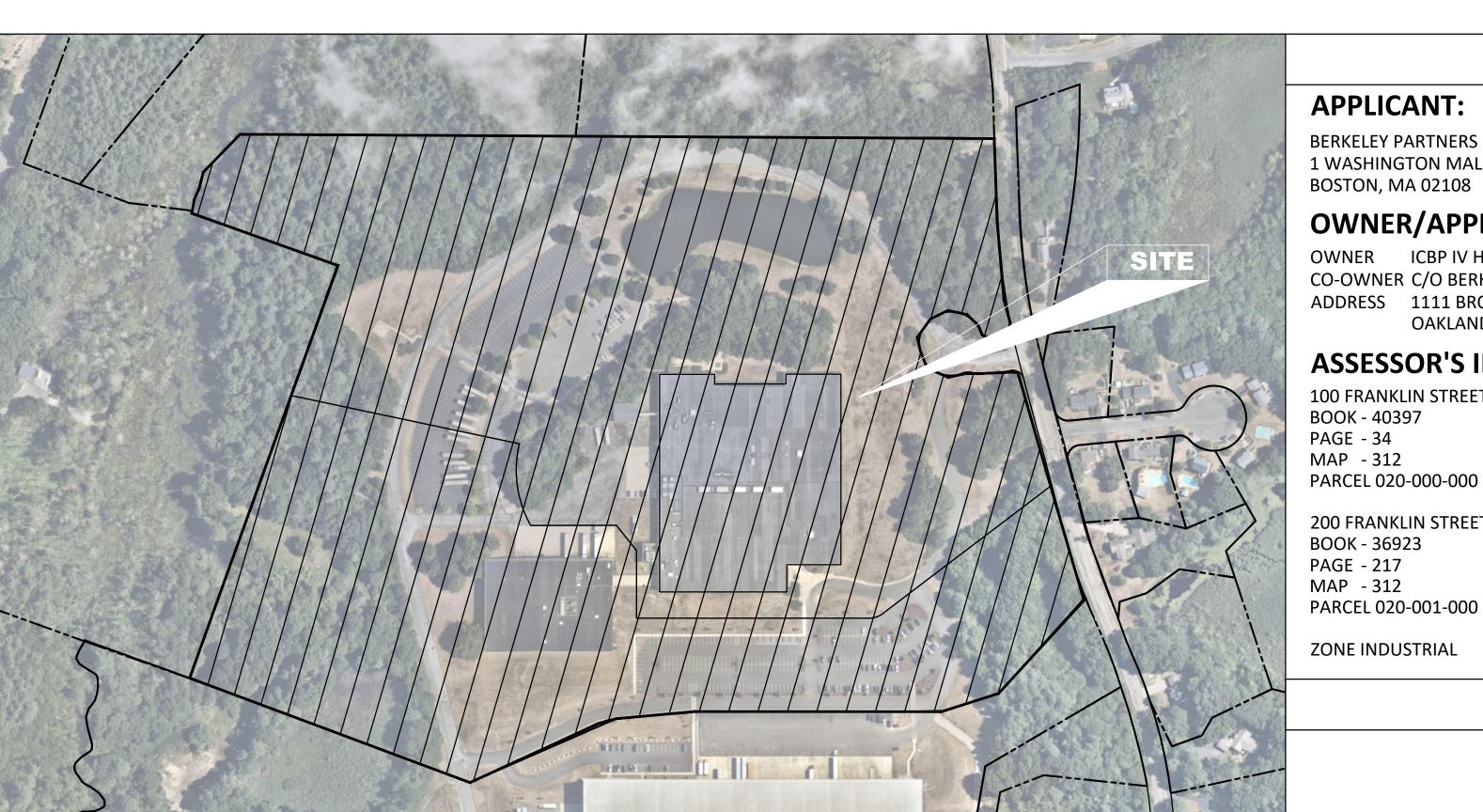
# WAREHOUSE/INDUSTRIAL DEVELOPMENT SITE DEVELOPMENT PLANS

# 100/200 FINANCIAL PARK 1 WASHINGTON MALL | Suite 701 BOSTON, MA 02108

**CIVIL ENGINEER:** 

**PERMIT SET: MAY 11, 2023** 

DEVELOPMENT



## **APPLICANT:**

BERKELEY PARTNERS 1 WASHINGTON MALL | SUITE 701 BOSTON, MA 02108

## OWNER/APPLICANT:

OWNER ICBP IV HOLDINGS 34, LLC CO-OWNER C/O BERKELEY PARTNERS ADDRESS 1111 BROADWAY | SUITE 1670 OAKLAND, CA 94607

## **ASSESSOR'S ID:**

100 FRANKLIN STREET BOOK - 40397 PAGE - 34 MAP - 312 PARCEL 020-000-000

200 FRANKLIN STREET BOOK - 36923

**ZONE INDUSTRIAL** 

## PROJECT TEAM

HIGHPOINT ENGINEERING, INC. TEL: (781) 770-0970 ATTN: Douglas Hartnett

315 ELM STREET MARLBOROUGH, MA 01752 TEL: (508) 460-1111

TRAFFIC CONSULTANT: MDM TRANSPORTATION CONSULTANTS 28 LORD ROAD

RODE ARCHITECTS

LANDSCAPE ARCHITECT: MICHAEL D'ANGELO

	ISSUE HISTORY:	PERMIT SET MAY 11, 2023	RESPONSE TO COMIV JULY 17, 2023						WAREHOUSE/IND	100/200 FINANCIAL PARK FRANKLIN, MA
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G100	GENERAL NOTES SHEET	•	•					$\neg$		
C100	SITE CONFORMANCE PLAN	•	•							
C101	KEY SHEET	•	•					$\neg$		
C200	SITE PREPARATION & DEMOLITION PLAN	•	•							
C201	SITE PREPARATION & DEMOLITION PLAN	•	•					$\neg$		
C300	LAYOUT & MATERIALS PLAN	•	•							
C301	LAYOUT & MATERIALS PLAN	•	•					$\neg$		
C400	GRADING & DRAINAGE PLAN	•	•							
C401	GRADING & DRAINAGE PLAN	•	•					$\neg$		
C500	UTILITY PLAN	•	•					1	07.17.2023	RESPONSE TO CO
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L123 PHOTOMETRIC PLAN

www highpointeng.com HANCOCK ASSOCIATES

MARLBOROUGH, MA 01752

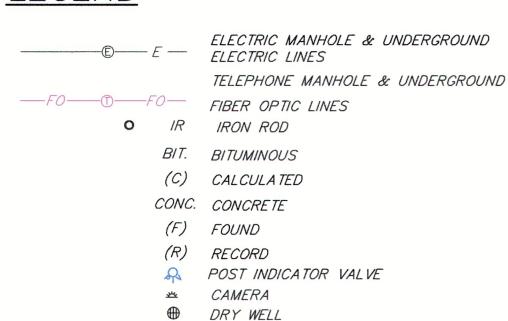
535 ALBANY STREET, #405 BOSTON, MA 02118 www.rodearchitects.com

TEL: (508) 380-9088

LANDSCAPE ARCHITECTS

**INDEX OF DRAWINGS** 

## *LEGEND*



\$ LIGHT POLE BOLLARD - SIGN

DH DRILL HOLE

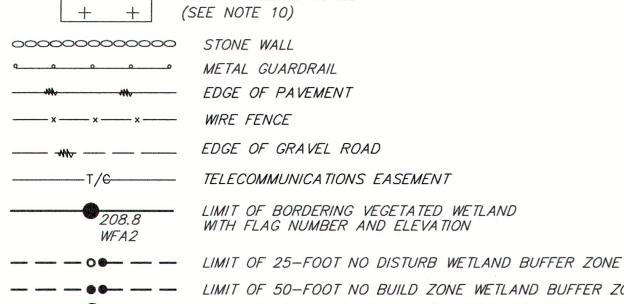
DHCB DRILL HOLE IN CONCRETE BOUND DHSB DRILL HOLE IN STONE BOUND

CATCH BASIN SMH SEWER MANHOLE

WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & GAS MAIN WITH SIZE

& GATE VALVE

OVERHEAD WIRES AND GUY POLE



AREA OF FLOOD ZONES

----- TELECOMMUNICATIONS EASEMENT

LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION

-----O----- LIMIT OF 100-FOOT WETLAND BUFFER ZONE ----S----- SEWERLINE & MANHOLE

> DRAINLINE WITH CATCHBASIN, MANHOLE & ROUND CATCHBASIN

LIMIT OF 100-YEAR FLOOD PLAIN (SEE NOTE 10 & 11) LIMIT OF FEMA FLOOD WAY (SEE NOTE 10)

---- LIMIT OF 100-FOOT INNER RIPPARIAN ZONE - - OO- - LIMIT OF 200-FOOT OUTER RIPPARIAN ZONE

## RECORD OWNERS:

ICBP IV HOLDINGS 34, LLC C/O BERKELEY PARTERS 1 SANSOME STREET, SUITE 1500 SAN FRANCISCO, CALIFORNIA

ASSESSORS' PARCEL ID: LOT 5A: 312-020-000-000 LOT 5B: 312-020-001-000 W/R/T EASEMENT OVER LOT 4A

LOT 4A: 321-060-000-000

## REFERENCES:

ZONING:

INDUSTRIA

DEED BOOK 36923, PAGE 217 PLAN BOOK 56, PLAN 2653 & 2654 PLAN BOOK 107, PAGE 253 PLAN BOOK 117, PAGES 388 & 389 PLAN BOOK 190, PAGE 1305 PLAN 262 OF 1977, PLAN BOOK 259 PLAN BOOK 281, PLAN 323 OF 1980 PLAN 322 OF 1980, PLAN BOOK 281 PLAN BOOK 665, PAGES 8 & 9 PLAN BOOK 672, PAGE 97 & 98 PLAN BOOK 675, PAGE 39 PLAN BOOK 676. PAGE 49 PLAN BOOK 678, PAGES 8 & 9 PLAN BOOK 701, PAGE 31

PLAN BOOK 281, PLAN 323 OF 1980

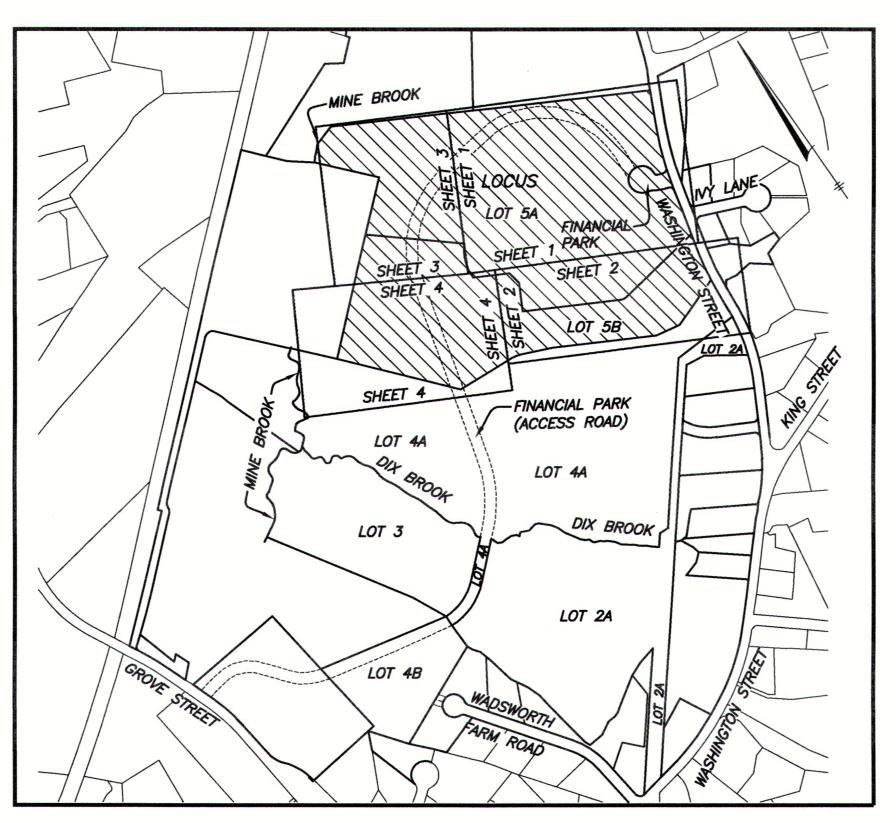
# LIMITED/COMPLIED EXISTING CONDITIONS PLAN

FOR

100 & 200 FINANCIAL PARK FRANKLIN, MA

OCTOBER 24, 2022

REV. MAY 5, 2023



LOCUS MAP 1"=500

## SURVEYOR

HANCOCK ASSOCIATES 315 ELM STREET MARLBOROUGH, MA 01752 PHONE (508) 460-1111

## CIVIL ENGINEER

HIGHPOINT ENGINEERING, INC. 980 WASHINGTON STREET **DEDHAM. MA 02026** PHONE (781) 770-0973

## NOTES:

1) PROJECT SOURCE BENCHMARK IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988

2) THE PURPOSE OF THIS PLAN IS TO FACILITATE CONCEPT DESIGN ONLY. IT COMPILES

INFORMATION FROM THE FOLLOWING SOURCES: A: TOPOGRAPHY AND WETLANDS (SERIES F&G) NEAR WASHINGTON STREET FROM 2016 ANRAD

B: REMAINDER OF WETLANDS FROM 2019 WETLANDS PLAN OF LOT 5 BY THIS OFFICE. C: 2020 SITE "AS-BUILT" BY THIS OFFICE OF LOT 4A (TO THE SOUTH) WHICH INCLUDES

PARKING EASEMENT ON LOT 5A AND ACCESS EASEMENT TO FINANCIAL PARK CUL-DE-SAC. D: UTILITY LOCATIONS FROM 2021 ALTA PLAN FOR LOT 5A AND LOT 5B.

E: PORTIONS OF CONTOURS FROM NOAA 2011 LIDAR. F: GPS FILL IN CONTOURS IN AREA SOUTH OF SMALL WAREHOUSE.

3) UNDERGROUND UTILITIES SHOWN HEREON ARE FROM A DECEMBER 15, 2021 ALTA BY THIS OFFICE (AND HAVE NOT BEEN UPDATED). THEY WERE COMPILED FROM FIELD LOCATIONS OF STRUCTURES, CONTRACTOR PAINT MARKS, AND AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF ANY FUTURE PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT

4) THE LOCATION OF UNDERGROUND STORAGE TANKS, IF ANY, ARE UNKNOWN.

LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

5) THIS PLAN IS A COMPILATION OF SEVERAL TOPOGRAPHIC SURVEYS PREPARED AT VARIOUS SCALES, AS SUCH, SCALES OF SOME SYMBOLS ARE NOT CONSISTENT.

6) ELECTRIC EASEMENT CROSSING LOCUS IS DEPICTED APPROXIMATELY PER 2-19-15 ALTA PLAN PREPARED FOR CRE MANAGEMENT, LLC. AND PLAN BOOK 56, PLAN #2653.

7) INTENTIONALLY OMITTED

8) A TWO LOT DEFINITIVE SUBDIVISION PLAN WAS APPROVED FOR PREVIOUS OWNERS BUT NOT REFERENCED ON THE CURRENT DEED. THE COVER SHEET (ONLY) WAS RECORDED IN PLAN BOOK 428, PLAN 163 OF 1995 AT THE NORFOLK COUNTY REGISTRY OF DEEDS. THE LOTTING SHEETS, NOT RECORDED, ARE ON FILE AT THE FRANKLIN PLANNING BOARD. THE LOCATION OF THE "FINANCIAL PARK" CUL-DE-SAC IS SHOWN FROM SAID PLANS.

9) LOCATION OF IRRIGATION SYSTEM COMPONENTS NOT INCLUDED IN THIS SURVEY.

10) FEMA FLOOD ZONE LINES FOR "ZONE X-SHADED" ARE SHOWN APPROXIMATELY FROM MASS GIS.

11) THE 100 YEAR FLOOD PLAIN (FLOOD ZONE AE) WAS FIELD LOCATED ON LOT 4A AND PARTIALLY ONTO THE SOUTHERLY PORTION OF LOT 5 ON AUGUST 19, 2019. THE FLOOD ZONE LINE IS SHOWN PER FIELD LOCATION BETWEEN WETLAND FLAG J105 (SHEETS 4 & 5) AND MEAN ANNUAL HIGH WATER FLAG 215. ALL OTHER PORTIONS OF FLOOD ZONE AE LINES ARE SHOWN APPROXIMATELY PER INTERPOLATION OF THE NOAA LIDAR CONTOURS THAT ARE PART OF THIS COMPILATION PLAN AND ARE NOT FIELD

12) MEAN ANNUAL HIGH WATER (MAHW) HAS BEEN FIELD DELINEATED AT THE NORTHWEST CORNER OF LOT 5A AND SEVERAL HUNDRED FEET SOUTH OF THERE. ON LOT 4A, ALONG MINE BROOK AND THE PORTION OF DIX BROOK THAT HAS NOT BEEN FIELD DELINEATED, MAHW HAS BEEN APPROXIMATED BASED ON DIGITIZED CENTERLINE OF SAID BROOKS AND MAHW WIDTHS FROM USGS STREAMSTATS BANKFULL STATISTICS.

13) BVW (BORDERING VEGETATED WETLANDS) HAS NOT BEEN FLAGGED WEST OF THE DETENTION POND ON ABUTTING LOT 4A. BETWEEN DIX BROOK AND ROUGH WF-J85. THIS LINE WOULD NOT IMPACT THE 100' SETBACK LINE ON LOT 4A AS THE DETENTION POND BROADCASTS A 100' BUFFER FARTHER EAST

14) OFF—SITE ACCESS EASEMENTS AND UTILITY EASEMENTS EXIST BUT ARE NOT SHOWN AS THEY ARE OUTSIDE THE SCOPE OF THIS SURVEY.

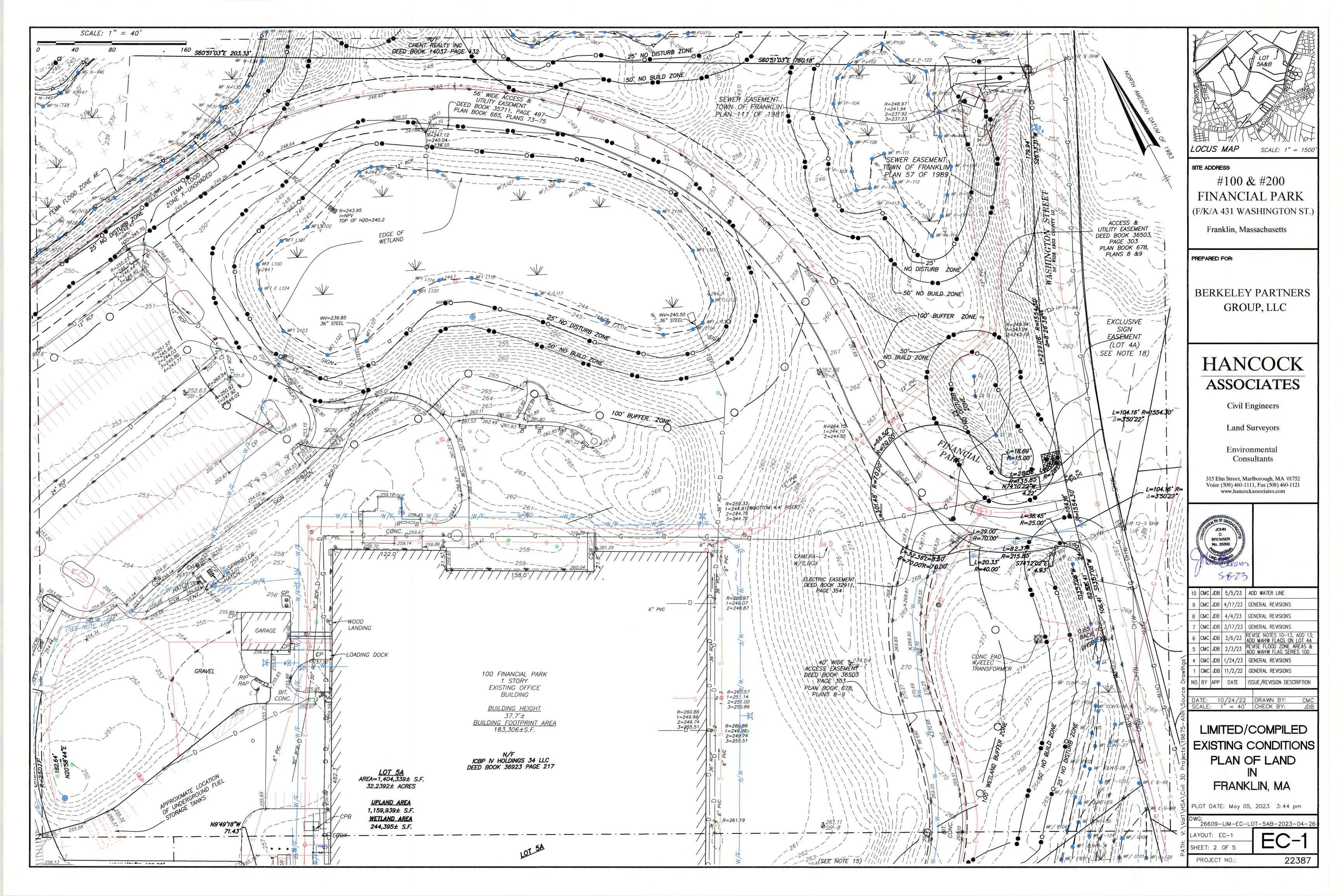
15) WATER LINE SHOWN HEREON FOR WELL PUMP IS COMPLIED FROM A SKETCH SUPPLIED BY HIGHPOINT ENGINEERING AND IS SHOWN APPROXIMATE ONLY. A WELL PUMP EXISTS ON SITE BUT HAS NOT BEEN LOCATED AS OF THE DATE OF THIS PLAN.

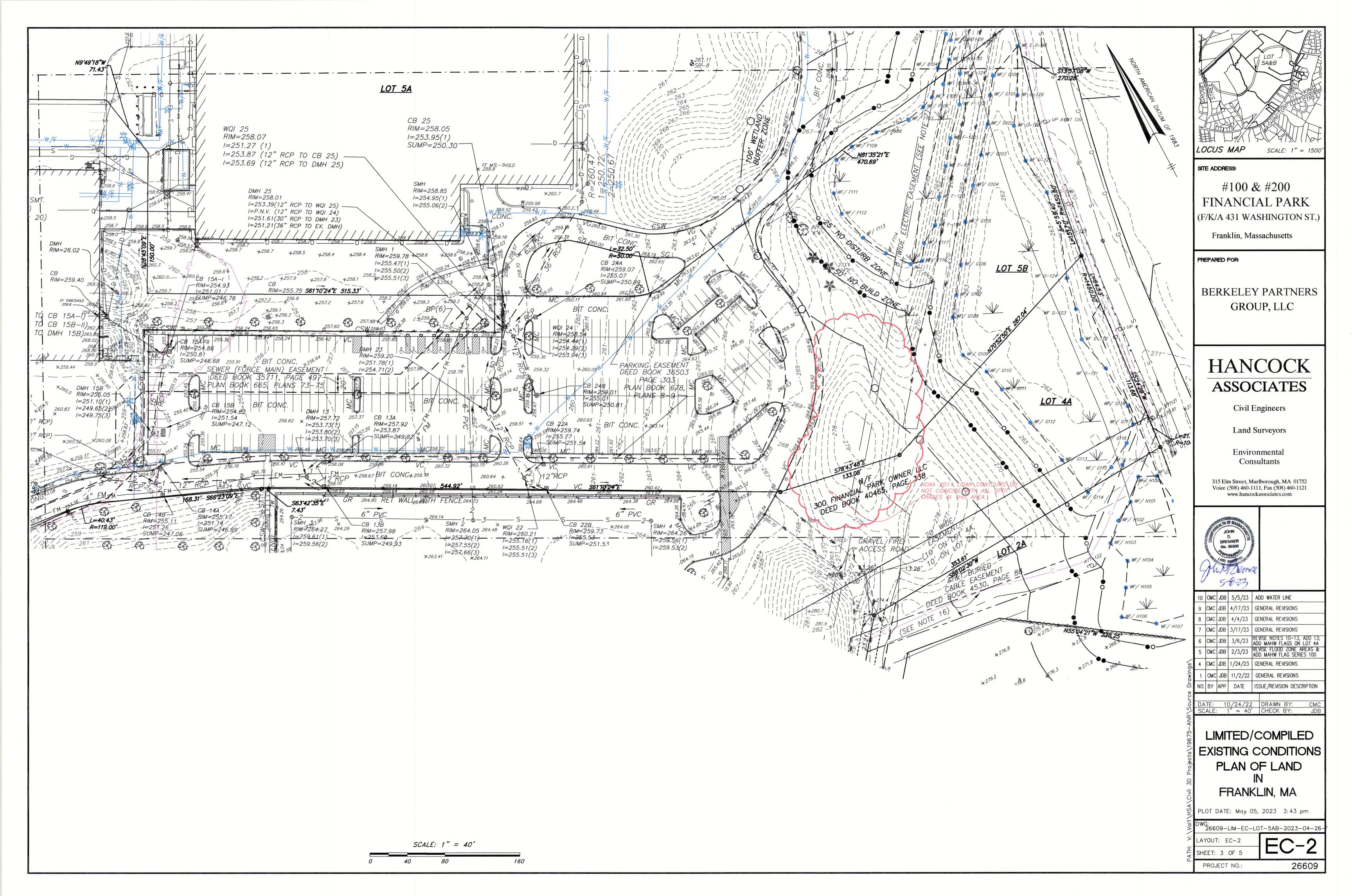
> SHEET INDEX: COVER SHEET LIMITED/COMPILED EXISTING. CONDITIONS PLANS

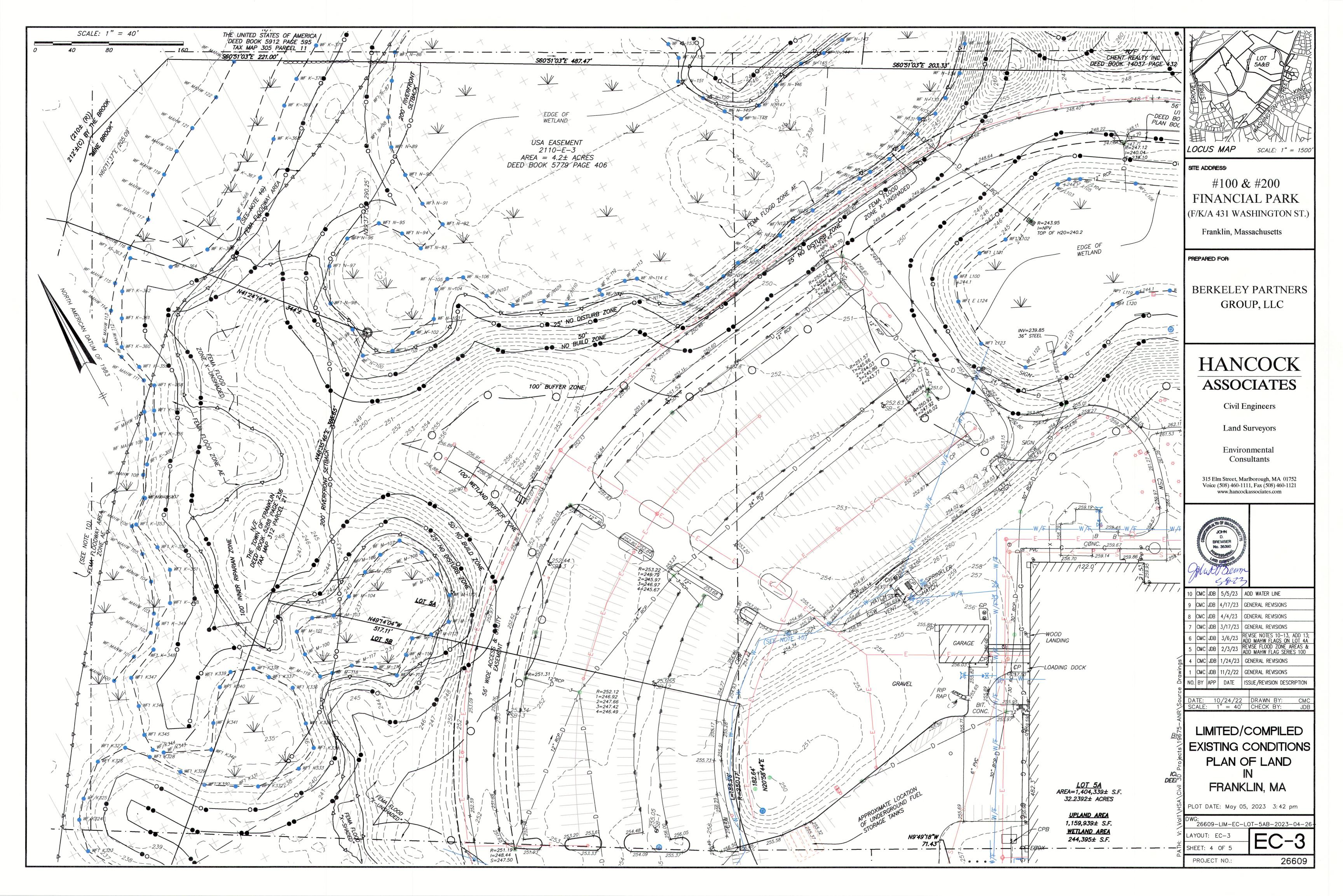
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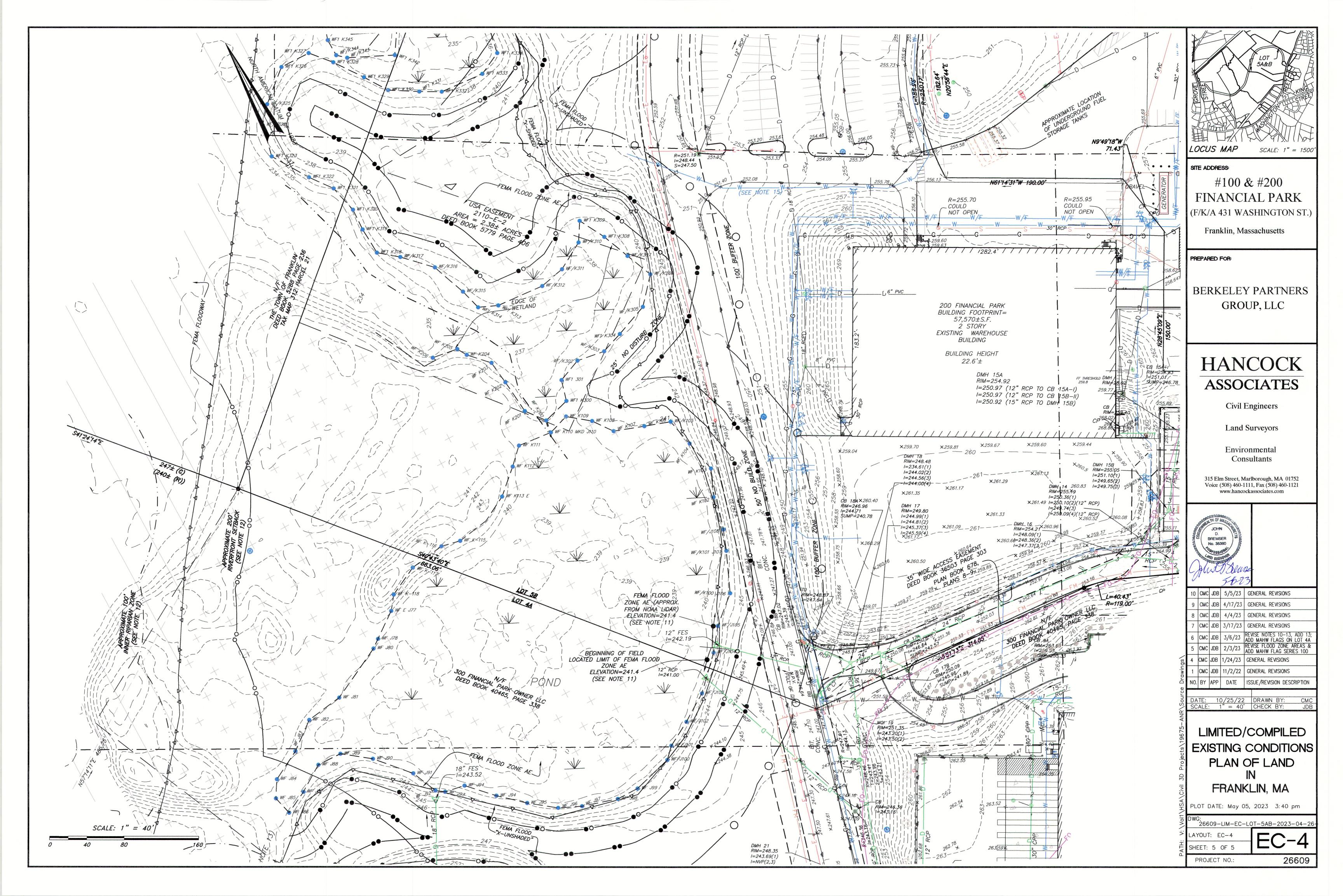


JOB# 26609 PAGE 1 OF 5









THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE ANY AND ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION. THESE SHALL INCLUDE SIGNS, BARRICADES, FENCES, POLICE OFFICERS, ETC. AS IS NECESSARY, OR AS DIRECTED BY THE PUBLIC AUTHORITIES AND THE OWNER. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.

THE EXISTING SITE CONDITIONS SHOWN ON THESE PLANS WERE DETERMINED BY A FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. ANY VARIATIONS FROM THE CONDITIONS SHOWN ON THESE PLANS SHOULD BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE PROPOSED WORK.

UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SPECIFICATIONS ALL SITE CONSTRUCTION

MATERIALS AND METHODOLOGIES ARE TO CONFORM TO THE COMMONWEALTH OF

MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION OR THE LATEST EDITION.

WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN THE STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INCLUDING (BUT NOT LIMITED THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.

LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND SITE LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON DRAWINGS.

CONTRACTOR TO VERIFY UTILITY STUB LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.

ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.

ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.

ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO TOWN/CITY LOCAL STANDARD CONSTRUCTION REQUIREMENTS FOR THE INSTALLATION OF AND/OR REPAIR OF UNDERGROUND FACILITIES, EXCAVATIONS AND PAVING IN THE PUBLIC WAY.

IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL AND SHALL NOTIFY THE OWNER/ENGINEER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.

### SEDIMENTATION/EROSION CONTROL NOTES

UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FELLING, CUTTING AND OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.

THE LOCATION OF EROSION CONTROL BARRIERS SHOWN ON DRAWINGS ARE INTENDED TO THE LOCATION OF EROSION CONTROL BARRIERS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE WARRANTED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.

THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.

AT THE END OF CONSTRUCTION, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED FROM THE SITE. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION CONTROLS UNTIL AUTHORIZED (IN WRITING) BY THE OWNER OR OWNER'S REPRESENTATIVE.

PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES AROUND DRAINAGE INLETS, MULCHING, AND PLANTING OF DISTURBED AREAS.

AN EROSION CONTROL BARRIER IS TO BE INSTALLED AT THE PROPOSED DOWN GRADIENT TOE OF SLOPE AT ALL LOCATIONS WHERE EARTHWORK IS PROPOSED.

DURING CONSTRUCTION THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF

NECESSARY, TO ENSURE THAT NO SILT OR DEBRIS LEAVES THE SITE.

PREVENT SILT FROM ENTERING THE SUBSURFACE DRAINAGE SYSTEM.

ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEPT AT THE END OF EACH WORKING DAY.

EXPOSED SLOPES GREATER THAN 50' IN LENGTH ARE TO HAVE CHECK DAMS, TERRACES AND/OR MULCHING INSTALLED IN ORDER TO REDUCE EROSION AND TO ENHANCE SURFACE STABILIZATION. IF CHECK DAMS ARE USED, THEY SHOULD BE PLACED APPROXIMATELY 50' O/C PARALLEL WITH THE FACE OF THE SLOPE.

UNTIL DRIVEWAYS ARE PAVED, TEMPORARY DIKES ARE TO BE STAKED ACROSS DRIVEWAYS AS REQUIRED TO DIRECT RUNOFF WATER TO CATCH BASINS. SILT SCREENS ARE TO BE INSTALLED AT CATCH BASIN GRATES (SEE DETAIL) AND SUMPS OF BASINS ARE TO BE CLEANED AS NECESSARY TO

AFTER INSTALLATION OF EACH DRAINAGE INLET A HAY BALE DIKE SHALL BE INSTALLED AROUND THE INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.

AT THE END OF CONSTRUCTION ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS. EROSION CONTROL BARRIERS ARE TO BE REMOVED AND DISPOSED OF IN ACCORDANCE TO LOCAL REQUIREMENTS.

CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. ANY DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT LEFT IN A NATURAL CONDITION SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED.

AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT NATURAL. CARE SHALL BE TAKEN TO PRESERVE EXISTING TREES, GROUND COVER AND OTHER NATURAL FEATURES WHENEVER

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL STATE AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT

ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF-SITE.

PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.

SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.

ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE DISPOSED OF ON-SITE AS DIRECTED BY OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.

ALL AREAS IDENTIFIED AS CRITICAL AREA SEEDING SHALL BE STABILIZED DURING CONSTRUCTION BY SEEDING WITH ANNUAL RYE GRASS AT THE RATE OF FORTY (40) LBS/ACRE.

DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.

EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING ENVIRONMENTALLY SENSITIVE OR JURISDICTIONAL RESOURCE AREAS.

ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.

LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.

ALL SLOPES WITH SURFACE GRADES STEEPER THAN 3:1 SHALL BE STABILIZED WITH EROSION

COIR FIBER ROLLS, HAYBALES, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.

## SITE LAYOUT AND MATERIALS NOTES

CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR OWNER'S REPRESENTATIVE FOR RESOLUTION.

ACCESSIBLE ROUTES, PARKING SPACES, RAMPS SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM

CROSSWALKS SHALL BE STRIPED WITH 12" WIDE LINES OF WHITE THERMO PLASTIC SPACED 3' ON CENTER. STOP LINES SHALL BE STRIPED WITH 12" WIDE LINES OF WHITE THERMO PLASTIC. ALL OTHER STRIPING SHALL BE 4" WIDE LINES OF THERMO PLASTIC IN COLORS INDICATED HEREON.

PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES"

ALL NEW CURBS SHALL BE VERTICAL GRANITE CURBING (VGC) WITH 6" REVEAL UNLESS OTHERWISE INDICATED HEREON. INSTALL 6' LONG TRANSITION CURB STONES AT ALL TRANSITIONS FROM VERTICAL TO FLUSH GRANITE.

EXISTING CURBS TO REMAIN AS SHOWN HEREON ARE ASSUMED TO BE IN SATISFACTORY CONDITION BUT ARE TO BE PARGED OR REPLACED IN KIND IN LOCATIONS OF DAMAGE.

INSTALL EXPANSION AND CONTROL JOINTS IN SIDEWALKS AT INTERVALS OF 5 FEET AND 25 FEET, RESPECTIVELY. PROVIDE BROOM FINISH IN TRANSVERSE DIRECTION ON ALL WALKS.

SIDEWALK WIDTHS INDICATED HEREON ARE MEASURED FROM BACK OF CURB TO BACK IF SIDEWALK. 6" WIDTH OF CURBS NOT INCLUDED.

ALL CURB RADIUS DIMENSIONS SHOWN HEREON ARE MEASURED ALONG FACE OF CURB.

REFER TO LAYOUT PLAN FOR EXTENTS OF MILL AND OVERLAY AND FULL DEPTH PAVEMENT CONSTRUCTION AND PATCHING WHERE APPLICABLE.

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE LOCAL REQUIREMENTS AND SPECIFICATIONS.

ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:

DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.

DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.

DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.

CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

LICENSED SURVEYOR AT NO COST TO THE OWNER.

ALL LINES AND DIMENSIONS AND TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON

CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE

WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A

BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

ALL CONCRETE WORK SHALL COMPLY WITH ACI301, "SPECIFICATION FOR STRUCTURAL CONCRETE," AND ACI 316R, UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRSI'S "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 306.1 FOR COLD WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 350R FOR HOT WEATHER PROTECTION DURING CURING. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."

SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT FIGE PRIOR TO PLACEMENT.

CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.

OUT OF FUNCTION OR SCREENED IMAGES REPRESENT EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPACTED BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

## GRADING NOTES

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER OR HIS REPRESENTATIVE.

ALL STUMPS, PEAT, CONSTRUCTION DEBRIS AND OTHER DELETERIOUS MATERIALS ON THE SITE AT THE TIME OF CONSTRUCTION ARE TO BE REMOVED FROM THE SITE TO AN APPROVED LANDFILL. NO SUCH MATERIALS ARE TO BE BURIED OR OTHERWISE DISPOSED OF ON THE SITE. MATERIAL FOR BACKFILL SHALL NOT INCLUDE UNSUITABLE MATERIAL SUCH AS PEAT, TRASH, STUMPS, DEBRIS OR HAZARDOUS WASTE

FILL MATERIAL SHALL BE AS SPECIFIED BY THE ARCHITECT/ENGINEER AND SELECTED FROM ON-SITE EXCAVATION MATERIAL WHERE POSSIBLE.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS. PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN.

CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.

THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.

PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE OWNER OR HIS REPRESENTATIVE PRIOR TO CONTINUING WORK.

ACCESSIBLE CURB RAMPS, RAMP, LANDINGS, WALKWAYS, CROSSWALKS, PATIOS/PLAZAS AND PARKING AREAS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY REQUIREMENTS. WALKWAY AND CROSSWALK ALONG ACCESSIBLE ROUTE(S) SHALL HAVE 5% MAX. LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. LANDINGS, PATIOS/PLAZAS, AND ACCESSIBLE PARKING SPACES SHALL BE 2% MAX IN ALL DIRECTIONS. RAMPS SHALL BE 8.3% MAXIMUM.

A GEOTECHNICAL ENGINEER MAY BE RETAINED BY THE OWNER TO OBSERVE PERFORMANCE OF WORK, FOR CONFORMANCE WITH THESE CONTRACT DOCUMENTS, IN CONNECTION WITH EXCAVATING, TRENCHING, FILLING, BACKFILLING AND GRADING, AND TO PERFORM ASSOCIATED FIELD TESTS.

DURING THE PROGRESS OF THE WORK, THE CONTRACTOR MAY BE REQUIRED TO EXCAVATE ADDITIONAL TEST PITS FOR THE PURPOSE OF LOCATING UNDERGROUND UTILITIES OR STRUCTURES AS AN AID IN ESTABLISHING THE PRECISE LOCATION OF NEW WORK. THIS WORK IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. TEST PITS SHALL BE BACKFILLED, AS SOON AS THE DESIRED INFORMATION HAS BEEN OBTAINED.

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY CONTRACTOR OPERATIONS.

STOCKPILED TOPSOIL SHALL BE PLACED NEATLY IN AN AREA INDICATED BY THE OWNER.

EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON

FILL DEPRESSIONS CAUSED BY TEST PITS AND CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED.

THE CONTRACTOR SHALL PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS OR EARTHWORK AREAS WHICH WOULD CAUSE FLOODING OF THE PROJECT SITE AND SURROUNDING AREA, OR SOFTENING OR LOOSENING OF THE SOIL AT EXCAVATION OR FARTHWORK SUB-GRADES

THE CONTRACTOR SHALL PROVIDE, INSTALL, OPERATE, MAINTAIN AND REMOVE ADEQUATE AND SATISFACTORY DEWATERING SYSTEMS AND DRAINAGE OF EXCAVATIONS TO PERMIT CONSTRUCTION TO PROCEED "IN THE DRY". THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ADEQUACY OF THE METHODS, MATERIALS AND EQUIPMENT EMPLOYED. THE CONTRACTOR SHALL BEAR THE FULL COST OF PROVIDING ALL NECESSARY DEWATERING.

THE CONTRACTOR SHALL PROHIBIT SEEPAGE, GROUNDWATER FLOW OR SURFACE INFILTRATION AND RUNOFF FROM UNDERMINING OR OTHERWISE DAMAGING ADJACENT STRUCTURES AND

PAVING, CONCRETE WORK AND BASE COURSE PREPARATION SHALL BE DONE ONLY AFTER EXCAVATION AND CONSTRUCTION WORK WHICH MIGHT INJURE THEM HAS BEEN COMPLETED. DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPAIRED BEFORE ACCEPTANCE.

PAVEMENT OR BASE MATERIALS SHALL NOT BE PLACED ON A MUDDY OR FROZEN SUBGRADE.

ESTABLISHMENT OF GRADES, GRADE CONTROL, AND CONFORMANCE TO REQUIRED GRADE TO FRANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR

PROTECT GRADED, FINISHED OR PAVED AREAS FROM DAMAGE AND KEEP THEM FREE OF TRASH AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS.

PAVEMENT, LAWN OR PLANTING AREAS EXCAVATED DURING UTILITY CONSTRUCTION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RESTORED AND MATCHED WITH EXACTLY THE SAME MATERIALS AND TOLERANCES AS PRIOR TO DISRUPTION, AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.

## DRAINAGE NOTES

ALL STORM DRAIN SHALL BE REINFORCD CONCRETE PIPE (RCP) PIPE UNLESS OTHERWISE NOTED. INSTALLATION OF ALL UTILITY STRUCTURES SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION.

REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM DESIGNATION C-76, CLASS III, REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM DESIGNATION C-76, CLASS III, WALL B WITH JOINTS AND GASKETS IN CONFORMANCE WITH ASTM C 443.

MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES

FRAMES AND COVERS FOR DRAINAGE STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM FRAMES AND COVERS FOR DRAINAGE STRUCTURES SHALL PROVIDE A 24-INCH DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE DRAINAGE STRUCTURE COVERS SHALL

MINIMUM CLEAR OPENING AND SHALL BE LEBARON TYPE LK110 OR APPROVED EQUAL.

SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.

HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.

SINGLE CATCHBASIN FRAMES AND GRATES SHALL BE LEBARON TYPE LF 248-2 OR AS SINGLE CATCHBASIN FRAMES AND GRATES SHALL BE LEBARON TYPE LF 248-2 OR AS REQUIRED BY TOWN OF WELLESLEY DPW.

DOUBLE CATCH BASIN FRAMES SHALL BE LEBARON ONE-PIECE LV2448-1 FRAMES OR DOUBLE CATCH BASIN FRAMES SHALL BE LEBARON ONE-PIECE LV2448-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LEBARON TYPE LF 248-2 OR APPROVED EQUAL.

FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.

ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED ALL ON-SITE DRAIN

LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE

PRE-CAST CONCRETE STRUCTURES INCLUDING TANKS, BARREL SECTIONS, CATCHBASINS AND BASES SHALL CONFORM TO ASTM C478 AND AASHTO HS20-44. PLACEMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. ALL PRE-CAST STRUCTURES INCLUDING JOINTS, SEALS, OPENINGS, ETC. MUST BE WATERTIGHT.

AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SUMPS OF ALL CATCH BASINS AND THE INVERTS OF ALL DRAIN

ALL DRAIN LINES SHOWN SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED.

## UTILITY NOTES

THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON EXISTING CONDITIONS PLANS AND POTENTIALLY INFORMATION PROVIDED BY THE LOCAL MUNICIPALITIES. ADDITIONAL INFORMATION MAY BE SUPPLEMENTED BY FIELD INVESTIGATIONS WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE AND ASSUMED.

ALL PVC SANITARY SEWER SHALL BE SDR 35 WITH RUBBER RING JOINTS.

REFER TO PLUMBING PLANS FOR EXACT SIZE AND LOCATION OF SANITARY CONNECTIONS.

THE LOCAL MUNICIPAL WATER AND FIRE DEPARTMENTS SHALL BE NOTIFIED PRIOR TO THE START OF ANY WORK ON THE WATER SYSTEM.

THE PROPOSED WATER MAIN IS TO BE CL 52 CLDI. ALL FITTINGS, HYDRANTS, VALVES, ETC., USED ON THE SITE ARE TO BE IN ACCORDANCE WITH THE LOCAL UNCIAL WATER DEPARTMENT SPECIFICATIONS.

HYDRANTS AND MINIMUM SIZING OF WATER PIPES SHALL BE SUBJECT TO THE APPROVAL OF THE (TOWN/CITY) FIRE CHIEF

THE CONTRACTOR SHALL NOTIFY THE LOCAL MUNICIPAL DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.

UNDERGROUND INFRASTRUCTURE LOCATED IN THE PUBLIC WAY SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL MUNICIPAL DEPARTMENT OF PUBLIC WORKS.

NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS SHALL BE LEFT WITHIN 6" OF THE WATER AND SEWER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE

THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.

EXCAVATION SHALL BE TO THE LINES AND ELEVATIONS AS SHOWN ON THE PLANS.

REGULATIONS AS THEY APPLY.

ARE APPROXIMATE.

ALL MATERIALS FOR INSTALLATION OF WATER, SEWER, DRAIN, GAS, DATA/TELECOM. AND ELECTRICITY SHALL BE IN ACCORDANCE WITH LOCAL STATE AND UTILITY COMPANY STANDARDS AND

ALL BENDS, TEES, VALVES, AND HYDRANTS ARE TO BE SECURED BY MEANS OF THREADED TIE RODS.

THREE CUBIC FEET OF CRUSHED STONE IS TO BE PLACED AROUND THE DRAIN HOLE IN ALL HYDRANTS. HYDRANTS ARE TO CONFORM TO THE (TOWN/CITY) OF (TOWN/CITY) STANDARD SPECIFICATIONS.

UNLESS OTHERWISE NOTED ALL UTILITY, TRENCHES ARE TO BE BACKFILLED WITH BANK RUN GRAVEL. NO STONES GREATER THAN 3" IN DIAMETER ARE TO BE USED WITHIN 12" OF THE PIPES. THE TRENCHES, WHEN UNDER PROPOSED PAVED AREAS, ARE TO BE MECHANICALLY COMPACTED IN 12"

NO LEDGE, BOULDERS OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER MAIN IN THE TRENCH NOR ARE THEY TO BE USED FOR BACKFILL IN THE TRENCH.

THE SITE CONTRACTOR IS TO INSTALL A GAS SERVICE IN THE APPROXIMATE LOCATION SHOWN ON THE PLANS. THE SIZE AND EXACT LOCATION OF THE SERVICE IS TO BE DETERMINED AND COORDINATED WITH THE PLUMBING PLANS AND ALL EARTHEN PERIMETER SIDE SLOPES THAT ARE GRADED AND ARE NOT SCHEDULED FOR PERMANENT STABILIZATION WITHIN 30 DAYS OF COMPLETION ARE TO BE COVERED WITH HAY OR WOOD CHIP MULCH, BIODEGRADABLE EROSION CONTROL FABRIC, OR HYDROSEEDED WITH A TEMPORARY GRASS MIXTURE IF WEATHER CONDITIONS WILL BE CONDUCIVE TO GERMINATION OF THE SEED.

THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ARCHITECT FOR RESOLUTION.

BEFORE COMMENCING SITE WORK IN ANY AREA, CONTRACTOR SHALL CONTACT "DIG SAFE" AT 1-888-DIG-SAFE, 811 OR WWW.DIGSAFE.COM 72 WORKING HOURS IN ADVANCE TO ACCURATELY LOCATE UNDERGROUND UTILITIES. IN ADDITION, CONTRACTOR SHALL CONTACT OTHER MUNICIPAL OFFICIALS SUCH AS WATER AND SEWER IF APPLICABLE.

ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES

CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO OWNER. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN

EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED

THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.

PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTS AS APPROPRIATE.

DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

ENSURE ALL EXISTING (TO REMAIN) AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY

UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND

ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.

REFER TO ELECTRICAL DRAWINGS FOR ALL SITE ELECTRICAL WORK.

THE CONTRACTOR SHALL COLLECT AND DISPOSE OF WATER FROM ALL SYSTEMS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS AND OBTAIN ALL

ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO HAYBALE CORRALS OR SEDIMENTATION BAGS

HIGHPOINT ENGINEERING

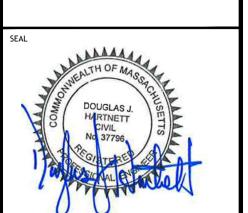
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CONSULTANT:



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PROJECT NUMBER:
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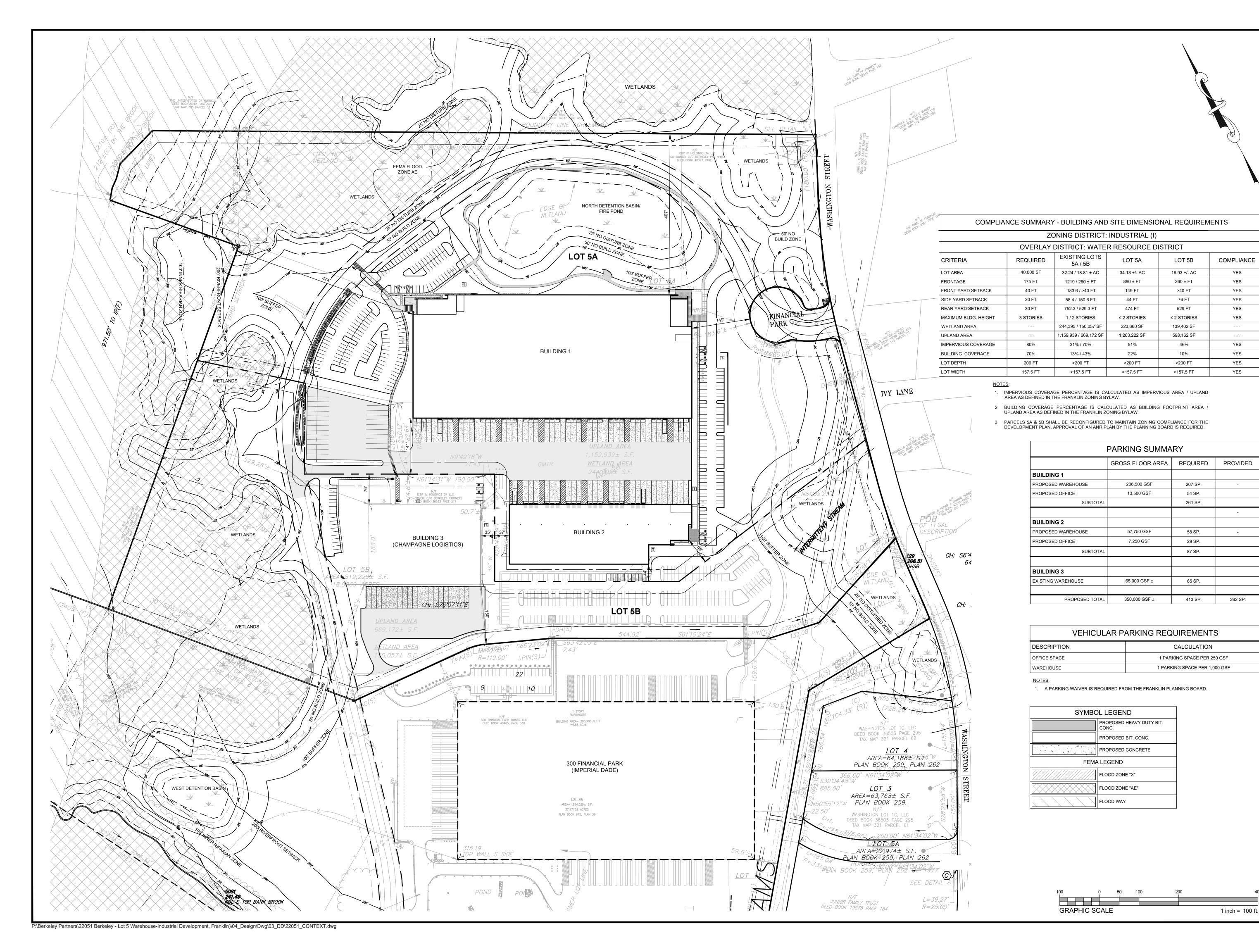
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CHECKED BY: DJH
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GENERAL NOTES

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07-17-2023

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WAREHOUSE/INDUSTRIAL DEVELOPM

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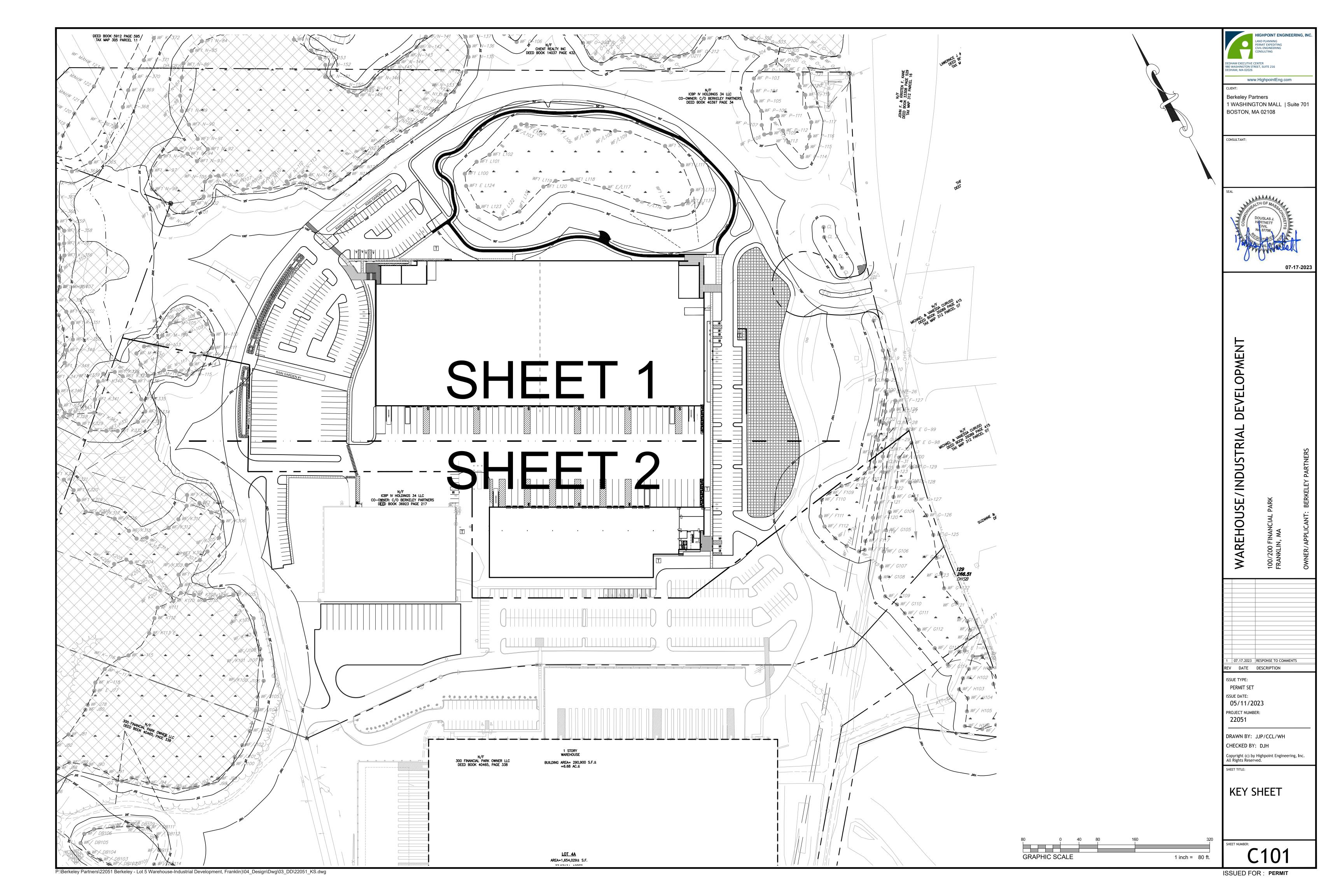
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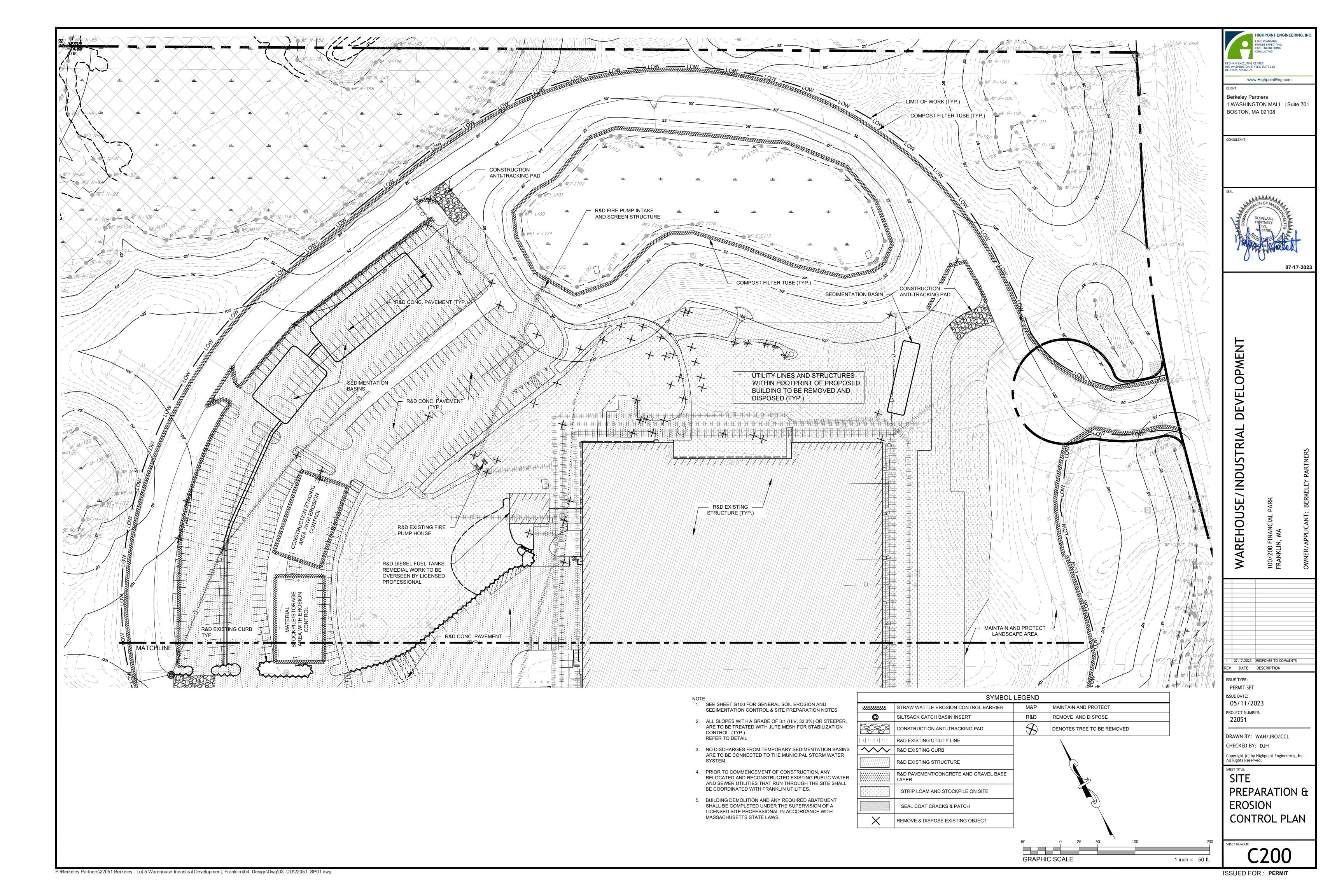
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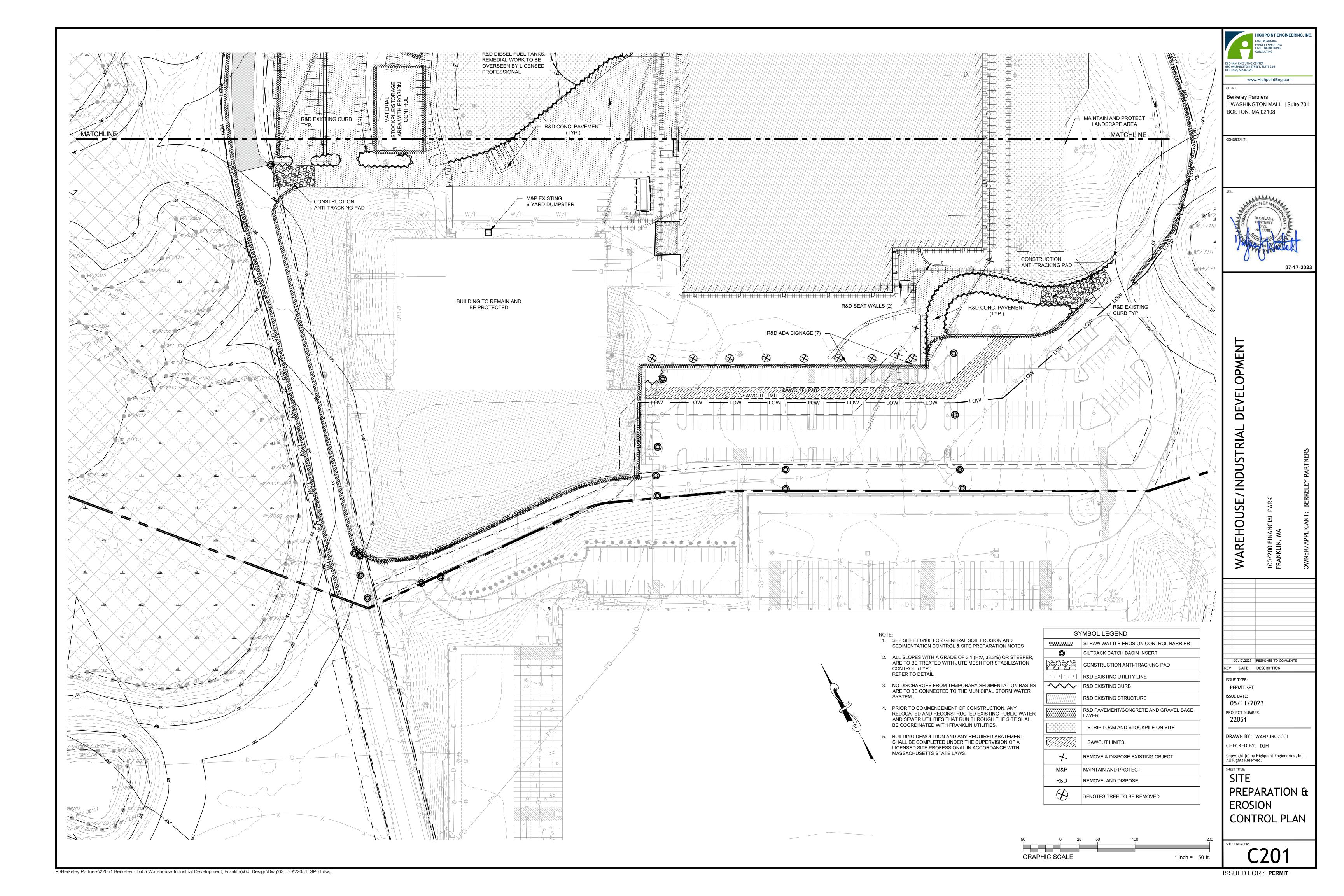
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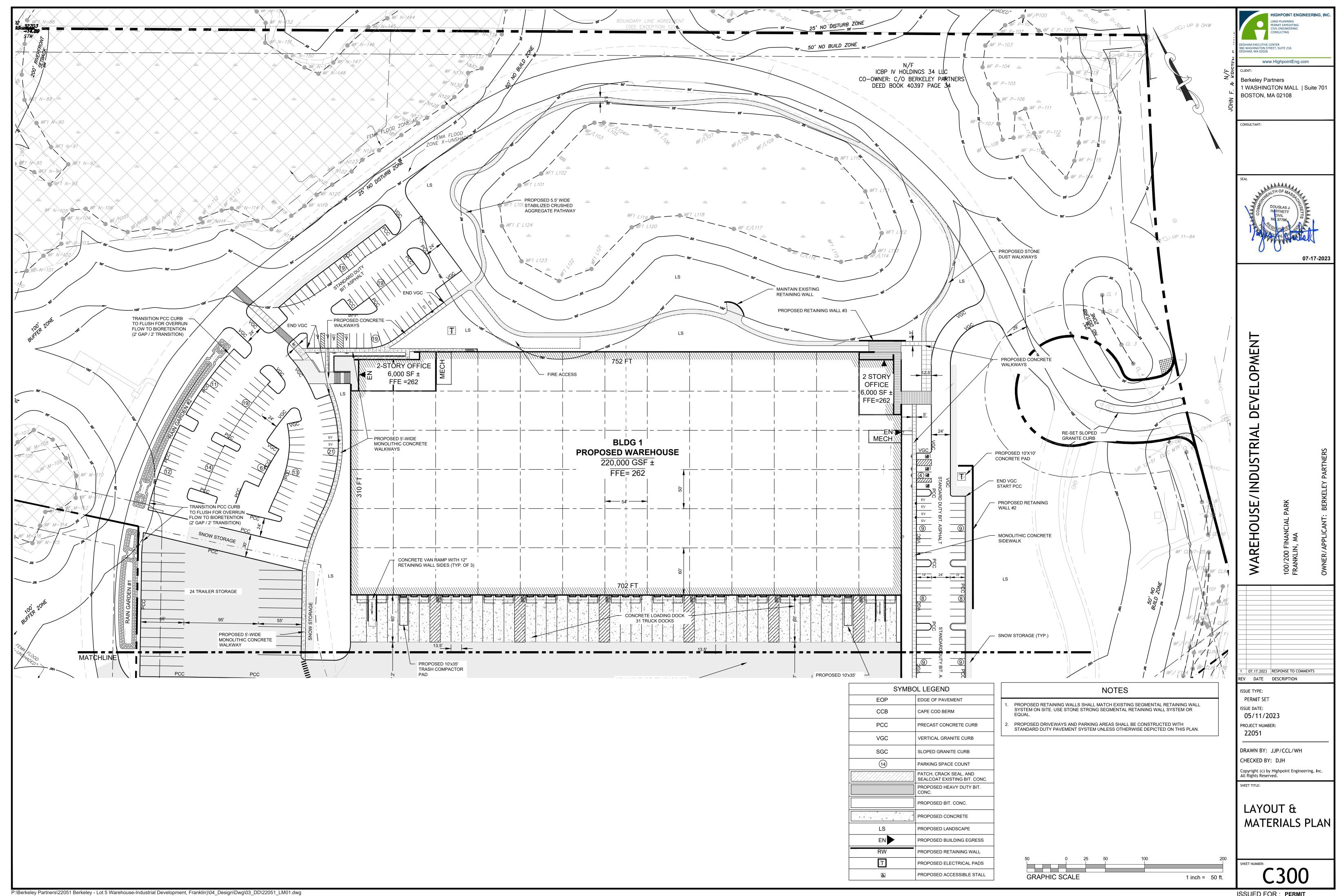
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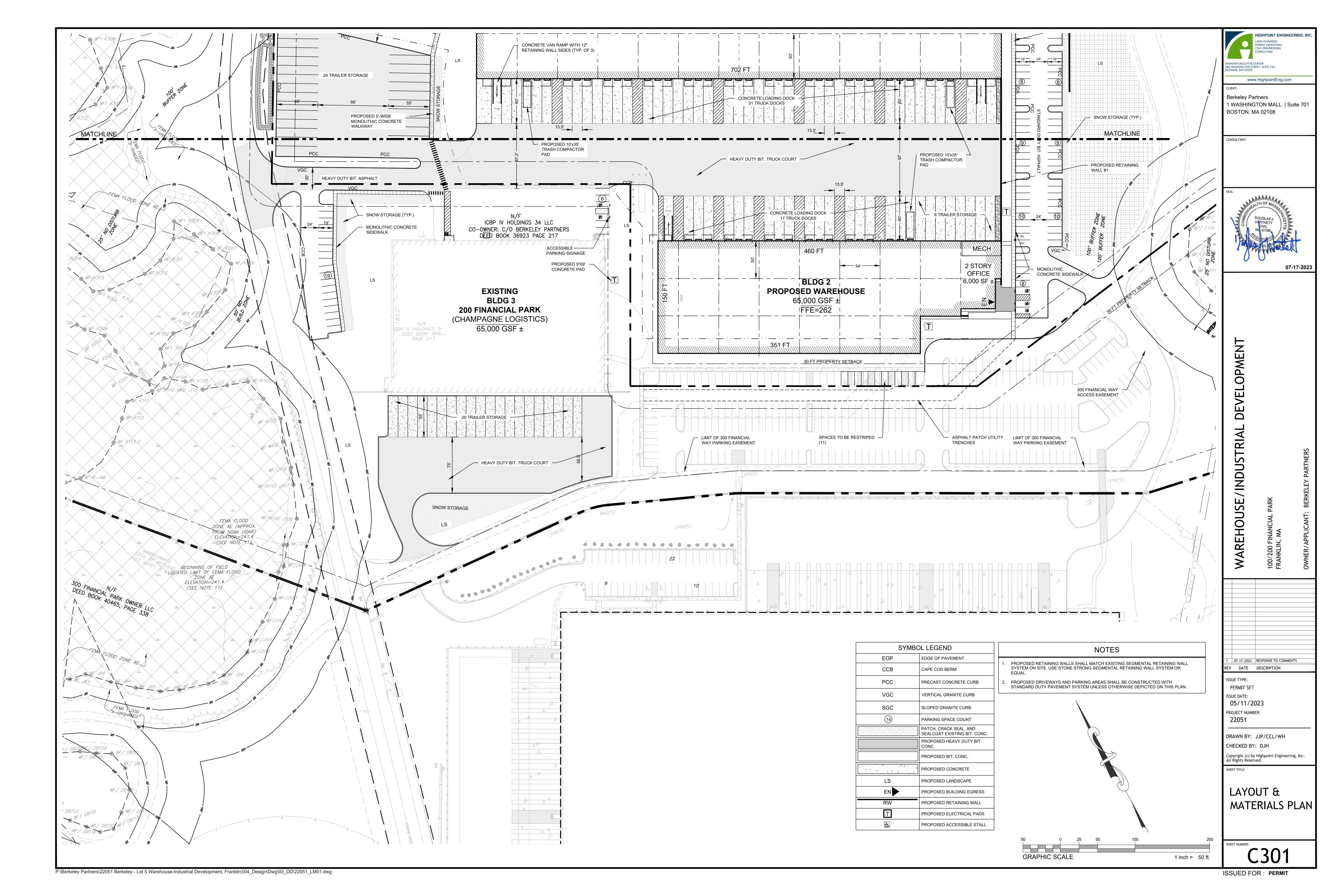
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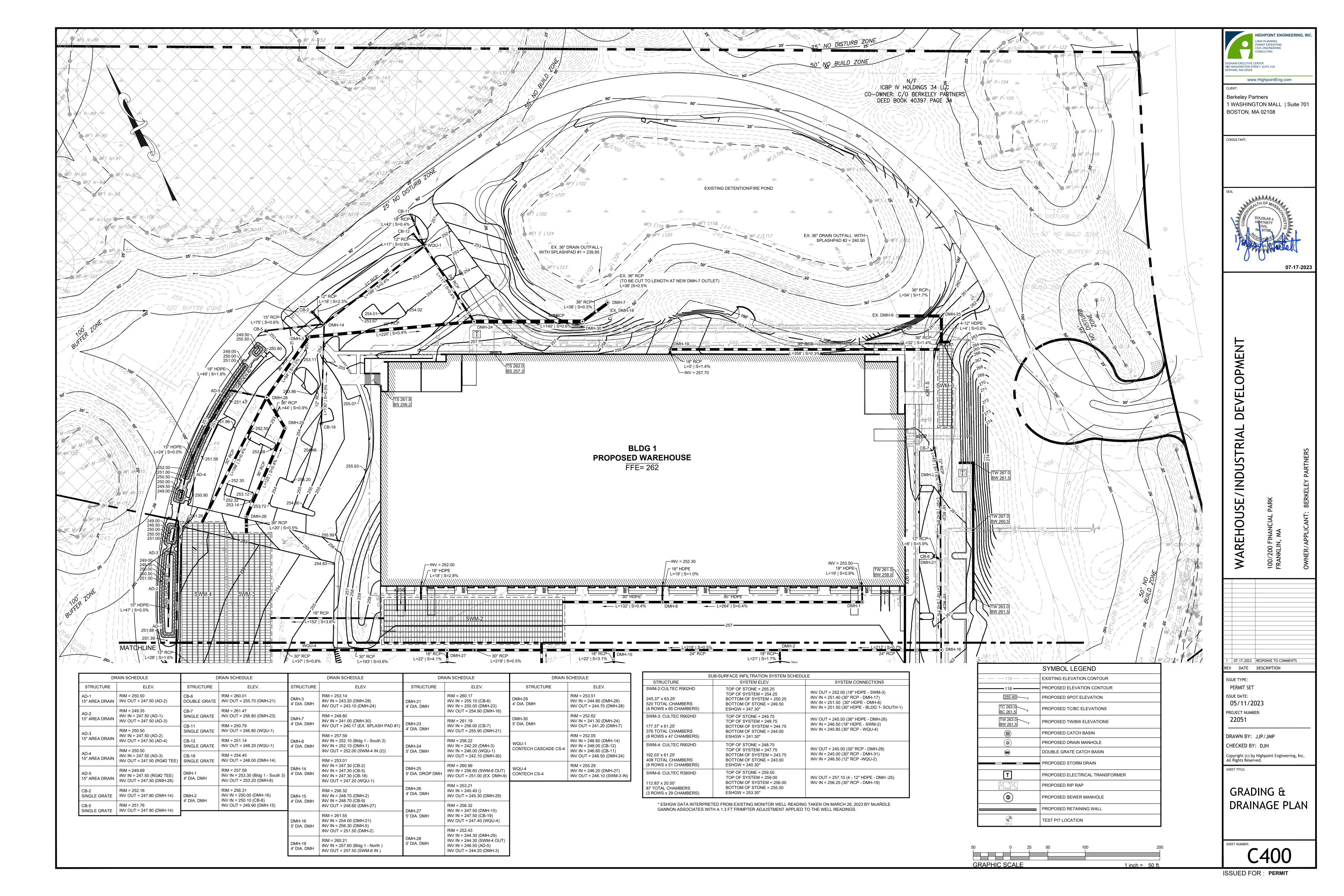


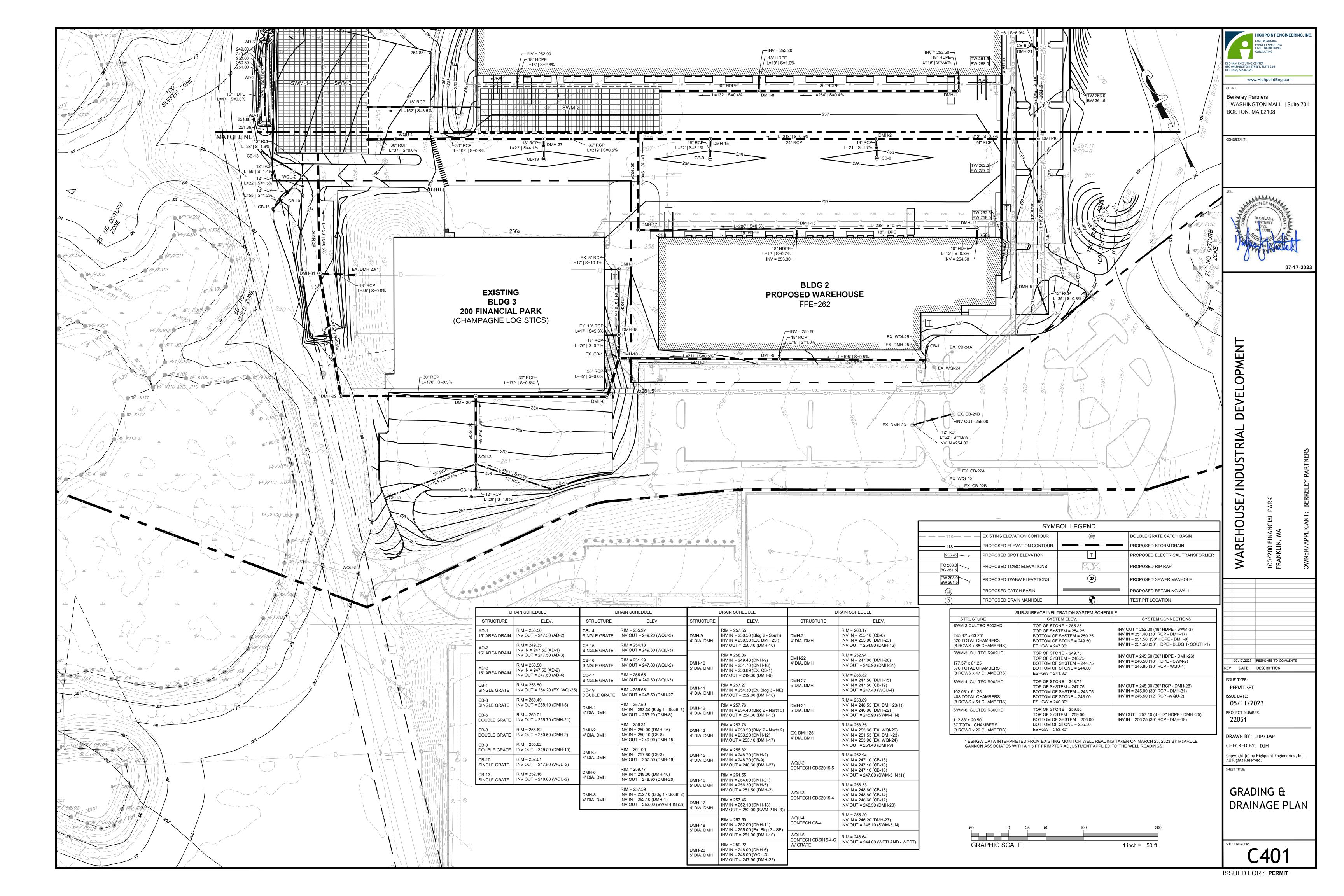


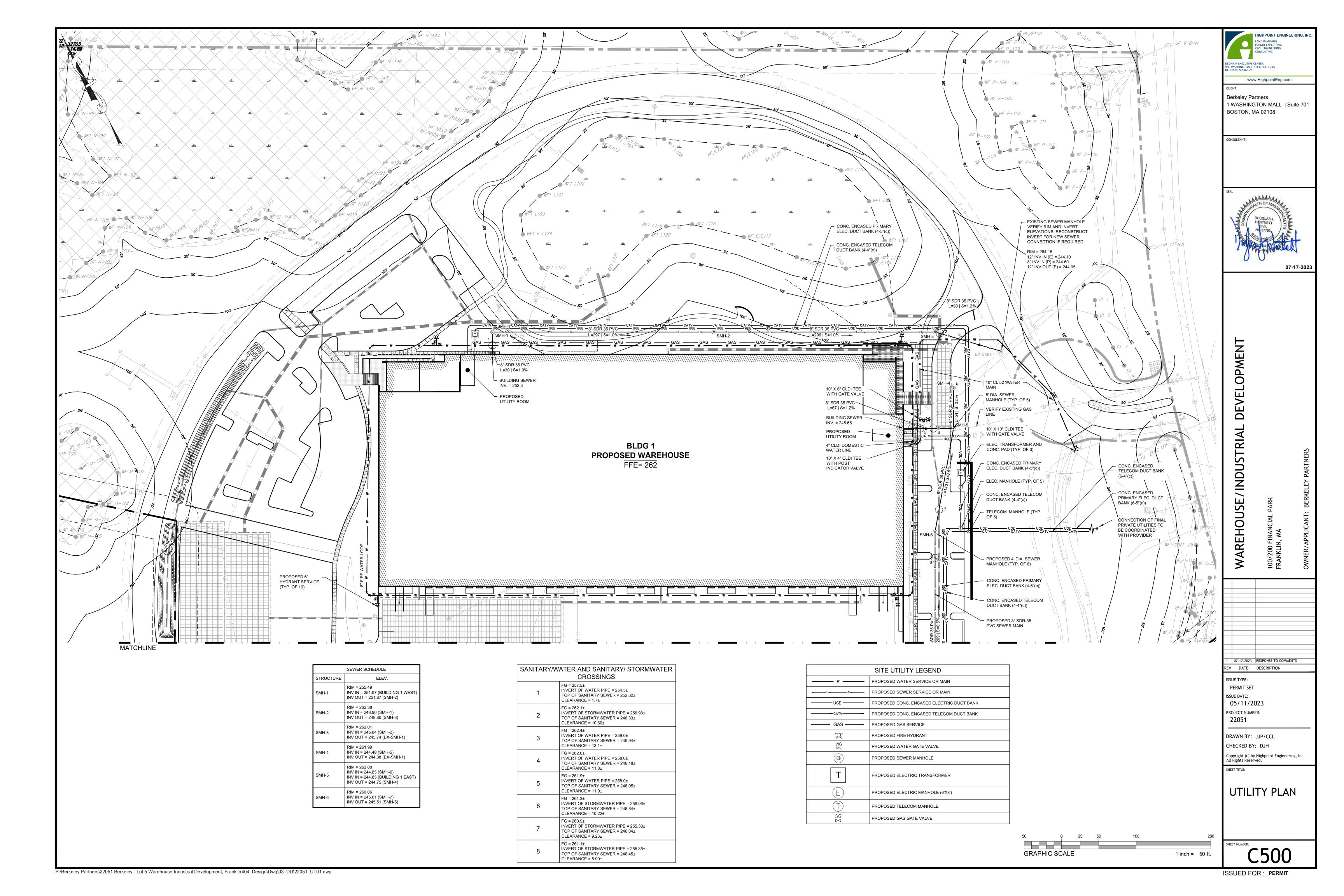


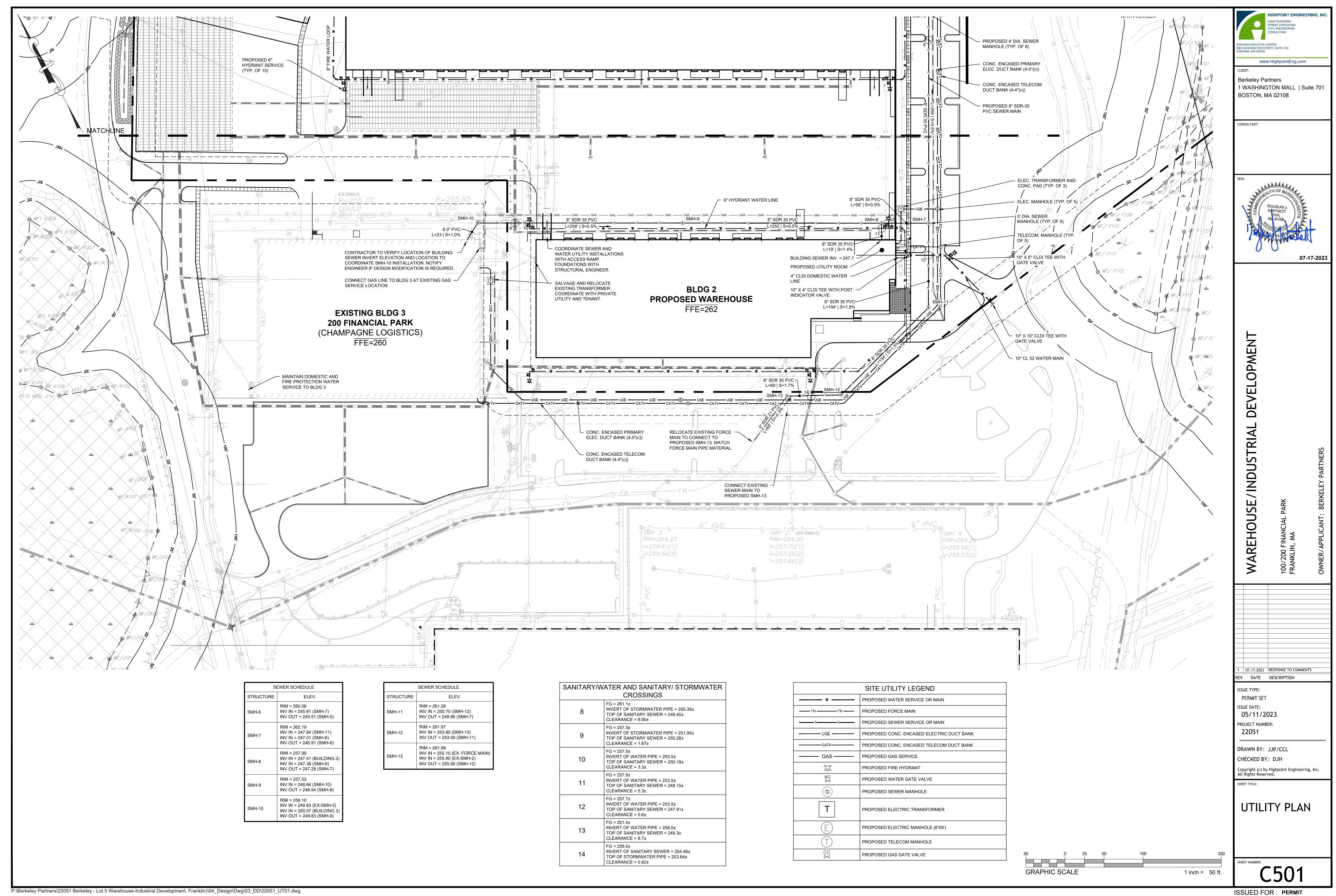


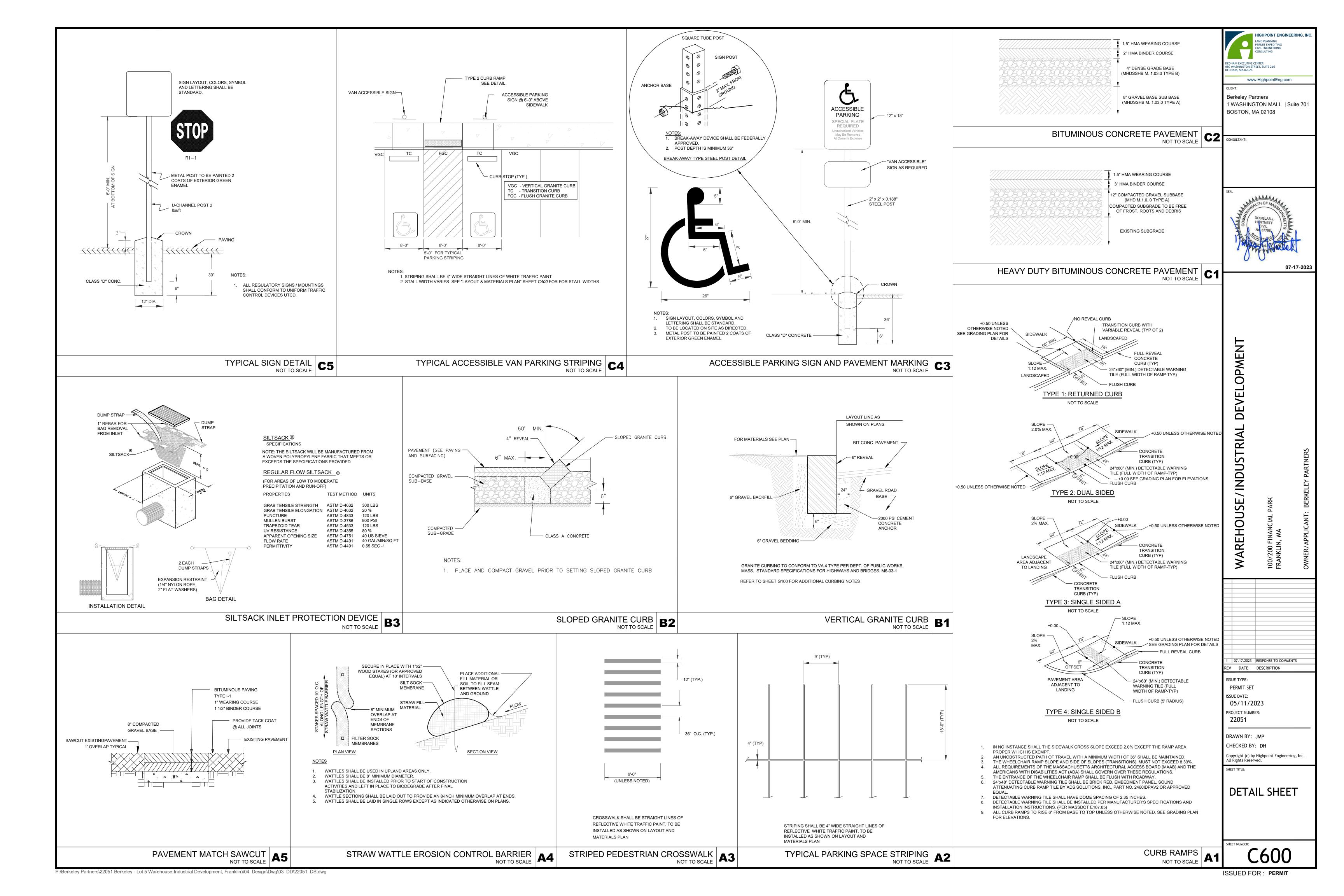


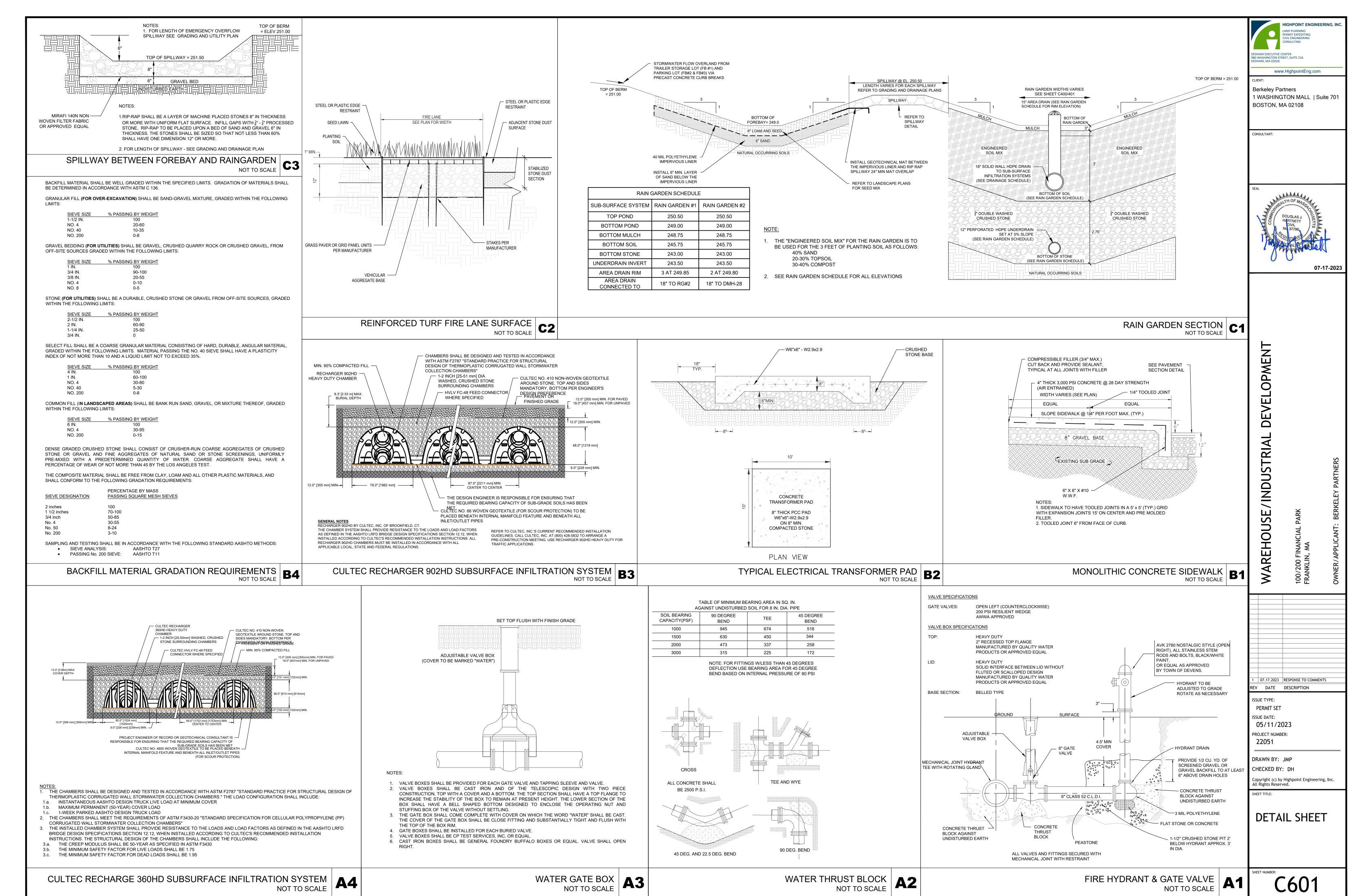


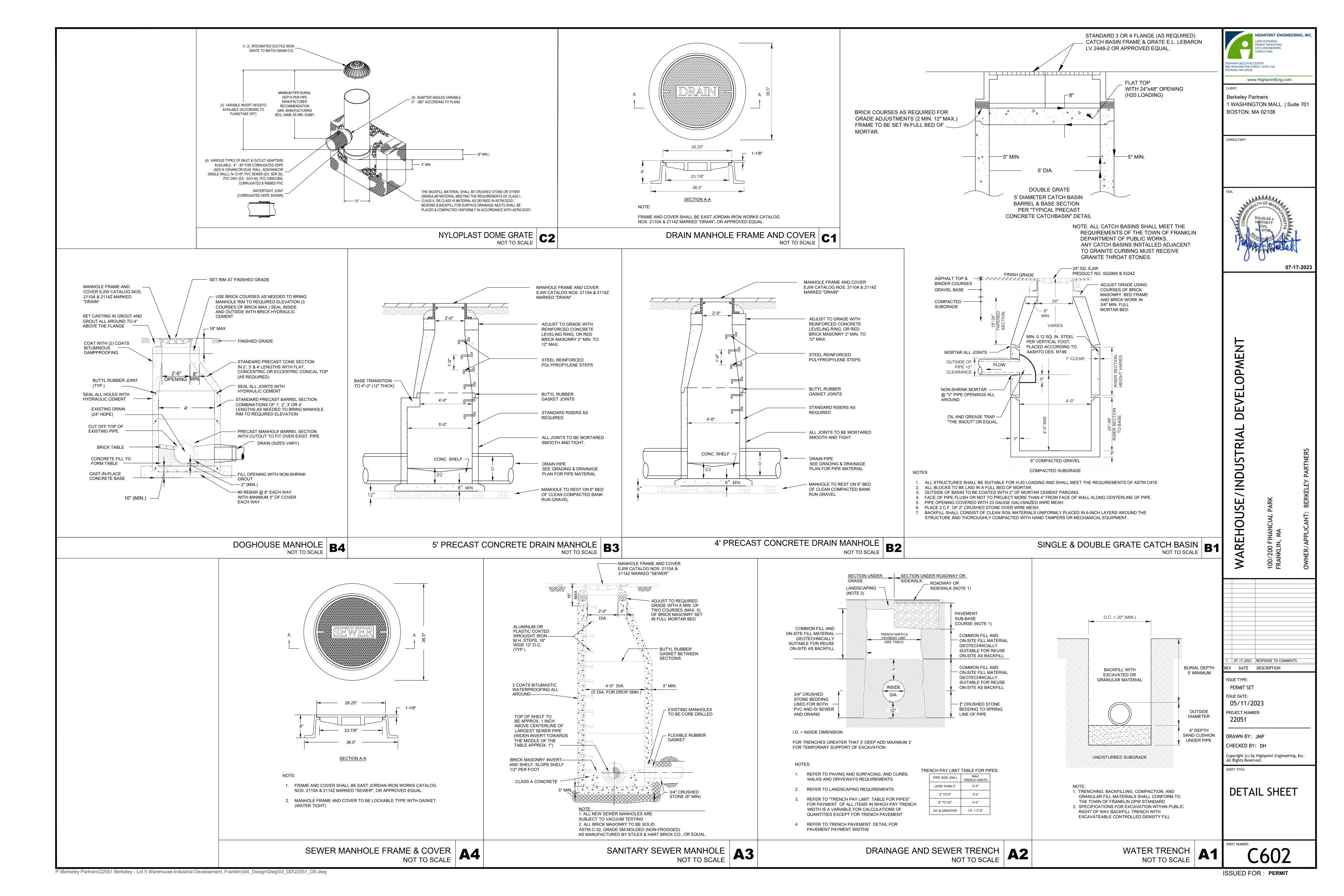


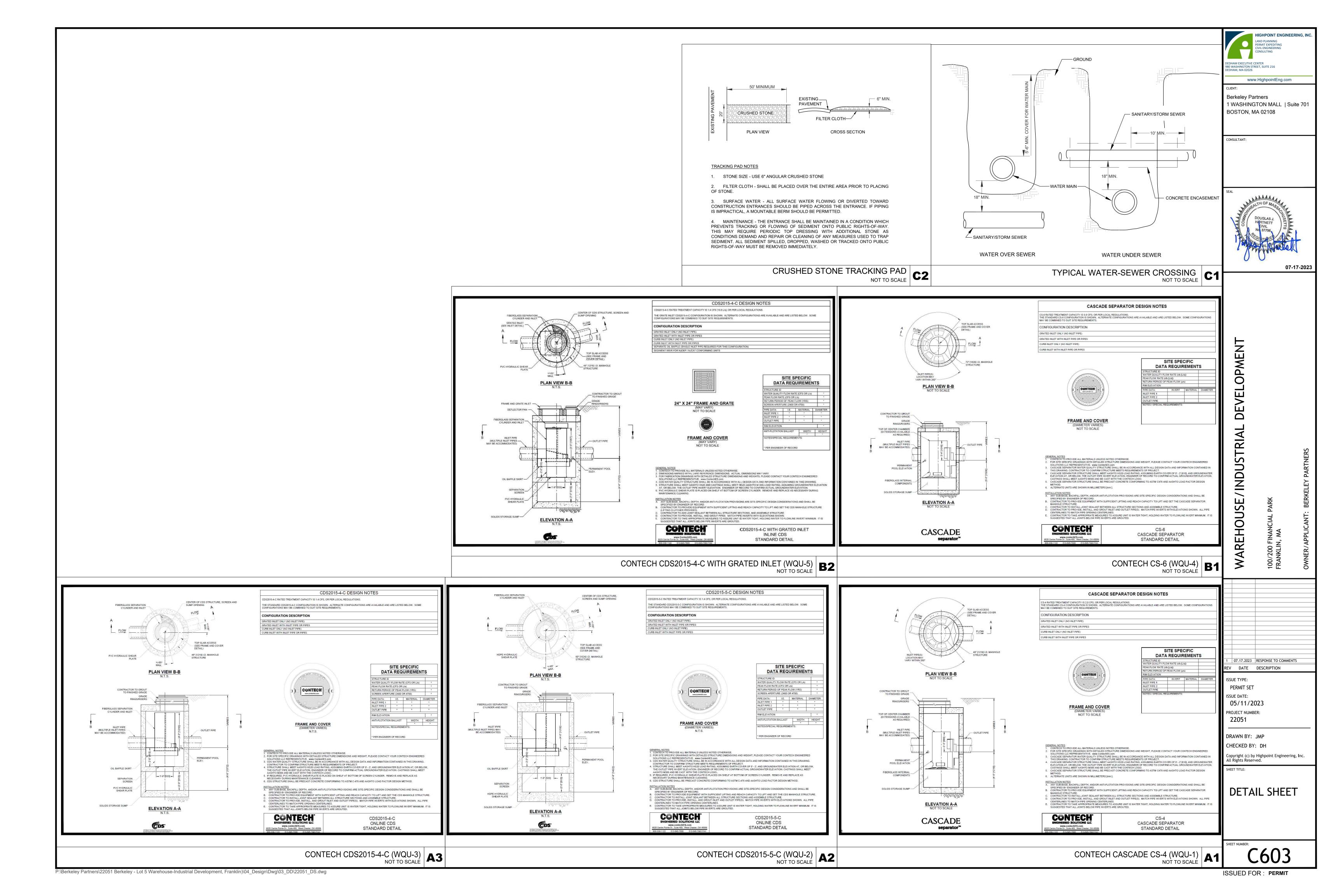














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CLIENT
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1 WASHINGTON MALL, S
BOSTON, MA

KEY PLAN

CHECKED:
AS NOTED

SCALE:
AS NOTED

DATE:

SHEET 01 OF 24

NORTH POND BUILDING 1 L103/L110/L119 | L104/L111/L120 BUILDING 2 BUILDING 3 L105/L112/L121-L106/L113/L122-FINANCIAL PARK L107/L114/L123 SHEET LAYOUT KEY PLAN

SCALE: 1" = 80'-0"

L101/L108/L117

L102/L109/L118

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.

2. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE ENGINEER. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT (LA) AND RECORDED ON RECORD DRAWINGS.

3. CONTRACTOR SHALL NOTIFY THE LA OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL

4. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS. CONTRACTOR SHALL RESTORE DAMAGED AREAS BEYOND CONTRACT LIMITS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.

5. THE CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO THE FAILURE OF THE CONTRACTOR TO CONTACT AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED DURING CONSTRUCTION TO EXISTING UTILITIES SCHEDULED TO REMAIN AT NO COST TO THE OWNER.

6. EXISTING STRUCTURES, IMPROVEMENTS, APPURTENANCES AND VEGETATION TO REMAIN SHALL BE PROTECTED FROM

DAMAGE. ANY DAMAGE TO EXISTING SITE IMPROVEMENTS TO REMAIN SHALL BE REPAIRED AT NO COST TO THE OWNER. 7. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSES ISSUED BY COGNIZANT FEDERAL,

STATE, AND LOCAL AGENCIES. 8. CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH CITY OFFICIALS.

9. MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF EXISTING CONDITIONS AND SURVEY INFORMATION.

10. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS

OTHERWISE INDICATED. 11. ALL LINE AND GRADE WORK AS PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER

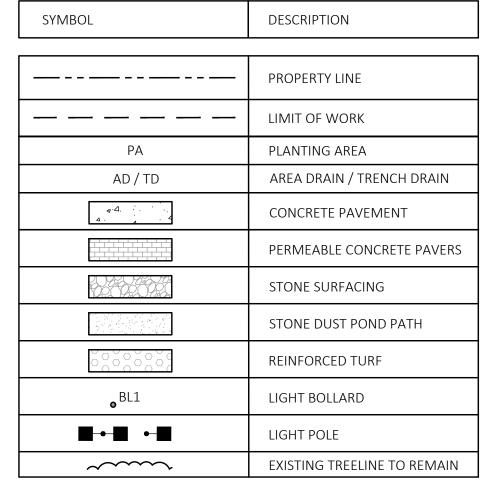
OR LAND SURVEYOR. 12.DIMENSIONS ARE APPROXIMATE BASED ON TAKE OFF FROM SURVEY. ACTUAL DIMENSIONS MAY VARY. NOTIFY THE

OWNER'S REPRESENTATIVE AND LA IN THE EVENT OF DIMENSIONAL DISCREPANCIES.

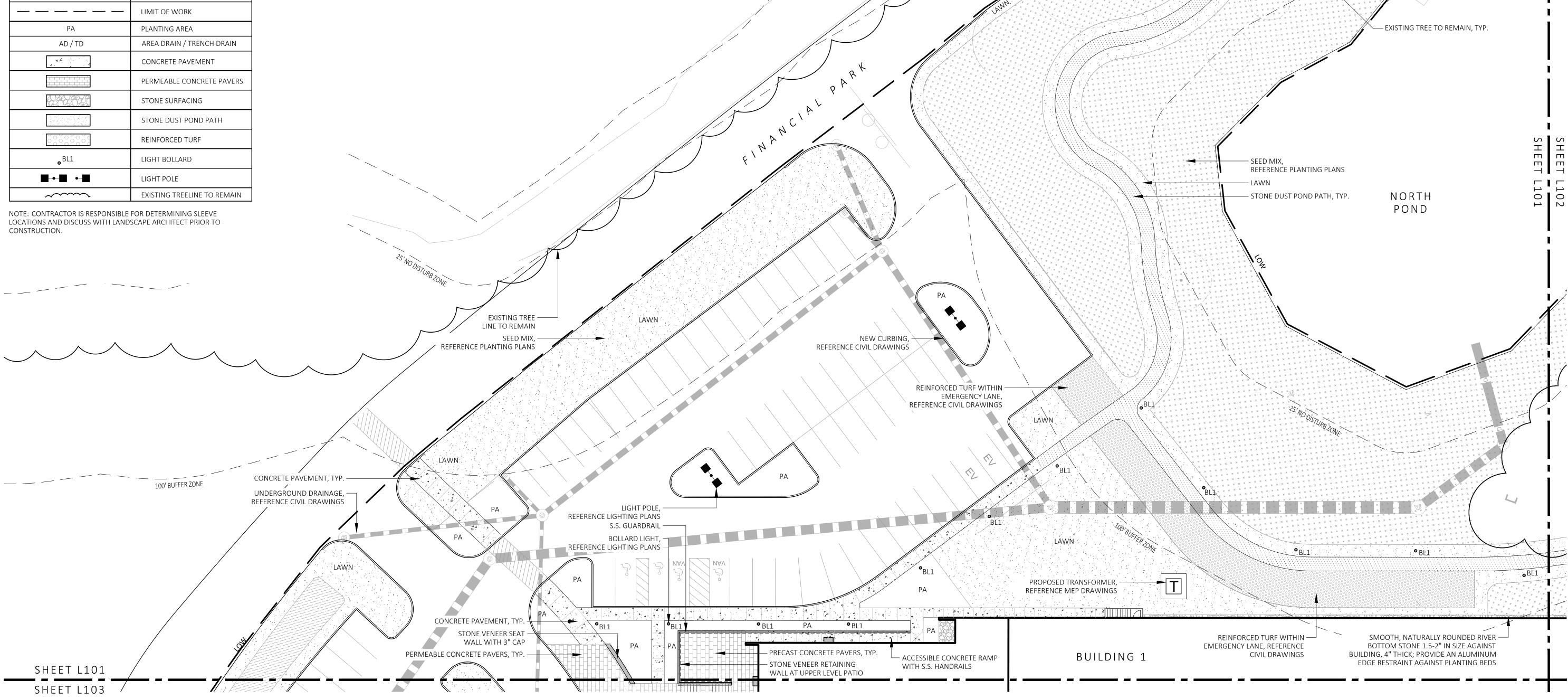
13. CONTRACTOR TO STAKE OUT LAYOUT FOR APPROVAL PRIOR TO EXCAVATION.

14.CONTRACTOR SHALL PREPARE SAMPLE PANELS FOR EACH PAVING TYPE FOR APPROVAL OF WORKMANSHIP, FINISHES, COLOR, AND JOINTING PRIOR TO FINAL INSTALLATION. SEE SPECIFICATIONS FOR FULL MOCK UP REQUIREMENTS.

### MATERIALS LEGEND:



NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE



MICHAEL D'ANGELO 840 SUMMER STREET SUITE 201A

BOSTON, MA 02127 t. 203.592.4788 www.m-d-l-a.com

S

REV. NO. DATE DESCRIPTION 5/11/23 FOR PERMIT

MATERIALS PLAN

CHECKED:
AS NOTED

SCALE:
AS NOTED

DATE: L101

SHEET 02 OF 24

SCALE: 1" = 20'-0"

MATERIALS PLAN

plot date: 7/17/2023



MICHAEL D'ANGELO ANDSCAPE ARCHITECTURE LLO

www.m-d-l-a.com

840 SUMMER STREET SUITE 201A BOSTON, MA 02127 t. 203.592.4788

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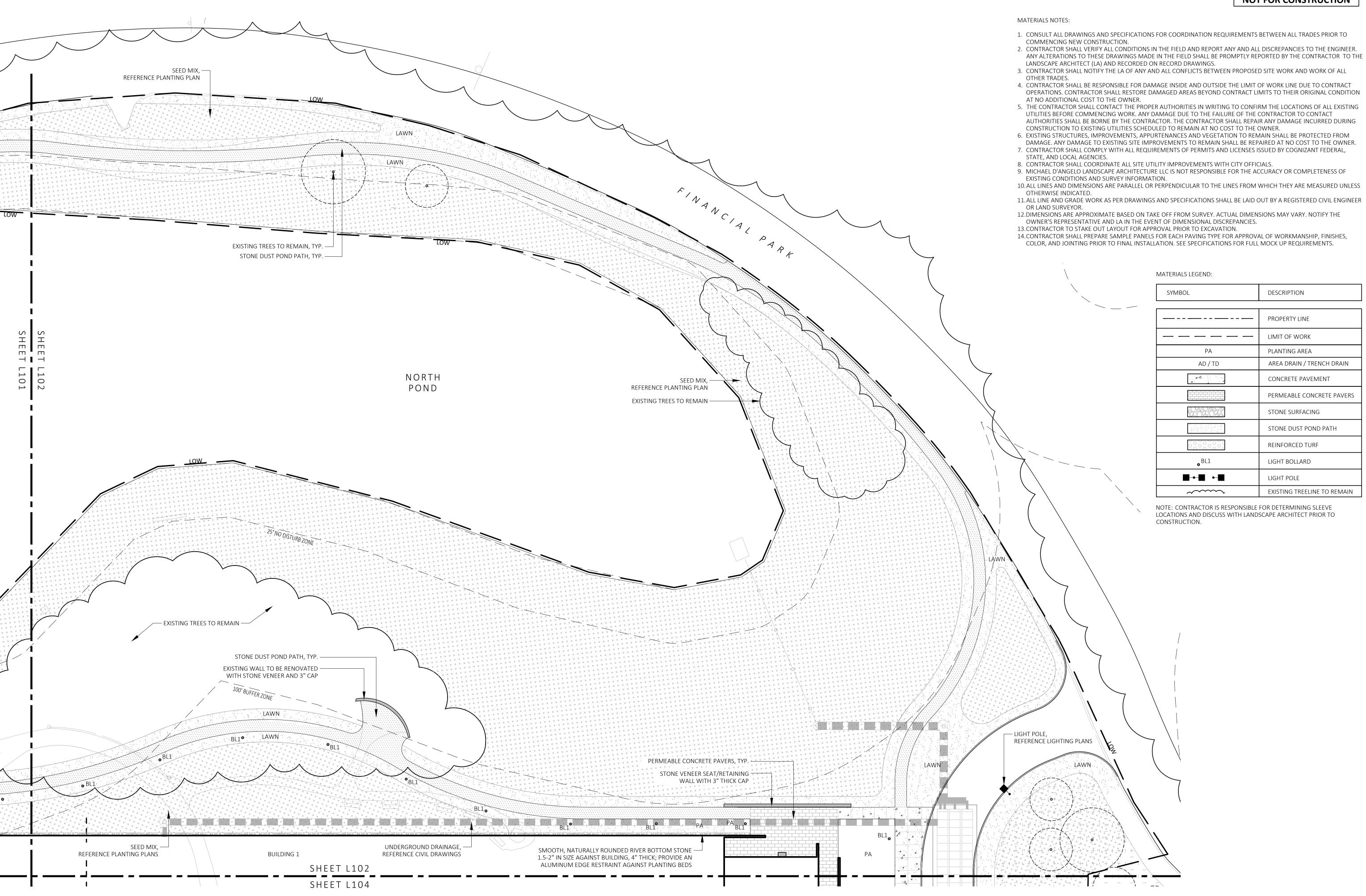
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MATERIALS PLAN

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SCALE:
AS NOTED
DATE:

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SHEET 03 OF 24



MATERIALS PLAN

AS NOTED DATE:

SHEET 04 OF 24

**MATERIALS NOTES:** 

SHEET L103

SHEET L105

STONE VENEER RETAINING WALL AT

PERMEABLE CONCRETE PAVERS UPPER

UPPER LEVEL PATIO

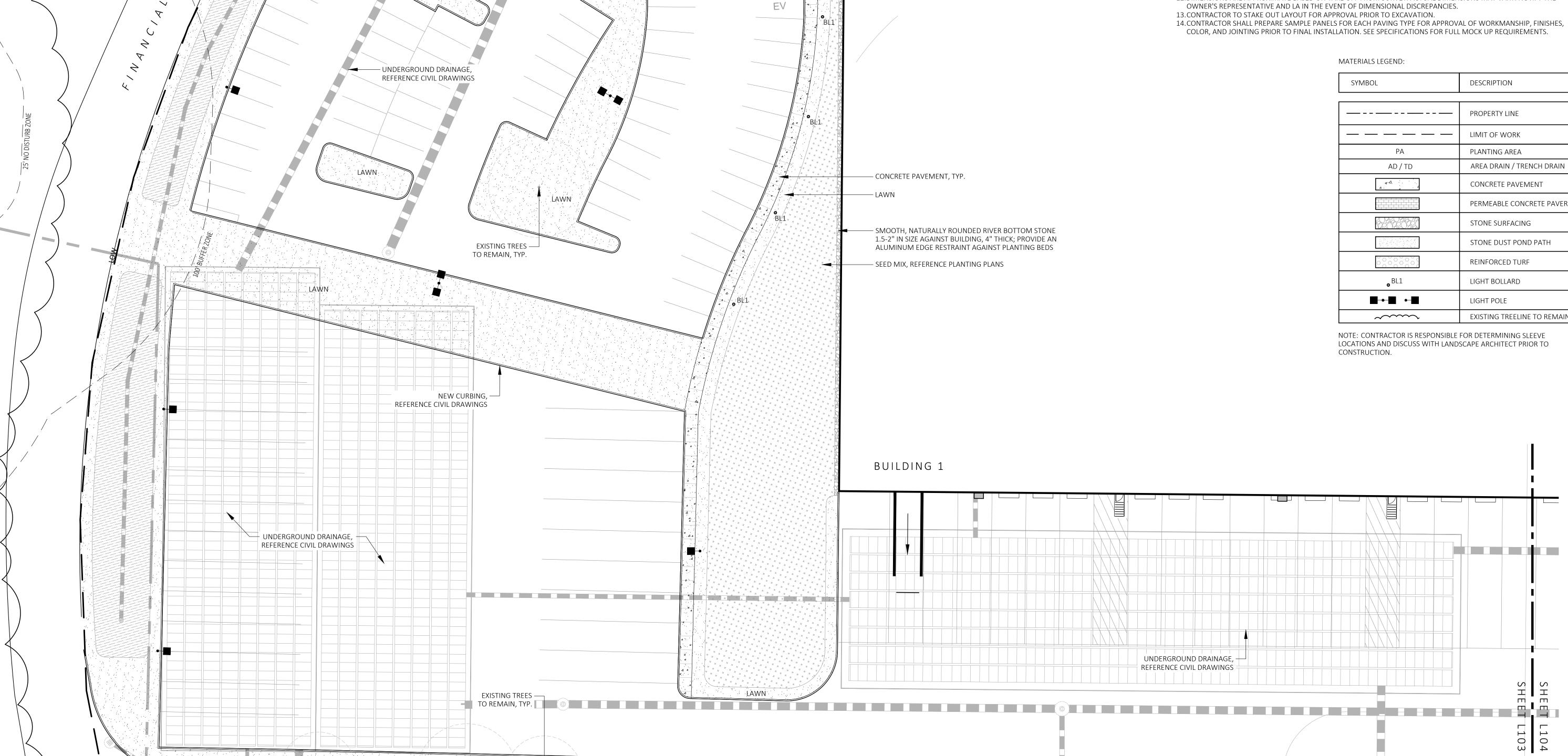
LEVEL WITH S.S. GUARDRAIL

- CAST-IN-PLACE CONCRETE STAIRS

– PERMEABLE CONCRETE PAVERS, TYP.

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- 9. MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF EXISTING CONDITIONS AND SURVEY INFORMATION.
- 10. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- 11. ALL LINE AND GRADE WORK AS PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR.
- 12.DIMENSIONS ARE APPROXIMATE BASED ON TAKE OFF FROM SURVEY. ACTUAL DIMENSIONS MAY VARY. NOTIFY THE

SYMBOL	DESCRIPTION
	PROPERTY LINE
	LIMIT OF WORK
PA	PLANTING AREA
AD/TD	AREA DRAIN / TRENCH DRAIN
4.4.	CONCRETE PAVEMENT
	PERMEABLE CONCRETE PAVERS
	STONE SURFACING
	STONE DUST POND PATH
	REINFORCED TURF
• BL1	LIGHT BOLLARD
■•■ •■	LIGHT POLE
~~~~	EXISTING TREELINE TO REMAIN



EV

REFERENCE CIVIL DRAWINGS

SHEET L101

SHEET L103

EXISTING TREES TO REMAIN

SEED MIX, -

LIGHT POLE

REFERENCE PLANTING PLANS

REFERENCE LIGHTING PLANS

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REV. NO. | DATE | DESCRIPTION

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SCALE:
AS NOTED

DATE:

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UNDERGROUND DRAINAGE, —

REFERENCE LIGHTING PLANS

SHEET L104

SHEET L106

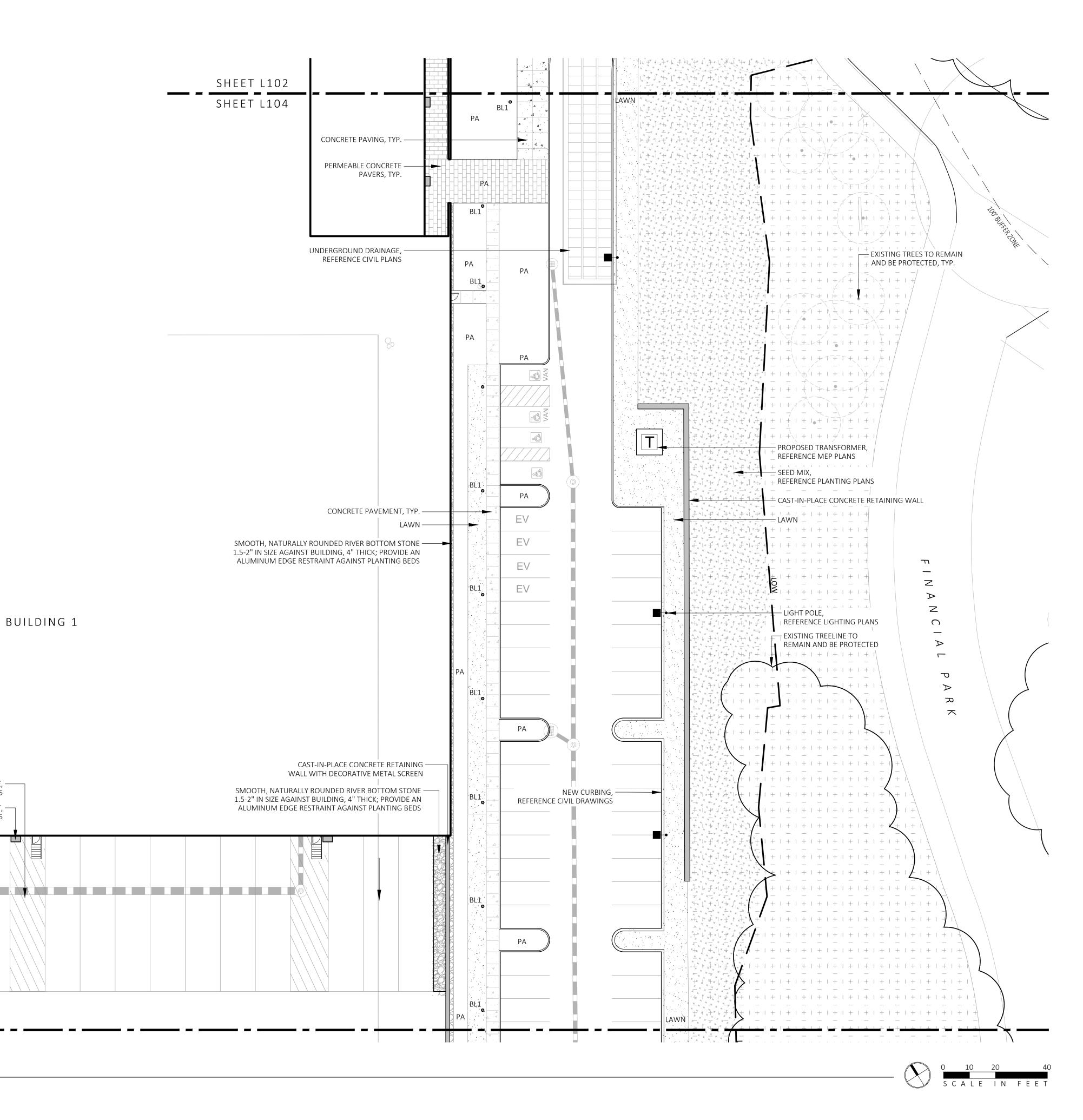
REFERENCE CIVIL PLANS

BUILDING LIGHT, -

#### MATERIALS LEGEND:

SYMBOL	DESCRIPTION
	PROPERTY LINE
	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
4.4.	CONCRETE PAVEMENT
	PERMEABLE CONCRETE PAVERS
	STONE SURFACING
	STONE DUST POND PATH
000000	REINFORCED TURF
• BL1	LIGHT BOLLARD
■•■ •■	LIGHT POLE
~~~~	EXISTING TREELINE TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE LOCATIONS AND DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO



MATERIALS PLAN

EET L104

SHEET 5 OF 24 plot date: 7/17/2023 COMMENCING NEW CONSTRUCTION.

MATERIALS LEGEND:

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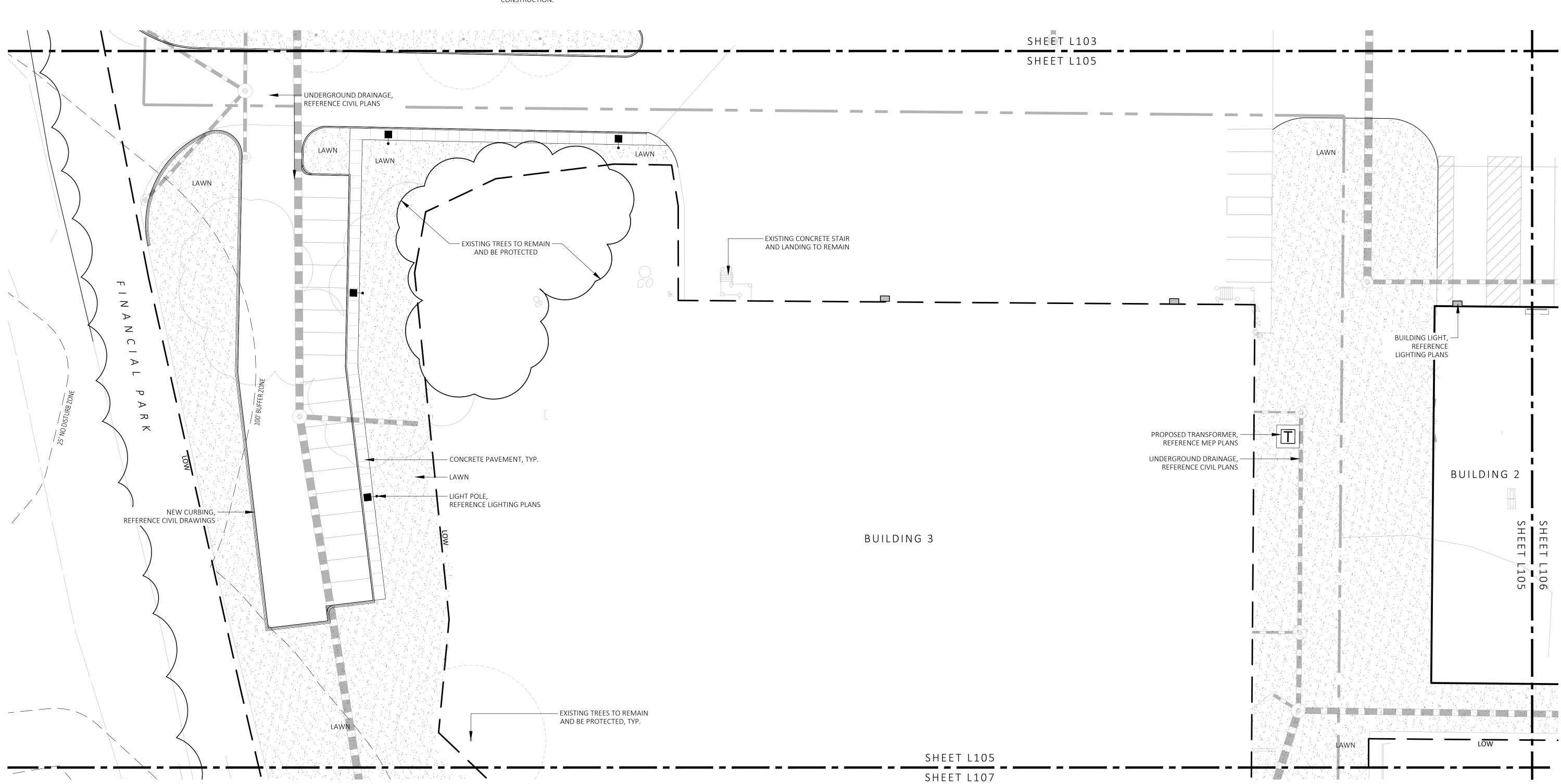
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SYMBOL	DESCRIPTION
	PROPERTY LINE
	- LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
4·4	CONCRETE PAVEMENT
	PERMEABLE CONCRETE PAVERS
	STONE SURFACING
	STONE DUST POND PATH
000000	REINFORCED TURF
•BL1	LIGHT BOLLARD
	LIGHT POLE
~~~~	EXISTING TREELINE TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE LOCATIONS AND DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO

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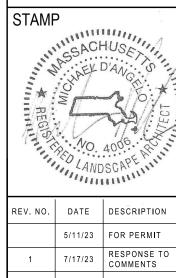
**FOR PERMIT ONLY** 

NOT FOR CONSTRUCTION

MICHAEL D'ANGELO

840 SUMMER STREET SUITE 201A BOSTON, MA 02127 t. 203.592.4788 www.m-d-l-a.com

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MATERIALS PLAN

CHECKED:
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SCALE:
AS NOTED

DATE: L105

SHEET 6 OF 24

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MATERIALS PLAN

L106

SHEET 7 OF 24

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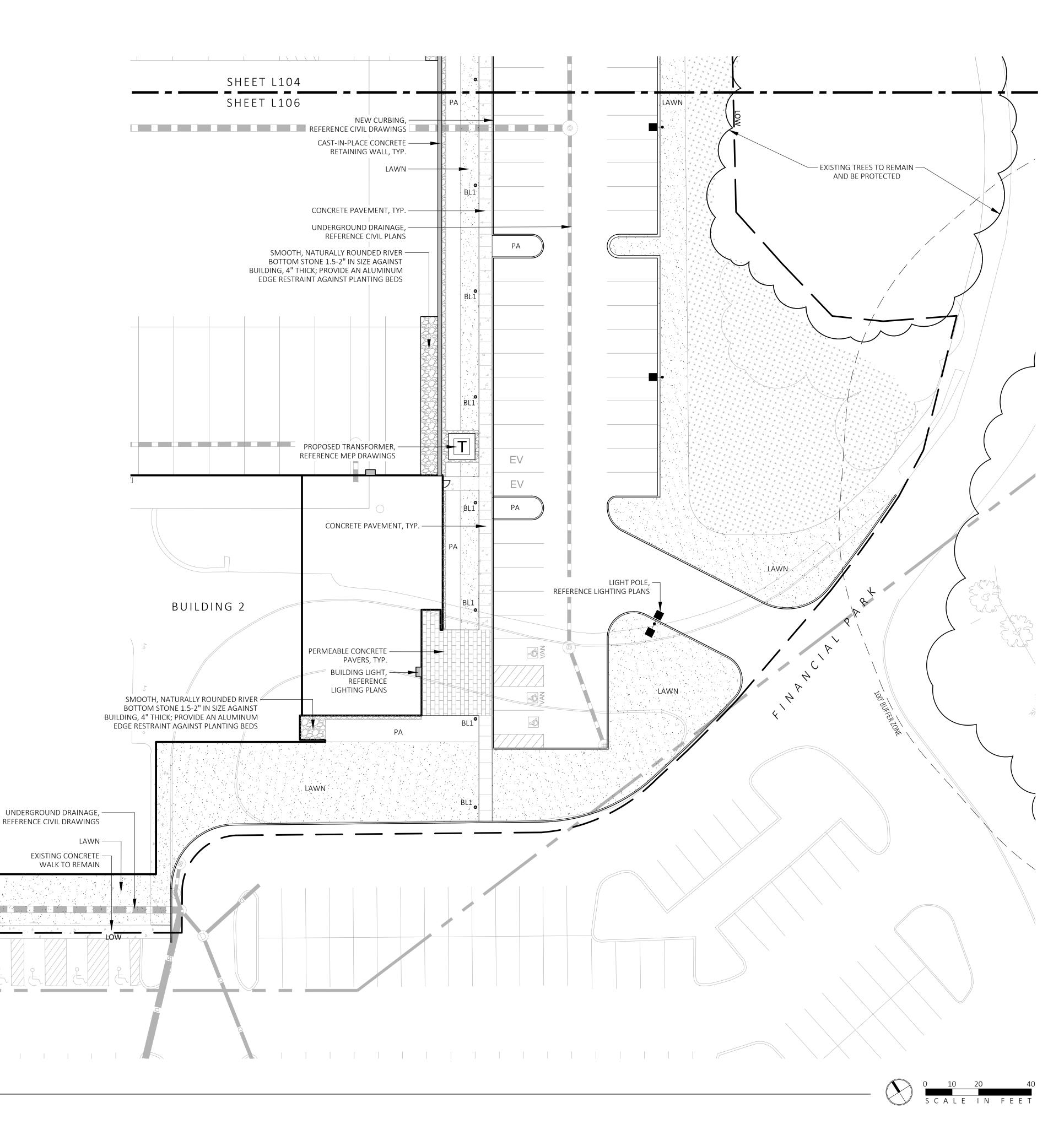
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#### MATERIALS LEGEND:

SYMBOL	DESCRIPTION
	PROPERTY LINE
	LIMIT OF WORK
PA	PLANTING AREA
AD/TD	AREA DRAIN / TRENCH DRAIN
4.4.	CONCRETE PAVEMENT
	PERMEABLE CONCRETE PAVERS
	STONE SURFACING
	STONE DUST POND PATH
000000	REINFORCED TURF
• BL1	LIGHT BOLLARD
	LIGHT POLE
~~~~	EXISTING TREELINE TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE LOCATIONS AND DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO



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AT NO ADDITIONAL COST TO THE OWNER.

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MATERIALS PLAN

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SHEET 8 OF 24

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EXISTING TREELINE TO REMAIN

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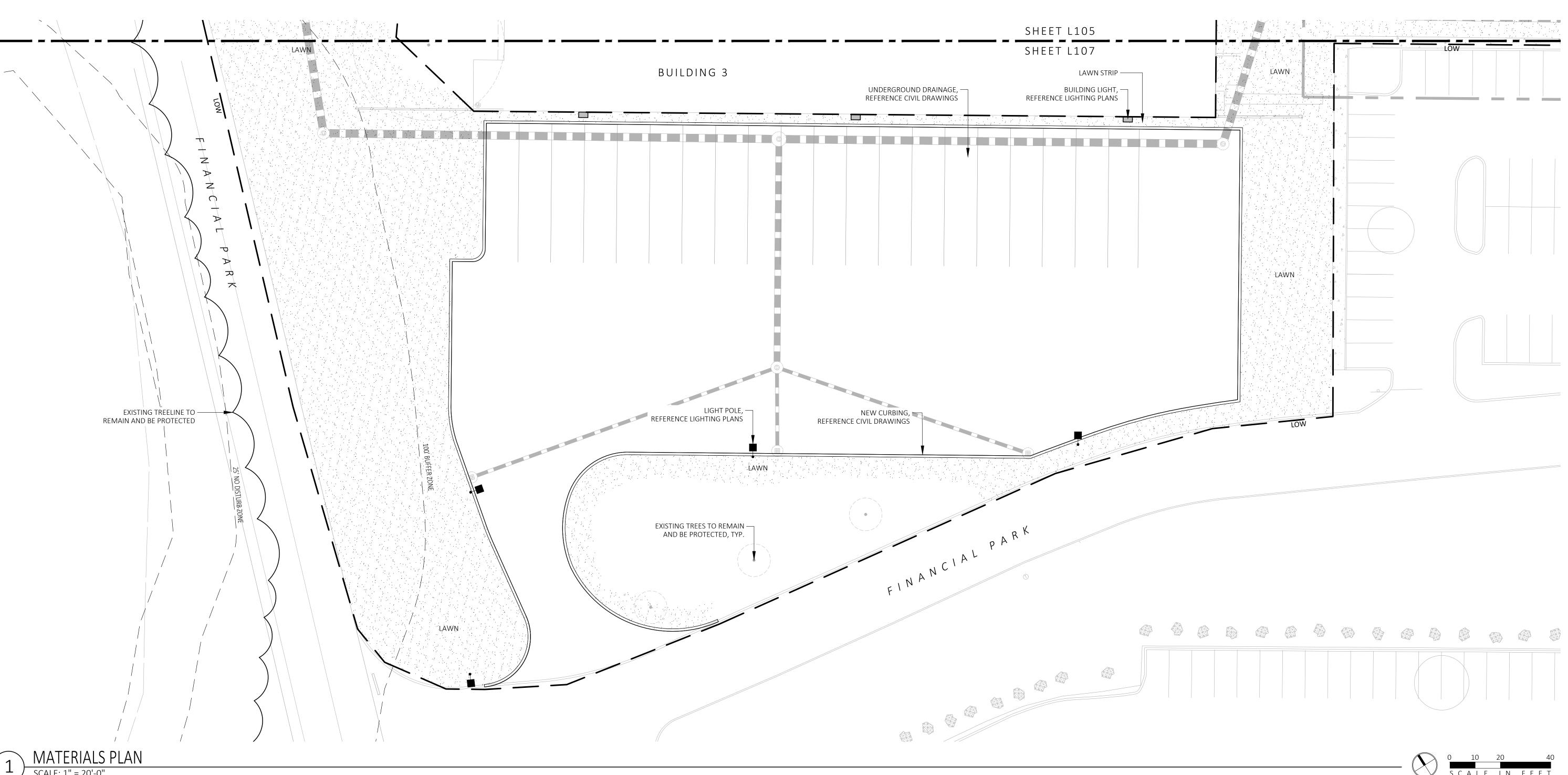
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— WL1

MH: 12'

MH: 12'

0 10 20

SMOOTH, NATURALLY ROUNDED RIVER

BOTTOM STONE 1.5-2" IN SIZE AGAINST

EDGE RESTRAINT AGAINST PLANTING BEDS

BUILDING, 4" THICK; PROVIDE AN ALUMINUM

REINFORCED TURF WITHIN

**CIVIL DRAWINGS** 

EMERGENCY LANE, REFERENCE

BUILDING 1

MICHAEL D'ANGELO landscape arc

840 SUMMER STREET
SUITE 201A
BOSTON, MA 02127
t. 203.592.4788
www.m-d-l-a.com

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CLIENT
BERKELEY PARTNERS
1 WASHINGTON MALL, SUIT
BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIA
100 / 200 FINANCIAL PARK
FRANKLIN, MA

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ANDSCAPE

1 7/17/23 FOR PERMIT

1 7/17/23 RESPONSE TO COMMENTS

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PLANTING & LIGHTING PLAN

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AS NOTED
SCALE:
AS NOTED
DATE:
5/11/2023

SHEET 9

(1)

PLANTING & LIGTHING PLAN

(AIN GARDEN MIX)

SEEDED LAWN

SHEET L108

SHEET L110

plot date: 7/17/2023

OF 24

3"-3.5" CAL.

3"-3.5" CAL

3"-3.5" CAL.

3'-3.5' TALL

3'-3.5' TALL

3'-3.5' TALL

3'-3.5' TALL

3'-3.5' TALL

2.5'-3' TALL

B&B, 6' CLEAR BRANCHING

B&B. 6' CLEAR BRANCHING

B&B, 6' CLEAR BRANCHING

B&B, 6' CLEAR BRANCHING

B&B. 6' CLEAR BRANCHING

B&B, 6' CLEAR BRANCHING

36" O.C. B&B

24" O.C. B&B

24" O.C. CONTAINER 24" O.C. CONTAINER

18" O.C. CONTAINER 18" O.C. CONTAINER

APPLY COVER CROP; FALL:

GRAIN RYE, SPRING: OAT;

APPLY COVER CROP OF

GRAIN RYE; SEE SPEC SHEET

SEE SPEC SHEET

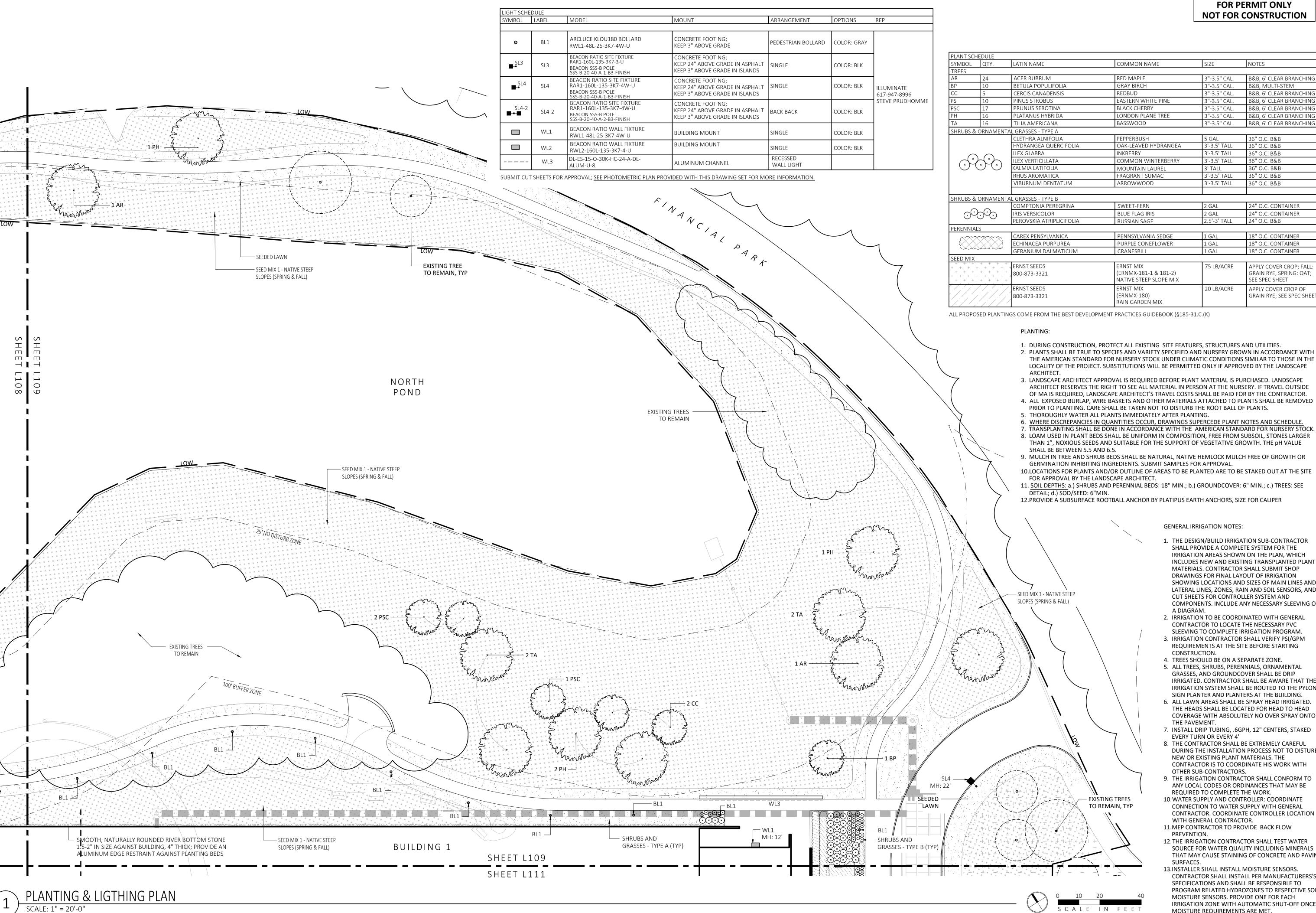
B&B, MULTI-STEM

1 7/17/23 RESPONSE TO COMMENTS

PLAN

AS NOTED L109 AS NOTED

SHEET 10 OF 24



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**GENERAL IRRIGATION NOTES:** 

- 1. THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
- 2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- 3. IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING
- CONSTRUCTION. 4. TREES SHOULD BE ON A SEPARATE ZONE.
- 5. ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUNDCOVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- 6. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT. 7. INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED
- EVERY TURN OR EVERY 4' 8. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL
- DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- 9. THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK. 10. WATER SUPPLY AND CONTROLLER: COORDINATE
- CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR. 11.MEP CONTRACTOR TO PROVIDE BACK FLOW
- PREVENTION. 12. THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- 13.INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET

MICHAEL D'ANGELO ANDSCAPE ARCHITECTURE L

840 SUMMER STREET SUITE 201A

BOSTON, MA 02127

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www.m-d-l-a.com

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STAMP

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REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR. 4. ALL EXPOSED BURLAP, WIRE BASKETS AND

OTHER MATERIALS ATTACHED TO PLANTS

OCCUR, DRAWINGS SUPERCEDE PLANT

**CLIMATIC CONDITIONS SIMILAR TO THOSE** 

SUBSTITUTIONS WILL BE PERMITTED ONLY

IN THE LOCALITY OF THE PROJECT.

IF APPROVED BY THE LANDSCAPE

3. LANDSCAPE ARCHITECT APPROVAL IS

SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS. 5. THOROUGHLY WATER ALL PLANTS

PLANTING:

UTILITIES.

ARCHITECT.

IMMEDIATELY AFTER PLANTING. 6. WHERE DISCREPANCIES IN QUANTITIES

**NOTES AND SCHEDULE** 7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN

STANDARD FOR NURSERY STOCK. . LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE

VALUE SHALL BE BETWEEN 5.5 AND 6.5. . MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.

SUPPORT OF VEGETATIVE GROWTH. THE pH

OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.

11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUNDCOVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6"MIN.

12.PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

1. THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED

SIZE

3"-3.5" CAL.

3"-3.5" CAL.

3"-3.5" CAL.

3"-3.5" CAL.

3"-3.5" CAL.

3'-3.5' TALL

3'-3.5' TALL

3'-3.5' TALL

3'-3 5' TALL

2.5'-3' TALL

75 LB/ACRE

20 LB/ACRE

ARRANGEMENT

3' TALL

5 GAL

NOTES

B&B. 6' CLEAR BRANCHING

B&B, 6' CLEAR BRANCHING

B&B. 6' CLEAR BRANCHING

B&B, 6' CLEAR BRANCHING

B&B, 6' CLEAR BRANCHING

B&B, 6' CLEAR BRANCHING

B&B, MULTI-STEM

36" O.C. B&B

24" O.C. CONTAINER

24" O.C. CONTAINER

18" O.C. CONTAINER

18" O.C. CONTAINER

18" O.C. CONTAINER

SEE SPEC SHEET

APPLY COVER CROP; FALL:

GRAIN RYE, SPRING: OAT;

APPLY COVER CROP OF

OPTIONS

COLOR: BLK

COLOR: BLK

LLUMINATE

PEDESTRIAN BOLLARD | COLOR: GRAY

GRAIN RYE; SEE SPEC SHEET

36" O.C. B&B

24" O.C. B&B

3'-3.5' TALL 36" O.C. B&B

COMMON NAME

EASTERN WHITE PINE

LONDON PLANE TREE

OAK-LEAVED HYDRANGEA

COMMON WINTERBERRY

MOUNTAIN LAUREL

FRAGRANT SUMAC

ARROWWOOD

SWEET-FERN

**BLUE FLAG IRIS** 

RUSSIAN SAGE

CRANESBILL

**ERNST MIX** 

ERNST MIX

(ERNMX-180)

CONCRETE FOOTING;

KEEP 3" ABOVE GRADE

CONCRETE FOOTING;

KEEP 24" ABOVE GRADE IN ASPHALT

KEEP 24" ABOVE GRADE IN ASPHALT | SINGLE

KEEP 3" ABOVE GRADE IN ISLANDS

RAIN GARDEN MIX

PENNSYLVANIA SEDGE

PURPLE CONEFLOWER

(ERNMX-181-1 & 181-2)

NATIVE STEEP SLOPE MIX

RED MAPLE

GRAY BIRCH

BLACK CHERRY

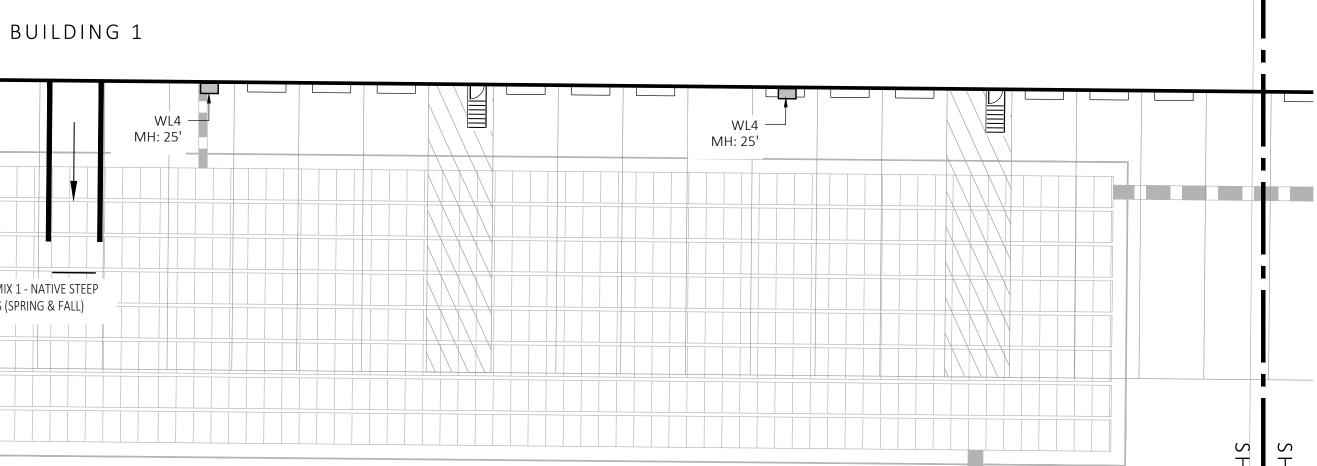
BASSWOOD

PEPPERBUSH

INKBERRY

REDBUD

- 4. TREES SHOULD BE ON A SEPARATE ZONE.
- WITH OTHER SUB-CONTRACTORS.
- 13.INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO



PLANTING & LIGHTING PLAN

REV. NO. | DATE | DESCRIPTION

AS NOTED
DATE:

SHEET 11 OF 24

PLANTING & LIGTHING PLAN SCALE: 1" = 20'-0"

SEED MIX 2 (RAIN GARDEN MIX)

SEEDED LAWN -

SHEET L108

SHEET L110

SEED MIX 2

SEEDED LAWN -

MH: 22'

MH: 22'

− MH: 22'

(RAMN GARDEN MIX)

KEEP 3" ABOVE GRADE IN ISLANDS 617-947-8996 10.LOCATIONS FOR PLANTS AND/OR OUTLINE STEVE PRUDHOMME CONCRETE FOOTING; RAR1-160L-135-3K7-4W-U KEEP 24" ABOVE GRADE IN ASPHALT BACK BACK SL4-2 COLOR: BLK BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH KEEP 3" ABOVE GRADE IN ISLANDS BEACON RATIO WALL FIXTURE COLOR: BLK **BUILDING MOUNT** SINGLE RWL1-48L-25-3K7-4W-U BEACON RATIO WALL FIXTURE **BUILDING MOUNT** SINGLE COLOR: BLK RWL2-160L-135-3K7-4-U DL-ES-15-O-30K-HC-24-A-DL-ALUMINUM CHANNEL WALL LIGHT GENERAL IRRIGATION NOTES PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM. 2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM. 3. IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION. 5. ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUNDCOVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING. 6. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT. 7. INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4' 8. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK 9. THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK 10. WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR. 11.MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION. 12. THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES. RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

800-873-3321 ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (§185-31.C.(K) SYMBOL LABEL ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U SL3 BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH 

SYMBOL QTY.

PERENNIALS

EED MIX

LATIN NAME

ACER RUBRUM

PINUS STROBUS

BETULA POPULIFOLIA

CERCIS CANADENSIS

PRUNUS SEROTINA

PLATANUS HYBRIDA

HYDRANGEA QUERCIFOLIA

TILIA AMERICANA

ILEX GLABRA

LEX VERTICILLATA

RHUS AROMATICA

RIS VERSICOLOR

ERNST SEEDS

800-873-3321

**ERNST SEEDS** 

VIBURNUM DENTATUM

COMPTONIA PEREGRINA

PFROVSKIA ATRIPLICIFOLIA

CAREX PENSYLVANICA

CHINACEA PURPUREA

GERANIUM DALMATICUM

HRUBS & ORNAMENTAL GRASSES - TYPE A

SHRUBS & ORNAMENTAL GRASSES - TYPE B

EV BL1 —— SMOOTH, NATURALLY -ROUNDED RIVER BOTTOM STONE 1.5-2" IN SIZE AGAINST BUILDING, 4" THICK; PROVIDE AN ALUMINUM EDGE RESTRAINT AGAINST PLANTING BEDS

BL1

SL4 -

BL1

EV

MH: 22'

SHRUBS AND

PERENNIALS AND -

GRASSES - TYPE B (TYP)

GROUND COVER (TYP)

**EXISTING TREE** TO REMAIN - SL4-2

MH: 22'

SEEDED LAWN ———

EXISTING TREES TO REMAIN

MH: 22'

MH: 22'

2 PH —

SL4 MH: 22'

7 PSC

 $^{f L}$  SEED MIX 1 - NATIVE STEEP

SLOPES (SPRING & FALL)

SHEET L110 SHEET L112

- EXISTING TREES

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 $\triangleright$ 

 $\mathcal{R}$ 

- EXISTING TREES

TO REMAIN

TO REMAIN

0

PLANTING & LIGHTING PLAN

AS NOTED AS NOTED

5/11/2023 SHEET 12 OF 24

SYMBOL QTY. COMMON NAME LATIN NAME SIZE NOTES ACER RUBRUM RED MAPLE B&B, 6' CLEAR BRANCHING **GRAY BIRCH** BETULA POPULIFOLIA 3"-3.5" CAL. B&B, MULTI-STEM REDBUD **CERCIS CANADENSIS** 3"-3.5" CAL. B&B, 6' CLEAR BRANCHING EASTERN WHITE PINE PINUS STROBUS B&B, 6' CLEAR BRANCHING **BLACK CHERRY** PRUNUS SEROTINA 3"-3.5" CAL. B&B, 6' CLEAR BRANCHING PLATANUS HYBRIDA LONDON PLANE TREE 3"-3.5" CAL. B&B, 6' CLEAR BRANCHING B&B, 6' CLEAR BRANCHING TILIA AMERICANA BASSWOOD 3"-3.5" CAL. SHRUBS & ORNAMENTAL GRASSES - TYPE A PEPPERBUSH HYDRANGEA QUERCIFOLIA OAK-LEAVED HYDRANGEA 3'-3.5' TALL 36" O.C. B&B 36" O.C. B&B ILEX VERTICILLATA COMMON WINTERBERRY 3'-3.5' TALL 36" O.C. B&B KALMIA LATIFOLIA MOUNTAIN LAUREL 3' TALL 36" O.C. B&B RHUS AROMATICA FRAGRANT SUMAC 3'-3.5' TALL 36" O.C. B&B ARROWWOOD VIBURNUM DENTATUM 3'-3.5' TALL 36" O.C. B&B HRUBS & ORNAMENTAL GRASSES - TYPE B SWEET-FERN COMPTONIA PEREGRINA 24" O.C. CONTAINER 2 GAL BLUE FLAG IRIS 24" O.C. CONTAINER IRIS VERSICOLOR 2 GAL PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE 2.5'-3' TALL 24" O.C. B&B PERENNIALS PENNSYLVANIA SEDGE 18" O.C. CONTAINER PURPLE CONEFLOWER 18" O.C. CONTAINER 18" O.C. CONTAINER GERANIUM DALMATICUM CRANESBILL 1 GAL SEED MIX ERNST SEEDS 75 LB/ACRE APPLY COVER CROP; FALL: (ERNMX-181-1 & 181-2) GRAIN RYE, SPRING: OAT; 800-873-3321 NATIVE STEEP SLOPE MIX SEE SPEC SHEET **ERNST SEEDS** ERNST MIX 20 LB/ACRE APPLY COVER CROP OF (ERNMX-180) GRAIN RYE; SEE SPEC SHEET 800-873-3321 RAIN GARDEN MIX ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (§185-31.C.(K) ARRANGEMENT MOUNT OPTIONS REP MODEL CONCRETE FOOTING; ARCLUCE KLOU180 BOLLARD BL1 PEDESTRIAN BOLLARD COLOR: GRAY KEEP 3" ABOVE GRADE RWL1-48L-25-3K7-4W-U

PLANTING:

ARCHITECT.

1. DURING CONSTRUCTION, PROTECT ALL

2. PLANTS SHALL BE TRUE TO SPECIES AND

IN ACCORDANCE WITH THE AMERICAN

STANDARD FOR NURSERY STOCK UNDER

IN THE LOCALITY OF THE PROJECT.

IF APPROVED BY THE LANDSCAPE

3. LANDSCAPE ARCHITECT APPROVAL IS

REQUIRED BEFORE PLANT MATERIAL IS

IN PERSON AT THE NURSERY. IF TRAVEL

RESERVES THE RIGHT TO SEE ALL MATERIAL

OUTSIDE OF MA IS REQUIRED, LANDSCAPE

4. ALL EXPOSED BURLAP, WIRE BASKETS AND

OTHER MATERIALS ATTACHED TO PLANTS

SHALL BE REMOVED PRIOR TO PLANTING.

CARE SHALL BE TAKEN NOT TO DISTURB THE

ARCHITECT'S TRAVEL COSTS SHALL BE PAID

PURCHASED. LANDSCAPE ARCHITECT

FOR BY THE CONTRACTOR.

ROOT BALL OF PLANTS.

5. THOROUGHLY WATER ALL PLANTS

IMMEDIATELY AFTER PLANTING.

6. WHERE DISCREPANCIES IN QUANTITIES

EXISTING SITE FEATURES, STRUCTURES AND

VARIETY SPECIFIED AND NURSERY GROWN

CLIMATIC CONDITIONS SIMILAR TO THOSE

SUBSTITUTIONS WILL BE PERMITTED ONLY

SHEET L109

SHEET L111

IGHT SCHEDULE SYMBOL LABEL BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT SL3 COLOR: BLK BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH KEEP 3" ABOVE GRADE IN ISLANDS BEACON RATIO SITE FIXTURE CONCRETE FOOTING; SL4 RAR1-160L-135-3K7-4W-U COLOR: BLK KEEP 24" ABOVE GRADE IN ASPHALT LUMINATE KEEP 3" ABOVE GRADE IN ISLANDS 617-947-8996 STEVE PRUDHOMME BEACON RATIO SITE FIXTURE CONCRETE FOOTING; RAR1-160L-135-3K7-4W-U KEEP 24" ABOVE GRADE IN ASPHALT SL4-2 **BACK BACK** COLOR: BLK -BEACON SSS-B POLE KEEP 3" ABOVE GRADE IN ISLANDS SS-B-20-40-A-2-B3-FINISH BEACON RATIO WALL FIXTURE BUILDING MOUNT COLOR: BLK RWL1-48L-25-3K7-4W-U BEACON RATIO WALL FIXTURE **BUILDING MOUNT** WL2 COLOR: BLK RWL2-160L-135-3K7-4-U DL-ES-15-O-30K-HC-24-A-DL-WL3 ALUMINUM CHANNEL

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

## **GENERAL IRRIGATION NOTES:**

- 1. THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED
- PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
- 2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- 3. IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION. 4. TREES SHOULD BE ON A SEPARATE ZONE.
- THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- 6. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT
- 7. INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
- 8. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- 9. THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK. 10. WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
- 11.MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
- 12. THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- 13.INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO

SHEET L111

SHEET L113

RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE. BL1 -7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. 8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5. 9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR 10.LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY BUILDING 1 THE LANDSCAPE ARCHITECT. 11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUNDCOVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: SEED MIX 1 - NATIVE STEEP 12.PROVIDE A SUBSURFACE ROOTBALL SLOPES (SPRING & FALL) ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER SHRUBS AND -GRASSES - TYPE A (TYP)  $\Box \backslash /$ - BL1 SHRUBS AND -GRASSES - TYPE B (TYP) 5. ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUNDCOVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO MH: 22' PERENNIALS AND GROUND COVER (TYP) SMOOTH, NATURALLY ROUNDED RIVER

BOTTOM STONE 1.5-2" IN SIZE AGAINST

SMOOTH, NATURALLY ROUNDED RIVER -

BUILDING, 4" THICK; PROVIDE AN ALUMINUM EDGE RESTRAINT AGAINST

BOTTOM STONE 1.5-2" IN SIZE AGAINST

WL4

BUILDING, 4" THICK; PROVIDE AN ALUMINUM EDGE RESTRAINT AGAINST

PLANTING BEDS

PLANTING BEDS

MH: 12'

MH: 12'

SEEDED <sup>-</sup>

LAWN -

MH: 22'

3 TA —

PLANTING & LIGTHING PLAN

plot date: 7/17/2023

- **GENERAL IRRIGATION NOTES:**
- STRUCTURES AND UTILITIES. 2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED

1. DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES,

- ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT. 3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE
- PAID FOR BY THE CONTRACTOR. 4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- 5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. 6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE
- PLANT NOTES AND SCHEDULE. 7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- 8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE
- SHALL BE BETWEEN 5.5 AND 6.5. 9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- 10.LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- 11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.)
- GROUNDCOVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6"MIN. 12.PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH

- 1. THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND
- LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM. 2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- 3. IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE
- STARTING CONSTRUCTION. 4. TREES SHOULD BE ON A SEPARATE ZONE.
- 5. ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUNDCOVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- 6. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- . INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4' 8. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO
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- THAT MAY BE REQUIRED TO COMPLETE THE WORK. 10. WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL
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- 12. THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- 13.INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE

| PLANT SCH  | IEDULE                                           |                          |                        |              |                           |
|------------|--------------------------------------------------|--------------------------|------------------------|--------------|---------------------------|
| SYMBOL     | QTY.                                             | LATIN NAME               | COMMON NAME            | SIZE         | NOTES                     |
| TREES      | -                                                |                          |                        |              |                           |
| AR         | 24                                               | ACER RUBRUM              | RED MAPLE              | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| BP         | 10                                               | BETULA POPULIFOLIA       | GRAY BIRCH             | 3"-3.5" CAL. | B&B, MULTI-STEM           |
| CC         | 5                                                | CERCIS CANADENSIS        | REDBUD                 | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| PS         | 10                                               | PINUS STROBUS            | EASTERN WHITE PINE     | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| PSC        | 17                                               | PRUNUS SEROTINA          | BLACK CHERRY           | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| PH         | 16                                               | PLATANUS HYBRIDA         | LONDON PLANE TREE      | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| TA         | 16                                               | TILIA AMERICANA          | BASSWOOD               | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| SHRUBS &   | ORNAMENTA                                        | AL GRASSES - TYPE A      |                        |              |                           |
|            |                                                  | CLETHRA ALNIFOLIA        | PEPPERBUSH             | 5 GAL        | 36" O.C. B&B              |
|            |                                                  | HYDRANGEA QUERCIFOLIA    | OAK-LEAVED HYDRANGEA   | 3'-3.5' TALL | 36" O.C. B&B              |
|            |                                                  | ILEX GLABRA              | INKBERRY               | 3'-3.5' TALL | 36" O.C. B&B              |
| $(\times)$ | )-(×)-                                           | ILEX VERTICILLATA        | COMMON WINTERBERRY     | 3'-3.5' TALL | 36" O.C. B&B              |
| $(x)^{-1}$ | $\overset{\circ}{\smile}\overset{\circ}{\smile}$ | KALMIA LATIFOLIA         | MOUNTAIN LAUREL        | 3' TALL      | 36" O.C. B&B              |
|            |                                                  | RHUS AROMATICA           | FRAGRANT SUMAC         | 3'-3.5' TALL | 36" O.C. B&B              |
|            |                                                  | VIBURNUM DENTATUM        | ARROWWOOD              | 3'-3.5' TALL | 36" O.C. B&B              |
|            |                                                  |                          |                        |              |                           |
| SHRUBS &   | ORNAMENTA                                        | AL GRASSES - TYPE B      |                        |              |                           |
|            |                                                  | COMPTONIA PEREGRINA      | SWEET-FERN             | 2 GAL        | 24" O.C. CONTAINER        |
| $\sim$     | $\sum_{x}$                                       | IRIS VERSICOLOR          | BLUE FLAG IRIS         | 2 GAL        | 24" O.C. CONTAINER        |
|            |                                                  | PEROVSKIA ATRIPLICIFOLIA | RUSSIAN SAGE           | 2.5'-3' TALL | 24" O.C. B&B              |
| PERENNIAL  | LS                                               |                          |                        |              |                           |
| $\sim$     |                                                  | CAREX PENSYLVANICA       | PENNSYLVANIA SEDGE     | 1 GAL        | 18" O.C. CONTAINER        |
|            |                                                  | ECHINACEA PURPUREA       | PURPLE CONEFLOWER      | 1 GAL        | 18" O.C. CONTAINER        |
|            |                                                  | GERANIUM DALMATICUM      | CRANESBILL             | 1 GAL        | 18" O.C. CONTAINER        |
| SEED MIX   |                                                  |                          |                        |              |                           |
| + + + +    | + + + +                                          | + ERNST SEEDS            | ERNST MIX              | 75 LB/ACRE   | APPLY COVER CROP; FALL:   |
| + + + +    | + + + + +                                        | 800-873-3321             | (ERNMX-181-1 & 181-2)  |              | GRAIN RYE, SPRING: OAT;   |
| + + +      | + + + +                                          |                          | NATIVE STEEP SLOPE MIX |              | SEE SPEC SHEET            |
|            | //////                                           | ERNST SEEDS              | ERNST MIX              | 20 LB/ACRE   | APPLY COVER CROP OF       |
|            |                                                  | 800-873-3321             | (ERNMX-180)            |              | GRAIN RYE; SEE SPEC SHEET |

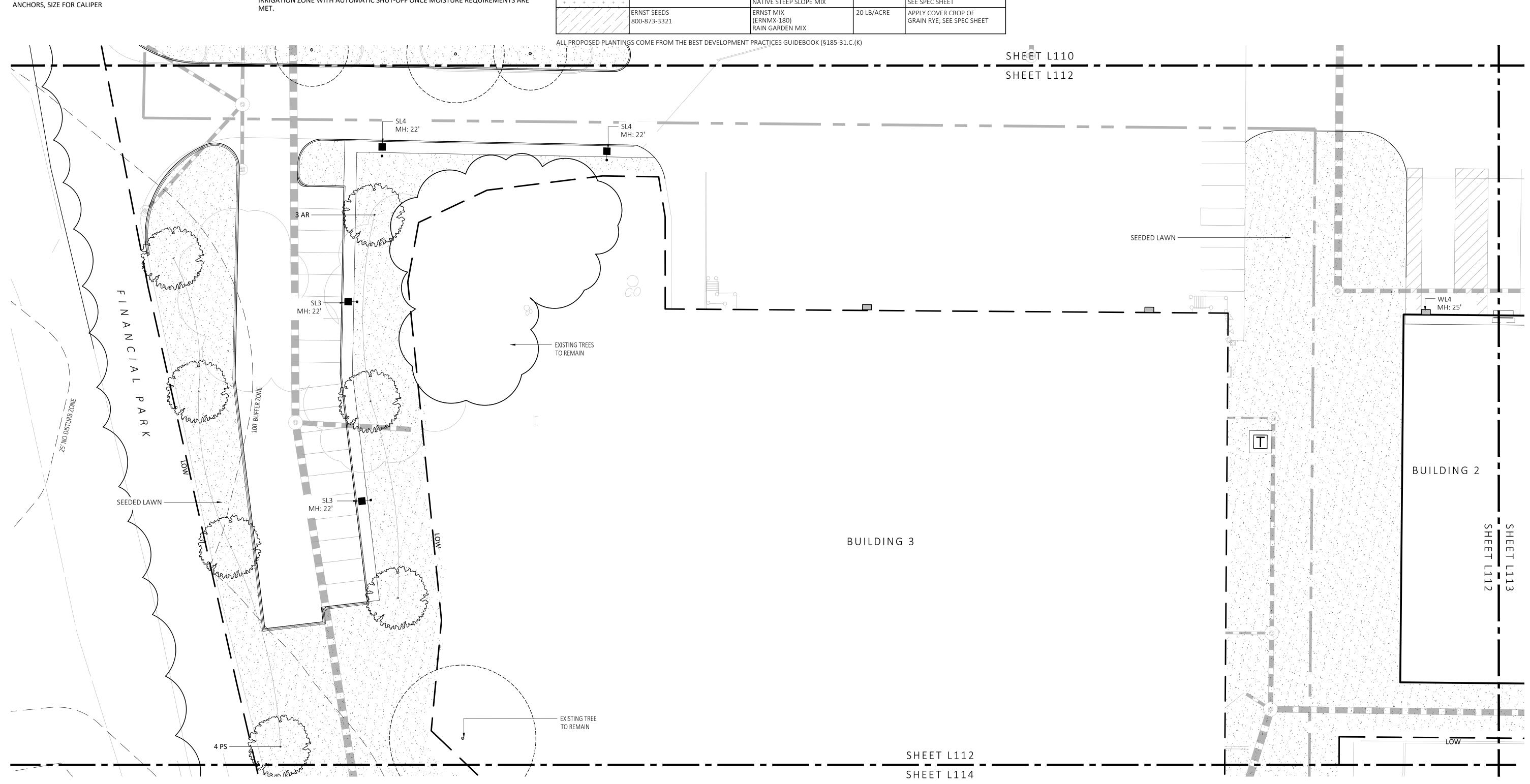
| LIGHT SCHE | DULE  |                                                                                                       |                                                                                        |                    |             |                            |
|------------|-------|-------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|--------------------|-------------|----------------------------|
| SYMBOL     | LABEL | MODEL                                                                                                 | MOUNT                                                                                  | ARRANGEMENT        | OPTIONS     | REP                        |
|            |       |                                                                                                       |                                                                                        |                    |             |                            |
| •          | BL1   | ARCLUCE KLOU180 BOLLARD<br>RWL1-48L-25-3K7-4W-U                                                       | CONCRETE FOOTING;<br>KEEP 3" ABOVE GRADE                                               | PEDESTRIAN BOLLARD | COLOR: GRAY |                            |
| SL3        | SL3   | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-3-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH  | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | SINGLE             | COLOR: BLK  |                            |
| SL4<br>■•  | SL4   | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | SINGLE             | COLOR: BLK  | ILLUMINATE<br>617-947-8996 |
| SL4-2      | SL4-2 | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-2-B3-FINISH | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | BACK BACK          | COLOR: BLK  | STEVE PRUDHOMME            |
|            | WL1   | BEACON RATIO WALL FIXTURE<br>RWL1-48L-25-3K7-4W-U                                                     | BUILDING MOUNT                                                                         | SINGLE             | COLOR: BLK  |                            |
|            | WL2   | BEACON RATIO WALL FIXTURE<br>RWL2-160L-135-3K7-4-U                                                    | BUILDING MOUNT                                                                         | SINGLE             | COLOR: BLK  |                            |

ALUMINUM CHANNEL

WALL LIGHT

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

DL-ES-15-O-30K-HC-24-A-DL-



FOR PERMIT ONLY

NOT FOR CONSTRUCTION

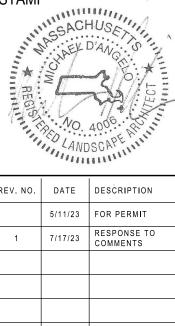
MICHAEL D'ANGELO ANDSCAPE ARCHITECTURE L

> 840 SUMMER STREET SUITE 201A BOSTON, MA 02127 t. 203.592.4788 www.m-d-l-a.com

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PLANTING & LIGHTING PLAN

CHECKED: AS NOTED SCALE: AS NOTED DATE:

SHEET 13 OF 24

BOSTON, MA 02127

t. 203.592.4788

www.m-d-l-a.com

STAMP

AS NOTED

PLANTING & LIGHTING

SHEET 14 OF 24

plot date: 7/17/2023

SCALE IN FEET

PLANTING: 1. DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES. 2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE

LANDSCAPE ARCHITECT. 3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY.

IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR. 4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

## **GENERAL IRRIGATION NOTES:**

**PLANT SCHEDULE** YMBOL QTY.

RENNIALS

SEED MIX

LIGHT SCHEDULE

SYMBOL LABEL

SL3

LATIN NAME

HRUBS & ORNAMENTAL GRASSES - TYPE A

ACER RUBRUM

ETULA POPULIFOLIA

CERCIS CANADENSIS

PINUS STROBUS

PRUNUS SEROTINA

PLATANUS HYBRIDA

TILIA AMERICANA

LEX GLABRA

LETHRA ALNIFOLIA

EX VERTICILLATA

ALMIA LATIFOLIA

HUS AROMATICA

IBURNUM DENTATUM

YDRANGEA QUERCIFOLIA

- 1. THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT
- 2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.

COMMON NAME

EASTERN WHITE PINE

LONDON PLANE TREE

OAK-LEAVED HYDRANGEA

COMMON WINTERBERRY

MOUNTAIN LAURE

ARROWWOOD

RED MAPLE

**BLACK CHERRY** 

BASSWOOD

PEPPERBUSH

SIZE

3'-3.5' TALL

'-3.5' TALL

'-3.5' TALL

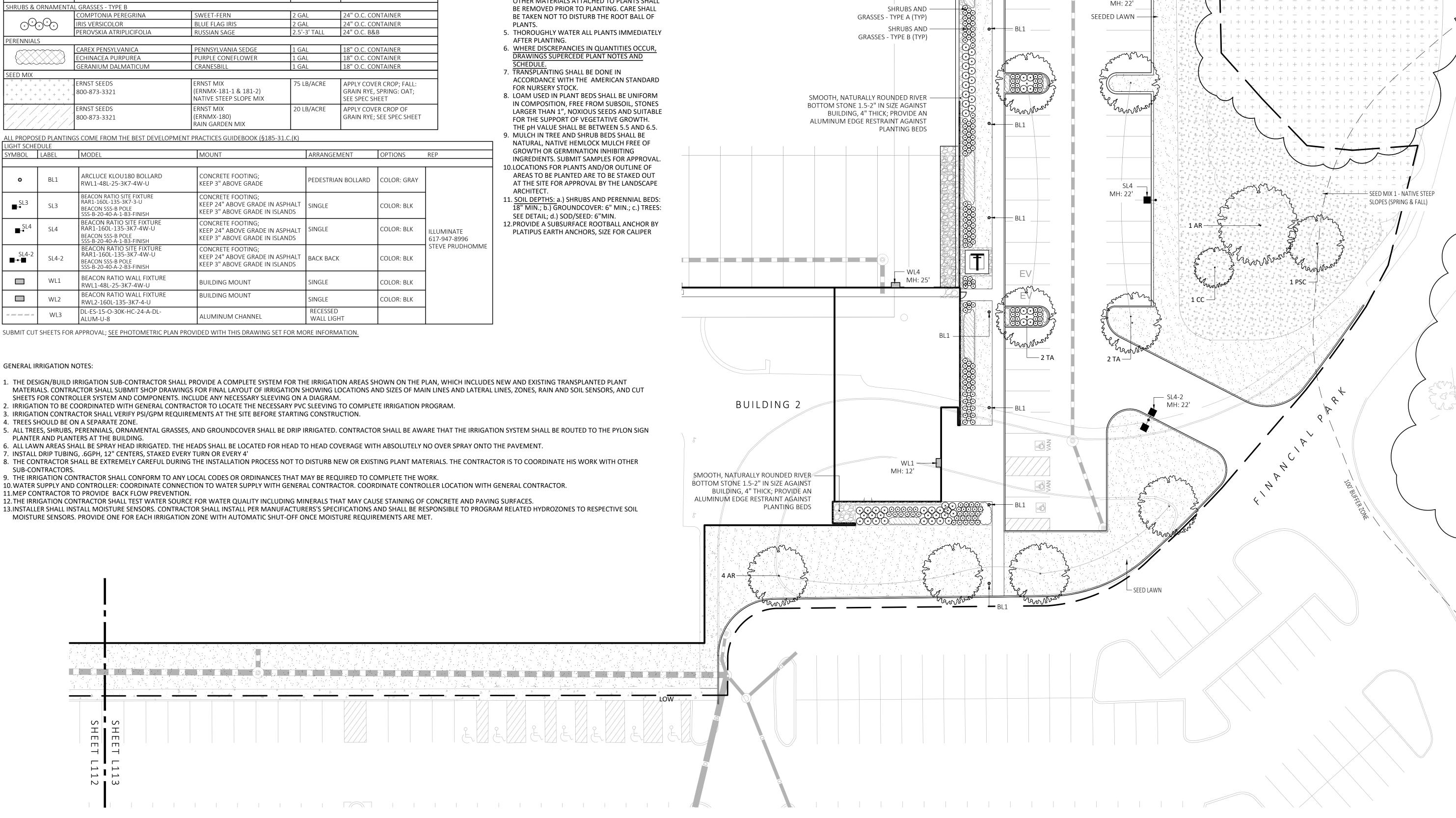
NOTES

B&B, 6' CLEAR BRANCHING

B&B, MULTI-STEM

36" O.C. B&B

- 4. TREES SHOULD BE ON A SEPARATE ZONE.
- 5. ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUNDCOVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- 6. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- 7. INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
- SUB-CONTRACTORS.
- 12. THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- 13.INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL



SHEET L111

SHEET L113

PERENNIALS AND =

GROUND COVER (TYP)

LANDSCAPE ARCHITECT. 3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S

TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR. 4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.

5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.

6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.

7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.

8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.

9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.

10.LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT. 11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.)

GROUNDCOVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED:

12.PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH

**GENERAL IRRIGATION NOTES:** 

1. THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.

2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.

BEFORE STARTING CONSTRUCTION. 4. TREES SHOULD BE ON A SEPARATE ZONE. 5. ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUNDCOVER

3. IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE

SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.

6. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.

7. INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4' 8. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.

9. THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK. 10. WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION

WITH GENERAL CONTRACTOR. 11.MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION. 12. THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.

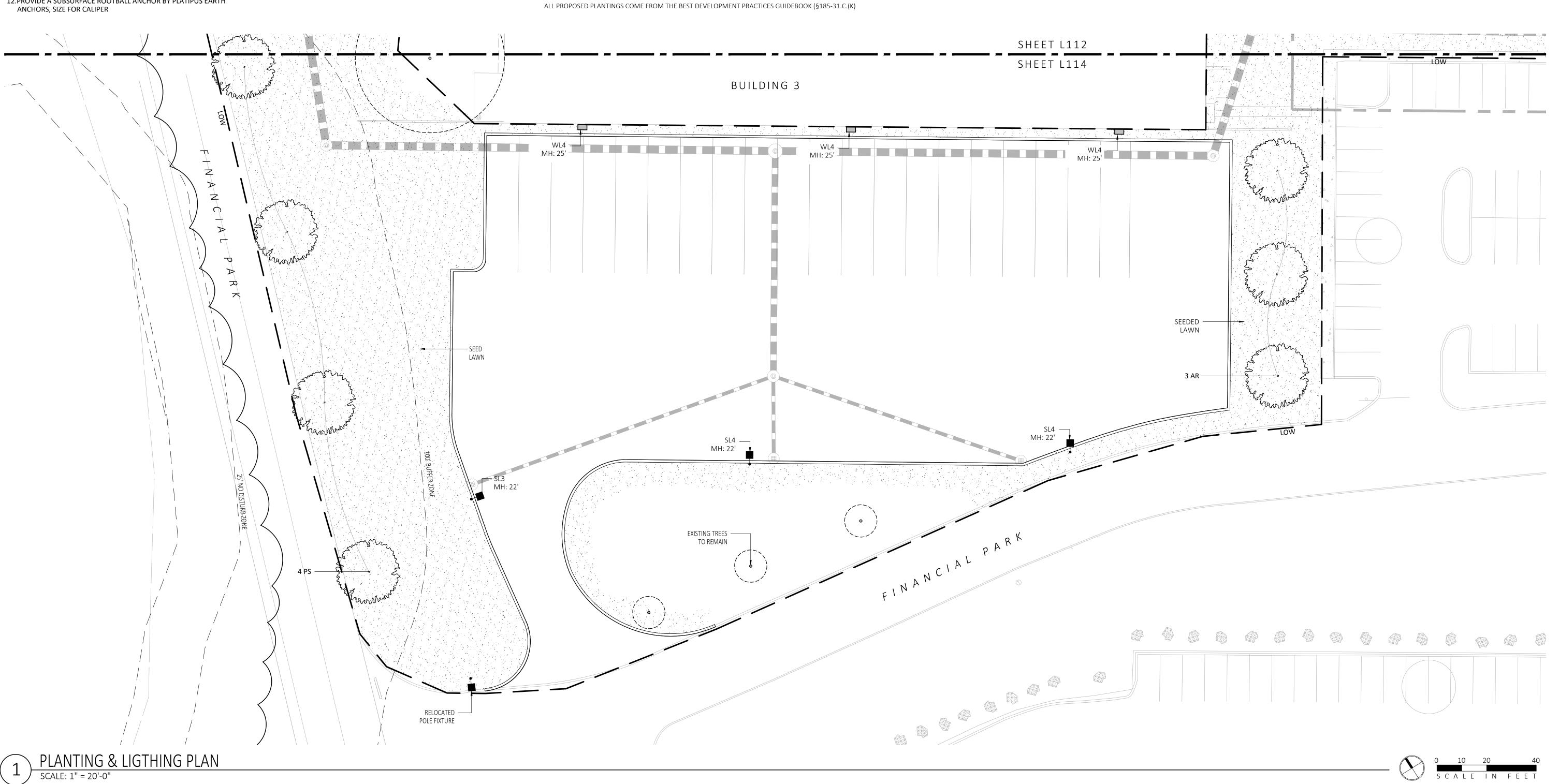
13.INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

| PLANT SCH | HEDULE    |                           |                        |              |                           |
|-----------|-----------|---------------------------|------------------------|--------------|---------------------------|
| SYMBOL    | QTY.      | LATIN NAME                | COMMON NAME            | SIZE         | NOTES                     |
| TREES     | -         | •                         | •                      |              | •                         |
| AR        | 24        | ACER RUBRUM               | RED MAPLE              | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| BP        | 10        | BETULA POPULIFOLIA        | GRAY BIRCH             | 3"-3.5" CAL. | B&B, MULTI-STEM           |
| CC        | 5         | CERCIS CANADENSIS         | REDBUD                 | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| PS        | 10        | PINUS STROBUS             | EASTERN WHITE PINE     | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| PSC       | 17        | PRUNUS SEROTINA           | BLACK CHERRY           | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| PH        | 16        | PLATANUS HYBRIDA          | LONDON PLANE TREE      | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| TA        | 16        | TILIA AMERICANA           | BASSWOOD               | 3"-3.5" CAL. | B&B, 6' CLEAR BRANCHING   |
| SHRUBS &  | ORNAMENT  | AL GRASSES - TYPE A       |                        |              |                           |
|           |           | CLETHRA ALNIFOLIA         | PEPPERBUSH             | 5 GAL        | 36" O.C. B&B              |
|           |           | HYDRANGEA QUERCIFOLIA     | OAK-LEAVED HYDRANGEA   | 3'-3.5' TALL | 36" O.C. B&B              |
|           |           | ILEX GLABRA               | INKBERRY               | 3'-3.5' TALL | 36" O.C. B&B              |
| l (×      | (x)       | ILEX VERTICILLATA         | COMMON WINTERBERRY     | 3'-3.5' TALL | 36" O.C. B&B              |
|           |           | KALMIA LATIFOLIA          | MOUNTAIN LAUREL        | 3' TALL      | 36" O.C. B&B              |
|           |           | RHUS AROMATICA            | FRAGRANT SUMAC         | 3'-3.5' TALL | 36" O.C. B&B              |
|           |           | VIBURNUM DENTATUM         | ARROWWOOD              | 3'-3.5' TALL | 36" O.C. B&B              |
|           |           |                           |                        |              |                           |
| SHRUBS &  | ORNAMENT  | AL GRASSES - TYPE B       |                        |              |                           |
|           |           | COMPTONIA PEREGRINA       | SWEET-FERN             | 2 GAL        | 24" O.C. CONTAINER        |
| (×)(×     | $\chi(x)$ | IRIS VERSICOLOR           | BLUE FLAG IRIS         | 2 GAL        | 24" O.C. CONTAINER        |
|           | <u> </u>  | PEROVSKIA ATRIPLICIFOLIA  | RUSSIAN SAGE           | 2.5'-3' TALL | 24" O.C. B&B              |
| PERENNIA  | LS        |                           |                        |              |                           |
|           | XXXXX     | CAREX PENSYLVANICA        | PENNSYLVANIA SEDGE     | 1 GAL        | 18" O.C. CONTAINER        |
|           |           | ECHINACEA PURPUREA        | PURPLE CONEFLOWER      | 1 GAL        | 18" O.C. CONTAINER        |
|           |           | GERANIUM DALMATICUM       | CRANESBILL             | 1 GAL        | 18" O.C. CONTAINER        |
| SEED MIX  |           |                           |                        |              |                           |
| + + +     | + + + + + | + ERNST SEEDS             | ERNST MIX              | 75 LB/ACRE   | APPLY COVER CROP; FALL:   |
| + + +     | + + + + + | <sub>+</sub> 800-873-3321 | (ERNMX-181-1 & 181-2)  |              | GRAIN RYE, SPRING: OAT;   |
| + + +     | + + + +   |                           | NATIVE STEEP SLOPE MIX |              | SEE SPEC SHEET            |
|           | /////     | ERNST SEEDS               | ERNST MIX              | 20 LB/ACRE   | APPLY COVER CROP OF       |
|           |           | 800-873-3321              | (ERNMX-180)            |              | GRAIN RYE; SEE SPEC SHEET |
|           | <u> </u>  | <u> </u>                  | RAIN GARDEN MIX        |              |                           |

FOR PERMIT ONLY NOT FOR CONSTRUCTION

| SYMBOL    | LABEL | MODEL                                                                                                 | MOUNT                                                                                  | ARRANGEMENT            | OPTIONS     | REP                        |
|-----------|-------|-------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|------------------------|-------------|----------------------------|
| 0         | BL1   | ARCLUCE KLOU180 BOLLARD<br>RWL1-48L-25-3K7-4W-U                                                       | CONCRETE FOOTING;<br>KEEP 3" ABOVE GRADE                                               | PEDESTRIAN BOLLARD     | COLOR: GRAY |                            |
| SL3       | SL3   | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-3-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH  | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | SINGLE                 | COLOR: BLK  |                            |
| SL4<br>■• | SL4   | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | SINGLE                 | COLOR: BLK  | ILLUMINATE<br>617-947-8996 |
| SL4-2     | SL4-2 | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-2-B3-FINISH | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | BACK BACK              | COLOR: BLK  | STEVE PRUDHOMM             |
|           | WL1   | BEACON RATIO WALL FIXTURE<br>RWL1-48L-25-3K7-4W-U                                                     | BUILDING MOUNT                                                                         | SINGLE                 | COLOR: BLK  |                            |
|           | WL2   | BEACON RATIO WALL FIXTURE<br>RWL2-160L-135-3K7-4-U                                                    | BUILDING MOUNT                                                                         | SINGLE                 | COLOR: BLK  |                            |
|           | WL3   | DL-ES-15-O-30K-HC-24-A-DL-<br>ALUM-U-8                                                                | ALUMINUM CHANNEL                                                                       | RECESSED<br>WALL LIGHT |             |                            |

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



MICHAEL D'ANGELO

840 SUMMER STREET SUITE 201A BOSTON, MA 02127 t. 203.592.4788 www.m-d-l-a.com

> 0 S  $\forall \vdash \forall$

TRIAL PARK



PLANTING & LIGHTING PLAN

L114

SHEET 15 OF 24

MAINTAIN ORIGINAL GRADE OF

TRANSPLANTING AS EXISTED AT

— TEMPORARY EARTH SAUCER

ROLL BACK BURLAP  $\frac{1}{3}$ PRIOR TO BACKFILL

PLANTING SOIL BACKFILL

- COMPACTED SUBGRADE

PLANT SPACING NOTED IN PLANT

SCHEDULE

ROOT FLARE AFTER

THE NURSERY

— 3" BARK MULCH

t. 203.592.4788

www.m-d-l-a.com

PLANTING

DETAILS

REV. NO. | DATE | DESCRIPTION

SCHEDULE &

AS NOTED AS NOTED
DATE:

SHEET 16 OF 24

plot date: 7/17/2023

**Ernst Conservation Seeds** 8884 Mercer Pike Meadville, PA 16335 (800) 873-3321 Fax (814) 336-5191 www.ernstseed.com Date: August 28, 2018 Native Steep Slope Mix w/Grain Oats - ERNMX-181-1 **Botanical Name** 40.00 % Avena sativa, Variety Not Stated Oats, Variety Not Stated 0.22

20.40 % Sorghastrum nutans, NY4 Ecotype Indiangrass, NY4 Ecotype 8.10 % Andropogon gerardii, 'Niagara' Big Bluestem, 'Niagara' 7.50 % Elymus virginicus, PA Ecotype Virginia Wildrye, PA Ecotype 5.20 % Elymus canadensis Canada Wildrye 4.50 % Schizachyrium scoparium, Fort Indiantown Gap-PA Ecotype Little Bluestern, Fort Indiantown Gap-PA Ecotype 12.00 3.70 % Tridens flavus, Fort Indiantown Gap-PA Ecotype Purpletop, Fort Indiantown Gap-PA Ecotype 3.00 % Agrostis perennans, Albany Pine Bush-NY Ecotype Autumn Bentgrass, Albany Pine Bush-NY Ecotype 2.30 % Panicum virgatum, 'Shawnee' 1.10 % Chamaecrista fasciculata, PA Ecotype Partridge Pea, PA Ecotype 36.00 1.00 % Echinacea purpurea Purple Coneflower 0.80 % Gaillardia aristata Perennial Gaillardia (Blanketflower 0.80 % Rudbeckia hirta 20.00 Blackeyed Susan 0.70 % Heliopsis helianthoides, PA Ecotype Oxeye Sunflower, PA Ecotype 0.40 % Aster novae-angliae, PA Ecotype New England Aster, PA Ecotype 0.20 % Asclepias syriaca, PA Ecotype Common Milkweed, PA Ecotype 0.20 % Liatris spicata Marsh (Dense) Blazing Star (Spiked Gayfeather) 210.00 0.10 % Penstemon digitalis Tall White Beardtongue 160.00

\$10.45

100.00 % Seeding Rate: 75 lb per acre Erosion Control & Revegetation

Use this formula with grain oats as a cover crop in the spring and summer (until September 1st). Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

> Price quotes guaranteed for 30 days. All prices are FOB Meadville, PA. Please check our web site at www.ernstseed.com for current pricing when placing orders.

SEED MIX 1 - NATIVE STEEP SLOPES (SPRING)

**Ernst Conservation Seeds** 8884 Mercer Pike Meadville, PA 16335 (800) 873-3321 Fax (814) 336-5191 www.ernstseed.com Native Steep Slope Mix w/Grain Rye - ERNMX-181-2 **Botanical Name** Price/lb 40.00 % Secale cereale, Variety Not Stated Grain Rye, Variety Not Stated 0.21 10.60 20.40 % Sorghastrum nutans, PA Ecotype Indiangrass, PA Ecotype 13.06 8.10 % Andropogon gerardii, 'Niagara' Big Bluestem, 'Niagara' 7.50 % Elymus virginicus, PA Ecotype Virginia Wildrye, PA Ecotype 5.20 % Elymus canadensis 4.50 % Schizachyrium scoparium, 'Camper' Little Bluestem, 'Camper' 3.70 % Tridens flavus 18.56 3.00 % Agrostis perennans, Albany Pine Bush-NY Ecotype Autumn Bentgrass, Albany Pine Bush-NY Ecotype 14.00 2,30 % Panicum virgatum, 'Shawnee' Switchgrass, 'Shawnee' 1.10 % Chamaecrista fasciculata, PA Ecotype Partridge Pea, PA Ecotype 1.00 % Echinacea purpurea Purple Coneflower Perennial Gaillardia (Blanketflower) 0.80 % Gaillardia aristata 0.80 % Rudbeckia hirta 0.70 % Heliopsis helianthoides, PA Ecotype Oxeye Sunflower, PA Ecotype 0.40 % Aster lateriflorus Calico Aster 320.00 Marsh (Dense) Blazing Star (Spiked Gayfeather) 0.30 % Liatris spicata 210.00 0.20 % Asclepias syriaca, PA Ecotype Common Milkweed, PA Ecotype Mix Price/lb Bulk: Seeding Rate: 75 lb per acre

Erosion Control & Revegetation Use this formula with grain rye as a cover crop (from August 1st-February 15th). Mix formulations are subject to change wthout notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

> Price quotes guaranteed for 30 days. All prices are FOB Meadville, PA. Please check our web site at <u>www.ernstseed.com</u> for current pricing when placing orders.

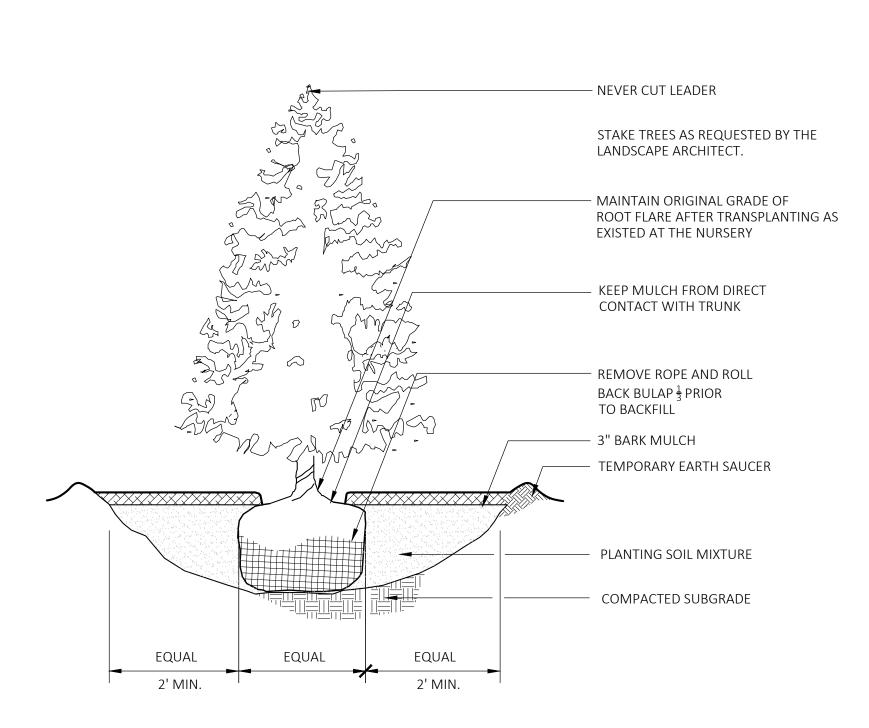
**Ernst Conservation Seeds** 8884 Mercer Pike Meadville, PA 16335 (800) 873-3321 Fax (814) 336-5191 www.ernstseed.com Date: August 28, 2018 Rain Garden Mix - ERNMX-180 **Botanical Name** Price/lb 31.50 % Schizachyrium scoparium, Albany Pine Bush-NY Ecotype Little Bluestem, Albany Pine Bush-NY Ecotype 12.02 20.00 % Elymus virginicus, PA Ecotype Virginia Wildrye, PA Ecotype 10.00 % Carex vulpinoidea, PA Ecotype Fox Sedge, PA Ecotype 10.00 % Panicum rigidulum, Coastal Plain NC Ecotype Redtop Panicgrass, Coastal Plain NC Ecotype 48.00 5.00 % Echinacea purpurea Purple Coneflower 36.00 24.00 20.00 3.00 % Coreopsis lanceolata Lanceleaf Coreopsis 3.00 % Rudbeckia hirta Blackeyed Susan 72.00 2.00 % Carex scoparia, PA Ecotype Blunt Broom Sedge, PA Ecotype 2.00 % Chamaecrista fasciculata, PA Ecotype Partridge Pea, PA Ecotype 2.00 % Eupatorium coelestinum, VA Ecotype Mistflower, VA Ecotype 2.00 % Heliopsis helianthoides, PA Ecotype 42.00 Oxeye Sunflower, PA Ecotype 2.00 % Penstemon digitalis, PA Ecotype Tall White Beardtongue, PA Ecotype 160.00 1.00 % Asclepias incarnata, PA Ecotype 160.00 Swamp Milkweed, PA Ecotype 40.00 1.00 % Juncus effusus 1.00 % Juncus tenuis, PA Ecotype Path Rush, PA Ecotype Marsh (Dense) Blazing Star (Spiked Gayfeather) 1.00 % Liatris spicata 0.80 % Aster novae-angliae, PA Ecotype New England Aster, PA Ecotype 360.00 0.70 % Aster laevis, NY Ecotype Smooth Blue Aster, NY Ecotype 320.00 0.50 % Rudbeckia fulgida var. fulgida, Northern VA Ecotype Orange Coneflower, Northern VA Ecotype 300.00 0.50 % Senna hebecarpa, VA & WV Ecotype Wild Senna, VA & WV Ecotype 24.00 160.00 0.40 % Monarda fistulosa, Fort Indiantown Gap-PA Ecotype Wild Bergamot, Fort Indiantown Gap-PA Ecotype 0.30 % Pycnanthemum tenuifolium Narrowleaf Mountainmint 0.30 % Solidago juncea, PA Ecotype Early Goldenrod, PA Ecotype 280.00 Mix Price/Ib Bulk: \$37.29 Seeding Rate: 20 lb per acre with a cover crop of grain rye at 30 lb per acre Uplands & Meadows The native perennial forbs and grasses provide food and cover for rain garden biodiversity. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days. All prices are FOB Meadville, PA. Please check our web site at www.ernstseed.com for current pricing when placing orders.

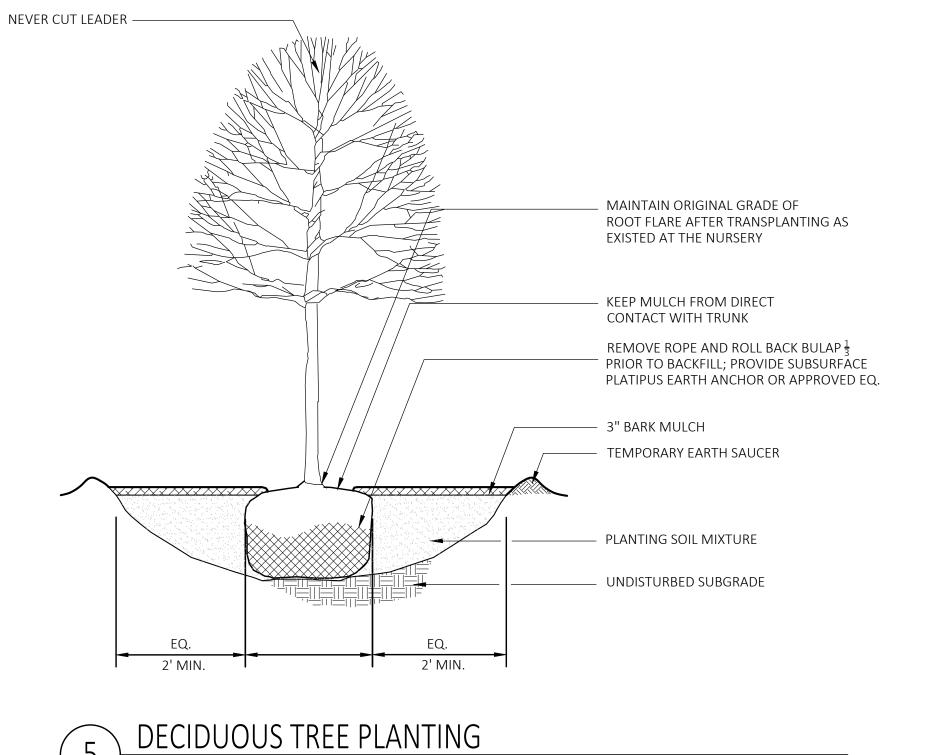
SEED MIX 1 - NATIVE STEEP SLOPES (FALL)

SEED MIX 2 - RAIN GARDEN MIX SCALE: N.T.S.

SCALE: N.T.S.









VARIES
SEE PLANT LIST

SHRUB PLANTING



MICHAEL D'ANGELO ANDSCAPE ARCHITECTURE L 840 SUMMER STREET

SUITE 201A

BOSTON, MA 02127

t. 203.592.4788

www.m-d-l-a.com

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WAREHOUS
100 / 200 F
FRANKLIN,

STAMP REV. NO. DATE DESCRIPTION 5/11/23 FOR PERMIT 1 7/17/23 RESPONSE TO COMMENTS

LIGHTING SCHEDULE & CUT SHEETS

AS NOTED SCALE: AS NOTED

OF 24

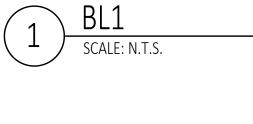
plot date: 7/17/2023

SHEET 17

5/11/2023



SL3, SL4, SL4-2 FIXTURE



**Bollard lights** 

**KLOU180** 

Arcluce Code

Code Ref.

Project

TYPE

Catalog#

NOTES

S-KL0203US-12S

Light source:

LED life time:

Construction

Light efficiency:

0871001D-830-12U\$

TECHNICAL INFORMATION

Power luminaire: 20W, 1450lm

■ Die-cast aluminium body (EN 47100).

Double laver polvester powder paint

Universal input voltage: 120-277V

Wiring on removable galvanized steel

4000K (2700K or other CCTs available

on request).

Reflector made of anodized aluminium

with non-iridescent specular finishing.

resistant, V2 self-extinguishing clear

resistant to corrosion and salt spray fog.

AISI 316 stainless steel external screws.

Extruded aluminium pole.

Silicone rubber gaskets.

0-10V dimming available.

polycarbonate screen.

Arcluce North America Inc. 333 Bush Street - San Francisco, CA 94104 - Ph. +1 (408) 655-6275 - export4@arcluce.it

Electrical & Optics

High colour consistency: < 3 SDCM

LED, 3000K, CRI>80

120-277V 60Hz DIMM

High-efficacy LEDs with standard 3000K.
 Surface installation.

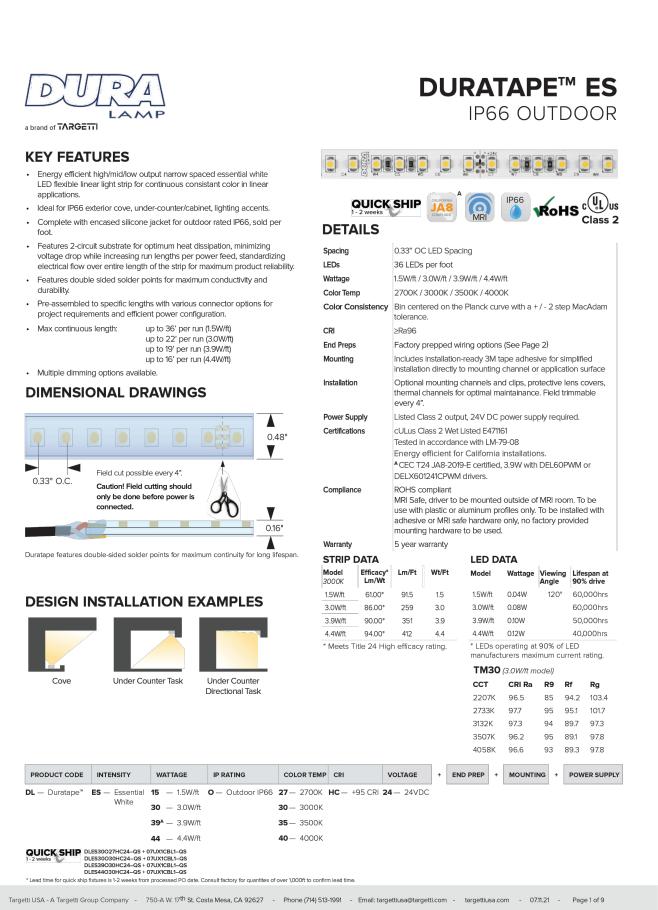
UV rays stabilized, 850°C glow wire test
 Available on request zinc-plated steel pillar

> 60000h - L80 - B20 (Ta 25°C)

73lm/W

24.03 lb

B: 39" 3/8



Arcluce

IES photometry ⊎

IP66

IK09

2.15 ft<sup>2</sup>

See accessories in the next page

arcluce-us.com

• UL certified to U.S. and Canadian standards,

suitable for wet locations (cULus mark).

Suitable for mounting within 1.2 m (4 ft) of

■ Luminaire rated for -40°C minimum ambient

temperature on selected model variants.

High quality LED sources characterized

according to IES TM-30, with high colo

■ Die-cast aluminium base (EN 47100) for

Supplied with steel base plate and j-shaped

anchoring with rawlplugs.

conductors).

Supplied with power cord (18AWG

consistency <3SDCM and long useful life

ground.

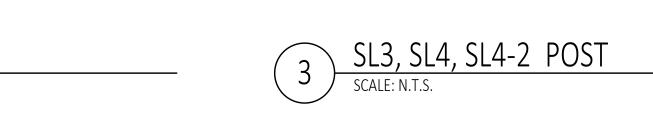
Rated IP66 per EN60598.

Installation  $\Psi$ 

instructions

Generated on: 03-22-2023 7:54 pm





Current @

BEACON design . performance . technology

**SSS-B Series Poles** 

Bolt Square (Inner)

ORDERING INFORMATION

MOUNTING ORIENTATION

Removable tenon used in conjunction with side arm mounting. First specify desired arm configuration followed by the "TR" notation. Example: SSS-8-25-40-A-1-81-TR-BBT Specify option location using logic found on page 2 (Option Orientation)
 WM1 recommended on poles 20' and taller with EPA of less than 1.

2nd mode vibration damper

TOP VIEW

ORDERING EXAMPLE:

CONSTRUCTION

located behind gasketed cover

LOCATION:

PROJECT:

Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum

• SHAFT: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield

of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with

POLE CAP: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available

HAND HOLE: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug

ANCHOR BOLTS: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized

The HV designation in the above catalog numbers is a combination drill pattern of the Current S2 pattern and the Beacon

Flat Washer—

Base Plate ——

Flat Washer – Hex Nut —

Level Foundation

RL Two fixtures at 90° DBT Dark Bronze Matte Textured EHH<sup>2</sup> Extra Handhole

TT Three fixtures at 90' DBS Dark Bronze Gloss Smooth CO52 .5" Coupling

GTT Graphite Matte Textured

LGS Light Grey Gloss Smooth

PSS Platinum Silver Smooth

WHT White Matte Textured

WHS White Gloss Smooth

B1 Cruzer, "AM" arm

VGT Verde Green Textured

B3 2 bolt (2-1/2" spacing), Viper "A" arm

S2 2 bolt (3-1/2" spacing), Viper "AD" arm

DRILL PATTERN

Reference page 2 for available configurations

CO7<sup>2</sup> .75" Coupling

C20<sup>2</sup> 2" Coupling

VM2 2nd mode vibration

LAB Less Anchor Bolts

UL UL Certified

spec\_sheet\_sss\_pole\_beacon\_R01

Page 1 of 4

FINISH OPTIONS

Grout with drain Optional

2 Two fixtures at 180° BLS Black Gloss Smooth

CATALOG #:

axial bolt circle slots welded flush to pole shaft having minimum yield of 36,000 psi (ASTM A36)

Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method

Four fixtures at 90°

TA Tenon (2.38" OD x 4" Tall)

TB Tenon (2.88" OD

Tenon (3.5" OD x 6" Tall)

TR¹ Removable Tend (2.375 x 4.25)

OT Open Top (in-

Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

allowable loading of the specified pole in its installed geographic location

BASE COVER: Two-piece square aluminum base cover included standard

1 x 36 x 4 — TAB-36-M38

• Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness

SSSH20-40A-4-HV-DB-RDC, SSSH25-40A-4-HV-DB-RDC and SSSH30-50B-4-HV-DB-RDC

hardware with two washers and two nuts per bolt for leveling

Anchor bolt part numbers: 3/4 x 30 x 3 — TAB-30-M38

B3/B4 Viper pattern (rectangular arm mounting)

SSS -B - 25 - 40 - A/B/C - 2L - B3 - BLT

SERIES HEIGHT SHAFT THICKNESS MOUNTING

currentlighting.com/beacon







CL BE 1 V BO

DRAWN:
NC
CHECKED:
AS NOTED
SCALE:
AS NOTED
DATE:

AS NOTED

DATE: 5/11/2023

SHEET 18 OF 24

| SYMBOL | LABEL | MODEL                                                                                                 | MOUNT                                                                                  | ARRANGEMENT            | OPTIONS     | REP                        |
|--------|-------|-------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|------------------------|-------------|----------------------------|
| 0      | BL1   | ARCLUCE KLOU180 BOLLARD<br>RWL1-48L-25-3K7-4W-U                                                       | CONCRETE FOOTING;<br>KEEP 3" ABOVE GRADE                                               | PEDESTRIAN BOLLARD     | COLOR: GRAY |                            |
| SL3    | SL3   | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-3-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH  | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | SINGLE                 | COLOR: BLK  |                            |
| SL4    | SL4   | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | SINGLE                 | COLOR: BLK  | ILLUMINATE<br>617-947-8996 |
| SL4-2  | SL4-2 | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-2-B3-FINISH | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | BACK BACK              | COLOR: BLK  | STEVE PRUDHOMM             |
|        | WL1   | BEACON RATIO WALL FIXTURE<br>RWL1-48L-25-3K7-4W-U                                                     | BUILDING MOUNT                                                                         | SINGLE                 | COLOR: BLK  |                            |
|        | WL2   | BEACON RATIO WALL FIXTURE<br>RWL2-160L-135-3K7-4-U                                                    | BUILDING MOUNT                                                                         | SINGLE                 | COLOR: BLK  |                            |
|        | WL3   | DL-ES-15-O-30K-HC-24-A-DL-<br>ALUM-U-8                                                                | ALUMINUM CHANNEL                                                                       | RECESSED<br>WALL LIGHT |             |                            |

**Calculation Summary** CalcType CHAMPAGNE BUILDING Illuminance PARKING AREAS Illuminance SPILL LIGHT Illuminance  $\frac{2}{3.1}$   $\frac{1}{3.4}$   $\frac{1}{4.0}$   $\frac{1}{4.6}$   $\frac{1}{4.7}$   $\frac{1}{5.0}$   $\frac{1}{5.0}$   $\frac{1}{4.9}$   $\frac{1}{5.3}$   $\frac{1}{4.9}$   $\frac{1}{5.3}$   $\frac{1}{4.9}$   $\frac{1}{5.0}$   $\frac{1}$ .0 to 0.0 MH: 22' 4.1 3.5/ 2.6 1.3 to 5.8 to 5.8 to 5.9 1.2 1.8 2.5 3.5 4.4 5.0 5.1 4.9 4.0 to 5.0 to 5  $\frac{3}{3}$   $\frac{5.3}{5.2}$   $\frac{5.2}{4.9}$   $\frac{4.4}{3.9}$   $\frac{3.4}{2.9}$   $\frac{2.6}{2.6}$   $\frac{2.4}{2.1}$   $\frac{1}{1.2}$   $\frac{1}{1$  
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PHOTOMETRIC PLAN

 $1 \rightarrow \frac{\text{FIIOTOWLI}}{\text{SCALE: 1" = 20'-0"}}$ 

OPTIONS

COLOR: GRAY

COLOR: BLK

COLOR: BLK

COLOR: BLK

LUMINATE

517-947-8996 STEVE PRUDHOMME

ARRANGEMENT

EDESTRIAN BOLLARD

PHOTOMETRIC PLAN

L118

SHEET 19 OF 24

0.2 0.1 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0

15.4 1.5 1.6 1.2 0.7 1.2 1.8 2.

BUILDING 1 SHEET L118

PHOTOMETRIC PLAN

<del>0.0</del> <del>0.0</del>

BEACON RATIO WALL FIXTURE COLOR: BLK RWL1-48L-25-3K7-4W-U BEACON RATIO WALL FIXTURE SINGLE COLOR: BLK RWL2-160L-135-3K7-4-U RECESSED DL-ES-15-O-30K-HC-24-A-DL-LUMINUM CHANNEI Calculation Summary CHAMPAGNE BUILDING 0.1 Illuminance 1.72 4.7 17.20 PARKING AREAS 1.70 30.9 0.0 N.A. N.A. Illuminance 29.6 0.0

5.0 to 5.0 to

MOUNT

CONCRETE FOOTING;

**KEEP 3" ABOVE GRADE** 

KEEP 24" ABOVE GRADE IN ASPHALT

KEEP 24" ABOVE GRADE IN ASPHALT

KEEP 24" ABOVE GRADE IN ASPHALT

KEEP 3" ABOVE GRADE IN ISLANDS

KEEP 3" ABOVE GRADE IN ISLANDS

KEEP 3" ABOVE GRADE IN ISLANDS

SYMBOL LABEL

<sup>†</sup>0.0 <sup>†</sup>0.

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SL3

MODEL

ARCLUCE KLOU180 BOLLARD

RWL1-48L-25-3K7-4W-U

BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U

BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH

EACON RATIO SITE FIXTURE

RAR1-160L-135-3K7-4W-U

BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U

BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH

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SHEET L120

 $\begin{vmatrix} 0.8 & 2.3 & 2.8 & 2.9 & 2 & 6 & 0.4 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.8 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 & 2.7 &$ 

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|                   | 5/11/23 | FOR PERMIT           |  |  |  |  |  |  |  |
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| 4 4.3 4.0 3.7 3.4 2.9 2.3 1.1 1.2 0.9 0.8 0.9 1.7 2.3 1.1 3.9 4.4 1.7 5.8 1.0 3 5.6 6 BL1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | LIGHT SCHE<br>SYMBOL           | LABEL                      | MODEL                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | MOUNT                                                                                  | ARRANGEMENT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | OPTIONS       | REP                                           |
| MH: 22' 3 2.9 2.4 1.9 1.4 1.0 0.8 0.7 0.6 0.7 0.8 1.2 1.6 2.2 2.9 3.5 4.0 4.4 5.0 4.9 4.9 4.9 4.9 4.9 4.9 4.9 4.9 4.9 4.9                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | 0                              | BL1                        | ARCLUCE KLOU180 BOLLARD<br>RWL1-48L-25-3K7-4W-U                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | CONCRETE FOOTING;<br>KEEP 3" ABOVE GRADE                                               | PEDESTRIAN BOLLARD                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | COLOR: GRAY   |                                               |
| 9 3.4 2.9 2.4 2.0 7.5 1.1 0.8 0.6 0.5 0.4 0.4 0.4 0.5 0.6 0.8 1.1 1.6 2.0 2.5 2.8 3.1 3.4 3.9 4.2 3.9                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | SL3                            | SL3                        | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-3-U                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT                                   | SINGI F                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | COLOR: BLK    |                                               |
| 6 1.0 2.5 2.1 1 1 1.2 0.9 1.6 0.5 0.4 0.4 0.4 0.4 0.5 0.6 0.9 1.2 1.5 1.9 2.4 2.8 3.: MH:22' ·2 3.9 2.7 6 2.9 2.3 1.8 1.4 0.9 0. 0.5 0.4 0.4 0.4 0.4 0.4 0.5 0.5 0.7 0.9 1.2 1.6 2.1 2.6 2.9 3.5 4.0 4.1 1.2 2.2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | SL4                            |                            | BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH<br>BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | KEEP 3" ABOVE GRADE IN ISLANDS  CONCRETE FOOTING;                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |               |                                               |
| 5 2.9 2.2 7.6 1 1 0.8 0.6 0.5 0.4 0.4 0.5 0.5 0.4 0.5 0.5 0.6 0.8 1.0 1.8 2.3 2.0 3.3 · · · · · BL1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | ■-                             | SL4                        | BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH<br>BEACON RATIO SITE FIXTURE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS<br>CONCRETE FOOTING; | SINGLE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | COLOR: BLK    | ILLUMINATE<br>617-947-8996<br>STEVE PRUDHOMME |
| 1 2.5 1.9 1.3 0.9 1.6 0.5 0.4 0.5 0.5 0.6 0.6 0.6 0.6 0.5 0.5 0.6 0.6 0.6 0.5 0.5 0.6 0.7 0.9 1.2 1.7 2.2 29 3.4 4.0 4.5 4. 6.0 1.1 1.6 2.2 29 3.6 4.1 4.6 4.7 4.1 0.6                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | SL4-2<br>■-•-■                 | SL4-2                      | RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-2-B3-FINISH                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | · '                                                                                    | ВАСК ВАСК                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | COLOR: BLK    |                                               |
| 3 2.6 1.2 0.9 0.6 0.5 0.4 0.5 0.6 0.8 1.1 1.2 1.2 1.1 1.0 0.9 0 8 0.8 0.9 1.2 1.5 2.1 2.8 3.4 3.8 3.9 3.8 3.3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                | WL1                        | BEACON RATIO WALL FIXTURE<br>RWL1-48L-25-3K7-4W-U                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | BUILDING MOUNT                                                                         | SINGLE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | COLOR: BLK    |                                               |
| 1.2 0.5 0.4 0.4 0.5 0.8 1.1 1.4 1.7 1.8 1.7 1.8 1.7 1.5 1.3 1.1 1.1 1.3 1.5 2.0 2.4 2.7 2.9 2.8 2.6 2.3 0.5 0.9 0.7 0.0 0.4 0.4 0.4 0.6 0.9 13 1.8 2.3 2.6 2.6 2.3 2.0 118 1.7 1.6 2.4 1.6 1.8 2.0 2.0 2.0 2.0 2.0 2.0 2.0 2.0 2.0 2.0                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                | WL2<br>WL3                 | BEACON RATIO WALL FIXTURE<br>RWL2-160L-135-3K7-4-U<br>DL-ES-15-O-30K-HC-24-A-DL-                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | BUILDING MOUNT                                                                         | SINGLE<br>RECESSED                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | COLOR: BLK    |                                               |
| 7 0.6 b. 5 b.4 b.5 b.7 l.0 l.6 2.2 2/8 3.6 3.4 3.1 3.9 2.7 2.2 l.8 l.7 l.7 l.6 2.5 l.4 EV l.2 l.3 2.5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                |                            | ALUM-U-8  APPROVAL; SEE PHOTOMETRIC PLAN PRO                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | ALUMINUM CHANNEL  VIDED WITH THIS DRAWING SET FOR M                                    | WALL LIGHT  ORE INFORMATION.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |               |                                               |
| 0.5 0.5 0.6 0.9 1.4 2.0 2.7 3.3 3.9 4.6 5.2 5.3 5.9 31 4.1 3.2 2.6 2.1 1.7 1.4 1.1 0.9 0.7 0.8                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |               |                                               |
| 0.5 $0.4$ $0.4$ $0.6$ $0.8$ $1.1$ $1.7$ $2.2$ $2.7$ $3.4$ $4.1$ $4.8$ $5.2$ $5.0$ $5.3$ $4.9$ $4.2$ $3.4$ $2.7$ $2.1$ $1.5$ $1.1$ $0.9$ $0.7$ $0.5$                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |               |                                               |
| $\begin{array}{cccccccccccccccccccccccccccccccccccc$                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Calculation Label              | on Summary                 | CalcType Unit                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | s Avg Max Min                                                                          | Avg/Min Max/Min                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |               |                                               |
| 0.5 0.5 0.6 0.8 1.1 1.6 2.3 2.8 SL4-2 4.9 4.3 4.1 4.8 4.9 4.3 3.7 3.7 2.1 1.5 1.0 0.7 0.8 0.5 4 0.2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | CHAMPA<br>PARKING<br>SPILL LIG | -0 -                       | Illuminance Fc                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | 1.72 4.7 0.1<br>1.70 30.9 0.0<br>0.10 29.6 0.0                                         | 17.20 47.00<br>N.A. N.A.<br>N.A. N.A.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |               |                                               |
| 0.5 b.6 b.7 b.9 i.4 i.9 2.6 3.2 MH: 22' 5.0 4.1 4.1 4.0 5.0 4.7 5.9 5.2 2.8 2.3 i.4 i.2 b.8 b.3 i.7 4.6  BL1  BL1  0.2  0.5  0.6  0.7  0.9  0.8  0.7  0.9  0.9  0.8  0.9  0.8  0.9  0.9  0.9                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | 3FILL LIG                      |                            | Illuminance   Fc                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | 0.10 29.6 0.0                                                                          | N.A. N.A.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |               |                                               |
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| 0.2     0.2     0.1     0.1     0.2     0.2     0.2     0.3     0.4     0.6     0.8     1.1     1.4     1.9     2.3     2.5     3.4     3.9     3.8     2.5     3.4     3.9     3.8     2.5     3.4     3.9     3.8     2.5     3.4     3.9     3.8     2.5     3.4     3.9     3.8     2.5     3.4     3.9     3.8     2.5     3.4     3.9     3.8     2.5     3.4     3.9     3.8     2.5     3.4     3.9     3.8     2.5     3.4     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9     3.8     3.9 <td>1.7 1.8 1.7</td> <td>1.5 1.2 1.0</td> <td>1.0 1.0 1.3 1.5 1.7 1.7 1.7 1.5 1<br/>0.9 1.0 1.1 1.3 1.4 1.4 1.4 1.3</td> <td>4 1.4 1.4 1.4 1.6 1.7 1.8</td> <td>1.7 1.5 1.2 1.0 1.0 1.</td> <td>0 1 3 1 5 1.7</td> <td>1.7 1.7 1.5 1.</td> | 1.7 1.8 1.7                    | 1.5 1.2 1.0                | 1.0 1.0 1.3 1.5 1.7 1.7 1.7 1.5 1<br>0.9 1.0 1.1 1.3 1.4 1.4 1.4 1.3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | 4 1.4 1.4 1.4 1.6 1.7 1.8                                                              | 1.7 1.5 1.2 1.0 1.0 1.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | 0 1 3 1 5 1.7 | 1.7 1.7 1.5 1.                                |
| 5.7 5.8 i.0 i.1 i.1 i.0                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | 1.1 1.1 1                      | 1.0 1.0 0.9 1              | 0.9 0.9 1.0 1.1 1 1.1 1.0 1.0 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | .0 1.0 1.0 1.0 1.0 1.0 1.1 1.1                                                         | i\1\\1.0\\1.0\\1.0\\0.9\\0.9\\0.0                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | 1.0 1.1 1.1   | 1.1 1.0 1.0 1.                                |
| 5.2 5.2 5.2 5.2 5.2 5.3 5.3 5.4 5.6 5.6 5.6 5.6 5.5 5.5 5.5 5.5 5.5 5.5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | 0.8 0.8 0.8 0<br>0.6 0.6 0.6 0 | 5   \6.6\ \8\0 \  8.0<br>5 | 0.8     0.8     0.8     0.8     0.8     0.7     0.7     0.6       0.6     0.6     0.6     0.6     0.6     0.6     0.6     0.6     0.5     0.6                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | .7   0.7 0.7   0.7 0.8 0   8 0.8 0.8   1   1   1   1   1   1   1   1   1               | 1.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ 0.8 \ | 3 0.8 0.8 0.8 | 0.8 0.8 0.7 0.                                |
| 5.2 5.2 5.2 5.2 5.2 5.2 5.3 5.3 5.3 5.5 5.6 5.8 5.0 5.2 5.2 5.2 5.2 5.2 5.2 5.2 5.2 5.2 5.2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                |                            | 0.5 0.5 0.5 0.5 0.4 0.4 0.4 0.4 0                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | .4 0.4 0.4 0.4 0.4 0.4 0.4 0.4 0.4                                                     | 0.4 0.5 0.5 0.5 0.5 0.5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 5 0.5 0.5 0.4 | 0.4 0.4 0.4 0.4                               |
| b.2 b.2 b.2 b.2 b.3 b.3 b.3 b.4 b.5 b.5 b.6 b.7                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 0.3 0.3 0.3 0<br>0.2 0.2 0.2 0 | 0.3                        | 0.4     0.4     0.4     0.3     0.3     0.3     0.3     0.3     0.3       0.3     0.3     0.3     0.3     0.2     0.2     0.2     0.2     0.2     0.2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | .3                                                                                     | 0.3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | 0.4 0.3 0.3   | 0.3 0.3 0.3 0.:<br>0.2 0.2 0.2 0.2 0.2        |
| 0.3 0.3 0.3 0.3 0.3 0.3 0.4 0.4 0.4 0.5 0.5 0.6 0.6 0.6 0.6 0.6 0.6 0.6 0.6 0.5 0.5 0.4 0.3 0.3 0.3 0.3 0.3 0.3 0.3 0.3 0.3 0.3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | 0.2 0.2 0.2 0                  | 0.2 0.2 0.2 0              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |               |                                               |
| 0.7 0.7 0.8 0.6 0.6 0.6 0.6 0.6 0.6 0.6 0.6 0.5 0.5 0.5 0.4 0.3 0.2 0.2 0.2 0.2 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | to.1 to.1 to.1 to              | ).1                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |               | •                                             |
| $\begin{array}{cccccccccccccccccccccccccccccccccccc$                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | to.1 to.1 to.1 to              | 5.1 5.1 5.1 5              | 0.1 0.1 0.1 h.1 h 1 h 1 h 1 h 1 h                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |               | _                                             |

0 t.0 t.0 t.0 t.0 t.0 t.0 t.0 t/0 t.1 t.1

0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 o \ \dot \dot 0.0 \ \dot 0.0 \ \dot 0.0 \ \dot 0.1 \ \dot 0.1

) 0.0 0.0 0.0 0.1 0.1 0.1 ) 0.0 0.0 0.0 0.0 0.1 ) 0.0 0.0 0.0 0.0 0.1/ ) 0.0 0.0 0.0 0.0 

7.0 0.1 0.1 0.1 0.2 1.0

0.0 0.0 / 5.0 0.0 0.1 /0\1 0.2\ to.o /to.o /to.o to.o

<sup>†</sup>0.0 / <sup>†</sup>0.0 | <sup>†</sup>0.1 | <sup>†</sup>0.1 0.0 0.1 0.1

0.0 0.0 0.0 0.0 0.0

DEV PROJECT
WAREHOUSE / INDUSTRIAL D
100 / 200 FINANCIAL PARK
FRANKLIN, MA

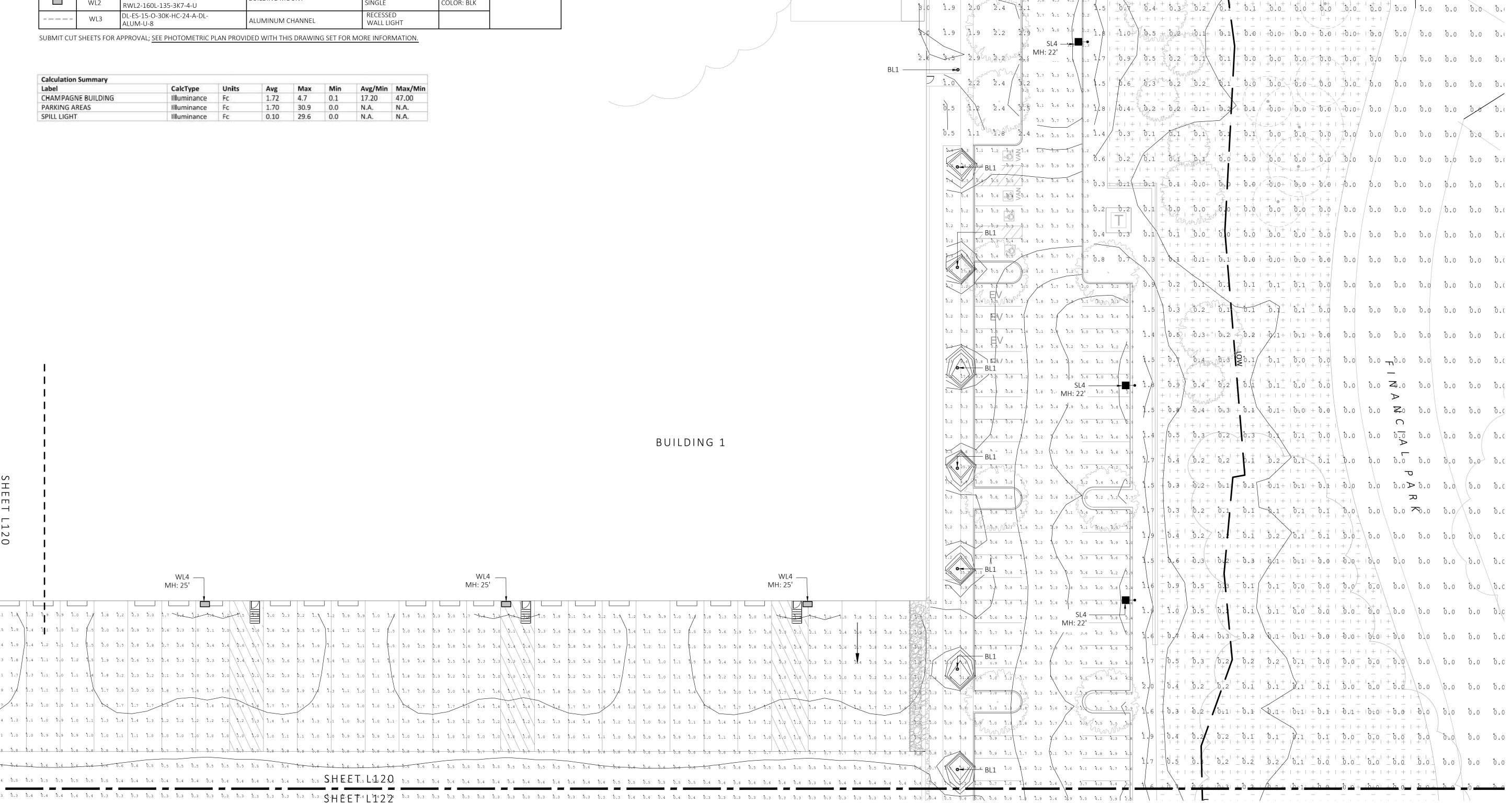
PHOTOMETRIC PLAN

CHECKED:
AS NOTED
SCALE:
AS NOTED
DATE:

SHEET 21 OF 24

| SYMBOL | LABEL | MODEL                                                                                                 | MOUNT                                                                                  | ARRANGEMENT            | OPTIONS     | REP                        |
|--------|-------|-------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|------------------------|-------------|----------------------------|
| 0      | BL1   | ARCLUCE KLOU180 BOLLARD<br>RWL1-48L-25-3K7-4W-U                                                       | CONCRETE FOOTING;<br>KEEP 3" ABOVE GRADE                                               | PEDESTRIAN BOLLARD     | COLOR: GRAY |                            |
| SL3    | SL3   | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-3-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH  | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | SINGLE                 | COLOR: BLK  |                            |
| SL4    | SL4   | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | SINGLE                 | COLOR: BLK  | ILLUMINATE<br>617-947-8996 |
| SL4-2  | SL4-2 | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-2-B3-FINISH | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | BACK BACK              | COLOR: BLK  | STEVE PRUDHOMME            |
|        | WL1   | BEACON RATIO WALL FIXTURE<br>RWL1-48L-25-3K7-4W-U                                                     | BUILDING MOUNT                                                                         | SINGLE                 | COLOR: BLK  |                            |
|        | WL2   | BEACON RATIO WALL FIXTURE<br>RWL2-160L-135-3K7-4-U                                                    | BUILDING MOUNT                                                                         | SINGLE                 | COLOR: BLK  |                            |
|        | WL3   | DL-ES-15-O-30K-HC-24-A-DL-<br>ALUM-U-8                                                                | ALUMINUM CHANNEL                                                                       | RECESSED<br>WALL LIGHT |             | ]                          |

| Calculation Summary |             |       |      |      |     |         |         |
|---------------------|-------------|-------|------|------|-----|---------|---------|
| Label               | CalcType    | Units | Avg  | Max  | Min | Avg/Min | Max/Min |
| CHAMPAGNE BUILDING  | Illuminance | Fc    | 1.72 | 4.7  | 0.1 | 17.20   | 47.00   |
| PARKING AREAS       | Illuminance | Fc    | 1.70 | 30.9 | 0.0 | N.A.    | N.A.    |
| SPILL LIGHT         | Illuminance | Fc    | 0.10 | 29.6 | 0.0 | N.A.    | N.A.    |



SHEET L118

SHEET L120

WL1 ----

MH: 12'

<sup>†</sup>3.0 <sup>†</sup>2.0 <sup>†</sup>1.8 <sup>†</sup>1.5

<sup>2</sup>.7 <sup>2</sup>.3 <sup>4</sup>.4 <sup>5</sup>5.3

WL4 -

MH: 25'

MH: 25'

SHEET SHEET

REV. NO. DATE DESCRIPTION

PHOTOMETRIC PLAN

CHECKED:
AS NOTED

SCALE:
AS NOTED

DATE: L121

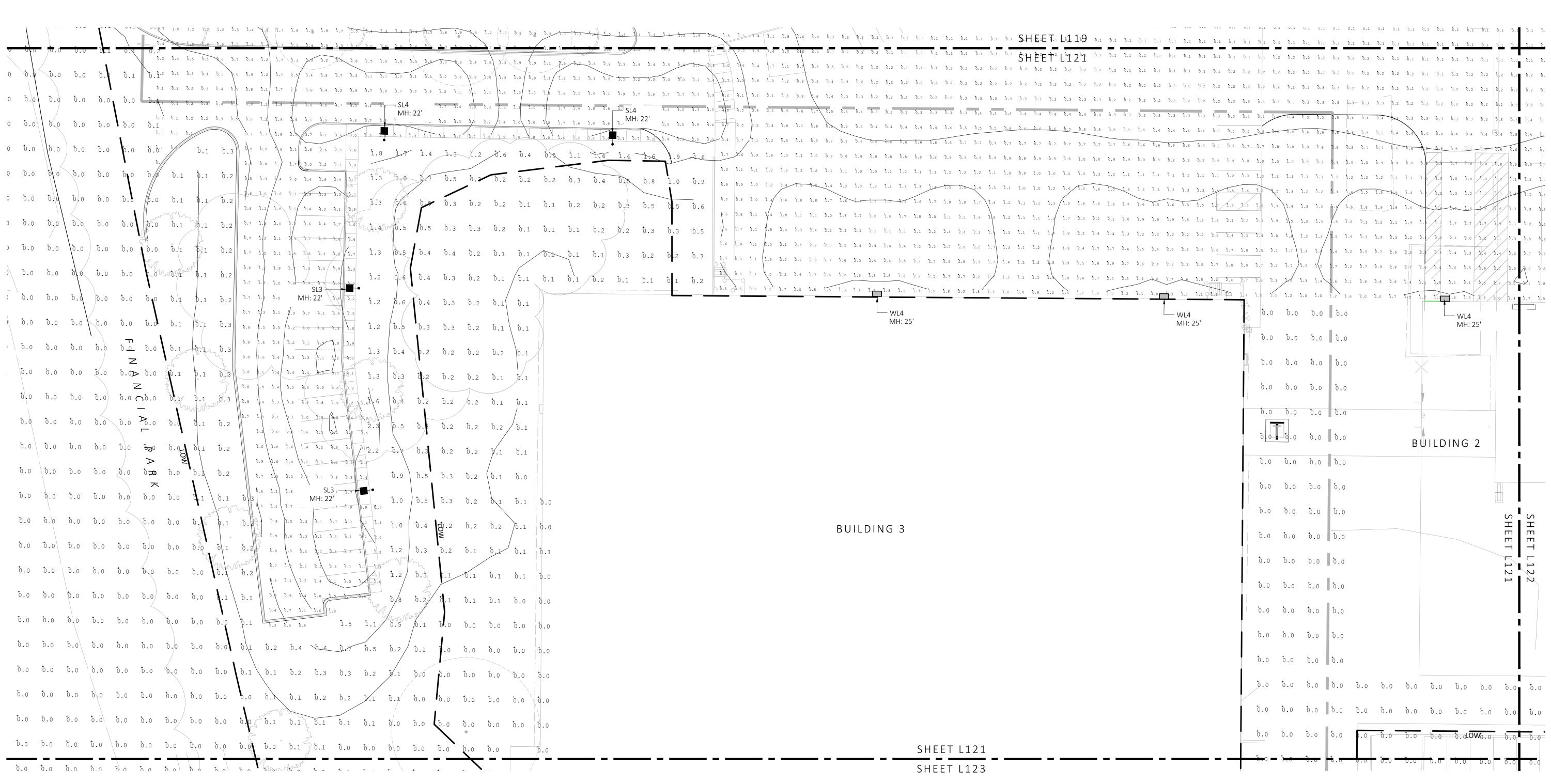
SHEET 22 OF 24

plot date: 7/17/2023

| YMBOL     | LABEL | MODEL                                                                                                 | MOUNT                                                                                  | ARRANGEMENT            | OPTIONS     | REP                                          |
|-----------|-------|-------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|------------------------|-------------|----------------------------------------------|
|           | •     |                                                                                                       |                                                                                        | •                      |             | _                                            |
| 0         | BL1   | ARCLUCE KLOU180 BOLLARD<br>RWL1-48L-25-3K7-4W-U                                                       | CONCRETE FOOTING;<br>KEEP 3" ABOVE GRADE                                               | PEDESTRIAN BOLLARD     | COLOR: GRAY |                                              |
| SL3<br>■• | SL3   | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-3-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH  | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | SINGLE                 | COLOR: BLK  |                                              |
| SL4       | SL4   | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-1-B3-FINISH | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | SINGLE                 | COLOR: BLK  | ILLUMINATE<br>617-947-8996<br>STEVE PRUDHOMM |
| SL4-2     | SL4-2 | BEACON RATIO SITE FIXTURE<br>RAR1-160L-135-3K7-4W-U<br>BEACON SSS-B POLE<br>SSS-B-20-40-A-2-B3-FINISH | CONCRETE FOOTING;<br>KEEP 24" ABOVE GRADE IN ASPHALT<br>KEEP 3" ABOVE GRADE IN ISLANDS | BACK BACK              | COLOR: BLK  |                                              |
|           | WL1   | BEACON RATIO WALL FIXTURE<br>RWL1-48L-25-3K7-4W-U                                                     | BUILDING MOUNT                                                                         | SINGLE                 | COLOR: BLK  |                                              |
|           | WL2   | BEACON RATIO WALL FIXTURE<br>RWL2-160L-135-3K7-4-U                                                    | BUILDING MOUNT                                                                         | SINGLE                 | COLOR: BLK  |                                              |
|           | WL3   | DL-ES-15-O-30K-HC-24-A-DL-<br>ALUM-U-8                                                                | ALUMINUM CHANNEL                                                                       | RECESSED<br>WALL LIGHT |             |                                              |

| •                                                | •                           |                         |                      |
|--------------------------------------------------|-----------------------------|-------------------------|----------------------|
|                                                  |                             |                         |                      |
| CLIDANT CLIT CLIFETC FOR ADDDOVAL, CEE DUOTOMETR | NO DI AMI DDOLUDED MUTU TUI | IC DDAMMING CET FOR MAG | DE INICODA A A TIONI |
| SUBMIT CUT SHEETS FOR APPROVAL: SEE PHOTOMETR    | RIC PLAN PROVIDED WITH TH   | IS DRAWING SELEOR MO    | REINFORMATION.       |

| Calculation Summary |             |       |      |      |     |         |         |
|---------------------|-------------|-------|------|------|-----|---------|---------|
| Label               | CalcType    | Units | Avg  | Max  | Min | Avg/Min | Max/Mir |
| CHAMPAGNE BUILDING  | Illuminance | Fc    | 1.72 | 4.7  | 0.1 | 17.20   | 47.00   |
| PARKING AREAS       | Illuminance | Fc    | 1.70 | 30.9 | 0.0 | N.A.    | N.A.    |
| SPILL LIGHT         | Illuminance | Fc.   | 0.10 | 29.6 | 0.0 | N.A.    | N.A.    |



+ \$\tilde{\tau}.6 \rangle | \frac{1}{2} \cdot - \tau\_.4 \rangle | \frac{1}{2} \cdot - \tau\_.6 \rangle | \frac

>ш TRIAL

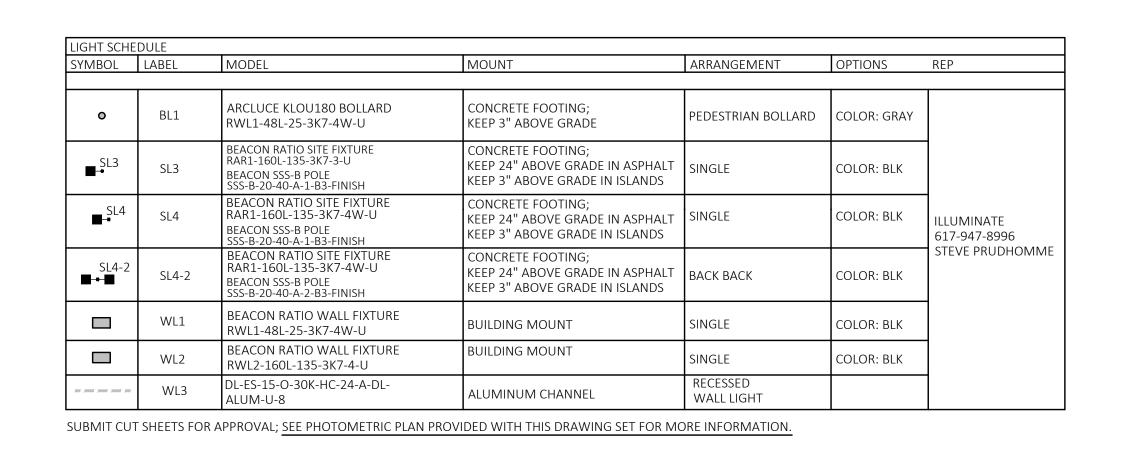
REV. NO. DATE DESCRIPTION

1 7/17/23 RESPONSE TO COMMENTS

PHOTOMETRIC PLAN

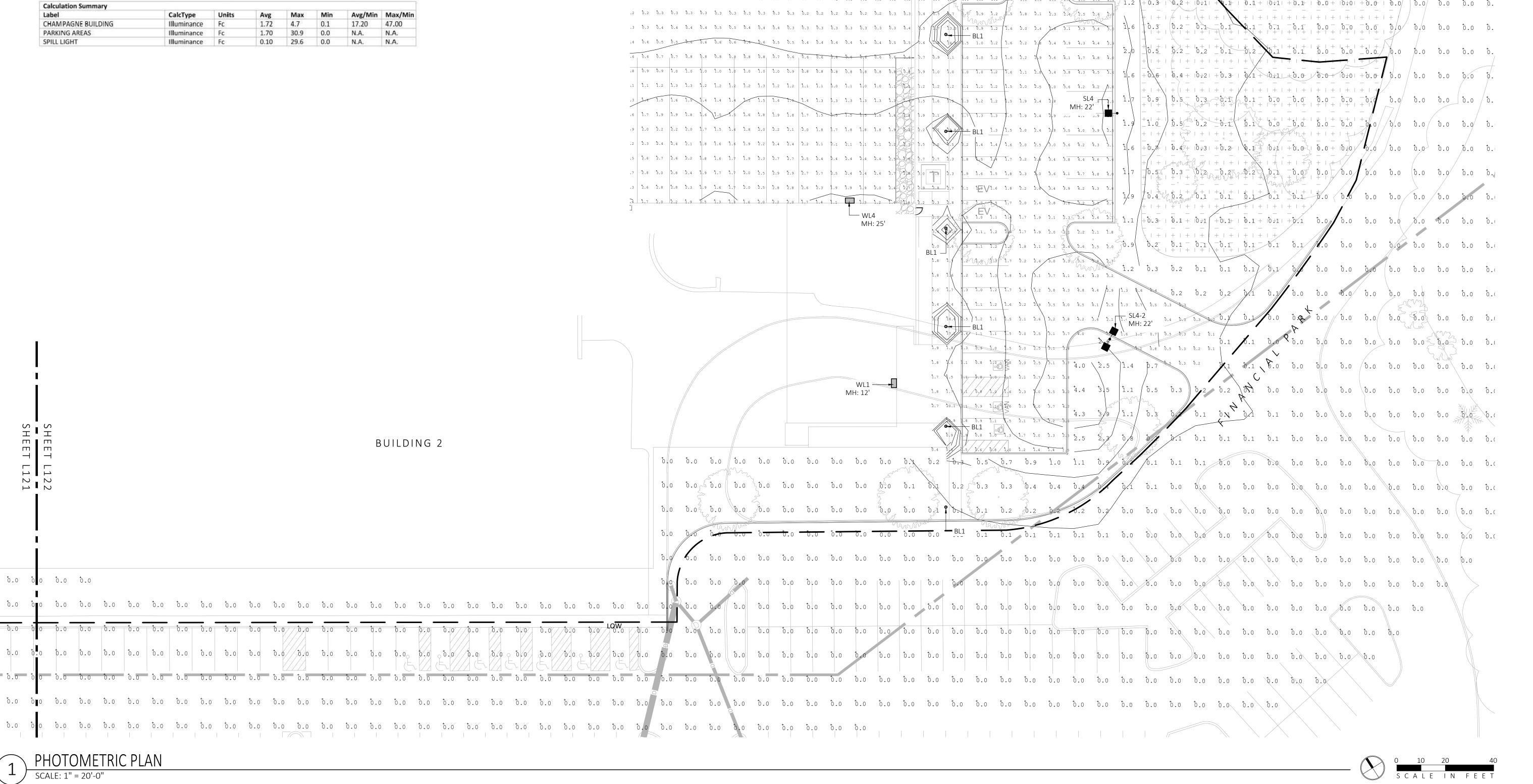
CHECKED: AS NOTED SCALE: AS NOTED DATE: L122

SHEET 23 OF 24



BUILDING 2

| Calculation Summary |             |       |      |      |     |         |       |
|---------------------|-------------|-------|------|------|-----|---------|-------|
| Label               | CalcType    | Units | Avg  | Max  | Min | Avg/Min | Max/M |
| CHAMPAGNE BUILDING  | Illuminance | Fc    | 1.72 | 4.7  | 0.1 | 17.20   | 47.00 |
| PARKING AREAS       | Illuminance | Fc    | 1.70 | 30.9 | 0.0 | N.A.    | N.A.  |
| SPILL LIGHT         | Illuminance | Fc    | 0.10 | 29.6 | 0.0 | N.A.    | N.A.  |



0.6 0.8 1.3 1.8 2.4 2.9 5 = 3 0 5

.7 0.6 0.9 1/3 2.0 2.7/ 3.2 3.8 4.3 4.4

\$\displaystyle{1.6} \quad \text{0.8} \quad \text{1.8} \quad \text{1.9} \quad \text{2.4} \quad \text{2.9}

BL1 0.9 1.4 2.1 2/9 3.6 4.1 4.6 4.7

.2 0.3 0.3 0.4 0.6 0.8 1.1 1.5 1.9 2.2 2.4 2.7 2.8 2.4

7 0.7 1.0

0.6 0.8 1.3 1.8 2.4 2.9 3.6 4.1 3.8

1.5 2.2 2.9 3.5 4.1 4.5 4.6 3.9

MH: 22' .1

PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

SHEET SHEET

to.o to to to.o to.o

L123

SHEET 24 OF 24

OPTIONS REP YMBOL LABEL CONCRETE FOOTING; ARCLUCE KLOU180 BOLLARD BL1 PEDESTRIAN BOLLARD COLOR: GRAY RWL1-48L-25-3K7-4W-U KEEP 3" ABOVE GRADE (EEP 24" ABOVE GRADE IN ASPHALT | SINGLE ■SL3 COLOR: BLK SL3 BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH KEEP 3" ABOVE GRADE IN ISLANDS BEACON RATIO SITE FIXTURE SL4 RAR1-160L-135-3K7-4W-U COLOR: BLK (EEP 24" ABOVE GRADE IN ASPHALT | SINGLE LLUMINATE BEACON SSS-B POLE EEP 3" ABOVE GRADE IN ISLANDS 617-947-8996 STEVE PRUDHOMME BEACON RATIO SITE FIXTURI RAR1-160L-135-3K7-4W-U CONCRETE FOOTING; SL4-2 KEEP 24" ABOVE GRADE IN ASPHALT BACK BACK SL4-2 COLOR: BLK BEACON SSS-B POLE KEEP 3" ABOVE GRADE IN ISLANDS SS-B-20-40-A-2-B3-FINISH BEACON RATIO WALL FIXTURE WL1 SINGLE **UILDING MOUNT** COLOR: BLK WL1-48L-25-3K7-4W-U BEACON RATIO WALL FIXTURE BUILDING MOUNT SINGLE COLOR: BLK RWL2-160L-135-3K7-4-U DL-ES-15-O-30K-HC-24-A-DL-RECESSED LUMINUM CHANNEL SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION

CHAMPAGNE BUILDING Illuminance PARKING AREAS 1.70 30.9 0.0 Illuminance 0.0 SPILL LIGHT Illuminance 0.10 29.6

CalcType

17.20

N.A.

N.A.

Calculation Summary

SHEET L121 SHEET L123 BUILDING 3 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 ō.0 ō.0 ō.0 ō.1 fo.1 ō.2 ō.4 ō.9 | ī. | ½.6 ½.8 ½. 0.0 0.0 0.0 0.0 0.0 0.0 0.0ō.0 ō.0 ō.0 ō.1 | ō.1 ō.2 ō.5 ō.9  $1.0 \mid 0.5 \quad 0.2 \quad 0.1 \quad 0.0 \quad 0.0$ ō.0 ō.05 ō.0 ō.1 / ō.1 ō.2 ō.4 ō.8 5 ō.9 / ō.5 ō.2  $\sqrt{0.0}$  0.0 0.0 0.1 0.1 0.2 0.4 0.7<sup>†</sup>0.4 <sup>†</sup>0.2 6,6 0.4 0.2 4.1 0.1 0.0 0.0 0.0 0.0 0.0 0.0 0.0.0  $\dot{b}$ .0  $\dot{b}$ .1  $\dot{b}$ .3  $\dot{b}$ .4 
 5.3
 5.2
 5.1
 5.1
 5.0
 5.0
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 5.0
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 5.0
 5.0
 5.0
 .0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 $\frac{1}{0.4} - \frac{1}{0.2} / \frac{1}{0.1} + \frac{1}{0.0} + \frac{1}{0.0} = \frac{1}$ SL4 \_3.8 3.8 4.0 4.4 4.6 4.4 3.4 2.2 \1.4 0.9 \6.6 0.5 0.5 0.7 1.0 \1.7 2. 3.7 3. 2.5 2.8 3.4 3.7 3.9 3.1 2.0 1.2 0.7 0.5 0.4 0.3 0.4 0.7 1.1 1.7 2.0 1.8 1.5  $.0 \quad \overleftarrow{0.0} \quad \overleftarrow{0.1} \quad \overleftarrow{0.1} \quad \overleftarrow{0.1} \quad \overleftarrow{0.2} \quad \overleftarrow{0} \\ \underbrace{5} \quad \overleftarrow{1.3}$ 0.4 0.8 1.4 1.4 1.4 1.4 1.8 1.5 1.4 1.5 1.1 0.5 0.2 0.1 0.2 0.3 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 $1.0 \setminus 0.3$  0.3 0.3 0.5 0.7 0.9 0.8 0.5 0.4 0.2 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 $\sqrt{2.6}$   $\sqrt{1.5}$   $\sqrt{0.7}$   $\sqrt{0.3}$   $\sqrt{0.2}$   $\sqrt{0.3}$   $\sqrt{0.2}$   $\sqrt{0.3}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.2}$   $\sqrt{0.2}$   $\sqrt{0.1}$   $\sqrt{0.2}$   $\sqrt{0.2}$   $\sqrt{0.3}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.1}$   $\sqrt{0.2}$   $\sqrt{0.2}$   $\sqrt{0.1}$   $\sqrt{0.2}$   $\sqrt{0.2}$   $\sqrt{0.3}$   $\sqrt{0.1}$   $\sqrt$  $0 \quad \dot{0}.0 \quad \dot{0}.0$  $0 \quad \overset{\bullet}{0}.0 \quad \overset{\bullet}{0}.1 \quad$ 0 to 5.0 

PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"



#### Berkeley Partners - Financial Park Franklin, MA 220,000 SF & 65,000 SF Distribution Centers ARCO Job No. WP-1209



