**
 PLOT DATE: May 05, 2023 3:44 pm
 DWG: 26609-LIM-EC-LOT-5AB-2023-04-26
 LAYOUT: EC-1
 SHEET: 2 OF 5
 PROJECT NO.: 22387

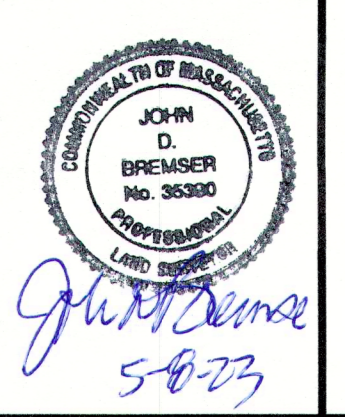
EC-1



SITE ADDRESS:
**#100 & #200
 FINANCIAL PARK**
 (F/K/A 431 WASHINGTON ST.)
 Franklin, Massachusetts

PREPARED FOR:
**BERKELEY PARTNERS
 GROUP, LLC**

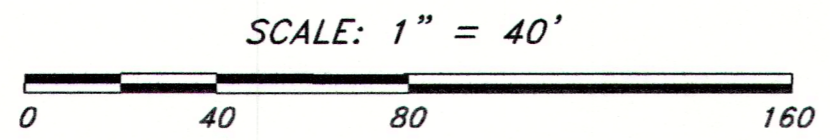
**HANCOCK
 ASSOCIATES**
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 Land Surveyors
 Environmental Consultants
 315 Elm Street, Marlborough, MA 01752
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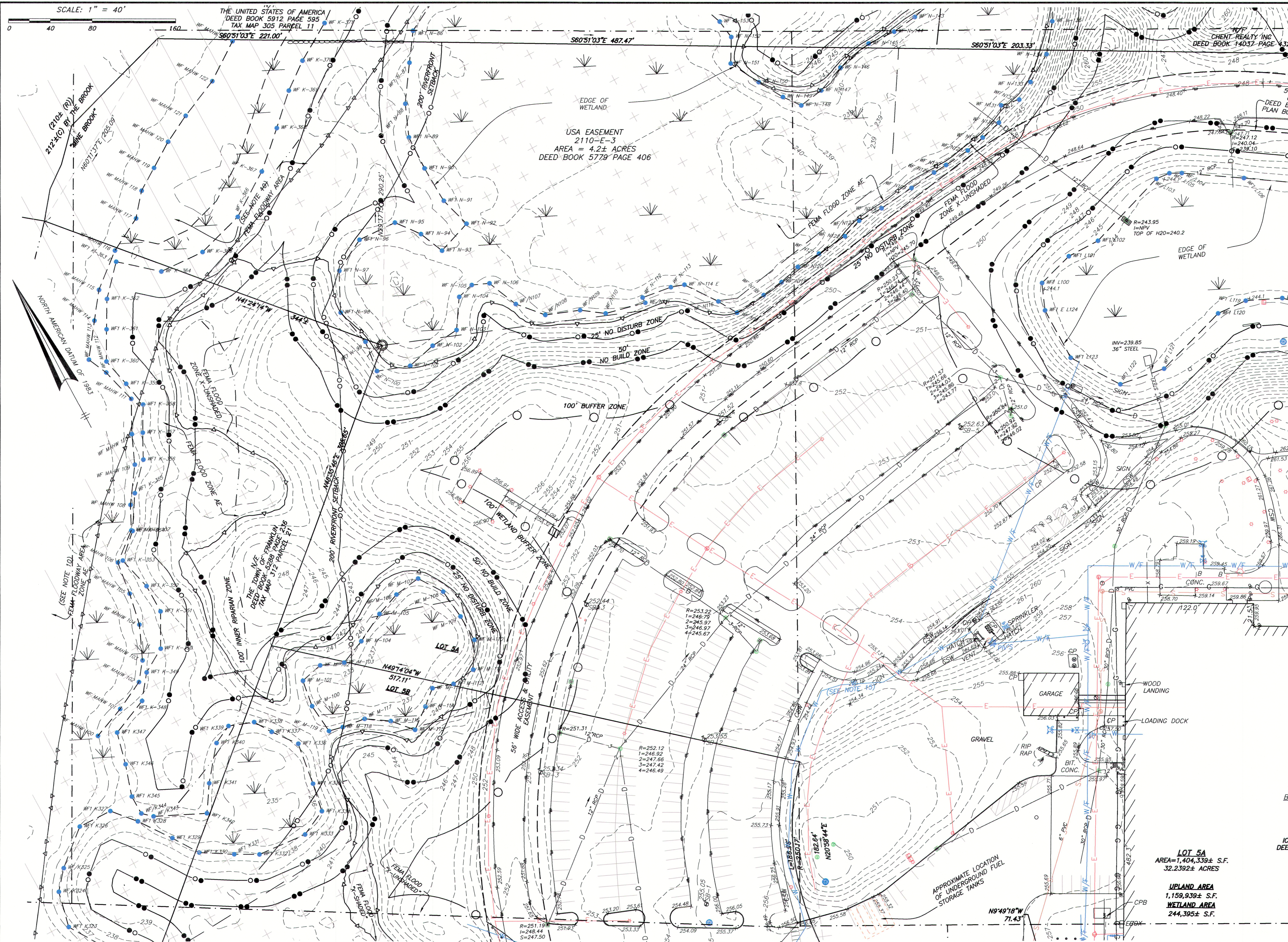
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
10	CMC	JDB	5/5/23	ADD WATER LINE
9	CMC	JDB	4/17/23	GENERAL REVISIONS
8	CMC	JDB	4/4/23	GENERAL REVISIONS
7	CMC	JDB	3/17/23	GENERAL REVISIONS
6	CMC	JDB	3/6/23	REVISE NOTES 10-13, ADD 13, ADD MAHW FLAGS ON LOT 4A
5	CMC	JDB	2/3/23	REVISE FLOOD ZONE AREAS & ADD MAHW FLAG SERIES 100
4	CMC	JDB	1/24/23	GENERAL REVISIONS
1	CMC	JDB	11/2/22	GENERAL REVISIONS

DATE: 10/24/22 DRAWN BY: CMC
 SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED
 EXISTING CONDITIONS
 PLAN OF LAND
 IN
 FRANKLIN, MA**
 PLOT DATE: May 05, 2023 3:43 pm
 DWG: 26609-LIM-EC-LOT-5AB-2023-04-26
 LAYOUT: EC-2
 SHEET: 3 OF 5
EC-2
 PROJECT NO.: 26609



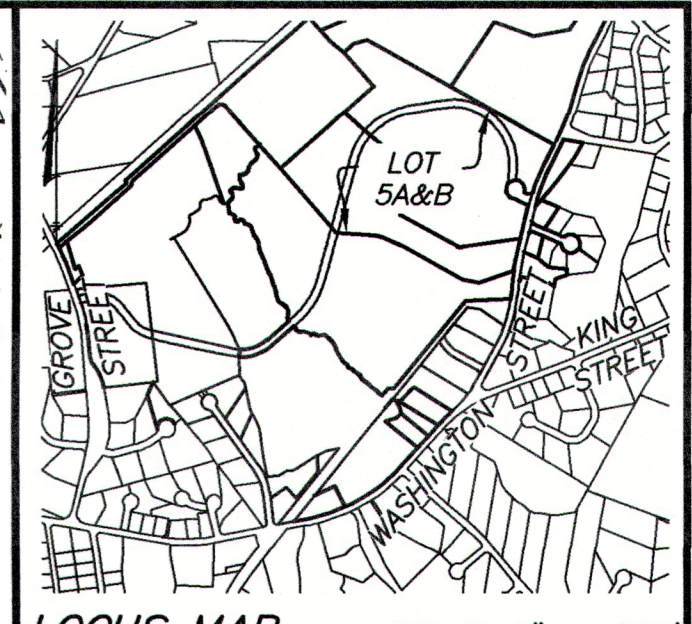
PATH: V:\01\VFSA\Civil_3D_Projects\19675-ANR\Source Drawings



SCALE: 1" = 40'

THE UNITED STATES OF AMERICA
DEED BOOK 5912 PAGE 595
TAX MAP 305 PARCEL 11

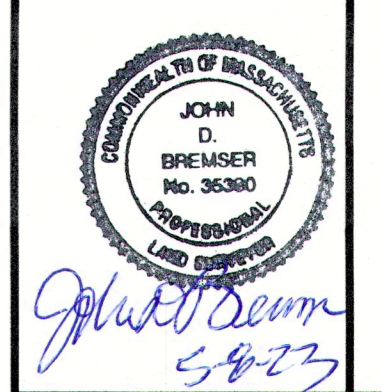
USA EASEMENT
2110-E-3
AREA = 4.2± ACRES
DEED BOOK 5779 PAGE 406



SITE ADDRESS:
**#100 & #200
FINANCIAL PARK**
(F/K/A 431 WASHINGTON ST.)
Franklin, Massachusetts

PREPARED FOR:
**BERKELEY PARTNERS
GROUP, LLC**

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NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
10	C/MC	JDB	5/5/23	ADD WATER LINE
9	C/MC	JDB	4/17/23	GENERAL REVISIONS
8	C/MC	JDB	4/4/23	GENERAL REVISIONS
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1	C/MC	JDB	11/2/22	GENERAL REVISIONS

DATE: 10/24/22 DRAWN BY: C/MC
SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED
EXISTING CONDITIONS
PLAN OF LAND
IN
FRANKLIN, MA**

PLOT DATE: May 05, 2023 3:42 pm

DWG: 26609-LIM-EC-LOT-5AB-2023-04-26

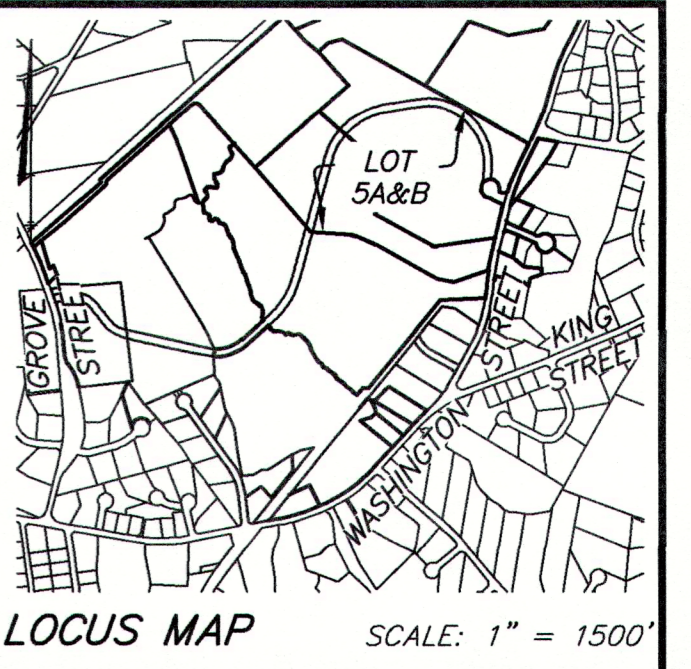
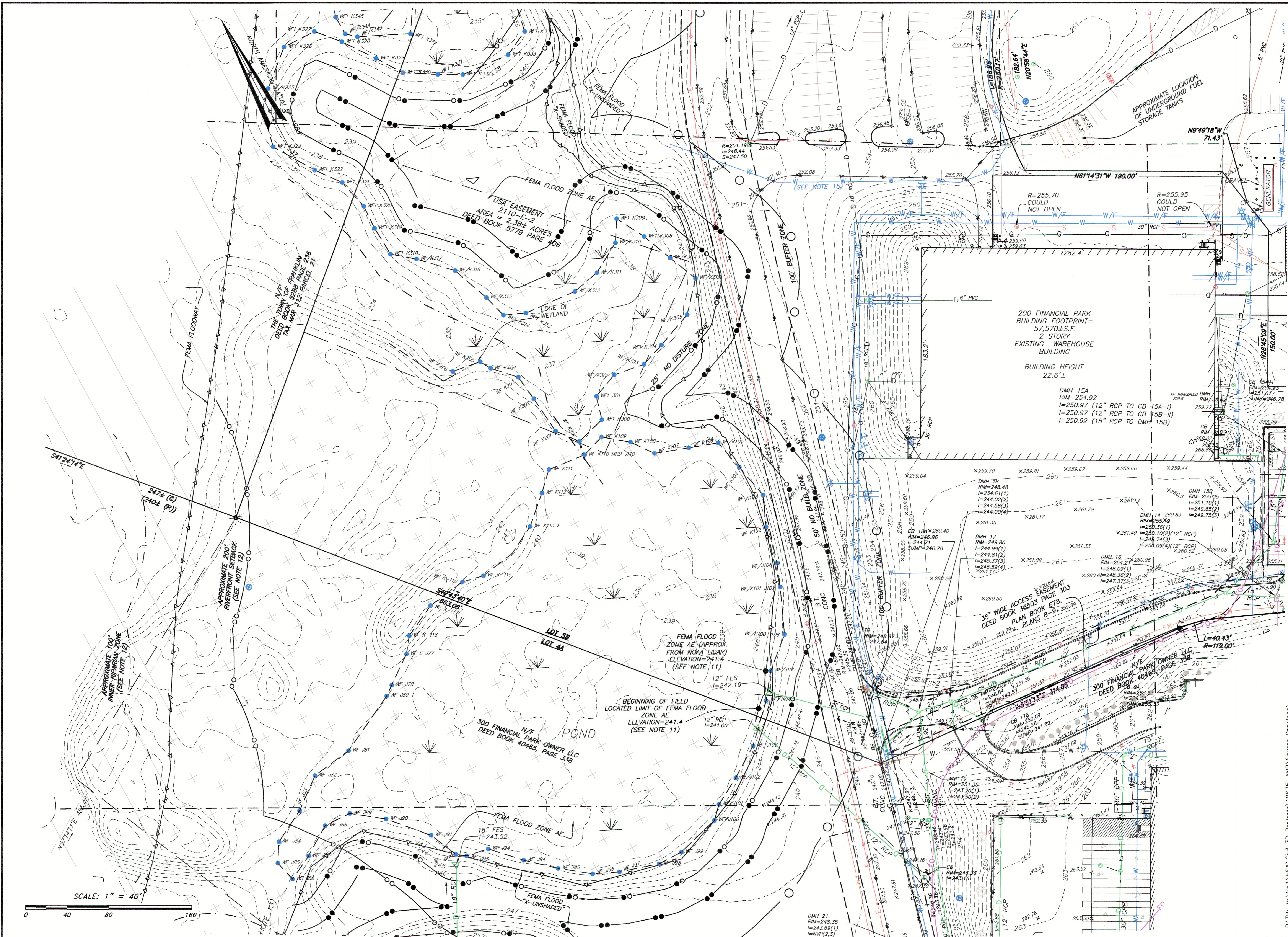
LAYOUT: EC-3

SHEET: 4 OF 5

PROJECT NO.: 26609

LOT 5A
AREA=1,404,339± S.F.
32.2392± ACRES
UPLAND AREA
1,159,939± S.F.
WETLAND AREA
244,395± S.F.

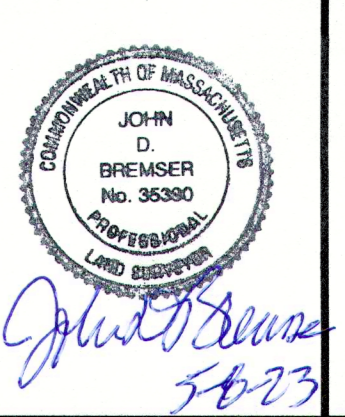
EC-3



SITE ADDRESS:
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 Franklin, Massachusetts

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1	CMC	JDB	11/2/22	GENERAL REVISIONS

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 SCALE: 1" = 40' CHECK BY: JDB

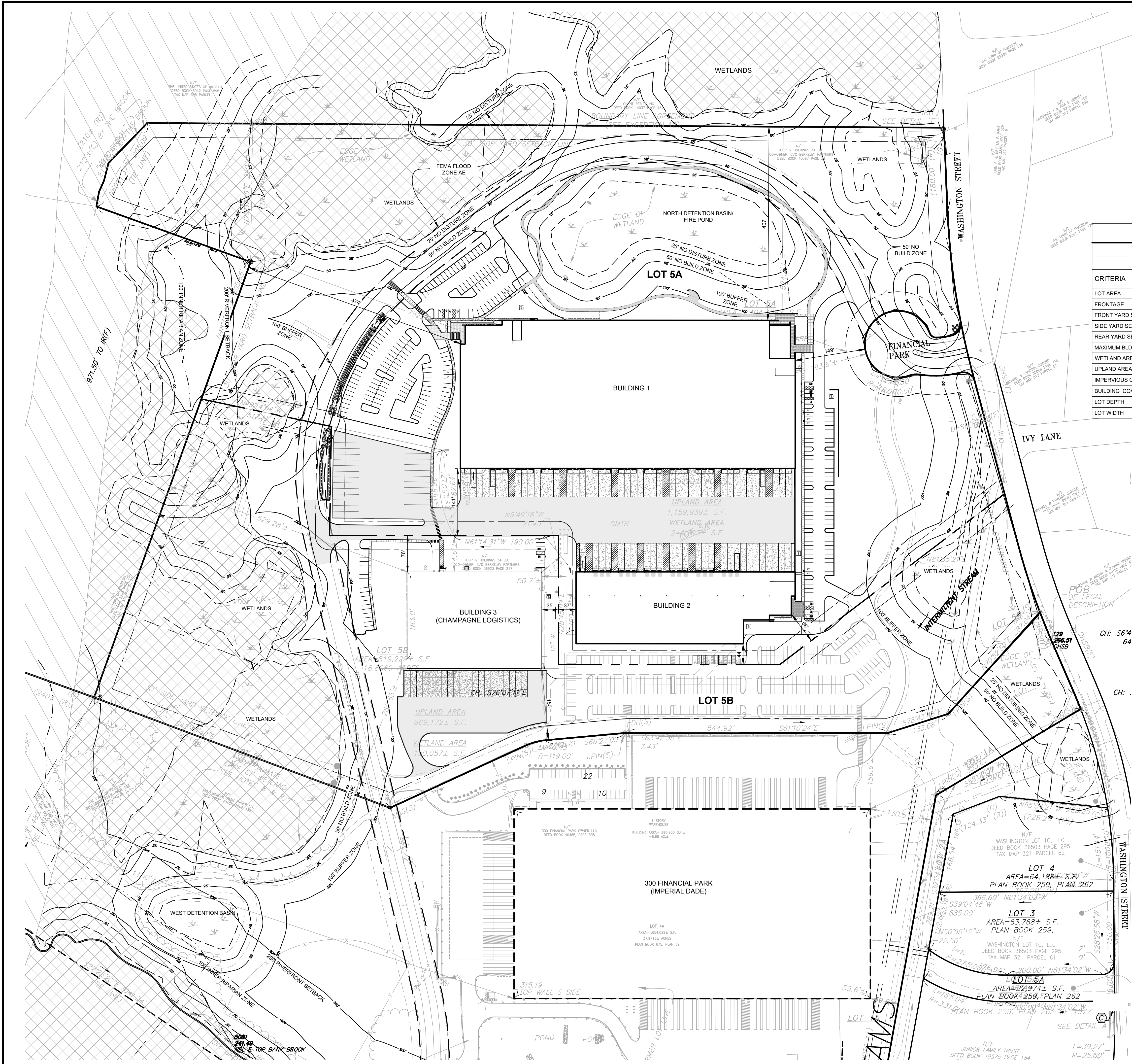
**LIMITED/COMPILED
 EXISTING CONDITIONS
 PLAN OF LAND
 IN
 FRANKLIN, MA**
 PLOT DATE: May 05, 2023 3:40 pm
 DWG: 26609-LIM-EC-LOT-5AB-2023-04-26
 LAYOUT: EC-4
 SHEET: 5 OF 5
EC-4
 PROJECT NO.: 26609

PATH: V:\01\NSA\Civil_3D Projects\19675-ANR Source Drawings



07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT
100/200 FINANCIAL PARK
FRANKLIN, MA
OWNER/APPLICANT: BERKELEY PARTNERS



COMPLIANCE SUMMARY - BUILDING AND SITE DIMENSIONAL REQUIREMENTS

ZONING DISTRICT: INDUSTRIAL (I)
OVERLAY DISTRICT: WATER RESOURCE DISTRICT

CRITERIA	REQUIRED	EXISTING LOTS 5A / 5B	LOT 5A	LOT 5B	COMPLIANCE
LOT AREA	40,000 SF	32.24 / 18.81 ± AC	34.13 ± AC	16.93 ± AC	YES
FRONTAGE	175 FT	1219 / 260 ± FT	890 ± FT	260 ± FT	YES
FRONT YARD SETBACK	40 FT	163.6 / >40 FT	149 FT	>40 FT	YES
SIDE YARD SETBACK	30 FT	58.4 / 150.6 FT	44 FT	76 FT	YES
REAR YARD SETBACK	30 FT	752.3 / 529.3 FT	474 FT	529 FT	YES
MAXIMUM BLDG. HEIGHT	3 STORIES	1 / 2 STORIES	≤ 2 STORIES	≤ 2 STORIES	YES
WETLAND AREA	---	244,395 / 150,057 SF	223,660 SF	139,402 SF	---
UPLAND AREA	---	1,159,939 / 669,172 SF	1,263,222 SF	598,162 SF	---
IMPERVIOUS COVERAGE	80%	31% / 70%	51%	46%	YES
BUILDING COVERAGE	70%	13% / 43%	22%	10%	YES
LOT DEPTH	200 FT	>200 FT	>200 FT	>200 FT	YES
LOT WIDTH	157.5 FT	>157.5 FT	>157.5 FT	>157.5 FT	YES

- NOTES:
- IMPERVIOUS COVERAGE PERCENTAGE IS CALCULATED AS IMPERVIOUS AREA / UPLAND AREA AS DEFINED IN THE FRANKLIN ZONING BYLAW.
 - BUILDING COVERAGE PERCENTAGE IS CALCULATED AS BUILDING FOOTPRINT AREA / UPLAND AREA AS DEFINED IN THE FRANKLIN ZONING BYLAW.
 - PARCELS 5A & 5B SHALL BE RECONFIGURED TO MAINTAIN ZONING COMPLIANCE FOR THE DEVELOPMENT PLAN. APPROVAL OF AN ANR PLAN BY THE PLANNING BOARD IS REQUIRED.

PARKING SUMMARY

	GROSS FLOOR AREA	REQUIRED	PROVIDED
BUILDING 1			
PROPOSED WAREHOUSE	206,500 GSF	207 SP.	-
PROPOSED OFFICE	13,500 GSF	54 SP.	-
SUBTOTAL		261 SP.	
BUILDING 2			
PROPOSED WAREHOUSE	57,750 GSF	58 SP.	-
PROPOSED OFFICE	7,250 GSF	29 SP.	-
SUBTOTAL		87 SP.	
BUILDING 3			
EXISTING WAREHOUSE	65,000 GSF ±	65 SP.	-
PROPOSED TOTAL	350,000 GSF ±	413 SP.	262 SP.

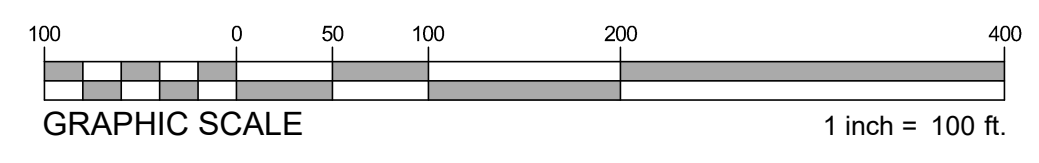
VEHICULAR PARKING REQUIREMENTS

DESCRIPTION	CALCULATION
OFFICE SPACE	1 PARKING SPACE PER 250 GSF
WAREHOUSE	1 PARKING SPACE PER 1,000 GSF

- NOTES:
- A PARKING WAIVER IS REQUIRED FROM THE FRANKLIN PLANNING BOARD.

SYMBOL LEGEND

[Pattern]	PROPOSED HEAVY DUTY BIT. CONC.
[Pattern]	PROPOSED BIT. CONC.
[Pattern]	PROPOSED CONCRETE
FEMA LEGEND	
[Pattern]	FLOOD ZONE "X"
[Pattern]	FLOOD ZONE "AE"
[Pattern]	FLOOD WAY



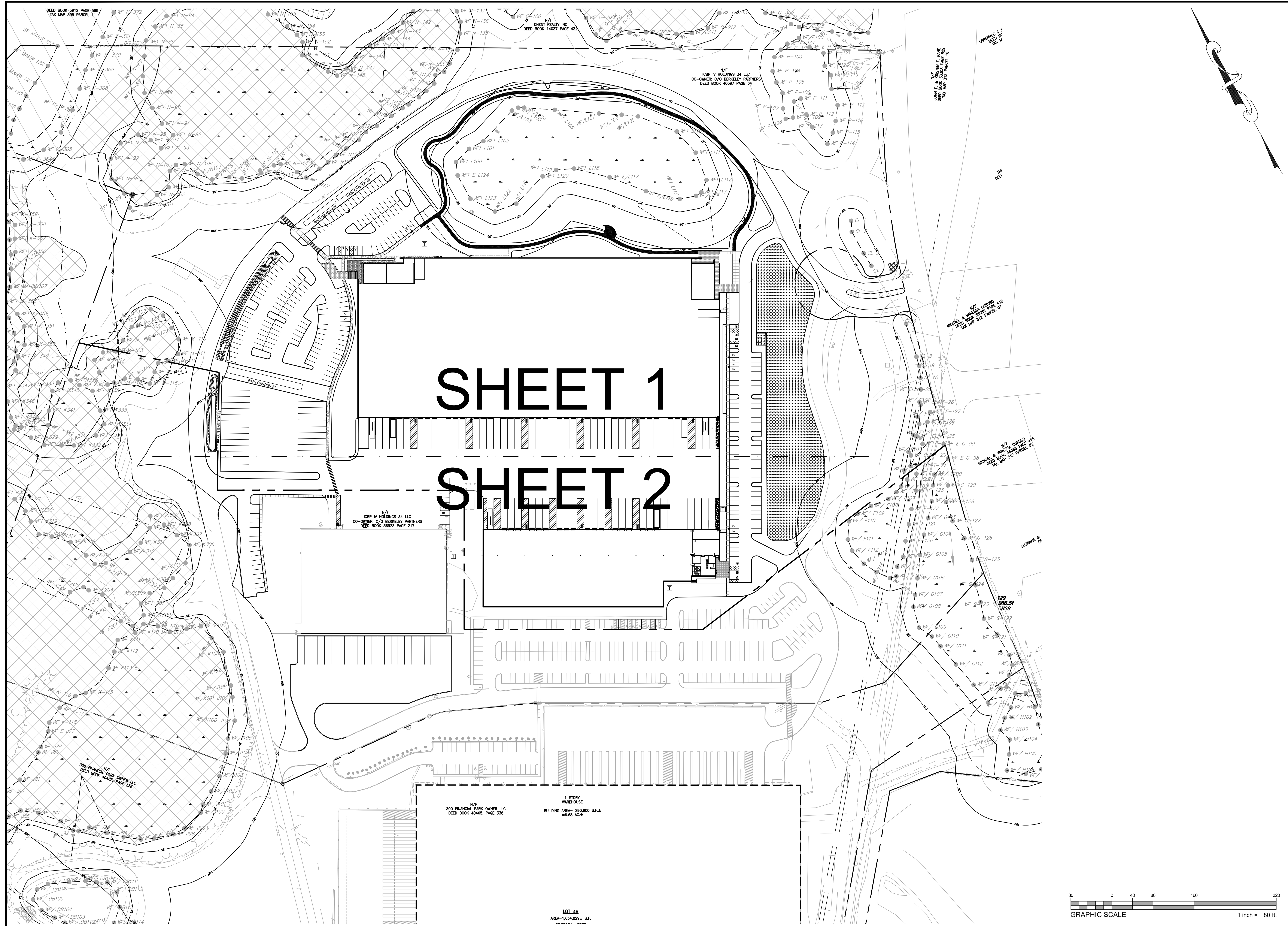
REV	DATE	DESCRIPTION
1	07.17.2023	RESPONSE TO COMMENTS

ISSUE TYPE:
PERMIT SET
ISSUE DATE:
05/11/2023
PROJECT NUMBER:
22051

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SHEET TITLE:
SITE CONFORMANCE PLAN

SHEET NUMBER:
C100



HIGHPOINT ENGINEERING, INC.
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CLIENT:
 Berkeley Partners
 1 WASHINGTON MALL | Suite 701
 BOSTON, MA 02108

CONSULTANT:

SEAL

 07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT
 100/200 FINANCIAL PARK
 FRANKLIN, MA
 OWNER/APPLICANT: BERKELEY PARTNERS

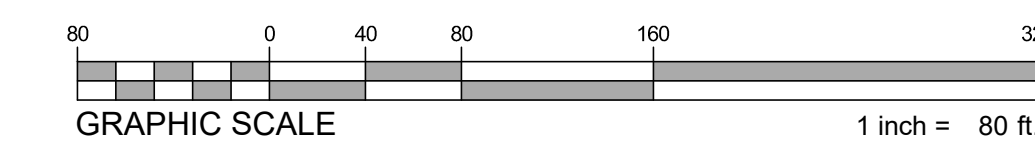
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1	07.17.2023	RESPONSE TO COMMENTS

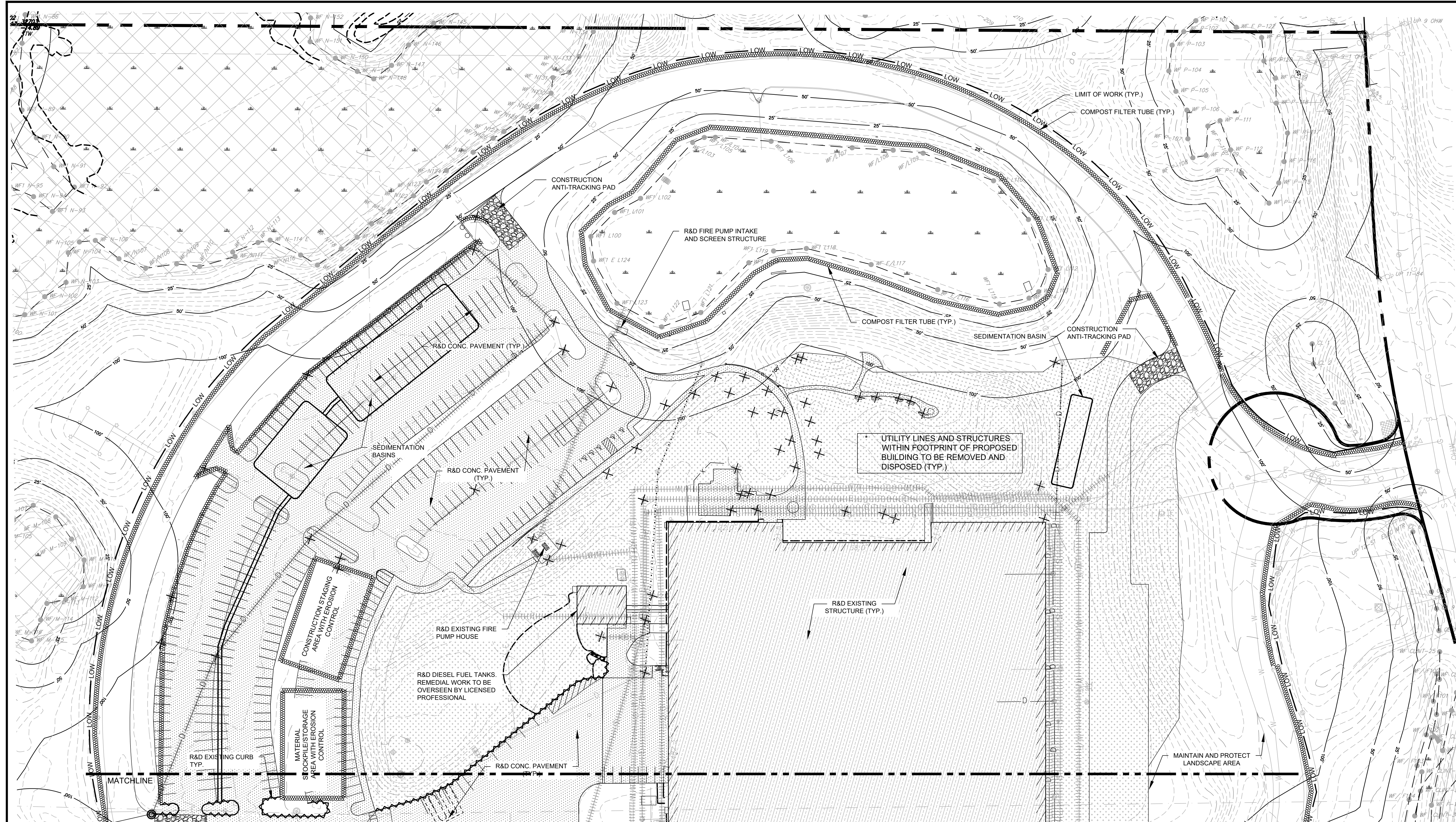
ISSUE TYPE:
 PERMIT SET
 ISSUE DATE:
 05/11/2023
 PROJECT NUMBER:
 22051

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SHEET TITLE:
KEY SHEET

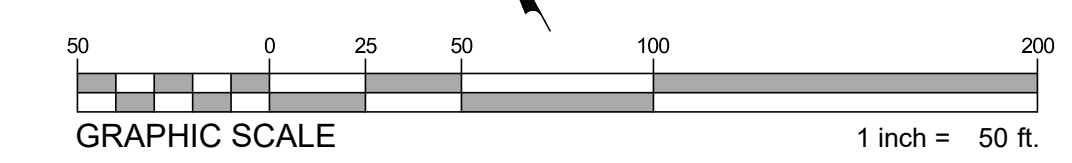
SHEET NUMBER:
C101





- NOTE:
- SEE SHEET G100 FOR GENERAL SOIL EROSION AND SEDIMENTATION CONTROL & SITE PREPARATION NOTES
 - ALL SLOPES WITH A GRADE OF 3:1 (H:V, 33.3%) OR STEEPER, ARE TO BE TREATED WITH JUTE MESH FOR STABILIZATION CONTROL. (TYP.) REFER TO DETAIL
 - NO DISCHARGES FROM TEMPORARY SEDIMENTATION BASINS ARE TO BE CONNECTED TO THE MUNICIPAL STORM WATER SYSTEM.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION, ANY RELOCATED AND RECONSTRUCTED EXISTING PUBLIC WATER AND SEWER UTILITIES THAT RUN THROUGH THE SITE SHALL BE COORDINATED WITH FRANKLIN UTILITIES.
 - BUILDING DEMOLITION AND ANY REQUIRED ABATEMENT SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED SITE PROFESSIONAL IN ACCORDANCE WITH MASSACHUSETTS STATE LAWS.

SYMBOL LEGEND			
	STRAW WATTLE EROSION CONTROL BARRIER	M&P	MAINTAIN AND PROTECT
	SILTSACK CATCH BASIN INSERT	R&D	REMOVE AND DISPOSE
	CONSTRUCTION ANTI-TRACKING PAD		DENOTES TREE TO BE REMOVED
	R&D EXISTING UTILITY LINE		
	R&D EXISTING CURB		
	R&D EXISTING STRUCTURE		
	R&D PAVEMENT/CONCRETE AND GRAVEL BASE LAYER		
	STRIP LOAM AND STOCKPILE ON SITE		
	SEAL COAT CRACKS & PATCH		
	REMOVE & DISPOSE EXISTING OBJECT		



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CONSULTANT:

SEAL

07-17-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
 FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	RESPONSE TO COMMENTS	DESCRIPTION
1	07.17.2023		

ISSUE TYPE:
 PERMIT SET

ISSUE DATE:
 05/11/2023

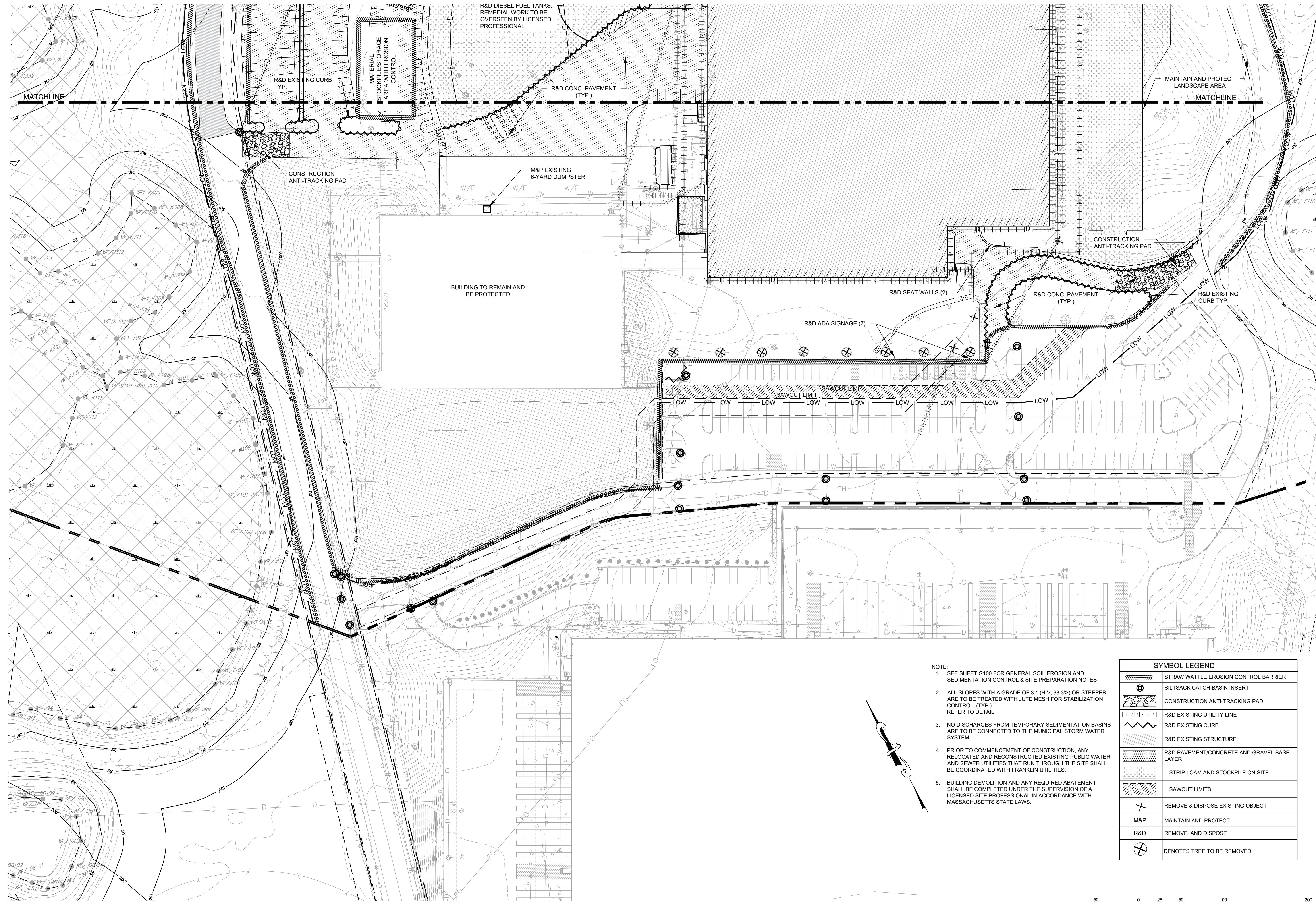
PROJECT NUMBER:
 22051

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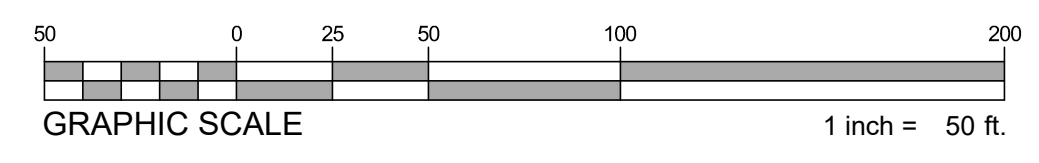
SHEET TITLE:
SITE PREPARATION & EROSION CONTROL PLAN

SHEET NUMBER:
C200



- NOTE:
- SEE SHEET G100 FOR GENERAL SOIL EROSION AND SEDIMENTATION CONTROL & SITE PREPARATION NOTES
 - ALL SLOPES WITH A GRADE OF 3:1 (H.V. 33.3%) OR STEEPER, ARE TO BE TREATED WITH JUTE MESH FOR STABILIZATION CONTROL. (TYP.) REFER TO DETAIL
 - NO DISCHARGES FROM TEMPORARY SEDIMENTATION BASINS ARE TO BE CONNECTED TO THE MUNICIPAL STORM WATER SYSTEM.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION, ANY RELOCATED AND RECONSTRUCTED EXISTING PUBLIC WATER AND SEWER UTILITIES THAT RUN THROUGH THE SITE SHALL BE COORDINATED WITH FRANKLIN UTILITIES.
 - BUILDING DEMOLITION AND ANY REQUIRED ABATEMENT SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED SITE PROFESSIONAL IN ACCORDANCE WITH MASSACHUSETTS STATE LAWS.

SYMBOL LEGEND	
	STRAW WATTLE EROSION CONTROL BARRIER
	SILTSACK CATCH BASIN INSERT
	CONSTRUCTION ANTI-TRACKING PAD
	R&D EXISTING UTILITY LINE
	R&D EXISTING CURB
	R&D EXISTING STRUCTURE
	R&D PAVEMENT/CONCRETE AND GRAVEL BASE LAYER
	STRIP LOAM AND STOCKPILE ON SITE
	SAWCUT LIMITS
	REMOVE & DISPOSE EXISTING OBJECT
	M&P MAINTAIN AND PROTECT
	R&D REMOVE AND DISPOSE
	DENOTES TREE TO BE REMOVED



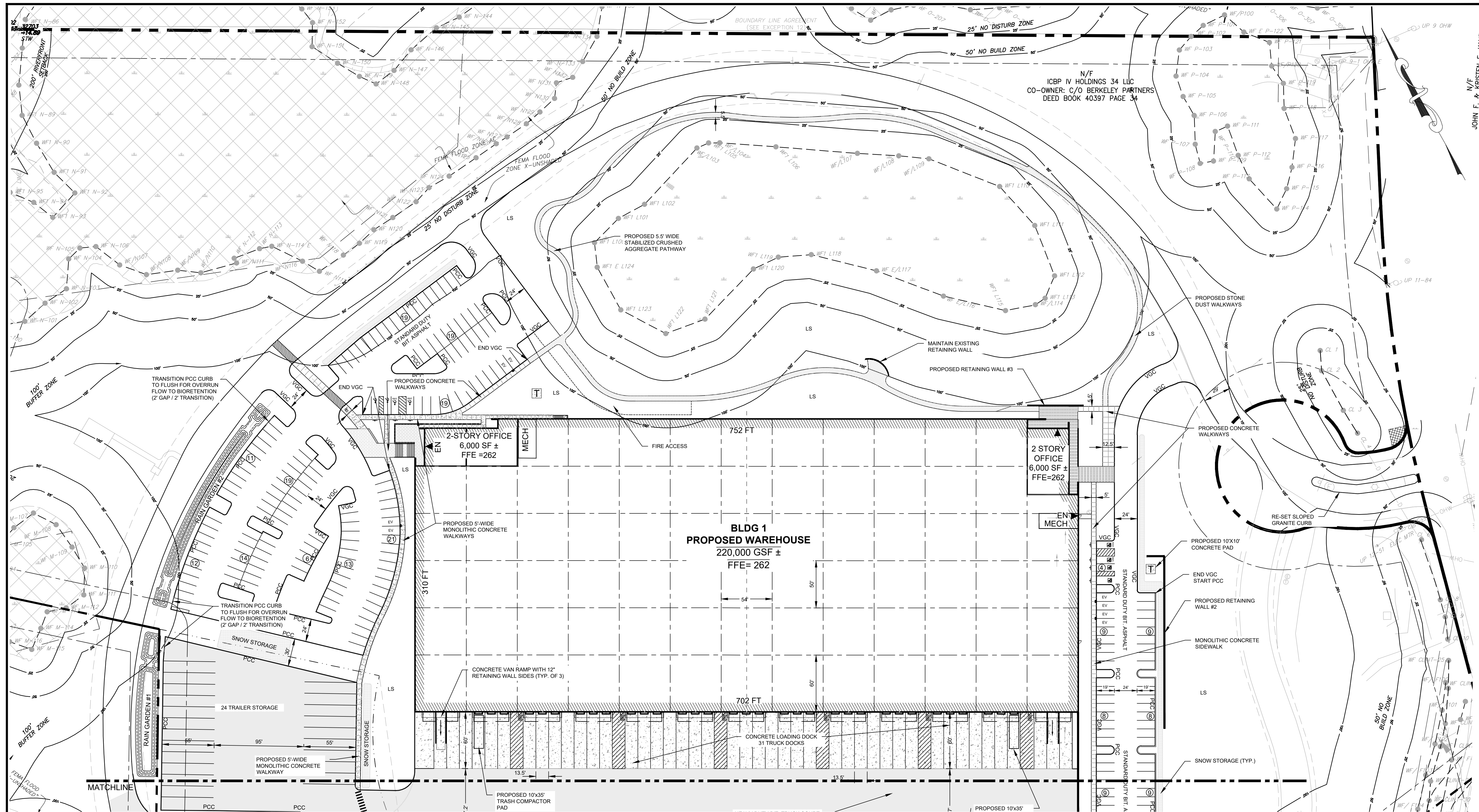
REV	DATE	DESCRIPTION
1	07.17.2023	RESPONSE TO COMMENTS

ISSUE TYPE:
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ISSUE DATE:
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PROJECT NUMBER:
22051

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SHEET TITLE:
SITE PREPARATION & EROSION CONTROL PLAN

SHEET NUMBER:
C201



WAREHOUSE/INDUSTRIAL DEVELOPMENT
 100/200 FINANCIAL PARK
 FRANKLIN, MA
 OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	RESPONSE TO COMMENTS
1	07.17.2023	

ISSUE TYPE:
 PERMIT SET
 ISSUE DATE:
 05/11/2023
 PROJECT NUMBER:
 22051

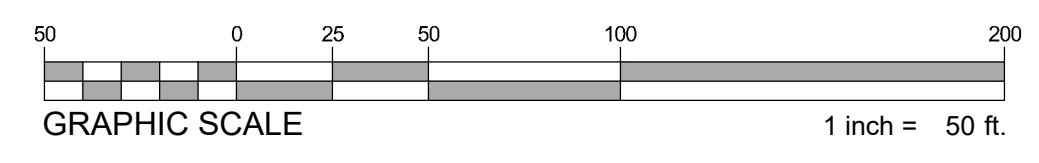
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SHEET TITLE:
LAYOUT & MATERIALS PLAN
 SHEET NUMBER:
C300

SYMBOL LEGEND

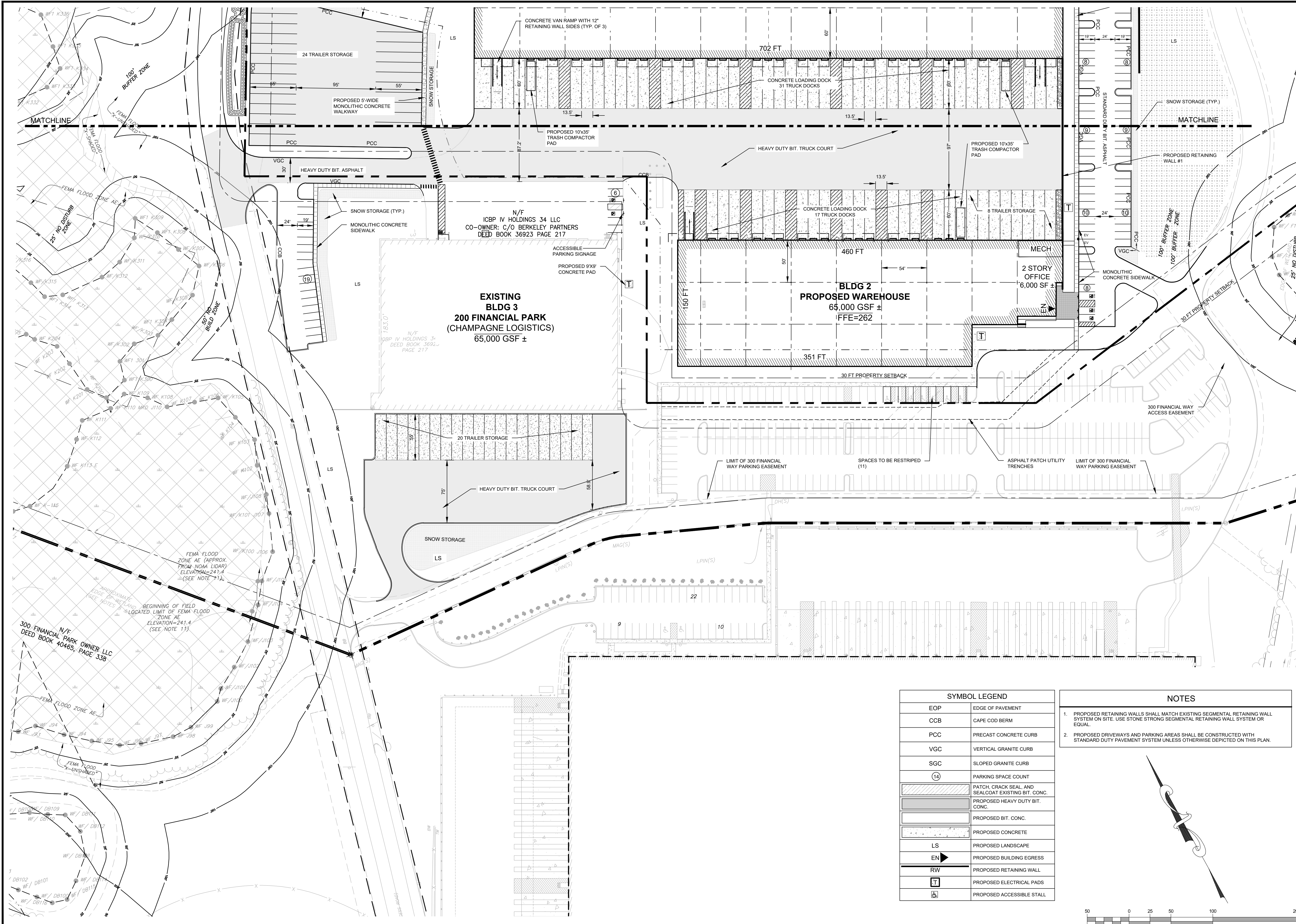
EOP	EDGE OF PAVEMENT
CCB	CAPE COD BERM
PCC	PRECAST CONCRETE CURB
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
(14)	PARKING SPACE COUNT
[Hatched Box]	PATCH, CRACK SEAL, AND SEALCOAT EXISTING BIT. CONC.
[Dotted Box]	PROPOSED HEAVY DUTY BIT. CONC.
[White Box]	PROPOSED BIT. CONC.
[White Box]	PROPOSED CONCRETE
LS	PROPOSED LANDSCAPE
EN	PROPOSED BUILDING EGRESS
RW	PROPOSED RETAINING WALL
[Square with T]	PROPOSED ELECTRICAL PADS
[Square with A]	PROPOSED ACCESSIBLE STALL

- NOTES**
- PROPOSED RETAINING WALLS SHALL MATCH EXISTING SEGMENTAL RETAINING WALL SYSTEM OR EQUAL. USE STONE STRONG SEGMENTAL RETAINING WALL SYSTEM OR EQUAL.
 - PROPOSED DRIVEWAYS AND PARKING AREAS SHALL BE CONSTRUCTED WITH STANDARD DUTY PAVEMENT SYSTEM UNLESS OTHERWISE DEPICTED ON THIS PLAN.



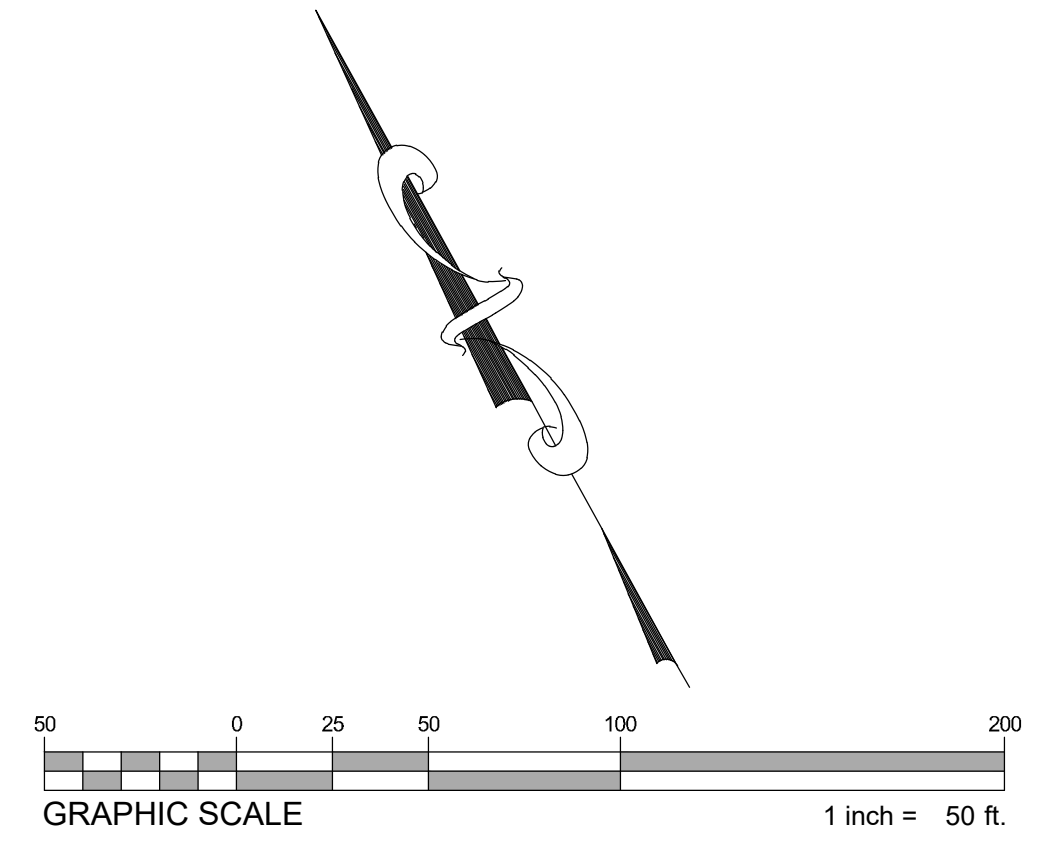
WAREHOUSE/INDUSTRIAL DEVELOPMENT
 100/200 FINANCIAL PARK
 FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS



SYMBOL LEGEND	
EOP	EDGE OF PAVEMENT
CCB	CAPE COD BERM
PCC	PRECAST CONCRETE CURB
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
(14)	PARKING SPACE COUNT
	PATCH, CRACK SEAL AND SEALCOAT EXISTING BIT. CONC.
	PROPOSED HEAVY DUTY BIT. CONC.
	PROPOSED BIT. CONC.
	PROPOSED CONCRETE
LS	PROPOSED LANDSCAPE
EN	PROPOSED BUILDING EGRESS
RW	PROPOSED RETAINING WALL
	PROPOSED ELECTRICAL PADS
	PROPOSED ACCESSIBLE STALL

- NOTES**
- PROPOSED RETAINING WALLS SHALL MATCH EXISTING SEGMENTAL RETAINING WALL SYSTEM ON SITE. USE STONE STRONG SEGMENTAL RETAINING WALL SYSTEM OR EQUAL.
 - PROPOSED DRIVEWAYS AND PARKING AREAS SHALL BE CONSTRUCTED WITH STANDARD DUTY PAVEMENT SYSTEM UNLESS OTHERWISE DEPICTED ON THIS PLAN.

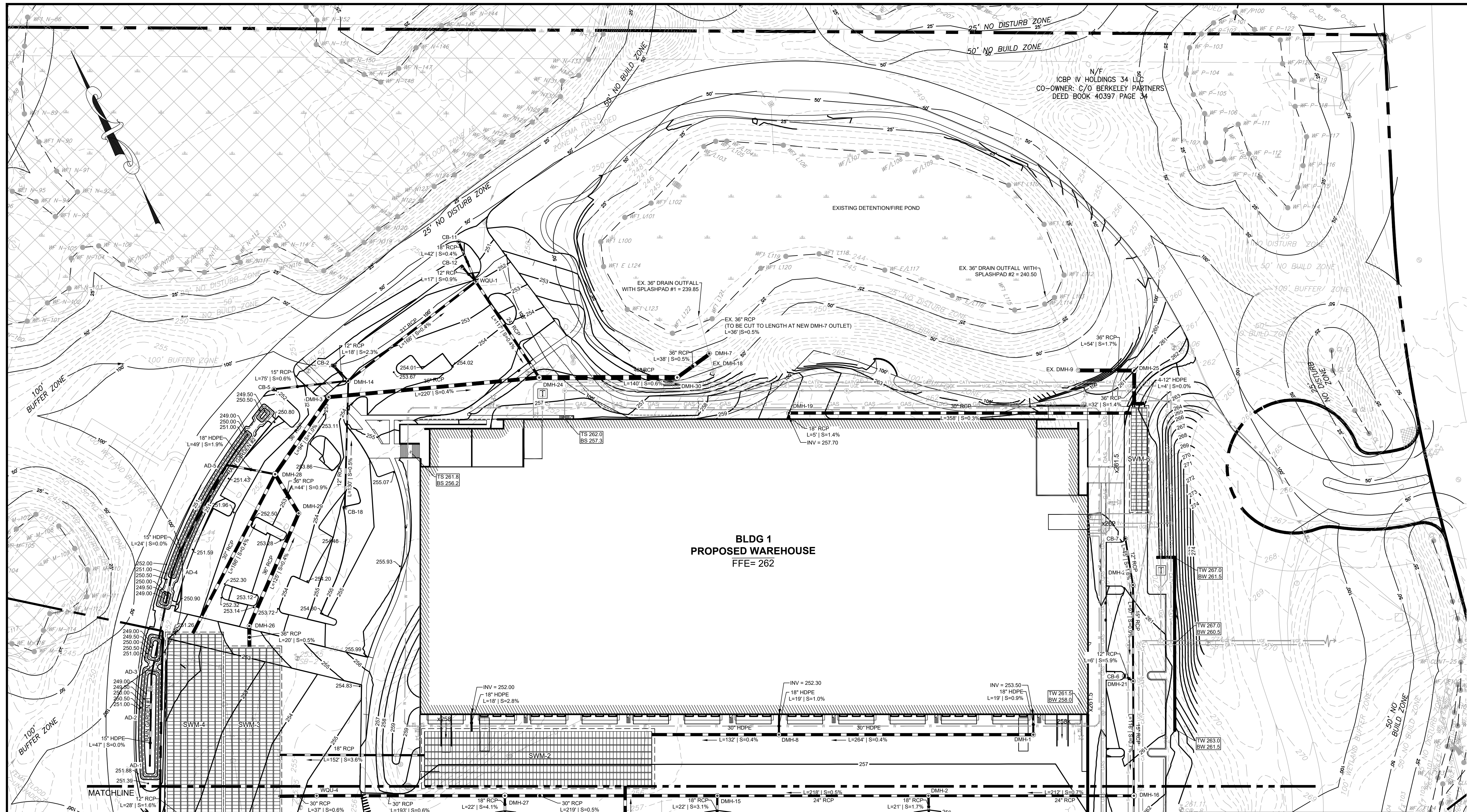


REV	DATE	DESCRIPTION
1	07.17.2023	RESPONSE TO COMMENTS

ISSUE TYPE:
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SHEET TITLE:
LAYOUT & MATERIALS PLAN
 SHEET NUMBER:
C301



BLDG 1
PROPOSED WAREHOUSE
FFE= 262

STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.
AD-1 15' AREA DRAIN	RIM = 250.50 INV OUT = 247.50 (AD-2)	CB-6 DOUBLE GRATE	RIM = 260.01 INV OUT = 255.70 (DMH-21)	DMH-3 4' DIA. DMH	RIM = 253.14 INV IN = 243.20 (DMH-28) INV OUT = 243.10 (DMH-24)	DMH-21 4' DIA. DMH	RIM = 260.17 INV IN = 255.10 (CB-6) INV OUT = 244.70 (DMH-28)	DMH-29 4' DIA. DMH	RIM = 253.51 INV IN = 244.80 (DMH-26) INV OUT = 244.70 (DMH-28)
AD-2 15' AREA DRAIN	RIM = 249.35 INV IN = 247.50 (AD-1) INV OUT = 247.50 (AD-3)	CB-7 SINGLE GRATE	RIM = 261.47 INV OUT = 256.80 (DMH-23)	DMH-7 4' DIA. DMH	RIM = 248.80 INV IN = 241.00 (DMH-30) INV OUT = 240.17 (EX. SPLASH PAD #1)	DMH-23 4' DIA. DMH	RIM = 261.19 INV IN = 256.00 (CB-7) INV OUT = 255.90 (DMH-21)	DMH-30 5' DIA. DMH	RIM = 252.62 INV IN = 241.30 (DMH-24) INV OUT = 241.20 (DMH-7)
AD-3 15' AREA DRAIN	RIM = 250.50 INV IN = 247.50 (AD-2) INV OUT = 247.50 (AD-4)	CB-11 SINGLE GRATE	RIM = 250.79 INV OUT = 246.80 (WQU-1)	DMH-8 4' DIA. DMH	RIM = 257.59 INV IN = 252.10 (Bldg 1 - South 2) INV IN = 252.10 (DMH-1) INV OUT = 252.00 (SWM-4 IN (2))	DMH-24 5' DIA. DMH	RIM = 252.05 INV IN = 242.20 (DMH-3) INV IN = 246.00 (WQU-1) INV OUT = 242.10 (DMH-30)	WQU-1 CONTECH CASCADE CS-4	RIM = 252.05 INV IN = 248.00 (DMH-14) INV IN = 246.00 (CB-11) INV OUT = 246.50 (DMH-24)
AD-4 15' AREA DRAIN	RIM = 250.50 INV IN = 247.50 (AD-3) INV OUT = 247.50 (RG#2 TEE)	CB-18 SINGLE GRATE	RIM = 254.45 INV OUT = 248.00 (DMH-14)	DMH-14 4' DIA. DMH	RIM = 253.01 INV IN = 247.30 (CB-2) INV IN = 247.30 (CB-5) INV IN = 247.30 (CB-18) INV OUT = 247.20 (WQU-1)	DMH-25 5' DIA. DROP DMH	RIM = 260.99 INV IN = 256.60 (SWM-6 OUT) INV OUT = 251.00 (EX. DMH-9)	WQU-4 CONTECH CS-4	RIM = 255.29 INV IN = 246.20 (DMH-27) INV IN = 246.10 (SWM-3 IN)
AD-5 15' AREA DRAIN	RIM = 249.69 INV IN = 247.50 (RG#2 TEE) INV OUT = 247.50 (DMH-28)	DMH-1 4' DIA. DMH	RIM = 257.59 INV IN = 253.30 (Bldg 1 - South 3) INV OUT = 253.20 (DMH-8)	DMH-15 4' DIA. DMH	RIM = 256.32 INV IN = 248.70 (DMH-2) INV IN = 248.70 (CB-9) INV OUT = 247.20 (DMH-27)	DMH-26 4' DIA. DMH	RIM = 253.21 INV IN = 245.40 () INV OUT = 245.30 (DMH-29)		
CB-2 SINGLE GRATE	RIM = 252.16 INV OUT = 247.80 (DMH-14)	DMH-2 4' DIA. DMH	RIM = 256.31 INV IN = 250.00 (DMH-16) INV IN = 250.10 (CB-8) INV OUT = 249.90 (DMH-15)	DMH-16 5' DIA. DMH	RIM = 261.55 INV IN = 254.00 (DMH-21) INV IN = 256.30 (DMH-5) INV OUT = 251.50 (DMH-2)	DMH-27 5' DIA. DMH	RIM = 256.32 INV IN = 247.50 (DMH-15) INV IN = 247.50 (CB-19) INV OUT = 247.40 (WQU-4)		
CB-5 SINGLE GRATE	RIM = 251.76 INV OUT = 247.80 (DMH-14)			DMH-19 4' DIA. DMH	RIM = 260.21 INV IN = 257.60 (Bldg 1 - North) INV OUT = 257.50 (SWM-6 IN)	DMH-28 5' DIA. DMH	RIM = 252.43 INV IN = 244.30 (DMH-29) INV IN = 244.30 (SWM-4 OUT) INV IN = 246.50 (AD-5) INV OUT = 244.20 (DMH-3)		

STRUCTURE	SYSTEM ELEV.	SYSTEM CONNECTIONS
SWM-2 CULTEC R902HD	TOP OF STONE = 255.25 TOP OF SYSTEM = 254.25 BOTTOM OF SYSTEM = 250.25 BOTTOM OF STONE = 249.50 ESHGW = 247.30"	INV OUT = 252.00 (18" HDPE - SWM-3) INV IN = 251.40 (30" RCP - DMH-17) INV IN = 251.50 (30" HDPE - DMH-8) INV IN = 251.50 (30" HDPE - BLDG 1 - SOUTH-1)
SWM-3 CULTEC R902HD	TOP OF STONE = 249.75 TOP OF SYSTEM = 248.75 BOTTOM OF SYSTEM = 244.75 BOTTOM OF STONE = 244.00 ESHGW = 241.30"	INV OUT = 245.50 (36" HDPE - DMH-26) INV IN = 246.50 (18" HDPE - SWM-2) INV IN = 245.85 (30" RCP - WQU-4)
SWM-4 CULTEC R902HD	TOP OF STONE = 248.75 TOP OF SYSTEM = 247.75 BOTTOM OF SYSTEM = 243.75 BOTTOM OF STONE = 243.00 ESHGW = 240.30"	INV OUT = 245.00 (30" RCP - DMH-28) INV IN = 245.00 (30" RCP - DMH-31) INV IN = 246.50 (12" RCP - WQU-2)
SWM-6 CULTEC R360HD	TOP OF STONE = 259.50 TOP OF SYSTEM = 259.00 BOTTOM OF SYSTEM = 256.00 BOTTOM OF STONE = 255.50 ESHGW = 253.30"	INV OUT = 257.10 (4 - 12" HDPE - DMH-25) INV IN = 256.25 (30" RCP - DMH-19)

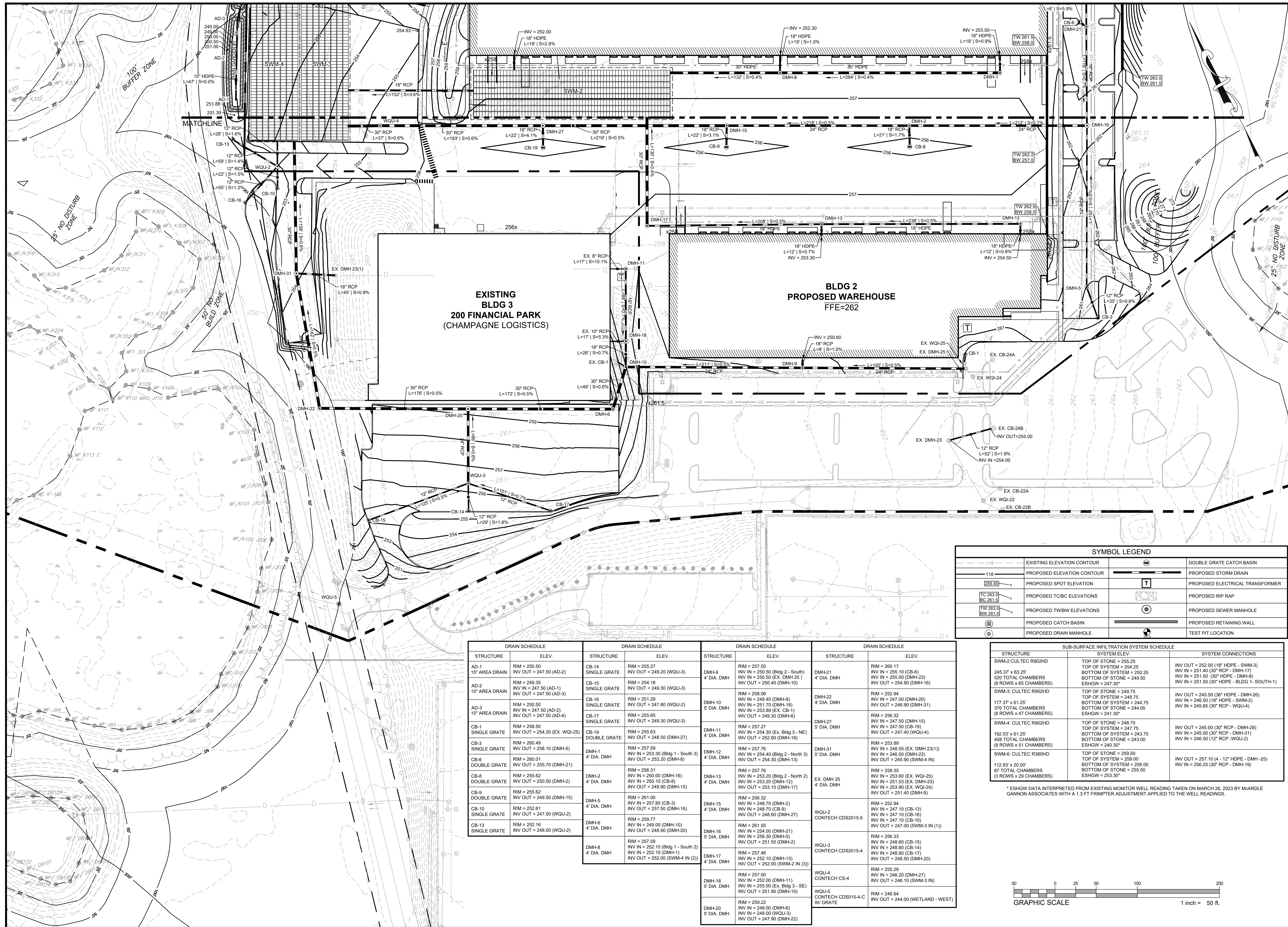
* ESHGW DATA INTERPRETED FROM EXISTING MONITOR WELL READING TAKEN ON MARCH 26, 2023 BY McARDLE GANNON ASSOCIATES WITH A 1.3 FT FRIMPTER ADJUSTMENT APPLIED TO THE WELL READINGS.

SYMBOL LEGEND	
	EXISTING ELEVATION CONTOUR
	PROPOSED ELEVATION CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TC/BC ELEVATIONS
	PROPOSED TW/BW ELEVATIONS
	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	DOUBLE GRATE CATCH BASIN
	PROPOSED STORM DRAIN
	PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED RIP RAP
	PROPOSED SEWER MANHOLE
	PROPOSED RETAINING WALL
	TEST PIT LOCATION



REV	DATE	DESCRIPTION
1	07.17.2023	RESPONSE TO COMMENTS

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SHEET TITLE:
GRADING & DRAINAGE PLAN
SHEET NUMBER:
C400
ISSUED FOR: PERMIT



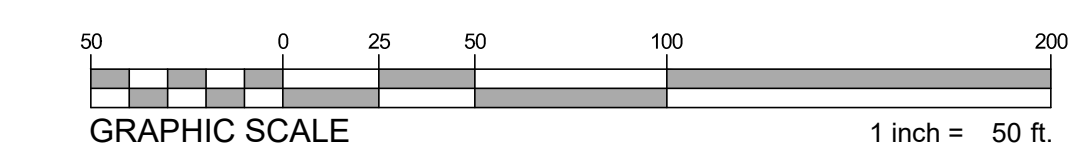
WAREHOUSE/INDUSTRIAL DEVELOPMENT
 100/200 FINANCIAL PARK
 FRANKLIN, MA
 OWNER/APPLICANT: BERKELEY PARTNERS

SYMBOL LEGEND			
	EXISTING ELEVATION CONTOUR		DOUBLE GRATE CATCH BASIN
	PROPOSED ELEVATION CONTOUR		PROPOSED STORM DRAIN
	PROPOSED SPOT ELEVATION		PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED TC/BC ELEVATIONS		PROPOSED RIP RAP
	PROPOSED TW/BW ELEVATIONS		PROPOSED SEWER MANHOLE
	PROPOSED CATCH BASIN		PROPOSED RETAINING WALL
	PROPOSED DRAIN MANHOLE		TEST PIT LOCATION

DRAIN SCHEDULE		DRAIN SCHEDULE		DRAIN SCHEDULE		DRAIN SCHEDULE	
STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.
AD-1 15' AREA DRAIN	RIM = 250.50 INV OUT = 247.50 (AD-2)	CB-14 SINGLE GRATE	RIM = 255.27 INV OUT = 249.20 (WQU-3)	DMH-9 4' DIA. DMH	RIM = 257.55 INV IN = 250.50 (Bldg 2 - South) INV IN = 250.50 (EX. DMH 25) INV OUT = 250.40 (DMH-10)	DMH-21 4' DIA. DMH	RIM = 260.17 INV IN = 255.10 (CB-6) INV IN = 255.00 (DMH-23) INV OUT = 254.90 (DMH-16)
AD-2 15' AREA DRAIN	RIM = 248.35 INV IN = 247.50 (AD-1) INV OUT = 247.50 (AD-3)	CB-15 SINGLE GRATE	RIM = 254.18 INV OUT = 249.30 (WQU-3)	DMH-10 5' DIA. DMH	RIM = 258.06 INV IN = 249.40 (DMH-9) INV IN = 251.70 (DMH-16) INV IN = 253.89 (EX. CB-1) INV OUT = 249.30 (DMH-6)	DMH-22 4' DIA. DMH	RIM = 252.94 INV IN = 247.00 (DMH-20) INV OUT = 246.90 (DMH-31)
AD-3 15' AREA DRAIN	RIM = 250.50 INV IN = 247.50 (AD-2) INV OUT = 247.50 (AD-4)	CB-16 SINGLE GRATE	RIM = 251.29 INV OUT = 247.80 (WQU-2)	DMH-11 4' DIA. DMH	RIM = 257.27 INV IN = 254.30 (EX. Bldg 3 - NE) INV OUT = 252.60 (DMH-18)	DMH-27 5' DIA. DMH	RIM = 256.32 INV IN = 247.50 (DMH-15) INV IN = 247.10 (CB-19) INV OUT = 247.40 (WQU-4)
CB-1 SINGLE GRATE	RIM = 258.50 INV IN = 254.20 (EX. WQI-25)	CB-17 SINGLE GRATE	RIM = 255.65 INV OUT = 249.30 (WQU-3)	DMH-12 4' DIA. DMH	RIM = 257.76 INV IN = 250.00 (DMH-16) INV IN = 251.10 (CB-8) INV OUT = 249.90 (DMH-15)	DMH-31 5' DIA. DMH	RIM = 253.99 INV IN = 248.55 (EX. DMH 23(1)) INV IN = 246.00 (DMH-22) INV OUT = 245.90 (SWM-4 IN)
CB-3 SINGLE GRATE	RIM = 280.49 INV OUT = 258.10 (DMH-5)	CB-19 DOUBLE GRATE	RIM = 255.63 INV OUT = 248.50 (DMH-27)	DMH-13 4' DIA. DMH	RIM = 257.76 INV IN = 253.20 (Bldg 2 - North 2) INV IN = 253.20 (DMH-12) INV OUT = 253.10 (DMH-17)	EX. DMH 25 4' DIA. DMH	RIM = 258.35 INV IN = 253.60 (EX. WQI-25) INV IN = 251.53 (EX. DMH-23) INV IN = 253.90 (EX. WQI-24) INV OUT = 251.40 (DMH-9)
CB-8 DOUBLE GRATE	RIM = 280.01 INV OUT = 255.70 (DMH-21)	DMH-1 4' DIA. DMH	RIM = 257.59 INV IN = 253.30 (Bldg 1 - South 3) INV OUT = 253.20 (DMH-8)	DMH-14 4' DIA. DMH	RIM = 257.76 INV IN = 250.00 (DMH-16) INV IN = 251.10 (CB-8) INV OUT = 249.90 (DMH-15)	WQU-2 CONTECH CDS2015-5	RIM = 252.94 INV IN = 247.10 (CB-13) INV IN = 247.10 (CB-16) INV IN = 247.10 (CB-19) INV OUT = 247.00 (SWM-3 IN (1))
CB-8 DOUBLE GRATE	RIM = 255.62 INV OUT = 249.50 (DMH-2)	DMH-2 4' DIA. DMH	RIM = 255.63 INV OUT = 248.50 (DMH-27)	DMH-15 4' DIA. DMH	RIM = 257.59 INV IN = 253.30 (Bldg 1 - South 3) INV OUT = 253.20 (DMH-8)	WQU-3 CONTECH CDS2015-4	RIM = 256.32 INV IN = 248.55 (EX. DMH 23(1)) INV IN = 246.00 (DMH-22) INV IN = 253.90 (EX. WQI-24) INV OUT = 251.40 (DMH-9)
CB-9 DOUBLE GRATE	RIM = 255.62 INV OUT = 249.50 (DMH-15)	DMH-5 4' DIA. DMH	RIM = 261.00 INV IN = 248.70 (CB-3) INV OUT = 257.50 (DMH-16)	DMH-16 5' DIA. DMH	RIM = 257.76 INV IN = 250.00 (DMH-16) INV IN = 251.10 (CB-8) INV OUT = 249.90 (DMH-15)	WQU-4 CONTECH CS-4	RIM = 255.29 INV IN = 246.20 (DMH-27) INV IN = 246.10 (SWM-3 IN)
CB-10 SINGLE GRATE	RIM = 252.61 INV OUT = 247.50 (WQU-2)	DMH-6 4' DIA. DMH	RIM = 259.77 INV IN = 249.00 (DMH-10) INV OUT = 248.90 (DMH-20)	DMH-17 4' DIA. DMH	RIM = 257.59 INV IN = 252.10 (DMH-11) INV IN = 252.10 (SWM-4 IN (2))	WQU-5 CONTECH CDS015-4-C W/ GRATE	RIM = 246.64 INV OUT = 244.00 (WETLAND - WEST)
CB-13 SINGLE GRATE	RIM = 252.16 INV OUT = 248.00 (WQU-2)	DMH-8 4' DIA. DMH	RIM = 257.59 INV IN = 252.10 (DMH-11) INV OUT = 252.00 (SWM-4 IN (2))	DMH-20 5' DIA. DMH	RIM = 259.22 INV IN = 248.00 (DMH-6) INV IN = 248.00 (WQU-3) INV OUT = 247.90 (DMH-22)		

SUB-SURFACE INFILTRATION SYSTEM SCHEDULE		
STRUCTURE	SYSTEM ELEV.	SYSTEM CONNECTIONS
SWM-2 CULTEC R902HD 245.37' x 63.25' 520 TOTAL CHAMBERS (8 ROWS x 65 CHAMBERS)	TOP OF STONE = 255.25 TOP OF SYSTEM = 254.25 BOTTOM OF SYSTEM = 250.25 BOTTOM OF STONE = 249.50 ESHGW = 247.30"	INV OUT = 252.00 (18" HDPE - SWM-3) INV IN = 251.40 (30" RCP - DMH-17) INV IN = 251.50 (30" HDPE - DMH-8) INV IN = 251.50 (30" HDPE - BLDG 1 - SOUTH-1)
SWM-3 CULTEC R902HD 177.37' x 61.25' 376 TOTAL CHAMBERS (8 ROWS x 47 CHAMBERS)	TOP OF STONE = 249.75 TOP OF SYSTEM = 248.75 BOTTOM OF SYSTEM = 244.75 BOTTOM OF STONE = 244.00 ESHGW = 241.30"	INV OUT = 245.50 (36" HDPE - DMH-26) INV IN = 246.50 (18" HDPE - SWM-2) INV IN = 245.85 (30" RCP - WQU-4)
SWM-4 CULTEC R902HD 192.03' x 61.25' 408 TOTAL CHAMBERS (8 ROWS x 51 CHAMBERS)	TOP OF STONE = 248.75 TOP OF SYSTEM = 247.75 BOTTOM OF SYSTEM = 243.00 ESHGW = 240.30"	INV OUT = 245.00 (30" RCP - DMH-23) INV IN = 245.00 (30" RCP - DMH-31) INV IN = 246.50 (12" RCP - WQU-2)
SWM-6 CULTEC R360HD 112.83' x 20.50' 87 TOTAL CHAMBERS (3 ROWS x 29 CHAMBERS)	TOP OF STONE = 259.50 TOP OF SYSTEM = 259.00 BOTTOM OF SYSTEM = 256.50 ESHGW = 253.30"	INV OUT = 257.10 (4 - 12" HDPE - DMH-19) INV IN = 256.25 (30" RCP - DMH-19)

* ESHGW DATA INTERPRETED FROM EXISTING MONITOR WELL READING TAKEN ON MARCH 26, 2023 BY MARGARIE GANNON ASSOCIATES WITH A 1.3 FT FRIMPTER ADJUSTMENT APPLIED TO THE WELL READINGS.

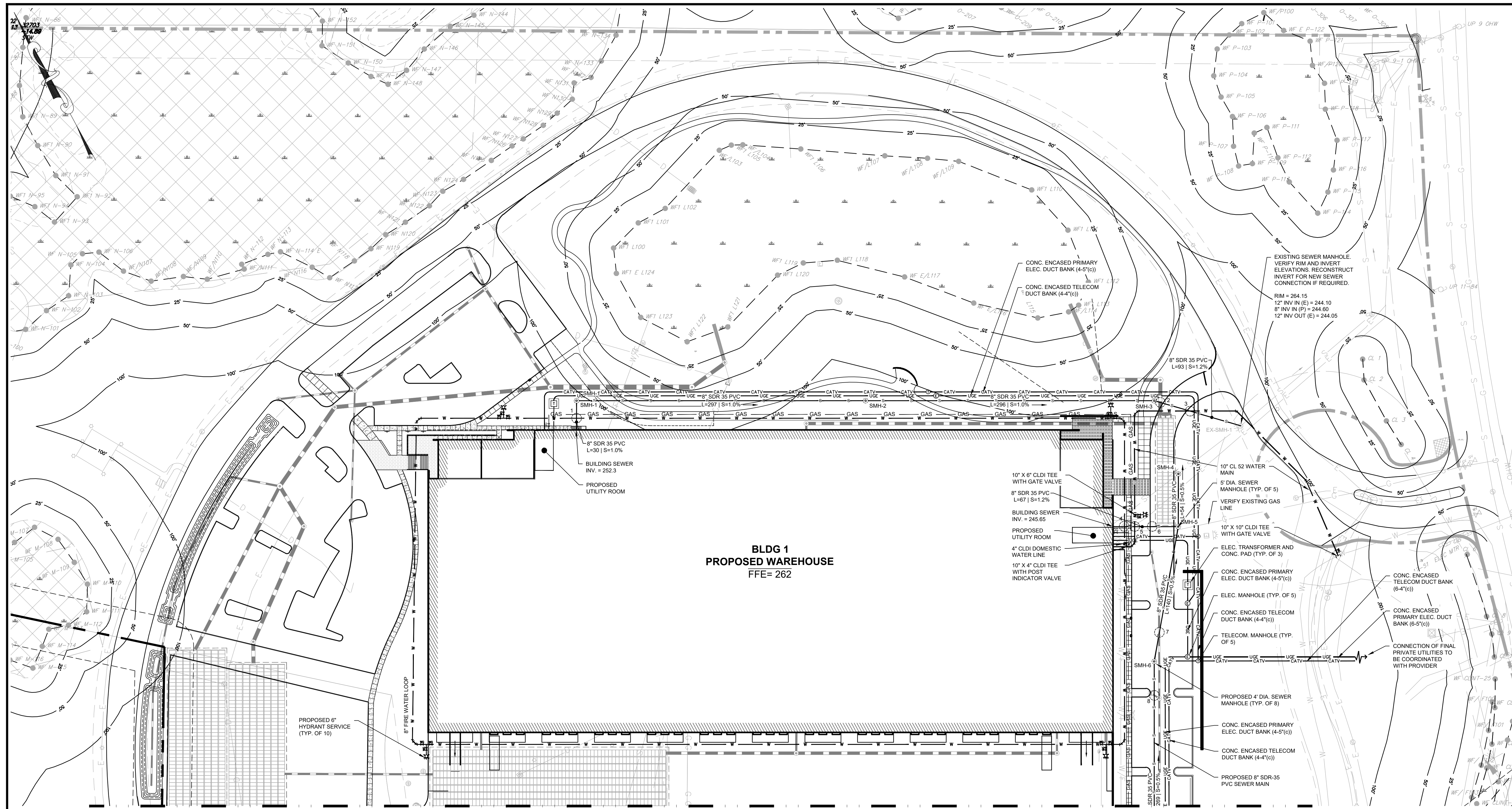


ISSUE TYPE:
 PERMIT SET
 ISSUE DATE:
 05/11/2023
 PROJECT NUMBER:
 22051

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 CHECKED BY: DJH
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SHEET TITLE:
GRADING & DRAINAGE PLAN
 SHEET NUMBER:
C401

ISSUED FOR: PERMIT

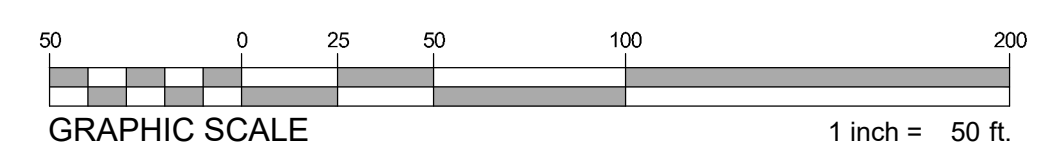


**BLDG 1
PROPOSED WAREHOUSE
FFE= 262**

STRUCTURE	SEWER SCHEDULE	ELEV.
SMH-1	RIM = 255.43 INV IN = 251.87 (BUILDING 1 WEST) INV OUT = 251.87 (SMH-2)	
SMH-2	RIM = 262.38 INV IN = 248.90 (SMH-1) INV OUT = 248.80 (SMH-3)	
SMH-3	RIM = 262.01 INV IN = 245.84 (SMH-2) INV OUT = 245.74 (EX-SMH-1)	
SMH-4	RIM = 261.99 INV IN = 244.48 (SMH-5) INV OUT = 244.38 (EX-SMH-1)	
SMH-5	RIM = 262.00 INV IN = 244.85 (SMH-6) INV IN = 244.85 (BUILDING 1 EAST) INV OUT = 244.75 (SMH-4)	
SMH-6	RIM = 260.06 INV IN = 245.61 (SMH-7) INV OUT = 245.51 (SMH-5)	

SANITARY/WATER AND SANITARY/ STORMWATER CROSSINGS	
1	FG = 257.5± INVERT OF WATER PIPE = 254.5± TOP OF SANITARY SEWER = 252.82± CLEARANCE = 1.7±
2	FG = 262.1± INVERT OF STORMWATER PIPE = 256.93± TOP OF SANITARY SEWER = 246.33± CLEARANCE = 10.60±
3	FG = 262.4± INVERT OF WATER PIPE = 259.0± TOP OF SANITARY SEWER = 245.94± CLEARANCE = 13.1±
4	FG = 262.0± INVERT OF WATER PIPE = 258.0± TOP OF SANITARY SEWER = 246.18± CLEARANCE = 11.8±
5	FG = 261.9± INVERT OF WATER PIPE = 258.0± TOP OF SANITARY SEWER = 246.05± CLEARANCE = 11.9±
6	FG = 261.3± INVERT OF STORMWATER PIPE = 256.06± TOP OF SANITARY SEWER = 245.84± CLEARANCE = 10.22±
7	FG = 260.9± INVERT OF STORMWATER PIPE = 255.30± TOP OF SANITARY SEWER = 246.04± CLEARANCE = 9.26±
8	FG = 261.1± INVERT OF STORMWATER PIPE = 255.35± TOP OF SANITARY SEWER = 246.45± CLEARANCE = 8.90±

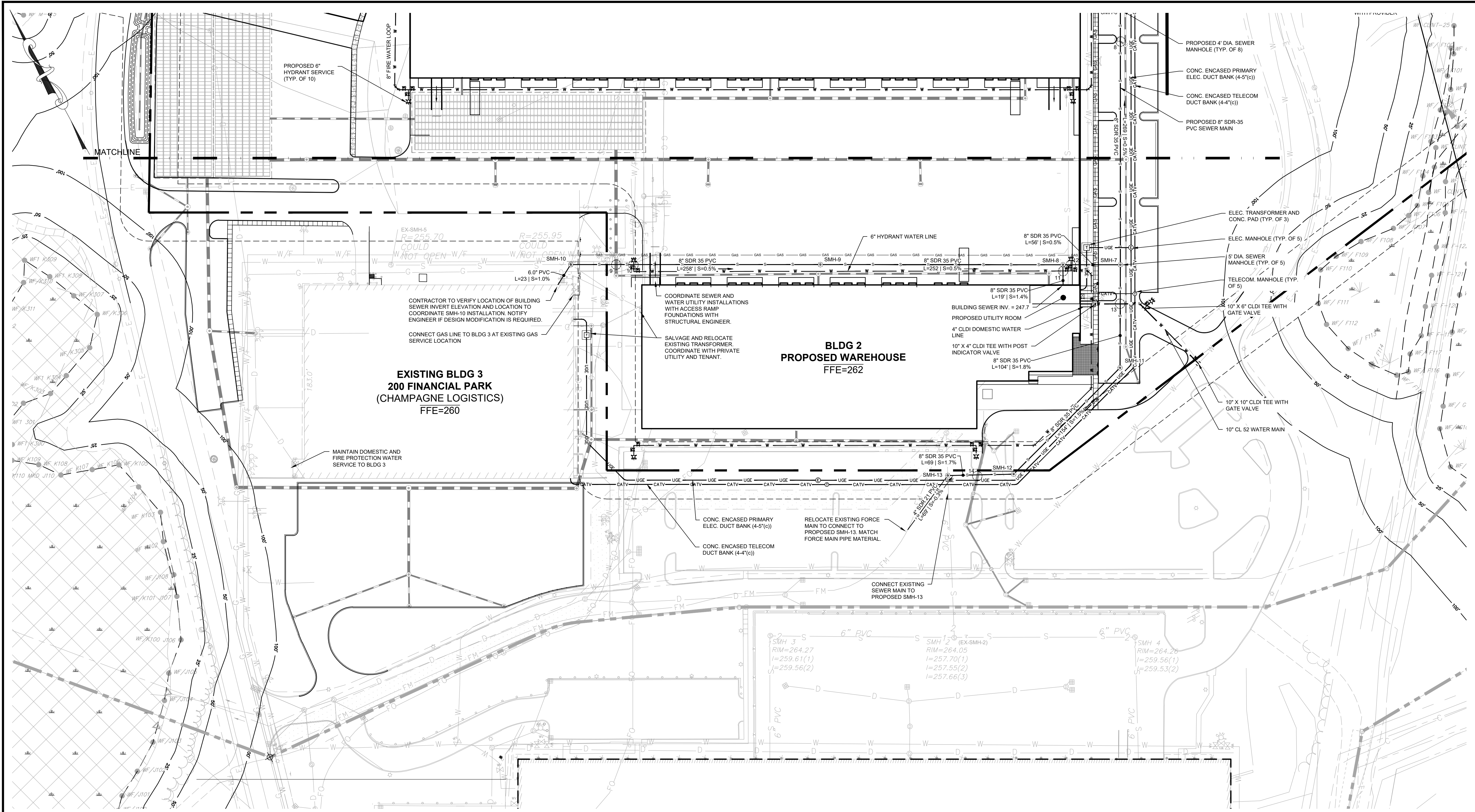
SITE UTILITY LEGEND	
	PROPOSED WATER SERVICE OR MAIN
	PROPOSED SEWER SERVICE OR MAIN
	PROPOSED CONC. ENCASED ELECTRIC DUCT BANK
	PROPOSED CONC. ENCASED TELECOM DUCT BANK
	PROPOSED GAS SERVICE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER GATE VALVE
	PROPOSED SEWER MANHOLE
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC MANHOLE (6'X8')
	PROPOSED TELECOM MANHOLE
	PROPOSED GAS GATE VALVE



REV	DATE	DESCRIPTION
1	07.17.2023	RESPONSE TO COMMENTS

ISSUE TYPE:
PERMIT SET
ISSUE DATE:
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22051
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UTILITY PLAN

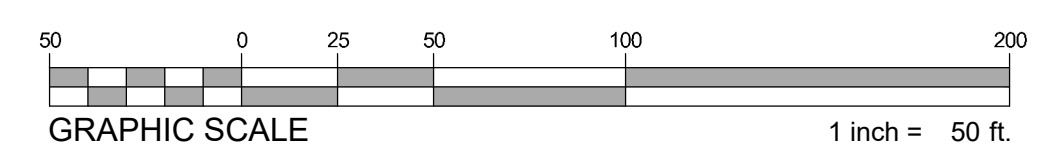


SEWER SCHEDULE	
STRUCTURE	ELEV.
SMH-6	RIM = 260.06 INV IN = 245.61 (SMH-7) INV OUT = 245.51 (SMH-5)
SMH-7	RIM = 262.19 INV IN = 247.84 (SMH-11) INV IN = 247.01 (SMH-8) INV OUT = 246.91 (SMH-6)
SMH-8	RIM = 257.99 INV IN = 247.41 (BUILDING 2) INV IN = 247.38 (SMH-8) INV OUT = 247.28 (SMH-7)
SMH-9	RIM = 257.53 INV IN = 248.84 (SMH-10) INV OUT = 248.54 (SMH-8)
SMH-10	RIM = 256.10 INV IN = 249.93 (EX-SMH-5) INV IN = 250.07 (BUILDING 3) INV OUT = 249.83 (SMH-9)

SEWER SCHEDULE	
STRUCTURE	ELEV.
SMH-11	RIM = 261.28 INV IN = 250.70 (SMH-12) INV OUT = 249.80 (SMH-7)
SMH-12	RIM = 261.97 INV IN = 253.80 (SMH-13) INV OUT = 253.00 (SMH-11)
SMH-13	RIM = 261.99 INV IN = 255.10 (EX. FORCE MAIN) INV IN = 255.90 (EX-SMH-2) INV OUT = 255.00 (SMH-12)

SANITARY/WATER AND SANITARY/STORMWATER CROSSINGS	
8	FG = 261.1± INVERT OF STORMWATER PIPE = 255.35± TOP OF SANITARY SEWER = 246.45± CLEARANCE = 8.90±
9	FG = 257.3± INVERT OF STORMWATER PIPE = 251.95± TOP OF SANITARY SEWER = 250.28± CLEARANCE = 1.67±
10	FG = 257.5± INVERT OF WATER PIPE = 253.5± TOP OF SANITARY SEWER = 250.19± CLEARANCE = 3.3±
11	FG = 257.8± INVERT OF WATER PIPE = 253.5± TOP OF SANITARY SEWER = 248.16± CLEARANCE = 5.3±
12	FG = 257.7± INVERT OF WATER PIPE = 253.5± TOP OF SANITARY SEWER = 247.91± CLEARANCE = 5.8±
13	FG = 261.4± INVERT OF WATER PIPE = 258.0± TOP OF SANITARY SEWER = 249.3± CLEARANCE = 8.7±
14	FG = 259.0± INVERT OF SANITARY SEWER = 254.46± TOP OF STORMWATER PIPE = 253.64± CLEARANCE = 0.82±

SITE UTILITY LEGEND	
	PROPOSED WATER SERVICE OR MAIN
	PROPOSED FORCE MAIN
	PROPOSED SEWER SERVICE OR MAIN
	PROPOSED CONC. ENCASED ELECTRIC DUCT BANK
	PROPOSED CONC. ENCASED TELECOM DUCT BANK
	PROPOSED GAS SERVICE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER GATE VALVE
	PROPOSED SEWER MANHOLE
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC MANHOLE (6'x8')
	PROPOSED TELECOM MANHOLE
	PROPOSED GAS GATE VALVE



REV	DATE	RESPONSE TO COMMENTS
1	07.17.2023	RESPONSE TO COMMENTS

ISSUE TYPE:
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ISSUE DATE:
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PROJECT NUMBER:
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CHECKED BY: DJH
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UTILITY PLAN

SHEET NUMBER:
C501
ISSUED FOR : PERMIT

REV	DATE	DESCRIPTION
1	07.17.2023	RESPONSE TO COMMENTS

ISSUE TYPE:
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ISSUE DATE:
05/11/2023
PROJECT NUMBER:
22051

DRAWN BY: JMP
CHECKED BY: DH

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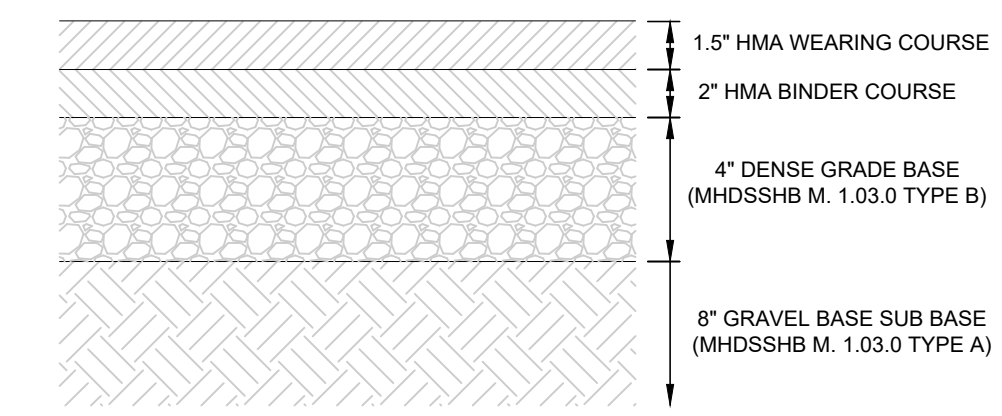
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DETAIL SHEET

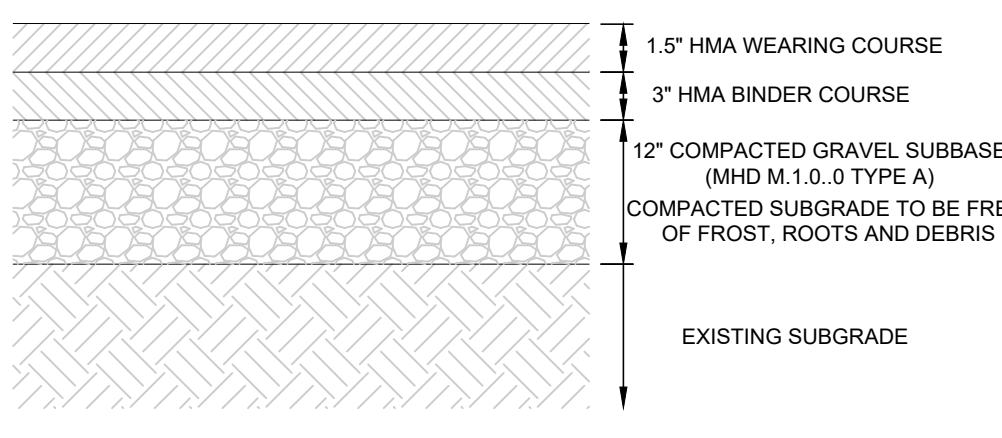
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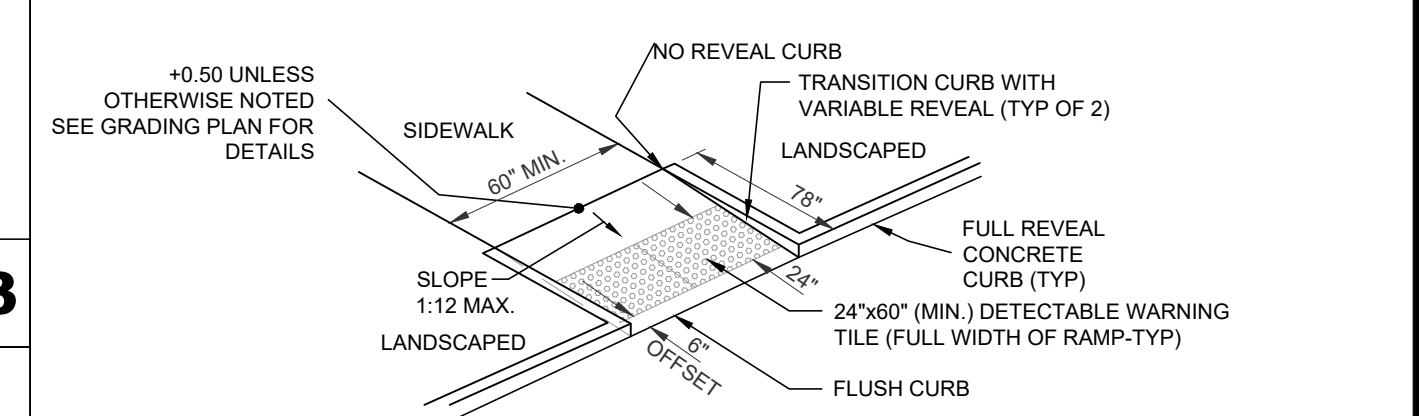
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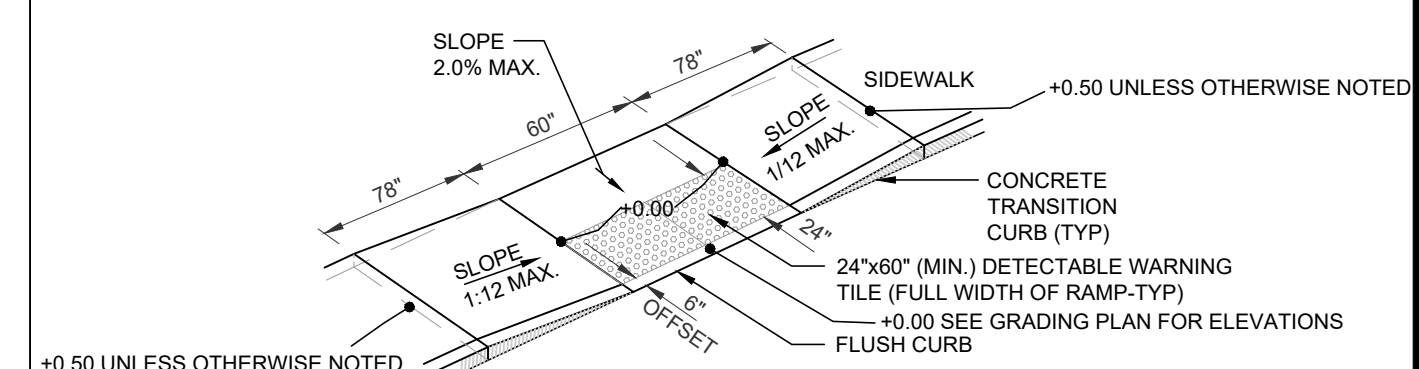
BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE C2



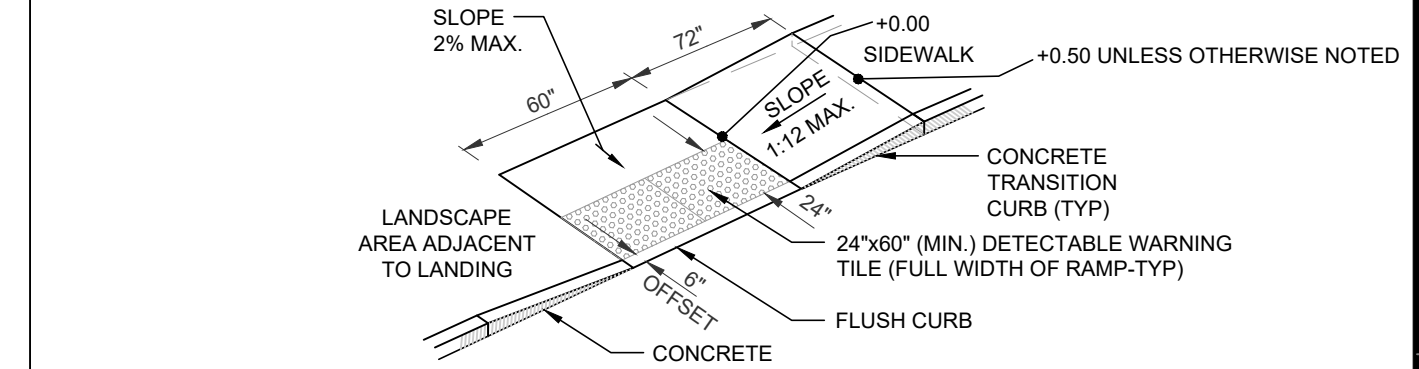
HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE C1



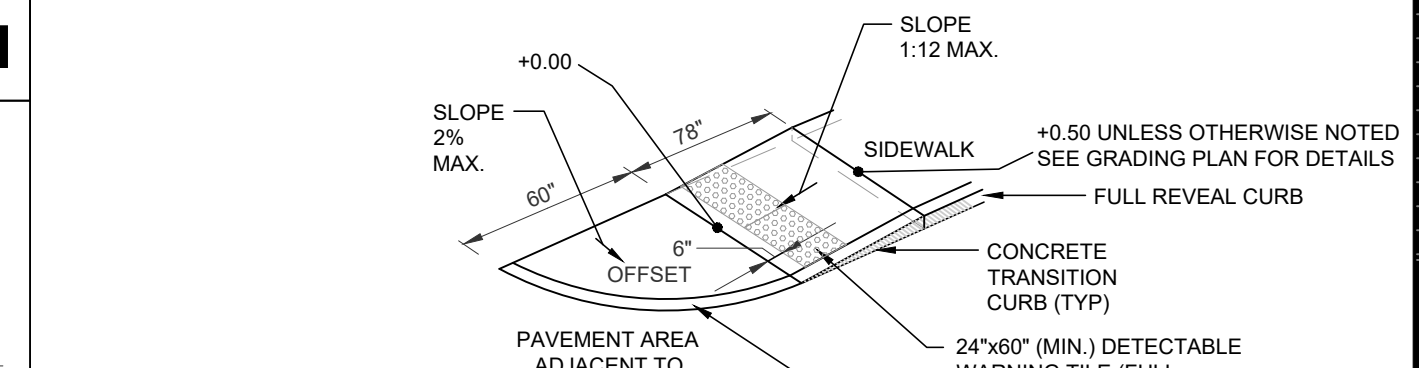
TYPE 1: RETURNED CURB
NOT TO SCALE



TYPE 2: DUAL SIDED
NOT TO SCALE



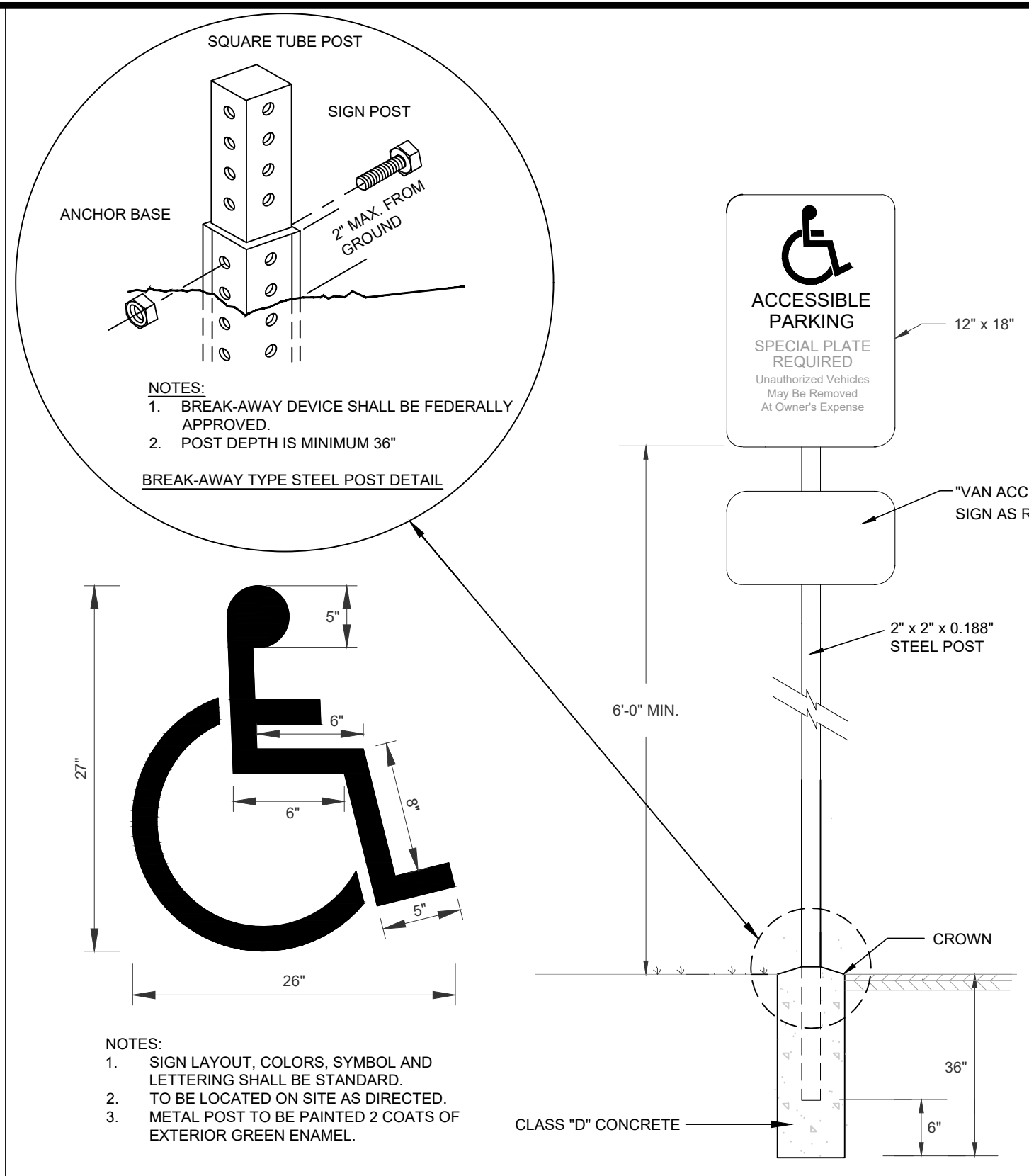
TYPE 3: SINGLE SIDED A
NOT TO SCALE



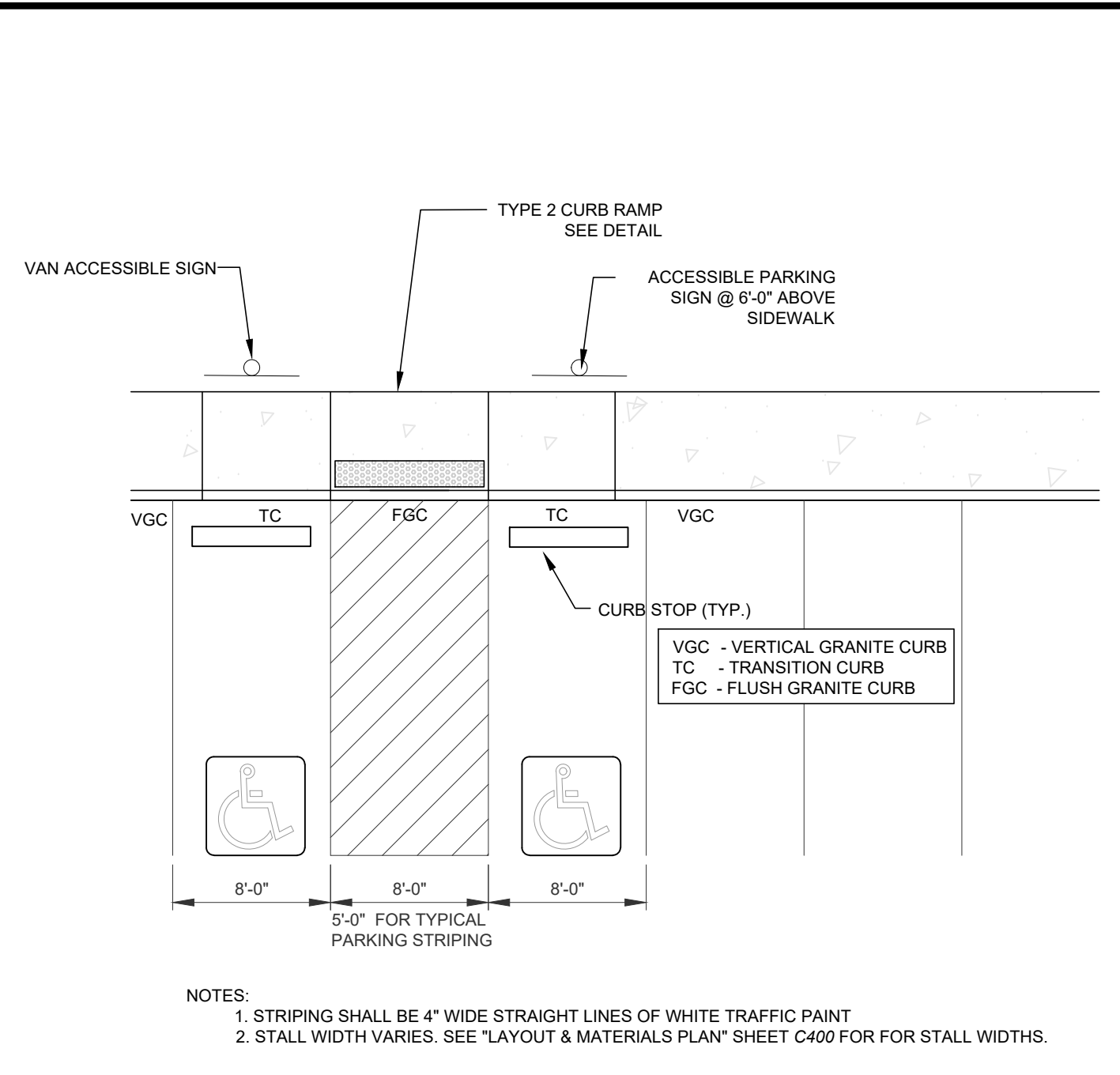
TYPE 4: SINGLE SIDED B
NOT TO SCALE

- IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 2.0% EXCEPT THE RAMP AREA PROPER WHICH IS EXEMPT.
- AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 36\"/>

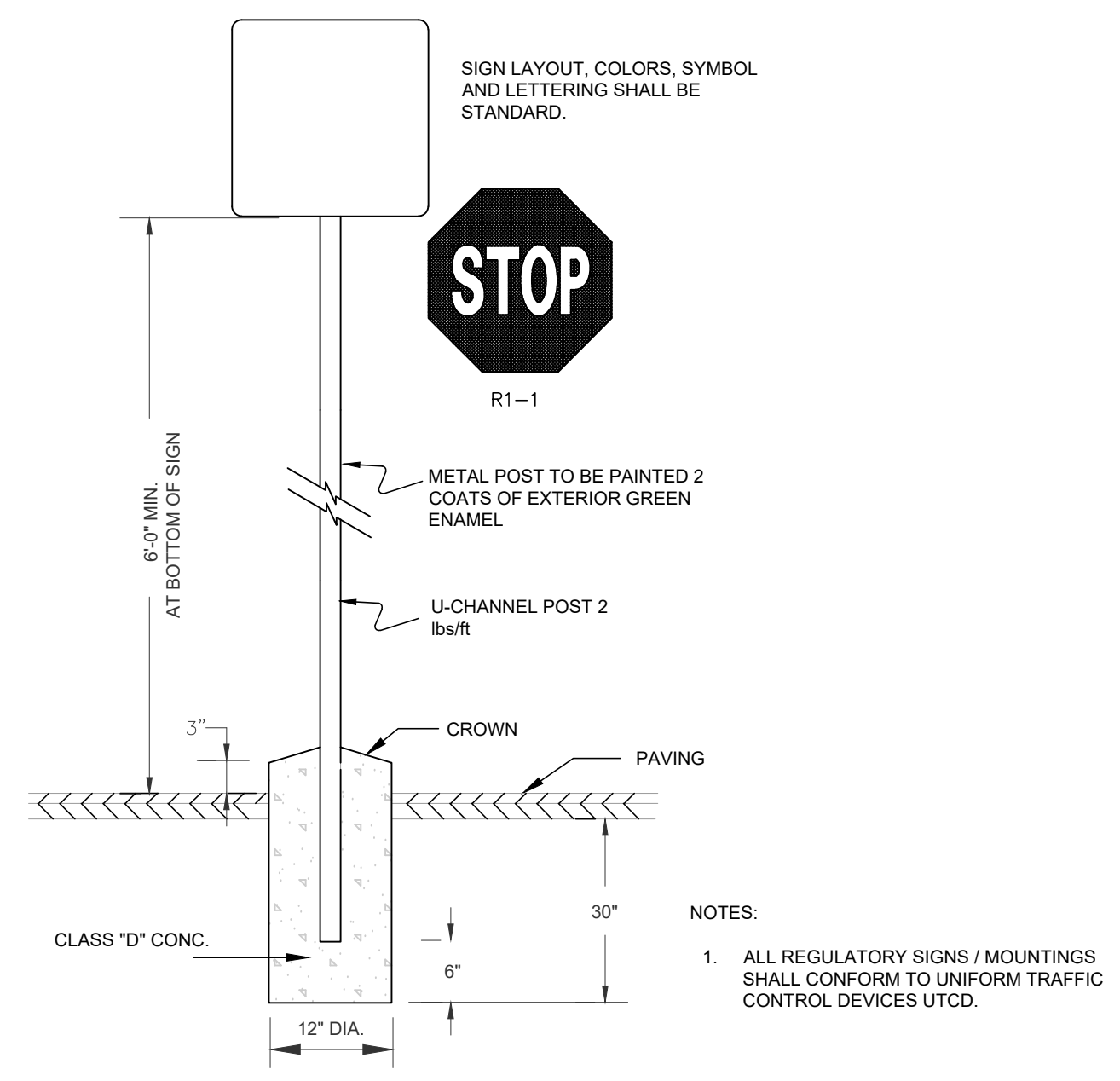
CURB RAMPS
NOT TO SCALE A1



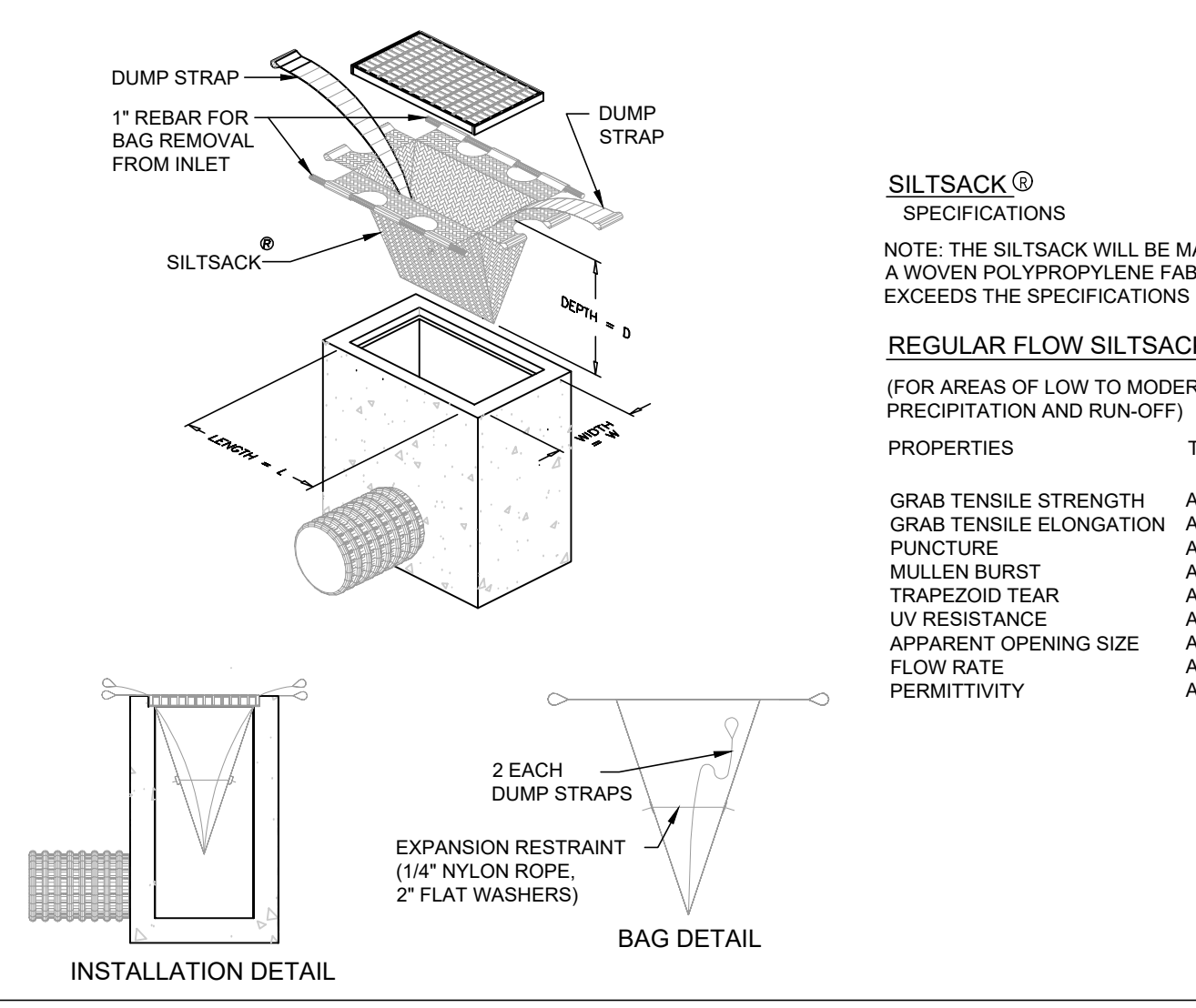
ACCESSIBLE PARKING SIGN AND PAVEMENT MARKING
NOT TO SCALE C3



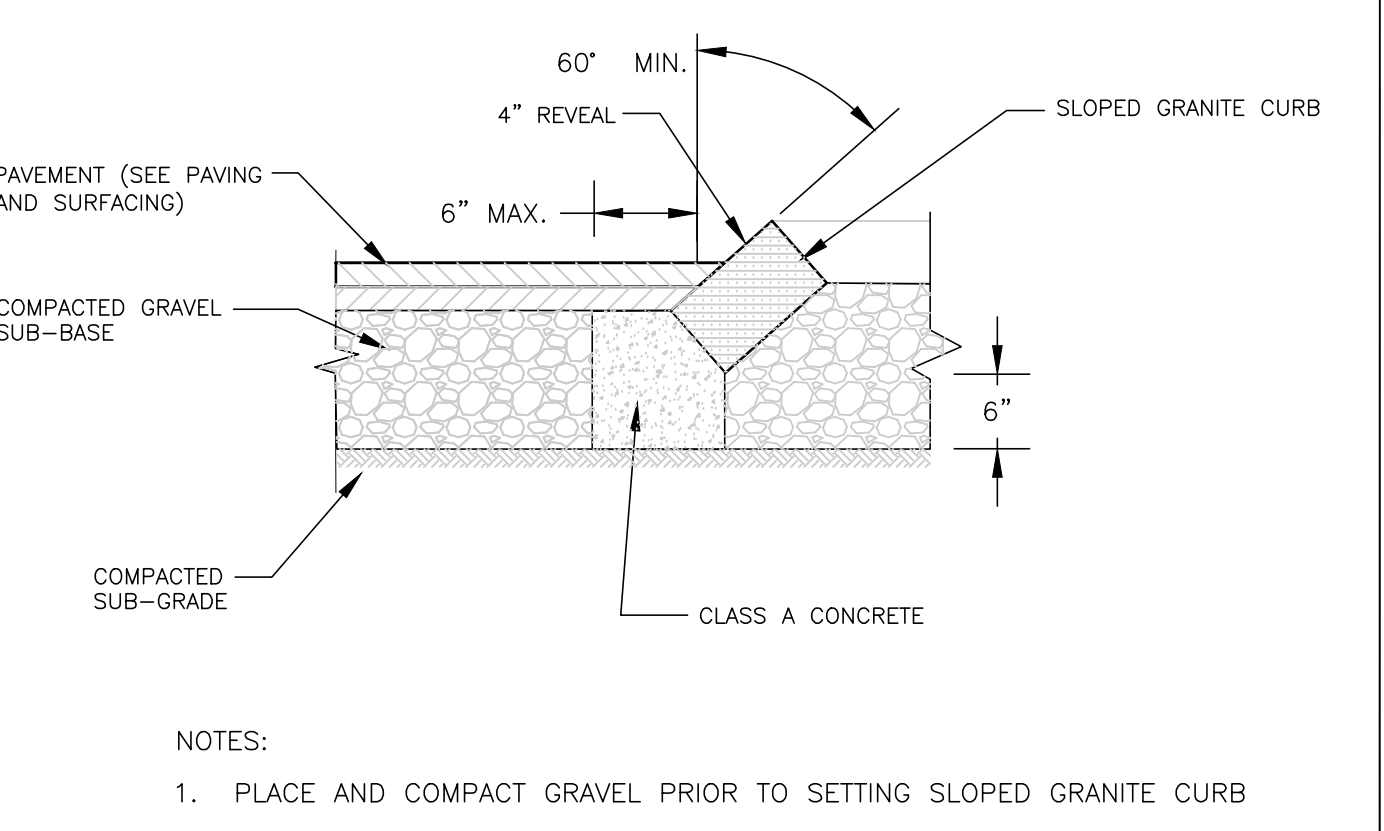
TYPICAL ACCESSIBLE VAN PARKING STRIPING
NOT TO SCALE C4



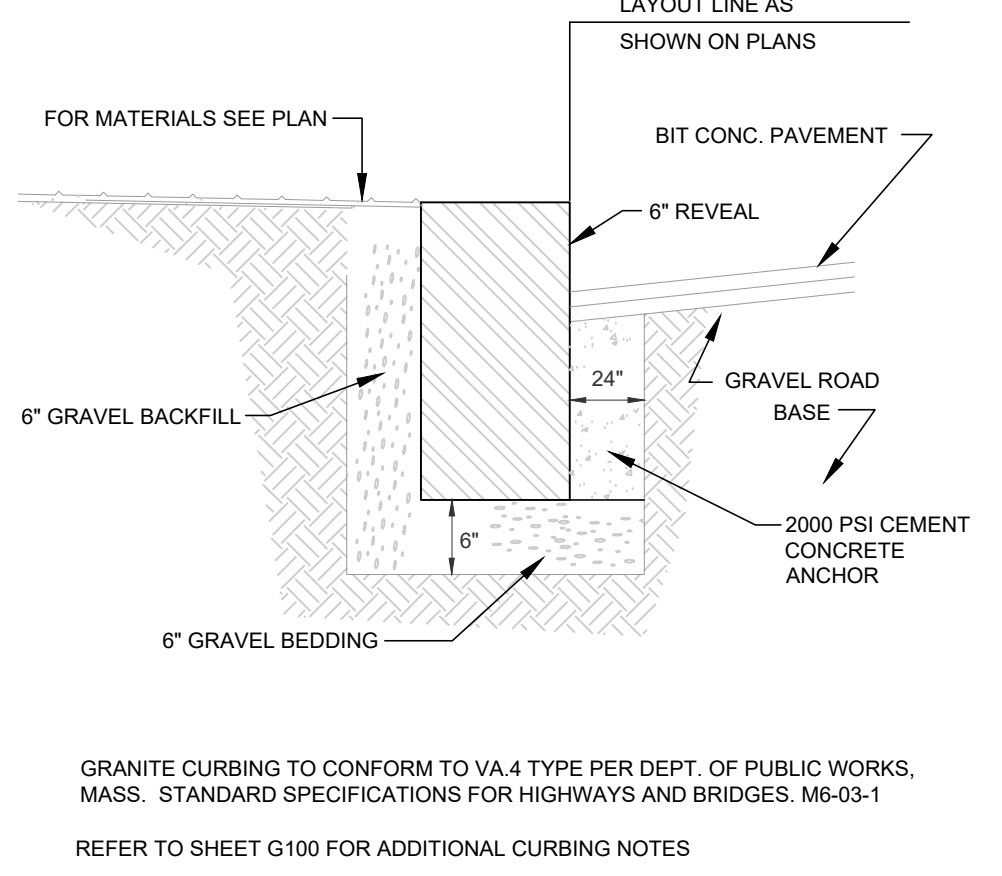
TYPICAL SIGN DETAIL
NOT TO SCALE C5



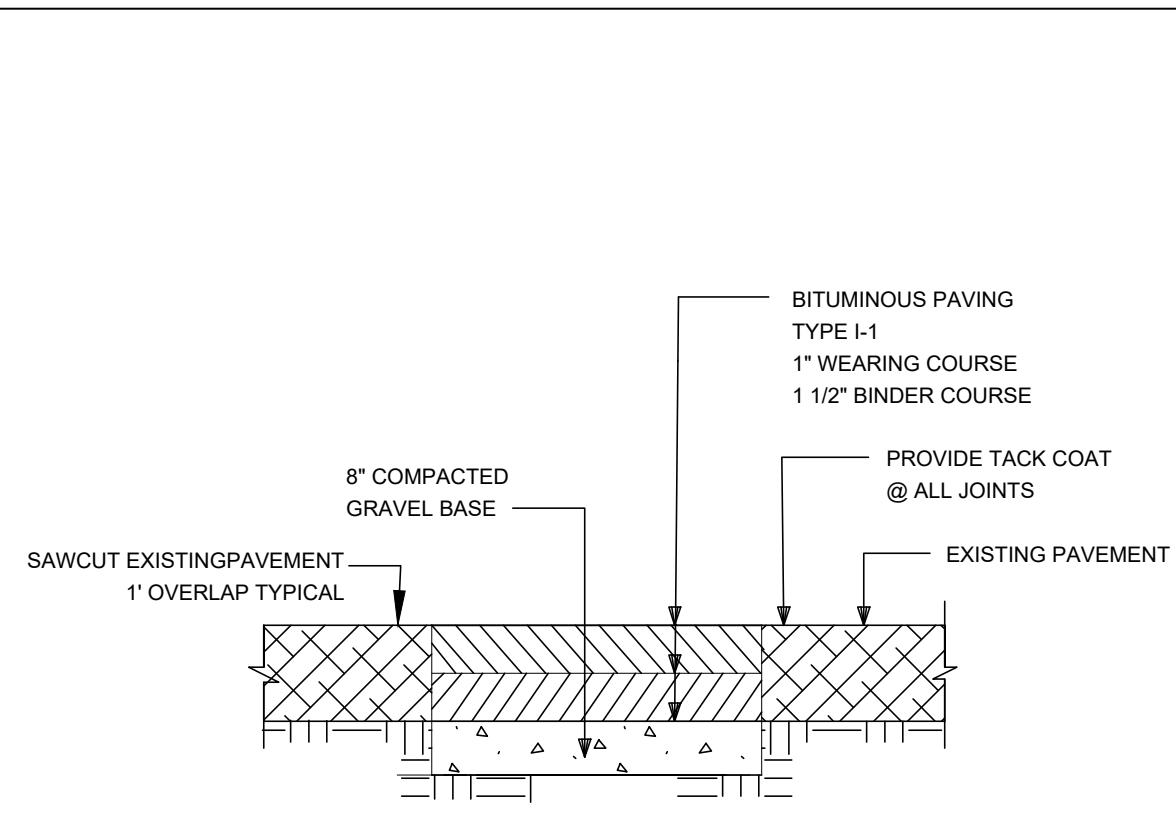
SILTSACK INLET PROTECTION DEVICE
NOT TO SCALE B3



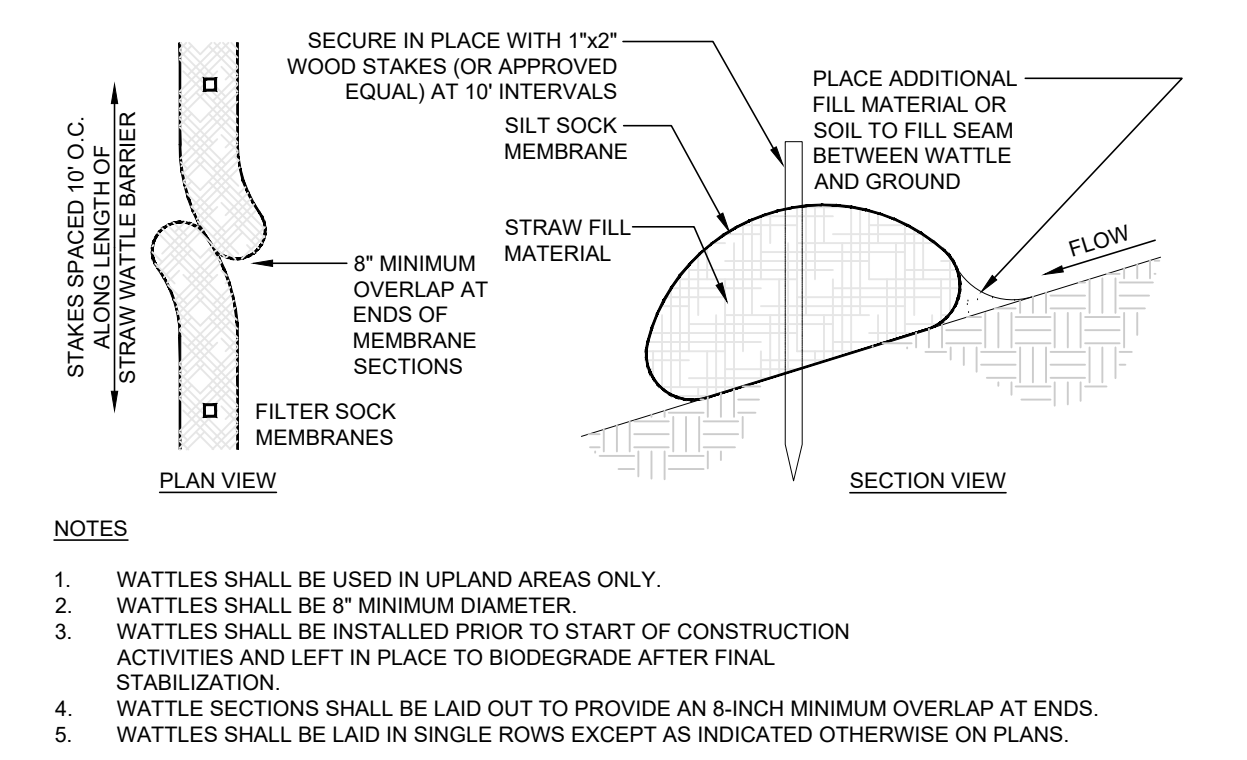
SLOPED GRANITE CURB
NOT TO SCALE B2



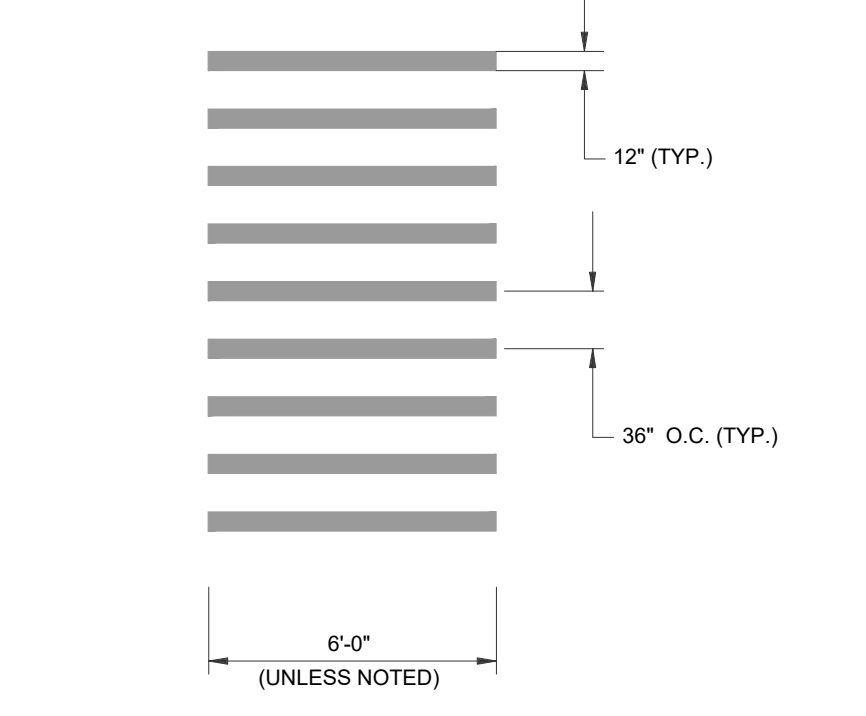
VERTICAL GRANITE CURB
NOT TO SCALE B1



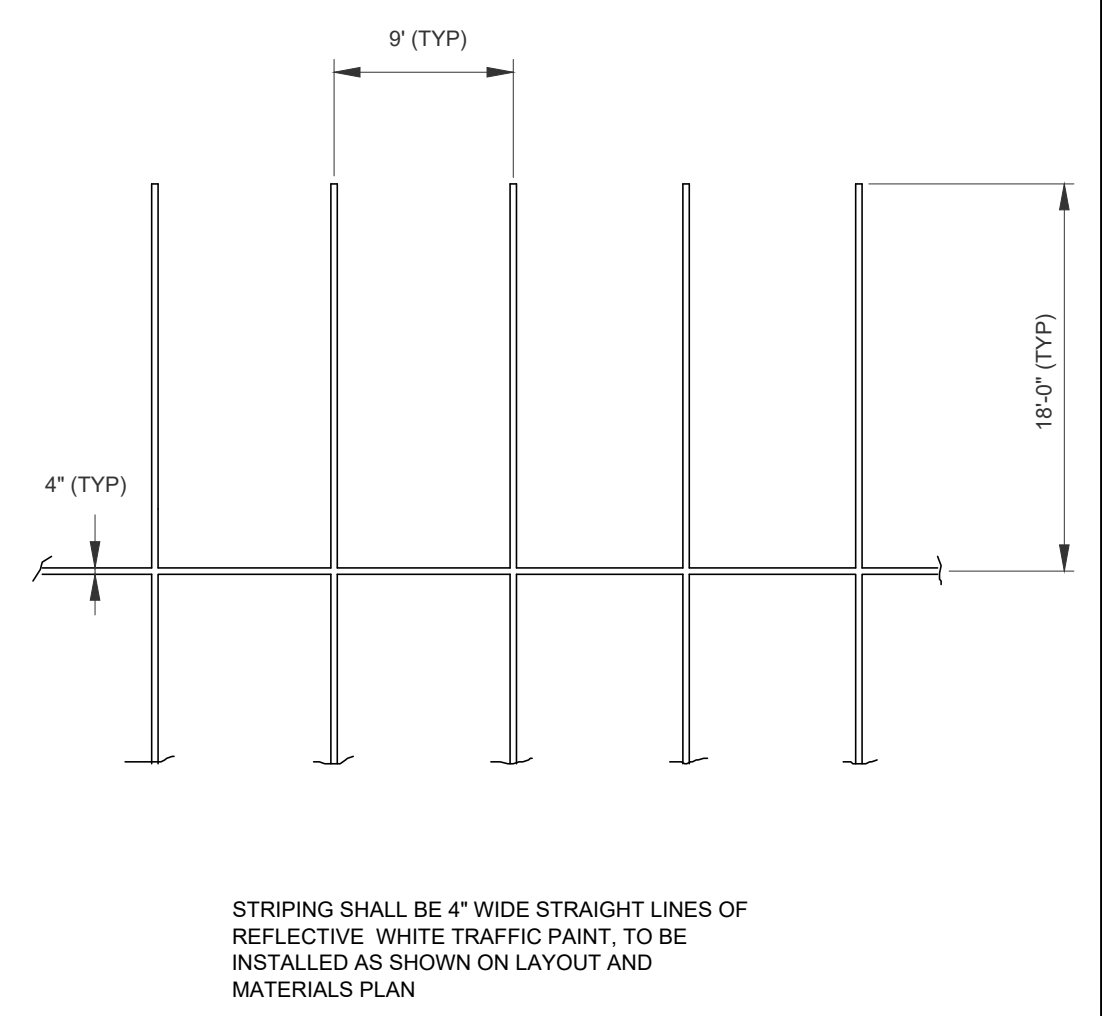
PAVEMENT MATCH SAWCUT
NOT TO SCALE A5



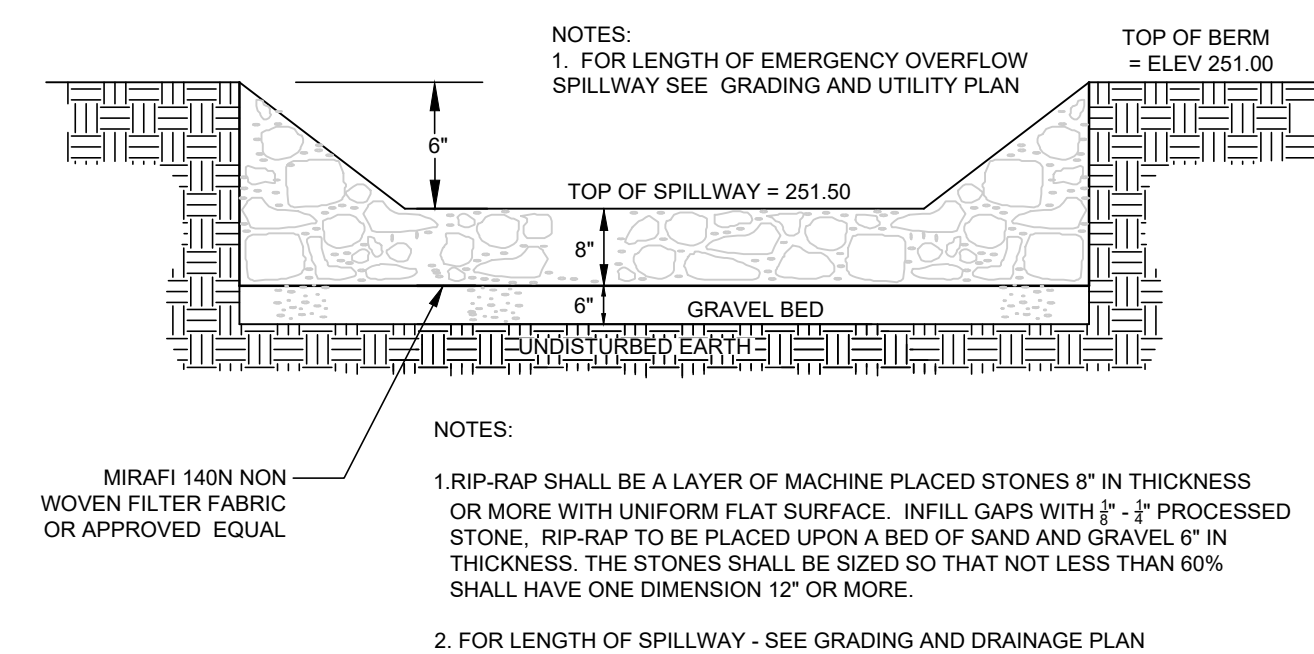
STRAW WATTLE EROSION CONTROL BARRIER
NOT TO SCALE A4



STRIPED PEDESTRIAN CROSSWALK
NOT TO SCALE A3



TYPICAL PARKING SPACE STRIPING
NOT TO SCALE A2



SPILLWAY BETWEEN FOREBAY AND RAINGARDEN
 NOT TO SCALE **C3**

BACKFILL MATERIAL SHALL BE WELL GRADED WITHIN THE SPECIFIED LIMITS. GRADATION OF MATERIALS SHALL BE DETERMINED IN ACCORDANCE WITH ASTM C 136.

GRANULAR FILL (FOR OVER-EXCAVATION) SHALL BE SAND-GRAVEL MIXTURE, GRADED WITHIN THE FOLLOWING LIMITS:

SIEVE SIZE	% PASSING BY WEIGHT
1-1/2 IN.	100
NO. 4	20-60
NO. 10	10-35
NO. 200	0-8

GRAVEL BEDDING (FOR UTILITIES) SHALL BE GRAVEL, CRUSHED QUARRY ROCK OR CRUSHED GRAVEL, FROM OFF-SITE SOURCES GRADED WITHIN THE FOLLOWING LIMITS:

SIEVE SIZE	% PASSING BY WEIGHT
1 IN.	100
3/4 IN.	90-100
3/8 IN.	20-55
NO. 4	0-10
NO. 8	0-5

STONE (FOR UTILITIES) SHALL BE A DURABLE, CRUSHED STONE OR GRAVEL FROM OFF-SITE SOURCES, GRADED WITHIN THE FOLLOWING LIMITS:

SIEVE SIZE	% PASSING BY WEIGHT
2-1/2 IN.	100
2 IN.	60-90
1-1/4 IN.	25-50
3/4 IN.	0

SELECT FILL SHALL BE A COARSE GRANULAR MATERIAL CONSISTING OF HARD, DURABLE, ANGULAR MATERIAL, GRADED WITHIN THE FOLLOWING LIMITS. MATERIAL PASSING THE NO. 40 SIEVE SHALL HAVE A PLASTICITY INDEX OF NOT MORE THAN 10 AND A LIQUID LIMIT NOT TO EXCEED 35%.

SIEVE SIZE	% PASSING BY WEIGHT
4 IN.	100
1 IN.	60-100
NO. 4	30-80
NO. 40	5-30
NO. 200	0-8

COMMON FILL (IN LANDSCAPED AREAS) SHALL BE BANK RUN SAND, GRAVEL, OR MIXTURE THEREOF, GRADED WITHIN THE FOLLOWING LIMITS:

SIEVE SIZE	% PASSING BY WEIGHT
6 IN.	100
NO. 4	30-95
NO. 200	0-15

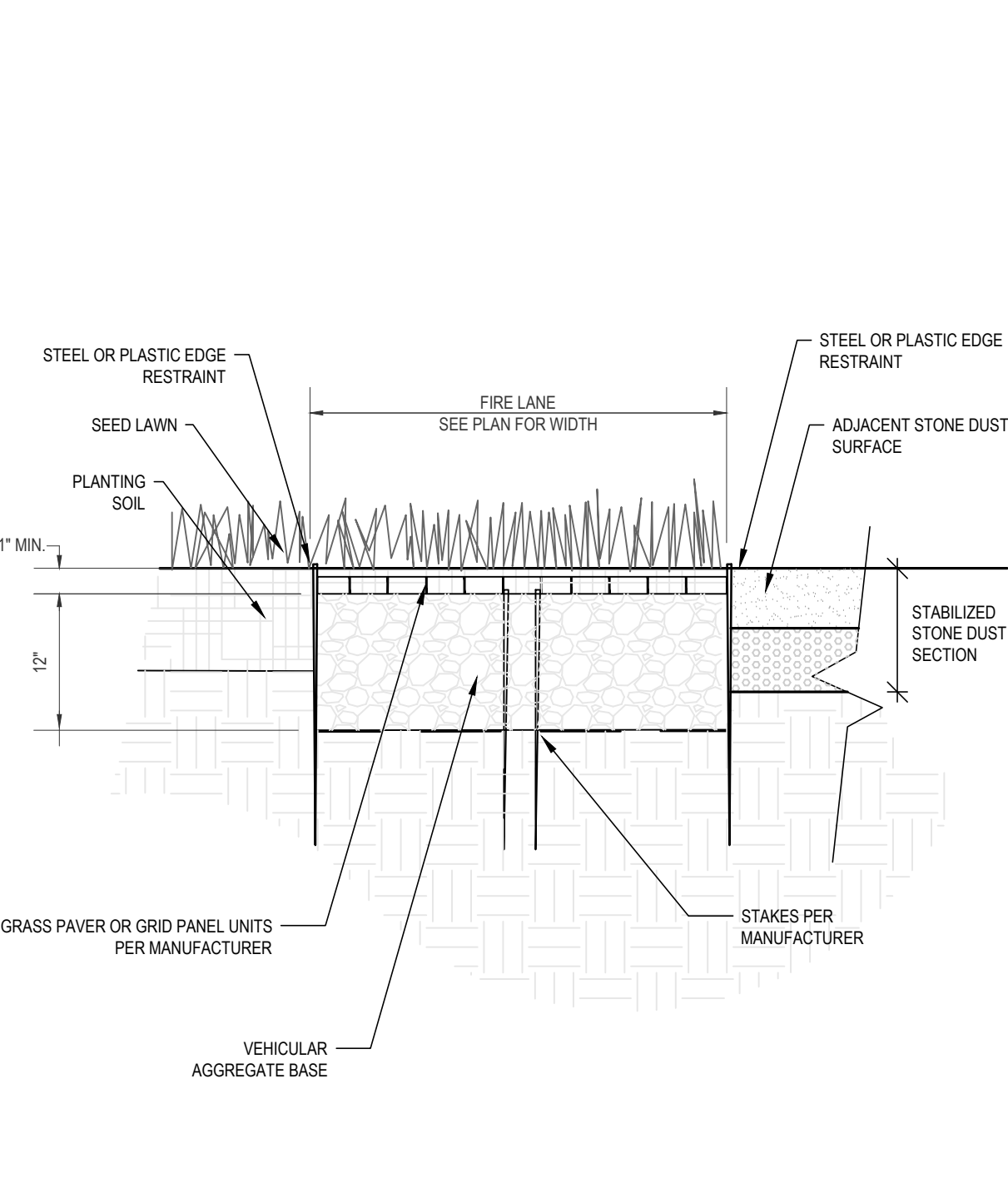
DENSE GRADED CRUSHED STONE SHALL CONSIST OF CRUSHER-RUN COARSE AGGREGATES OF CRUSHED STONE OR GRAVEL AND FINE AGGREGATES OF NATURAL SAND OR STONE SCREENINGS, UNIFORMLY PRE-MIXED WITH A PREDETERMINED QUANTITY OF WATER. COARSE AGGREGATE SHALL HAVE A PERCENTAGE OF WEAR OF NOT MORE THAN 45 BY THE LOS ANGELES TEST.

THE COMPOSITE MATERIAL SHALL BE FREE FROM CLAY, LOAM AND ALL OTHER PLASTIC MATERIALS, AND SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

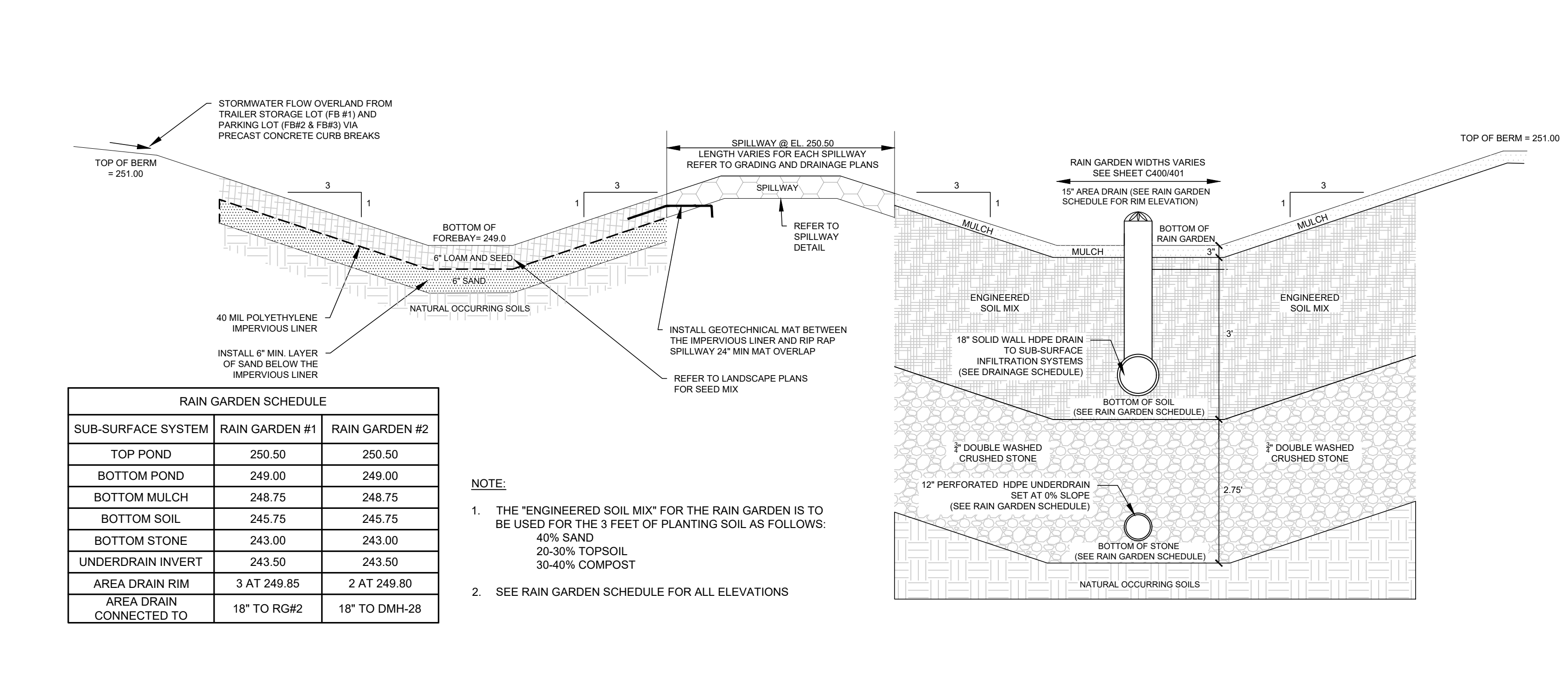
SIEVE DESIGNATION	PERCENTAGE BY MASS PASSING SQUARE MESH SIEVES
2 inches	100
1 1/2 inches	70-100
3/4 inch	50-85
No. 4	30-55
No. 50	8-24
No. 200	3-10

SAMPLING AND TESTING SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARD AASHTO METHODS:
 • SIEVE ANALYSIS: AASHTO T27
 • PASSING NO. 200 SIEVE: AASHTO T11

BACKFILL MATERIAL GRADATION REQUIREMENTS
 NOT TO SCALE **B4**



REINFORCED TURF FIRE LANE SURFACE
 NOT TO SCALE **C2**



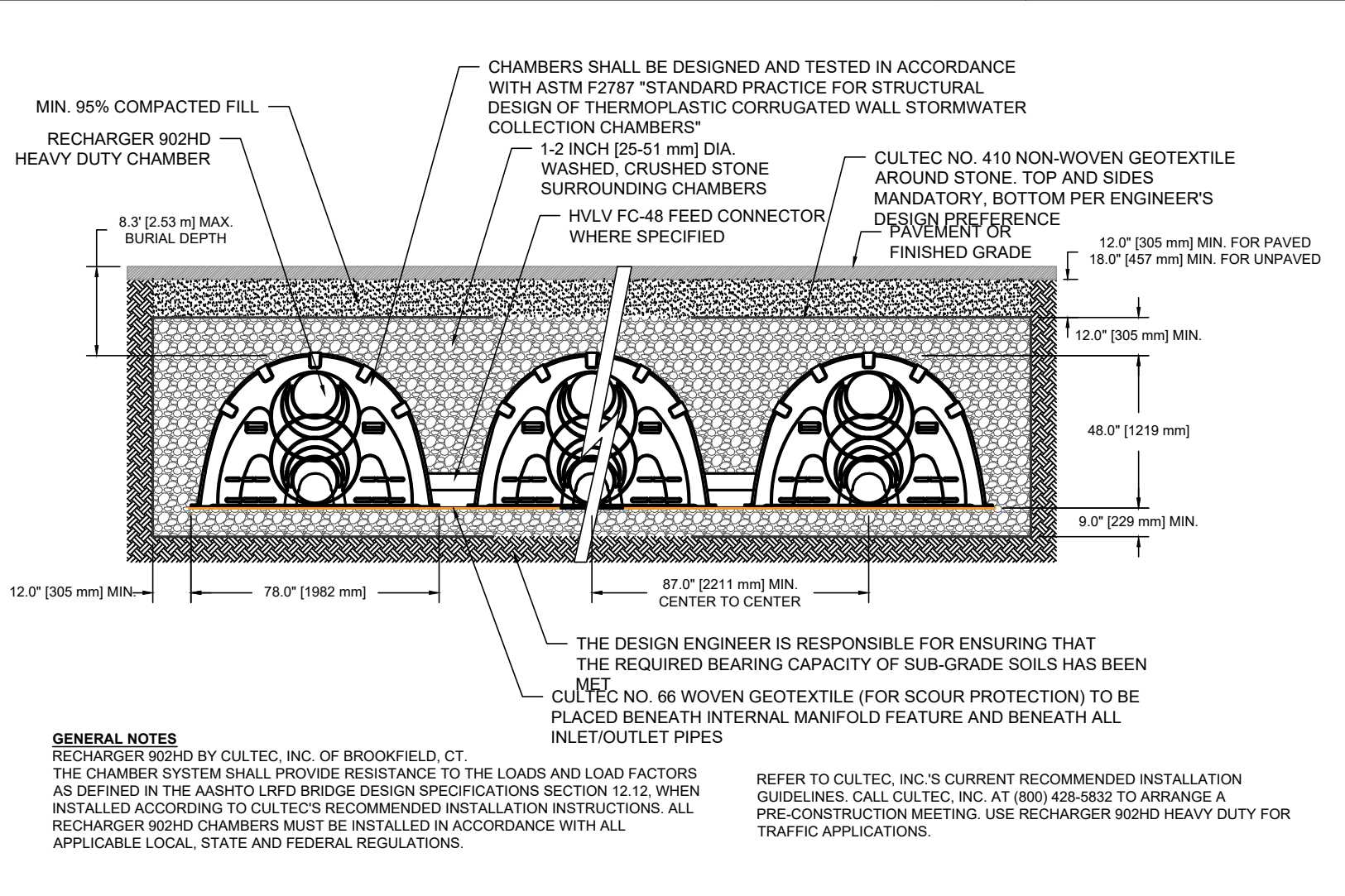
RAINGARDEN SCHEDULE

SUB-SURFACE SYSTEM	RAINGARDEN #1	RAINGARDEN #2
TOP POND	250.50	250.50
BOTTOM POND	249.00	249.00
BOTTOM MULCH	248.75	248.75
BOTTOM SOIL	245.75	245.75
BOTTOM STONE	243.00	243.00
UNDERDRAIN INVERT	243.50	243.50
AREA DRAIN RIM	3 AT 249.85	2 AT 249.80
AREA DRAIN CONNECTED TO	18" TO RG#2	18" TO DMH-28

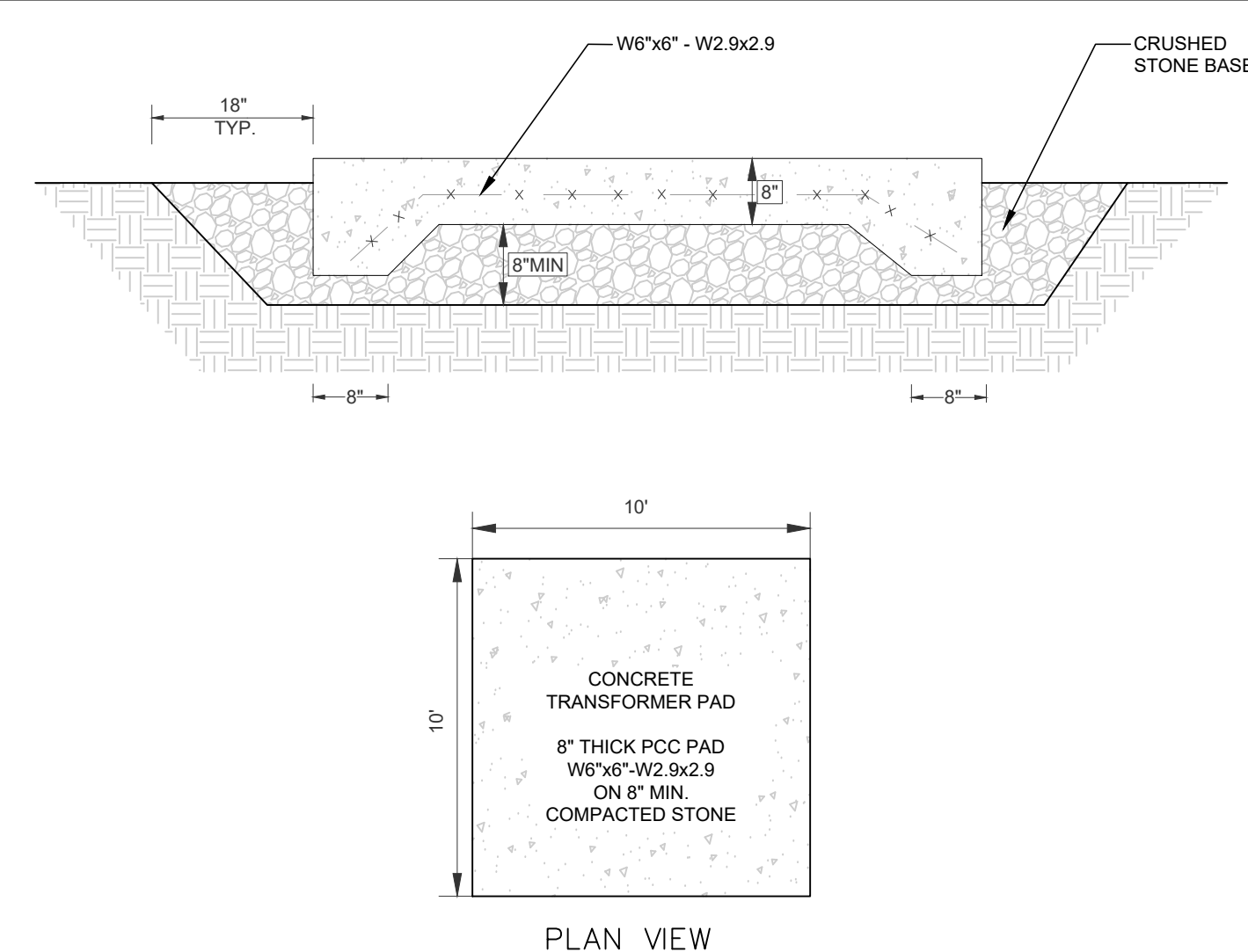
NOTE:
 1. THE "ENGINEERED SOIL MIX" FOR THE RAINGARDEN IS TO BE USED FOR THE 3 FEET OF PLANTING SOIL AS FOLLOWS:
 40% SAND
 20-30% TOPSOIL
 30-40% COMPOST

2. SEE RAINGARDEN SCHEDULE FOR ALL ELEVATIONS

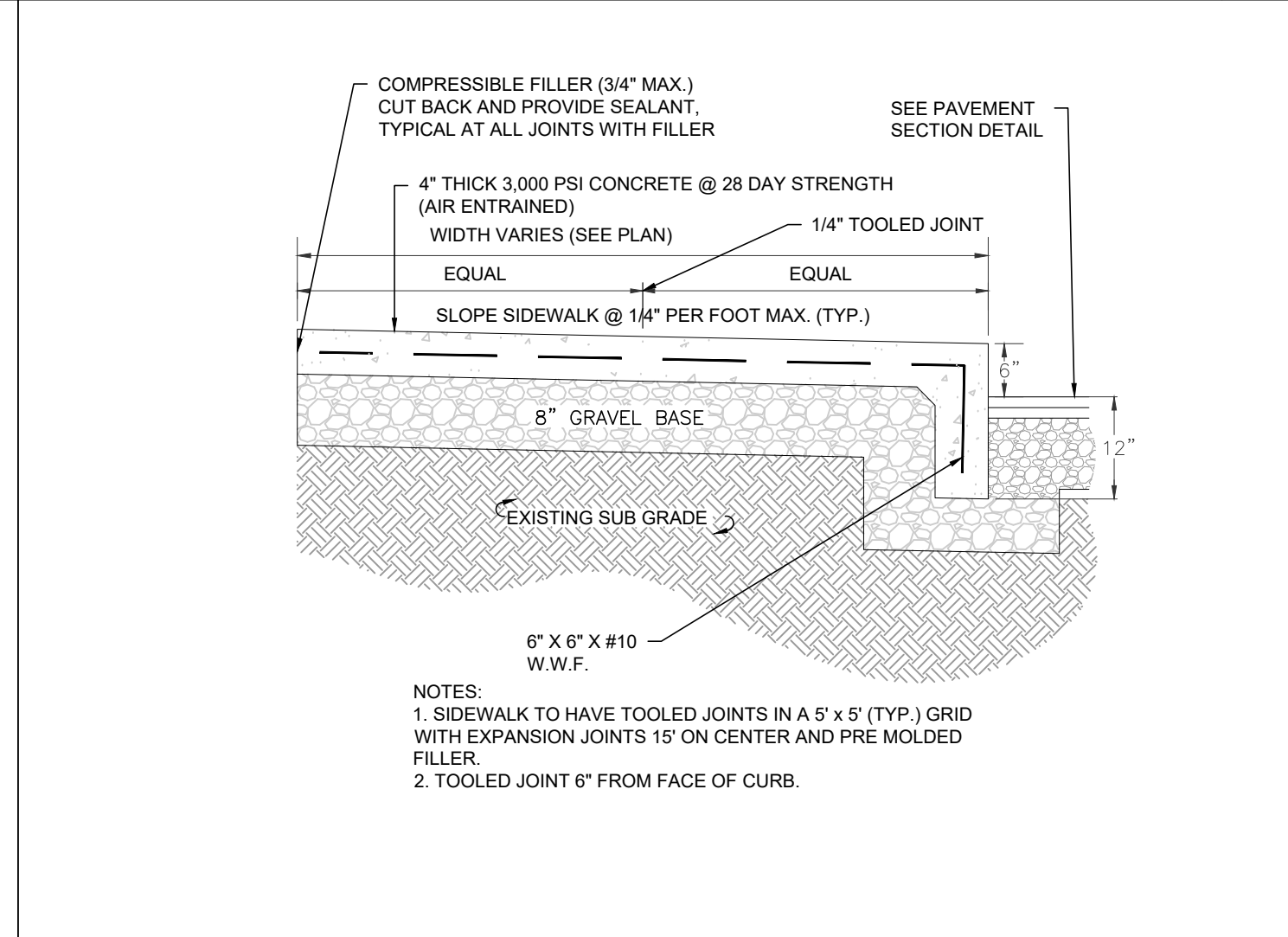
RAINGARDEN SECTION
 NOT TO SCALE **C1**



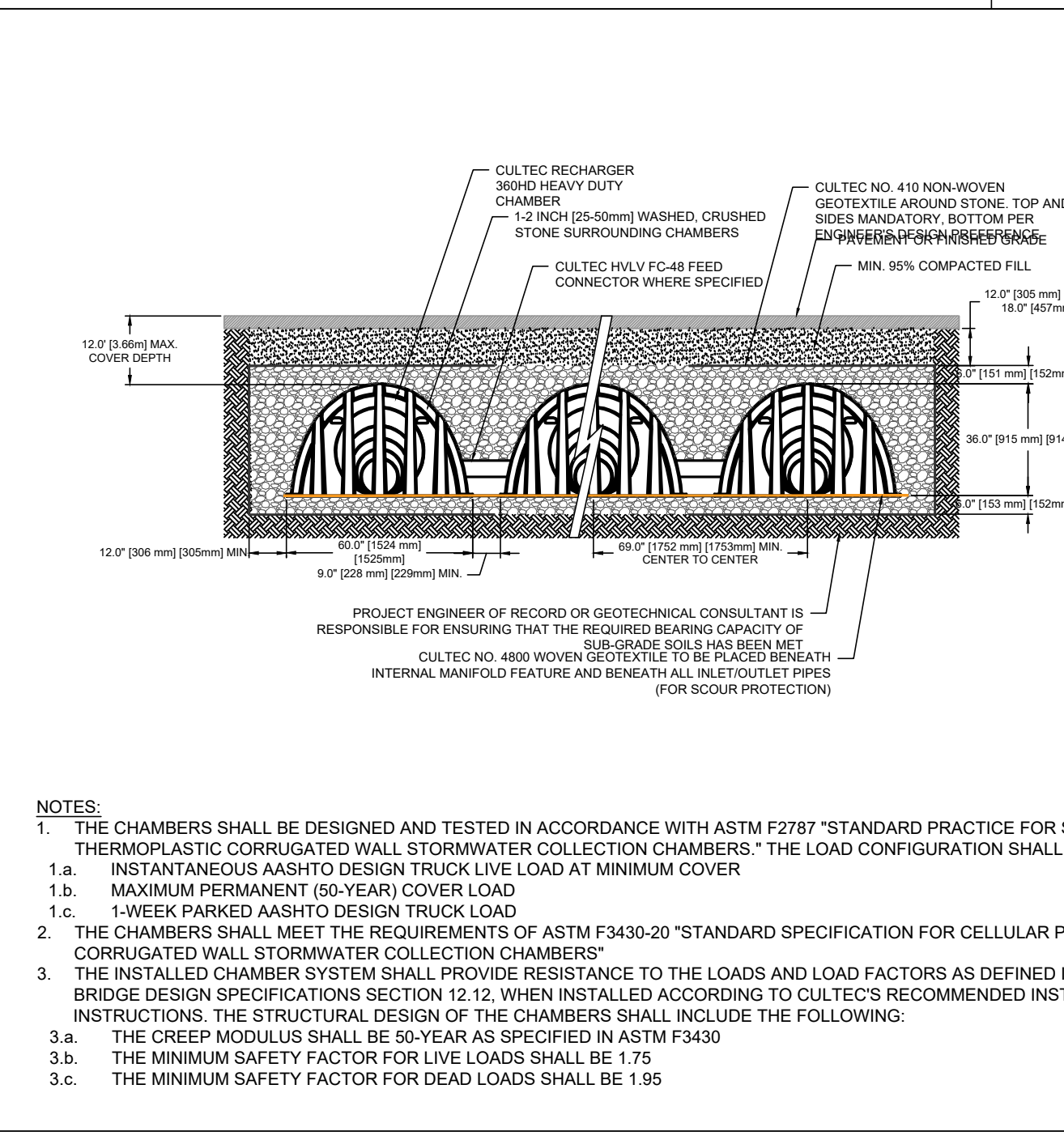
CULTEC RECHARGER 902HD SUBSURFACE INFILTRATION SYSTEM
 NOT TO SCALE **B3**



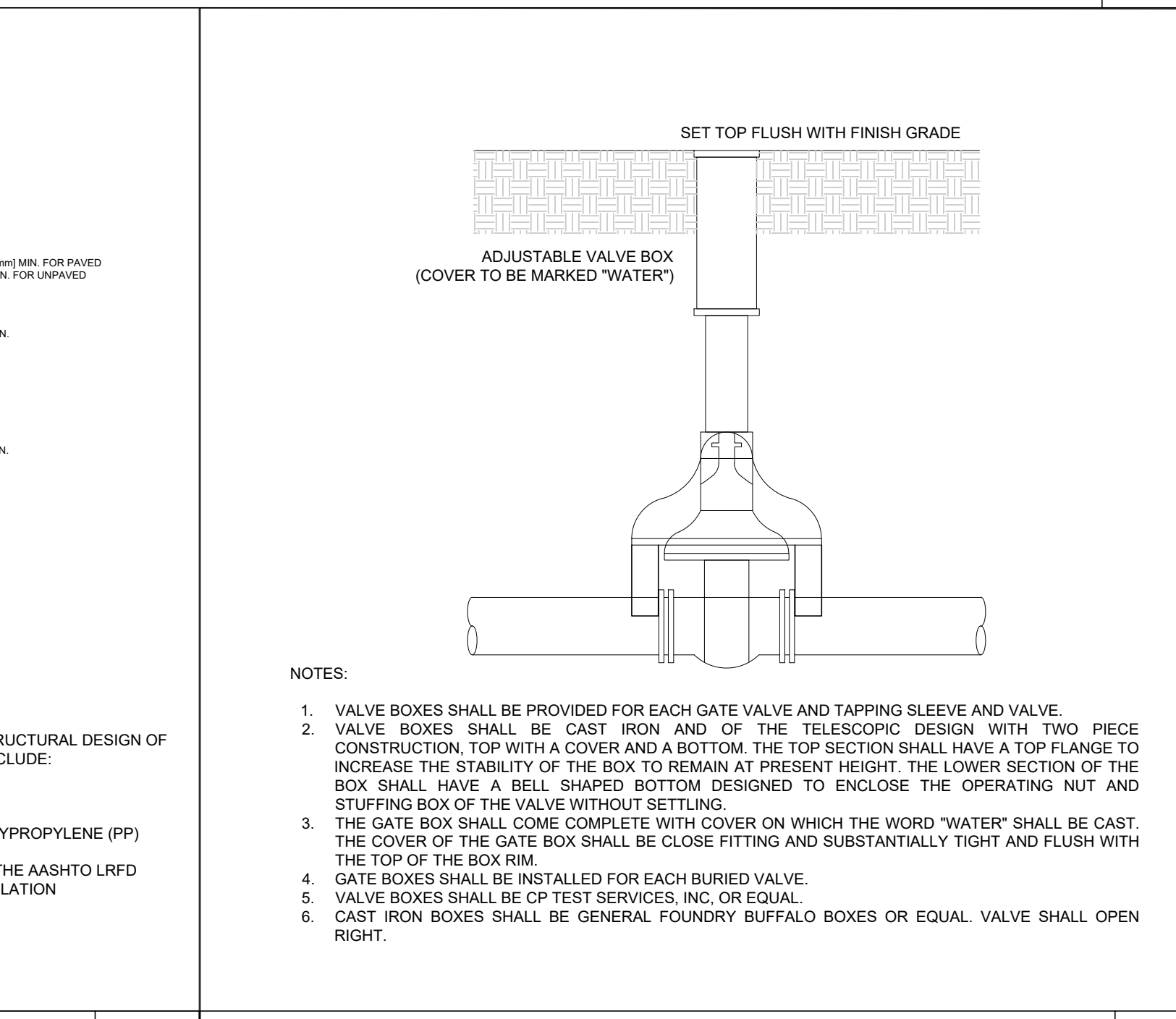
TYPICAL ELECTRICAL TRANSFORMER PAD
 NOT TO SCALE **B2**



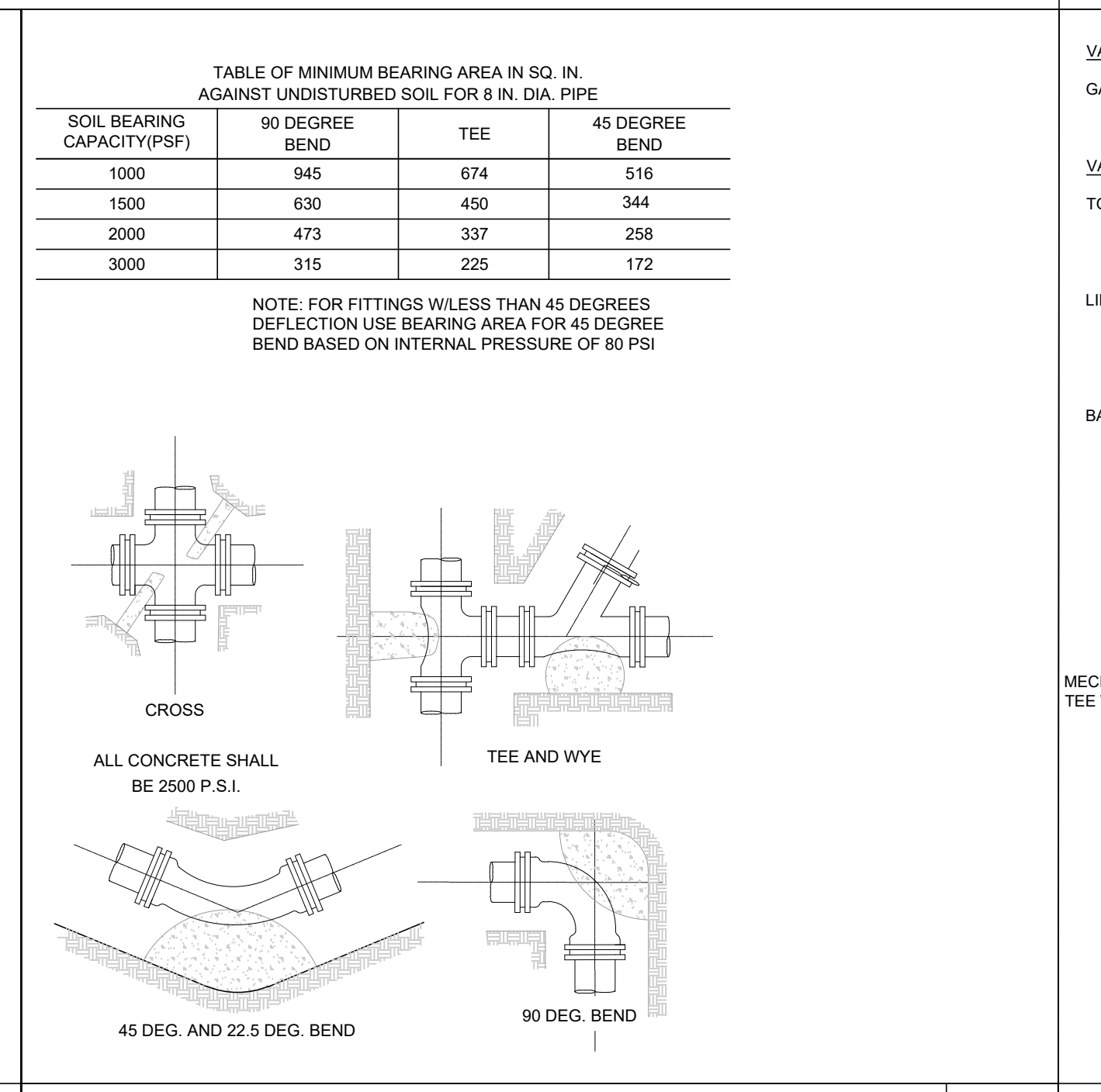
MONOLITHIC CONCRETE SIDEWALK
 NOT TO SCALE **B1**



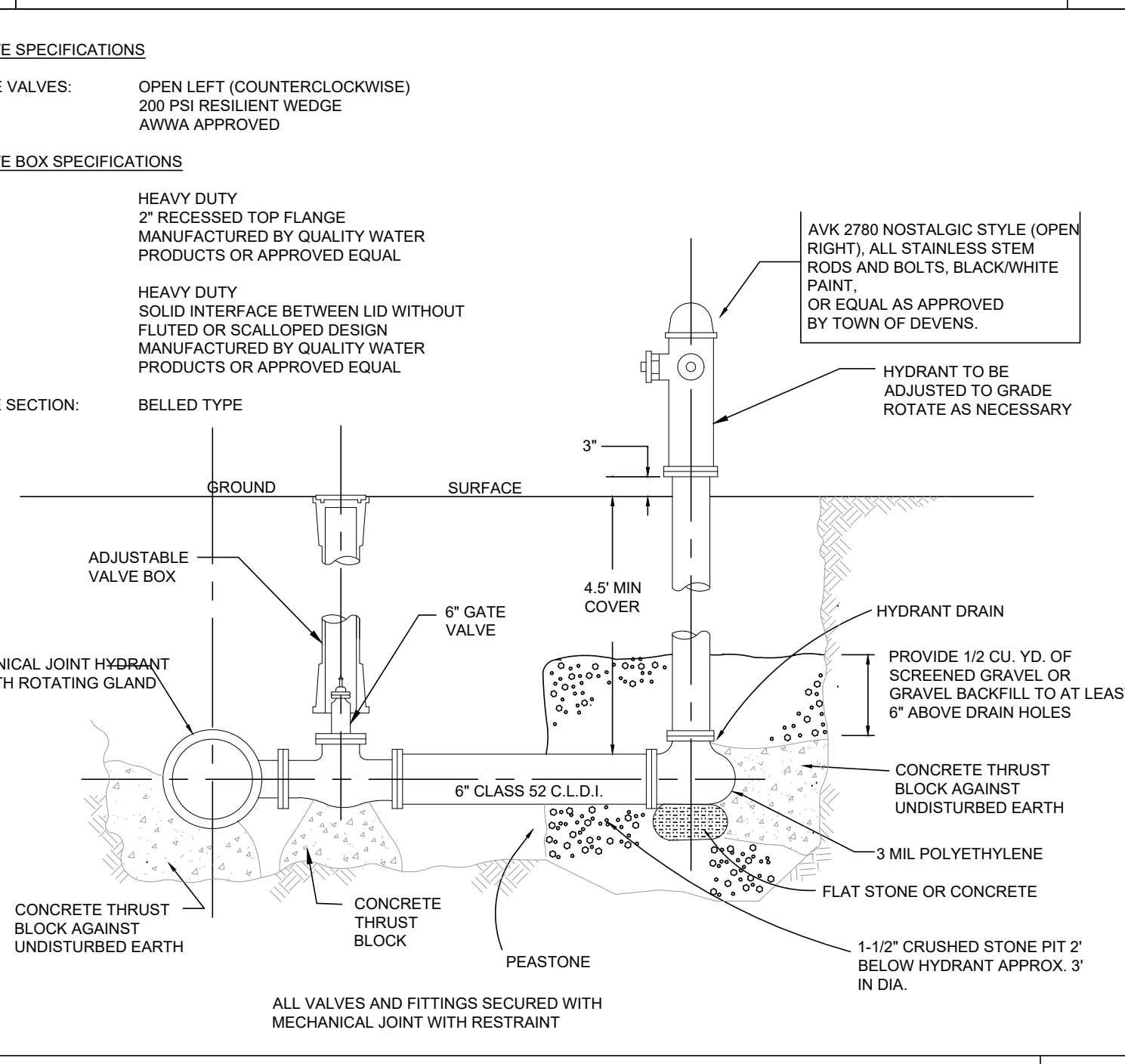
CULTEC RECHARGE 360HD SUBSURFACE INFILTRATION SYSTEM
 NOT TO SCALE **A4**



WATER GATE BOX
 NOT TO SCALE **A3**



WATER THRUST BLOCK
 NOT TO SCALE **A2**



FIRE HYDRANT & GATE VALVE
 NOT TO SCALE **A1**

WAREHOUSE / INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
 FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	DESCRIPTION
1	07.17.2023	RESPONSE TO COMMENTS

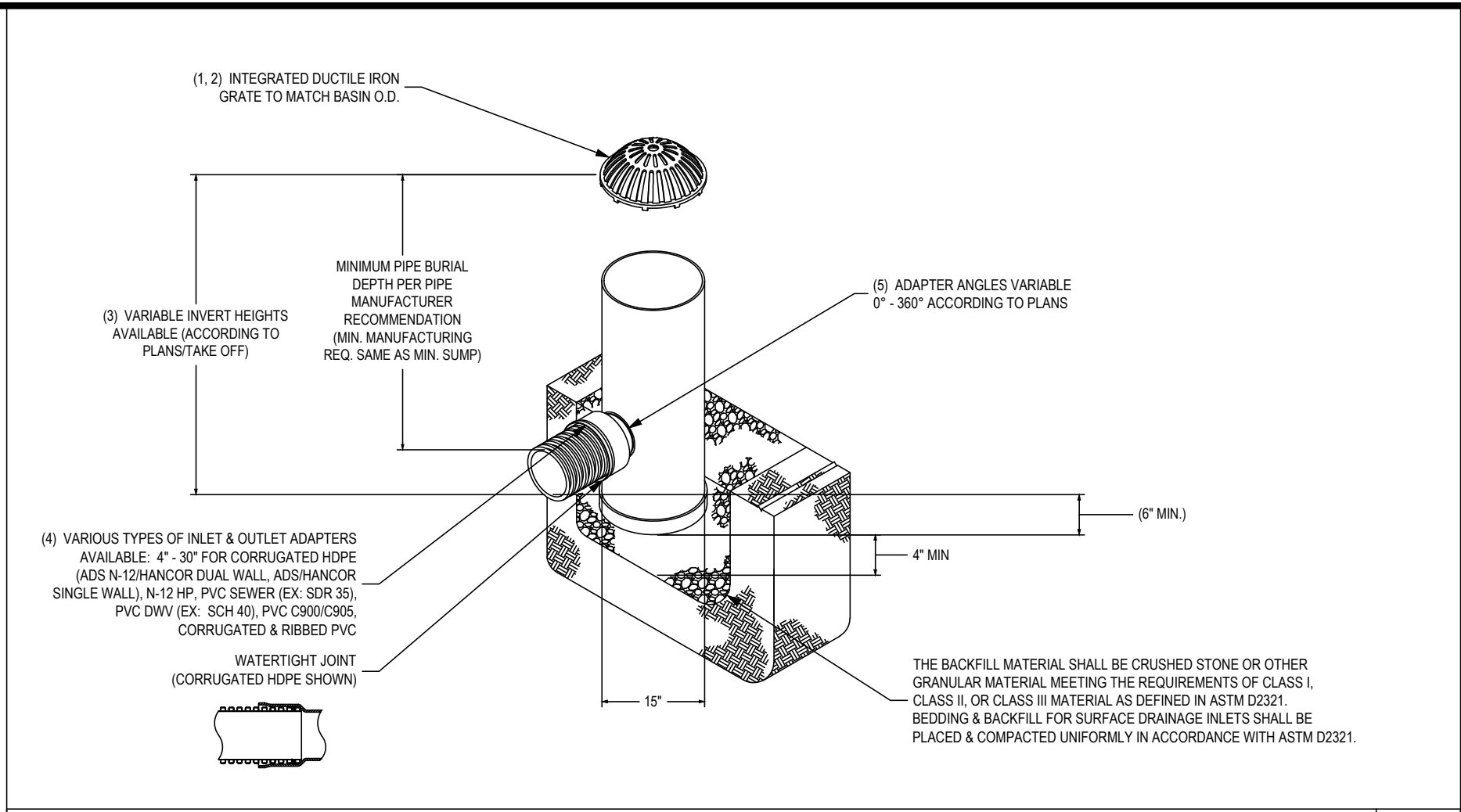
ISSUE TYPE:
 PERMIT SET
 ISSUE DATE:
 05/11/2023
 PROJECT NUMBER:
 22051

DRAWN BY: JMP
 CHECKED BY: DH

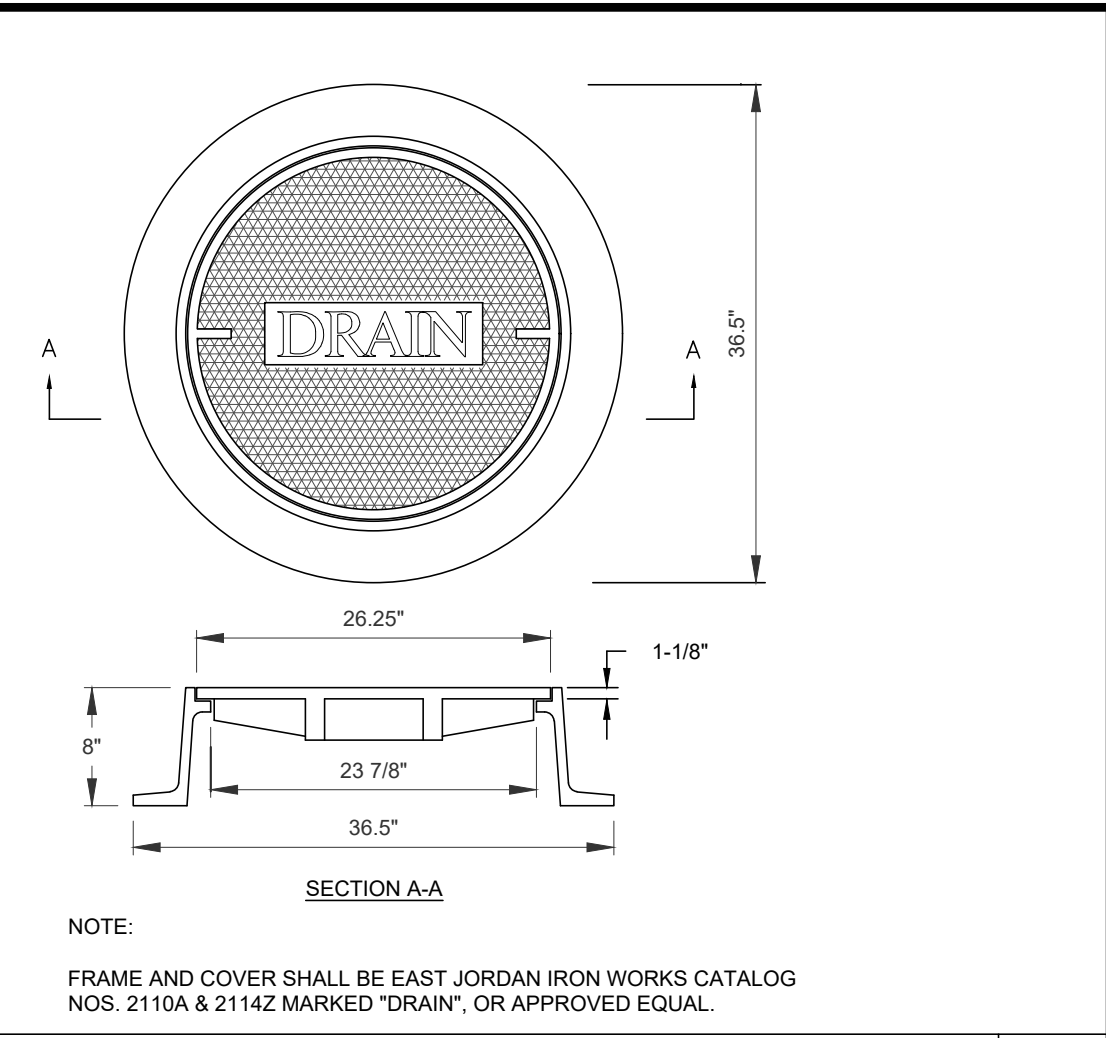
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DETAIL SHEET

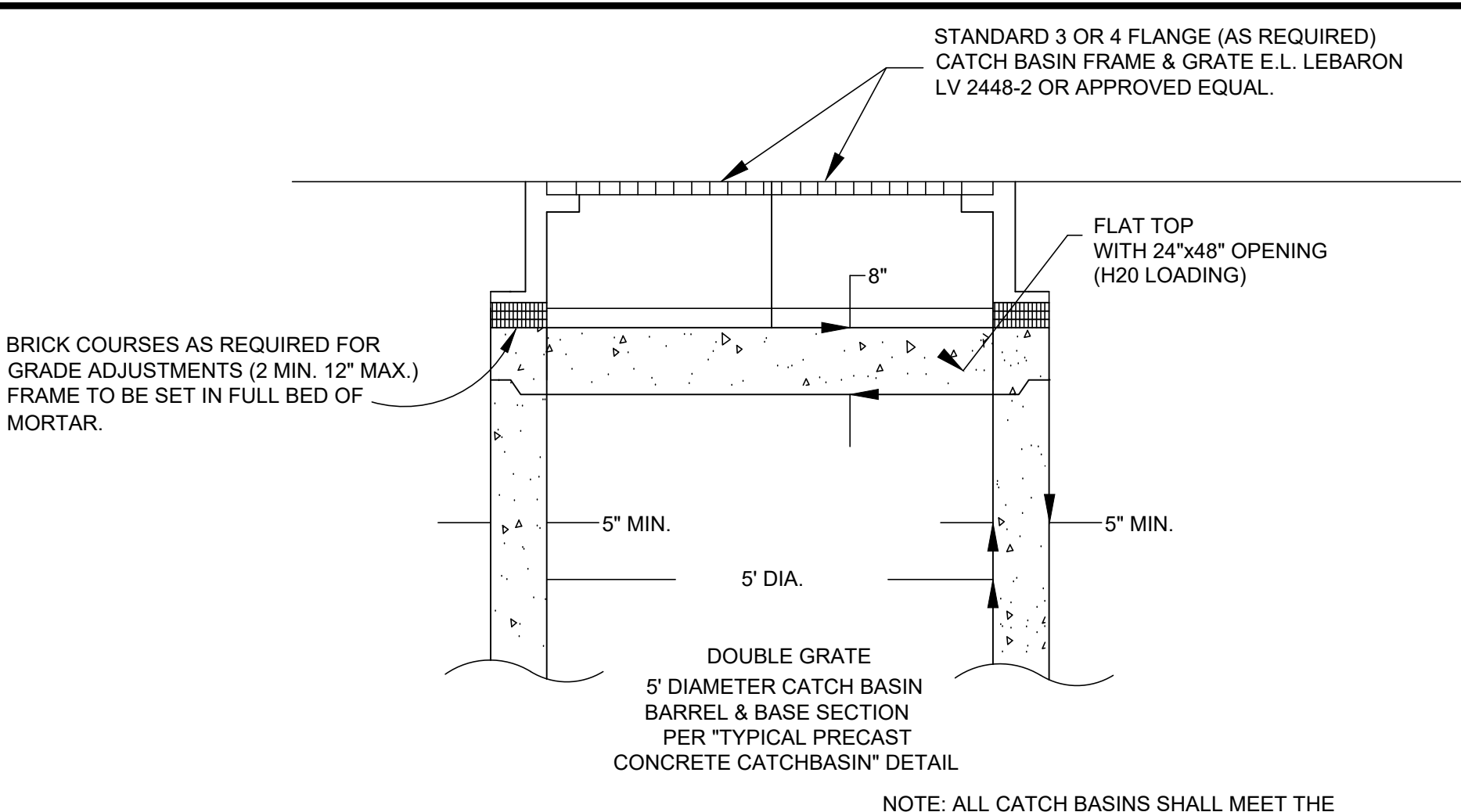
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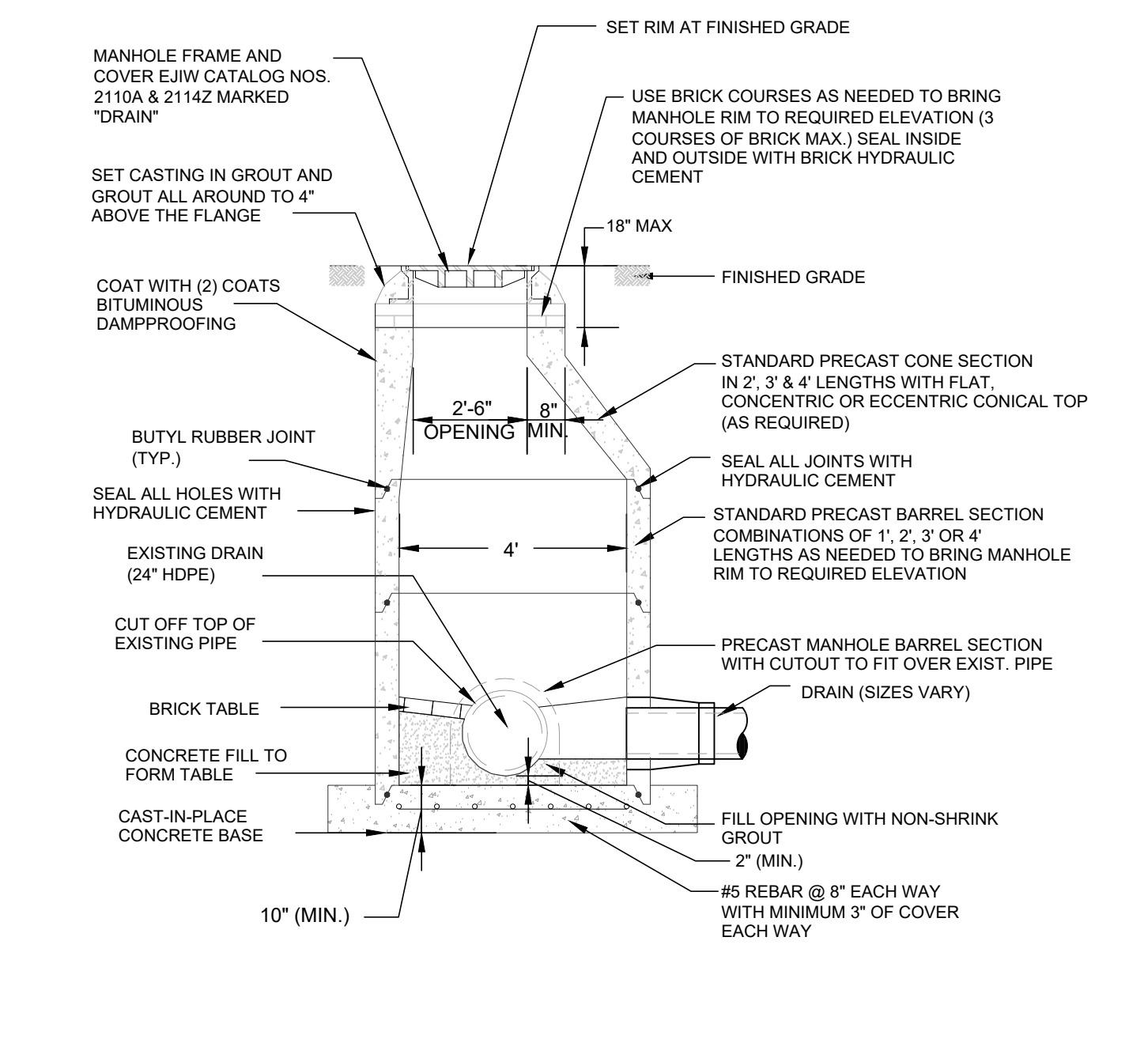
NYLOPLAST DOME GRATE
NOT TO SCALE **C2**



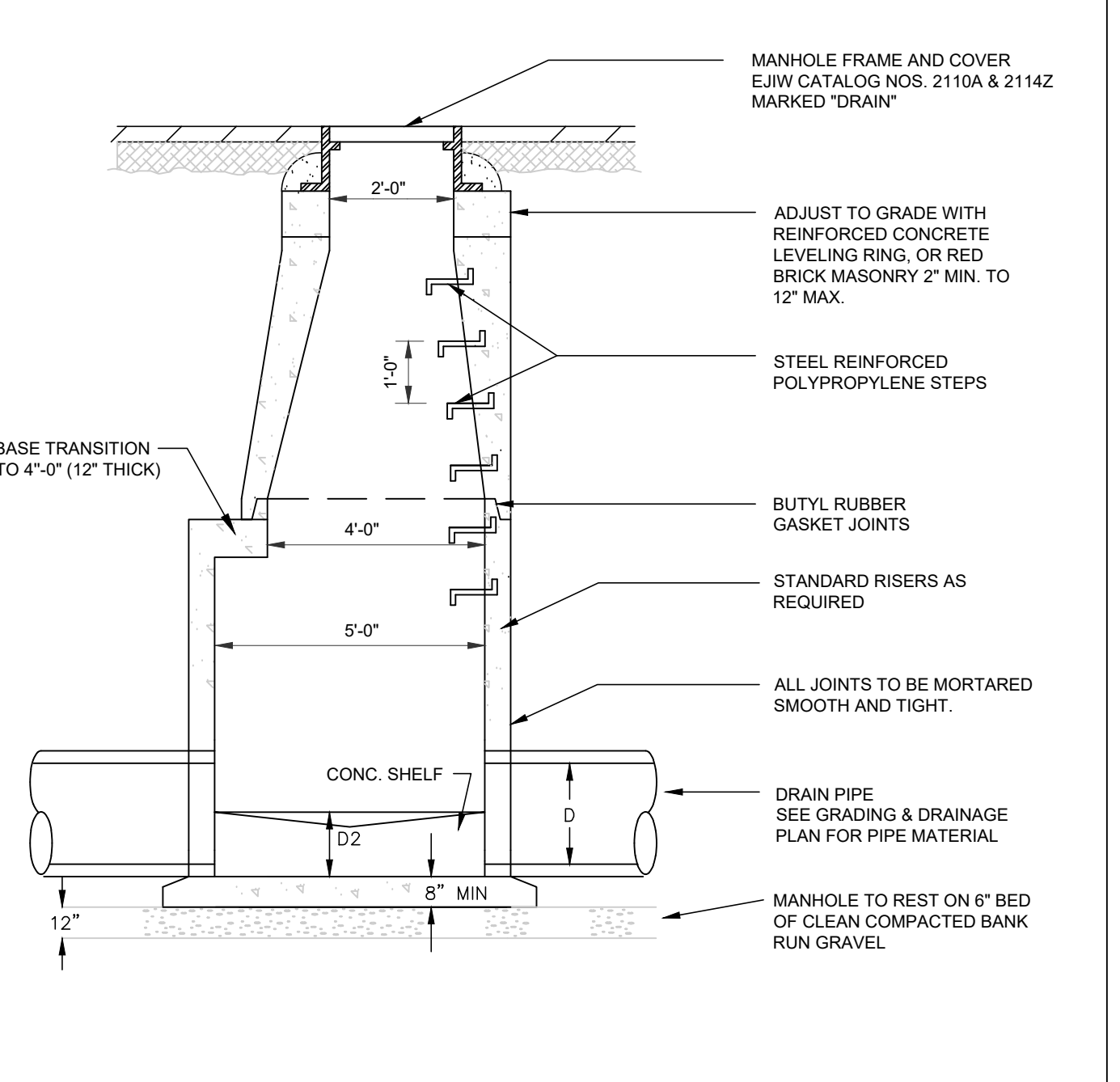
DRAIN MANHOLE FRAME AND COVER
NOT TO SCALE **C1**



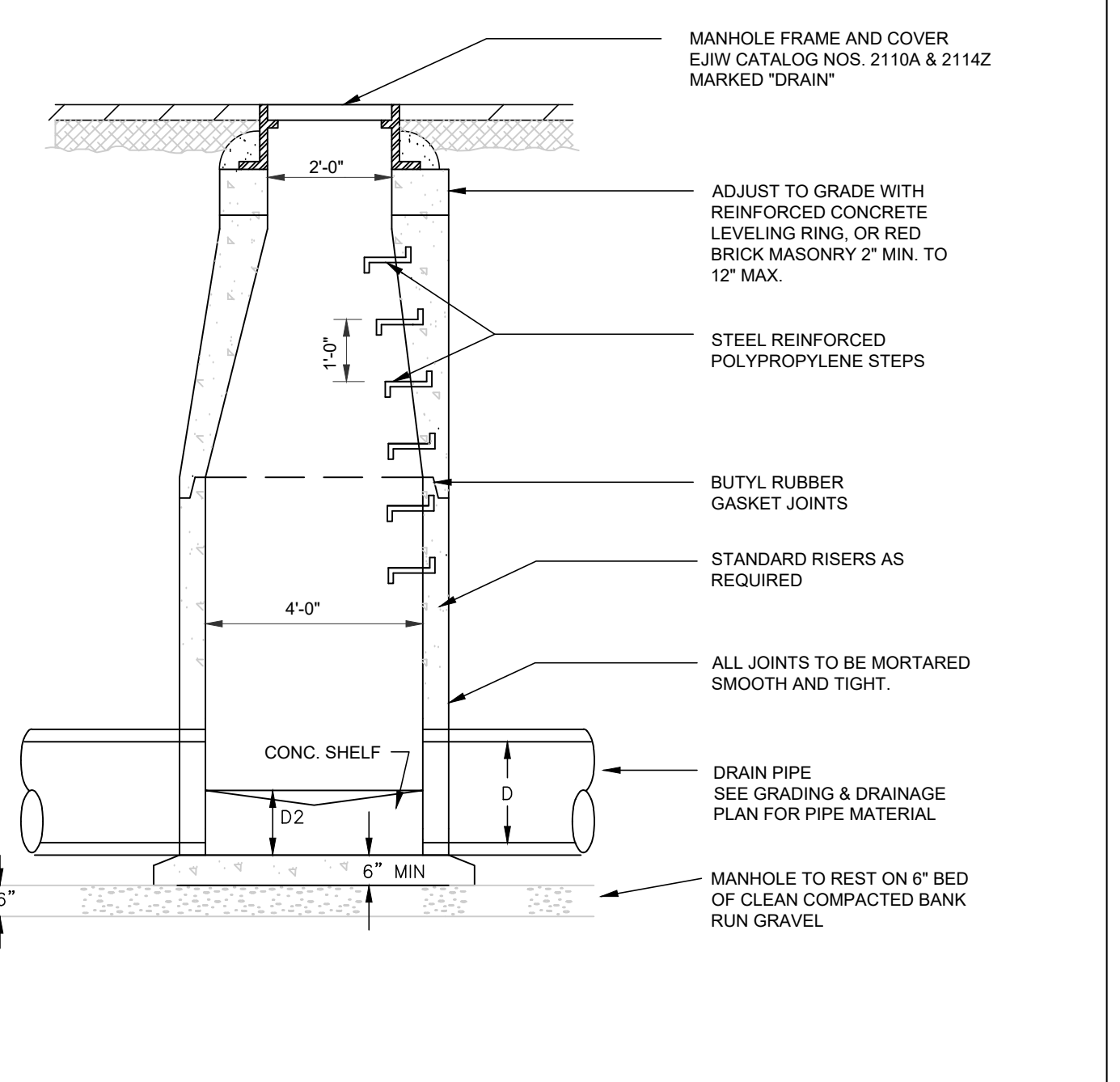
STANDARD 3 OR 4 FLANGE CATCH BASIN FRAME & GRATE
NOT TO SCALE **B1**



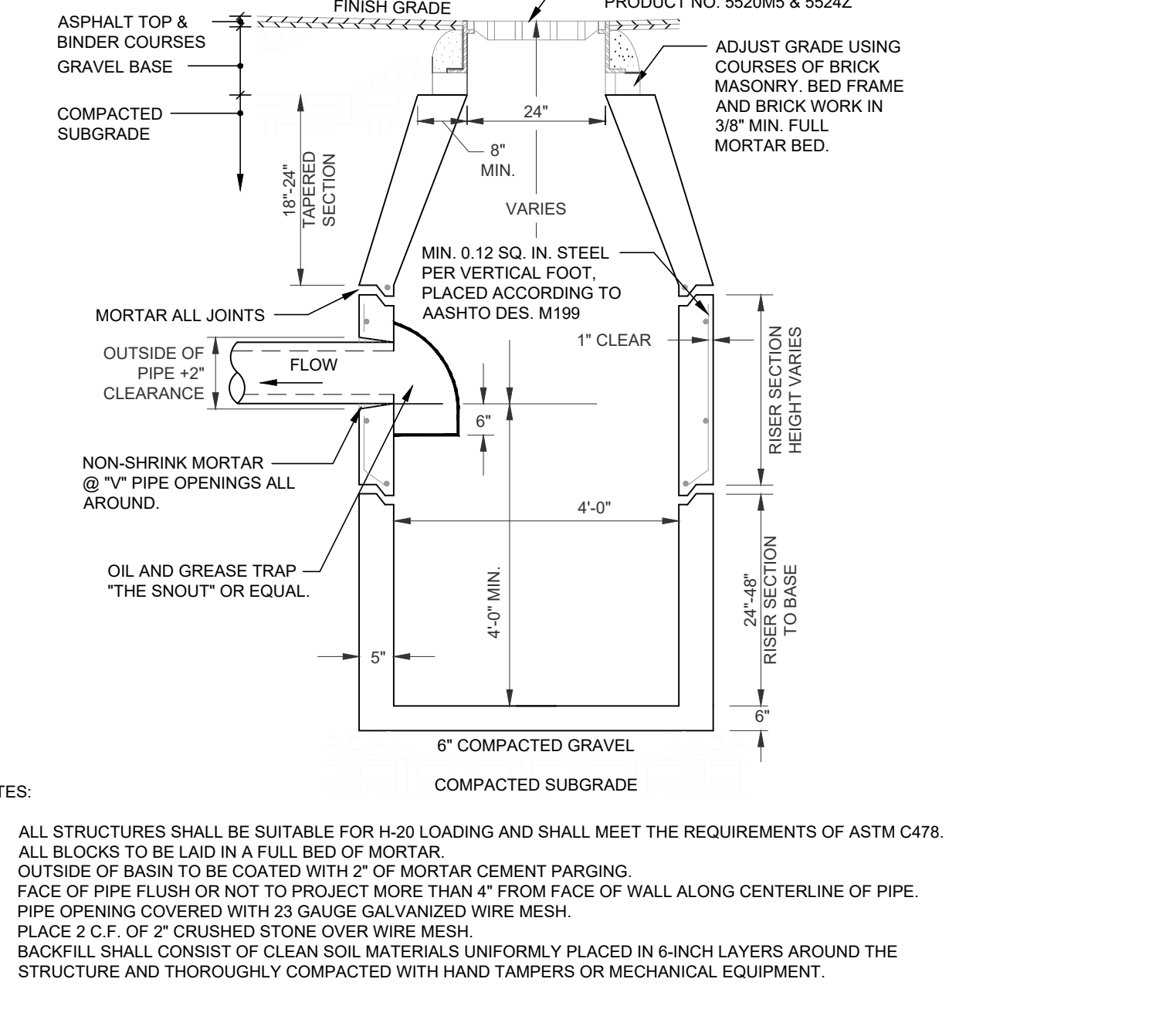
DOGHOUSE MANHOLE
NOT TO SCALE **B4**



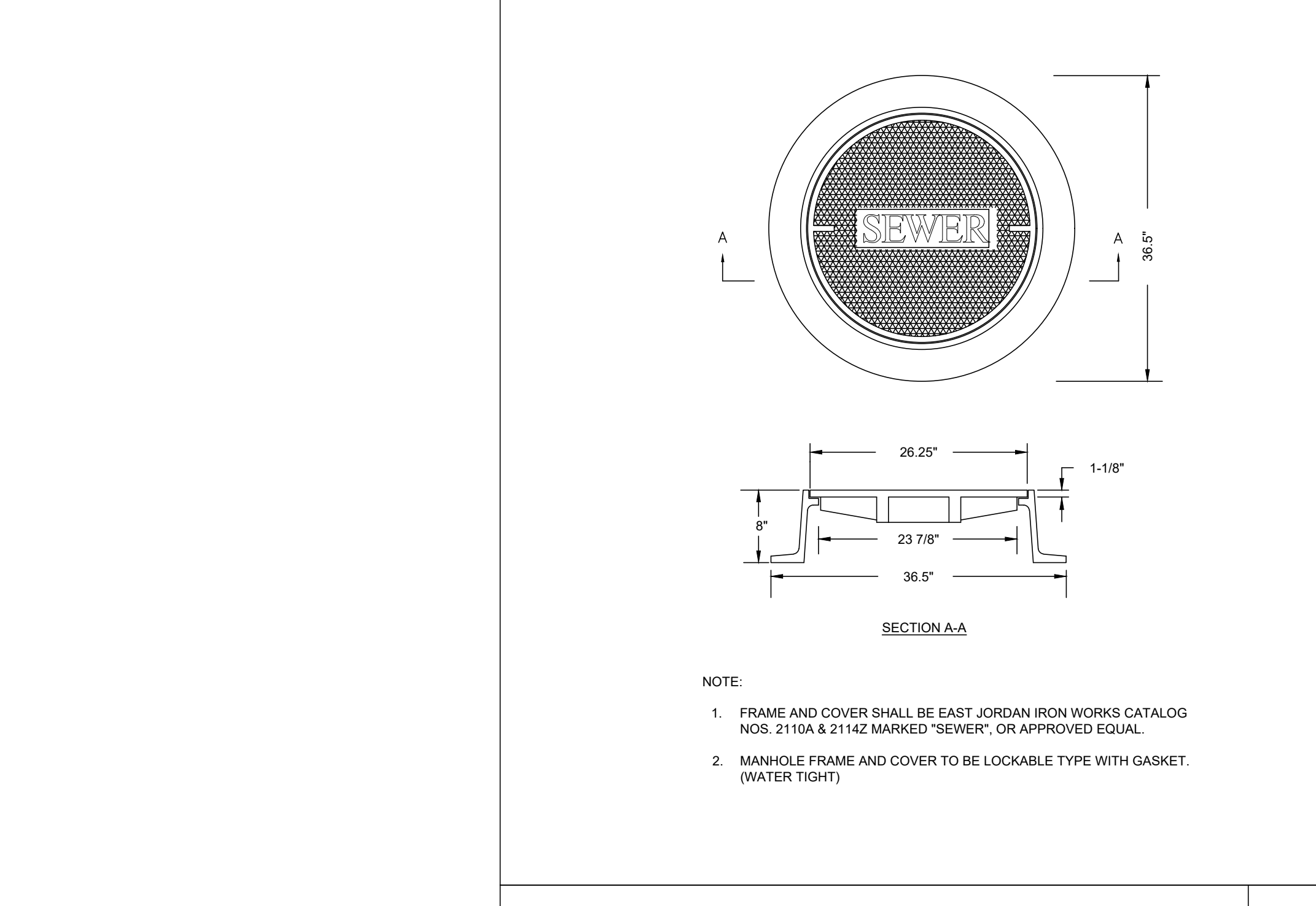
5' PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE **B3**



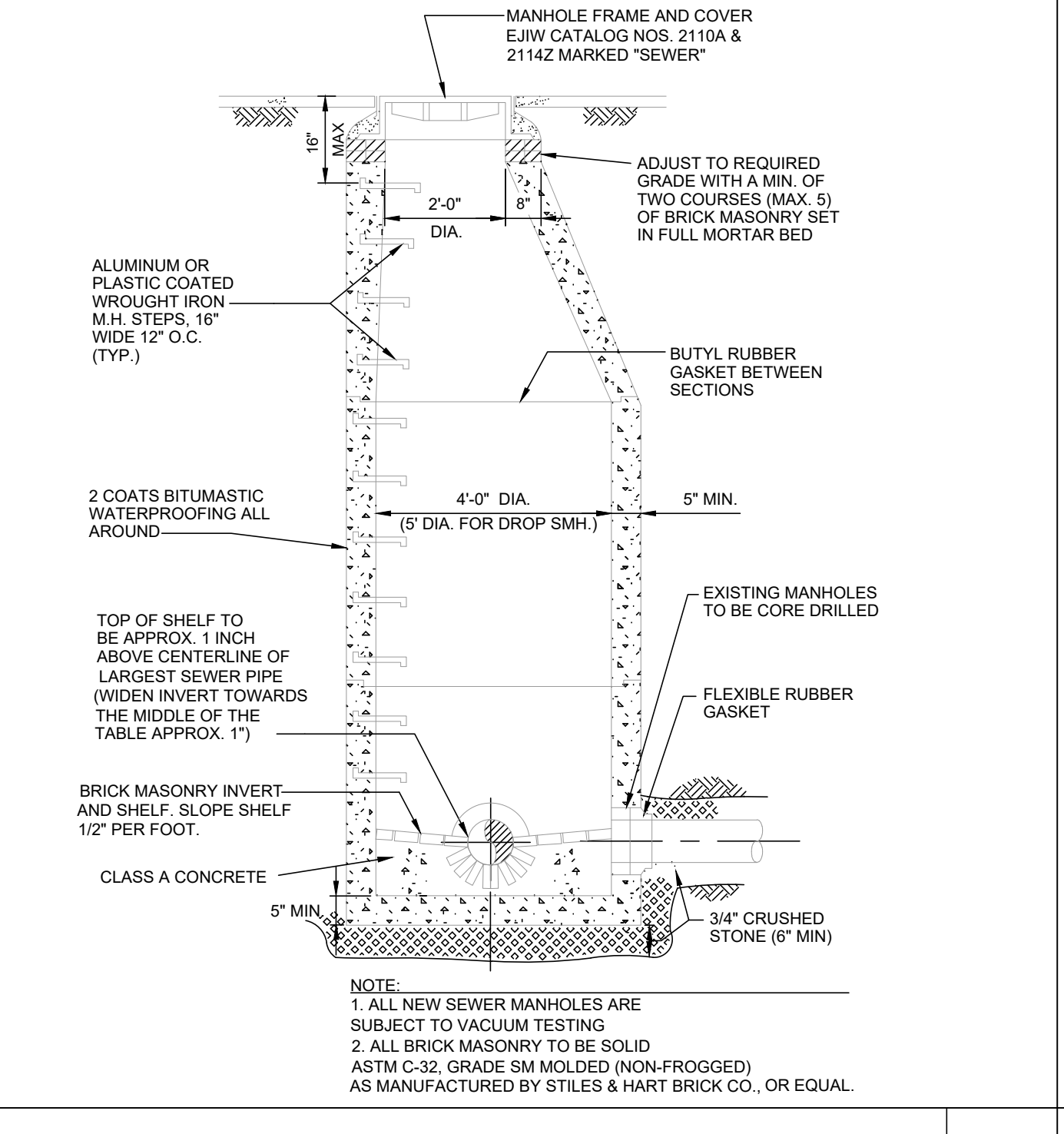
4' PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE **B2**



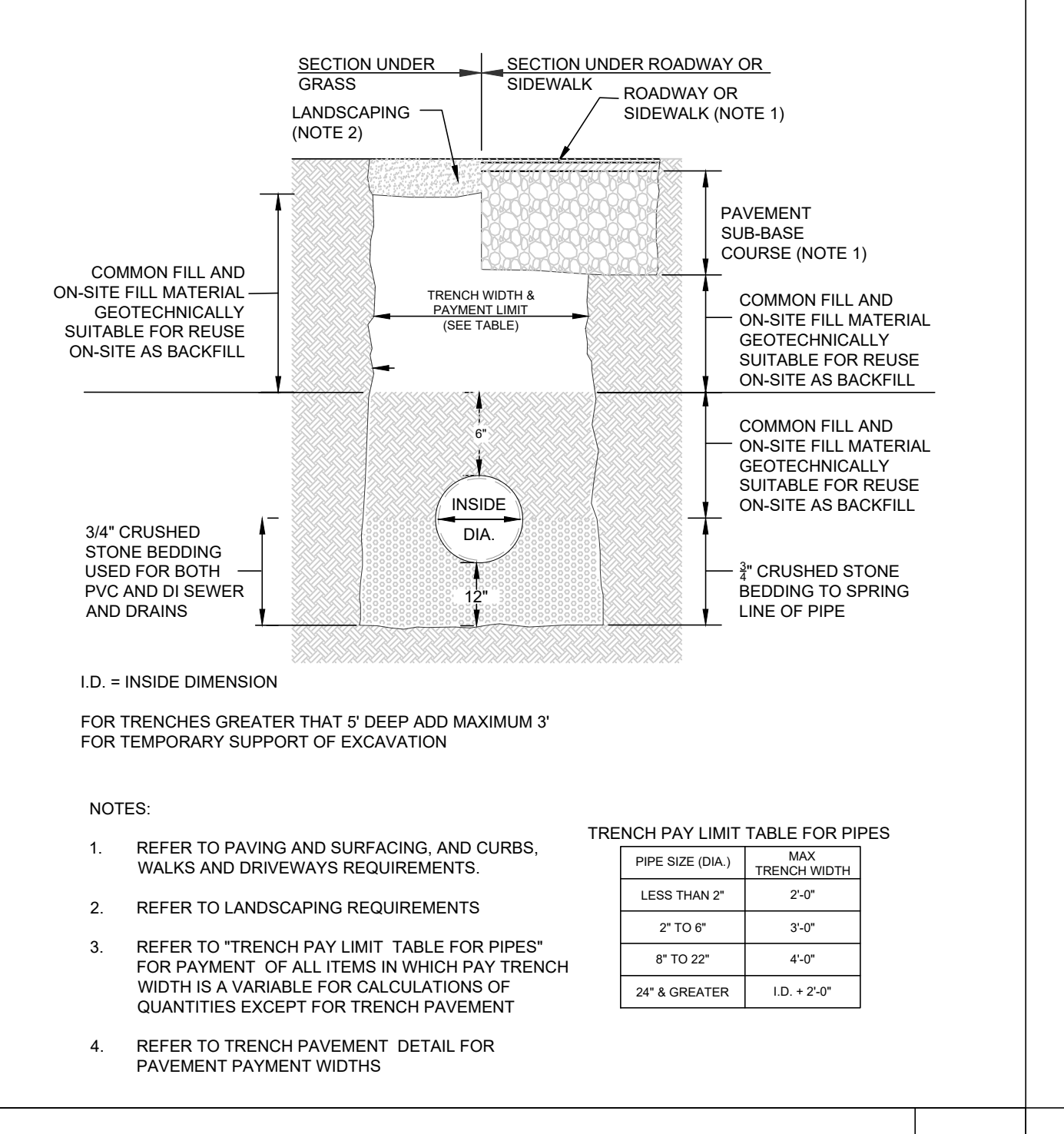
SINGLE & DOUBLE GRATE CATCH BASIN
NOT TO SCALE **B1**



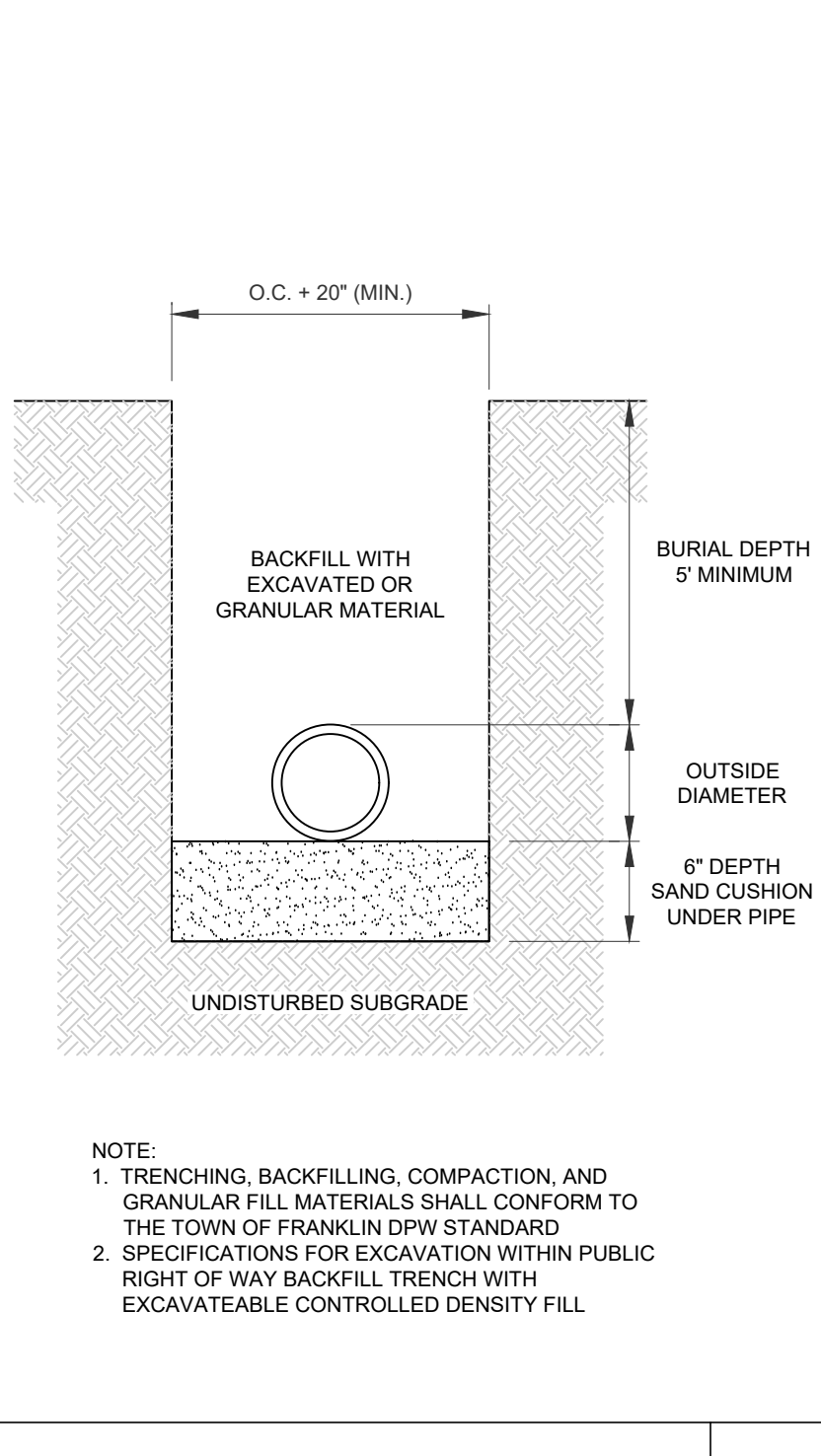
SEWER MANHOLE FRAME & COVER
NOT TO SCALE **A4**



SANITARY SEWER MANHOLE
NOT TO SCALE **A3**



DRAINAGE AND SEWER TRENCH
NOT TO SCALE **A2**



WATER TRENCH
NOT TO SCALE **A1**

REV	DATE	DESCRIPTION
1	07.17.2023	RESPONSE TO COMMENTS

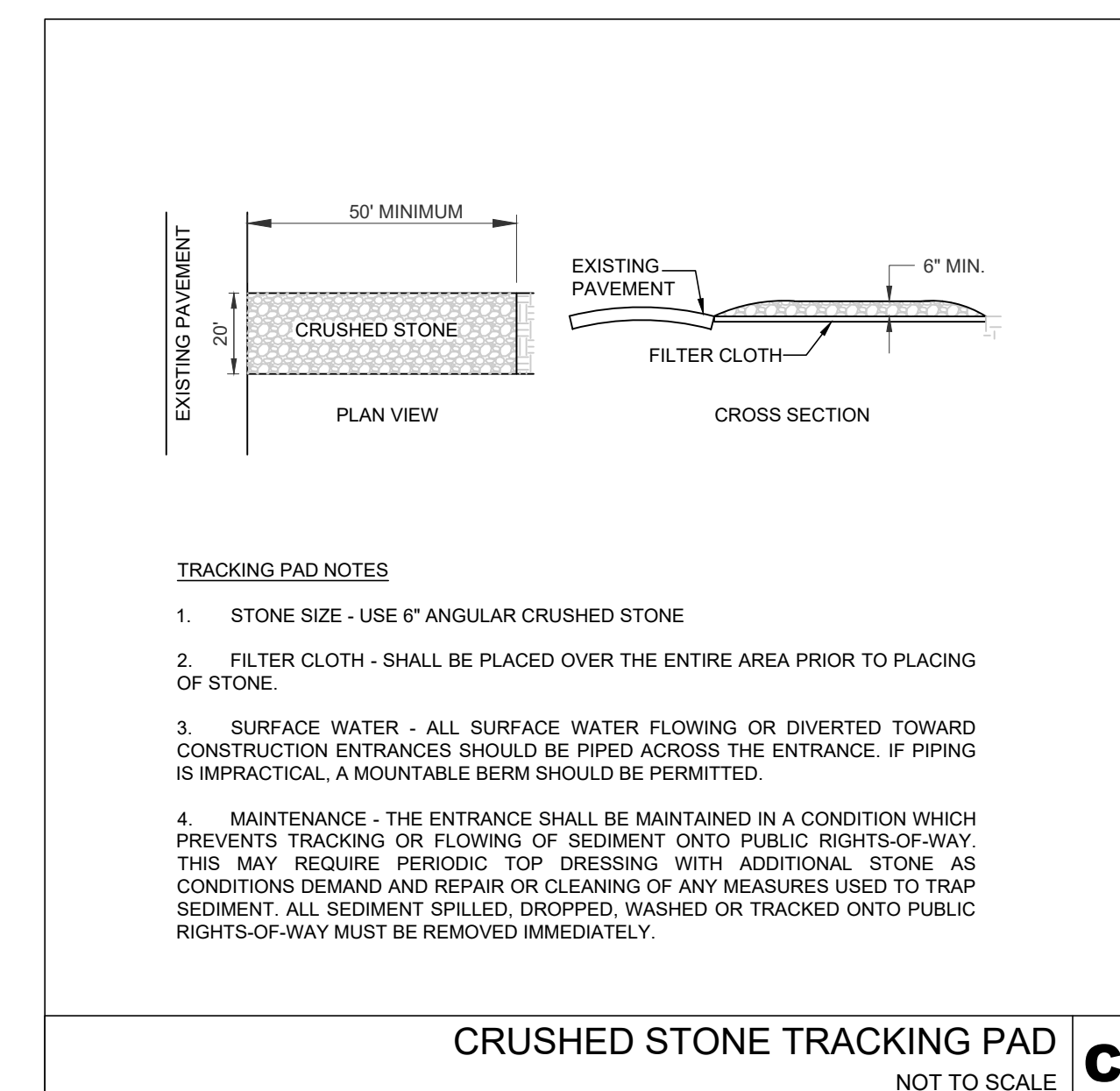
ISSUE TYPE:
PERMIT SET
ISSUE DATE:
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PROJECT NUMBER:
22051

DRAWN BY: JMP
CHECKED BY: DH
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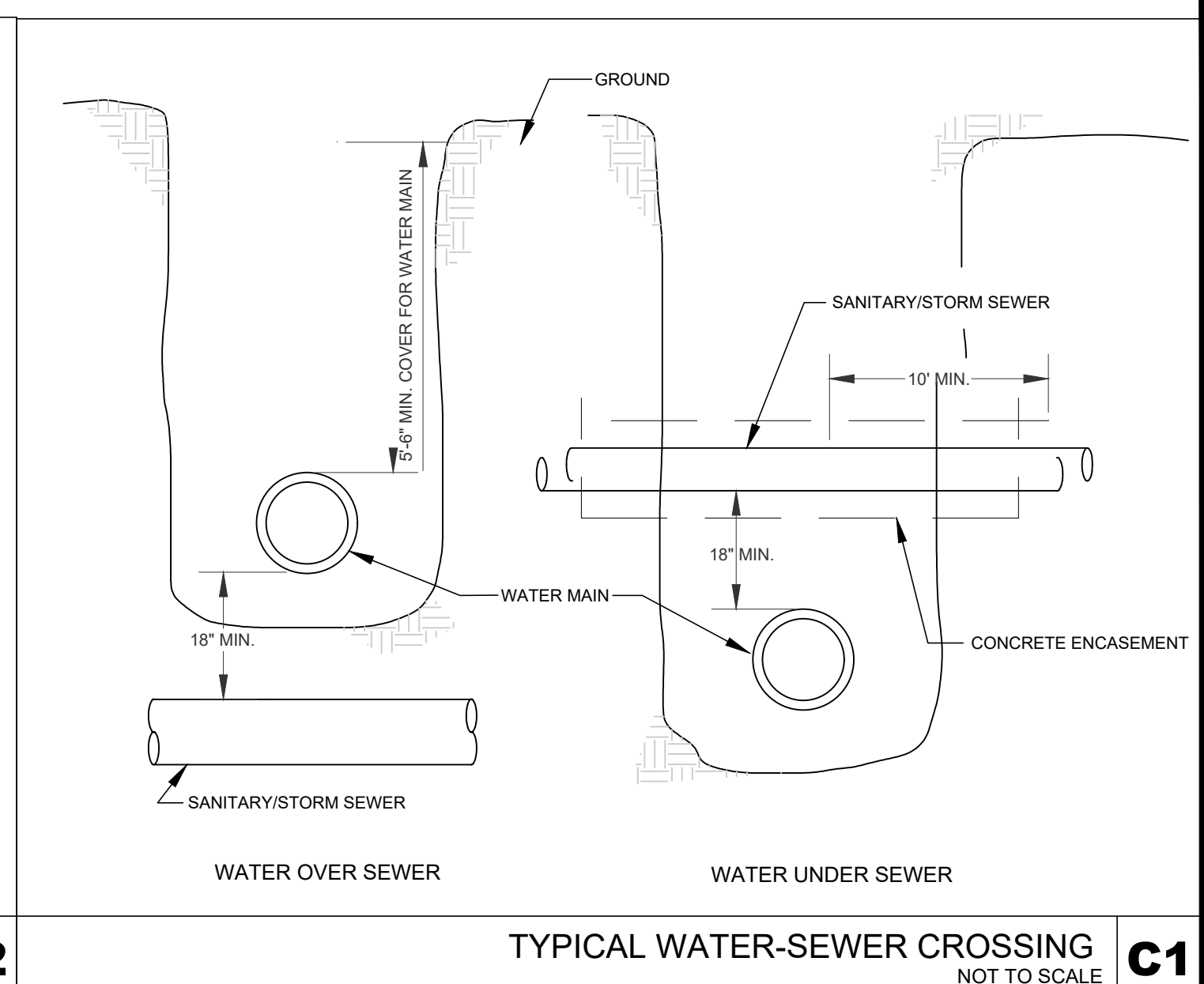
SHEET NUMBER:
C602

ISSUED FOR: PERMIT

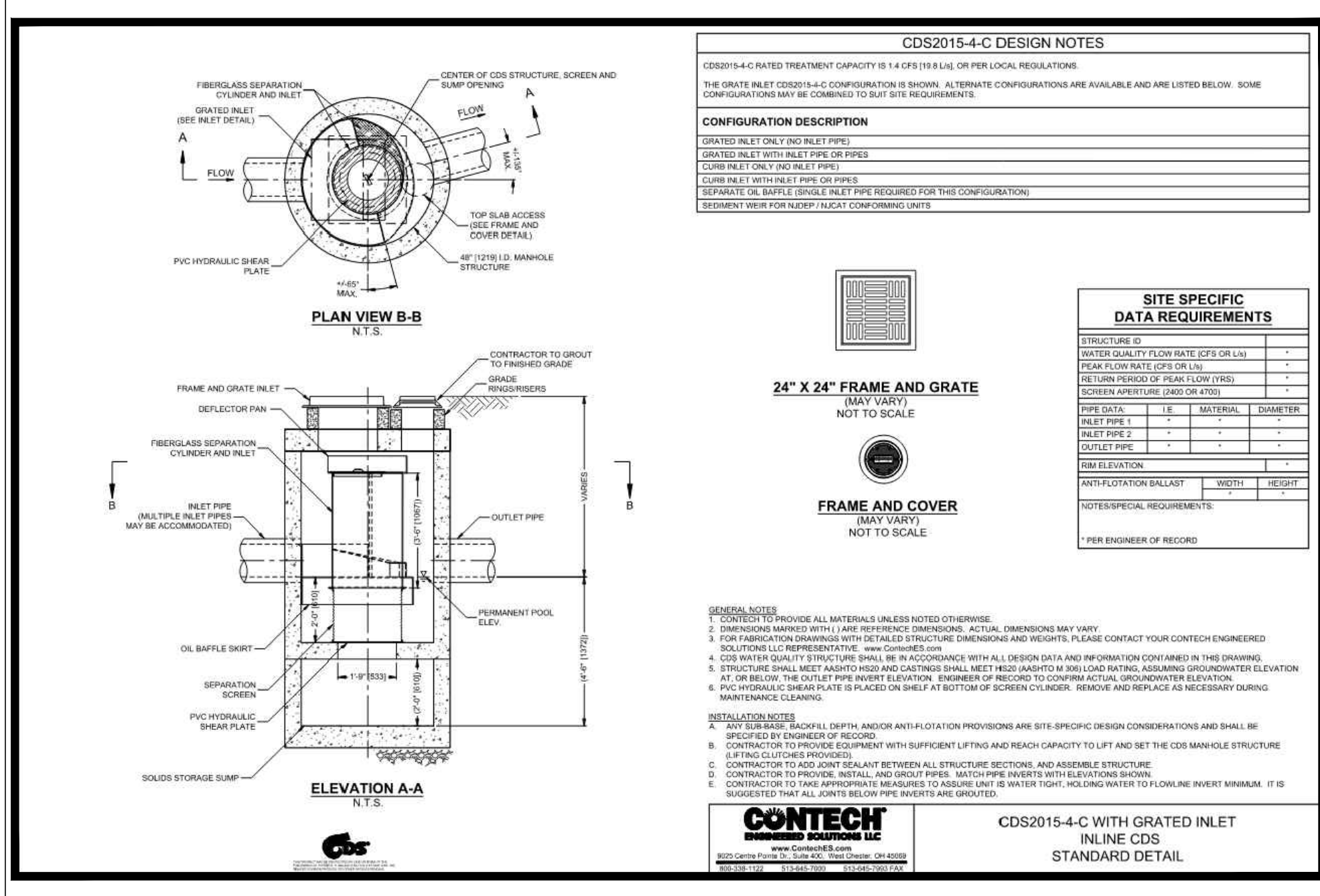


- TRACKING PAD NOTES**
- STONE SIZE - USE 6" ANGULAR CRUSHED STONE
 - FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHOULD BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHOULD BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

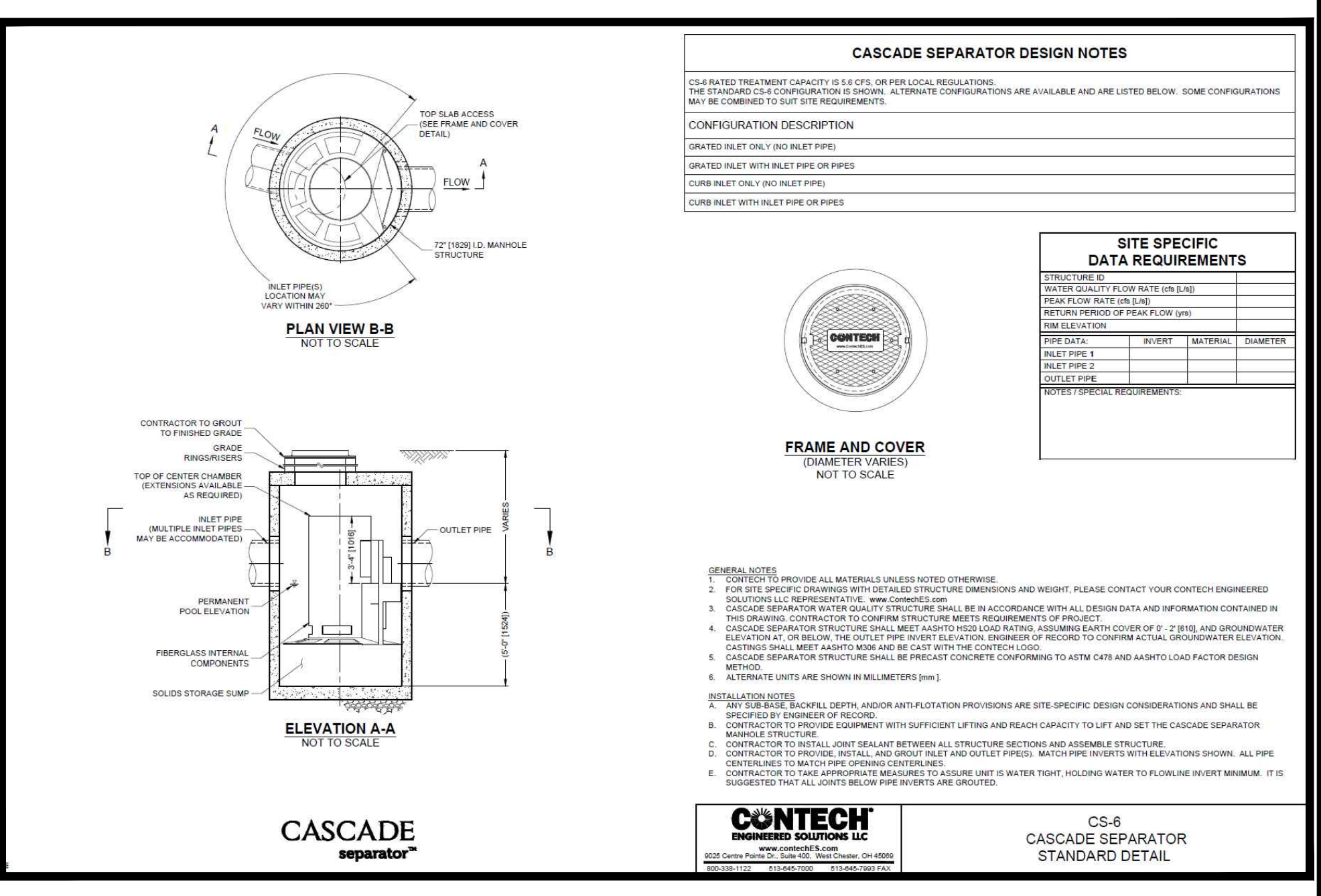
CRUSHED STONE TRACKING PAD NOT TO SCALE **C2**



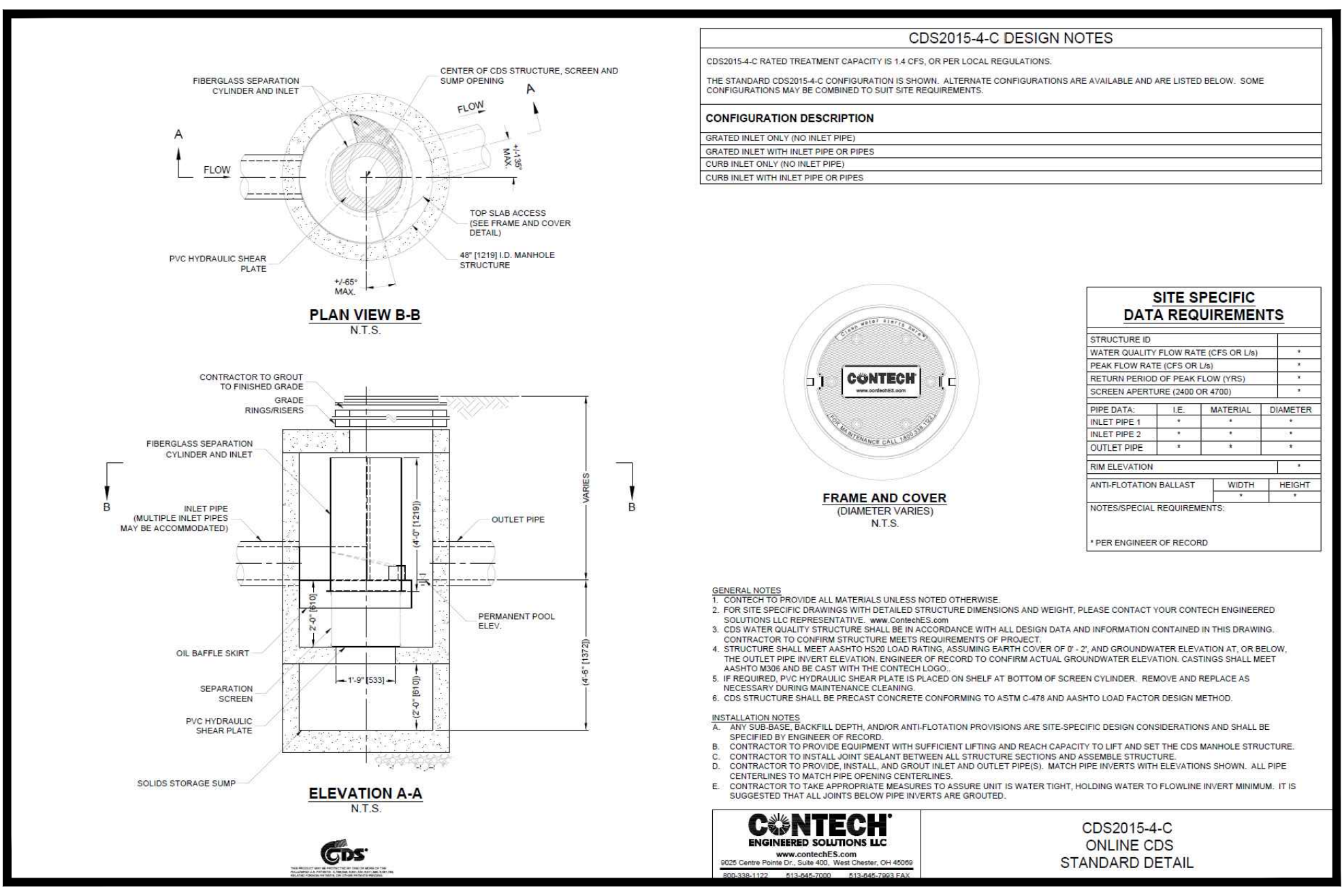
TYPICAL WATER-SEWER CROSSING NOT TO SCALE **C1**



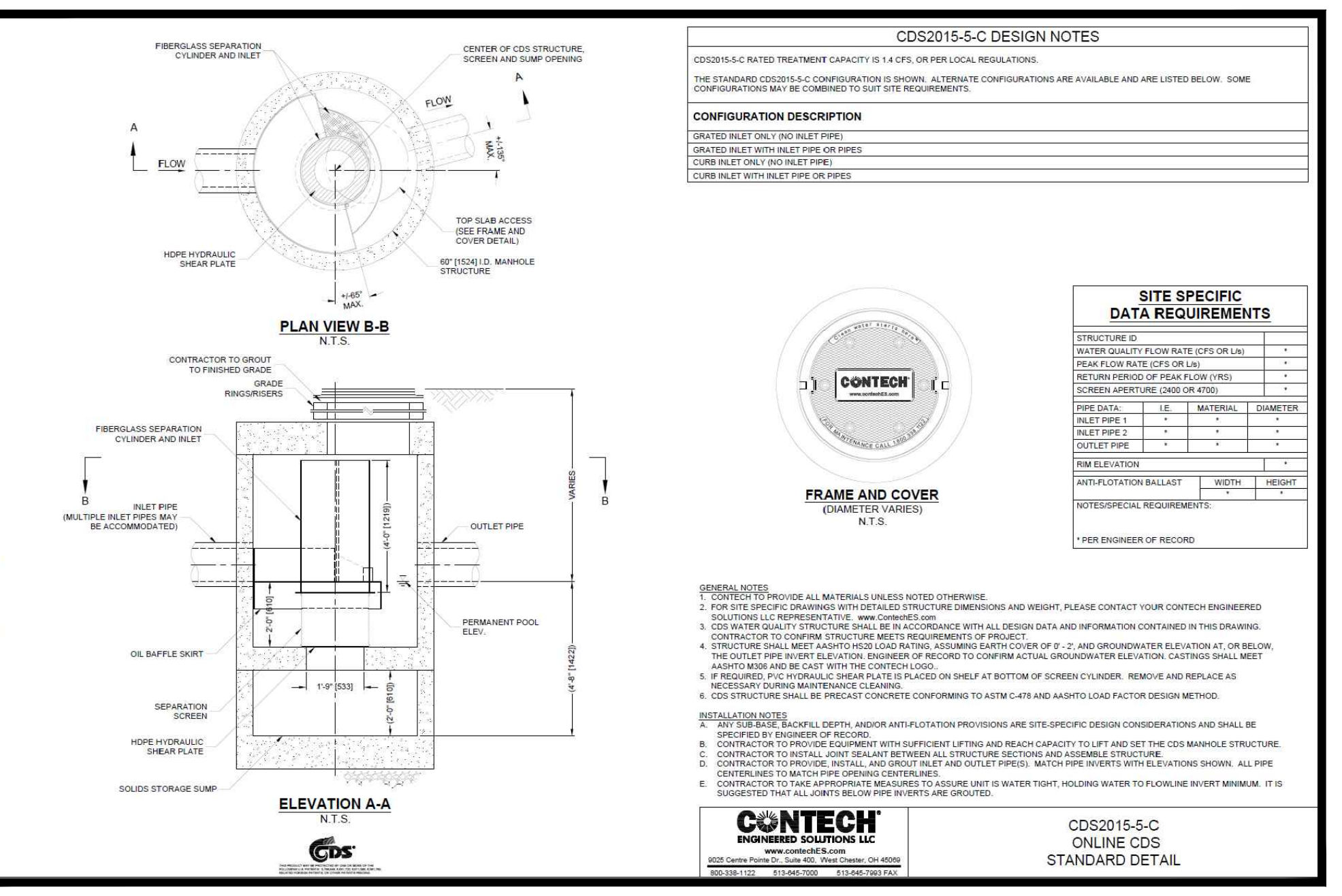
CONTECH CDS2015-4-C WITH GRATED INLET (WQU-5) NOT TO SCALE **B2**



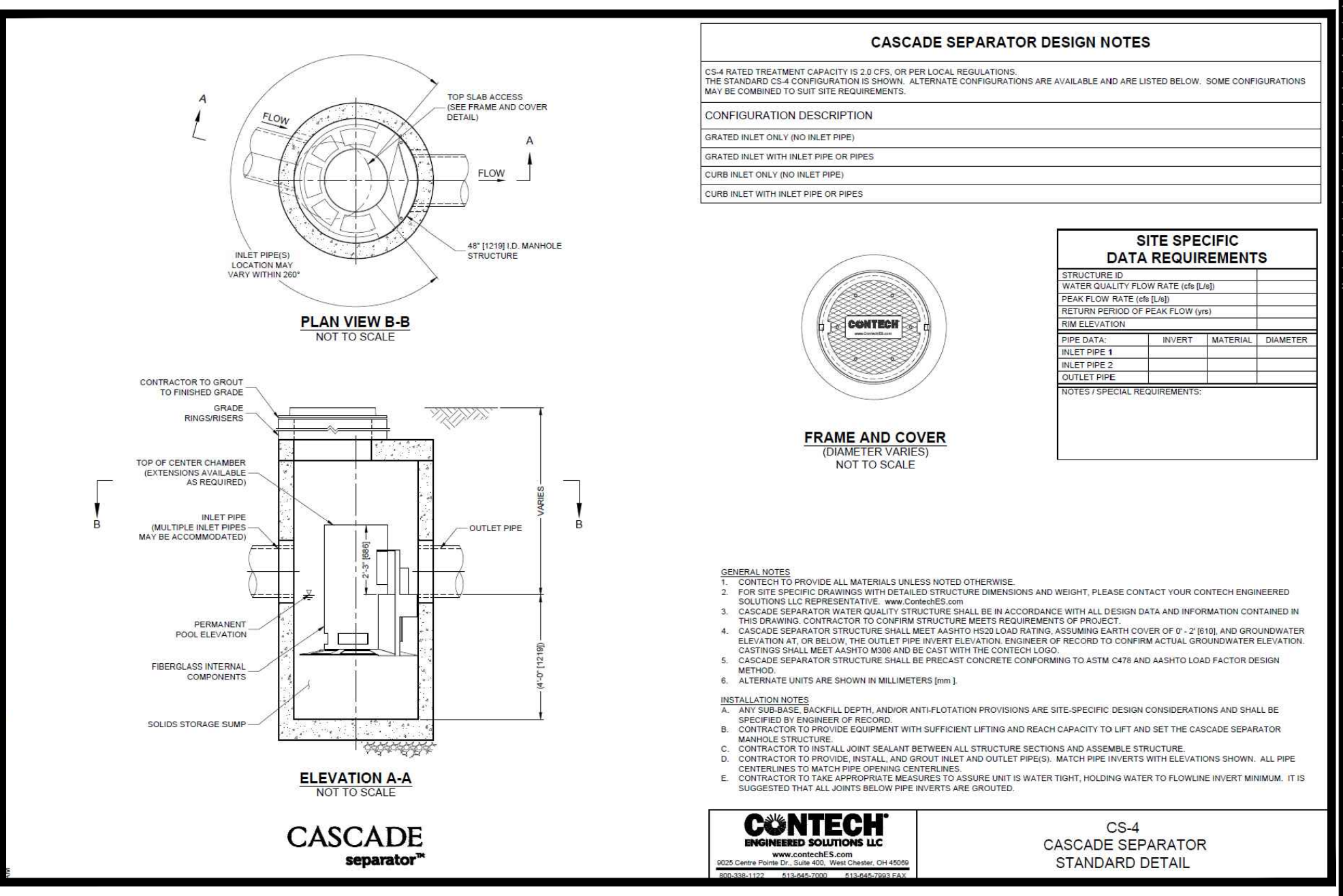
CONTECH CS-6 (WQU-4) NOT TO SCALE **B1**



CONTECH CDS2015-4-C (WQU-3) NOT TO SCALE **A3**



CONTECH CDS2015-5-C (WQU-2) NOT TO SCALE **A2**



CONTECH CASCADE CS-4 (WQU-1) NOT TO SCALE **A1**

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

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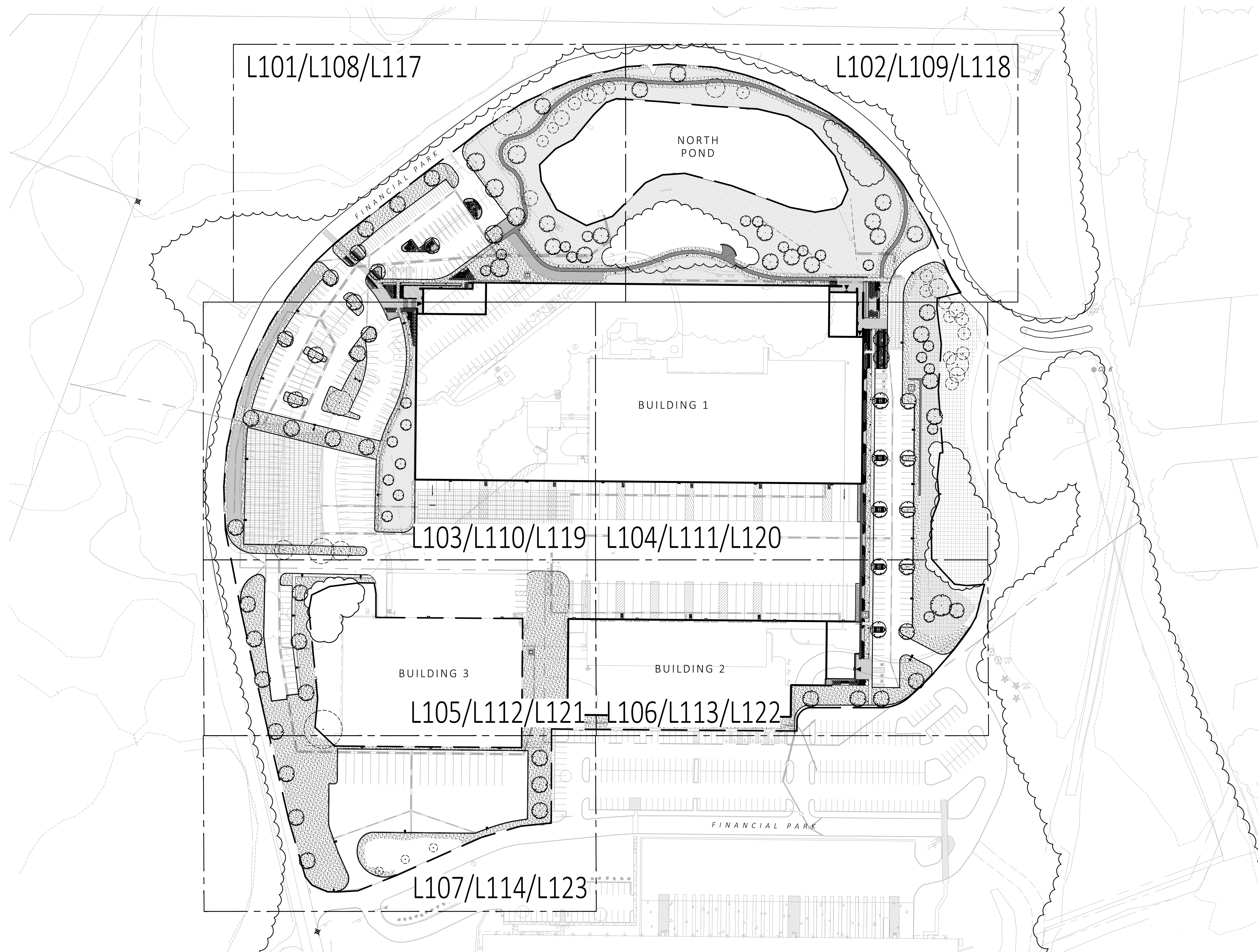
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DETAIL SHEET

SHEET NUMBER:
C603

ISSUED FOR: PERMIT

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1 SHEET LAYOUT KEY PLAN
SCALE: 1" = 80'-0"

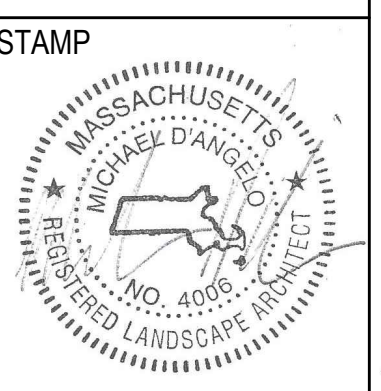


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1 WASHINGTON MALL, SUITE 701
BOSTON, MA

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REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

KEY PLAN

DRAWN: NC	L100
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	

SHEET 01 OF 24

plot date: 7/17/2023

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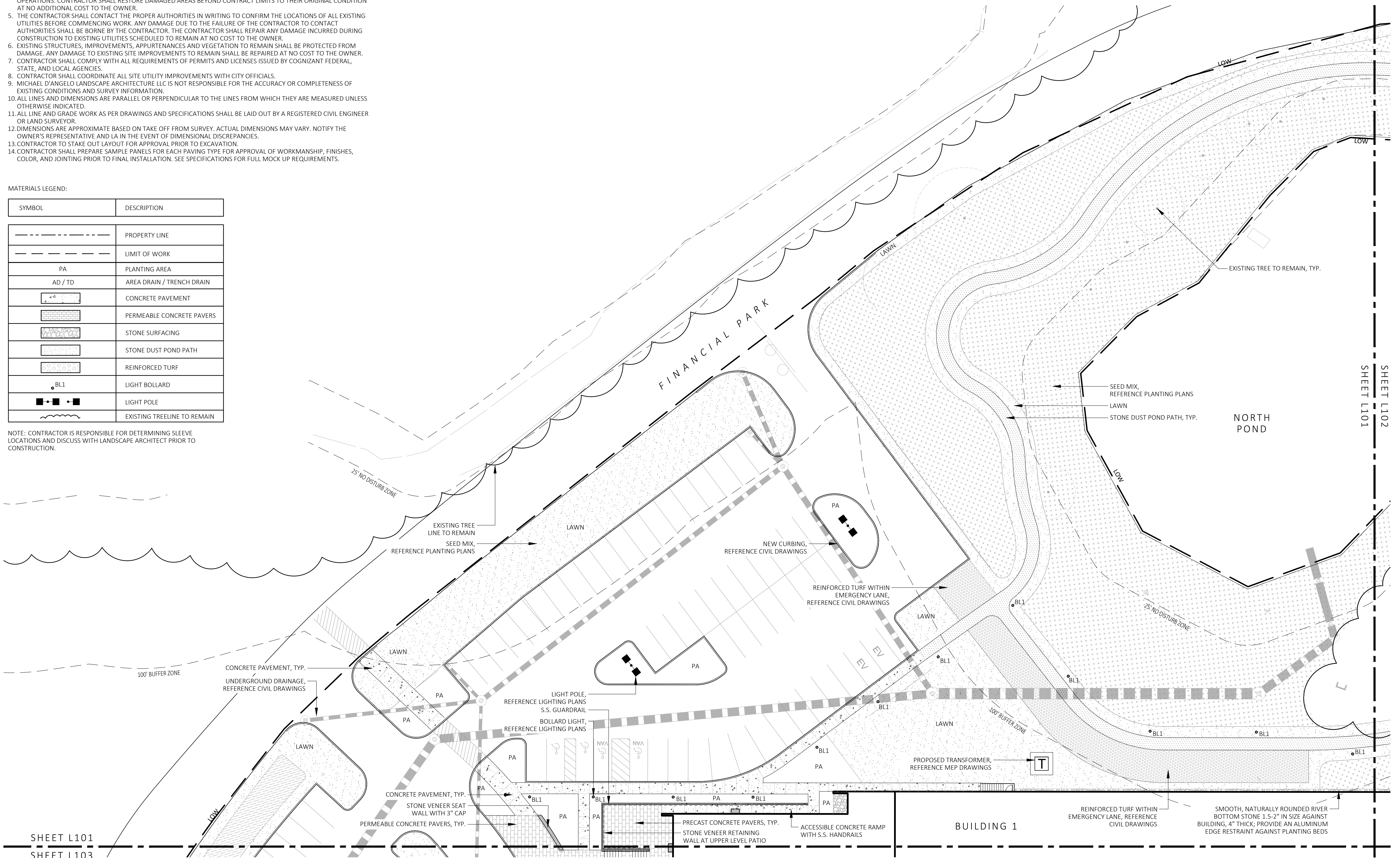
MATERIALS NOTES:

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MATERIALS LEGEND:

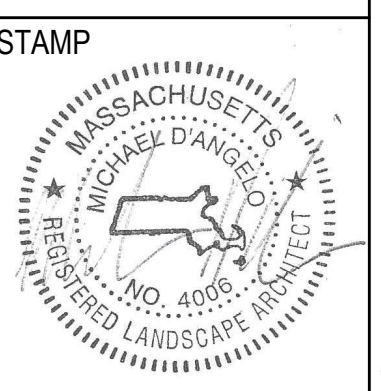
SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - -	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
[Pattern]	CONCRETE PAVEMENT
[Pattern]	PERMEABLE CONCRETE PAVERS
[Pattern]	STONE SURFACING
[Pattern]	STONE DUST POND PATH
[Pattern]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Symbol]	LIGHT POLE
[Symbol]	EXISTING TREELINE TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE LOCATIONS AND DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



SHEET L101
SHEET L103

1 MATERIALS PLAN
SCALE: 1" = 20'-0"



REV. NO.	DATE	DESCRIPTION
1	7/17/23	FOR PERMIT RESPONSE TO COMMENTS

MATERIALS PLAN

DRAWN: NC	L101
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	
plot date: 7/17/2023	

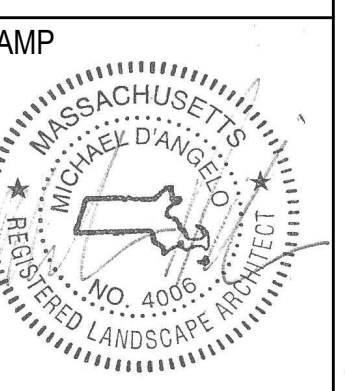
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PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
	7/17/23	RESPONSE TO COMMENTS

MATERIALS PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: **L102**
AS NOTED
DATE: 5/11/2023

SHEET 03 OF 24

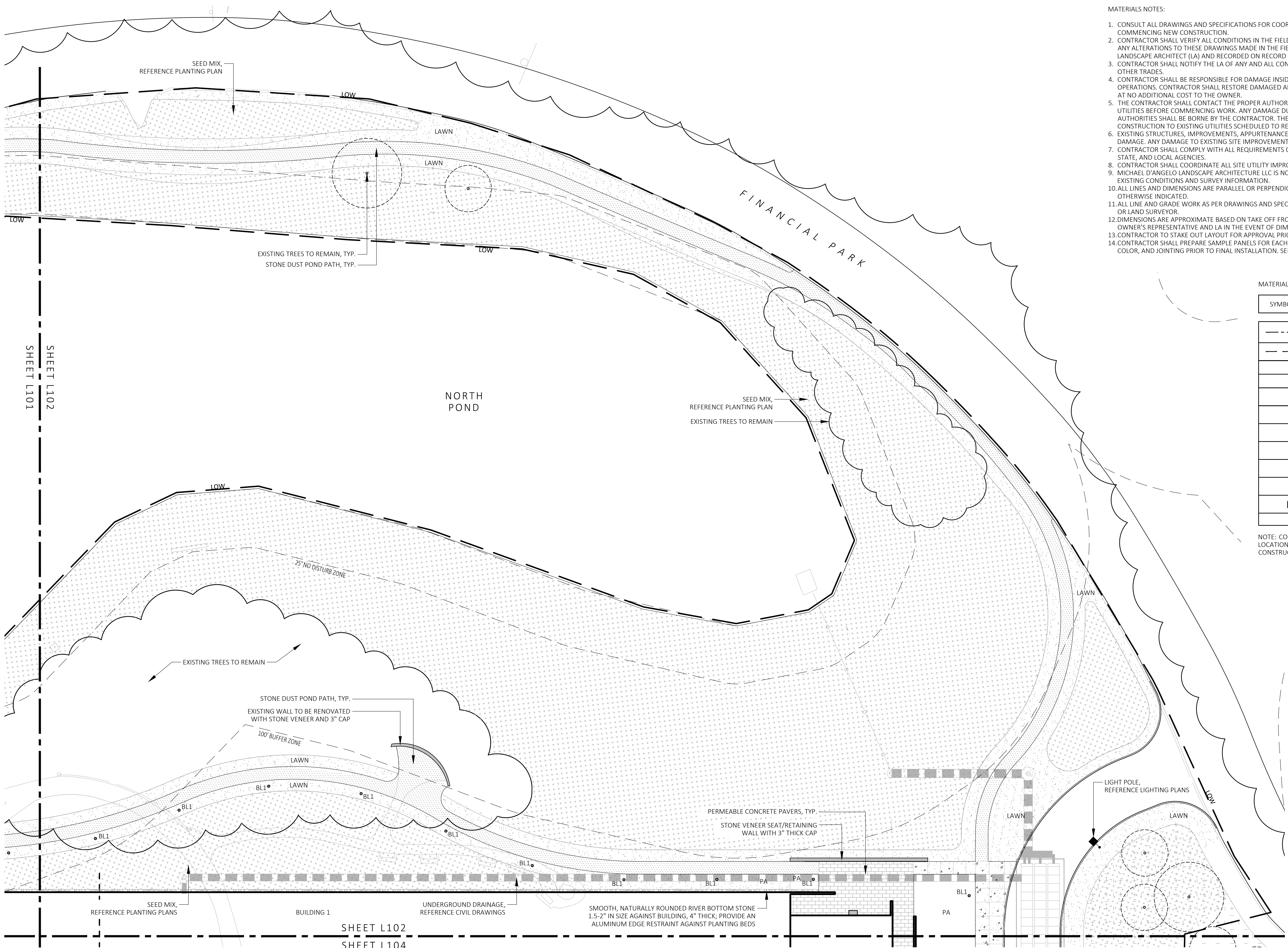
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MATERIALS LEGEND:

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
[Pattern]	CONCRETE PAVEMENT
[Pattern]	PERMEABLE CONCRETE PAVERS
[Pattern]	STONE SURFACING
[Pattern]	STONE DUST POND PATH
[Pattern]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Symbol]	LIGHT POLE
[Symbol]	EXISTING TREELINE TO REMAIN

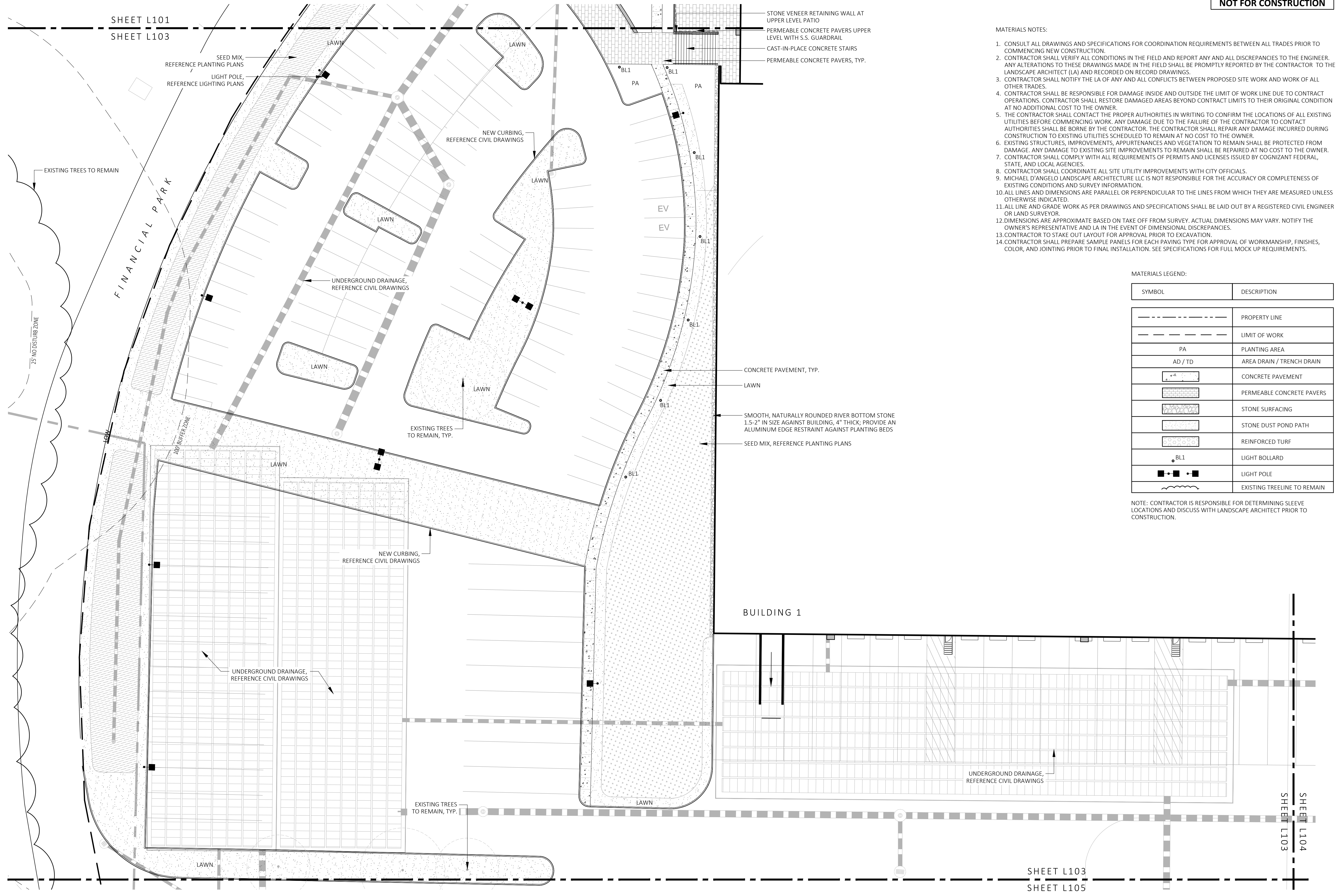
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1 MATERIALS PLAN
SCALE: 1" = 20'-0"



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MATERIALS LEGEND:

SYMBOL	DESCRIPTION
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- - - -	LIMIT OF WORK
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AD / TD	AREA DRAIN / TRENCH DRAIN
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[Permeable Concrete Pattern]	PERMEABLE CONCRETE PAVERS
[Stone Pattern]	STONE SURFACING
[Stone Dust Pattern]	STONE DUST POND PATH
[Reinforced Turf Pattern]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Light Pole Symbol]	LIGHT POLE
[Treeline Symbol]	EXISTING TREELINE TO REMAIN

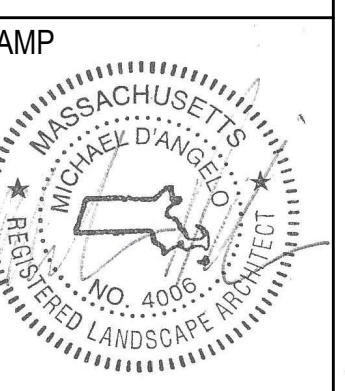
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FRANKLIN, MA



STAMP

REV. NO.	DATE	DESCRIPTION
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	7/17/23	RESPONSE TO COMMENTS

MATERIALS PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: AS NOTED
DATE: 5/11/2023
L103

1 MATERIALS PLAN
SCALE: 1" = 20'-0"



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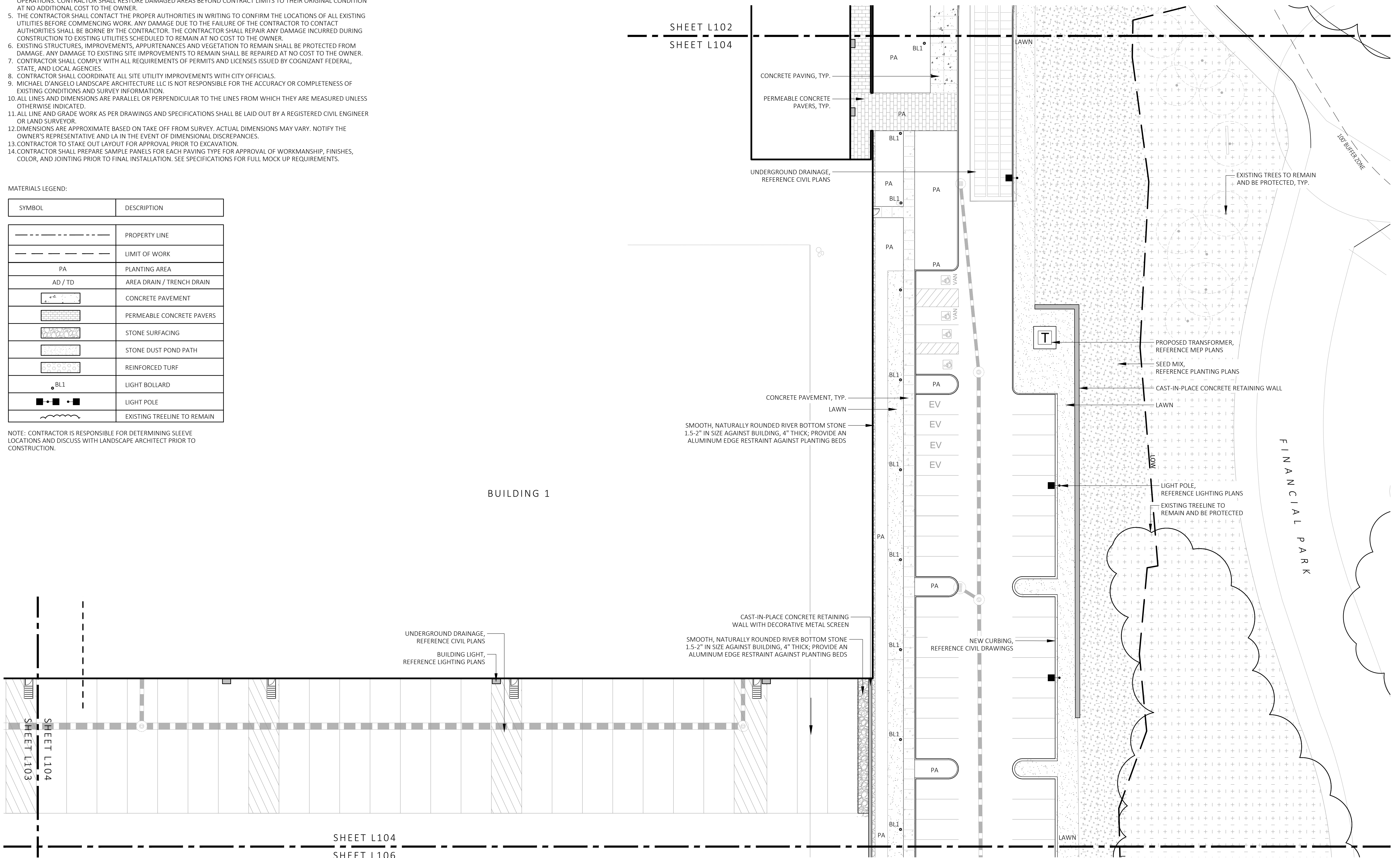
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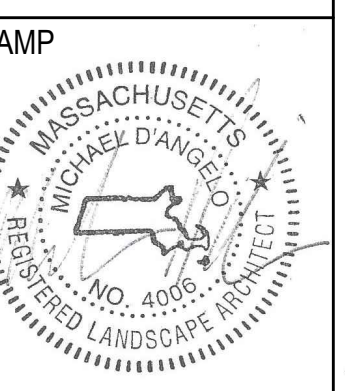
MATERIALS LEGEND:

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
[Symbol]	CONCRETE PAVEMENT
[Symbol]	PERMEABLE CONCRETE PAVERS
[Symbol]	STONE SURFACING
[Symbol]	STONE DUST POND PATH
[Symbol]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Symbol]	LIGHT POLE
[Symbol]	EXISTING TREELINE TO REMAIN

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1 MATERIALS PLAN
SCALE: 1" = 20'-0"



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
	7/17/23	RESPONSE TO COMMENTS

MATERIALS PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: AS NOTED
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L104

MATERIALS NOTES:

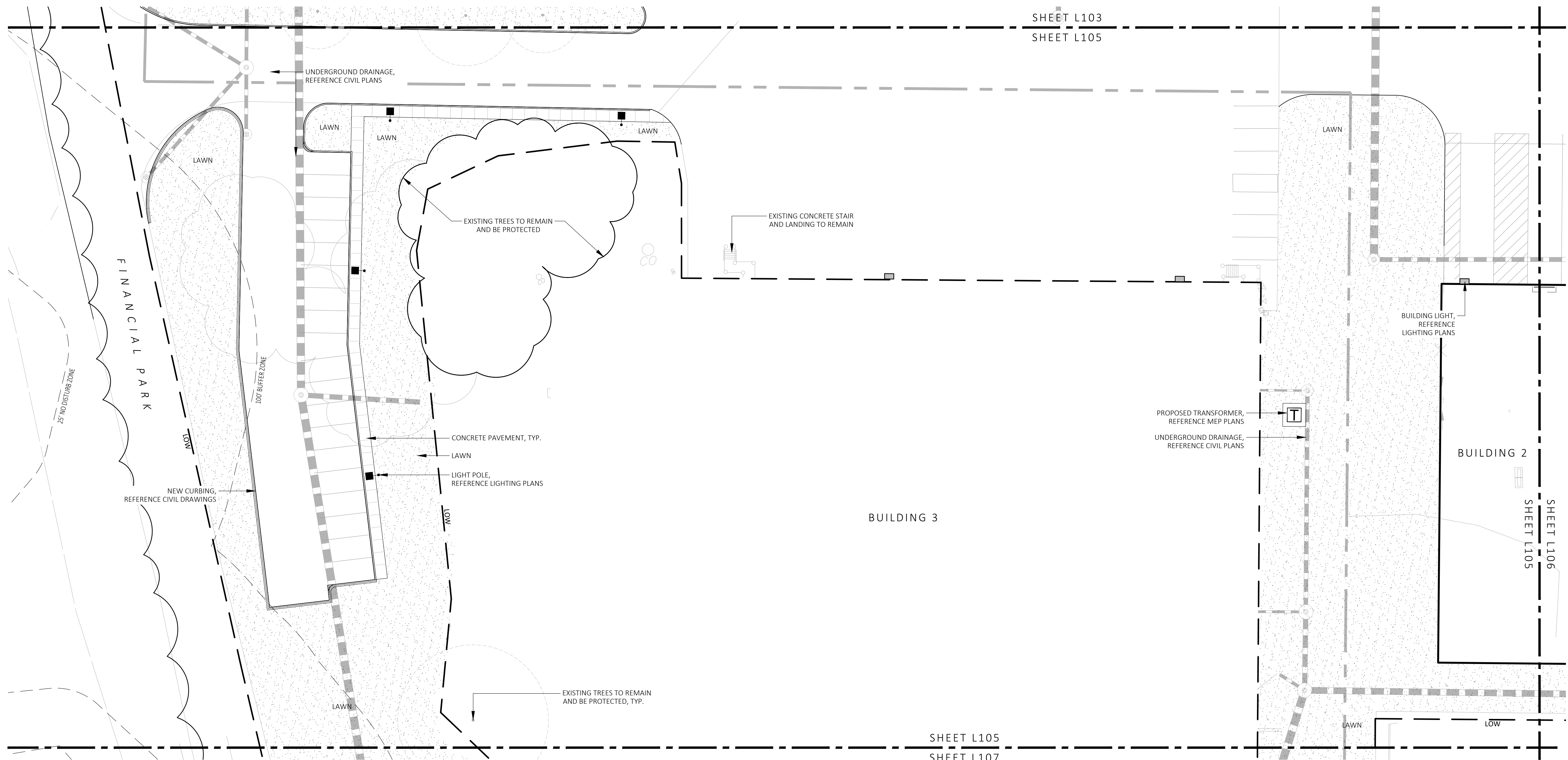
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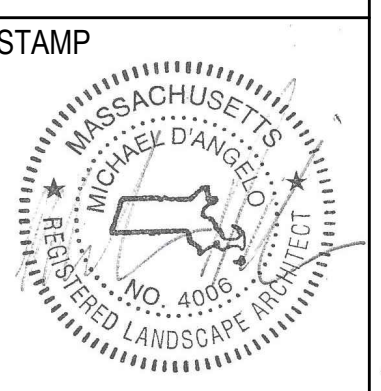
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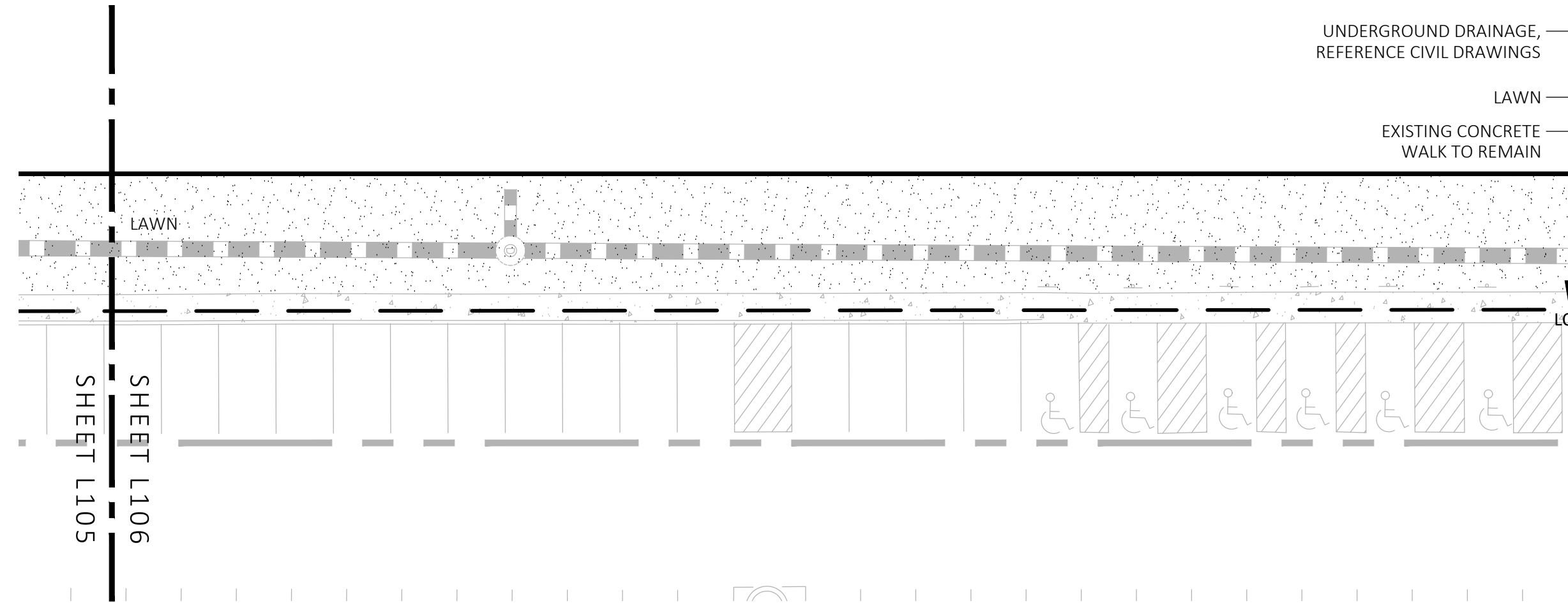
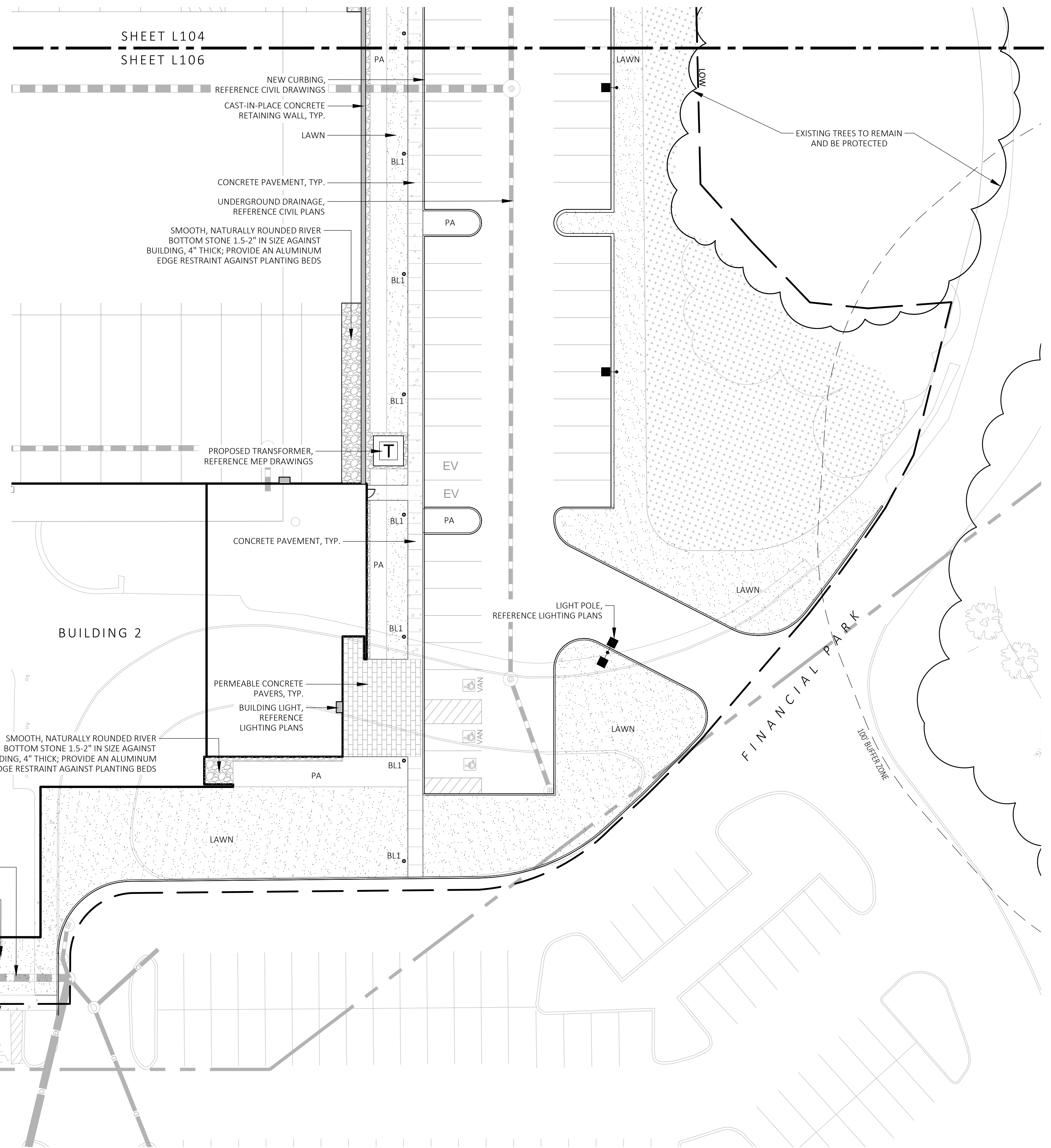
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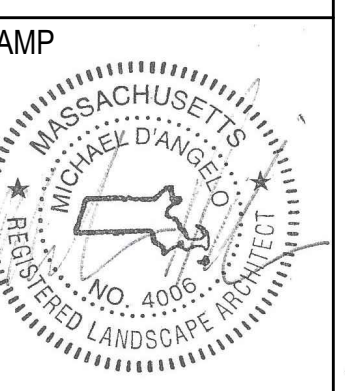
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MATERIALS PLAN

DRAWN: NC	L106
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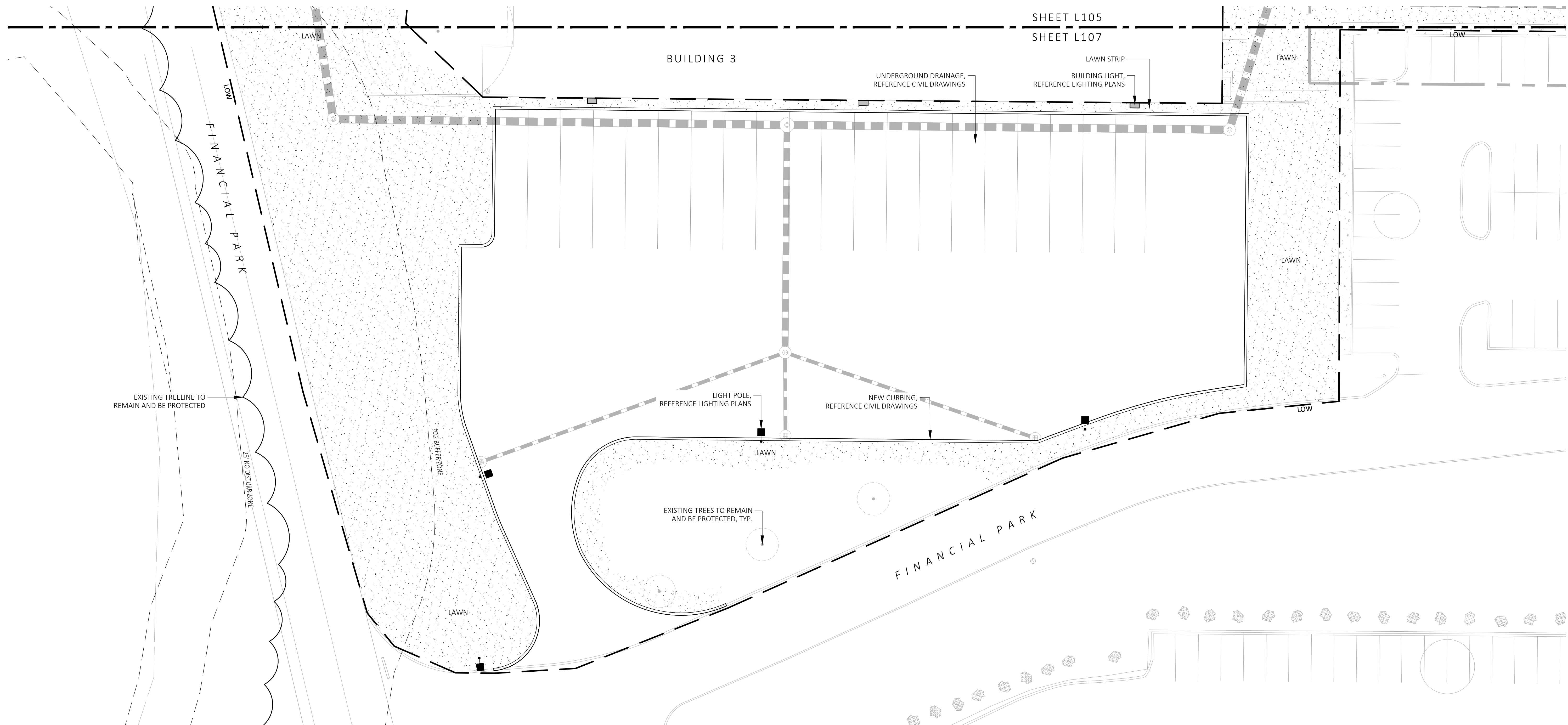
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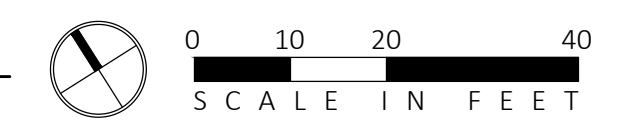
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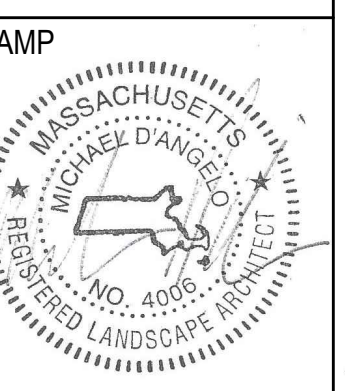


MDLA
MICHAEL D'ANGELO Landscape Architecture

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LANDSCAPE ARCHITECTURE LLC
840 SUMMER STREET
SUITE 201A
BOSTON, MA 02127
T. 203.592.4788
www.md-la.com

CLIENT
BERKELEY PARTNERS
1 WASHINGTON MALL, SUITE 701
BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA



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DATE: 5/11/2023
L107

PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
- TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

GENERAL IRRIGATION NOTES:

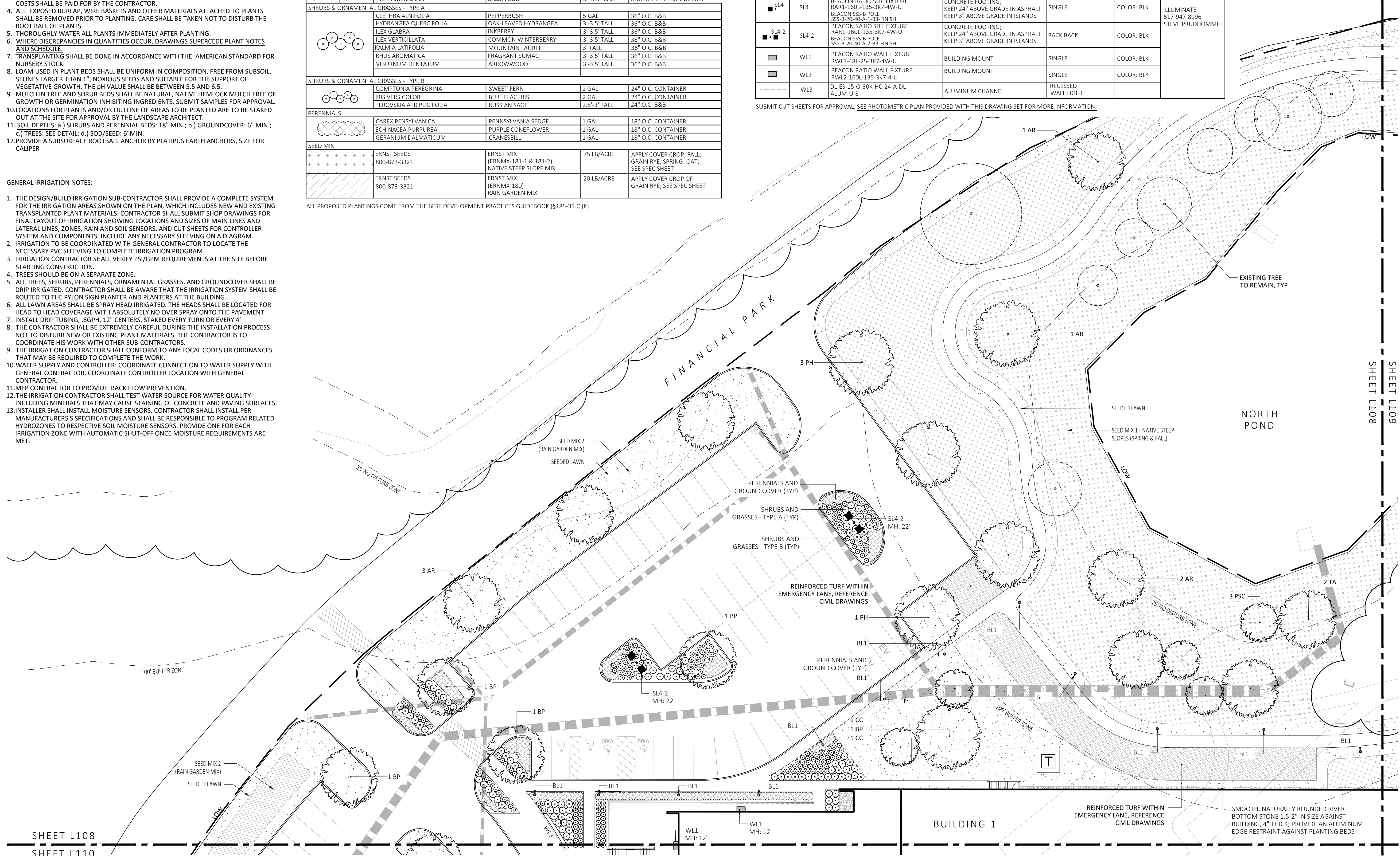
- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
- TREES SHOULD BE ON A SEPARATE ZONE.
- ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
- MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
- THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3" TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5"-3" TALL	24" O.C. B&B
PERENNIALS					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (\$185-31.C.K)

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
BL1		ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
SL3		BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
SL4		BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
SL4-2		BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
WL1		BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
WL2		BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
WL3		DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

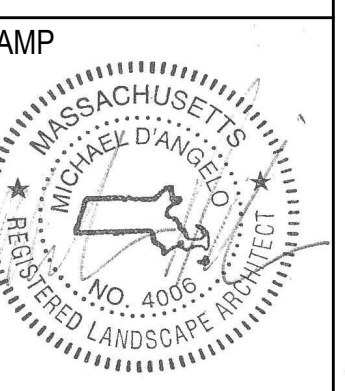
SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



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SHEET L108
SHEET L110

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SCALE: L108
AS NOTED
DATE: 5/11/2023

FOR PERMIT ONLY
NOT FOR CONSTRUCTION

SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-3-U BEACON SSS-B POLE SS5-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SS5-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SS5-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3" TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		RUSSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5"-3" TALL	24" O.C. B&B
PERENNIALS					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIICUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

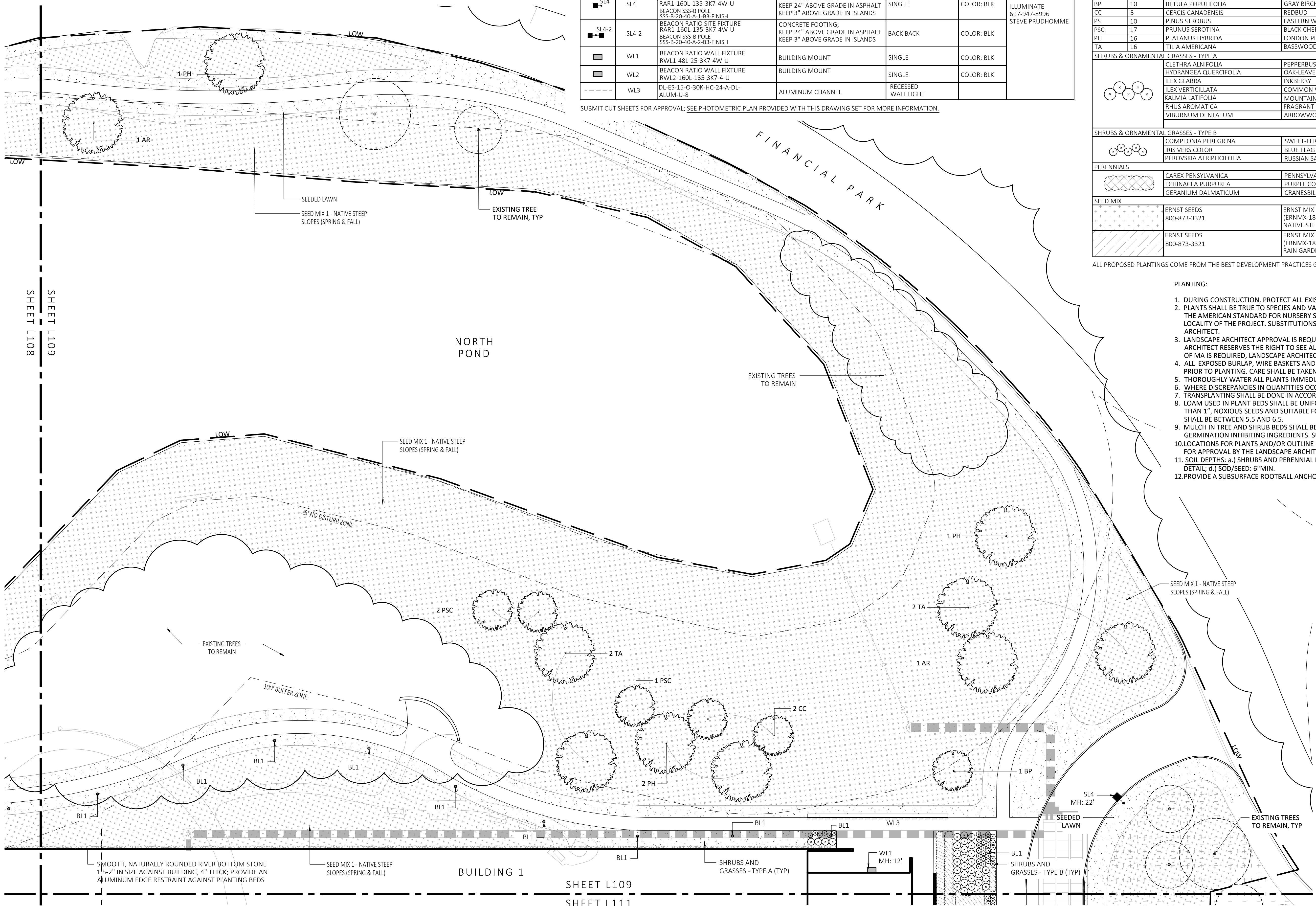
ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (§185-31.C.(K))

PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
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- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
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- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

GENERAL IRRIGATION NOTES:

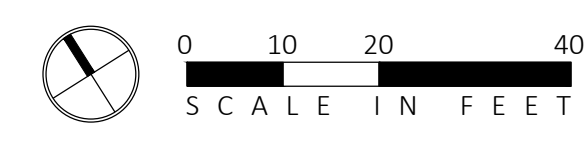
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- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
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SHEET L108
SHEET L109

1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"

SHEET L109
SHEET L111



MDLA
MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO
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WWW.MD-LA.COM

CLIENT
BERKELEY PARTNERS
1 WASHINGTON MALL, SUITE 701
BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA

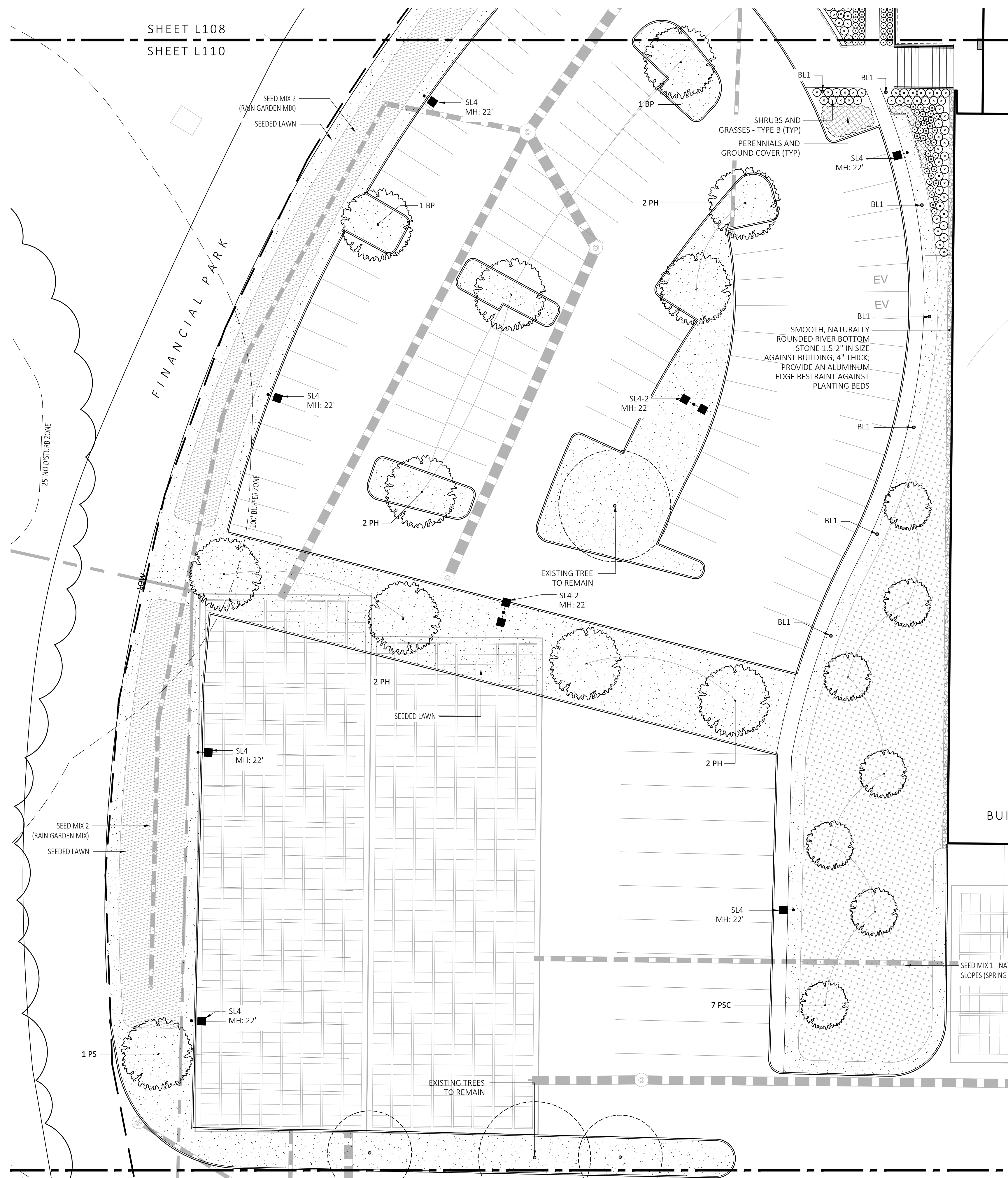
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REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
	7/17/23	RESPONSE TO COMMENTS

PLANTING & LIGHTING PLAN

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SHEET L108
SHEET L110

FINANCIAL PARK

100' BUFFER ZONE

SEED MIX 2 (RAIN GARDEN MIX)
SEEDED LAWN

EXISTING TREES TO REMAIN

SHRUBS AND GRASSES - TYPE B (TYP)
PERENNIALS AND GROUND COVER (TYP)

SMOOTH, NATURALLY ROUNDED RIVER BOTTOM STONE 1.5"-2" IN SIZE AGAINST BUILDING, 4" THICK; PROVIDE AN ALUMINUM EDGE RESTRAINT AGAINST PLANTING BEDS

EXISTING TREE TO REMAIN

SEED MIX 1 - NATIVE STEEP SLOPES (SPRING & FALL)

PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
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		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
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LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
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---	WL3	DL-E5-15-O-30K-HC-24-A-DL-ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

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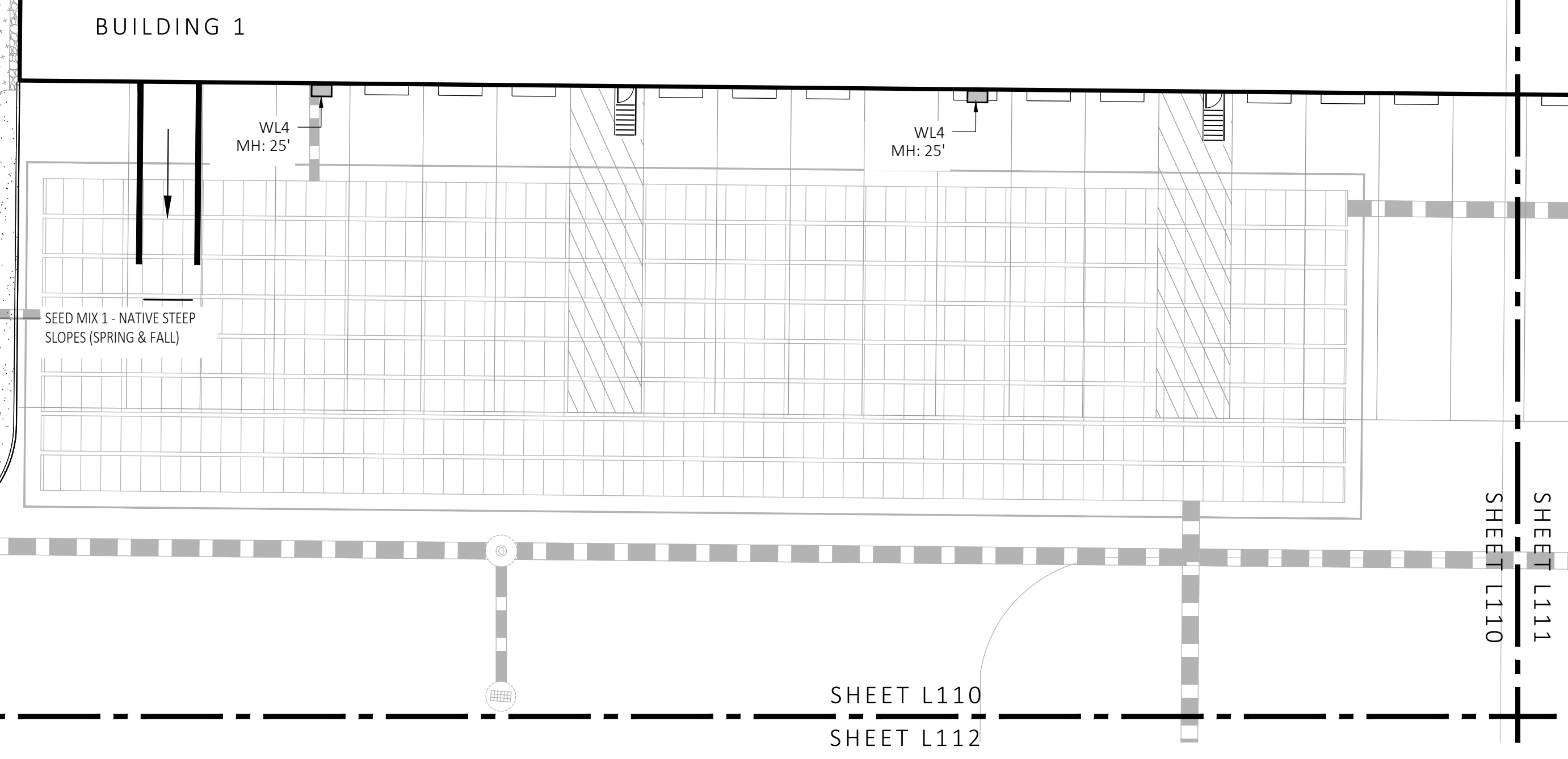
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 - PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPLUS EARTH ANCHORS, SIZE FOR CALIPER



SHEET L110
SHEET L112



1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"

MDLA
MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC
840 SUMMER STREET SUITE 203A BOSTON, MA 02127
1.203.592.4788
www.m-d-a.com

CLIENT
BERKELEY PARTNERS
1 WASHINGTON MALL, SUITE 701
BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA

STAMP
MICHAEL D'ANGELO
REGISTERED LANDSCAPE ARCHITECT
NO. 4096

REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PLANTING & LIGHTING PLAN

DRAWN: NC
CHECKED: AS NOTED
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DATE: 5/11/2023

SHEET 11 OF 24
plot date: 7/17/2023

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PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
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CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
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		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (§185-31.C.)

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-B	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

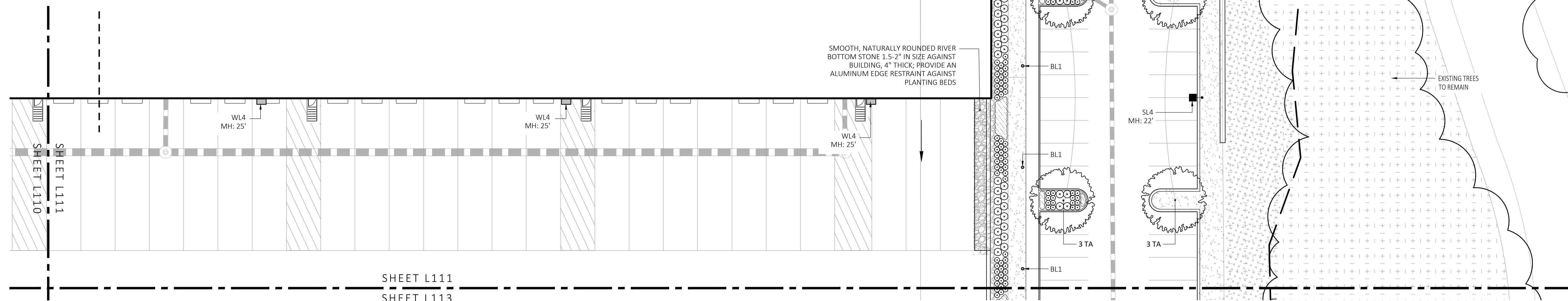
SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

GENERAL IRRIGATION NOTES:

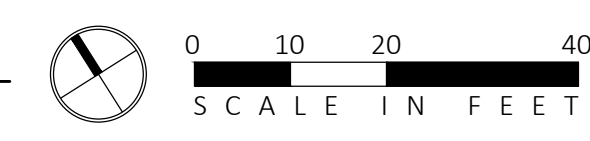
1. THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
3. IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
4. TREES SHOULD BE ON A SEPARATE ZONE.
5. ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
6. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
7. INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
8. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
9. THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
10. WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
11. MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
12. THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
13. INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

PLANTING:

1. DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
10. LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
12. PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER



1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"



MDLA
MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC

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BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA

STAMP
MICHAEL D'ANGELO
REGISTERED LANDSCAPE ARCHITECT
NO. 4098

REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
	7/17/23	RESPONSE TO COMMENTS

PLANTING & LIGHTING PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: L111
AS NOTED
DATE: 5/11/2023

SHEET 12 OF 24

plot date: 7/17/2023

PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
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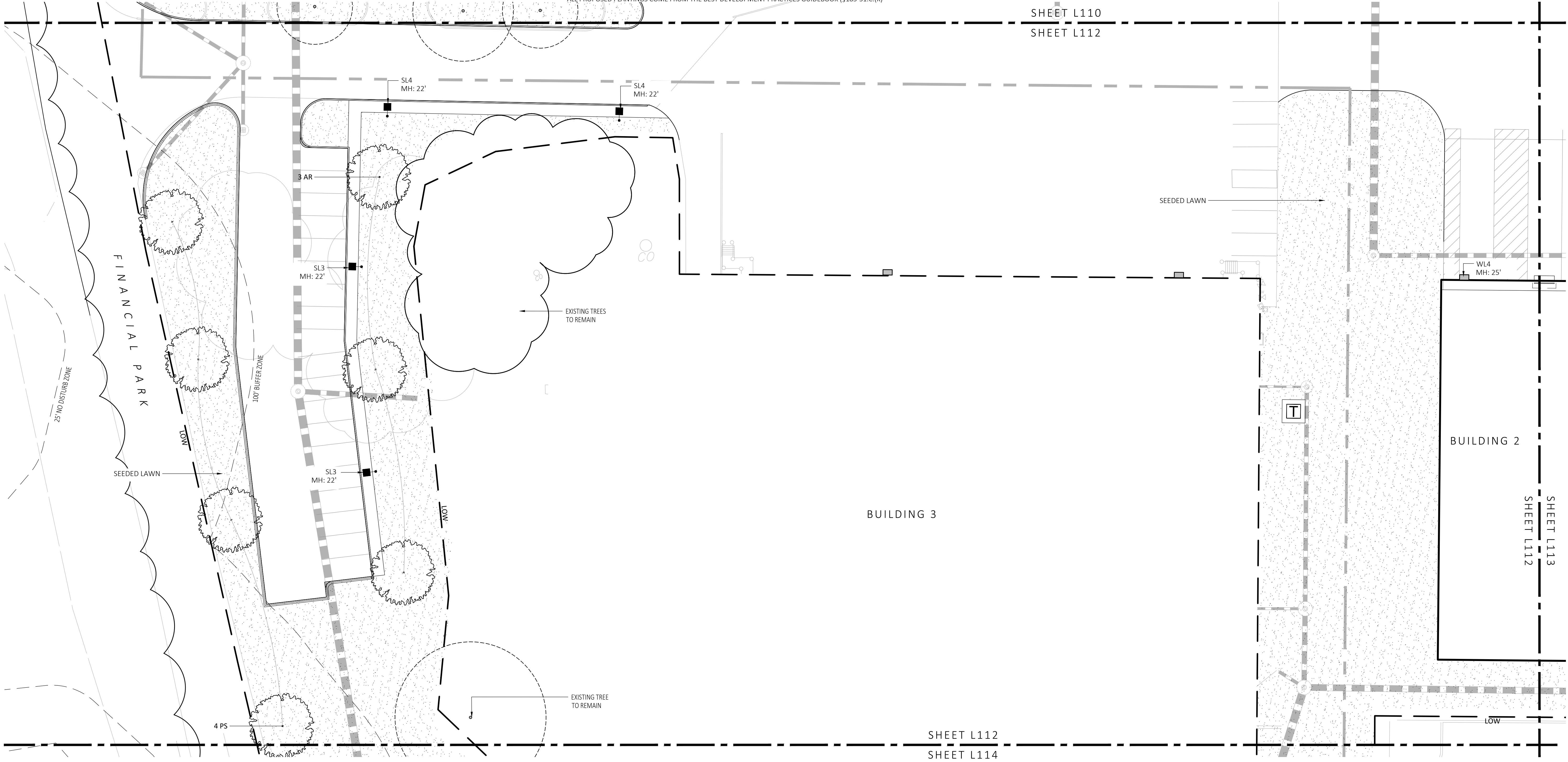
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS HYBRIDA	BLACK CHERRY	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3" TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3" TALL	24" O.C. B&B
PERENNIALS					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP: FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (\$185-31.C.K)

FOR PERMIT ONLY
NOT FOR CONSTRUCTION

SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"



MDLA
MICHAEL D'ANGELO Landscape Architecture

MICHAEL D'ANGELO
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PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA

STAMP
MICHAEL D'ANGELO
REGISTERED LANDSCAPE ARCHITECT
NO. 4098

REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
	7/17/23	RESPONSE TO COMMENTS

DRAWN: NC
CHECKED: AS NOTED
SCALE: L112
AS NOTED
DATE: 5/11/2023

PLANTING & LIGHTING PLAN

SHEET 13 OF 24

plot date: 7/17/2023

FOR PERMIT ONLY
NOT FOR CONSTRUCTION

PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3" x 3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3" x 3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3" x 3.5" CAL.	B&B, 6' CLEAR BRANCHING
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PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3" x 3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3" x 3.5" CAL.	B&B, 6' CLEAR BRANCHING
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SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3'-3.5' TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3'-3.5' TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3'-3.5' TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3' TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3'-3.5' TALL	36" O.C. B&B
		VIORNUM DENTATUM	ARROWWOOD	3'-3.5' TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA TRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3" TALL	24" O.C. B&B
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ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (\$185-31-C.K)

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
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---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

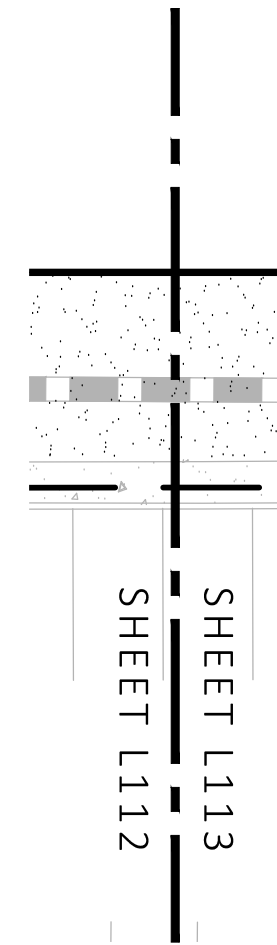
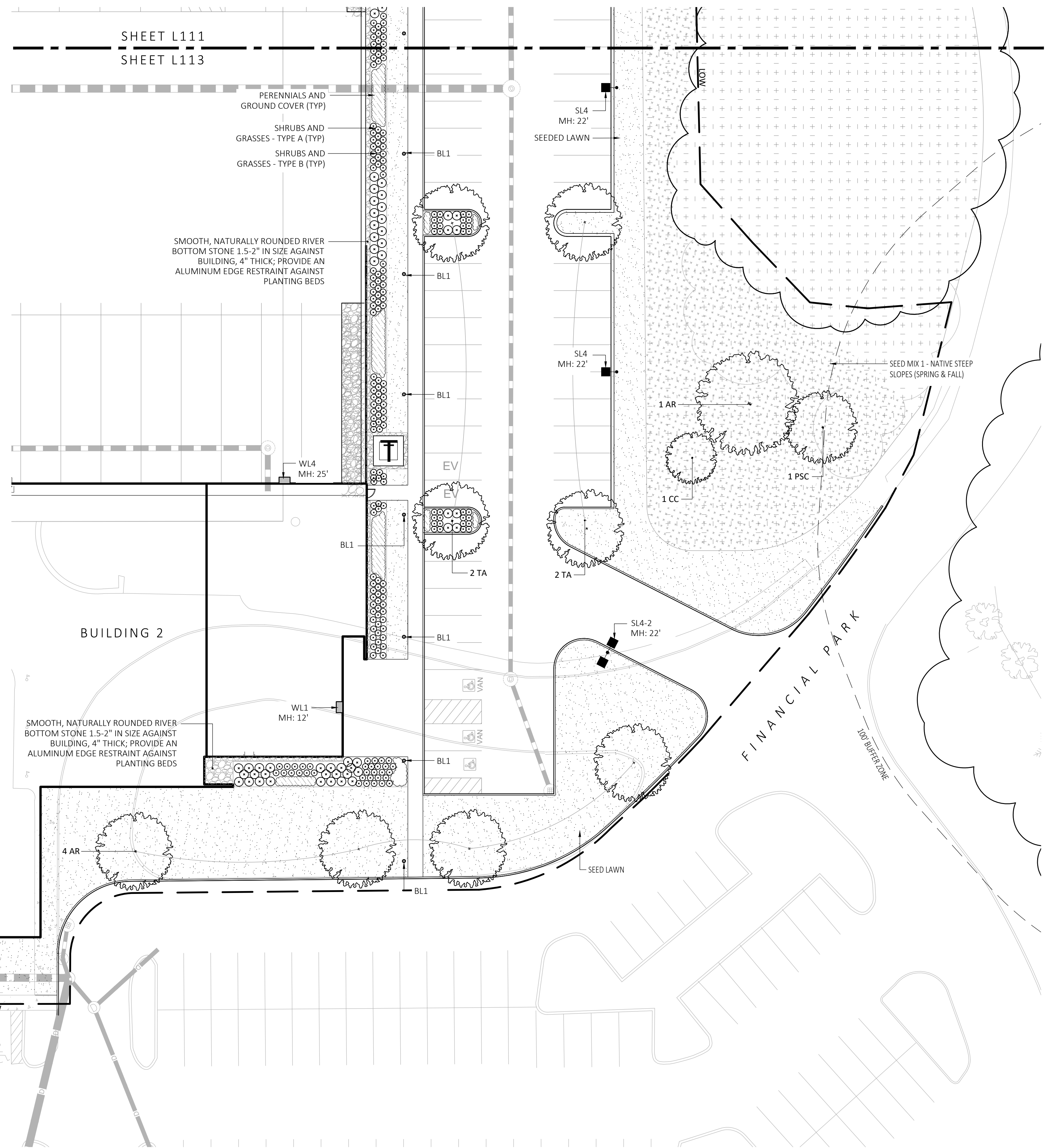
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- TREES SHOULD BE ON A SEPARATE ZONE.
- ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
- MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
- THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
- TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOIL/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER



1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"



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PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA

STAMP
MICHAEL D'ANGELO
REGISTERED LANDSCAPE ARCHITECT
NO. 4098

REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
	7/17/23	RESPONSE TO COMMENTS

PLANTING & LIGHTING PLAN

L113

DRAWN: NC
CHECKED: AS NOTED
SCALE: AS NOTED
DATE: 5/11/2023

SHEET 14 OF 24
plot date: 7/17/2023

PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
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- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
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- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

GENERAL IRRIGATION NOTES:

- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
- TREES SHOULD BE ON A SEPARATE ZONE.
- ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
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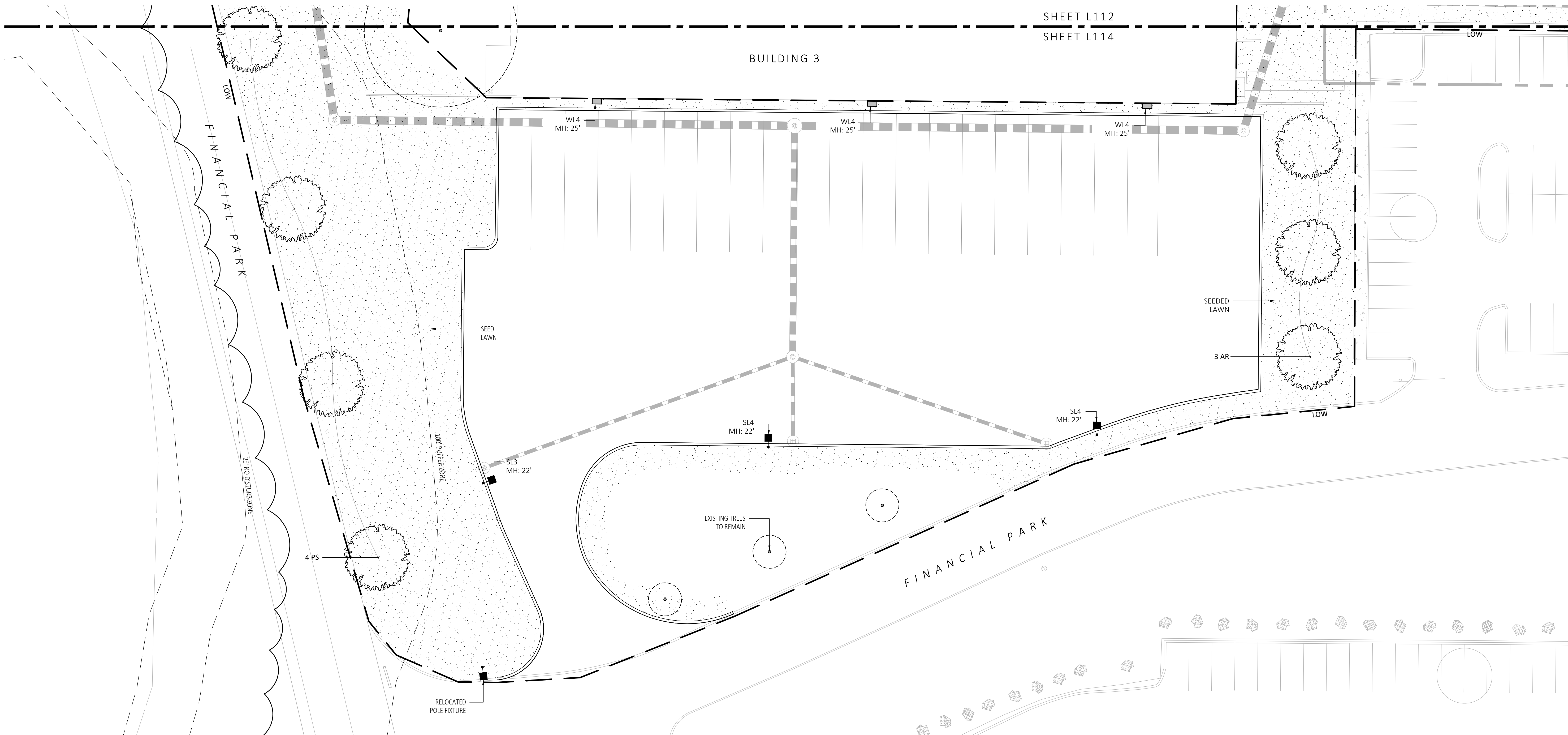
PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3" TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5"-3" TALL	24" O.C. B&B
PERENNIALS					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP: FALL: GRAIN RYE, SPRINGS: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (\$185-31.C.(K))

FOR PERMIT ONLY
NOT FOR CONSTRUCTION

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT	COLOR: BLK	

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"



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PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA

STAMP
MICHAEL D'ANGELO
LANDSCAPE ARCHITECT
NO. 4098

REV. NO.	DATE	DESCRIPTION
1	7/17/23	FOR PERMIT
		RESPONSE TO COMMENTS

DRAWN:
NC

CHECKED:
AS NOTED

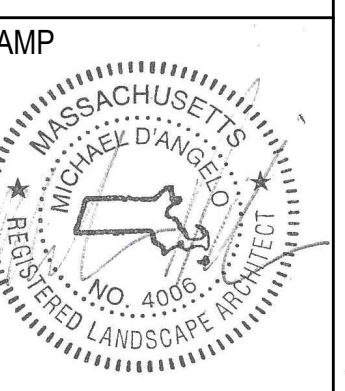
SCALE:
AS NOTED

DATE:
5/11/2023

L114

SHEET 15 OF 24

plot date: 7/17/2023



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PLANTING SCHEDULE & DETAILS

DRAWN:	NC
CHECKED:	AS NOTED
SCALE:	L115
AS NOTED:	
DATE:	5/11/2023



Ernst Conservation Seeds
8884 Mercer Pike
Meadville, PA 16335
(800) 873-3321 Fax (814) 336-5191
www.ernstseed.com

Spring

Date: August 28, 2018

Native Steep Slope Mix w/Grain Oats - ERNMX-181-1

Botanical Name	Common Name	Price/lb
40.00 % <i>Avena sativa</i> , Variety Not Stated	Oats, Variety Not Stated	0.22
20.40 % <i>Sorghastrum nutans</i> , NY Ecotype	Indiangrass, NY Ecotype	12.90
8.10 % <i>Andropogon gerardii</i> , 'Niagara'	Big Bluestem, 'Niagara'	13.06
7.50 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
5.20 % <i>Elymus canadensis</i>	Canada Wildrye	12.87
4.50 % <i>Schizanthus scoparium</i> , Fort Indiantown Gap-PA Ecotype	Purpletop, Fort Indiantown Gap-PA Ecotype	12.00
3.70 % <i>Tridens flavus</i> , Fort Indiantown Gap-PA Ecotype	Tridens Flava, Fort Indiantown Gap-PA Ecotype	18.78
3.00 % <i>Agraria perennis</i> , Albany Pine Bush-NY Ecotype	Autumn Bergamoss, Albany Pine Bush-NY Ecotype	14.00
2.30 % <i>Panicum virgatum</i> , 'Shawnee'	Switchgrass, 'Shawnee'	7.51
1.10 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
1.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
0.80 % <i>Gallardia aridata</i>	Perennial Gallardia (Blanketflower)	32.00
0.80 % <i>Audubonia hirta</i>	Black-eyed Susan	20.00
0.70 % <i>Heliopsis helianthoides</i> , PA Ecotype	Cheery Sunflower, PA Ecotype	42.00
0.40 % <i>Aster novae-angliae</i> , PA Ecotype	New England Aster, PA Ecotype	360.00
0.20 % <i>Asclepias syriaca</i> , PA Ecotype	Common Milkweed, PA Ecotype	196.00
0.20 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.10 % <i>Penstemon digitalis</i>	Tall White Beardtongue	160.00

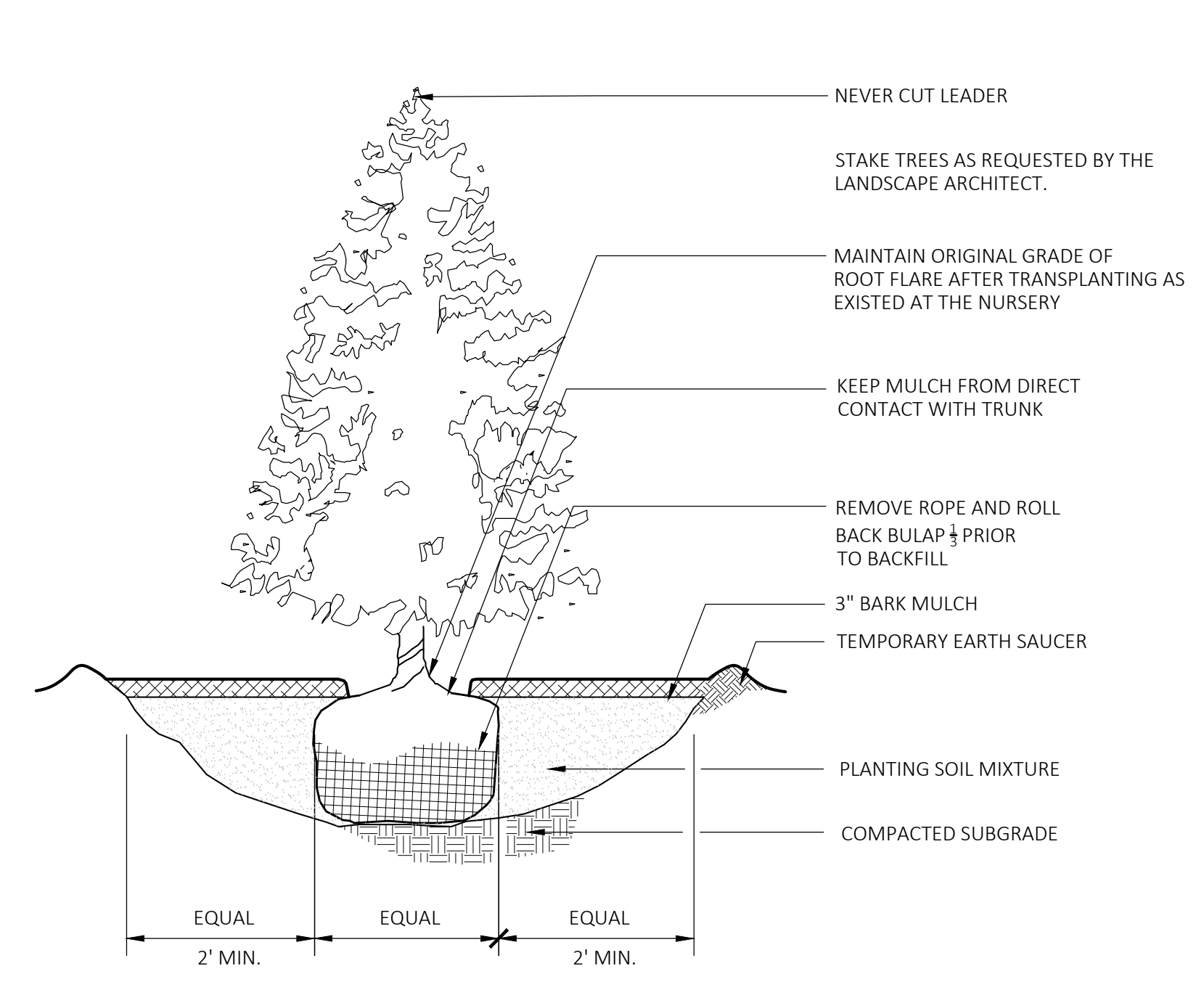
100.00 % Mix Price/lb Bulk: \$10.45

Seeding Rate: 75 lb per acre
Erosion Control & Revegetation

Use this formula with grain oats as a cover crop in the spring and summer (until September 1st). Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days.
All prices are FOB Meadville, PA.
Please check our web site at www.ernstseed.com
for current pricing when placing orders.

1 SEED MIX 1 - NATIVE STEEP SLOPES (SPRING)
SCALE: N.T.S.



4 EVERGREEN TREE PLANTING
SCALE: N.T.S.



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Fall

Date: August 28, 2018

Native Steep Slope Mix w/Grain Rye - ERNMX-181-2

Botanical Name	Common Name	Price/lb
40.00 % <i>Scaevola coccinea</i> , Variety Not Stated	Grain Rye, Variety Not Stated	0.21
20.40 % <i>Sorghastrum nutans</i> , PA Ecotype	Indiangrass, PA Ecotype	10.60
8.10 % <i>Andropogon gerardii</i> , 'Niagara'	Big Bluestem, 'Niagara'	13.06
7.50 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
5.20 % <i>Elymus canadensis</i>	Canada Wildrye	12.87
4.50 % <i>Schizanthus scoparium</i> , 'Camper'	Little Bluestem, 'Camper'	12.59
3.70 % <i>Tridens flavus</i>	Purpletop	18.56
3.00 % <i>Agraria perennis</i> , Albany Pine Bush-NY Ecotype	Autumn Bergamoss, Albany Pine Bush-NY Ecotype	14.00
2.30 % <i>Panicum virgatum</i> , 'Shawnee'	Switchgrass, 'Shawnee'	7.51
1.10 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
1.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
0.80 % <i>Gallardia aridata</i>	Perennial Gallardia (Blanketflower)	32.00
0.80 % <i>Audubonia hirta</i>	Black-eyed Susan	20.00
0.70 % <i>Heliopsis helianthoides</i> , PA Ecotype	Cheery Sunflower, PA Ecotype	42.00
0.40 % <i>Aster lateriflorus</i>	Calico Aster	300.00
0.30 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.20 % <i>Asclepias syriaca</i> , PA Ecotype	Common Milkweed, PA Ecotype	196.00

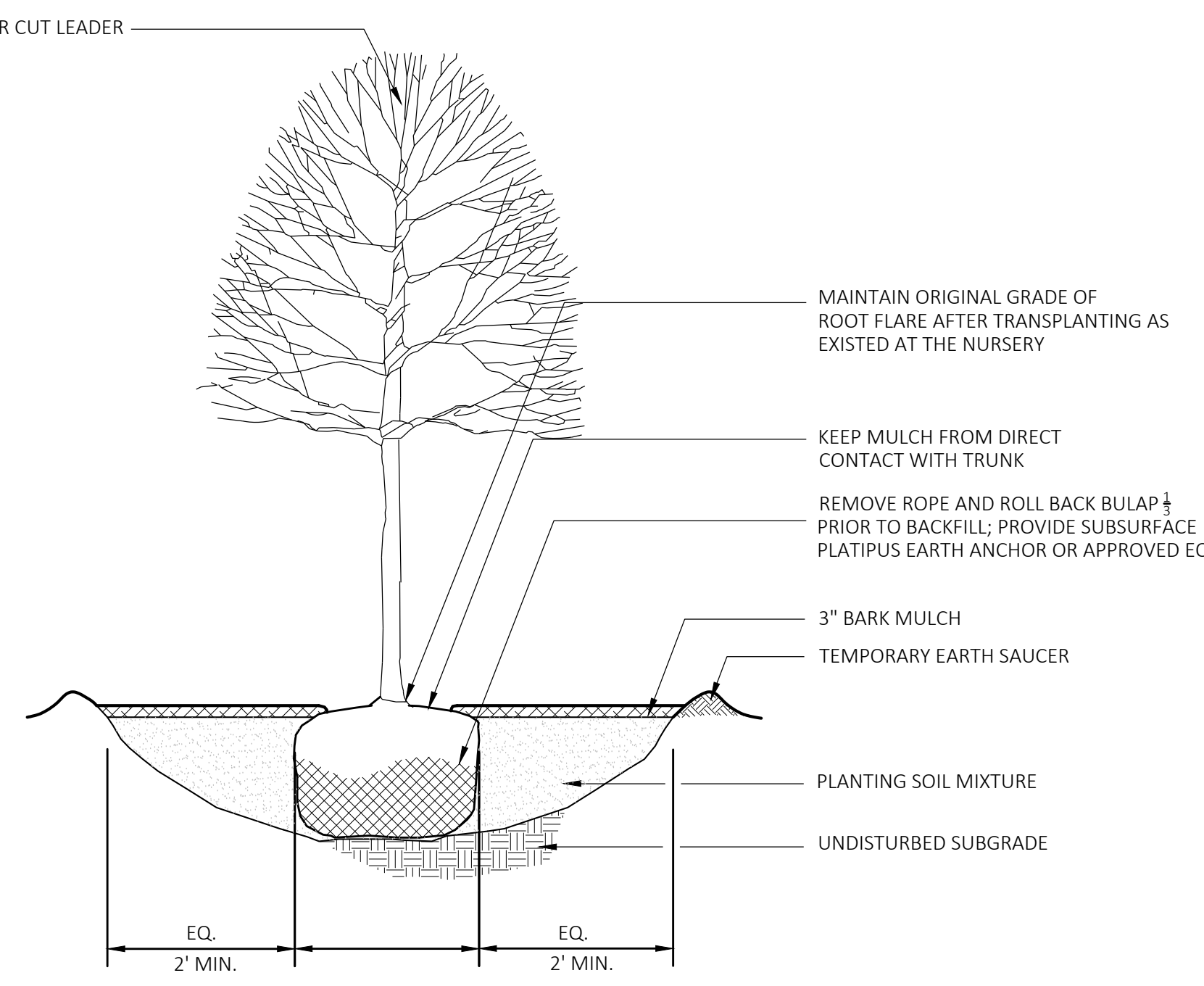
100.00 % Mix Price/lb Bulk: \$9.88

Seeding Rate: 75 lb per acre
Erosion Control & Revegetation

Use this formula with grain rye as a cover crop (from August 1st-February 15th). Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days.
All prices are FOB Meadville, PA.
Please check our web site at www.ernstseed.com
for current pricing when placing orders.

2 SEED MIX 1 - NATIVE STEEP SLOPES (FALL)
SCALE: N.T.S.



5 DECIDUOUS TREE PLANTING
SCALE: N.T.S.



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8884 Mercer Pike
Meadville, PA 16335
(800) 873-3321 Fax (814) 336-5191
www.ernstseed.com

Date: August 28, 2018

Rain Garden Mix - ERNMX-180

Botanical Name	Common Name	Price/lb
31.50 % <i>Schizanthus scoparium</i> , Albany Pine Bush-NY Ecotype	Little Bluestem, Albany Pine Bush-NY Ecotype	12.02
20.00 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
10.00 % <i>Carex vulpinoidea</i> , PA Ecotype	Fox Sedge, PA Ecotype	24.00
10.00 % <i>Panicum virgatum</i> , Coastal Plain NC Ecotype	Redtop/Panicgrass, Coastal Plain NC Ecotype	48.00
5.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
3.00 % <i>Coreopsis lanceolata</i>	Lanceleaf Coreopsis	24.00
2.00 % <i>Audubonia hirta</i>	Black-eyed Susan	20.00
2.00 % <i>Carex scoparia</i> , PA Ecotype	Blunt Broom Sedge, PA Ecotype	72.00
2.00 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
2.00 % <i>Eupatorium coelestinum</i> , VA Ecotype	Milkflower, VA Ecotype	128.00
2.00 % <i>Heliopsis helianthoides</i> , PA Ecotype	Cheery Sunflower, PA Ecotype	42.00
2.00 % <i>Pennisetum digitatum</i> , PA Ecotype	Tall White Beardgrass, PA Ecotype	160.00
1.00 % <i>Asclepias incarnata</i> , PA Ecotype	Swamp Milkweed, PA Ecotype	160.00
1.00 % <i>Juncus effusus</i>	Soft Rush	40.00
1.00 % <i>Juncus tenuis</i> , PA Ecotype	Path Rush, PA Ecotype	60.00
1.00 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.80 % <i>Aster novae-angliae</i> , PA Ecotype	New England Aster, PA Ecotype	360.00
0.70 % <i>Aster laevis</i> , NY Ecotype	Smooth Blue Aster, NY Ecotype	300.00
0.50 % <i>Audubonia hirta</i> var. <i>fulpida</i> , Northern VA Ecotype	Orange Coneflower, Northern VA Ecotype	300.00
0.50 % <i>Serratula heptaceras</i> , VA & WV Ecotype	Wild Serris, VA & WV Ecotype	24.00
0.40 % <i>Mnarda flexilis</i> , Fort Indiantown Gap-PA Ecotype	Wild Bergamoss, Fort Indiantown Gap-PA Ecotype	160.00
0.30 % <i>Psycarthrum tenuifolium</i>	Narrowleaf Mountainmint	140.00
0.30 % <i>Solidago juncea</i> , PA Ecotype	Early Goldenrod, PA Ecotype	280.00

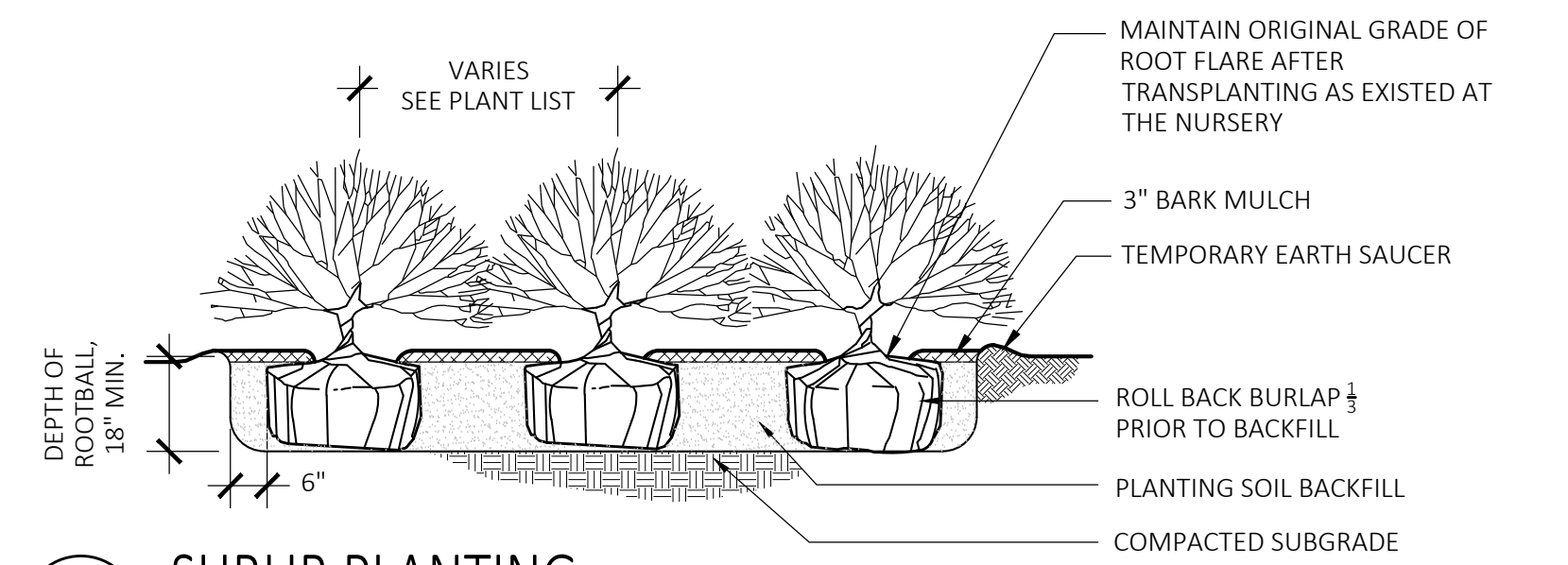
100.00 % Mix Price/lb Bulk: \$37.29

Seeding Rate: 20 lb per acre with a cover crop of grain rye at 30 lb per acre
Uplands & Meadows

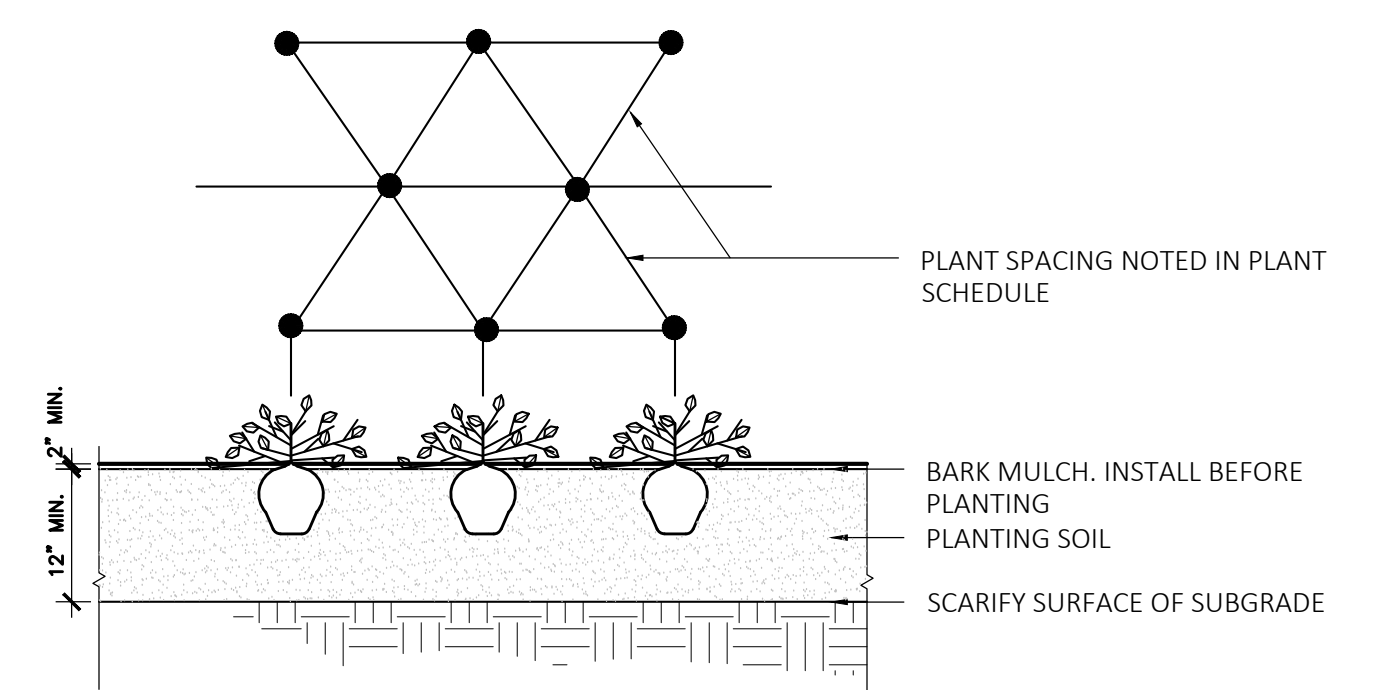
The native perennial forbs and grasses provide food and cover for rain garden biodiversity. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days.
All prices are FOB Meadville, PA.
Please check our web site at www.ernstseed.com
for current pricing when placing orders.

3 SEED MIX 2 - RAIN GARDEN MIX
SCALE: N.T.S.



6 SHRUB PLANTING
SCALE: N.T.S.



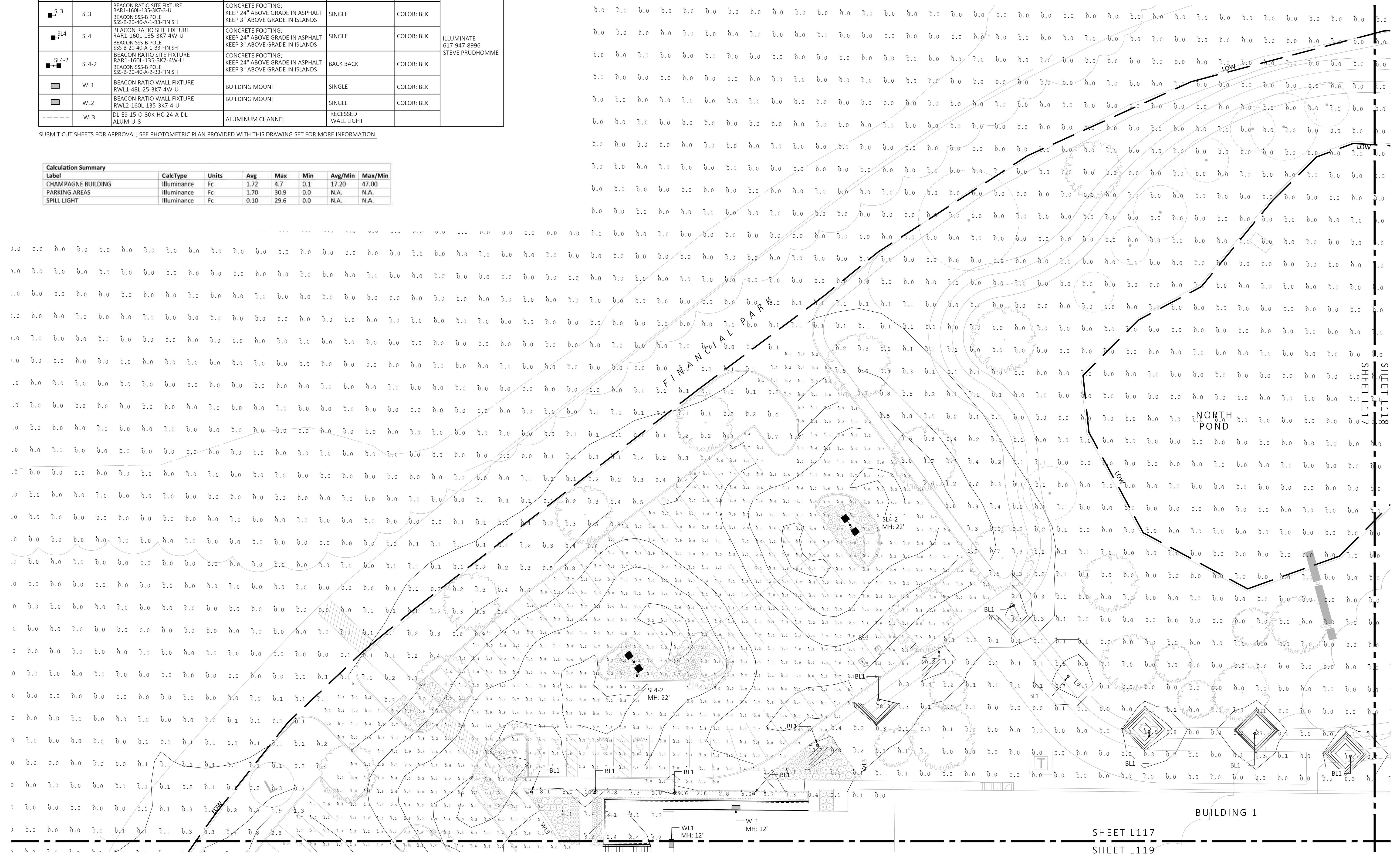
7 GROUNDCOVER PLANTING
SCALE: N.T.S.

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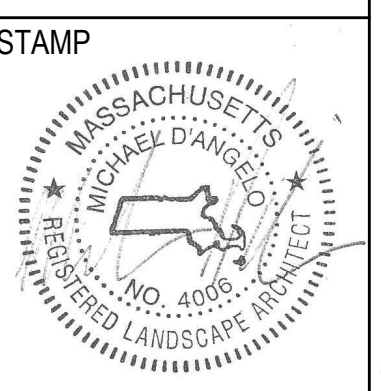
LIGHT SCHEDULE SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-UJ-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PHOTOMETRIC PLAN

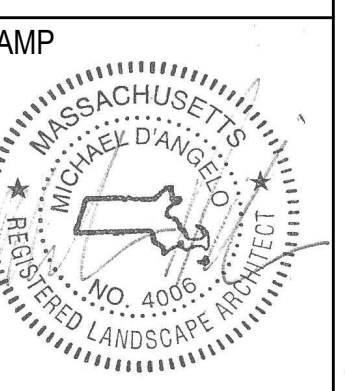
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MDLA
MICHAEL D'ANGELO Landscape Architecture

MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
840 SUMMER STREET
SUITE 203A
BOSTON, MA 02127
1.203.592.4788
www.m-d-a.com

CLIENT
BERKELEY PARTNERS
1 WASHINGTON MALL, SUITE 701
BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
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1	7/17/23	RESPONSE TO COMMENTS

PHOTOMETRIC PLAN

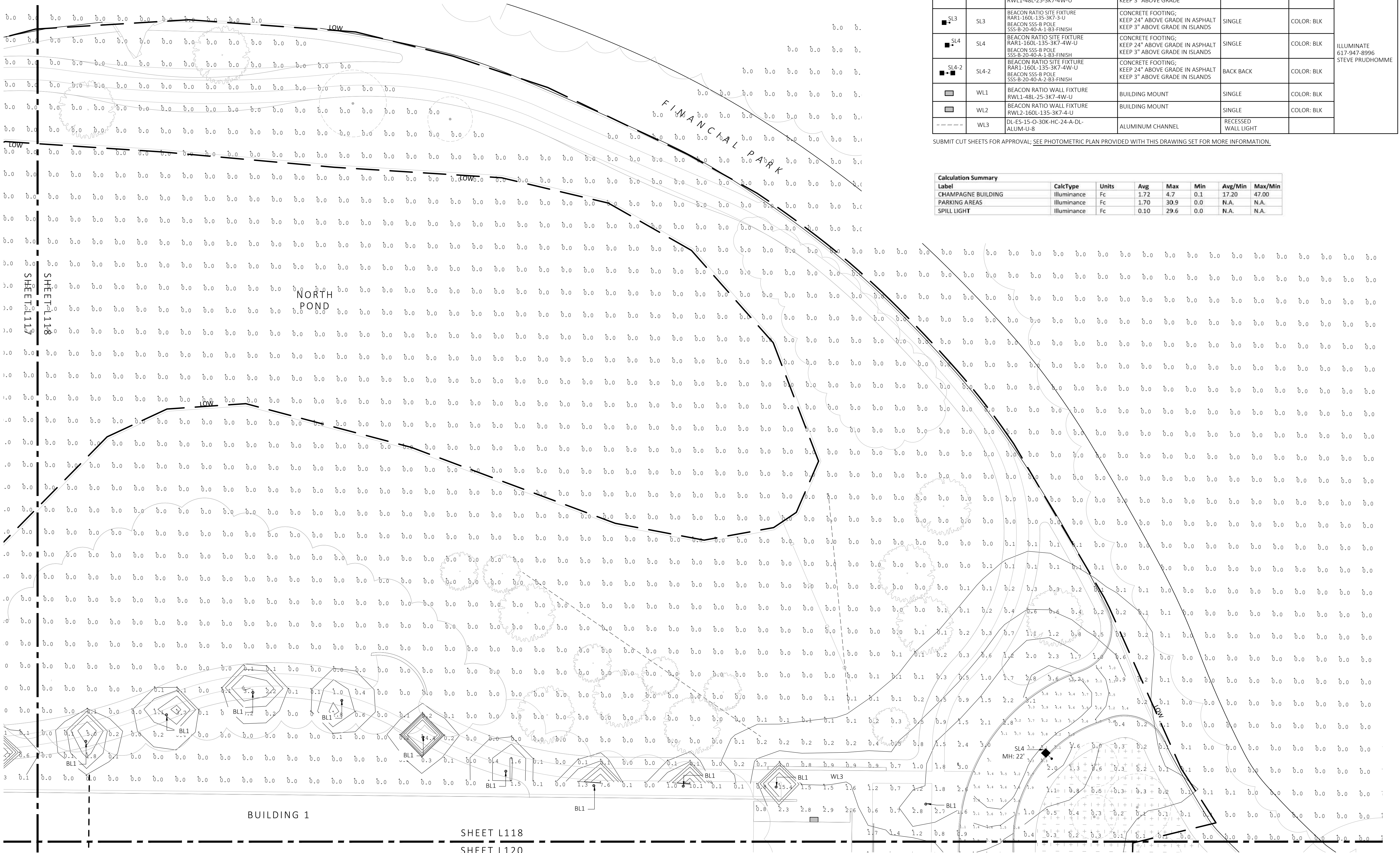
DRAWN: NC
CHECKED: AS NOTED
SCALE: AS NOTED
DATE: 5/11/2023
L118

SHEET 19 OF 24

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■ SL3	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-8 POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■ SL4	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■ SL4-2	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□ WL1	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□ WL2	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.

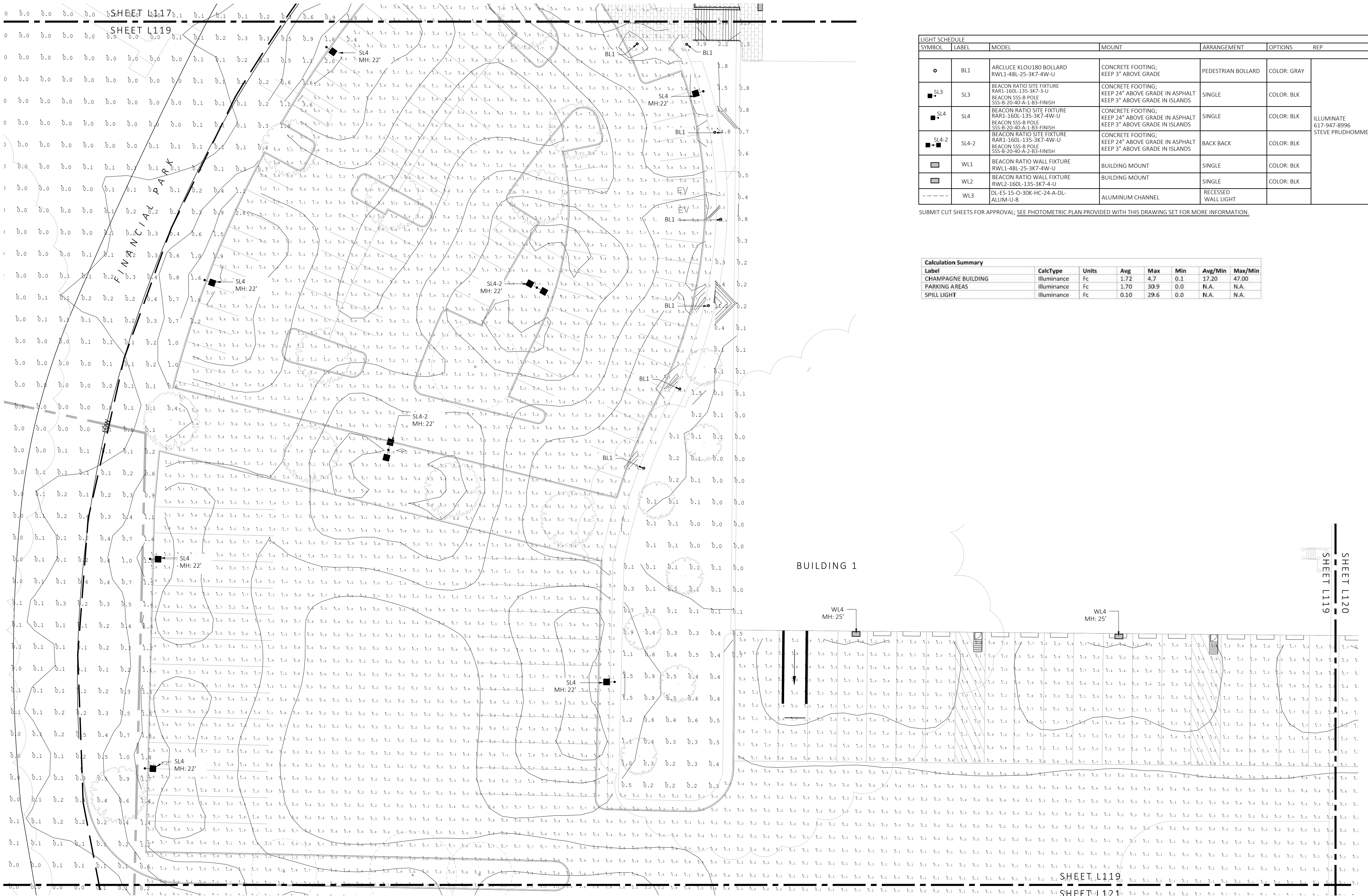


1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



SHEET L118
SHEET L120

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SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4-U BEACON 555-B POLE 555-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4-U BEACON 555-B POLE 555-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON 555-B POLE 555-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	ILLUMINATE STEVE PRUDHOMME
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	ILLUMINANCE	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	ILLUMINANCE	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	ILLUMINANCE	Fc	0.10	29.6	0.0	N.A.	N.A.

1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



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100 / 200 FINANCIAL PARK
FRANKLIN, MA

STAMP
MICHAEL D'ANGELO
LANDSCAPE ARCHITECT
NO. 4095
STATE OF MASSACHUSETTS

REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PHOTOMETRIC PLAN

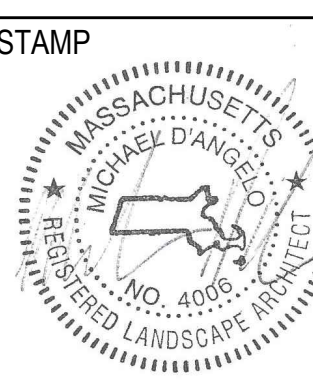
DRAWN:
NC
CHECKED:
AS NOTED
SCALE:
AS NOTED
DATE:
5/11/2023

L119

SHEET 20 OF 24

plot date: 7/17/2023

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REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PHOTOMETRIC PLAN

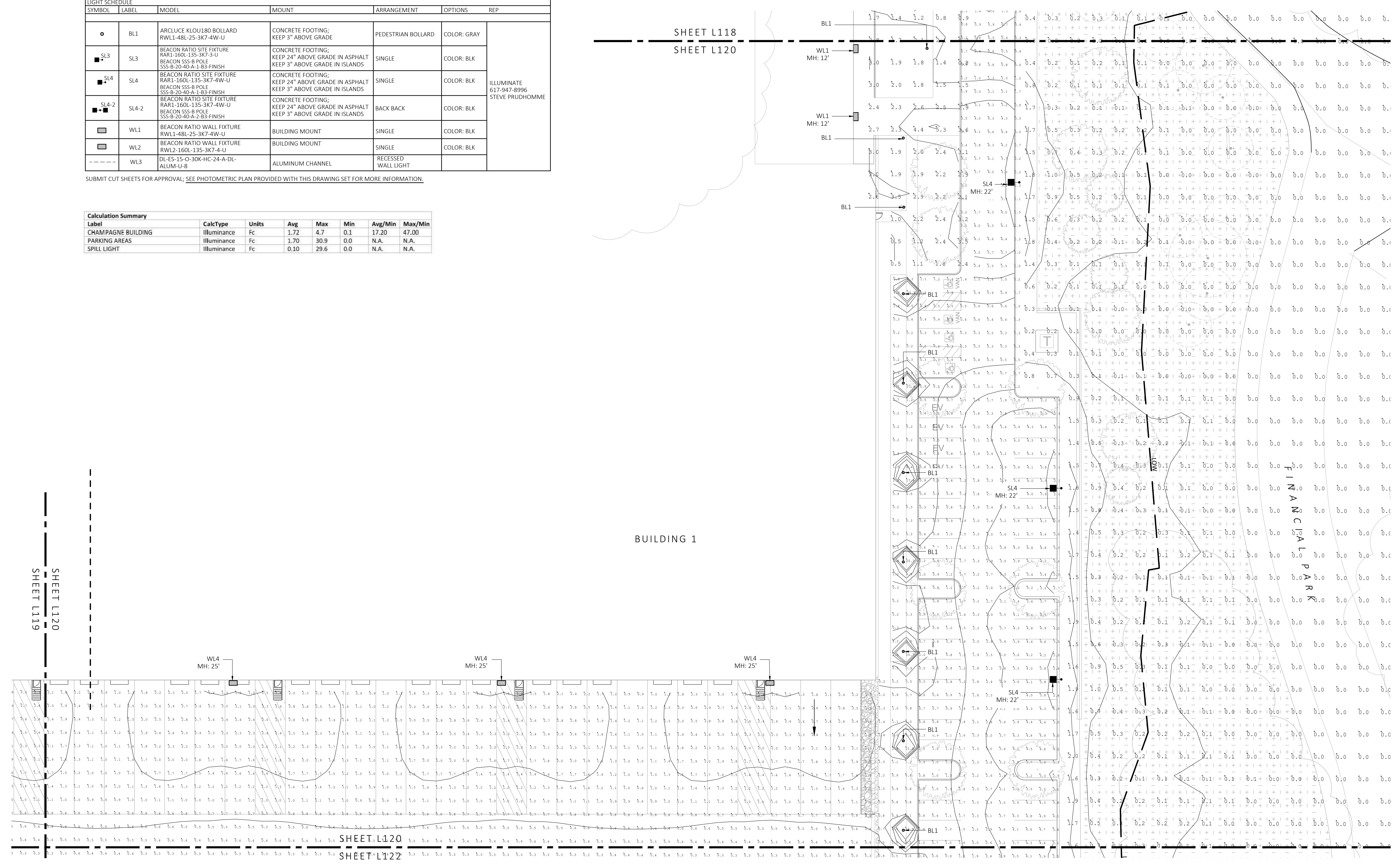
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CHECKED: AS NOTED
SCALE: AS NOTED
DATE: 5/11/2023

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.

SHEET L118
SHEET L120



1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



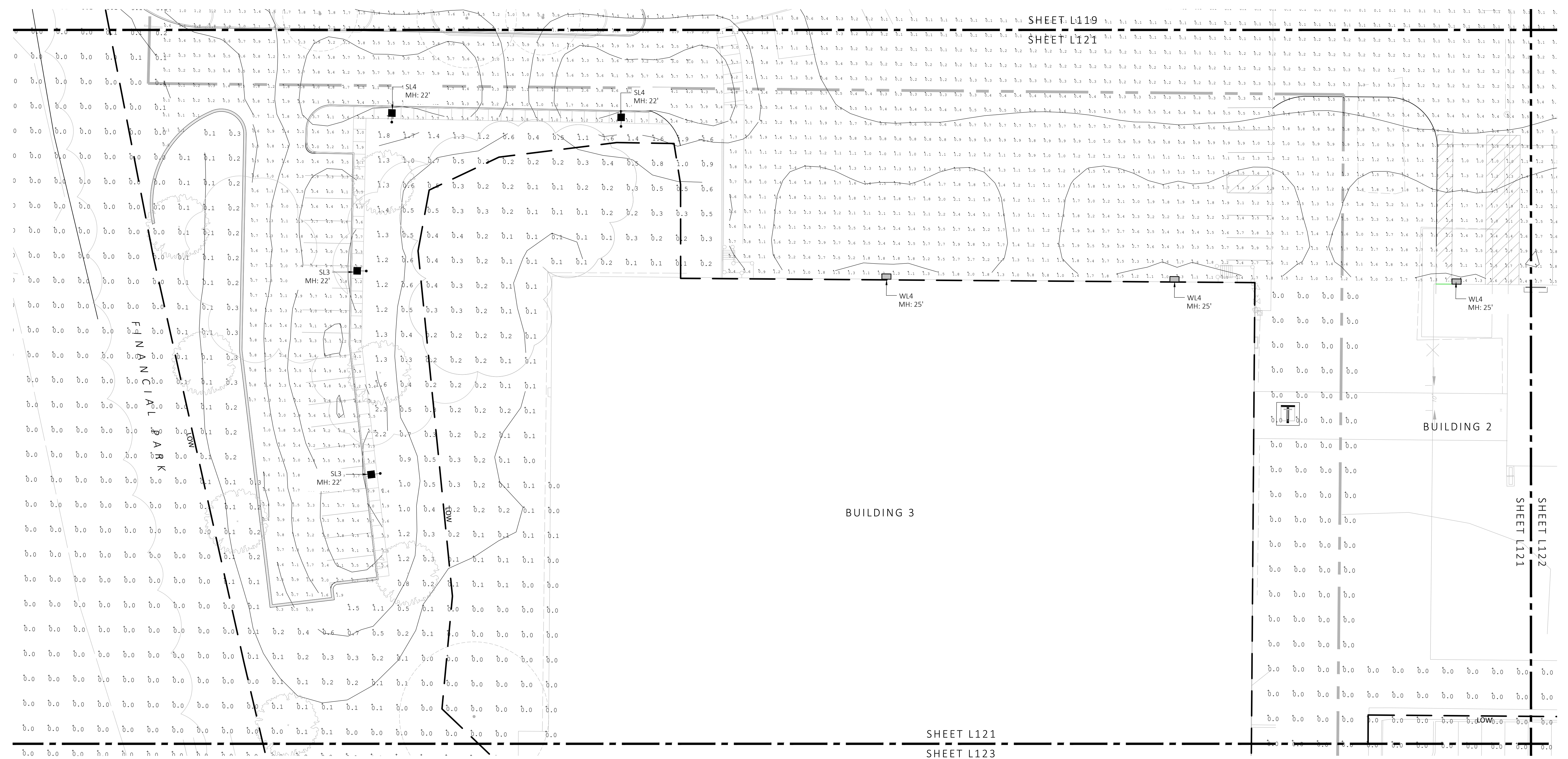
SHEET L120
SHEET L122

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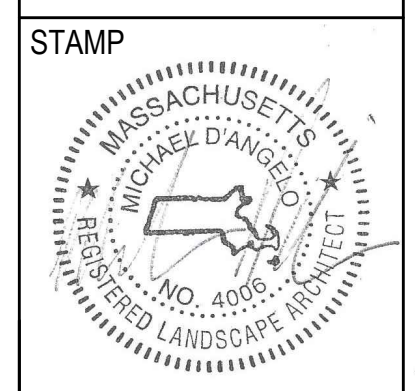
LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



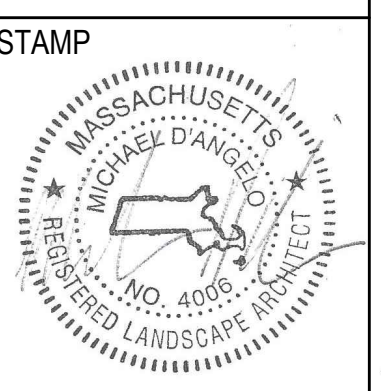
1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

PHOTOMETRIC PLAN

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1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS

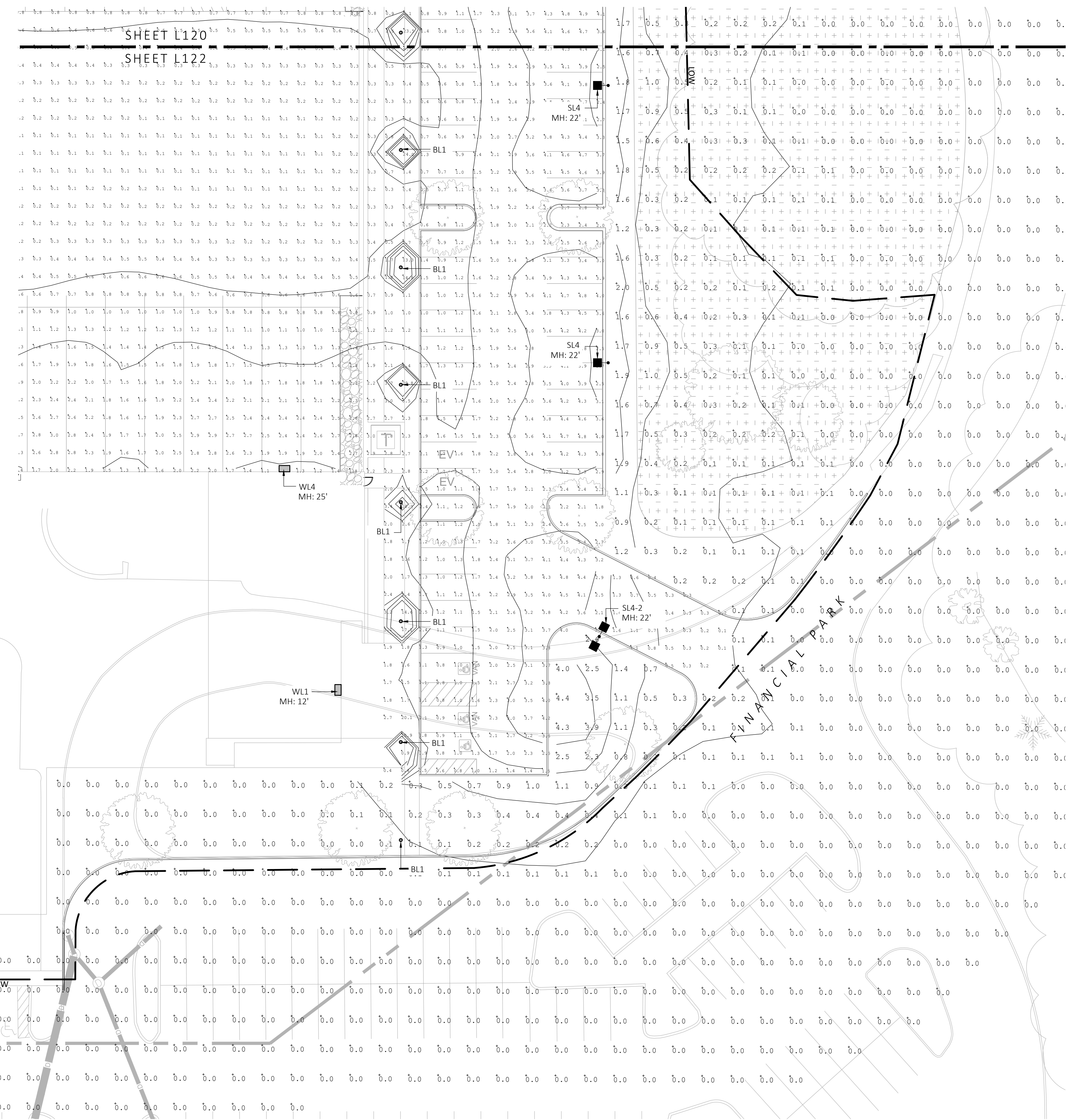
PHOTOMETRIC PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: L122
AS NOTED
DATE: 5/11/2023

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	Illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	Illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	Illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



SHEET L121
SHEET L122
SHEET L123

1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



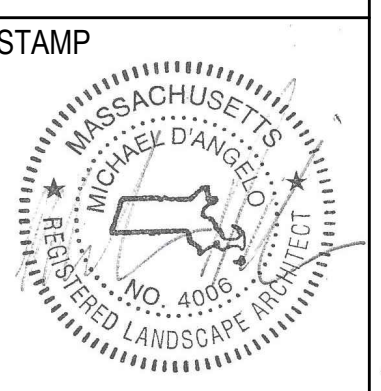
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FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
1	7/17/23	FOR PERMIT RESPONSE TO COMMENTS

PHOTOMETRIC PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: AS NOTED
DATE: 5/11/2023

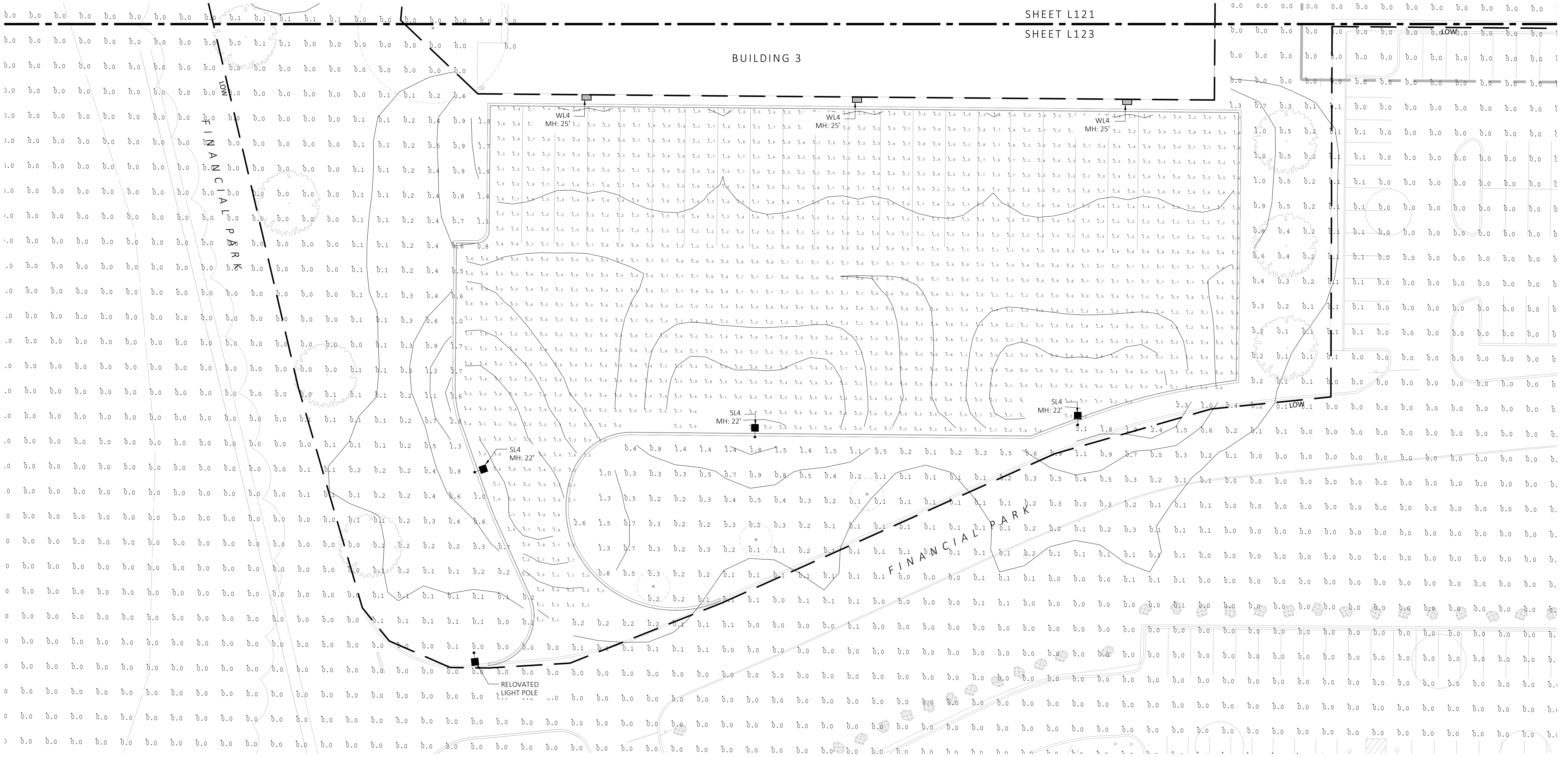
L123

SHEET 24 OF 24

SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-8 POLE SSS-B-20-40-A-1-835-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-835-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-835-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	Illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	Illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	Illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

