

WAREHOUSE/INDUSTRIAL DEVELOPMENT SITE DEVELOPMENT PLANS

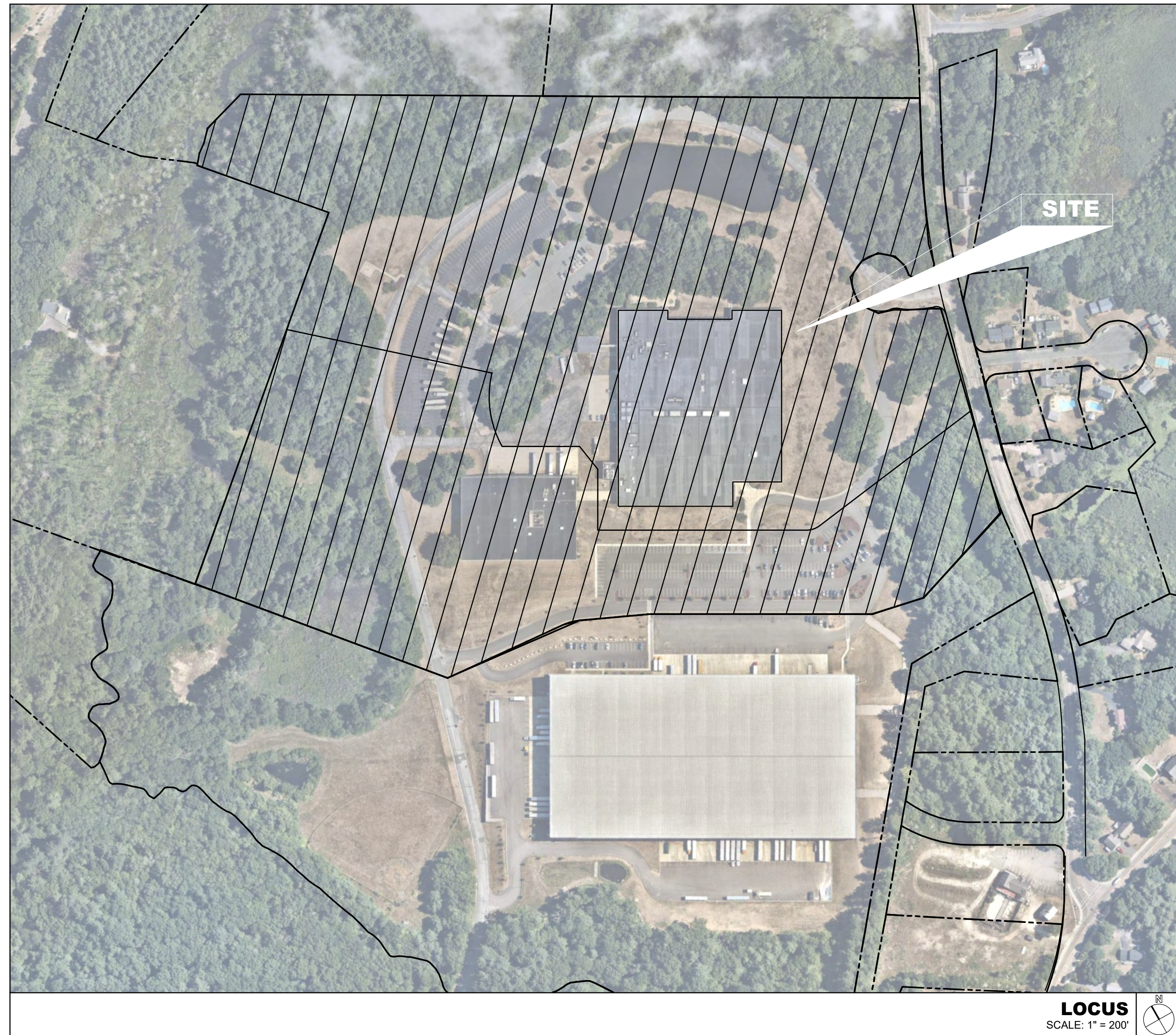
100/200 FINANCIAL PARK FRANKLIN, MASSACHUSETTS

PERMIT SET: MAY 11, 2023



CLIENT:
 Berkeley Partners
 1 WASHINGTON MALL | Suite 701
 BOSTON, MA 02108

CONSULTANT:



APPLICANT:

BERKELEY PARTNERS
 1 WASHINGTON MALL | SUITE 701
 BOSTON, MA 02108

OWNER/APPLICANT:

OWNER ICBP IV HOLDINGS 34, LLC
 CO-OWNER C/O BERKELEY PARTNERS
 ADDRESS 1111 BROADWAY | SUITE 1670
 OAKLAND, CA 94607

ASSESSOR'S ID:

100 FRANKLIN STREET
 BOOK - 40397
 PAGE - 34
 MAP - 312
 PARCEL 020-000-000

200 FRANKLIN STREET
 BOOK - 36923
 PAGE - 217
 MAP - 312
 PARCEL 020-001-000

ZONE INDUSTRIAL

PROJECT TEAM

CIVIL ENGINEER: HIGHPOINT ENGINEERING, INC.
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 DEDHAM, MA 02026
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 www.rodearchitects.com

LANDSCAPE ARCHITECT: MICHAEL D'ANGELO
 LANDSCAPE ARCHITECTS
 840 SUMMER STREET | SUITE 201A
 BOSTON, MA 02110

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C201	SITE PREPARATION & DEMOLITION PLAN	•
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C400	GRADING & DRAINAGE PLAN	•
C401	GRADING & DRAINAGE PLAN	•
C500	UTILITY PLAN	•
C501	UTILITY PLAN	•
C600	SITE DETAILS	•
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L112	PLANTING & LIGHTING PLAN	•
L113	PLANTING & LIGHTING PLAN	•
L114	PLANTING & LIGHTING PLAN	•
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L117	PHOTOMETRIC PLAN	•
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WAREHOUSE/INDUSTRIAL DEVELOPMENT
 100/200 FINANCIAL PARK
 FRANKLIN, MA
 OWNER/APPLICANT: BERKELEY PARTNERS

REV DATE DESCRIPTION
 ISSUE TYPE:
 PERMIT SET
 ISSUE DATE:
 05/11/2023
 PROJECT NUMBER:
 22051
 DRAWN BY: JJP / CCL/ WH
 CHECKED BY: DJH
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SHEET TITLE:
T100
 SHEET NUMBER:
T100

LOCUS
 SCALE: 1" = 200'

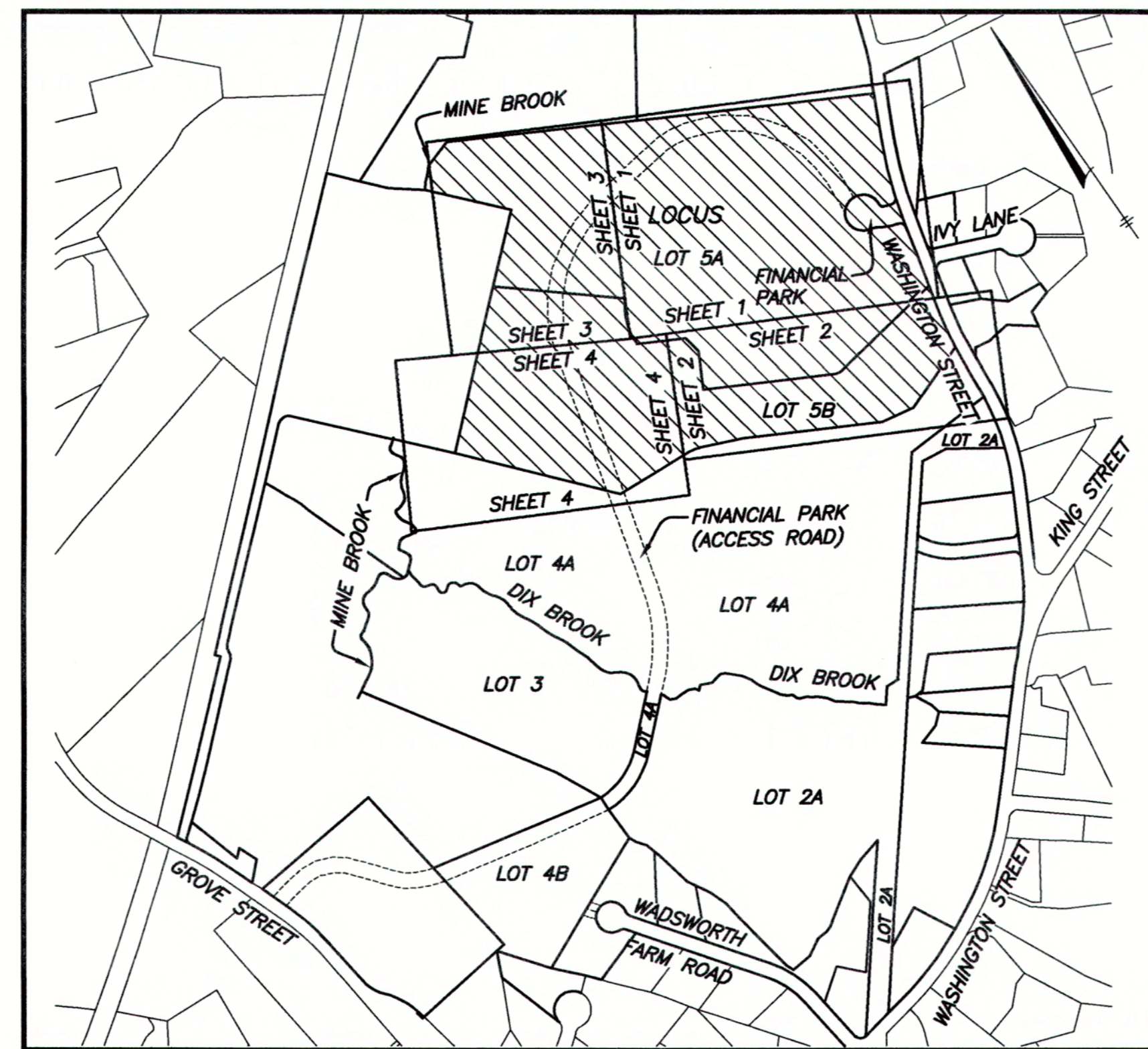
LEGEND

- E— ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
- FO— FIBER OPTIC LINES
- IR IRON ROD
- BIT. BITUMINOUS
- (C) CALCULATED
- CONC. CONCRETE
- (F) FOUND
- (R) RECORD
- ⊕ POST INDICATOR VALVE
- ⊕ CAMERA
- ⊕ DRY WELL
- ☆ LIGHT POLE
- BOLLARD
- SIGN
- DH DRILL HOLE
- DHCB DRILL HOLE IN CONCRETE BOUND
- DHSB DRILL HOLE IN STONE BOUND
- ⊕ CB CATCH BASIN
- ⊕ SMH SEWER MANHOLE
- ⊕ WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- ⊕ GAS MAIN WITH SIZE & GATE VALVE
- OHW— EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
- ⊕ AREA OF FLOOD ZONES (SEE NOTE 10)
- STONE WALL
- METAL GUARDRAIL
- EDGE OF PAVEMENT
- WIRE FENCE
- EDGE OF GRAVEL ROAD
- TELECOMMUNICATIONS EASEMENT
- 208.8 WFA2 LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION
- LIMIT OF 25-FOOT NO DISTURB WETLAND BUFFER ZONE
- LIMIT OF 50-FOOT NO BUILD ZONE WETLAND BUFFER ZONE
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- SEWERLINE & MANHOLE
- DRAINLINE WITH CATCHBASIN, MANHOLE & ROUND CATCHBASIN
- LIMIT OF 100-YEAR FLOOD PLAIN (SEE NOTE 10 & 11)
- LIMIT OF FEMA FLOOD WAY (SEE NOTE 10)
- LIMIT OF 100-FOOT INNER RIPARIAN ZONE
- LIMIT OF 200-FOOT OUTER RIPARIAN ZONE

LIMITED/COMPLIED EXISTING CONDITIONS PLAN

FOR 100 & 200 FINANCIAL PARK FRANKLIN, MA OCTOBER 24, 2022

REV. MAY 5, 2023



LOCUS MAP
1"=500'

NOTES:

- 1) PROJECT SOURCE BENCHMARK IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988
- 2) THE PURPOSE OF THIS PLAN IS TO FACILITATE CONCEPT DESIGN ONLY. IT COMPILES INFORMATION FROM THE FOLLOWING SOURCES:
 - A: TOPOGRAPHY AND WETLANDS (SERIES F&G) NEAR WASHINGTON STREET FROM 2016 ANRAD BY THIS OFFICE.
 - B: REMAINDER OF WETLANDS FROM 2019 WETLANDS PLAN OF LOT 5 BY THIS OFFICE.
 - C: 2020 SITE "AS-BUILT" BY THIS OFFICE OF LOT 4A (TO THE SOUTH) WHICH INCLUDES PARKING EASEMENT ON LOT 5A AND ACCESS EASEMENT TO FINANCIAL PARK CUL-DE-SAC.
 - D: UTILITY LOCATIONS FROM 2021 ALTA PLAN FOR LOT 5A AND LOT 5B.
 - E: PORTIONS OF CONTOURS FROM NOAA 2011 LIDAR.
 - F: GPS FILL IN CONTOURS IN AREA SOUTH OF SMALL WAREHOUSE.
- 3) UNDERGROUND UTILITIES SHOWN HEREON ARE FROM A DECEMBER 15, 2021 ALTA BY THIS OFFICE (AND HAVE NOT BEEN UPDATED). THEY WERE COMPILED FROM FIELD LOCATIONS OF STRUCTURES, CONTRACTOR PAINT MARKS, AND AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF ANY FUTURE PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 4) THE LOCATION OF UNDERGROUND STORAGE TANKS, IF ANY, ARE UNKNOWN.
- 5) THIS PLAN IS A COMPILATION OF SEVERAL TOPOGRAPHIC SURVEYS PREPARED AT VARIOUS SCALES, AS SUCH, SCALES OF SOME SYMBOLS ARE NOT CONSISTENT.
- 6) ELECTRIC EASEMENT CROSSING LOCUS IS DEPICTED APPROXIMATELY PER 2-19-15 ALTA PLAN PREPARED FOR CRE MANAGEMENT, LLC. AND PLAN BOOK 56, PLAN #2653.
- 7) INTENTIONALLY OMITTED
- 8) A TWO LOT DEFINITIVE SUBDIVISION PLAN WAS APPROVED FOR PREVIOUS OWNERS BUT NOT REFERENCED ON THE CURRENT DEED. THE COVER SHEET (ONLY) WAS RECORDED IN PLAN BOOK 428, PLAN 163 OF 1995 AT THE NORFOLK COUNTY REGISTRY OF DEEDS. THE LOTTING SHEETS, NOT RECORDED, ARE ON FILE AT THE FRANKLIN PLANNING BOARD. THE LOCATION OF THE "FINANCIAL PARK" CUL-DE-SAC IS SHOWN FROM SAID PLANS.
- 9) LOCATION OF IRRIGATION SYSTEM COMPONENTS NOT INCLUDED IN THIS SURVEY.
- 10) FEMA FLOOD ZONE LINES FOR "ZONE X-SHADED" ARE SHOWN APPROXIMATELY FROM MASS GIS.
- 11) THE 100 YEAR FLOOD PLAIN (FLOOD ZONE AE) WAS FIELD LOCATED ON LOT 4A AND PARTIALLY ONTO THE SOUTHERLY PORTION OF LOT 5 ON AUGUST 19, 2019. THE FLOOD ZONE LINE IS SHOWN PER FIELD LOCATION BETWEEN WETLAND FLAG J105 (SHEETS 4 & 5) AND MEAN ANNUAL HIGH WATER FLAG 215. ALL OTHER PORTIONS OF FLOOD ZONE AE LINES ARE SHOWN APPROXIMATELY PER INTERPOLATION OF THE NOAA LIDAR CONTOURS THAT ARE PART OF THIS COMPILATION PLAN AND ARE NOT FIELD LOCATED.
- 12) MEAN ANNUAL HIGH WATER (MAHW) HAS BEEN FIELD DELINEATED AT THE NORTHWEST CORNER OF LOT 5A AND SEVERAL HUNDRED FEET SOUTH OF THERE. ON LOT 4A, ALONG MINE BROOK AND THE PORTION OF DIX BROOK THAT HAS NOT BEEN FIELD DELINEATED, MAHW HAS BEEN APPROXIMATED BASED ON DIGITIZED CENTERLINE OF SAID BROOKS AND MAHW WIDTHS FROM USGS STREAMSTATS BANKFULL STATISTICS.
- 13) BVW (BORDERING VEGETATED WETLANDS) HAS NOT BEEN FLAGGED WEST OF THE DETENTION POND ON ABUTTING LOT 4A, BETWEEN DIX BROOK AND ROUGH WF-JB5. THIS LINE WOULD NOT IMPACT THE 100' SETBACK LINE ON LOT 4A AS THE DETENTION POND BROADCASTS A 100' BUFFER FARTHER EAST AS DEPICTED.
- 14) OFF-SITE ACCESS EASEMENTS AND UTILITY EASEMENTS EXIST BUT ARE NOT SHOWN AS THEY ARE OUTSIDE THE SCOPE OF THIS SURVEY.
- 15) WATER LINE SHOWN HEREON FOR WELL PUMP IS COMPILED FROM A SKETCH SUPPLIED BY HIGHPOINT ENGINEERING AND IS SHOWN APPROXIMATE ONLY. A WELL PUMP EXISTS ON SITE BUT HAS NOT BEEN LOCATED AS OF THE DATE OF THIS PLAN.

SHEET INDEX:

- COVER SHEET
- LIMITED/COMPILED EXISTING.....EC-1 THRU EC-5
- CONDITIONS PLANS

RECORD OWNERS:

ICBP IV HOLDINGS 34, LLC
C/O BERKELEY PARTERS
1 SANSOME STREET, SUITE 1500
SAN FRANCISCO, CALIFORNIA

ASSESSORS' PARCEL ID:

LOT 5A: 312-020-000-000
LOT 5B: 312-020-001-000
W/R/T EASEMENT OVER LOT 4A
LOT 4A: 321-060-000-000

REFERENCES:

DEED BOOK 36923, PAGE 217
PLAN BOOK 56, PLAN 2653 & 2654
PLAN BOOK 107, PAGE 253
PLAN BOOK 117, PAGES 388 & 389
PLAN BOOK 190, PAGE 1305
PLAN 262 OF 1977, PLAN BOOK 259
PLAN BOOK 281, PLAN 323 OF 1980
PLAN 322 OF 1980, PLAN BOOK 281
PLAN BOOK 665, PAGES 8 & 9
PLAN BOOK 672, PAGE 97 & 98
PLAN BOOK 675, PAGE 39
PLAN BOOK 676, PAGE 49
PLAN BOOK 678, PAGES 8 & 9
PLAN BOOK 701, PAGE 31
PLAN BOOK 281, PLAN 323 OF 1980

ZONING:

INDUSTRIAL

SURVEYOR

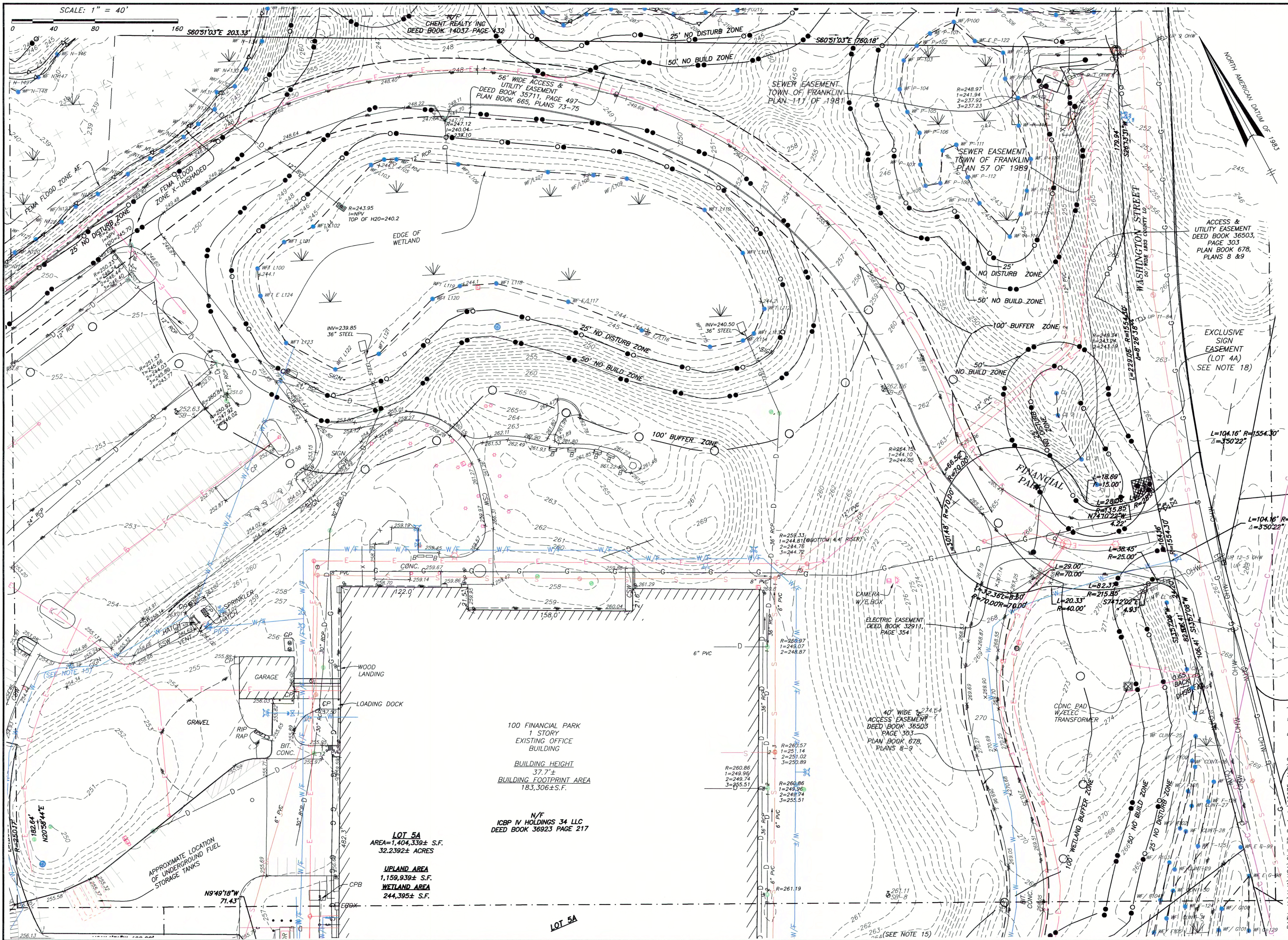
HANCOCK ASSOCIATES
315 ELM STREET
MARLBOROUGH, MA 01752
PHONE (508) 460-1111

CIVIL ENGINEER

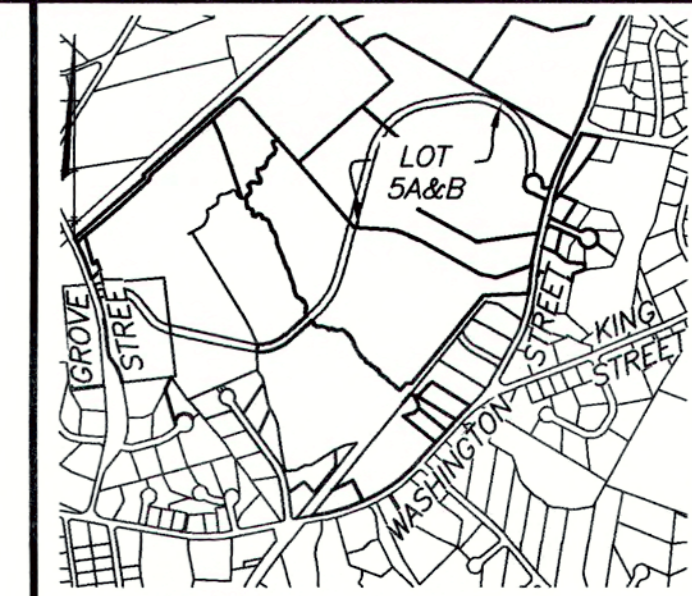
HIGHPOINT ENGINEERING, INC.
980 WASHINGTON STREET
DEDHAM, MA 02026
PHONE (781) 770-0973



D. Bremner
5-8-23



SCALE: 1" = 40'

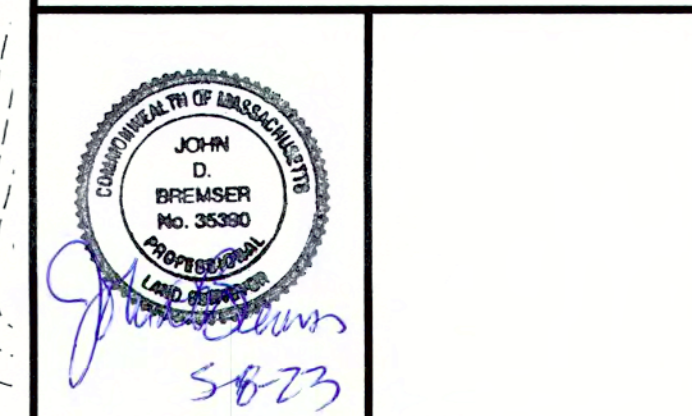


LOCUS MAP SCALE: 1" = 1500'

SITE ADDRESS
**#100 & #200
 FINANCIAL PARK**
 (F/K/A 431 WASHINGTON ST.)
 Franklin, Massachusetts

PREPARED FOR:
**BERKELEY PARTNERS
 GROUP, LLC**

**HANCOCK
 ASSOCIATES**
 Civil Engineers
 Land Surveyors
 Environmental
 Consultants
 315 Elm Street, Marlborough, MA 01752
 Voice (508) 460-1111, Fax (508) 460-1121
 www.hancockassociates.com



NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
10	CMC	JDB	5/5/23	ADD WATER LINE
9	CMC	JDB	4/17/23	GENERAL REVISIONS
8	CMC	JDB	4/4/23	GENERAL REVISIONS
7	CMC	JDB	3/17/23	GENERAL REVISIONS
6	CMC	JDB	3/6/23	REVISE NOTES 10-13; ADD 13; ADD MAHW FLAGS ON LOT 4A
5	CMC	JDB	2/3/23	REVISE FLOOD ZONE AREAS & ADD MAHW FLAG SERIES 100
4	CMC	JDB	1/24/23	GENERAL REVISIONS
1	CMC	JDB	11/2/22	GENERAL REVISIONS

DATE: 10/24/22 DRAWN BY: CMC
 SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED
 EXISTING CONDITIONS
 PLAN OF LAND
 IN
 FRANKLIN, MA**

PLOT DATE: May 05, 2023 3:44 pm

DWG: 26609-LIM-EC-LOT-5AB-2023-04-26

LAYOUT: EC-1

SHEET: 2 OF 5

PROJECT NO.: 22387

EC-1

100 FINANCIAL PARK
 1 STORY
 EXISTING OFFICE BUILDING
 BUILDING HEIGHT
 37.7 ±
 BUILDING FOOTPRINT AREA
 183,306 ± S.F.

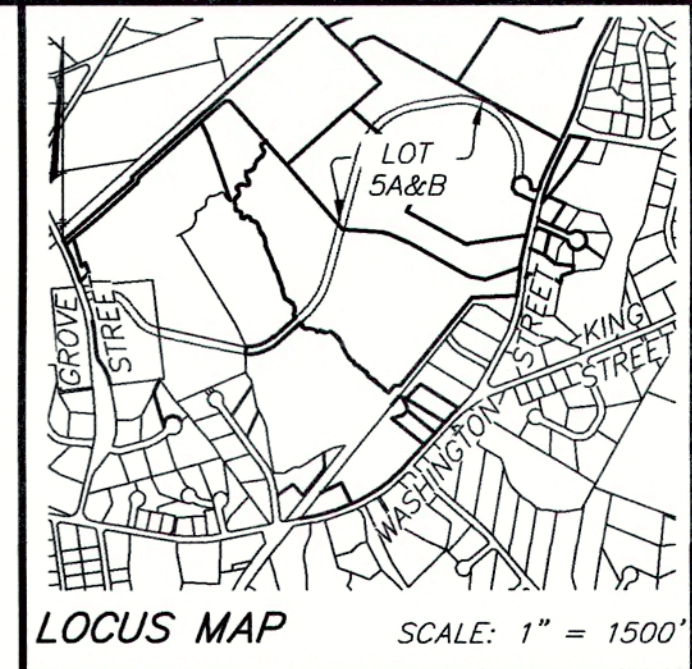
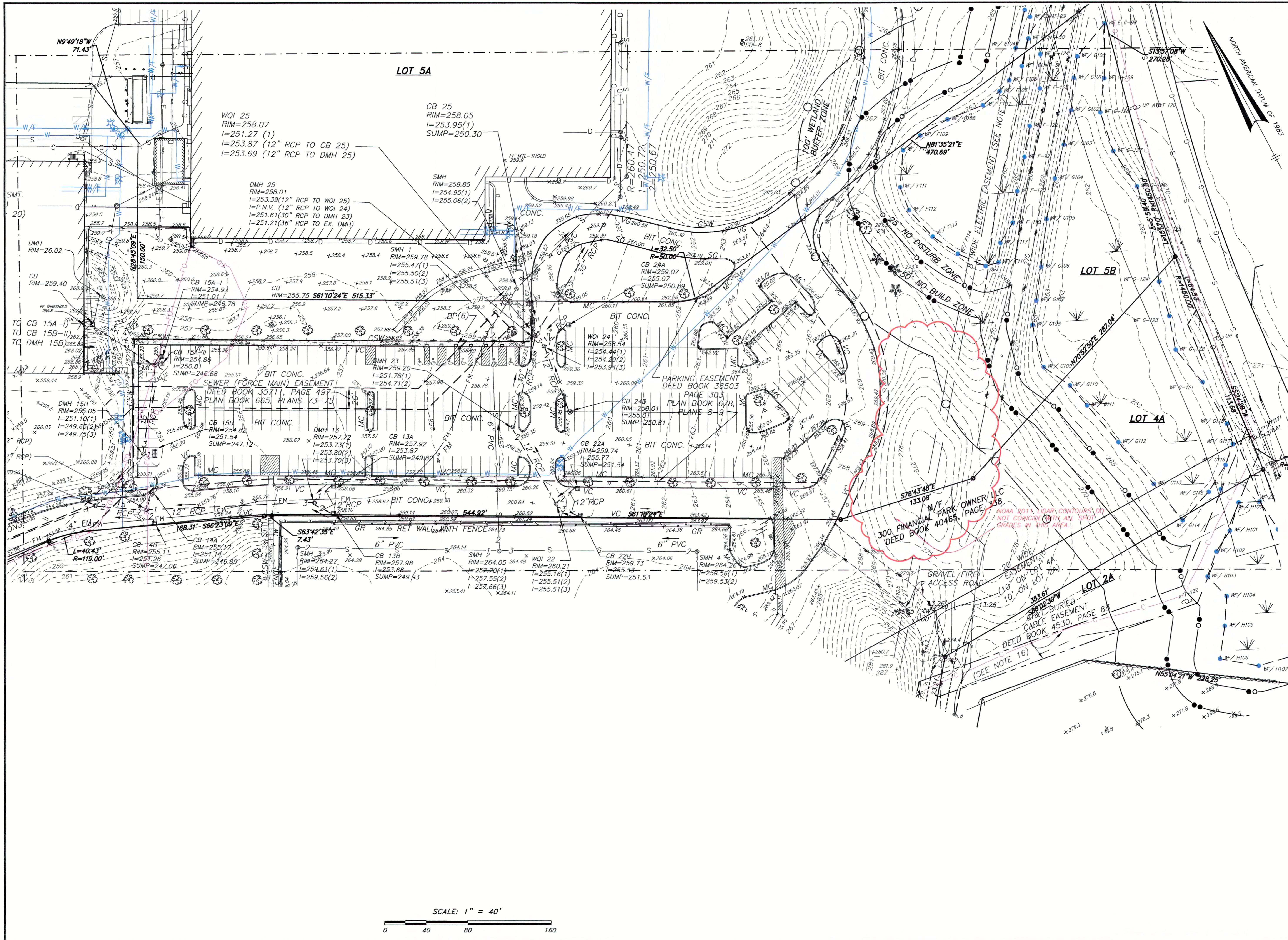
LOT 5A
 AREA=1,404,339 ± S.F.
 32.2392 ± ACRES

UPLAND AREA
 1,159,939 ± S.F.
WETLAND AREA
 244,395 ± S.F.

APPROXIMATE LOCATION
 OF UNDERGROUND FUEL
 STORAGE TANKS

LOT 5A

PATH: V:\01\HSA\Civil_3D\Projects\19675-ANR\Source Drawings



SITE ADDRESS:
 #100 & #200
FINANCIAL PARK
 (F/K/A 431 WASHINGTON ST.)
 Franklin, Massachusetts

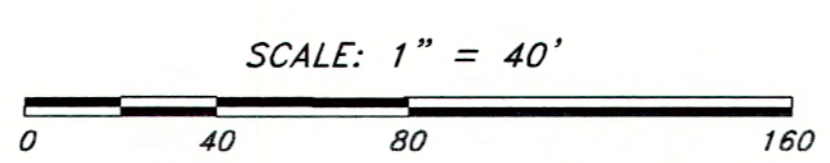
PREPARED FOR:
 BERKELEY PARTNERS
 GROUP, LLC

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
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 315 Elm Street, Marlborough, MA 01752
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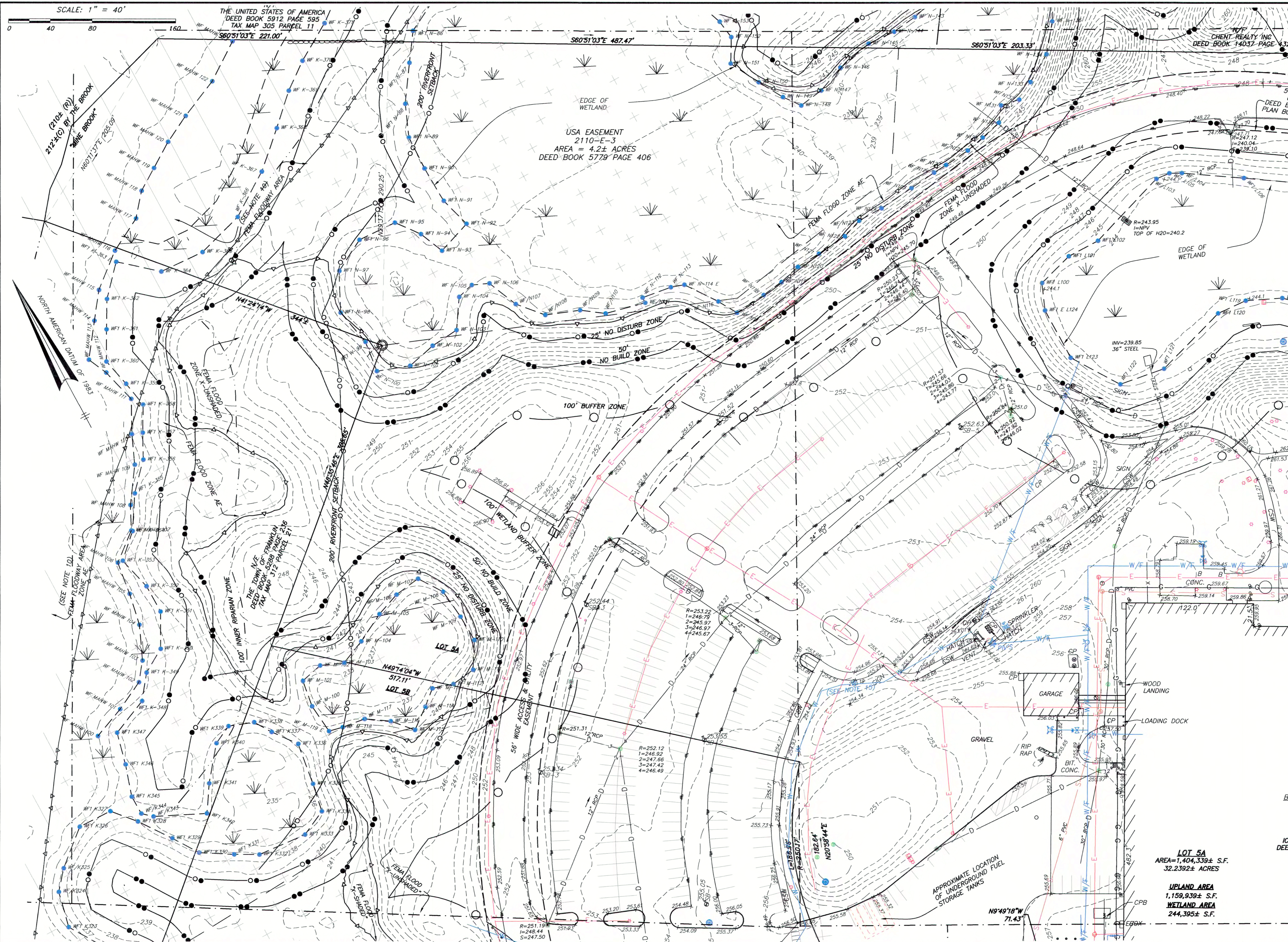
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
10	CMC	JDB	5/5/23	ADD WATER LINE
9	CMC	JDB	4/17/23	GENERAL REVISIONS
8	CMC	JDB	4/4/23	GENERAL REVISIONS
7	CMC	JDB	3/17/23	GENERAL REVISIONS
6	CMC	JDB	3/6/23	REVISE NOTES 10-13, ADD 13, ADD MAHW FLAGS ON LOT 4A
5	CMC	JDB	2/3/23	REVISE FLOOD ZONE AREAS & ADD MAHW FLAG SERIES 100
4	CMC	JDB	1/24/23	GENERAL REVISIONS
1	CMC	JDB	11/2/22	GENERAL REVISIONS

DATE: 10/24/22 DRAWN BY: CMC
 SCALE: 1" = 40' CHECK BY: JDB

LIMITED/COMPILED EXISTING CONDITIONS PLAN OF LAND IN FRANKLIN, MA
 PLOT DATE: May 05, 2023 3:43 pm
 DWG: 26609-LIM-EC-LOT-5AB-2023-04-26
 LAYOUT: EC-2
 SHEET: 3 OF 5
EC-2
 PROJECT NO.: 26609



PATH: V:\01\NISA\Civil_3D Projects\19675-ANR\Source Drawings\



SCALE: 1" = 40'

THE UNITED STATES OF AMERICA
DEED BOOK 5912 PAGE 595
TAX MAP 305 PARCEL 11

USA EASEMENT
2110-E-3
AREA = 4.2± ACRES
DEED BOOK 5779 PAGE 406



LOCUS MAP SCALE: 1" = 1500'

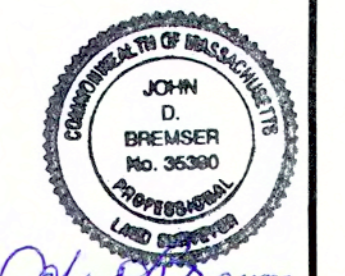
SITE ADDRESS:
**#100 & #200
FINANCIAL PARK**
(F/K/A 431 WASHINGTON ST.)
Franklin, Massachusetts

PREPARED FOR:
**BERKELEY PARTNERS
GROUP, LLC**

**HANCOCK
ASSOCIATES**

Civil Engineers
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315 Elm Street, Marlborough, MA 01752
Voice (508) 460-1111, Fax (508) 460-1121
www.hancockassociates.com



NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
10	CJC	JDB	5/5/23	ADD WATER LINE
9	CJC	JDB	4/17/23	GENERAL REVISIONS
8	CJC	JDB	4/4/23	GENERAL REVISIONS
7	CJC	JDB	3/17/23	GENERAL REVISIONS
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4	CJC	JDB	1/24/23	GENERAL REVISIONS
1	CJC	JDB	11/2/22	GENERAL REVISIONS

DATE: 10/24/22 DRAWN BY: CMC
SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED
EXISTING CONDITIONS
PLAN OF LAND
IN
FRANKLIN, MA**

PLOT DATE: May 05, 2023 3:42 pm

DWG: 26609-LIM-EC-LOT-5AB-2023-04-26

LAYOUT: EC-3

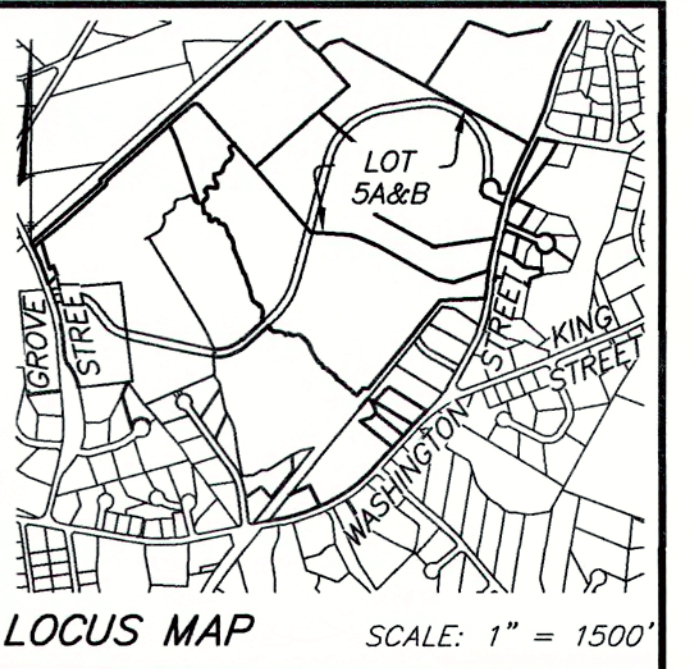
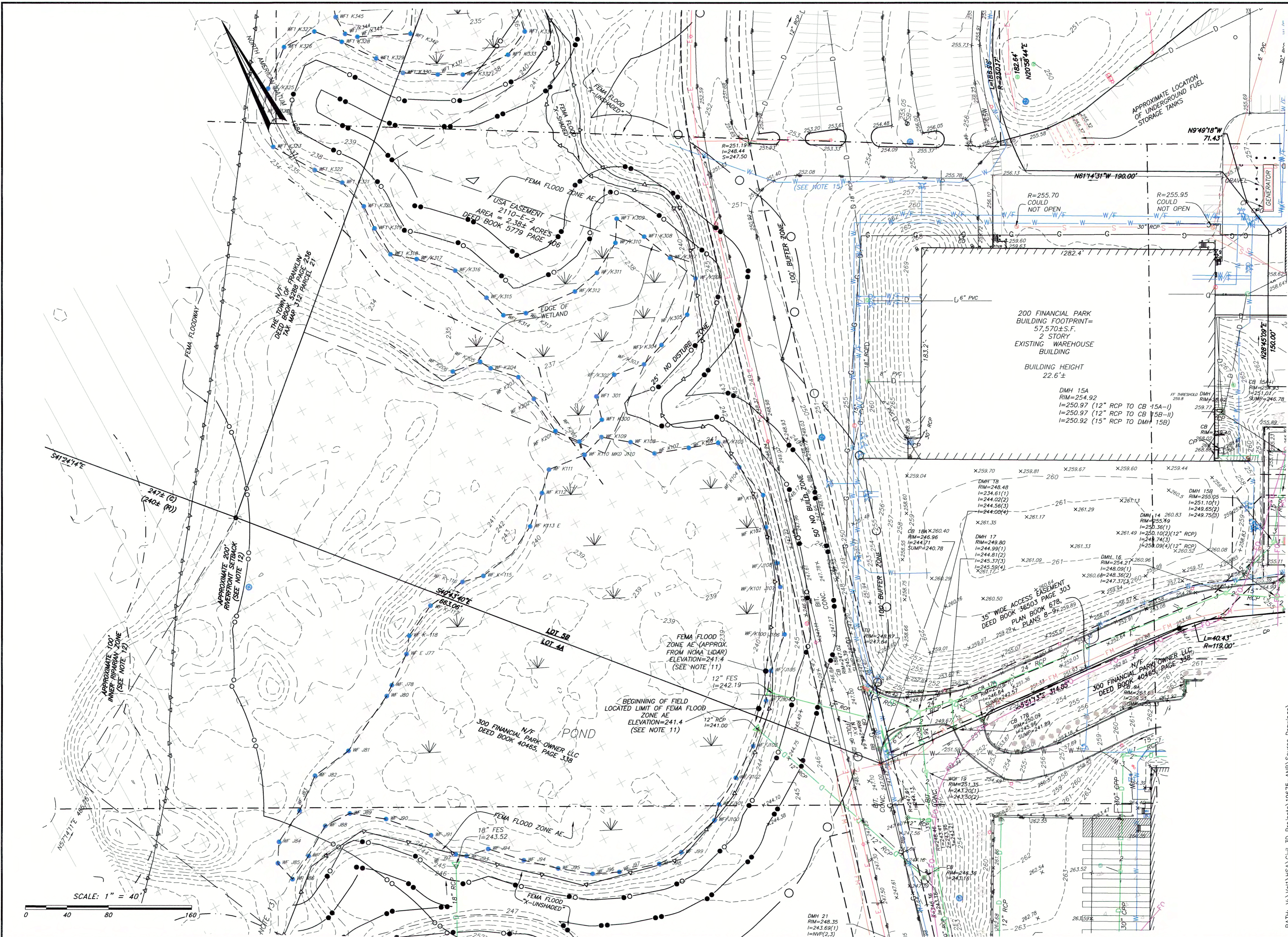
SHEET: 4 OF 5

PROJECT NO.: 26609

LOT 5A
AREA=1,404,339± S.F.
32.2392± ACRES

UPLAND AREA
1,159,939± S.F.
WETLAND AREA
244,395± S.F.

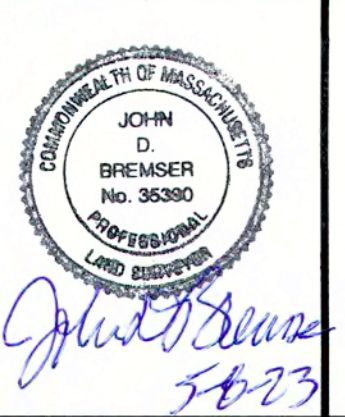
EC-3



SITE ADDRESS:
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 (F/K/A 431 WASHINGTON ST.)
 Franklin, Massachusetts

PREPARED FOR:
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1	CMC	JDB	11/2/22	GENERAL REVISIONS

DATE: 10/25/22 DRAWN BY: CMC
 SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED
 EXISTING CONDITIONS
 PLAN OF LAND
 IN
 FRANKLIN, MA**
 PLOT DATE: May 05, 2023 3:40 pm
 DWG: 26609-LIM-EC-LOT-5A&B-2023-04-26
 LAYOUT: EC-4
 SHEET: 5 OF 5
EC-4
 PROJECT NO.: 26609

PATH: V:\011\USA\Civil_3D Projects\19675-ANR Source Drawings

GENERAL NOTES

THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE ANY AND ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION. THESE SHALL INCLUDE SIGNS, BARRICADES, FENCES, POLICE OFFICERS, ETC. AS IS NECESSARY, OR AS DIRECTED BY THE PUBLIC AUTHORITIES AND THE OWNER. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.

THE EXISTING SITE CONDITIONS SHOWN ON THESE PLANS WERE DETERMINED BY A FIELD SURVEY AND COMPILED INTO PLANS OF RECORD. ANY VARIATIONS FROM THE CONDITIONS SHOWN ON THESE PLANS SHOULD BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE PROPOSED WORK.

UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SPECIFICATIONS ALL SITE CONSTRUCTION MATERIALS AND METHODOLOGIES ARE TO CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION OR THE LATEST EDITION.

WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN THE STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INCLUDING (BUT NOT LIMITED TO) THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.

LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND SITE LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON DRAWINGS.

CONTRACTOR TO VERIFY UTILITY STUB LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.

ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.

ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.

ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO TOWN/CITY LOCAL STANDARD CONSTRUCTION REQUIREMENTS FOR THE INSTALLATION OF AND/OR REPAIR OF UNDERGROUND FACILITIES, EXCAVATIONS AND PAVING IN THE PUBLIC WAY.

IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL AND SHALL NOTIFY THE OWNER/ENGINEER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.

SEDIMENTATION/EROSION CONTROL NOTES

UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FELLING, CUTTING AND OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.

THE LOCATION OF EROSION CONTROL BARRIERS SHOWN ON DRAWINGS ARE INTENDED TO THE LOCATION OF EROSION CONTROL BARRIERS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE WARRANTED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.

THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.

AT THE END OF CONSTRUCTION, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED FROM THE SITE. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION CONTROLS UNTIL AUTHORIZED (IN WRITING) BY THE OWNER OR OWNER'S REPRESENTATIVE.

PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES AROUND DRAINAGE INLETS, MULCHING, AND PLANTING OF DISTURBED AREAS.

AN EROSION CONTROL BARRIER IS TO BE INSTALLED AT THE PROPOSED DOWN GRADIENT TOE OF SLOPE AT ALL LOCATIONS WHERE EARTHWORK IS PROPOSED.

DURING CONSTRUCTION THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF NECESSARY, TO ENSURE THAT NO SILT OR DEBRIS LEAVES THE SITE.

ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.

EXPOSED SLOPES GREATER THAN 50' IN LENGTH ARE TO HAVE CHECK DAMS, TERRACES AND/OR MULCHING INSTALLED. IN ORDER TO REDUCE EROSION AND TO ENHANCE SURFACE STABILIZATION, IF CHECK DAMS ARE USED, THEY SHOULD BE PLACED APPROXIMATELY 50' O/C PARALLEL WITH THE FACE OF THE SLOPE.

UNTIL DRIVEWAYS ARE PAVED, TEMPORARY DIKES ARE TO BE STAKED ACROSS DRIVEWAYS AS REQUIRED TO DIRECT RUNOFF WATER TO CATCH BASINS. SILT SCREENS ARE TO BE INSTALLED AT CATCH BASIN GRATES (SEE DETAIL) AND SUMPS OF BASINS ARE TO BE CLEANED AS NECESSARY TO PREVENT SILT FROM ENTERING THE SUBSURFACE DRAINAGE SYSTEM.

AFTER INSTALLATION OF EACH DRAINAGE INLET A HAY BALE DIKE SHALL BE INSTALLED AROUND THE INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.

AT THE END OF CONSTRUCTION ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS. EROSION CONTROL BARRIERS ARE TO BE REMOVED AND DISPOSED OF IN ACCORDANCE TO LOCAL REQUIREMENTS.

CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. ANY DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT LEFT IN A NATURAL CONDITION SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED.

AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT NATURAL. CARE SHALL BE TAKEN TO PRESERVE EXISTING TREES, GROUND COVER AND OTHER NATURAL FEATURES WHENEVER POSSIBLE.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL STATE AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED. ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.

ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF-SITE.

PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.

SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.

ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE DISPOSED OF ON-SITE AS DIRECTED BY OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.

ALL AREAS IDENTIFIED AS CRITICAL AREA SEEDING SHALL BE STABILIZED DURING CONSTRUCTION BY SEEDING WITH ANNUAL RYE GRASS AT THE RATE OF FORTY (40) LBS/ACRE.

DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.

EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING ENVIRONMENTALLY SENSITIVE OR JURISDICTIONAL RESOURCE AREAS.

ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.

LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.

ALL SLOPES WITH SURFACE GRADES STEEPER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.

CORR FIBER ROLLS, HAYBALES, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.

SITE LAYOUT AND MATERIALS NOTES

CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR OWNER'S REPRESENTATIVE FOR RESOLUTION.

ACCESSIBLE ROUTES, PARKING SPACES, RAMP SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

CROSSWALKS SHALL BE STRIPED WITH 12" WIDE LINES OF WHITE THERMO PLASTIC SPACED 3' ON CENTER. STOP LINES SHALL BE STRIPED WITH 12" WIDE LINES OF WHITE THERMO PLASTIC. ALL OTHER STRIPING SHALL BE 4" WIDE LINES OF THERMO PLASTIC IN COLORS INDICATED HEREON.

PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

ALL NEW CURBS SHALL BE VERTICAL GRANITE CURBING (VGC) WITH 6" REVEAL UNLESS OTHERWISE INDICATED HEREON. INSTALL 6" LONG TRANSITION CURB STONES AT ALL TRANSITIONS FROM VERTICAL TO FLUSH GRANITE.

EXISTING CURBS TO REMAIN AS SHOWN HEREON ARE ASSUMED TO BE IN SATISFACTORY CONDITION BUT ARE TO BE PARGED OR REPLACED IN KIND IN LOCATIONS OF DAMAGE.

INSTALL EXPANSION AND CONTROL JOINTS IN SIDEWALKS AT INTERVALS OF 5 FEET AND 25 FEET, RESPECTIVELY. PROVIDE BROOM FINISH IN TRANSVERSE DIRECTION ON ALL WALKS.

SIDEWALK WIDTHS INDICATED HEREON ARE MEASURED FROM BACK OF CURB TO BACK IF SIDEWALK 6" WIDTH OF CURBS NOT INCLUDED.

ALL CURB RADIUS DIMENSIONS SHOWN HEREON ARE MEASURED ALONG FACE OF CURB.

REFER TO LAYOUT PLAN FOR EXTENTS OF MILL AND OVERLAY AND FULL DEPTH PAVEMENT CONSTRUCTION AND PATCHING WHERE APPLICABLE.

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE LOCAL REQUIREMENTS AND SPECIFICATIONS.

ALL ACCESSIBLE ROUTES, RAMP AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL, UNLESS OTHERWISE NOTED ON THE PLAN:

DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.

DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.

DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.

ALL LINES AND DIMENSIONS AND TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

ALL CONCRETE WORK SHALL COMPLY WITH AC308, "SPECIFICATION FOR STRUCTURAL CONCRETE;" AND AC318, UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRSIS "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 308.1 FOR COLD WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 308 FOR HOT WEATHER PROTECTION DURING CURING. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."

SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.

CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.

OUT OF FUNCTION OR SCREENED IMAGES REPRESENT EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPACTED BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

GRADING NOTES

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER OR HIS REPRESENTATIVE.

ALL STUMPS, PEAT, CONSTRUCTION DEBRIS AND OTHER DELETERIOUS MATERIALS ON THE SITE AT THE TIME OF CONSTRUCTION ARE TO BE REMOVED FROM THE SITE TO AN APPROVED LANDFILL. NO SUCH MATERIALS ARE TO BE BURIED OR OTHERWISE DISPOSED OF ON THE SITE. MATERIAL FOR BACKFILL SHALL NOT INCLUDE UNSUITABLE MATERIAL SUCH AS PEAT, TRASH, STUMPS, DEBRIS OR HAZARDOUS WASTE.

FILL MATERIAL SHALL BE AS SPECIFIED BY THE ARCHITECT/ENGINEER AND SELECTED FROM ON-SITE EXCAVATION MATERIAL WHERE POSSIBLE.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS. PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN.

CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.

THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURBS MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.

PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE OWNER OR HIS REPRESENTATIVE PRIOR TO CONTINUING WORK.

ACCESSIBLE CURB RAMP, RAMP, LANDINGS, WALKWAYS, CROSSWALKS, PATIOS/PLAZAS AND PARKING AREAS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY REQUIREMENTS. WALKWAY AND CROSSWALK ALONG ACCESSIBLE ROUTE(S) SHALL HAVE 5% MAX. LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. LANDINGS, PATIOS/PLAZAS, AND ACCESSIBLE PARKING SPACES SHALL BE 2% MAX IN ALL DIRECTIONS. RAMP SHALL BE 8.3% MAXIMUM.

A GEOTECHNICAL ENGINEER MAY BE RETAINED BY THE OWNER TO OBSERVE PERFORMANCE OF WORK, FOR CONFORMANCE WITH THESE CONTRACT DOCUMENTS, IN CONNECTION WITH EXCAVATING, TRENCHING, FILLING, BACKFILLING AND GRADING, AND TO PERFORM ASSOCIATED FIELD TESTS.

DURING THE PROGRESS OF THE WORK, THE CONTRACTOR MAY BE REQUIRED TO EXCAVATE ADDITIONAL TEST PITS FOR THE PURPOSE OF LOCATING UNDERGROUND UTILITIES OR STRUCTURES AS AN AID IN ESTABLISHING THE PRECISE LOCATION OF NEW WORK. THIS WORK IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. TEST PITS SHALL BE BACKFILLED, AS SOON AS THE DESIRED INFORMATION HAS BEEN OBTAINED.

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY CONTRACTOR OPERATIONS.

STOCKPILED TOPSOIL SHALL BE PLACED NEATLY IN AN AREA INDICATED BY THE OWNER.

EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.

FILL DEPRESSIONS CAUSED BY TEST PITS AND CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED.

THE CONTRACTOR SHALL PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS OR EARTHWORK AREAS WHICH WOULD CAUSE FLOODING OF THE PROJECT SITE AND SURROUNDING AREA, OR SOFTENING OR LOOSENING OF THE SOIL AT EXCAVATION OR EARTHWORK SUB-GRADES.

THE CONTRACTOR SHALL PROVIDE, INSTALL, OPERATE, MAINTAIN AND REMOVE ADEQUATE AND SATISFACTORY DEWATERING SYSTEMS AND DRAINAGE OF EXCAVATIONS TO PERMIT CONSTRUCTION TO PROCEED "IN THE DRY". THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ADEQUACY OF THE METHODS, MATERIALS AND EQUIPMENT EMPLOYED. THE CONTRACTOR SHALL BEAR THE FULL COST OF PROVIDING ALL NECESSARY DEWATERING.

THE CONTRACTOR SHALL PROHIBIT SEEPAGE, GROUNDWATER FLOW OR SURFACE INFILTRATION AND RUNOFF FROM UNDERMINING OR OTHERWISE DAMAGING ADJACENT STRUCTURES AND UTILITIES.

PAVING, CONCRETE WORK AND BASE COURSE PREPARATION SHALL BE DONE ONLY AFTER EXCAVATION AND CONSTRUCTION WORK WHICH MIGHT INJURE THEM HAS BEEN COMPLETED. DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPAIRED BEFORE ACCEPTANCE.

PAVEMENT OR BASE MATERIALS SHALL NOT BE PLACED ON A MUDDY OR FROZEN SUBGRADE.

ESTABLISHMENT OF GRADES, GRADE CONTROL, AND CONFORMANCE TO REQUIRED GRADE TOLERANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PROTECT GRADED, FINISHED OR PAVED AREAS FROM DAMAGE AND KEEP THEM FREE OF TRASH AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS.

PAVEMENT, LAWN OR PLANTING AREAS EXCAVATED DURING UTILITY CONSTRUCTION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RESTORED AND MATCHED WITH EXACTLY THE SAME MATERIALS AND TOLERANCES AS PRIOR TO DISRUPTION, AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.

DRAINAGE NOTES

ALL STORM DRAIN SHALL BE REINFORCED CONCRETE PIPE (RCP) PIPE UNLESS OTHERWISE NOTED. INSTALLATION OF ALL UTILITY STRUCTURES SHALL CONFORM TO MANUFACTURERS RECOMMENDATION.

REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM DESIGNATION C-76, CLASS III, REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM DESIGNATION C-76, CLASS III, WALL B WITH JOINTS AND GASKETS IN CONFORMANCE WITH ASTM C 443.

MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.

FRAMES AND COVERS FOR DRAINAGE STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM FRAMES AND COVERS FOR DRAINAGE STRUCTURES SHALL PROVIDE A 24-INCH DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.

MINIMUM CLEAR OPENING AND SHALL BE LEBARON TYPE LK110 OR APPROVED EQUAL.

SINGLE CATCHBASIN FRAMES AND GRATES SHALL BE LEBARON TYPE LF 248-2 OR AS SINGLE CATCHBASIN FRAMES AND GRATES SHALL BE LEBARON TYPE LF 248-2 OR AS REQUIRED BY TOWN OF WELLESLEY DPW.

DOUBLE CATCH BASIN FRAMES SHALL BE LEBARON ONE-PIECE LV248-1 FRAMES OR DOUBLE CATCH BASIN FRAMES SHALL BE LEBARON ONE-PIECE LV248-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LEBARON TYPE LF 248-2 OR APPROVED EQUAL.

FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.

ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED.

PRE-CAST CONCRETE STRUCTURES INCLUDING TANKS, BARREL SECTIONS, CATCHBASINS AND BASES SHALL CONFORM TO ASTM C478 AND AASHTO HS20-44. PLACEMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. ALL PRE-CAST STRUCTURES INCLUDING JOINTS, SEALS, OPENINGS, ETC. MUST BE WATERTIGHT.

AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SUMPS OF ALL CATCH BASINS AND THE INVERTS OF ALL DRAIN MANHOLES.

ALL DRAIN LINES SHOWN SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED.

UTILITY NOTES

THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON EXISTING CONDITIONS PLANS AND POTENTIALLY INFORMATION PROVIDED BY THE LOCAL MUNICIPALITIES. ADDITIONAL INFORMATION MAY BE SUPPLEMENTED BY FIELD INVESTIGATIONS WHENEVER POSSIBLE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK. THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ARCHITECT FOR RESOLUTION.

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE AND ASSUMED.

ALL PVC SANITARY SEWER SHALL BE SDR 35 WITH RUBBER RING JOINTS.

REFER TO PLUMBING PLANS FOR EXACT SIZE AND LOCATION OF SANITARY CONNECTIONS.

THE LOCAL MUNICIPAL WATER AND FIRE DEPARTMENTS SHALL BE NOTIFIED PRIOR TO THE START OF ANY WORK ON THE WATER SYSTEM.

THE PROPOSED WATER MAIN IS TO BE CL 52 CLDI. ALL FITTINGS, HYDRANTS, VALVES, ETC., USED ON THE SITE ARE TO BE IN ACCORDANCE WITH THE LOCAL UNICAL WATER DEPARTMENT SPECIFICATIONS.

HYDRANTS AND MINIMUM SIZING OF WATER PIPES SHALL BE SUBJECT TO THE APPROVAL OF THE (TOWN/CITY) FIRE CHIEF.

THE CONTRACTOR SHALL NOTIFY THE LOCAL MUNICIPAL DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.

UNDERGROUND INFRASTRUCTURE LOCATED IN THE PUBLIC WAY SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL MUNICIPAL DEPARTMENT OF PUBLIC WORKS.

NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS SHALL BE LEFT WITHIN 6" OF THE WATER AND SEWER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12' ABOVE THE PIPES.

THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK PSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.

EXCAVATION SHALL BE TO THE LINES AND ELEVATIONS AS SHOWN ON THE PLANS.

ALL MATERIALS FOR INSTALLATION OF WATER, SEWER, DRAIN, GAS, DATA/ELECOM, AND ELECTRICITY SHALL BE IN ACCORDANCE WITH LOCAL STATE AND UTILITY COMPANY STANDARDS AND REGULATIONS AS THEY APPLY.

ALL BENDS, TEES, VALVES, AND HYDRANTS ARE TO BE SECURED BY MEANS OF THREADED TIE RODS.

THREE CUBIC FEET OF CRUSHED STONE IS TO BE PLACED AROUND THE DRAIN HOLE IN ALL HYDRANTS. HYDRANTS ARE TO CONFORM TO THE (TOWN/CITY) OF (TOWN/CITY) STANDARD SPECIFICATIONS.

UNLESS OTHERWISE NOTED ALL UTILITY TRENCHES ARE TO BE BACKFILLED WITH BANK RUN GRAVEL, NO STONES GREATER THAN 3" IN DIAMETER ARE TO BE USED WITHIN 12" OF THE PIPES, THE TRENCHES, WHEN UNDER PROPOSED PAVED AREAS, ARE TO BE MECHANICALLY COMPACTED IN 12' LIFTS.

NO LEDGE, BOULDERS OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER MAIN IN THE TRENCH NOR ARE THEY TO BE USED FOR BACKFILL IN THE TRENCH.

THE SITE CONTRACTOR IS TO INSTALL A GAS SERVICE IN THE APPROXIMATE LOCATION SHOWN ON THE PLANS. THE SIZE AND EXACT LOCATION OF THE SERVICE IS TO BE DETERMINED AND COORDINATED WITH THE PLUMBING PLANS AND ALL EARTHEN PERIMETER SIDE SLOPES THAT ARE GRADED AND ARE NOT SCHEDULED FOR PERMANENT STABILIZATION WITHIN 30 DAYS OF COMPLETION ARE TO BE COVERED WITH HAY OR WOOD CHIP MULCH. BIODEGRADABLE EROSION CONTROL FABRIC OR HYDROSEEDING WITH A TEMPORARY GRASS MIXTURE IF WEATHER CONDITIONS WILL BE CONDUCIVE TO GERMINATION OF THE SEED.

THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ARCHITECT FOR RESOLUTION.

BEFORE COMMENCING SITE WORK IN ANY AREA, CONTRACTOR SHALL CONTACT "DIG SAFE" AT 1-888-DIG-SAFE, 811 OR WWW.DIGSAFE.COM 72 WORKING HOURS IN ADVANCE TO ACCURATELY LOCATE UNDERGROUND UTILITIES. IN ADDITION, CONTRACTOR SHALL CONTACT OTHER MUNICIPAL OFFICIALS SUCH AS WATER AND SEWER IF APPLICABLE.

ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES ARE APPROXIMATE.

CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO OWNER. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE.

EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.

PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTS AS APPROPRIATE.

ENSURE ALL EXISTING (TO REMAIN) AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVED.

UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.

REFER TO ELECTRICAL DRAWINGS FOR ALL SITE ELECTRICAL WORK.

THE CONTRACTOR SHALL COLLECT AND DISPOSE OF WATER FROM ALL SYSTEMS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS AND OBTAIN ALL NECESSARY PERMITS.

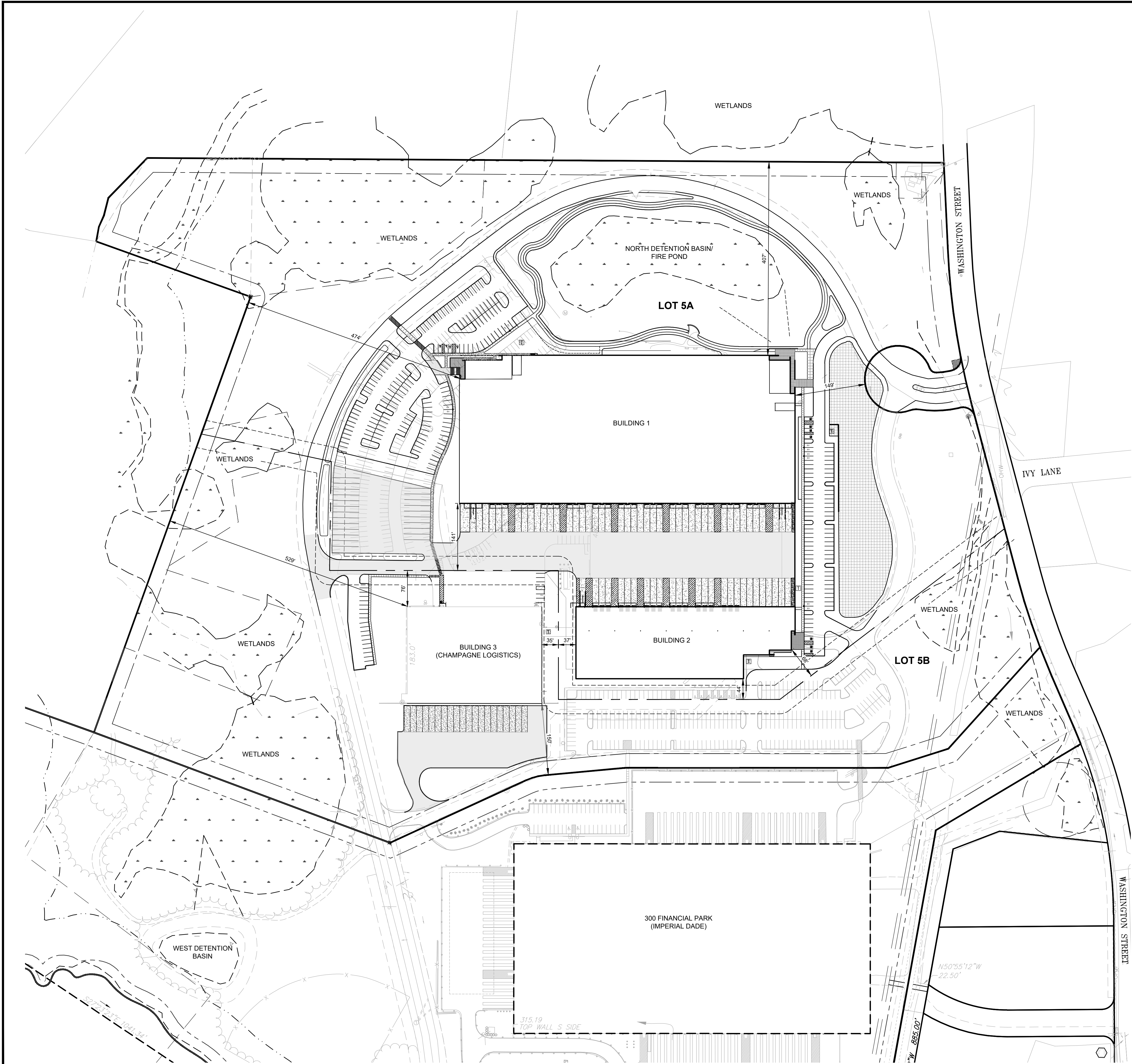
ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO HAYBALE CORRALS OR SEDIMENTATION BAGS.



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COMPLIANCE SUMMARY - BUILDING AND SITE DIMENSIONAL REQUIREMENTS

ZONING DISTRICT: INDUSTRIAL (I)
 OVERLAY DISTRICT: WATER RESOURCE DISTRICT

CRITERIA	REQUIRED	LOT 5A	LOT 5B	COMPLIANCE
LOT AREA	40,000 SF	34.13 +/- AC	16.93 +/- AC	YES
FRONTAGE	175 FT	890 ± FT	280 ± FT	YES
FRONT YARD SETBACK	40 FT	149 FT	>40 FT	YES
SIDE YARD SETBACK	30 FT	44 FT	76 FT	YES
REAR YARD SETBACK	30 FT	474 FT	529 FT	YES
MAXIMUM BLDG. HEIGHT	3 STORIES	≤ 2 STORIES	≤ 2 STORIES	YES
WETLAND AREA	---	223,660 SF	139,402 SF	---
UPLAND AREA	---	1,263,222 SF	598,162 SF	---
IMPERVIOUS COVERAGE	80%	51%	46%	YES
BUILDING COVERAGE	70%	22%	10%	YES
LOT WIDTH	200 FT	>200 FT	>200 FT	YES
LOT DEPTH	157.5 FT	>157.5 FT	>157.5 FT	YES

- NOTES:**
- IMPERVIOUS COVERAGE PERCENTAGE IS CALCULATED AS IMPERVIOUS AREA / UPLAND AREA AS DEFINED IN THE FRANKLIN ZONING BYLAW.
 - BUILDING COVERAGE PERCENTAGE IS CALCULATED AS BUILDING FOOTPRINT AREA / UPLAND AREA AS DEFINED IN THE FRANKLIN ZONING BYLAW.
 - PARCELS 5A & 5B SHALL BE RECONFIGURED TO MAINTAIN ZONING COMPLIANCE FOR THE DEVELOPMENT PLAN. APPROVAL OF AN ANR PLAN BY THE PLANNING BOARD IS REQUIRED.

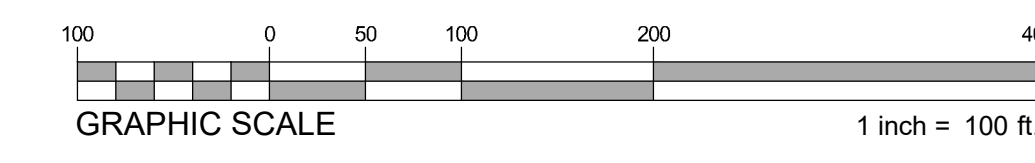
PARKING SUMMARY

	GROSS FLOOR AREA	REQUIRED	PROVIDED
BUILDING 1			
PROPOSED WAREHOUSE	220,000 GSF ±	220 SP.	-
BUILDING 2			
PROPOSED WAREHOUSE	65,000 GSF ±	65 SP.	-
BUILDING 3			
EXISTING WAREHOUSE	65,000 GSF ±	65 SP.	-
PROPOSED TOTAL	350,000 GSF ±	350 SP.	262 SP.

VEHICULAR PARKING REQUIREMENTS

DESCRIPTION	CALCULATION
OFFICE SPACE	1 PARKING SPACE PER 250 GSF
WAREHOUSE	1 PARKING SPACE PER 1,000 GSF

- NOTES:**
- A PARKING WAIVER IS REQUIRED FROM THE FRANKLIN PLANNING BOARD.



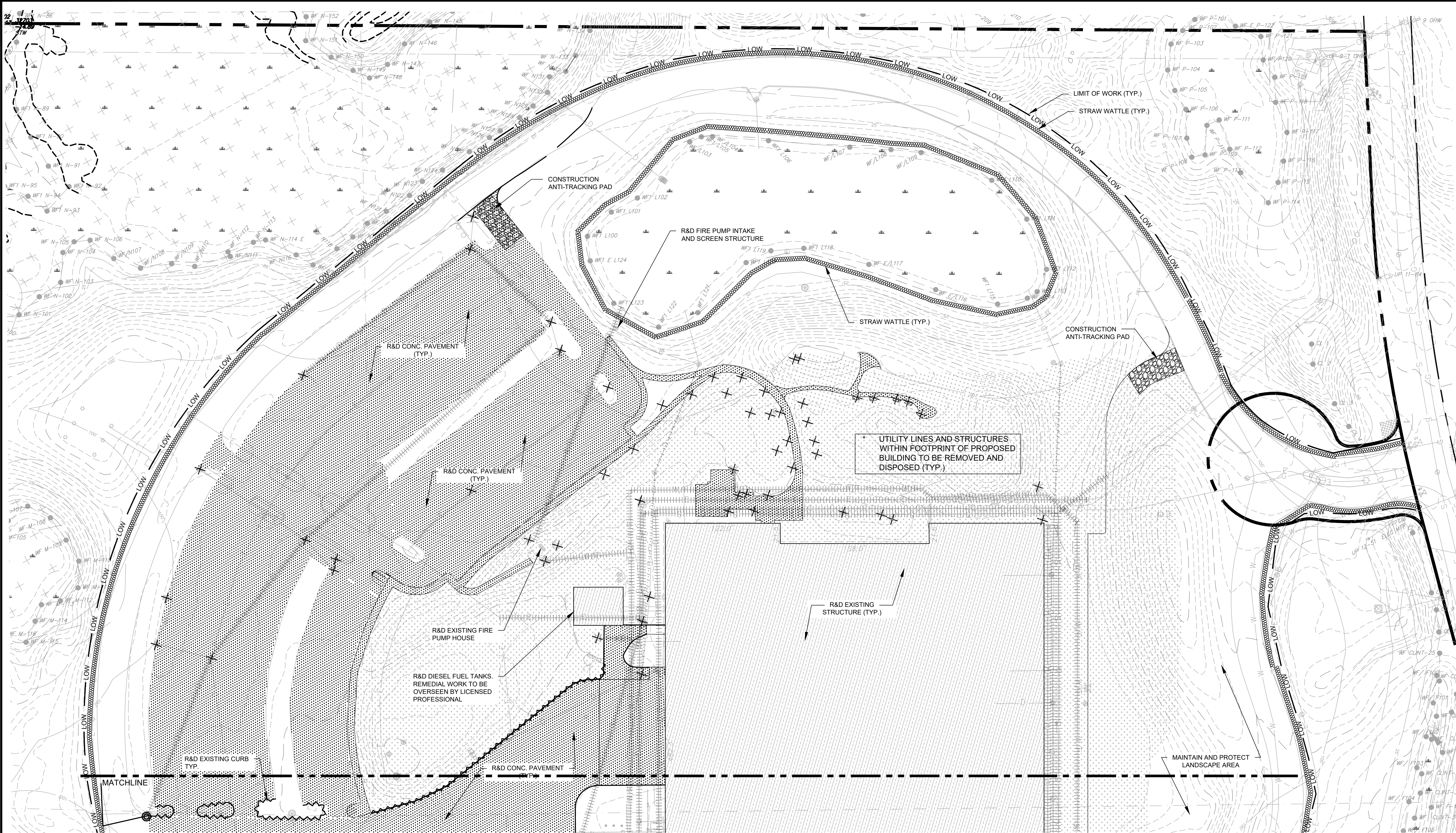
REV DATE DESCRIPTION

ISSUE TYPE:
 PERMIT SET
 ISSUE DATE:
 05/11/2023
 PROJECT NUMBER:
 22051

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SHEET TITLE:
SITE CONFORMANCE PLAN

SHEET NUMBER:
C100



- NOTE:
- SEE SHEET G100 FOR GENERAL SOIL EROSION AND SEDIMENTATION CONTROL & SITE PREPARATION NOTES
 - ALL SLOPES WITH A GRADE OF 3:1 (H:V, 33.3%) OR STEEPER, ARE TO BE TREATED WITH JUTE MESH FOR STABILIZATION CONTROL. (TYP.) REFER TO DETAIL
 - NO DISCHARGES FROM TEMPORARY SEDIMENTATION BASINS ARE TO BE CONNECTED TO THE MUNICIPAL STORM WATER SYSTEM.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION, ANY RELOCATED AND RECONSTRUCTED EXISTING PUBLIC WATER AND SEWER UTILITIES THAT RUN THROUGH THE SITE SHALL BE COORDINATED WITH FRANKLIN UTILITIES.
 - BUILDING DEMOLITION AND ANY REQUIRED ABATEMENT SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED SITE PROFESSIONAL IN ACCORDANCE WITH MASSACHUSETTS STATE LAWS.

SYMBOL LEGEND			
	STRAW WATTLE EROSION CONTROL BARRIER	M&P	MAINTAIN AND PROTECT
	SILTSACK CATCH BASIN INSERT	R&D	REMOVE AND DISPOSE
	CONSTRUCTION ANTI-TRACKING PAD		DENOTES TREE TO BE REMOVED
	R&D EXISTING UTILITY LINE		
	R&D EXISTING CURB		
	R&D EXISTING STRUCTURE		
	R&D PAVEMENT/CONCRETE AND GRAVEL BASE LAYER		
	STRIP LOAM AND STOCKPILE ON SITE		
	SEAL COAT CRACKS & PATCH		
	REMOVE & DISPOSE EXISTING OBJECT		



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 BOSTON, MA 02108
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CLIENT:
 Berkeley Partners
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 BOSTON, MA 02108

CONSULTANT:
 (Blank)



5-11-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT

100/200 FINANCIAL PARK
 FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

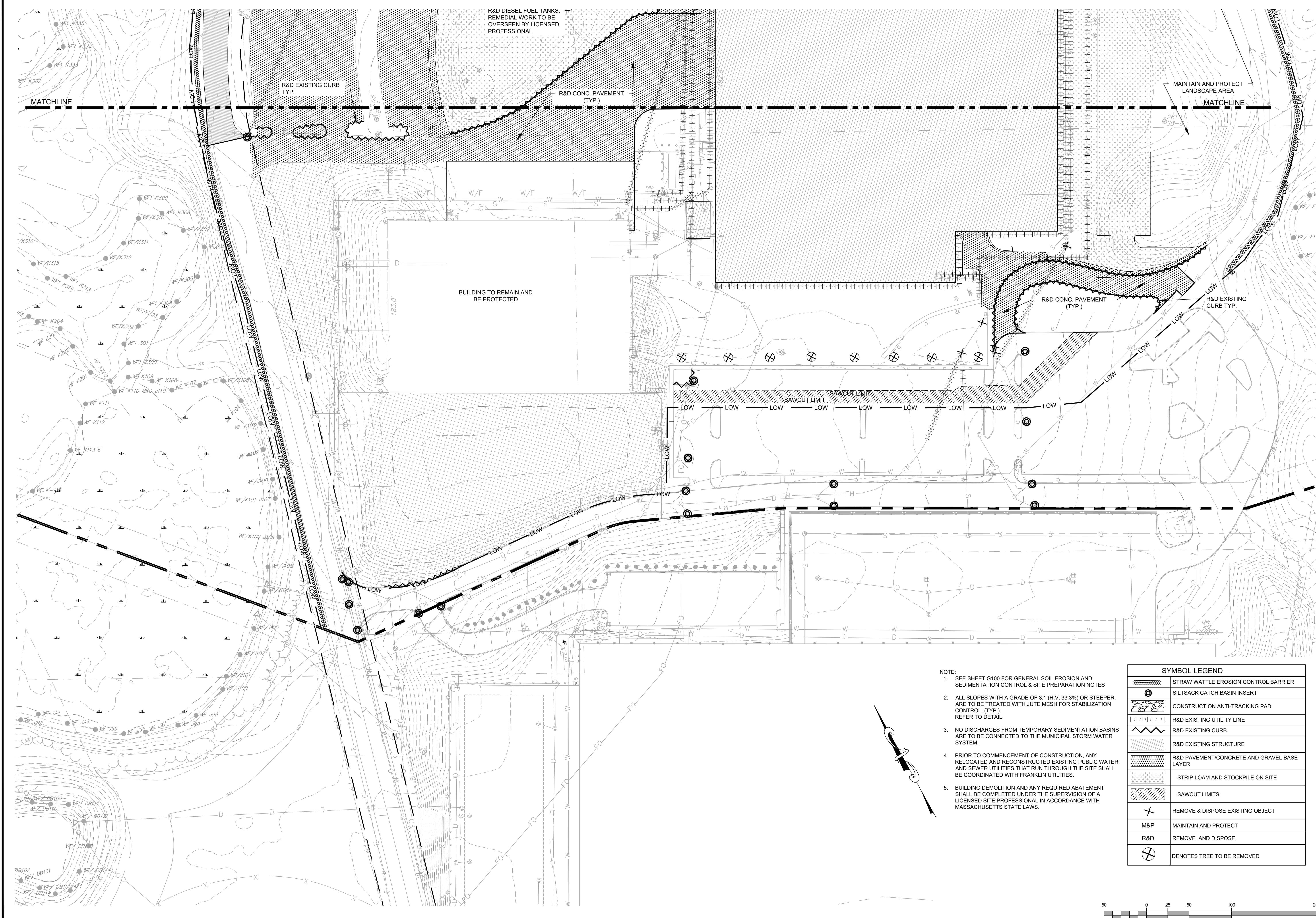
REV	DATE	DESCRIPTION

ISSUE TYPE:
 PERMIT SET
 ISSUE DATE:
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 PROJECT NUMBER:
 22051

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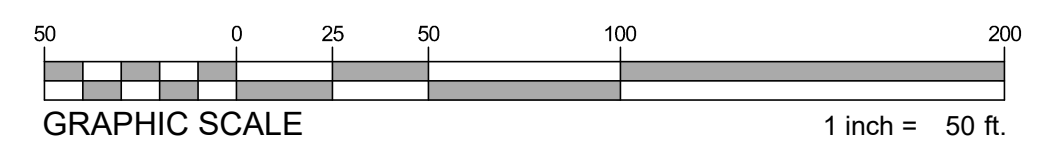
SHEET TITLE:
SITE PREPARATION & EROSION CONTROL PLAN

SHEET NUMBER:
C200



- NOTE:
- SEE SHEET G100 FOR GENERAL SOIL EROSION AND SEDIMENTATION CONTROL & SITE PREPARATION NOTES
 - ALL SLOPES WITH A GRADE OF 3:1 (H.V. 33.3%) OR STEEPER, ARE TO BE TREATED WITH JUTE MESH FOR STABILIZATION CONTROL. (TYP.) REFER TO DETAIL
 - NO DISCHARGES FROM TEMPORARY SEDIMENTATION BASINS ARE TO BE CONNECTED TO THE MUNICIPAL STORM WATER SYSTEM.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION, ANY RELOCATED AND RECONSTRUCTED EXISTING PUBLIC WATER AND SEWER UTILITIES THAT RUN THROUGH THE SITE SHALL BE COORDINATED WITH FRANKLIN UTILITIES.
 - BUILDING DEMOLITION AND ANY REQUIRED ABATEMENT SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED SITE PROFESSIONAL IN ACCORDANCE WITH MASSACHUSETTS STATE LAWS.

SYMBOL LEGEND	
	STRAW WATTLE EROSION CONTROL BARRIER
	SILTSACK CATCH BASIN INSERT
	CONSTRUCTION ANTI-TRACKING PAD
	R&D EXISTING UTILITY LINE
	R&D EXISTING CURB
	R&D EXISTING STRUCTURE
	R&D PAVEMENT/CONCRETE AND GRAVEL BASE LAYER
	STRIP LOAM AND STOCKPILE ON SITE
	SAWCUT LIMITS
	REMOVE & DISPOSE EXISTING OBJECT
	M&P MAINTAIN AND PROTECT
	R&D REMOVE AND DISPOSE
	DENOTES TREE TO BE REMOVED



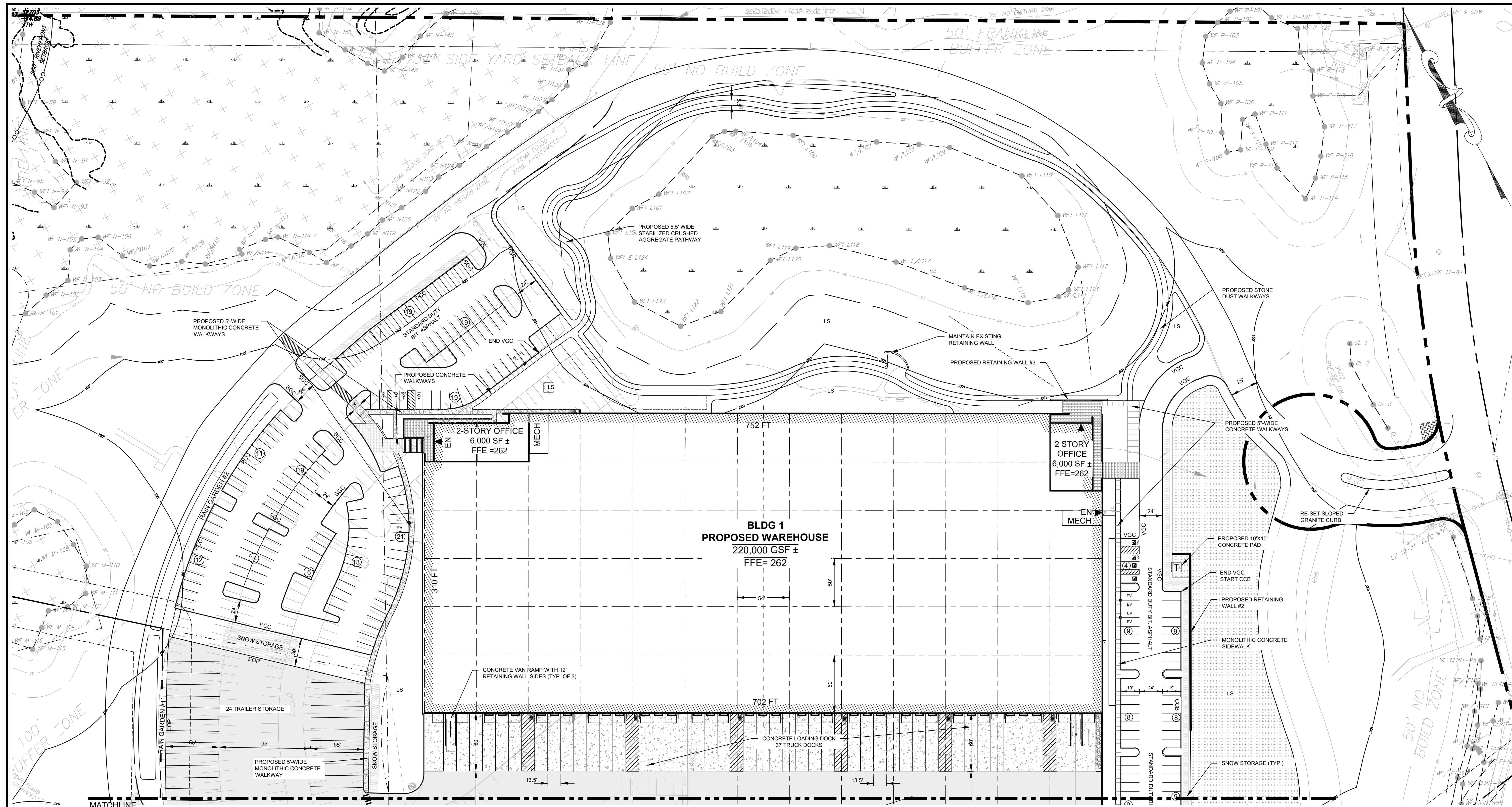
REV	DATE	DESCRIPTION

ISSUE TYPE:
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ISSUE DATE:
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PROJECT NUMBER:
22051

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SHEET TITLE:
SITE PREPARATION & EROSION CONTROL PLAN

SHEET NUMBER:
C201

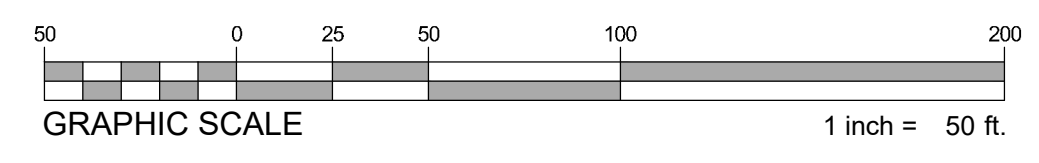


5-11-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT
 100/200 FINANCIAL PARK
 FRANKLIN, MA
 OWNER/APPLICANT: BERKELEY PARTNERS

SYMBOL LEGEND	
EOP	EDGE OF PAVEMENT
CCB	CAPE COD BERM
PCC	PRECAST CONCRETE CURB
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
(14)	PARKING SPACE COUNT
[Hatched]	PATCH, CRACK SEAL, AND SEALCOAT EXISTING BIT. CONC.
[Dotted]	PROPOSED HEAVY DUTY BIT. CONC.
[Cross-hatched]	PROPOSED BIT. CONC.
[Stippled]	PROPOSED CONCRETE
LS	PROPOSED LANDSCAPE
EN	PROPOSED BUILDING EGRESS
RW	PROPOSED RETAINING WALL
[Square with T]	PROPOSED ELECTRICAL PADS
[Square with A]	PROPOSED ACCESSIBLE STALL

- NOTES**
- PROPOSED RETAINING WALLS SHALL MATCH EXISTING SEGMENTAL RETAINING WALL SYSTEM ON SITE. USE STONE STRONG SEGMENTAL RETAINING WALL SYSTEM OR EQUAL.
 - PROPOSED DRIVEWAYS AND PARKING AREAS SHALL BE CONSTRUCTED WITH STANDARD DUTY PAVEMENT SYSTEM UNLESS OTHERWISE DEPICTED ON THIS PLAN.



REV	DATE	DESCRIPTION

ISSUE TYPE:
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 ISSUE DATE:
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 PROJECT NUMBER:
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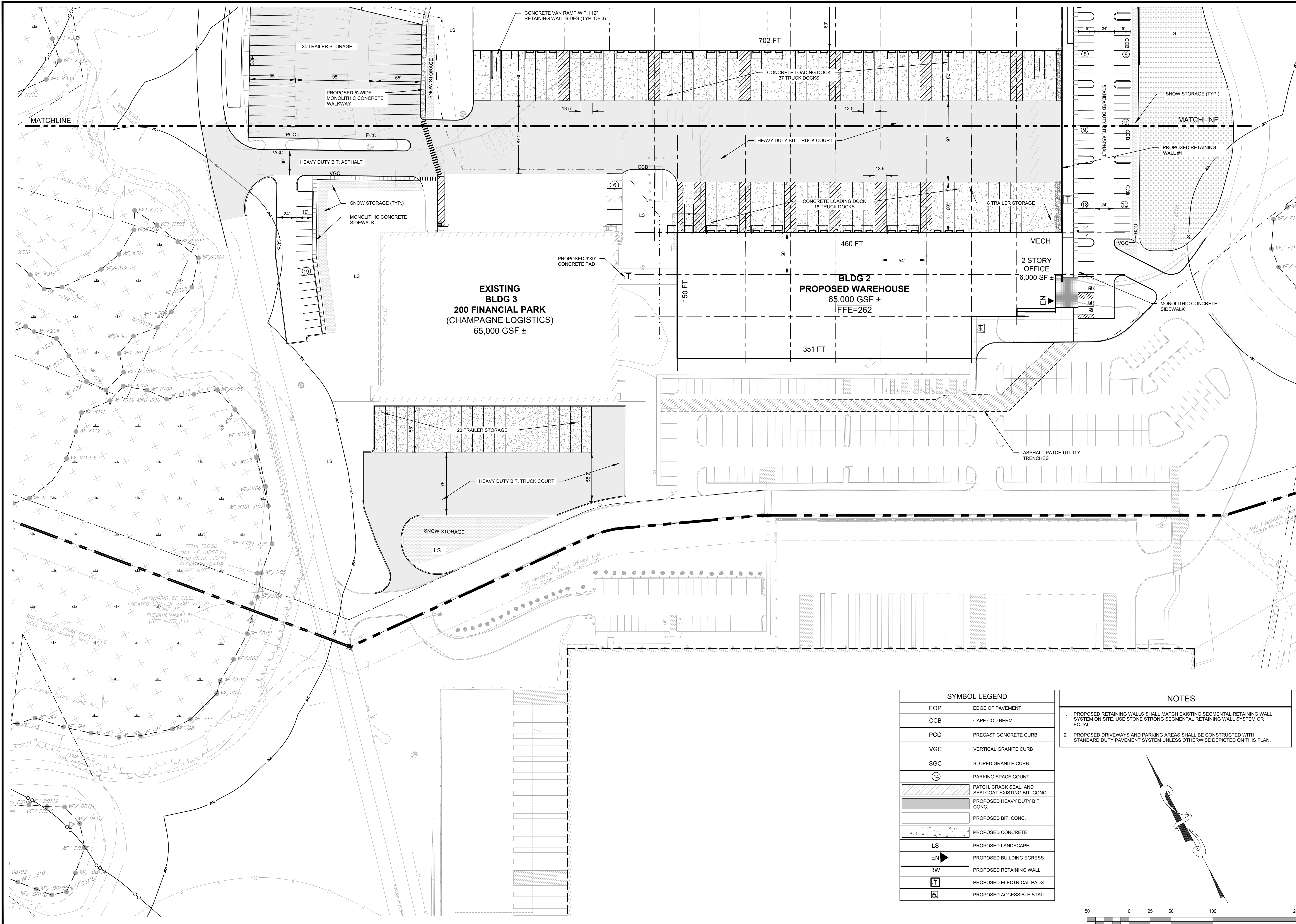
LAYOUT & MATERIALS PLAN

SHEET NUMBER:
C300

WAREHOUSE/INDUSTRIAL DEVELOPMENT

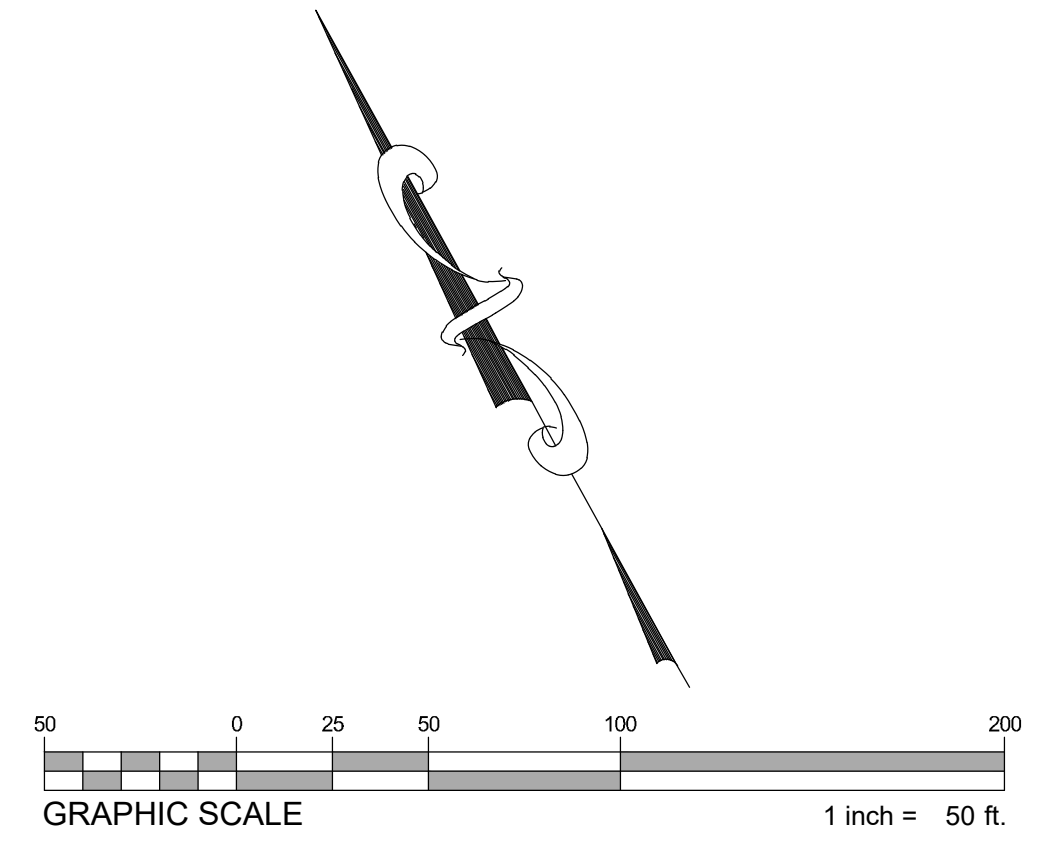
100/200 FINANCIAL PARK
 FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS



SYMBOL LEGEND	
EOP	EDGE OF PAVEMENT
CCB	CAPE COD BERM
PCC	PRECAST CONCRETE CURB
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
(14)	PARKING SPACE COUNT
	PATCH, CRACK SEAL AND SEALCOAT EXISTING BIT. CONC.
	PROPOSED HEAVY DUTY BIT. CONC.
	PROPOSED BIT. CONC.
	PROPOSED CONCRETE
LS	PROPOSED LANDSCAPE
EN	PROPOSED BUILDING EGRESS
RW	PROPOSED RETAINING WALL
T	PROPOSED ELECTRICAL PADS
	PROPOSED ACCESSIBLE STALL

- NOTES**
- PROPOSED RETAINING WALLS SHALL MATCH EXISTING SEGMENTAL RETAINING WALL SYSTEM ON SITE. USE STONE STRONG SEGMENTAL RETAINING WALL SYSTEM OR EQUAL.
 - PROPOSED DRIVEWAYS AND PARKING AREAS SHALL BE CONSTRUCTED WITH STANDARD DUTY PAVEMENT SYSTEM UNLESS OTHERWISE DEPICTED ON THIS PLAN.



REV	DATE	DESCRIPTION

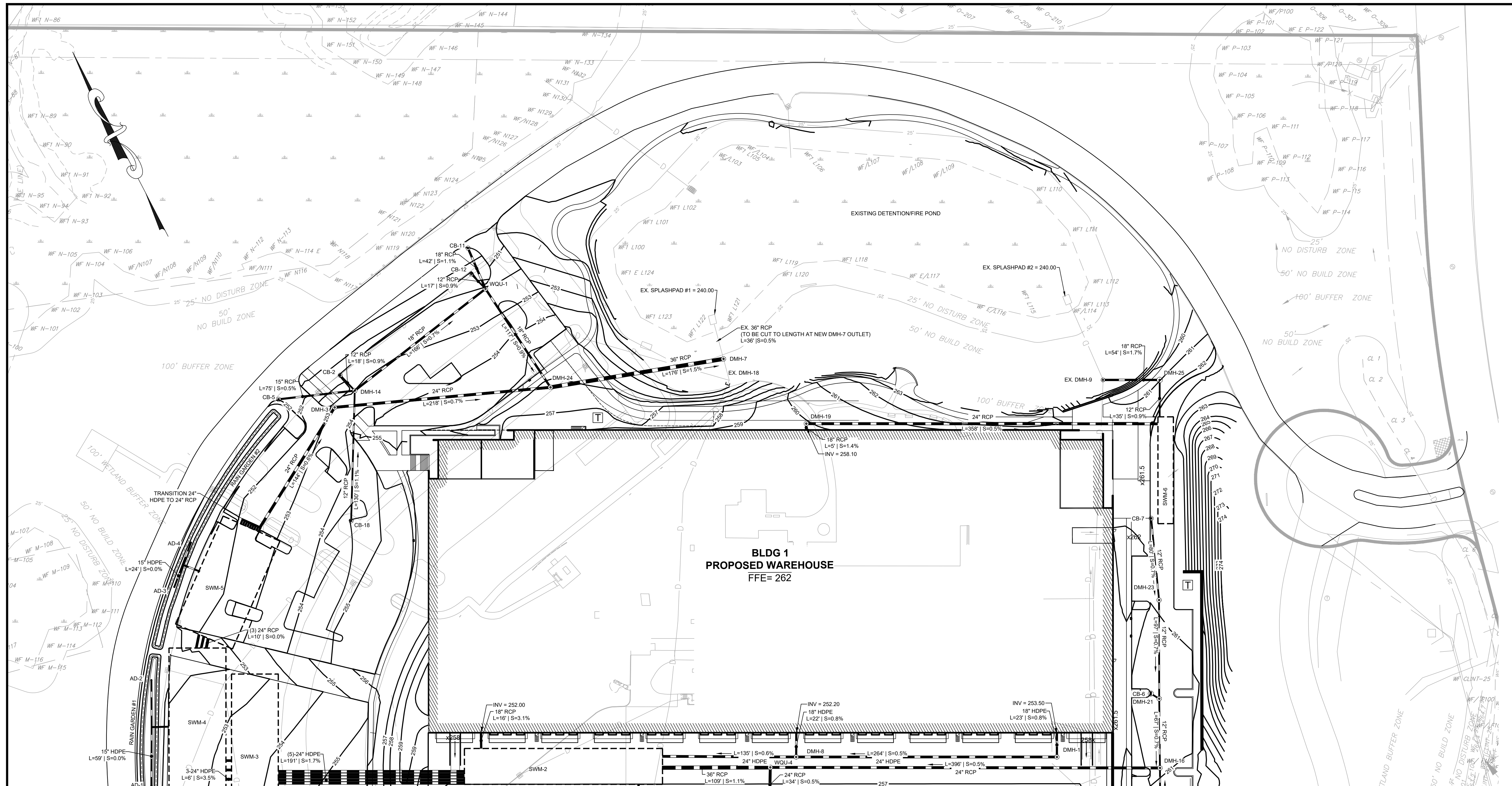
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SHEET TITLE:

LAYOUT & MATERIALS PLAN

SHEET NUMBER:
C301

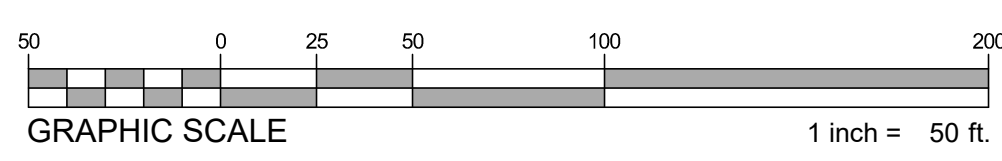


**BLDG 1
PROPOSED WAREHOUSE
FFE= 262**

DRAIN SCHEDULE		DRAIN SCHEDULE		DRAIN SCHEDULE		DRAIN SCHEDULE	
STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.
AD-1 15' AREA DRAIN	RIM = 250.50 INV OUT = 247.50 (RG#1 TEE)	CB-6 DOUBLE GRATE	RIM = 260.01 INV OUT = 255.20 (DMH-21)	DMH-3 4' DIA. DMH	RIM = 253.14 INV IN = 245.40 (SWM-5 OUT) INV OUT = 245.30 (DMH-24)	DMH-21 4' DIA. DMH	RIM = 260.17 INV IN = 255.10 (CB-6) INV IN = 255.10 (DMH-23) INV OUT = 255.00 (DMH-16)
AD-2 15' AREA DRAIN	RIM = 260.50 INV IN = 247.50 (RG#1 TEE)	CB-7 SINGLE GRATE	RIM = 261.13 INV OUT = 256.80 (DMH-23)	DMH-7 4' DIA. DMH	RIM = 248.05 INV IN = 241.00 (DMH-24) INV OUT = 245.30 (EX. SPLASH PAD #1)	DMH-23 4' DIA. DMH	RIM = 261.19 INV IN = 256.20 (CB-7) INV OUT = 255.80 (DMH-21)
AD-3 15' AREA DRAIN	RIM = 250.50 INV IN = 247.50 (RG#2 TEE)	CB-11 SINGLE GRATE	RIM = 250.79 INV OUT = 245.60 (WQU-1)	DMH-8 4' DIA. DMH	RIM = 257.53 INV IN = 252.00 (Bldg 1 - South 2) INV IN = 251.90 (DMH-1) INV OUT = 251.80 (SWM-4 IN (2))	DMH-24 4' DIA. DMH	RIM = 256.22 INV IN = 243.80 (DMH-3) INV IN = 243.90 (WQU-1) INV OUT = 243.70 (DMH-7)
AD-4 15' AREA DRAIN	RIM = 260.50 INV IN = 247.50 (RG#2 TEE)	CB-12 SINGLE GRATE	RIM = 251.14 INV OUT = 248.20 (WQU-1)	DMH-14 4' DIA. DMH	RIM = 253.01 INV IN = 246.40 (CB-2) INV IN = 246.30 (CB-5) INV IN = 246.50 (CB-18) INV OUT = 251.80 (WQU-1)	DMH-25 5' DIA. DROP DMH	RIM = 260.91 INV IN = 257.60 (I) INV OUT = 251.00 (EX. DMH-9)
CB-2 SINGLE GRATE	RIM = 252.16 INV OUT = 246.60 (DMH-14)	CB-18 SINGLE GRATE	RIM = 254.45 INV OUT = 248.00 (DMH-14)	DMH-16 4' DIA. DMH	RIM = 260.88 INV IN = 254.50 (DMH-21) INV IN = 255.40 (DMH-4) INV OUT = 253.70 (WQU-4)	WQU-1 CONTECH CASCADE CS-4	RIM = 252.05 INV IN = 245.10 (DMH-14) INV IN = 248.00 (CB-12) INV IN = 245.10 (CB-11) INV OUT = 245.00 (DMH-24)
CB-5 SINGLE GRATE	RIM = 251.76 INV OUT = 247.20 (DMH-14)	DMH-1 4' DIA. DMH	RIM = 257.53 INV IN = 253.30 (Bldg 1 - South 3) INV OUT = 253.20 (DMH-8)	DMH-19 4' DIA. DMH	RIM = 260.21 INV IN = 258.00 (Bldg 1 - North) INV OUT = 257.90 (SWM-6 IN)	WQU-4 CONTECH CASCADE CS-6	RIM = 257.32 INV IN = 251.80 (DMH-16) INV OUT = 251.70 (SWM-2 IN (4))

STRUCTURE	SYSTEM ELEV.	SYSTEM CONNECTIONS
SWM-1: ACF R-TANK SD-9 38.12' x 95.49' 1,014 TOTAL CHAMBERS (26 ROWS x 39 CHAMBERS)	TOP OF STONE = 251.31 TOP OF SYSTEM = 250.31 BOTTOM OF SYSTEM = 243.75 BOTTOM OF STONE = 243.50 ESHGW = 240.80"	INV OUT = 246.50 (3-18" HDPE - SWM-4) INV IN = 246.50 (2-18" HDPE - SWM-7)
SWM-2: ACF R-TANK SD-5 203.39' x 36.61' 2,125 TOTAL CHAMBERS (25 ROWS x 85 CHAMBERS)	TOP OF STONE = 254.93 TOP OF SYSTEM = 253.93 BOTTOM OF SYSTEM = 250.25 BOTTOM OF STONE = 250.00 ESHGW = 247.30"	INV OUT = 250.40 (5-18" HDPE - SWM-3) INV IN = 250.50 (18" RCP - DMH-17) INV IN = 246.80 (5-24" HDPE - SWM-3) INV IN = 251.00 (24" RCP - WQU-2) INV IN = 251.00 (18" RCP - BLDG 1 - SOUTH 1)
SWM-3: ACF R-TANK SD-7 165.51' x 47.99' 2,176 TOTAL CHAMBERS (32 ROWS x 68 CHAMBERS)	TOP OF STONE = 250.36 TOP OF SYSTEM = 249.36 BOTTOM OF SYSTEM = 244.25 BOTTOM OF STONE = 244.00 ESHGW = 241.30"	INV OUT = 247.10 (3-24" HDPE - SWM-4) INV IN = 247.10 (5-24" HDPE - SWM-2)
SWM-4: ACF R-TANK SD-8 191.32' x 58.49' 3,160 TOTAL CHAMBERS (40 ROWS x 79 CHAMBERS)	TOP OF STONE = 250.09 TOP OF SYSTEM = 249.09 BOTTOM OF SYSTEM = 243.25 BOTTOM OF STONE = 243.00 ESHGW = 240.30"	INV OUT = 246.40 (3-24" HDPE - SWM-5) INV IN = 246.50 (3-18" HDPE - SWM-1) INV IN = 247.30 (12" RCP - WQU-2) INV IN = 247.45 (15" RCP - RG #1)
SWM-5: ACF R-TANK SD-6 120.94' x 63.74' 2,156 TOTAL CHAMBERS (44 ROWS x 49 CHAMBERS)	TOP OF STONE = 250.65 TOP OF SYSTEM = 249.65 BOTTOM OF SYSTEM = 245.25 BOTTOM OF STONE = 245.00 ESHGW = 242.30"	INV OUT = 246.30 (8-24" HDPE - DMH-3) INV IN = 246.40 (5-24" HDPE - SWM-4) INV IN = 247.45 (15" HDPE - RG #2)
SWM-6: ACF R-TANK SD-4 109.56' x 15.81' 405 TOTAL CHAMBERS (9 ROWS x 45 CHAMBERS)	TOP OF STONE = 260.20 TOP OF SYSTEM = 259.20 BOTTOM OF SYSTEM = 256.25 BOTTOM OF STONE = 256.00 ESHGW = 253.30"	INV OUT = 257.95 (1-12" HDPE - DMH-25) INV IN = 256.24 (24" RCP - DMH-19)
SWM-7: ACF R-TANK SD-9 67.34' x 39.43' 729 TOTAL CHAMBERS (27 ROWS x 27 CHAMBERS)	TOP OF STONE = 252.30 TOP OF SYSTEM = 251.30 BOTTOM OF SYSTEM = 244.75 BOTTOM OF STONE = 244.50 ESHGW = 241.80"	INV OUT = 246.50 (2-18" HDPE - SWM-4) INV IN = 246.40 (30" RCP - DMH-22) INV IN = 248.55 (18" RCP - EX. DMH-23(1))

SYMBOL LEGEND	
	EXISTING ELEVATION CONTOUR
	PROPOSED ELEVATION CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TC/BC ELEVATIONS
	PROPOSED TW/BW ELEVATIONS
	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	DOUBLE GRATE CATCH BASIN
	PROPOSED STORM DRAIN
	PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED RIP RAP
	PROPOSED SEWER MANHOLE
	PROPOSED RETAINING WALL
	TEST PIT LOCATION



* ESHGW DATA INTERPRETED FROM EXISTING MONITOR WELL READINGS TAKEN ON MARCH 26, 2023 BY MCARDLE GANNON ASSOCIATES WITH A 1.3 FT FRIMPTER ADJUSTMENT APPLIED TO THE WELL READINGS.



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CONSULTANT:



5-11-2023

WAREHOUSE / INDUSTRIAL DEVELOPMENT
100/200 FINANCIAL PARK
FRANKLIN, MA

REV	DATE	DESCRIPTION

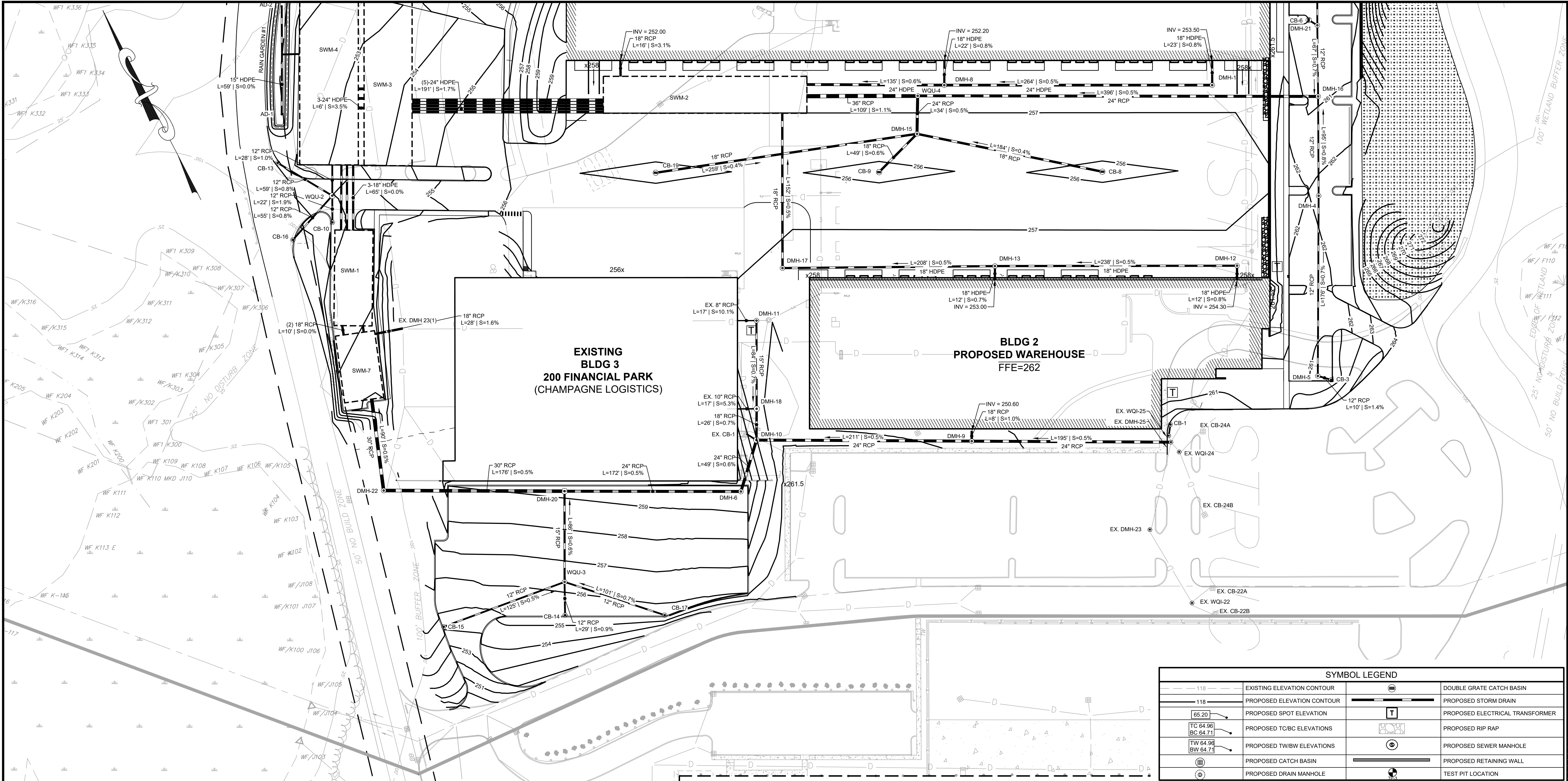
ISSUE TYPE:
PERMIT SET
ISSUE DATE:
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PROJECT NUMBER:
22051

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**GRADING &
DRAINAGE PLAN**

SHEET NUMBER:
C400
ISSUED FOR: PERMIT

OWNER/APPLICANT: BERKELEY PARTNERS

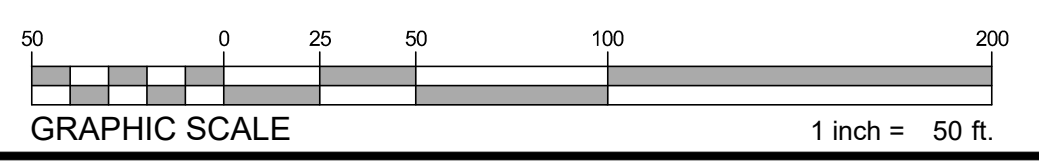


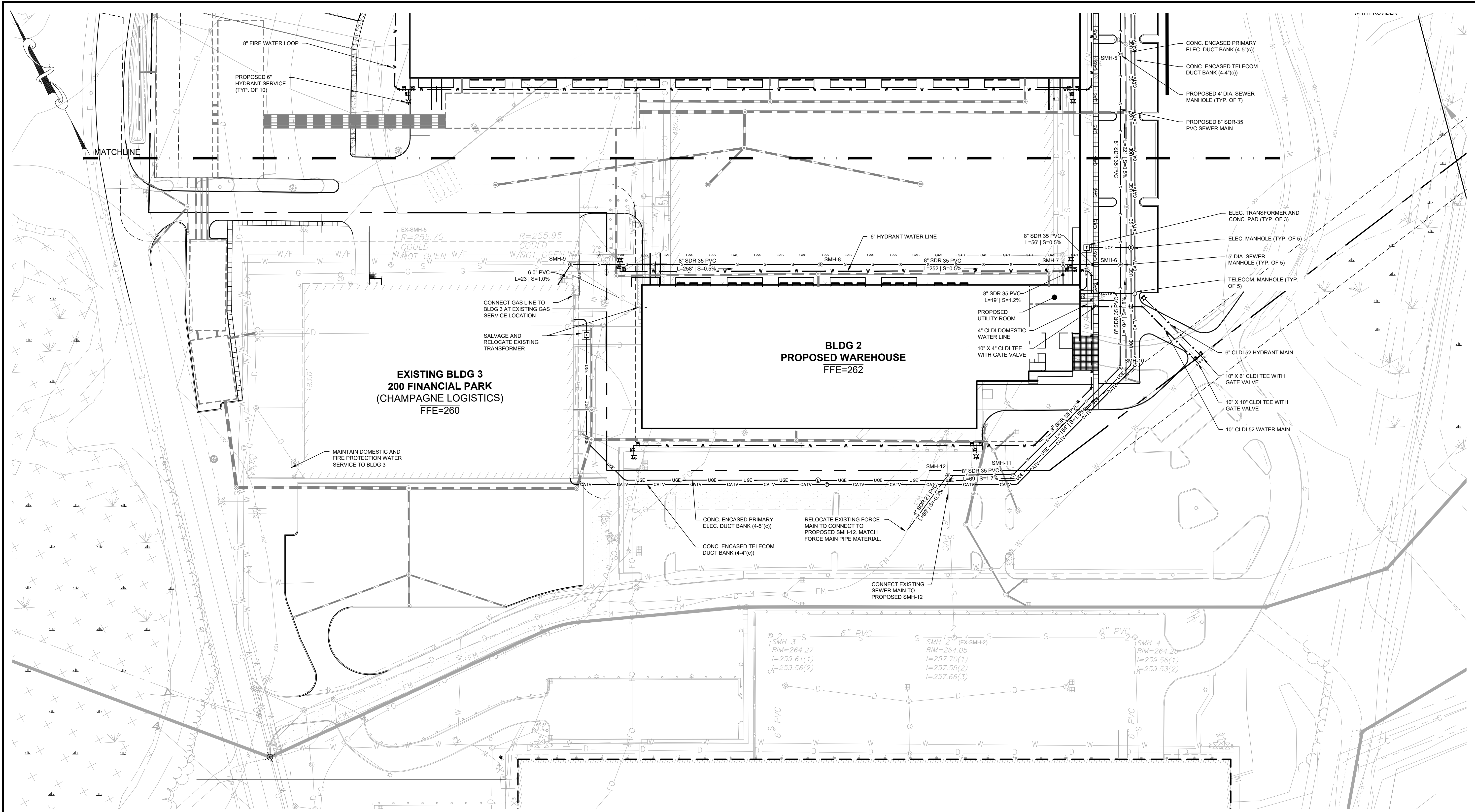
SYMBOL LEGEND			
	EXISTING ELEVATION CONTOUR		DOUBLE GRATE CATCH BASIN
	PROPOSED ELEVATION CONTOUR		PROPOSED STORM DRAIN
	PROPOSED SPOT ELEVATION		PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED TO/CB ELEVATIONS		PROPOSED RIP RAP
	PROPOSED TW/BW ELEVATIONS		PROPOSED SEWER MANHOLE
	PROPOSED CATCH BASIN		PROPOSED RETAINING WALL
	PROPOSED DRAIN MANHOLE		TEST PIT LOCATION

DRAIN SCHEDULE		DRAIN SCHEDULE		DRAIN SCHEDULE		DRAIN SCHEDULE	
STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.
AD-1 15' AREA DRAIN	RIM = 250.50 INV OUT = 247.50 (RG#1 TEE)	CB-14 SINGLE GRATE	RIM = 255.27 INV OUT = 248.90 (WQU-3)	DMH-8 4' DIA. DMH	RIM = 257.53 INV IN = 252.00 (Bldg 1 - South 2) INV IN = 251.90 (DMH-1) INV OUT = 251.90 (SWM-4 IN (2))	DMH-18 5' DIA. DMH	RIM = 257.50 INV IN = 252.00 (DMH-11) INV IN = 255.00 (EX. Bldg 3 - SE) INV OUT = 251.90 (DMH-10)
AD-2 15' AREA DRAIN	RIM = 250.50 INV IN = 247.50 (RG#1 TEE)	CB-15 SINGLE GRATE	RIM = 254.18 INV OUT = 249.30 (WQU-3)	DMH-9 4' DIA. DMH	RIM = 257.55 INV IN = 250.50 (Bldg 2 - South) INV IN = 250.50 (EX. DMH 25) INV OUT = 250.40 (DMH-10)	DMH-20 5' DIA. DMH	RIM = 259.22 INV IN = 248.00 (DMH-6) INV IN = 248.00 (WQU-3) INV OUT = 247.90 (DMH-22)
CB-1 SINGLE GRATE	RIM = 260.49 INV OUT = 254.20 (EX. WQI-25)	CB-16 SINGLE GRATE	RIM = 251.29 INV OUT = 248.20 (WQU-2)	DMH-10 5' DIA. DMH	RIM = 258.06 INV IN = 249.40 (DMH-9) INV IN = 251.70 (DMH-18) INV IN = 253.89 (EX. CB-1) INV OUT = 249.30 (DMH-10)	DMH-21 4' DIA. DMH	RIM = 260.17 INV IN = 255.10 (CB-6) INV IN = 255.10 (DMH-23) INV OUT = 251.90 (DMH-16)
CB-3 SINGLE GRATE	RIM = 258.50 INV OUT = 258.00 (DMH-5)	CB-17 SINGLE GRATE	RIM = 255.65 INV OUT = 249.30 (WQU-3)	DMH-11 4' DIA. DMH	RIM = 257.27 INV IN = 254.30 (EX. Bldg 3 - NE) INV OUT = 252.60 (DMH-18)	DMH-22 4' DIA. DMH	RIM = 252.94 INV IN = 247.05 (DMH-20) INV IN = 246.50 (SWM-1 IN (1))
CB-6 DOUBLE GRATE	RIM = 260.01 INV OUT = 255.20 (DMH-21)	CB-19 DOUBLE GRATE	RIM = 255.63 INV OUT = 253.25 (DMH-15)	DMH-12 4' DIA. DMH	RIM = 257.76 INV IN = 252.90 (Bldg 2 - North 3) INV IN = 254.10 (DMH-13)	EX. DMH 25 4' DIA. DMH	RIM = 258.35 INV IN = 253.60 (EX. WQI-25) INV IN = 251.53 (EX. DMH-23) INV IN = 253.90 (EX. WQI-24) INV OUT = 251.40 (DMH-9)
CB-8 DOUBLE GRATE	RIM = 255.62 INV OUT = 252.90 (DMH-15)	DMH-1 4' DIA. DMH	RIM = 257.53 INV IN = 253.30 (Bldg 1 - South 3) INV OUT = 253.20 (DMH-8)	DMH-13 4' DIA. DMH	RIM = 257.76 INV IN = 252.90 (Bldg 2 - North 2) INV IN = 252.90 (DMH-12) INV OUT = 252.80 (DMH-17)	WQU-2 CONTECH CDS2015-5	RIM = 252.94 INV IN = 247.05 (DMH-20) INV IN = 246.50 (SWM-1 IN (1))
CB-9 DOUBLE GRATE	RIM = 255.62 INV OUT = 252.90 (DMH-15)	DMH-4 4' DIA. DMH	RIM = 262.20 INV IN = 256.30 (DMH-5) INV OUT = 256.20 (DMH-16)	DMH-15 4' DIA. DMH	RIM = 256.61 INV IN = 252.20 (CB-8) INV IN = 252.20 (CB-9) INV IN = 252.20 (CB-19) INV OUT = 252.00 (WQU-4)	WQU-3 CONTECH CDS2015-4	RIM = 258.35 INV IN = 253.60 (EX. WQI-25) INV IN = 251.53 (EX. DMH-23) INV IN = 253.90 (EX. WQI-24) INV OUT = 251.40 (DMH-9)
CB-10 SINGLE GRATE	RIM = 252.61 INV OUT = 248.20 (WQU-2)	DMH-5 4' DIA. DMH	RIM = 260.81 INV IN = 257.80 (CB-3) INV OUT = 257.50 (DMH-4)	DMH-16 4' DIA. DMH	RIM = 260.88 INV IN = 255.40 (DMH-4) INV IN = 255.40 (DMH-4) INV OUT = 253.70 (WQU-4)	WQU-4 CONTECH CASCADE CS-6	RIM = 257.32 INV IN = 251.80 (DMH-15) INV IN = 251.80 (DMH-16) INV OUT = 251.70 (SWM-2 IN (4))
CB-13 SINGLE GRATE	RIM = 252.16 INV OUT = 248.20 (WQU-2)	DMH-6 4' DIA. DMH	RIM = 259.77 INV IN = 249.00 (DMH-10) INV OUT = 248.90 (DMH-20)	DMH-17 4' DIA. DMH	RIM = 257.46 INV IN = 251.80 (DMH-13) INV OUT = 251.70 (SWM-2 IN (3))		

SUB-SURFACE INFILTRATION SYSTEM SCHEDULE		
STRUCTURE	SYSTEM ELEV.	SYSTEM CONNECTIONS
SWM-1: ACF R-TANK SD-9 38.12' x 95.49' 1,014 TOTAL CHAMBERS (26 ROWS x 39 CHAMBERS)	TOP OF STONE = 251.31 TOP OF SYSTEM = 250.31 BOTTOM OF SYSTEM = 243.75 ESHSW = 243.50	INV OUT = 246.50 (3-18" HDPE - SWM-4) INV IN = 246.50 (2-18" HDPE - SWM-7)
SWM-2: ACF R-TANK SD-5 203.39' x 36.81' 2,125 TOTAL CHAMBERS (25 ROWS x 85 CHAMBERS)	TOP OF STONE = 254.93 TOP OF SYSTEM = 253.93 BOTTOM OF SYSTEM = 250.25 ESHSW = 249.80	INV OUT = 250.40 (5-18" HDPE - SWM-3) INV IN = 251.00 (18" RCP - DMH-17) INV IN = 250.50 (36" RCP - WQU-4) INV IN = 251.00 (24" RCP - DMH-8) INV IN = 251.00 (18" RCP - BLDG 1 - SOUTH 1)
SWM-3: ACF R-TANK SD-7 165.51' x 47.99' 2,176 TOTAL CHAMBERS (32 ROWS x 68 CHAMBERS)	TOP OF STONE = 250.36 TOP OF SYSTEM = 249.36 BOTTOM OF SYSTEM = 244.25 ESHSW = 241.30	INV OUT = 247.10 (3-24" HDPE - SWM-4) INV IN = 247.10 (5-24" HDPE - SWM-2)
SWM-4: ACF R-TANK SD-8 191.32' x 58.49' 3,160 TOTAL CHAMBERS (40 ROWS x 79 CHAMBERS)	TOP OF STONE = 250.09 TOP OF SYSTEM = 249.09 BOTTOM OF SYSTEM = 243.25 ESHSW = 243.00	INV OUT = 246.40 (3-24" HDPE - SWM-5) INV IN = 246.50 (3-18" HDPE - SWM-4) INV IN = 246.90 (3-24" HDPE - SWM-3) INV IN = 247.30 (12" RCP - WQU-2) INV IN = 247.45 (15" HDPE - RG #2)
SWM-5: ACF R-TANK SD-6 120.94' x 63.74' 2,156 TOTAL CHAMBERS (44 ROWS x 49 CHAMBERS)	TOP OF STONE = 250.65 TOP OF SYSTEM = 249.65 BOTTOM OF SYSTEM = 245.25 ESHSW = 242.30	INV OUT = 246.30 (8-24" HDPE - DMH-3) INV IN = 246.40 (5-24" HDPE - SWM-4) INV IN = 247.45 (15" HDPE - RG #2)
SWM-6: ACF R-TANK SD-4 109.56' x 15.81' 405 TOTAL CHAMBERS (9 ROWS x 45 CHAMBERS)	TOP OF STONE = 260.20 TOP OF SYSTEM = 259.20 BOTTOM OF SYSTEM = 256.25 ESHSW = 253.30	INV OUT = 257.85 (1-12" HDPE - DMH-25) INV IN = 256.24 (24" RCP - DMH-19)
SWM-7: ACF R-TANK SD-9 67.34' x 39.43' 729 TOTAL CHAMBERS (27 ROWS x 27 CHAMBERS)	TOP OF STONE = 252.30 TOP OF SYSTEM = 251.30 BOTTOM OF SYSTEM = 244.75 ESHSW = 241.80	INV OUT = 246.50 (2-18" HDPE - SWM-1) INV IN = 246.40 (30" RCP - DMH-22) INV IN = 248.55 (18" RCP - EX. DMH-23(1))

* ESHGW DATA INTERPRETED FROM EXISTING MONITOR WELL READINGS TAKEN ON MARCH 26, 2023 BY McARDLE GANNON ASSOCIATES WITH A 1.3 FT FRIMPETER ADJUSTMENT APPLIED TO THE WELL READINGS.

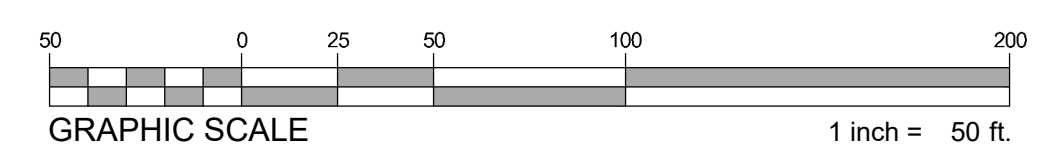




SEWER SCHEDULE	
STRUCTURE	ELEV.
SMH-5	RIM = 260.58 INV IN = 245.90 (SMH-6) INV OUT = 245.80 (SMH-4)
SMH-6	RIM = 262.19 INV IN = 247.84 (SMH-10) INV IN = 247.01 (SMH-7) INV OUT = 246.91 (SMH-5)
SMH-7	RIM = 257.99 INV IN = 247.41 (BUILDING 2) INV IN = 247.38 (SMH-8) INV OUT = 247.28 (SMH-6)
SMH-8	RIM = 257.53 INV IN = 248.84 (SMH-9) INV OUT = 248.54 (SMH-7)
SMH-9	RIM = 256.10 INV IN = 249.93 (EX-SMH-5) INV IN = 250.07 (BUILDING 3) INV OUT = 249.83 (SMH-8)

SEWER SCHEDULE	
STRUCTURE	ELEV.
SMH-10	RIM = 261.28 INV IN = 250.70 (SMH-11) INV OUT = 249.80 (SMH-6)
SMH-11	RIM = 261.97 INV IN = 253.80 (SMH-12) INV OUT = 253.00 (SMH-10)
SMH-12	RIM = 261.99 INV IN = 255.10 (EX. FORCE MAIN) INV OUT = 255.00 (SMH-11)

SITE UTILITY LEGEND	
	PROPOSED WATER SERVICE OR MAIN
	PROPOSED FORCE MAIN
	PROPOSED SEWER SERVICE OR MAIN
	PROPOSED CONC. ENCASED ELECTRIC DUCT BANK
	PROPOSED CONC. ENCASED TELECOM DUCT BANK
	PROPOSED GAS SERVICE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER GATE VALVE
	PROPOSED SEWER MANHOLE
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC MANHOLE (6'x8')
	PROPOSED TELECOM MANHOLE
	PROPOSED GAS GATE VALVE



REV	DATE	DESCRIPTION

ISSUE TYPE:
 PERMIT SET
 ISSUE DATE:
 05/11/2023
 PROJECT NUMBER:
 22051
 DRAWN BY: JJP/CCL
 CHECKED BY: DJH
 Copyright (c) by Highpoint Engineering, Inc.
 All Rights Reserved.
 SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:
C501

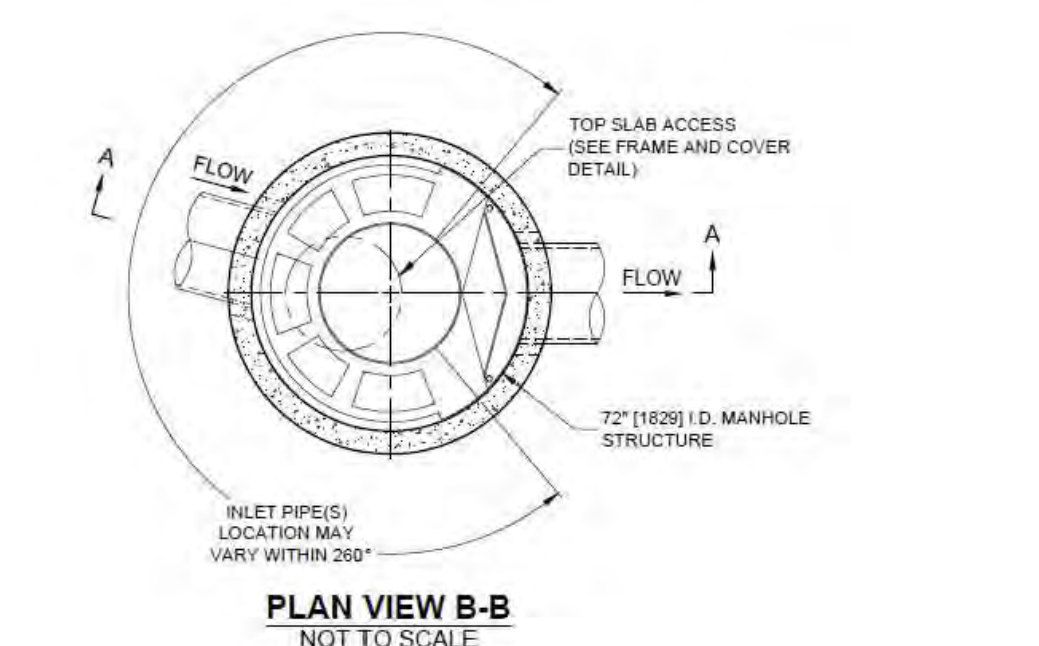
CASCADE SEPARATOR DESIGN NOTES

CS-6 RATED TREATMENT CAPACITY IS 6 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CS-6 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

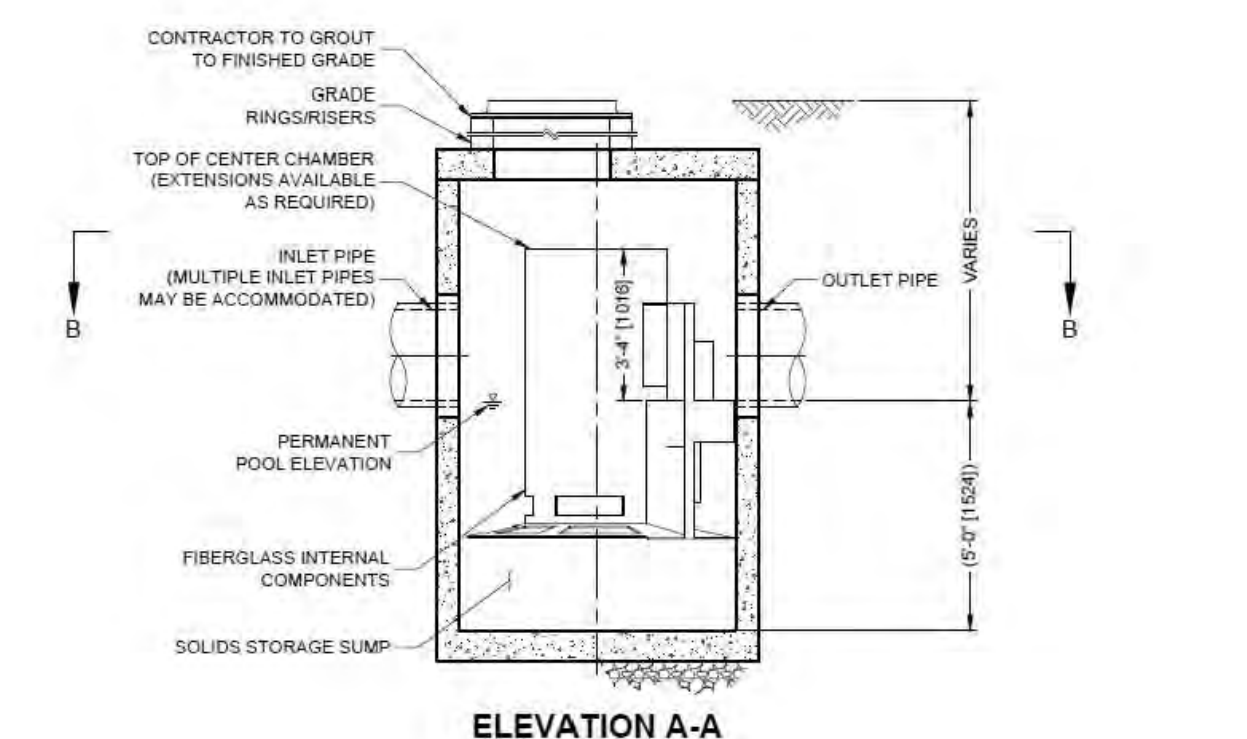
CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

PLAN VIEW B-B
NOT TO SCALE



FRAME AND COVER
(DIAMETER VARIES)
NOT TO SCALE



ELEVATION A-A
NOT TO SCALE

CASCADE separator™

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
9025 Centre Plaza Dr., Suite 402, West Chester, OH 45390
800-338-1122 513-645-7000 513-645-7093 FAX

CS-6
CASCADE SEPARATOR
STANDARD DETAIL

CONTECH CS-6 (WQU-4)
NOT TO SCALE **B2**

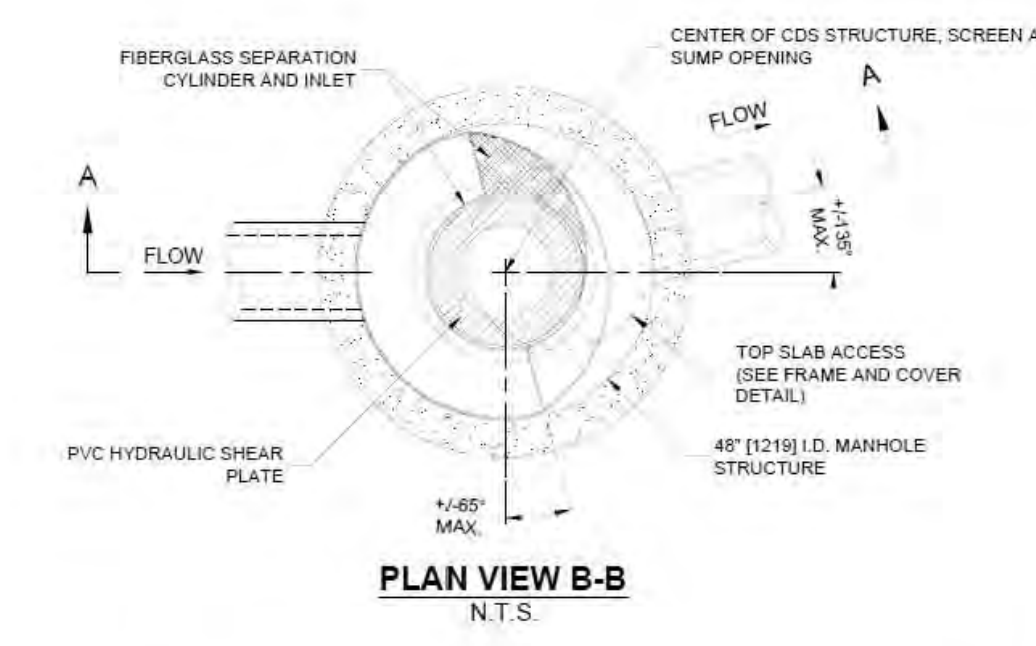
CDS2015-4-C DESIGN NOTES

CDS2015-4-C RATED TREATMENT CAPACITY IS 1.4 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

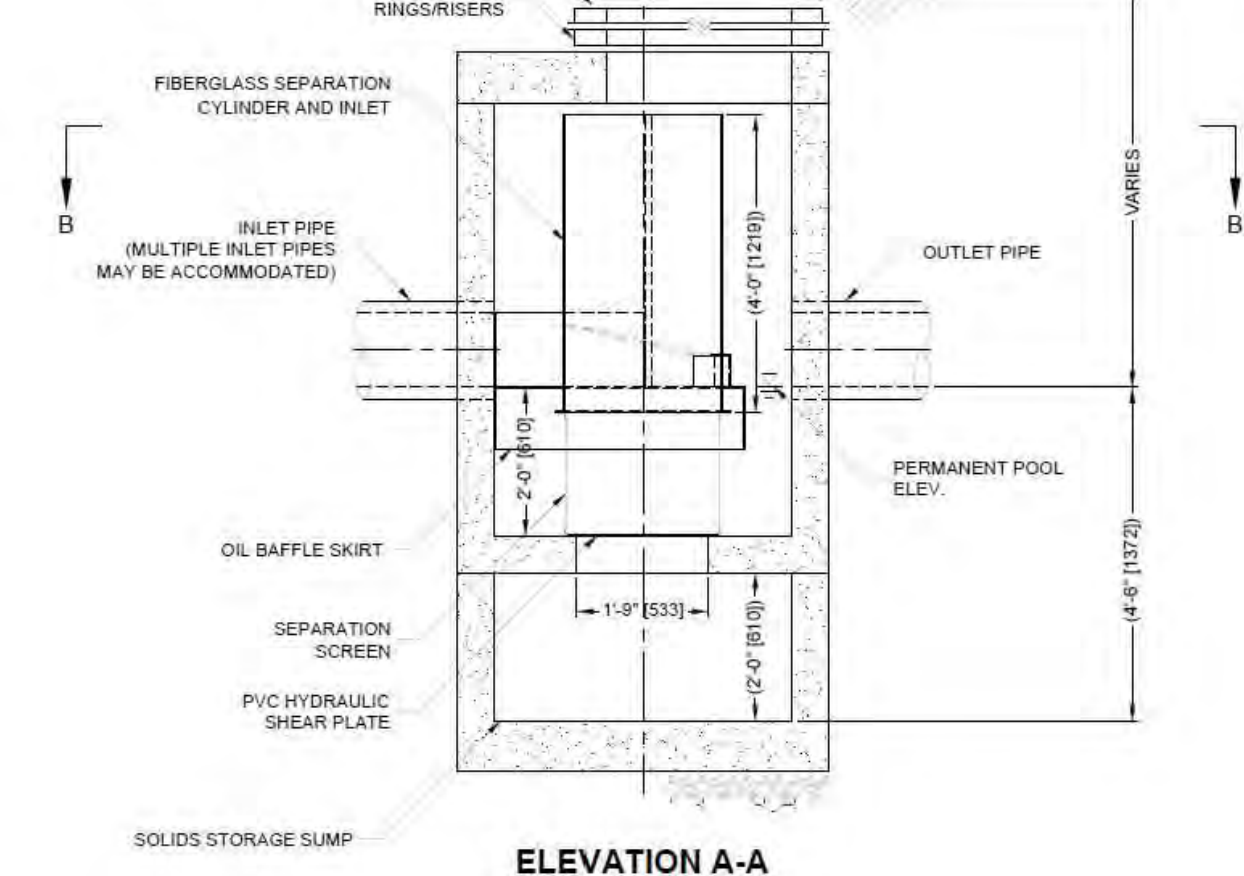
CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

PLAN VIEW B-B
N.T.S.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



ELEVATION A-A
N.T.S.

CASCADE separator™

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CDS2015-4-C
ONLINE CDS
STANDARD DETAIL

CONTECH CDS2015-4-C (WQU-3)
NOT TO SCALE **B1**

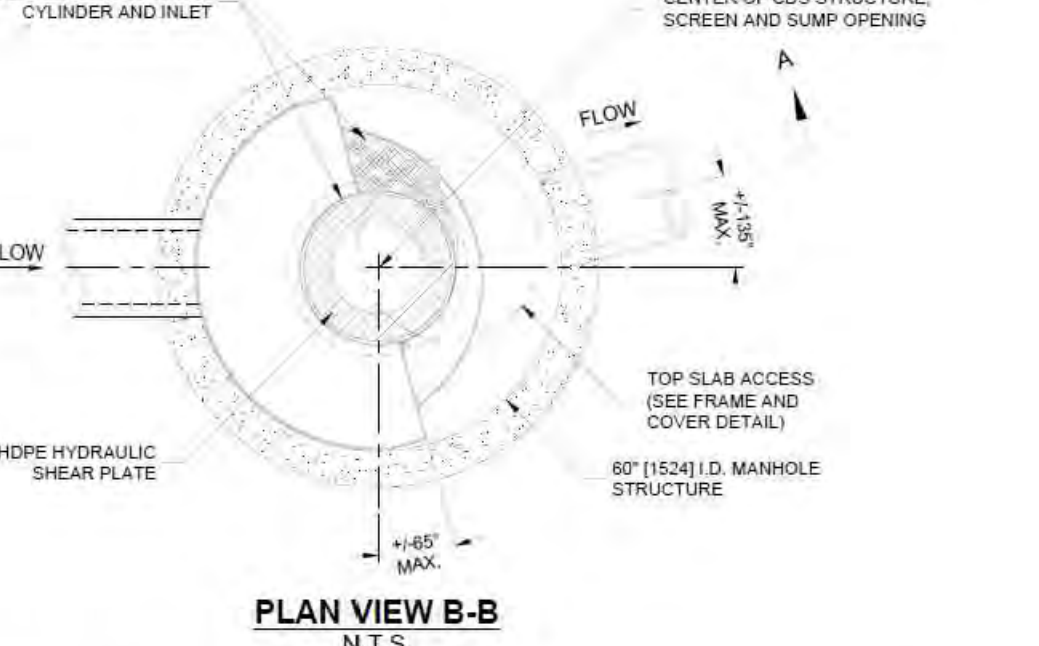
CDS2015-5-C DESIGN NOTES

CDS2015-5-C RATED TREATMENT CAPACITY IS 1.4 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS2015-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

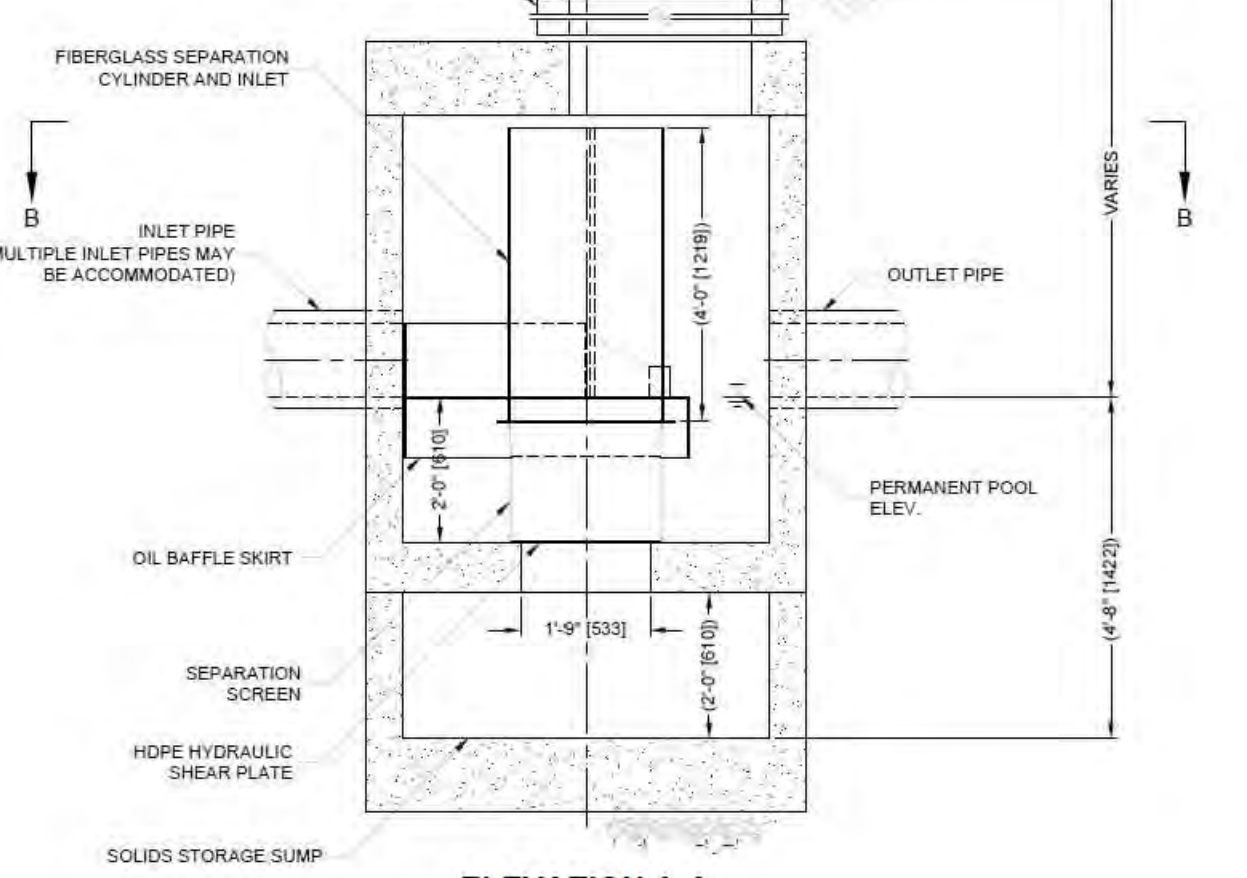
CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

PLAN VIEW B-B
N.T.S.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



ELEVATION A-A
N.T.S.

CASCADE separator™

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CDS2015-5-C
ONLINE CDS
STANDARD DETAIL

CONTECH CDS2015-5-C (WQU-2)
NOT TO SCALE **A2**

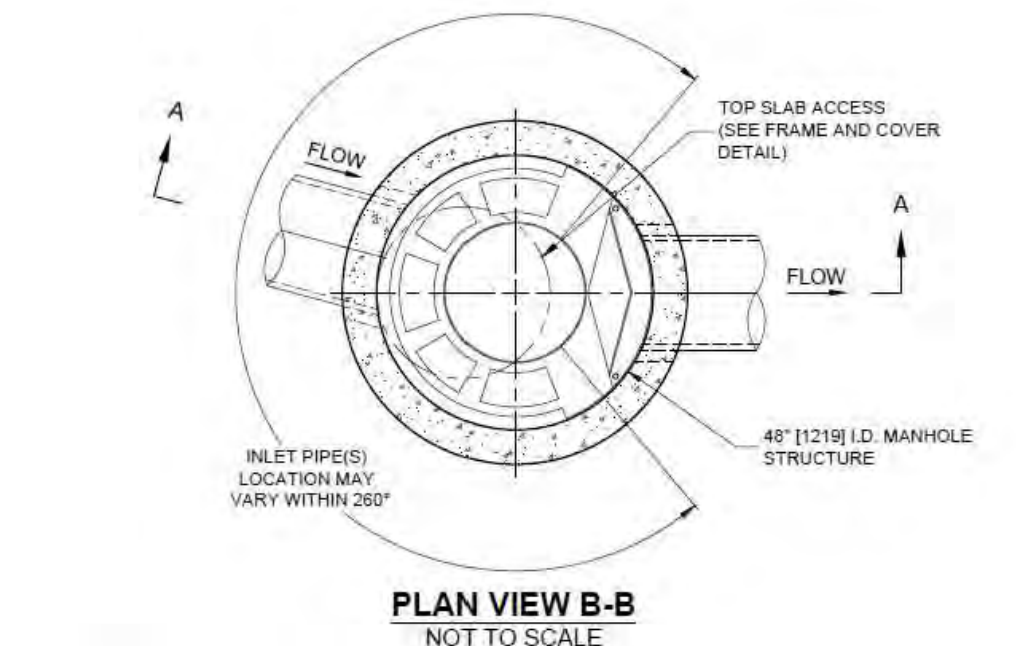
CASCADE SEPARATOR DESIGN NOTES

CS-4 RATED TREATMENT CAPACITY IS 2.0 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CS-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

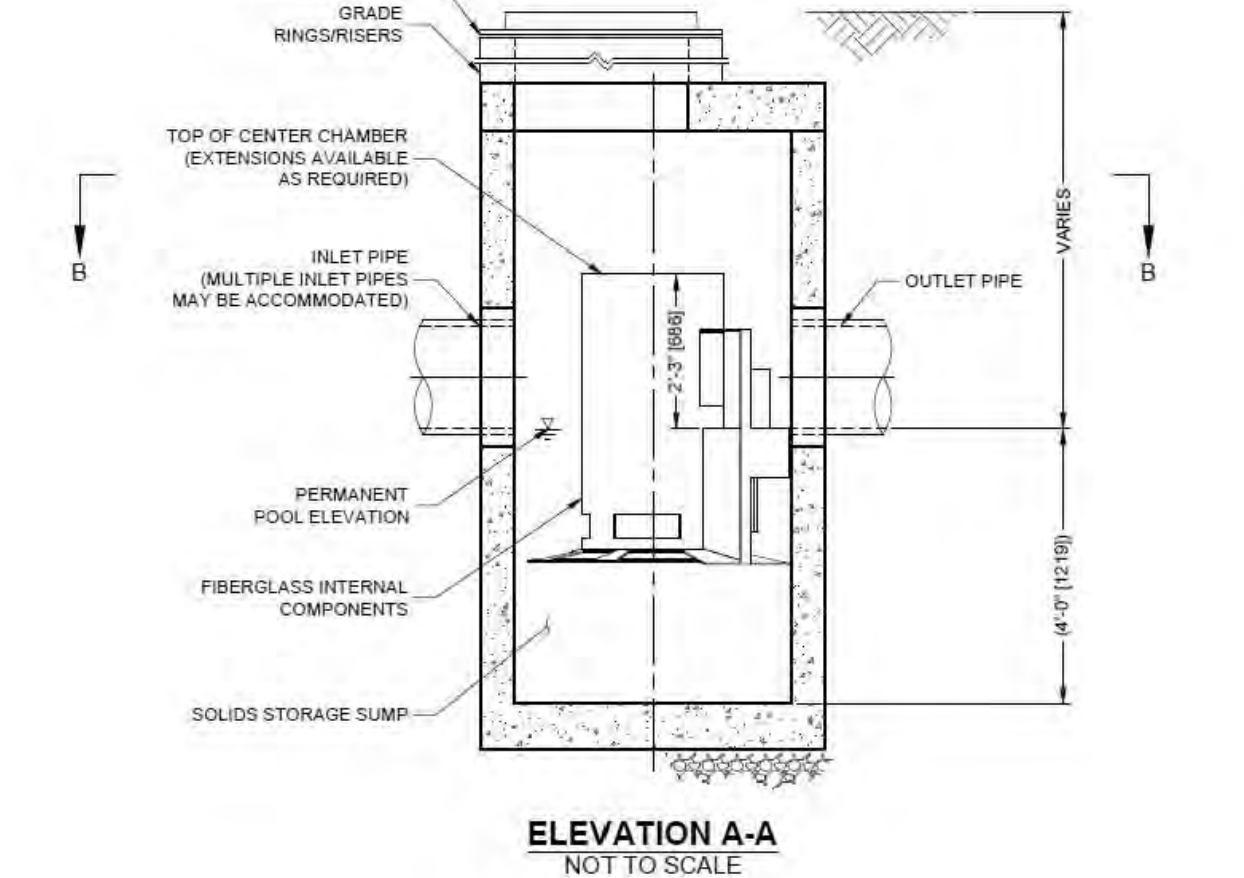
CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

PLAN VIEW B-B
NOT TO SCALE



FRAME AND COVER
(DIAMETER VARIES)
NOT TO SCALE



ELEVATION A-A
NOT TO SCALE

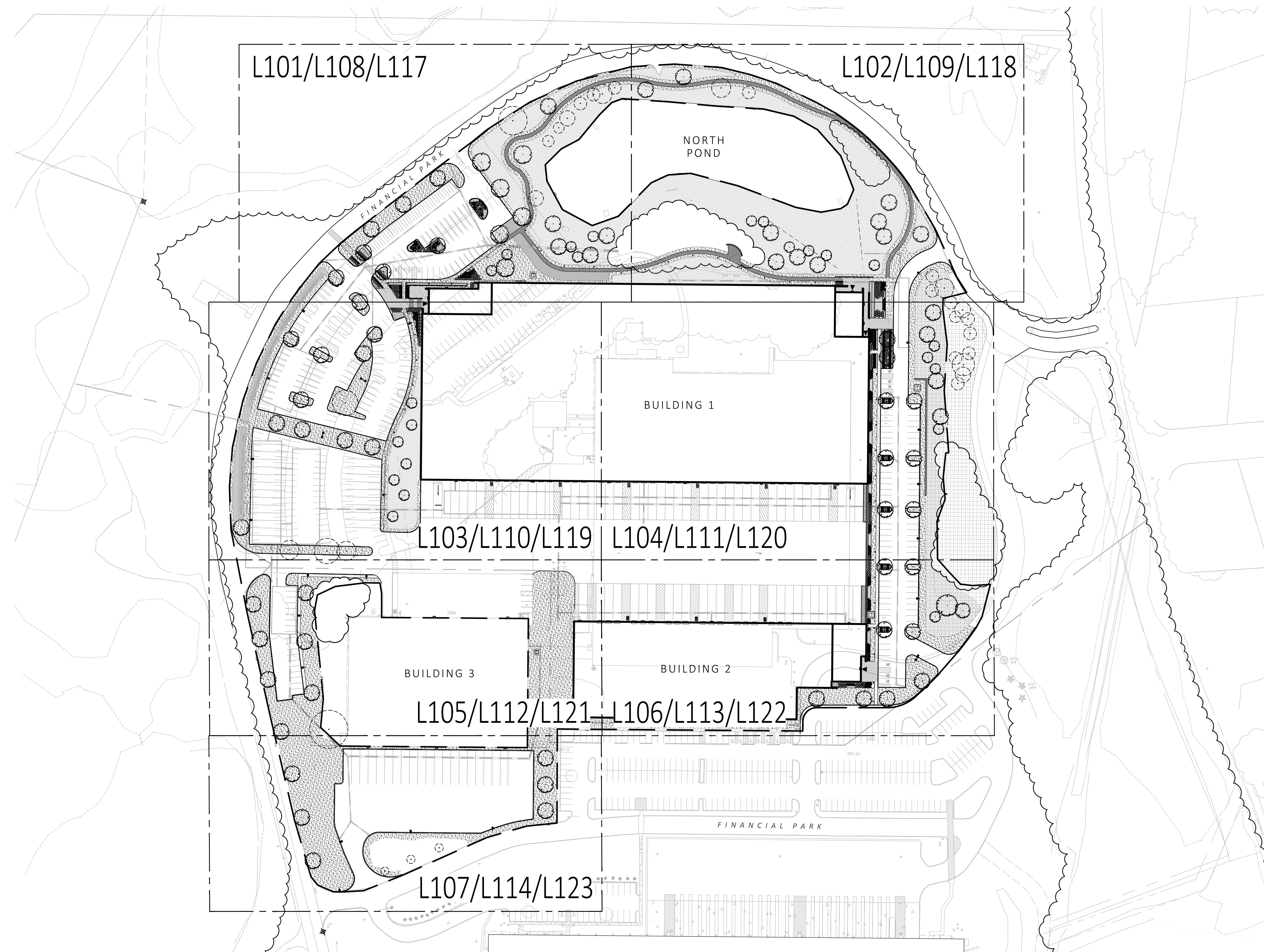
CASCADE separator™

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CS-4
CASCADE SEPARATOR
STANDARD DETAIL

CONTECH CASCADE CS-4 (WQU-1)
NOT TO SCALE **A1**

FOR PERMIT ONLY
NOT FOR CONSTRUCTION



1 SHEET LAYOUT KEY PLAN
SCALE: 1" = 80'-0"

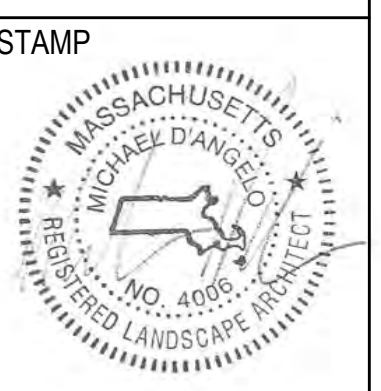


MDLA
MICHAEL D'ANGELO Landscape Architecture

MICHAEL D'ANGELO
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840 SUMMER STREET
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www.m-d-a.com

CLIENT
BERKELEY PARTNERS
1 WASHINGTON MALL, SUITE 701
BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT

KEY PLAN

DRAWN:
NC
CHECKED:
AS NOTED
SCALE:
AS NOTED
DATE:
5/11/2023

L100

SHEET 01 OF 24

plot date: 5/10/2023

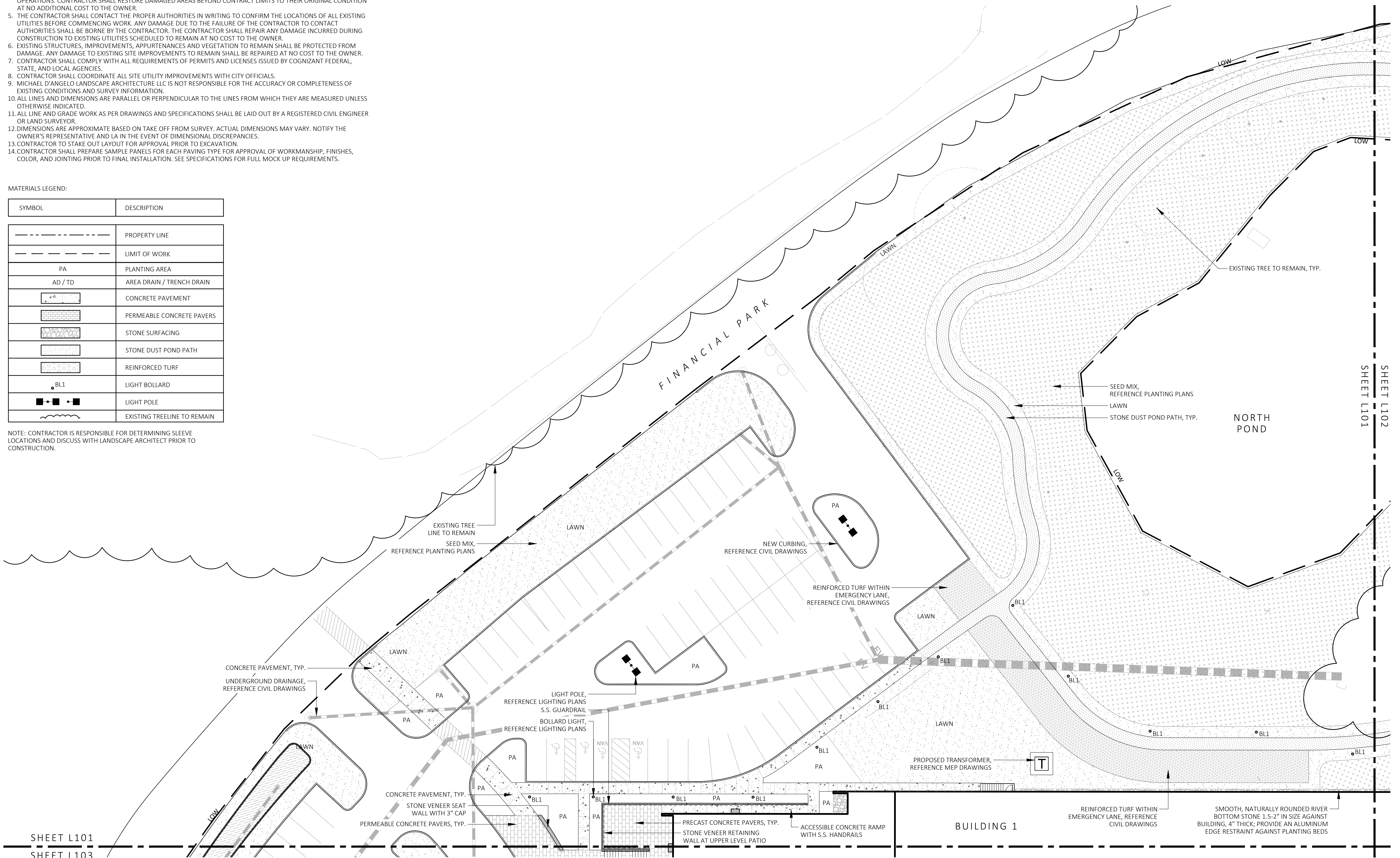
MATERIALS NOTES:

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE ENGINEER. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT (LA) AND RECORDED ON RECORD DRAWINGS.
3. CONTRACTOR SHALL NOTIFY THE LA OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS. CONTRACTOR SHALL RESTORE DAMAGED AREAS BEYOND CONTRACT LIMITS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO THE FAILURE OF THE CONTRACTOR TO CONTACT AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED DURING CONSTRUCTION TO EXISTING UTILITIES SCHEDULED TO REMAIN AT NO COST TO THE OWNER.
6. EXISTING STRUCTURES, IMPROVEMENTS, APPURTENANCES AND VEGETATION TO REMAIN SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGE TO EXISTING SITE IMPROVEMENTS TO REMAIN SHALL BE REPAIRED AT NO COST TO THE OWNER.
7. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSES ISSUED BY COGNIZANT FEDERAL, STATE, AND LOCAL AGENCIES.
8. CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH CITY OFFICIALS.
9. MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF EXISTING CONDITIONS AND SURVEY INFORMATION.
10. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
11. ALL LINE AND GRADE WORK AS PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR.
12. DIMENSIONS ARE APPROXIMATE BASED ON TAKE OFF FROM SURVEY. ACTUAL DIMENSIONS MAY VARY. NOTIFY THE OWNER'S REPRESENTATIVE AND LA IN THE EVENT OF DIMENSIONAL DISCREPANCIES.
13. CONTRACTOR TO STAKE OUT LAYOUT FOR APPROVAL PRIOR TO EXCAVATION.
14. CONTRACTOR SHALL PREPARE SAMPLE PANELS FOR EACH PAVING TYPE FOR APPROVAL OF WORKMANSHIP, FINISHES, COLOR, AND JOINTING PRIOR TO FINAL INSTALLATION. SEE SPECIFICATIONS FOR FULL MOCK UP REQUIREMENTS.

MATERIALS LEGEND:

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - -	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
[Symbol]	CONCRETE PAVEMENT
[Symbol]	PERMEABLE CONCRETE PAVERS
[Symbol]	STONE SURFACING
[Symbol]	STONE DUST POND PATH
[Symbol]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Symbol]	LIGHT POLE
[Symbol]	EXISTING TREELINE TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE LOCATIONS AND DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



SHEET L101
SHEET L103

SHEET L101
SHEET L102

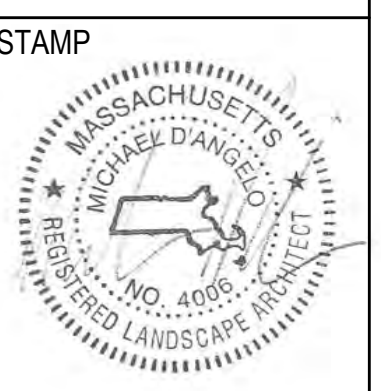
1 MATERIALS PLAN
SCALE: 1" = 20'-0"



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LANDSCAPE ARCHITECTURE LLC
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1 WASHINGTON MALL, SUITE 701
BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT

MATERIALS PLAN

DRAWN: NC	L101
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	
SHEET 02 OF 24	

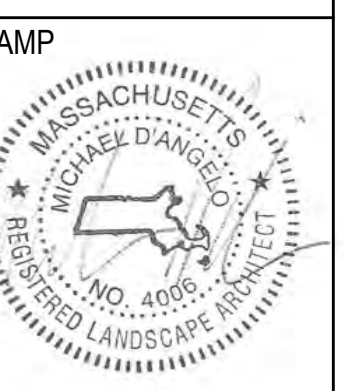
**FOR PERMIT ONLY
NOT FOR CONSTRUCTION**

MDLA
MICHAEL D'ANGELO Landscape Architecture

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LANDSCAPE ARCHITECTURE LLC
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SUITE 201A
BOSTON, MA 02127
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BERKELEY PARTNERS
1 WASHINGTON MALL, SUITE 701
BOSTON, MA

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WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT

MATERIALS PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: **L102**
AS NOTED
DATE: 5/11/2023

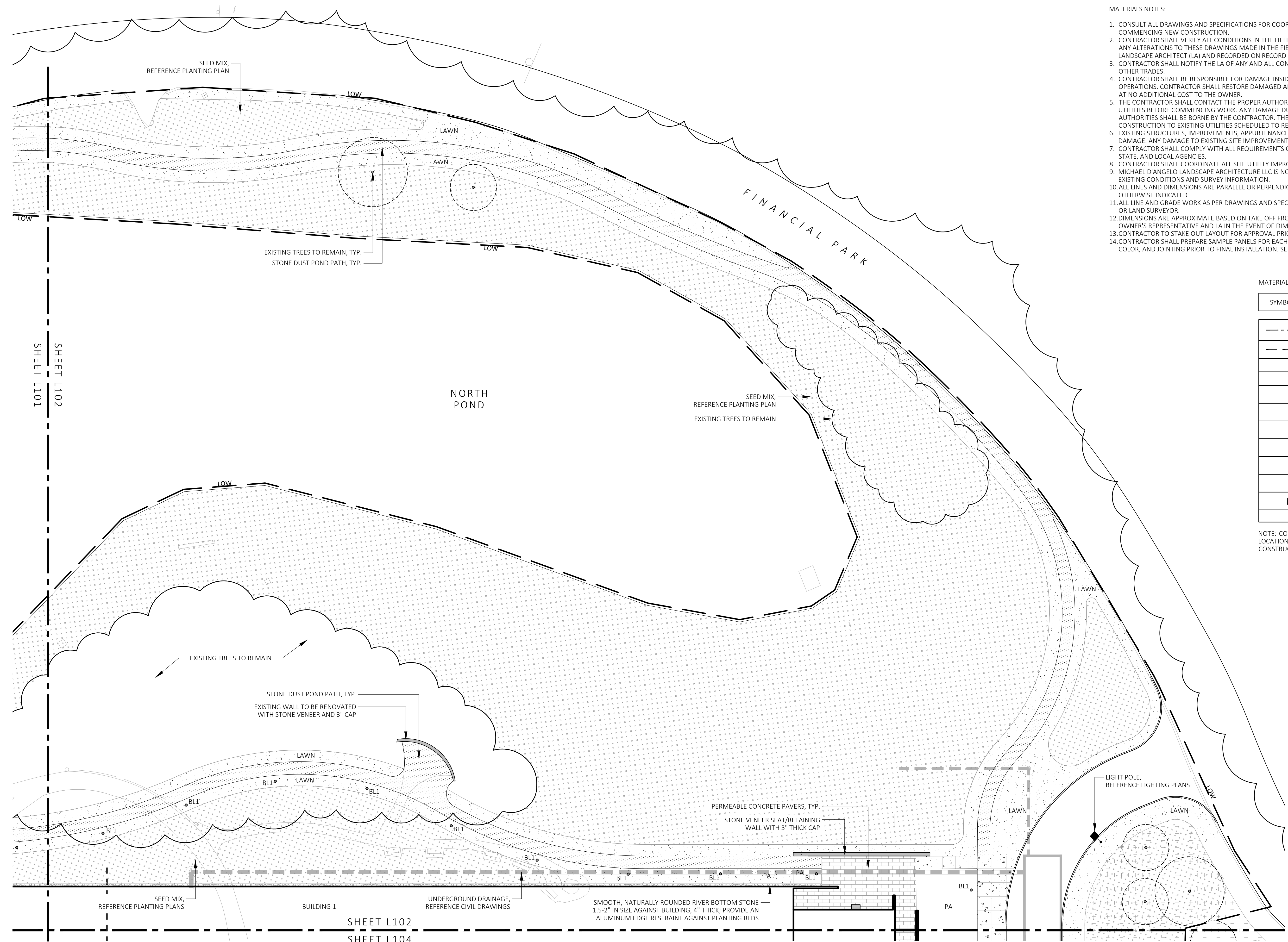
MATERIALS NOTES:

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
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3. CONTRACTOR SHALL NOTIFY THE LA OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
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MATERIALS LEGEND:

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
[Pattern]	CONCRETE PAVEMENT
[Pattern]	PERMEABLE CONCRETE PAVERS
[Pattern]	STONE SURFACING
[Pattern]	STONE DUST POND PATH
[Pattern]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Symbol]	LIGHT POLE
[Symbol]	EXISTING TREELINE TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE LOCATIONS AND DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

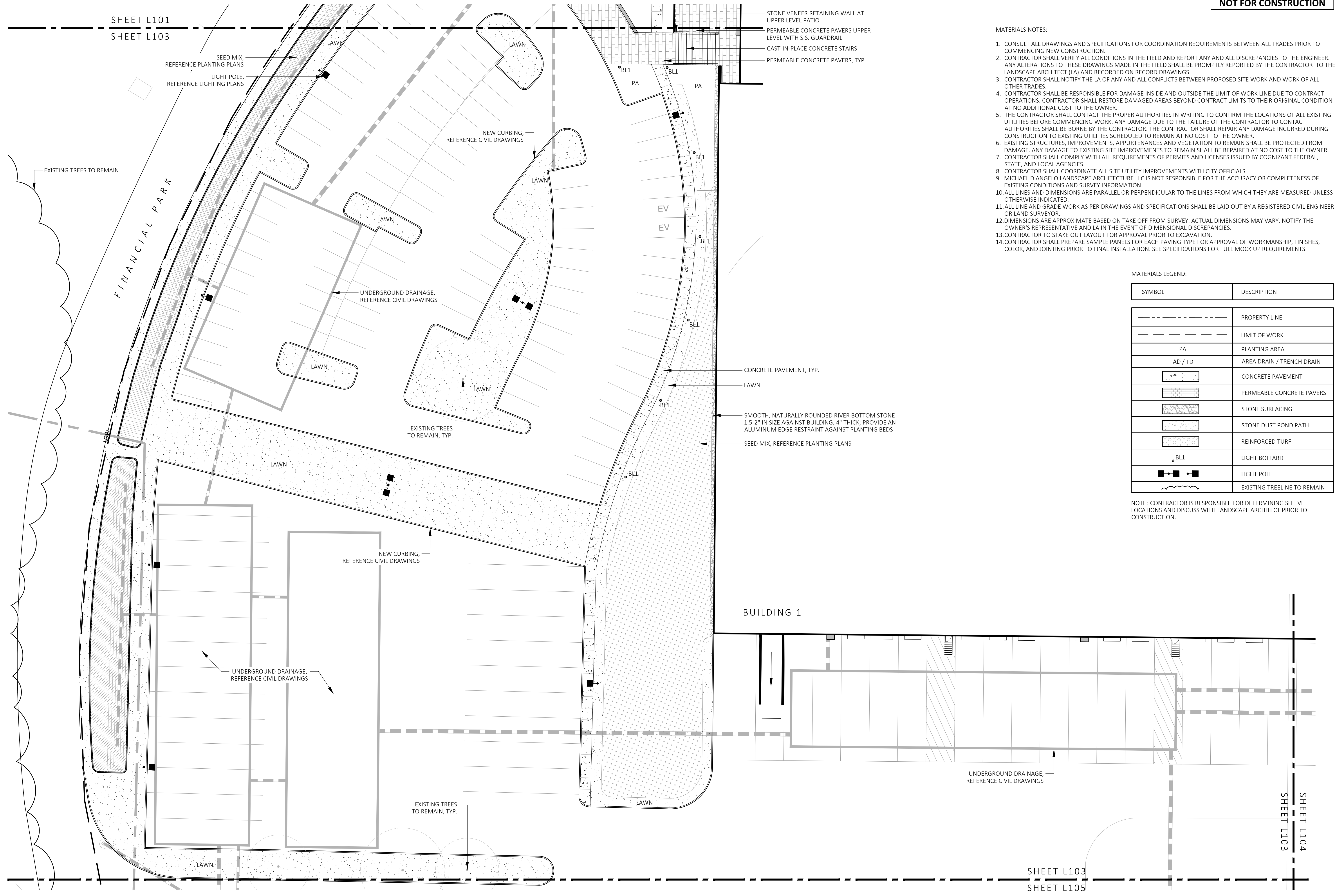


1 MATERIALS PLAN
SCALE: 1" = 20'-0"



SHEET L102
SHEET L104

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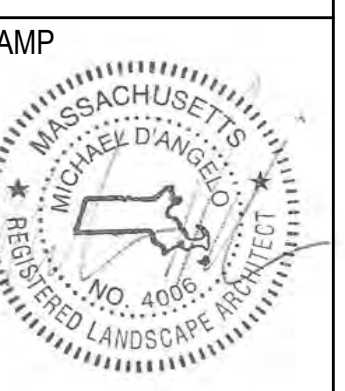


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[Permeable Pattern]	PERMEABLE CONCRETE PAVERS
[Stone Pattern]	STONE SURFACING
[Stone Dust Pattern]	STONE DUST POND PATH
[Reinforced Turf Pattern]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Light Pole Symbol]	LIGHT POLE
[Treeline Symbol]	EXISTING TREELINE TO REMAIN

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STAMP

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MATERIALS PLAN

DRAWN: NC	L103
CHECKED: AS NOTED	
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SHEET 04 OF 24	

1 MATERIALS PLAN
SCALE: 1" = 20'-0"



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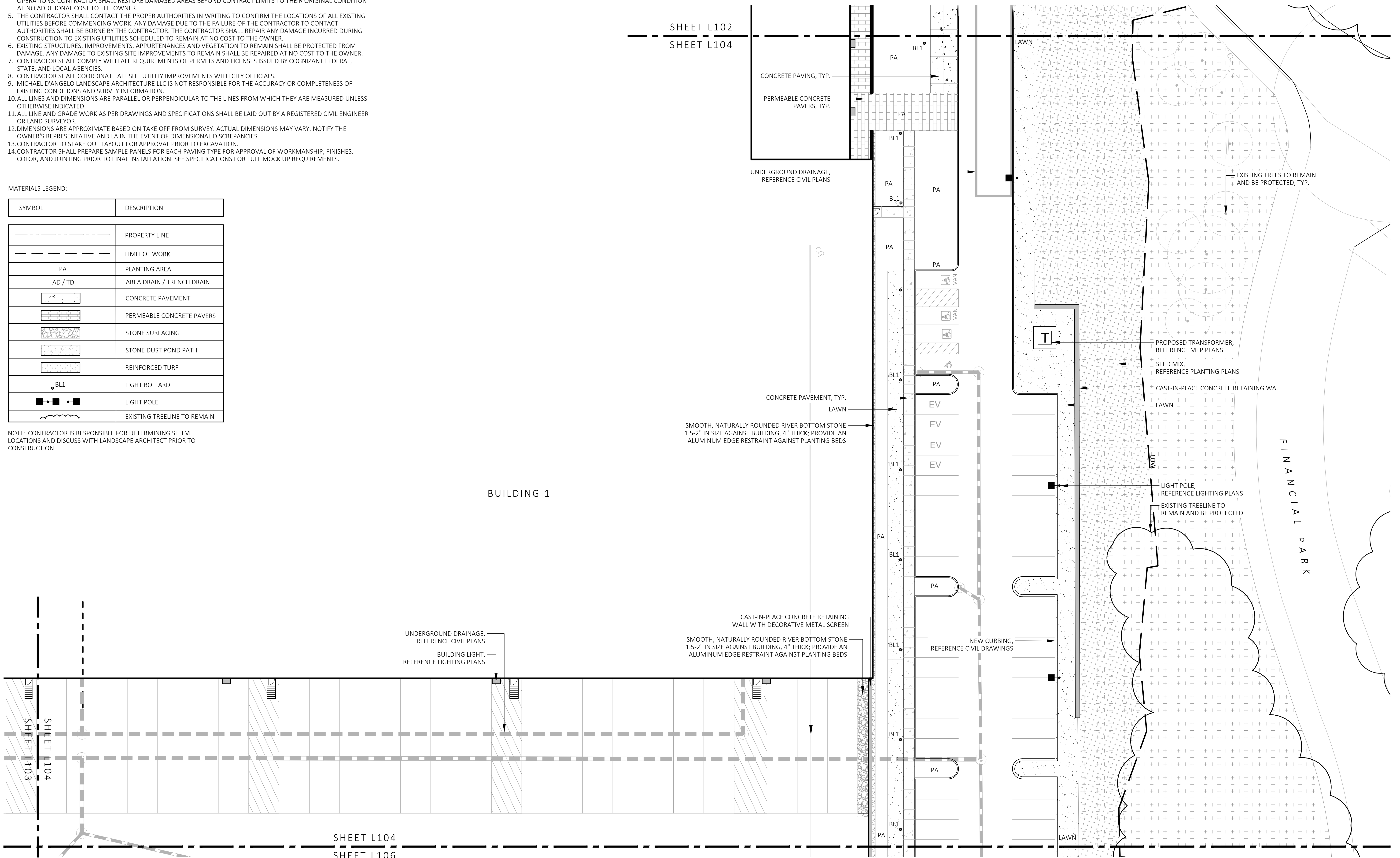
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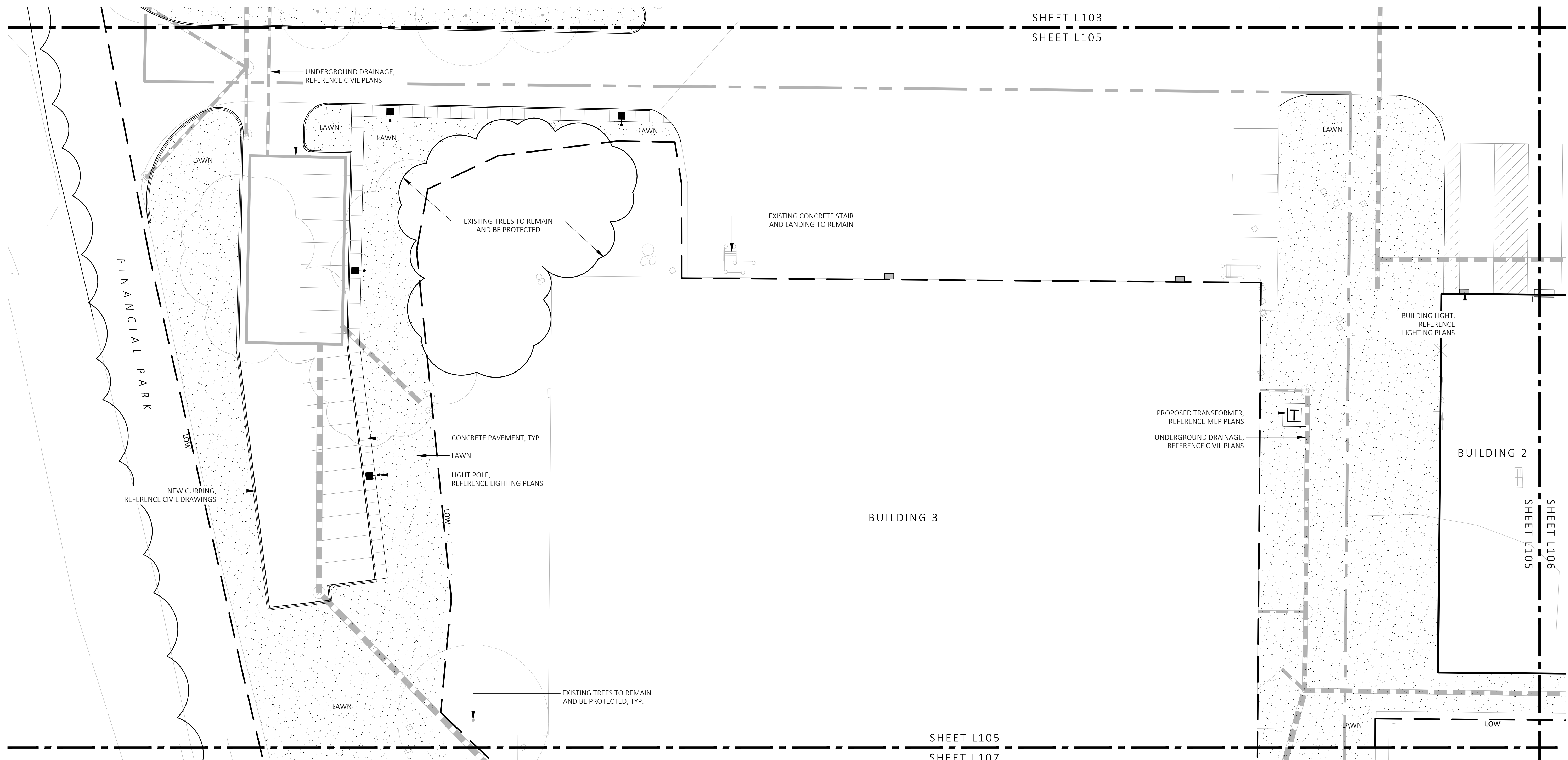
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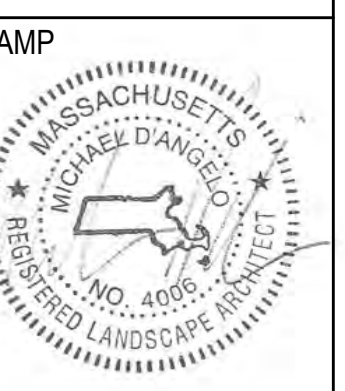
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MATERIALS PLAN

DRAWN: NC
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L105

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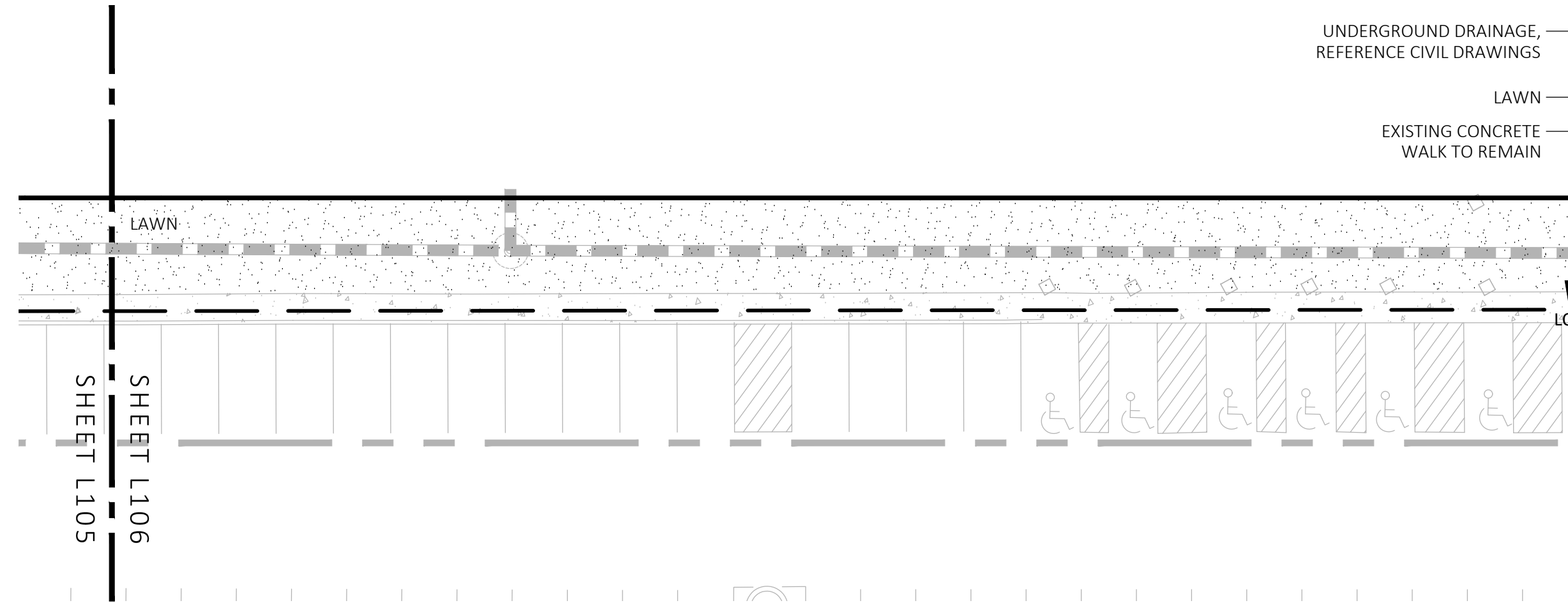
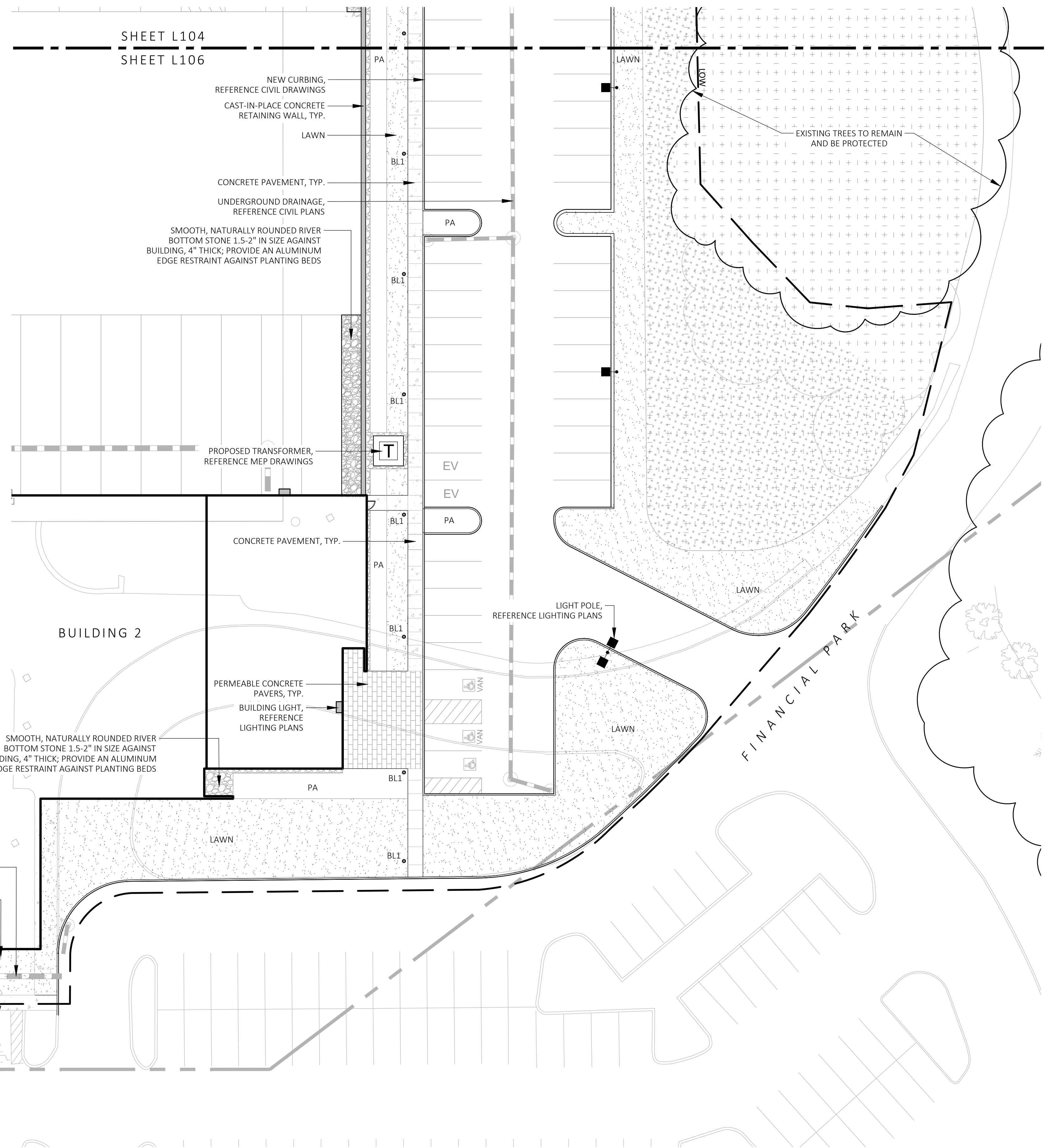
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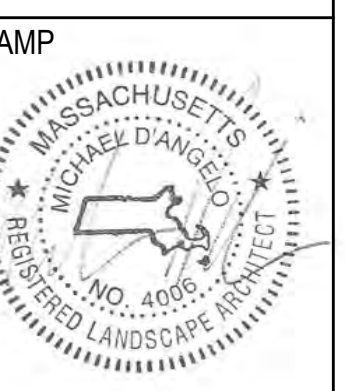
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MATERIALS PLAN

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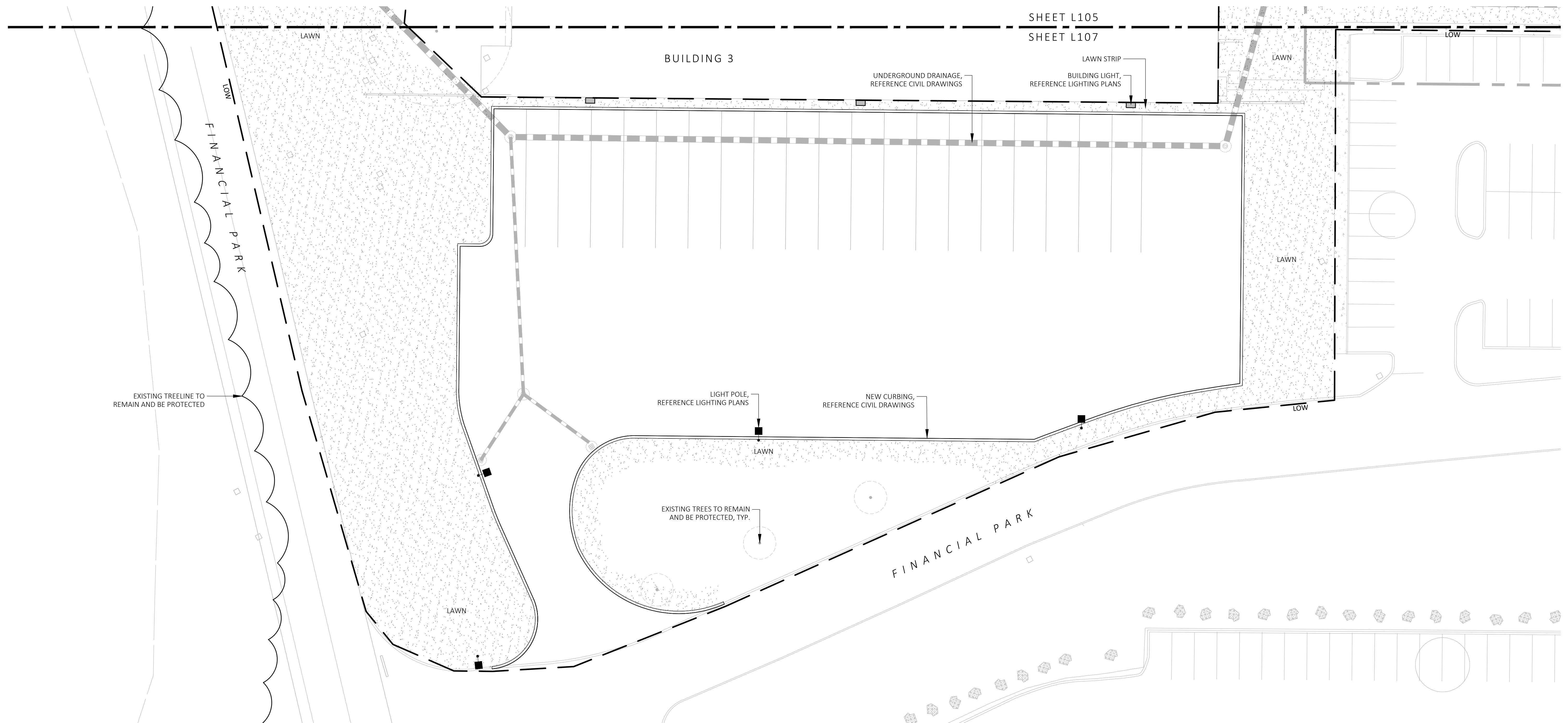
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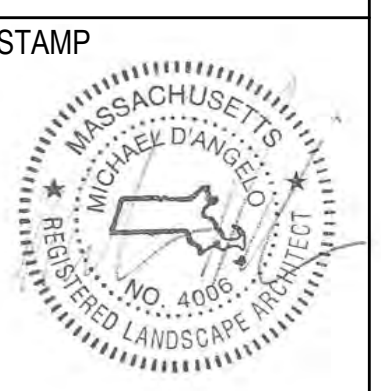
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5/11/2023
L107

PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
- TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

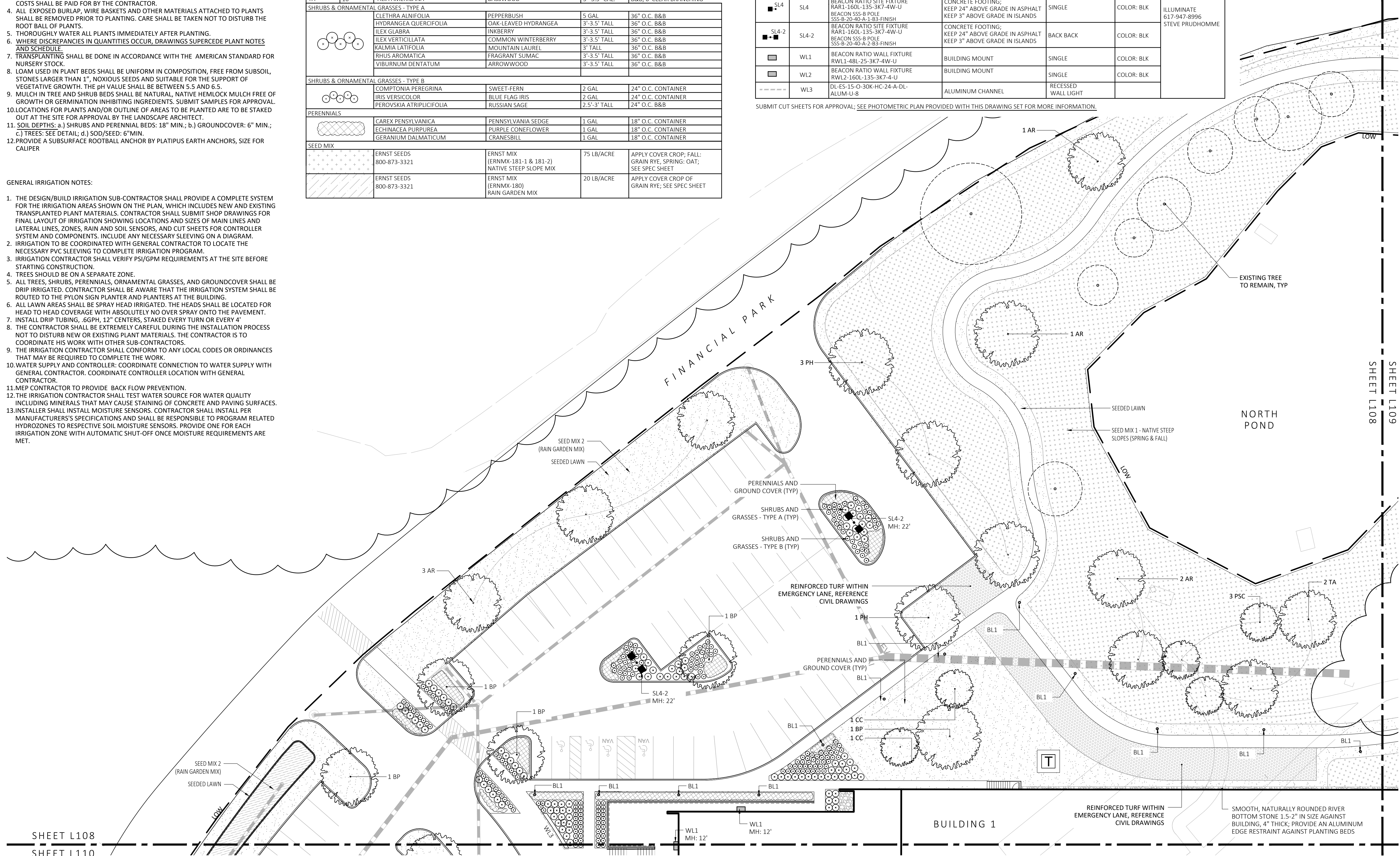
GENERAL IRRIGATION NOTES:

- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
- TREES SHOULD BE ON A SEPARATE ZONE.
- ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
- MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
- THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3" TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3" TALL	24" O.C. B&B
PERENNIALS					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4-U	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-B	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



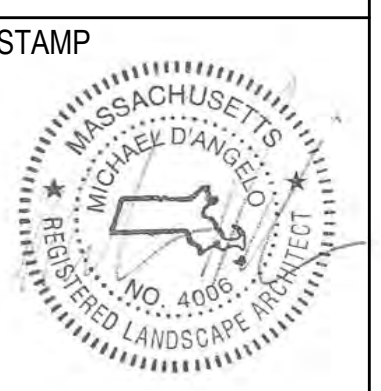
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WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT

PLANTING & LIGHTING PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: AS NOTED
DATE: 5/11/2023

L108



1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
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■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
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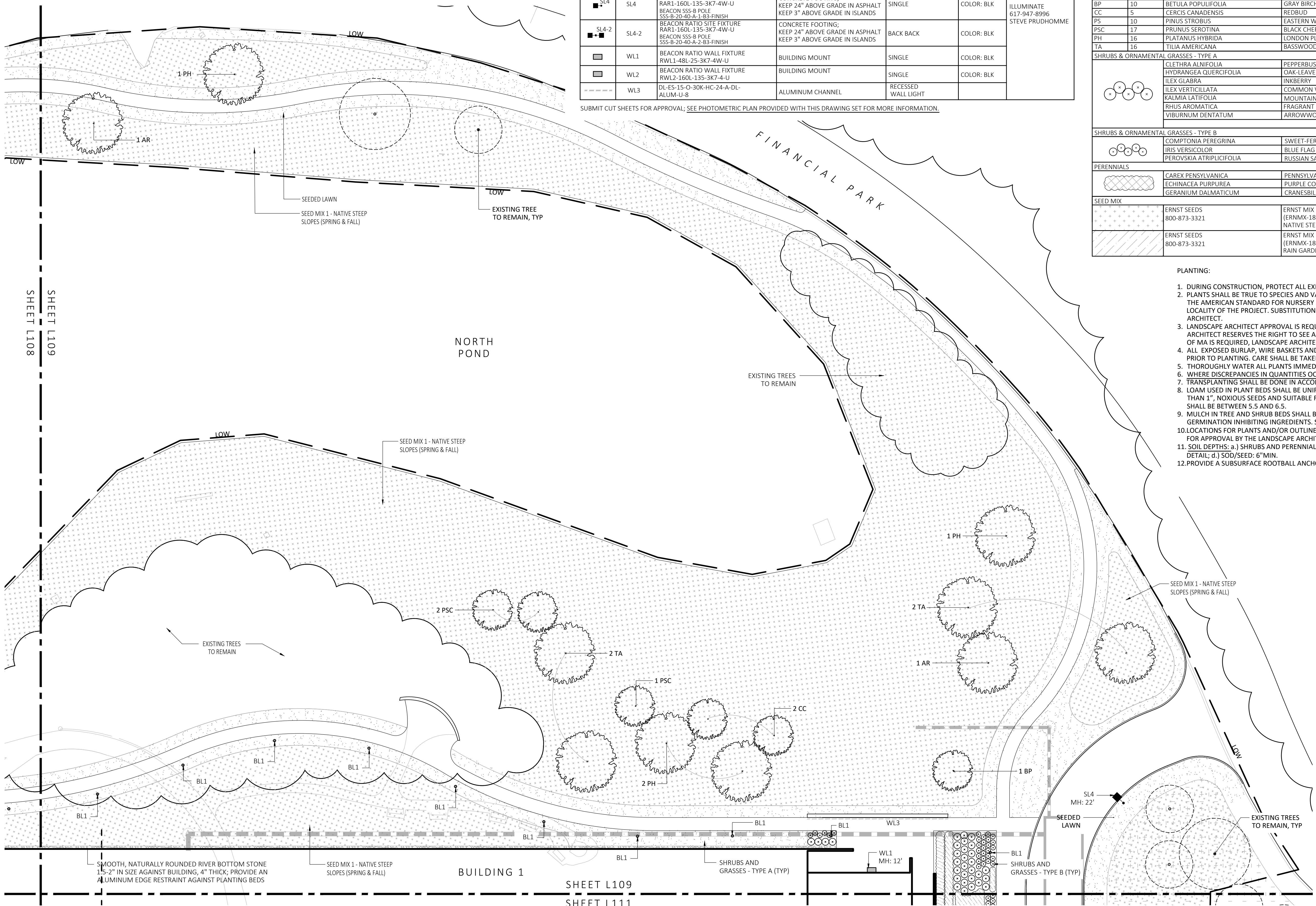
PLANT SCHEDULE					
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		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
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PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
- TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
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- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUNDCOVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

GENERAL IRRIGATION NOTES:

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1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"



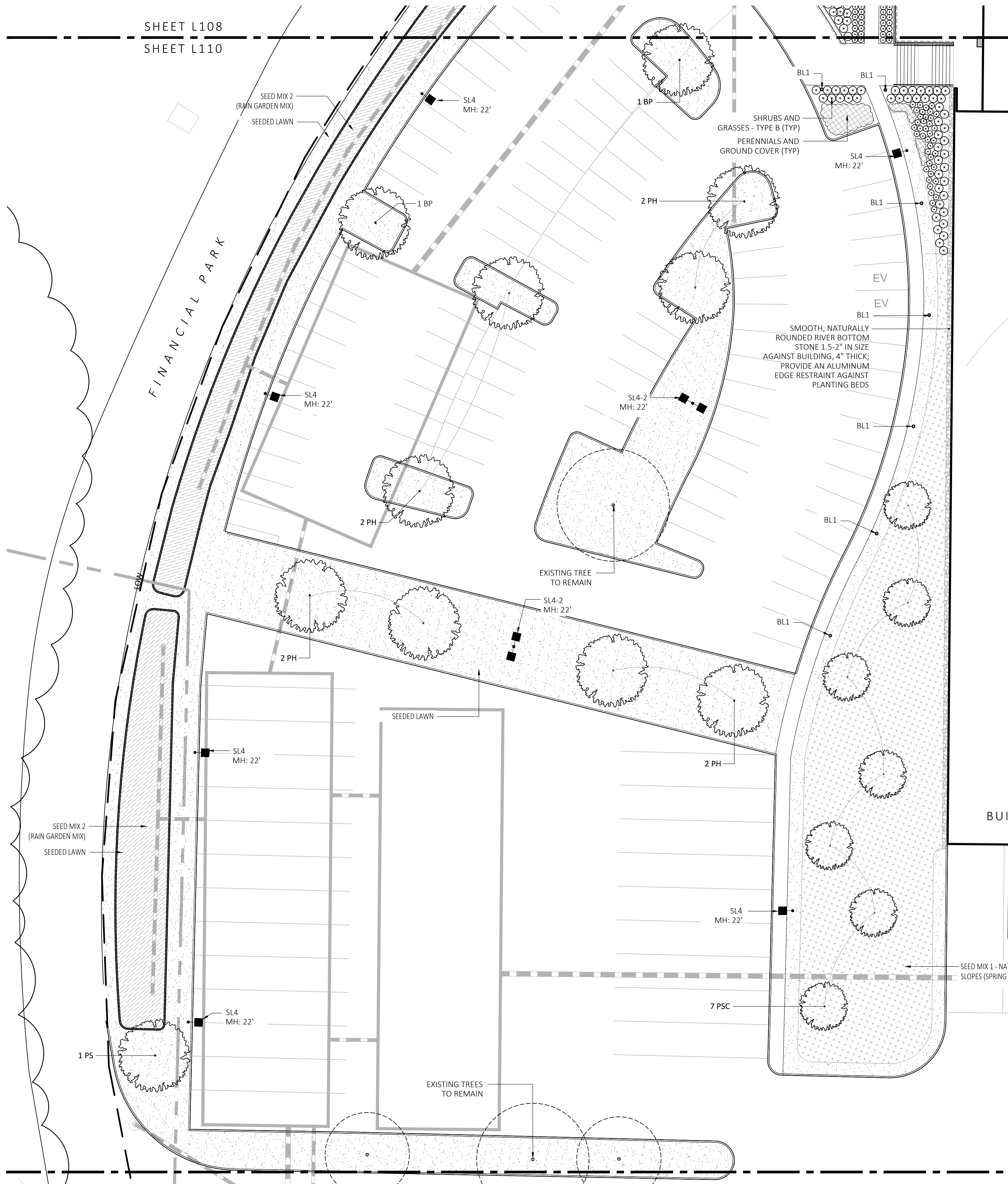
REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT

PLANTING &
LIGHTING
PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: L109
AS NOTED
DATE: 5/11/2023

SHEET L108

SHEET L110



PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
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LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
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■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
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---	WL3	DL-E5-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

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- WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
- MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
- THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

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- PLANTING:
- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
 - PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
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 - ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
 - THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
 - WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
 - TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
 - LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
 - MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
 - LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
 - SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
 - PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATYPUS EARTH ANCHORS, SIZE FOR CALIPER

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REGISTERED LANDSCAPE ARCHITECT
NO. 4098

REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT

PLANTING & LIGHTING PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: L110
AS NOTED
DATE: 5/11/2023

SHEET 11 OF 24
plot date: 5/10/2023

1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"



SHEET L110
SHEET L112

SHEET L110
SHEET L111

FOR PERMIT ONLY
NOT FOR CONSTRUCTION

PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3'-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3'-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3'-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3' TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3'-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3'-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3" TALL	24" O.C. B&B
PERENNIALS					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

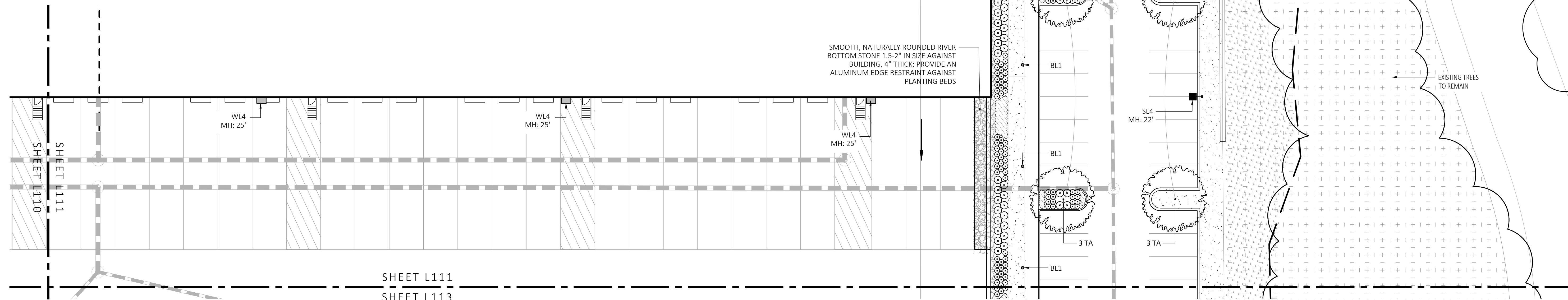
SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

GENERAL IRRIGATION NOTES:

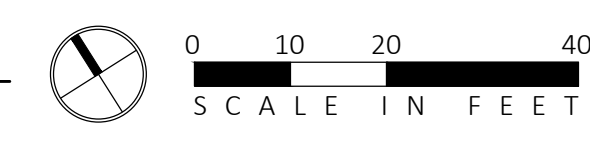
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- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
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1 PLANTING & LIGHTING PLAN
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REV. NO.	DATE	DESCRIPTION
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PLANTING & LIGHTING PLAN

DRAWN: NC
CHECKED: AS NOTED
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DATE: 5/11/2023

SHEET 12 OF 24

plot date: 5/10/2023

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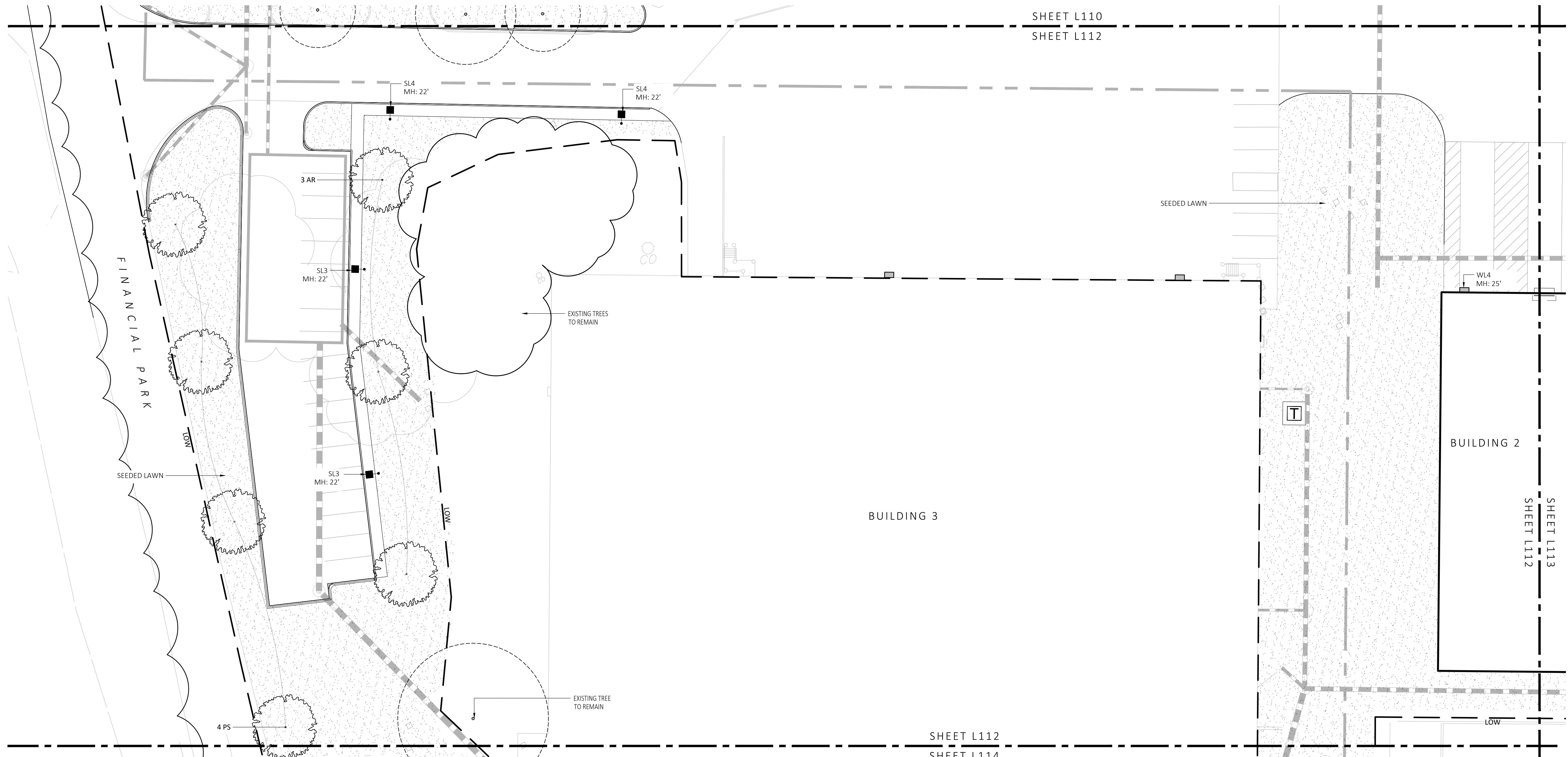
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SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
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		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3' TALL	24" O.C. B&B
PERENNIALS					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP: FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-RS-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-RS-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-RS-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

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SHEET 13 OF 24
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TREES					
AR	24	ACER RUBRUM	RED MAPLE	3" x 3.5" CAL	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3" x 3.5" CAL	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3" x 3.5" CAL	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3" x 3.5" CAL	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3" x 3.5" CAL	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3" x 3.5" CAL	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3" x 3.5" CAL	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3'-3.5' TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3'-3.5' TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3'-3.5' TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3' TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3'-3.5' TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3'-3.5' TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA TRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3" TALL	24" O.C. B&B
PERENNIALS					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-89-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-89-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-89-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	STEVE PRUDHOMME
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

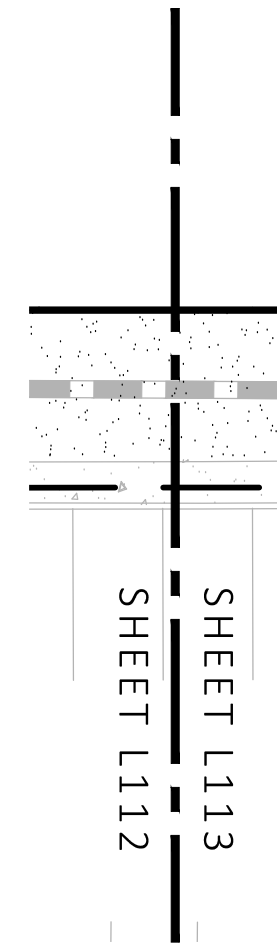
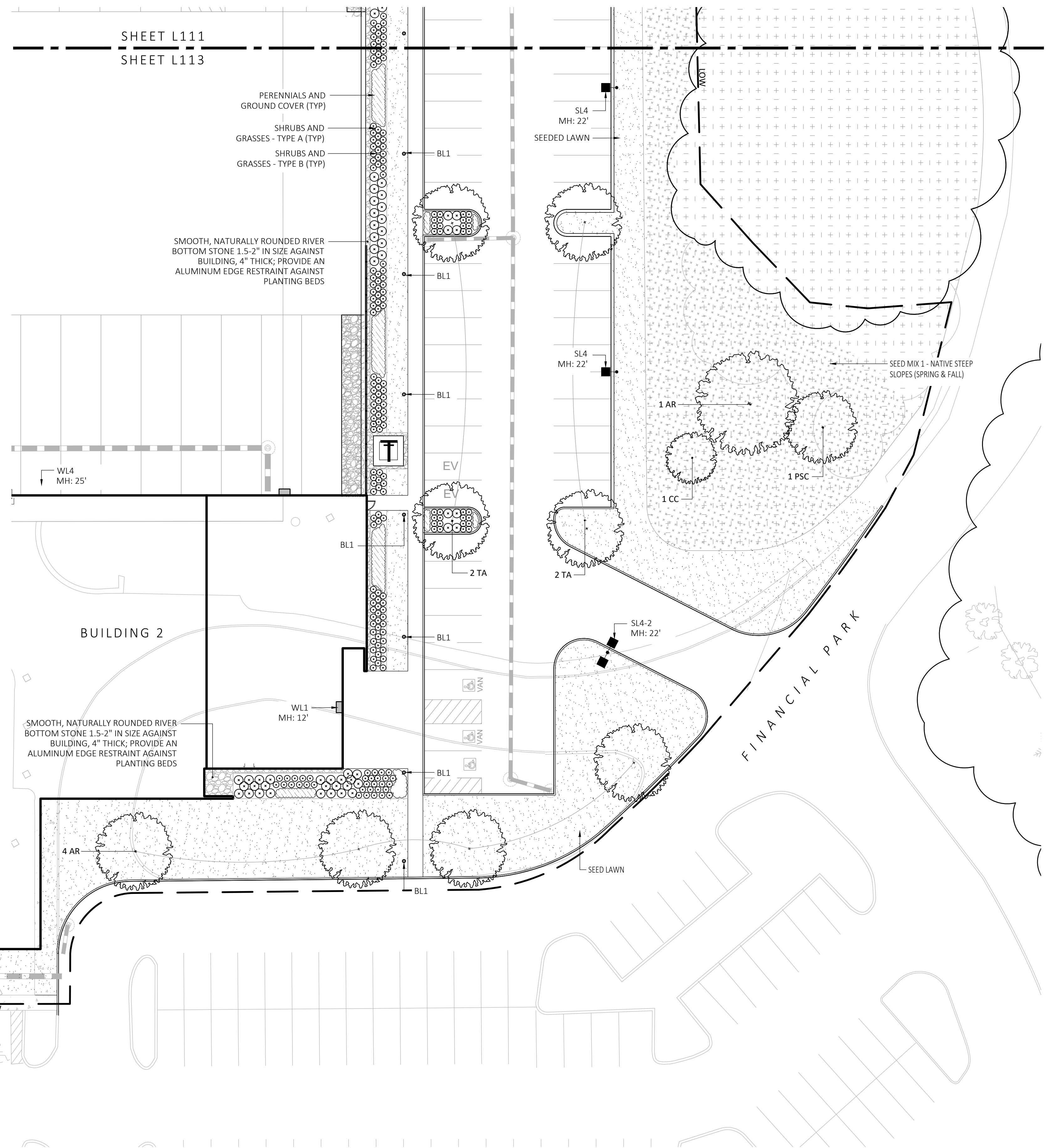
SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

GENERAL IRRIGATION NOTES:

- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
- TREES SHOULD BE ON A SEPARATE ZONE.
- ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY 4'
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
- MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
- THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
- TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOIL/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER



1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"



MDLA
MICHAEL D'ANGELO Landscape Architecture

MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
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BERKELEY PARTNERS
1 WASHINGTON MALL, SUITE 701
BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA

STAMP
MICHAEL D'ANGELO
REGISTERED LANDSCAPE ARCHITECT
NO. 4098

REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT

DRAWN:
NC

CHECKED:
AS NOTED

SCALE:
AS NOTED

DATE:
5/11/2023

L113

SHEET 14 OF 24
plot date: 5/10/2023

PLANTING:

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- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

GENERAL IRRIGATION NOTES:

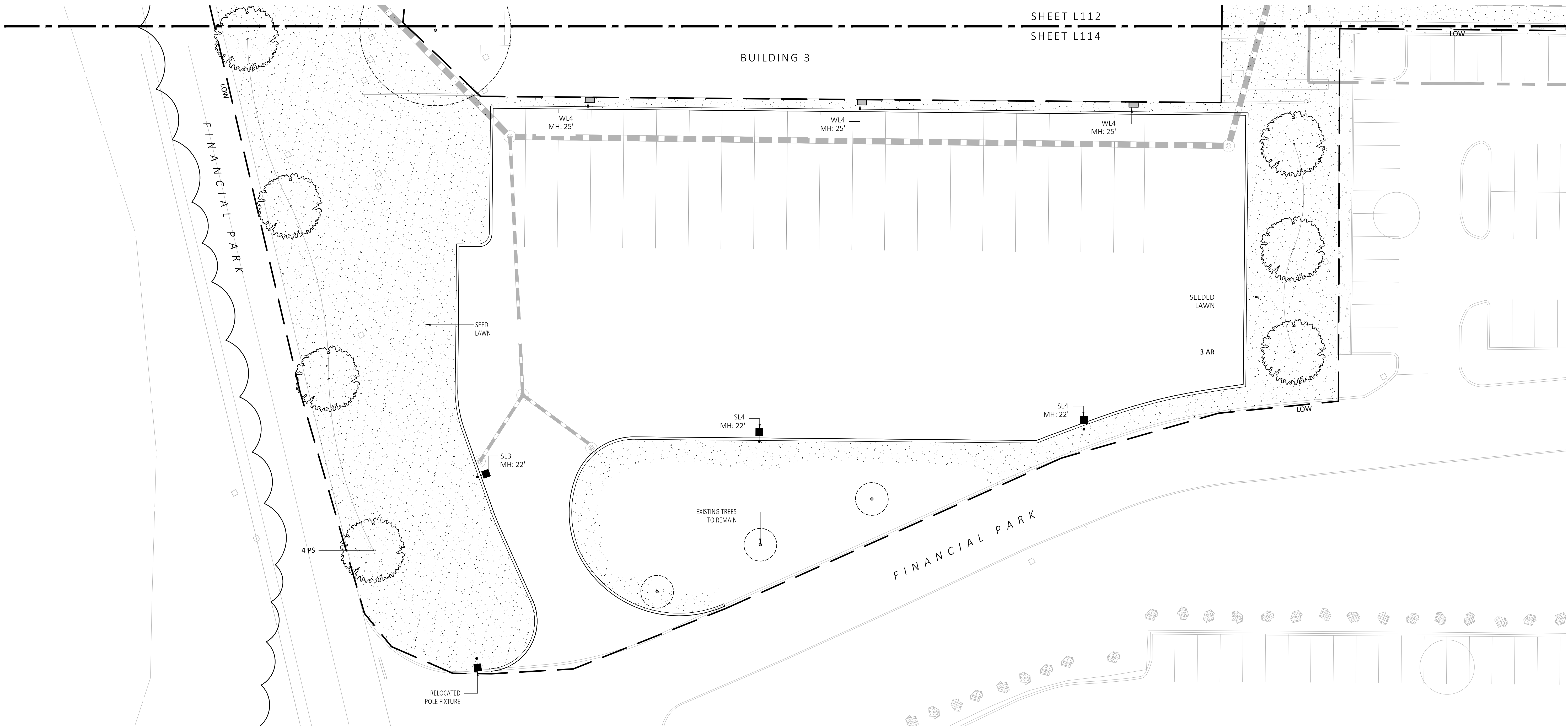
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PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
SHRUBS & ORNAMENTAL GRASSES - TYPE A					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3" TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
SHRUBS & ORNAMENTAL GRASSES - TYPE B					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5"-3" TALL	24" O.C. B&B
PERENNIALS					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
SEED MIX					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP: FALL: GRAIN RYE, SPRINGS: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

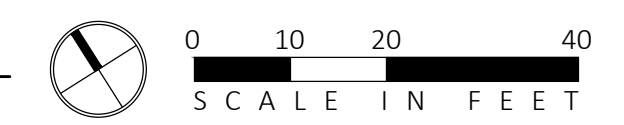
FOR PERMIT ONLY
NOT FOR CONSTRUCTION

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT	COLOR: BLK	

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



1 PLANTING & LIGHTING PLAN
SCALE: 1" = 20'-0"



MDLA
MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
840 SUMMER STREET
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BOSTON, MA 02127
1.203.592.4788
www.m-d-a.com

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BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT

PLANTING & LIGHTING PLAN

DRAWN:
NC
CHECKED:
AS NOTED
SCALE:
AS NOTED
DATE:
5/11/2023

SHEET 15 OF 24

Ernst Conservation Seeds
8884 Mercer Pike
Meadville, PA 16335
(800) 873-3321 Fax (814) 336-5191
www.ernstseed.com

Spring

Date: August 28, 2018

Native Steep Slope Mix w/Grain Oats - ERNMX-181-1

Botanical Name	Common Name	Price/lb
40.00 % <i>Avena sativa</i> , Variety Not Stated	Oats, Variety Not Stated	8.22
20.40 % <i>Sorghastrum nutans</i> , NY4 Ecotype	Indiangrass, NY Ecotype	12.90
8.10 % <i>Andropogon gerardii</i> , 'Niagara'	Big Bluestem, 'Niagara'	13.06
7.20 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
5.20 % <i>Elymus canadensis</i>	Canada Wildrye	12.87
4.50 % <i>Schizanthus scoparius</i> , Fort Indiantown Gap-PA Ecotype	Little Bluestem, Fort Indiantown Gap-PA Ecotype	12.00
3.70 % <i>Tridens flavus</i> , Fort Indiantown Gap-PA Ecotype	Purpletop, Fort Indiantown Gap-PA Ecotype	18.78
3.00 % <i>Agrostis perennis</i> , Albany Pine Bush-NY Ecotype	Autumn Berggrass, Albany Pine Bush-NY Ecotype	14.00
2.30 % <i>Panicum virgatum</i> , 'Shawnee'	Switchgrass, 'Shawnee'	7.51
1.10 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
1.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
0.80 % <i>Gallardia aridata</i>	Perennial Gallardia (Blanketflower)	32.00
0.80 % <i>Audubonia hirta</i>	Black-eyed Susan	20.00
0.70 % <i>Helopsis helianthoides</i> , PA Ecotype	Cheery Sunflower, PA Ecotype	42.00
0.40 % <i>Aster novae-angliae</i> , PA Ecotype	New England Aster, PA Ecotype	360.00
0.20 % <i>Asclepias syriaca</i> , PA Ecotype	Common Milkweed, PA Ecotype	196.00
0.20 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.10 % <i>Penstemon digitalis</i>	Tall White Beardtongue	160.00

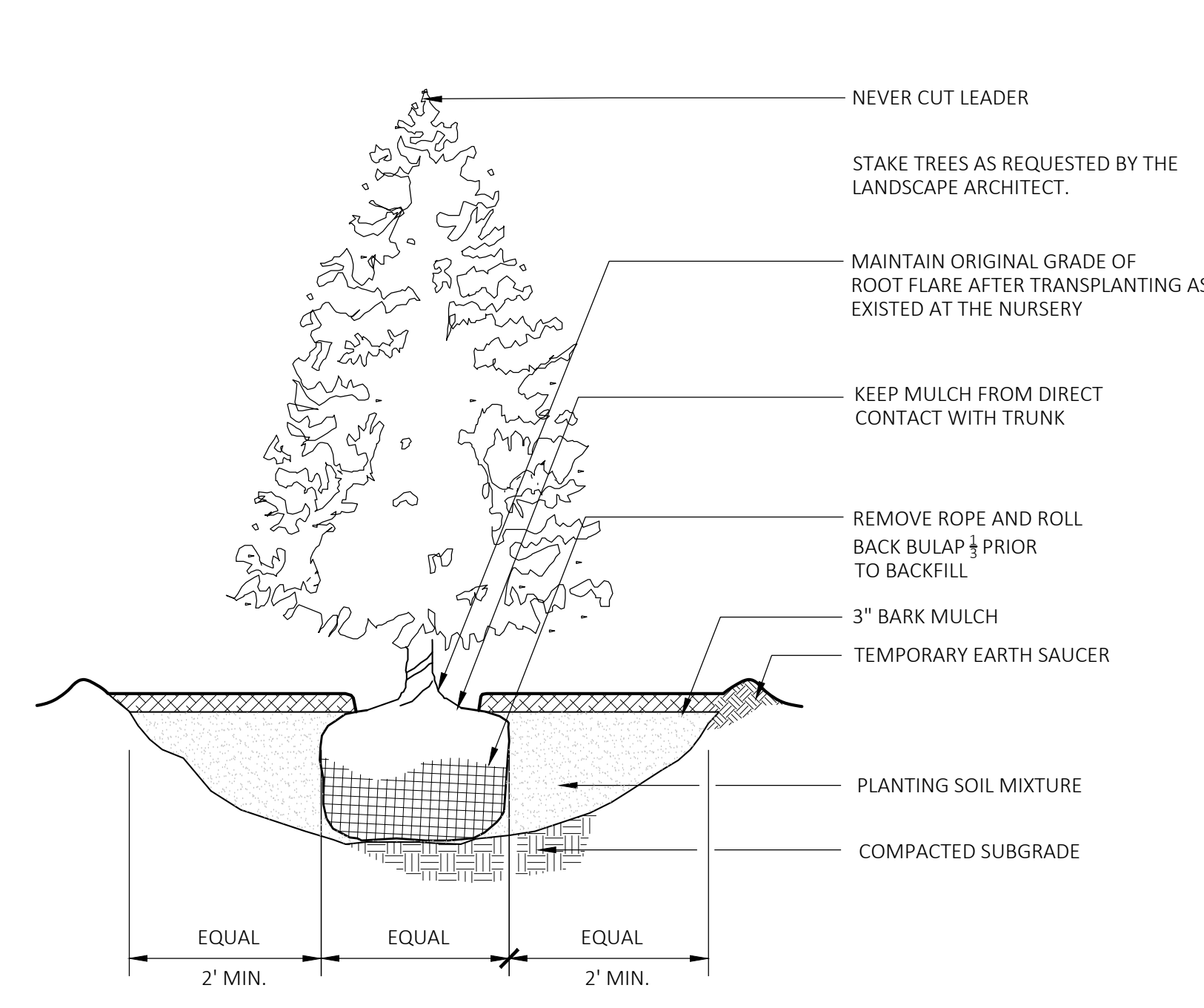
100.00 % Mix Price/lb Bulk: \$10.45

Seeding Rate: 75 lb per acre
Erosion Control & Revegetation

Use this formula with grain oats as a cover crop in the spring and summer (until September 1st). Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days. All prices are FOB Meadville, PA. Please check our web site at www.ernstseed.com for current pricing when placing orders.

1 SEED MIX 1 - NATIVE STEEP SLOPES (SPRING)
SCALE: N.T.S.



4 EVERGREEN TREE PLANTING
SCALE: N.T.S.

Ernst Conservation Seeds
8884 Mercer Pike
Meadville, PA 16335
(800) 873-3321 Fax (814) 336-5191
www.ernstseed.com

Fall

Date: August 28, 2018

Native Steep Slope Mix w/Grain Rye - ERNMX-181-2

Botanical Name	Common Name	Price/lb
40.00 % <i>Sesale cereale</i> , Variety Not Stated	Grain Rye, Variety Not Stated	0.21
20.40 % <i>Sorghastrum nutans</i> , PA Ecotype	Indiangrass, PA Ecotype	10.60
8.10 % <i>Andropogon gerardii</i> , 'Niagara'	Big Bluestem, 'Niagara'	13.06
7.20 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
5.20 % <i>Elymus canadensis</i>	Canada Wildrye	12.87
4.50 % <i>Schizanthus scoparius</i> , 'Camper'	Little Bluestem, 'Camper'	12.59
3.70 % <i>Tridens flavus</i>	Purpletop	18.56
3.00 % <i>Agrostis perennis</i> , Albany Pine Bush-NY Ecotype	Autumn Berggrass, Albany Pine Bush-NY Ecotype	14.00
2.30 % <i>Panicum virgatum</i> , 'Shawnee'	Switchgrass, 'Shawnee'	7.51
1.10 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
1.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
0.80 % <i>Gallardia aridata</i>	Perennial Gallardia (Blanketflower)	32.00
0.80 % <i>Audubonia hirta</i>	Black-eyed Susan	20.00
0.70 % <i>Helopsis helianthoides</i> , PA Ecotype	Cheery Sunflower, PA Ecotype	42.00
0.40 % <i>Aster lateriflorus</i>	Calico Aster	300.00
0.30 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.20 % <i>Asclepias syriaca</i> , PA Ecotype	Common Milkweed, PA Ecotype	196.00

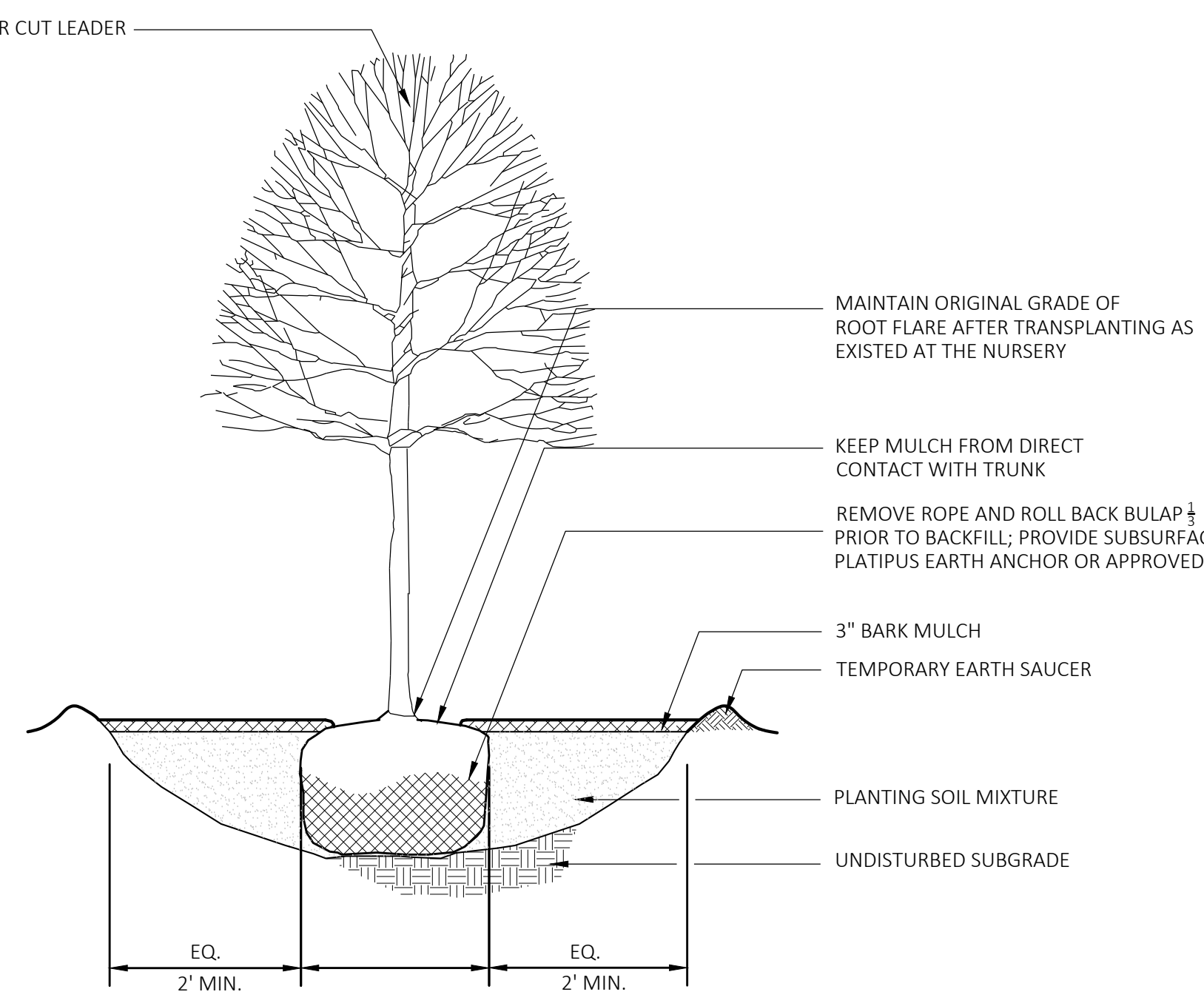
100.00 % Mix Price/lb Bulk: \$9.88

Seeding Rate: 75 lb per acre
Erosion Control & Revegetation

Use this formula with grain rye as a cover crop (from August 1st-February 15th). Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days. All prices are FOB Meadville, PA. Please check our web site at www.ernstseed.com for current pricing when placing orders.

2 SEED MIX 1 - NATIVE STEEP SLOPES (FALL)
SCALE: N.T.S.



5 DECIDUOUS TREE PLANTING
SCALE: N.T.S.

Ernst Conservation Seeds
8884 Mercer Pike
Meadville, PA 16335
(800) 873-3321 Fax (814) 336-5191
www.ernstseed.com

Date: August 28, 2018

Rain Garden Mix - ERNMX-180

Botanical Name	Common Name	Price/lb
31.50 % <i>Schizanthus scoparius</i> , Albany Pine Bush-NY Ecotype	Little Bluestem, Albany Pine Bush-NY Ecotype	12.02
20.00 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
10.00 % <i>Carex vulpinoidea</i> , PA Ecotype	Fox Sedge, PA Ecotype	24.00
10.00 % <i>Panicum virgatum</i> , Coastal Plain NC Ecotype	Redtop/Panicgrass, Coastal Plain NC Ecotype	48.00
5.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
3.00 % <i>Chamaecrista fasciculata</i>	Lanceleaf Coneopsis	24.00
2.00 % <i>Audubonia hirta</i>	Black-eyed Susan	20.00
2.00 % <i>Carex scoparia</i> , PA Ecotype	Blunt Broom Sedge, PA Ecotype	72.00
2.00 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
2.00 % <i>Eupatorium coelestinum</i> , PA Ecotype	Milkflower, VA Ecotype	128.00
2.00 % <i>Helopsis helianthoides</i> , PA Ecotype	Cheery Sunflower, PA Ecotype	42.00
2.00 % <i>Penstemon digitalis</i> , PA Ecotype	Tall White Beardtongue, PA Ecotype	160.00
1.00 % <i>Asclepias syriaca</i> , PA Ecotype	Swamp Milkweed, PA Ecotype	160.00
1.00 % <i>Juncus effusus</i>	Soft Rush	40.00
1.00 % <i>Juncus tenuis</i> , PA Ecotype	Path Rush, PA Ecotype	60.00
1.00 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.80 % <i>Aster novae-angliae</i> , PA Ecotype	New England Aster, PA Ecotype	360.00
0.70 % <i>Aster laevis</i> , NY Ecotype	Smooth Blue Aster, NY Ecotype	300.00
0.50 % <i>Audubonia hirta</i> var. <i>fulpida</i> , Northern VA Ecotype	Orange Coneflower, Northern VA Ecotype	300.00
0.50 % <i>Senna hebecarpa</i> , VA & WV Ecotype	Wild Senna, VA & WV Ecotype	24.00
0.40 % <i>Morone fasciata</i> , Fort Indiantown Gap-PA Ecotype	Wild Bergamot, Fort Indiantown Gap-PA Ecotype	160.00
0.30 % <i>Psycotermum tenuifolium</i>	Narrowleaf Mountainmint	140.00
0.30 % <i>Solidago juncea</i> , PA Ecotype	Early Goldenrod, PA Ecotype	280.00

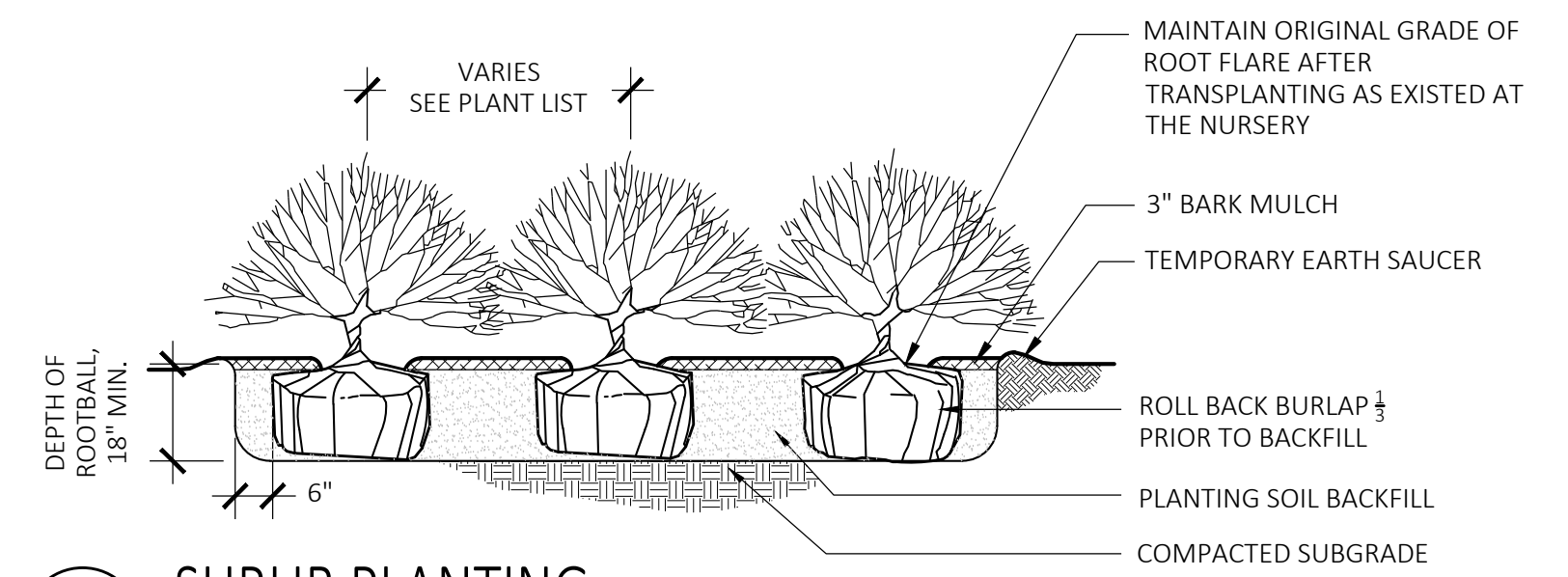
100.00 % Mix Price/lb Bulk: \$37.29

Seeding Rate: 20 lb per acre with a cover crop of grain rye at 30 lb per acre
Uplands & Meadows

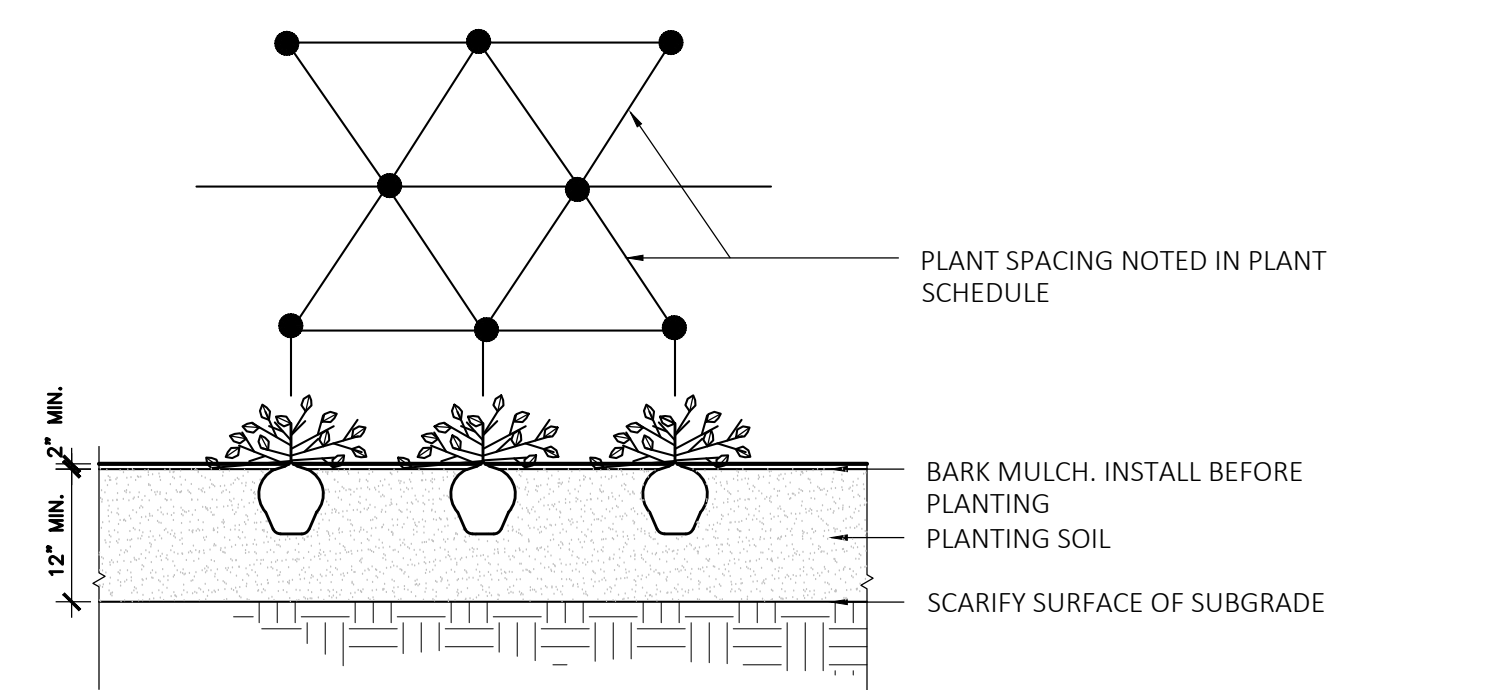
The native perennial forbs and grasses provide food and cover for rain garden biodiversity. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days. All prices are FOB Meadville, PA. Please check our web site at www.ernstseed.com for current pricing when placing orders.

3 SEED MIX 2 - RAIN GARDEN MIX
SCALE: N.T.S.



6 SHRUB PLANTING
SCALE: N.T.S.



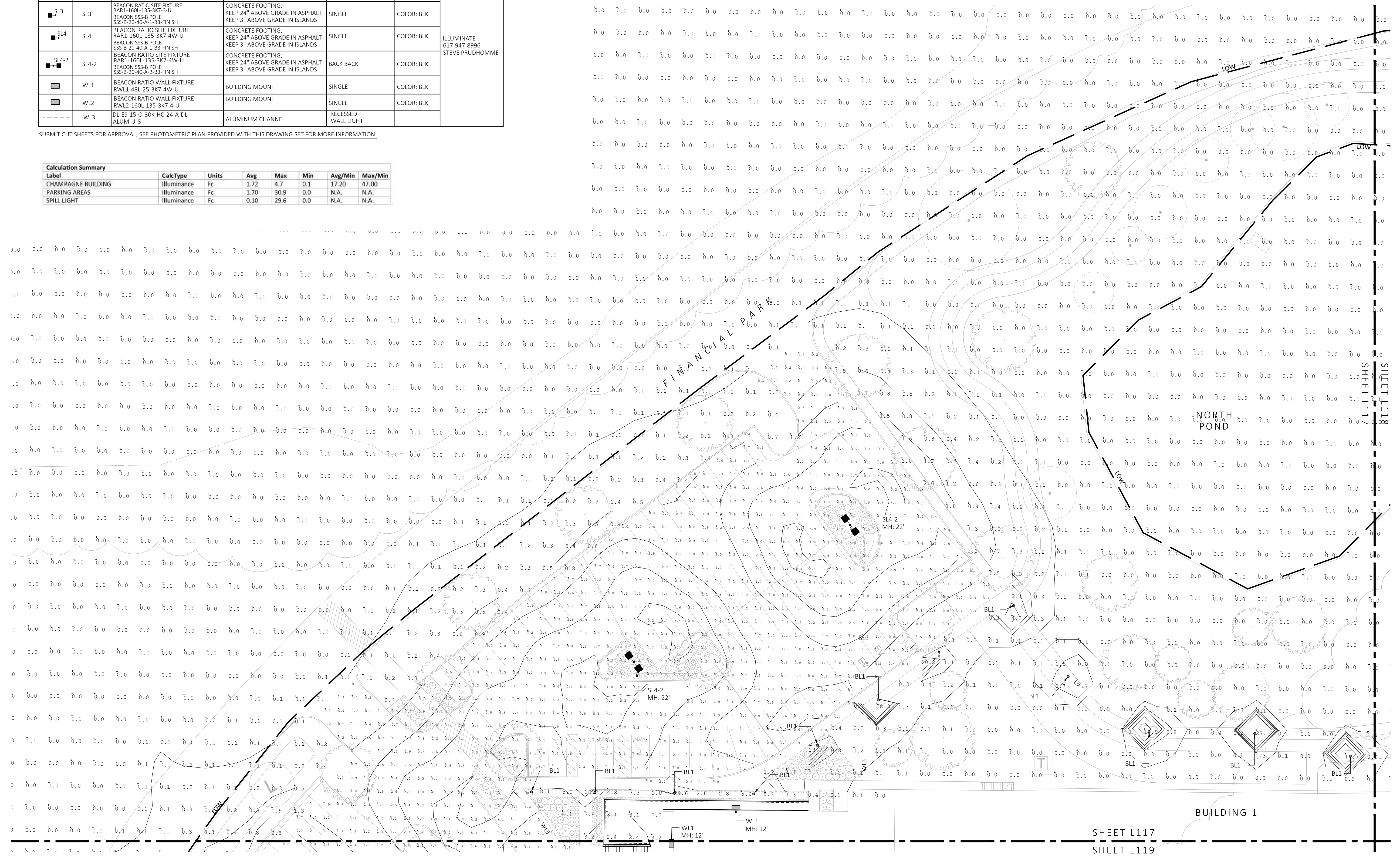
7 GROUNDCOVER PLANTING
SCALE: N.T.S.

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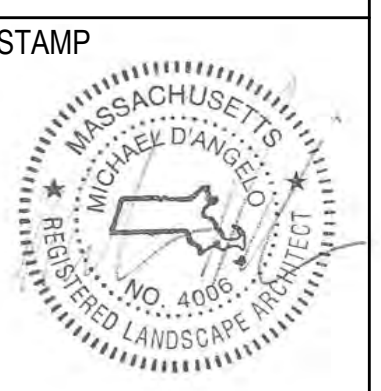
LIGHT SCHEDULE SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-UJ-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT

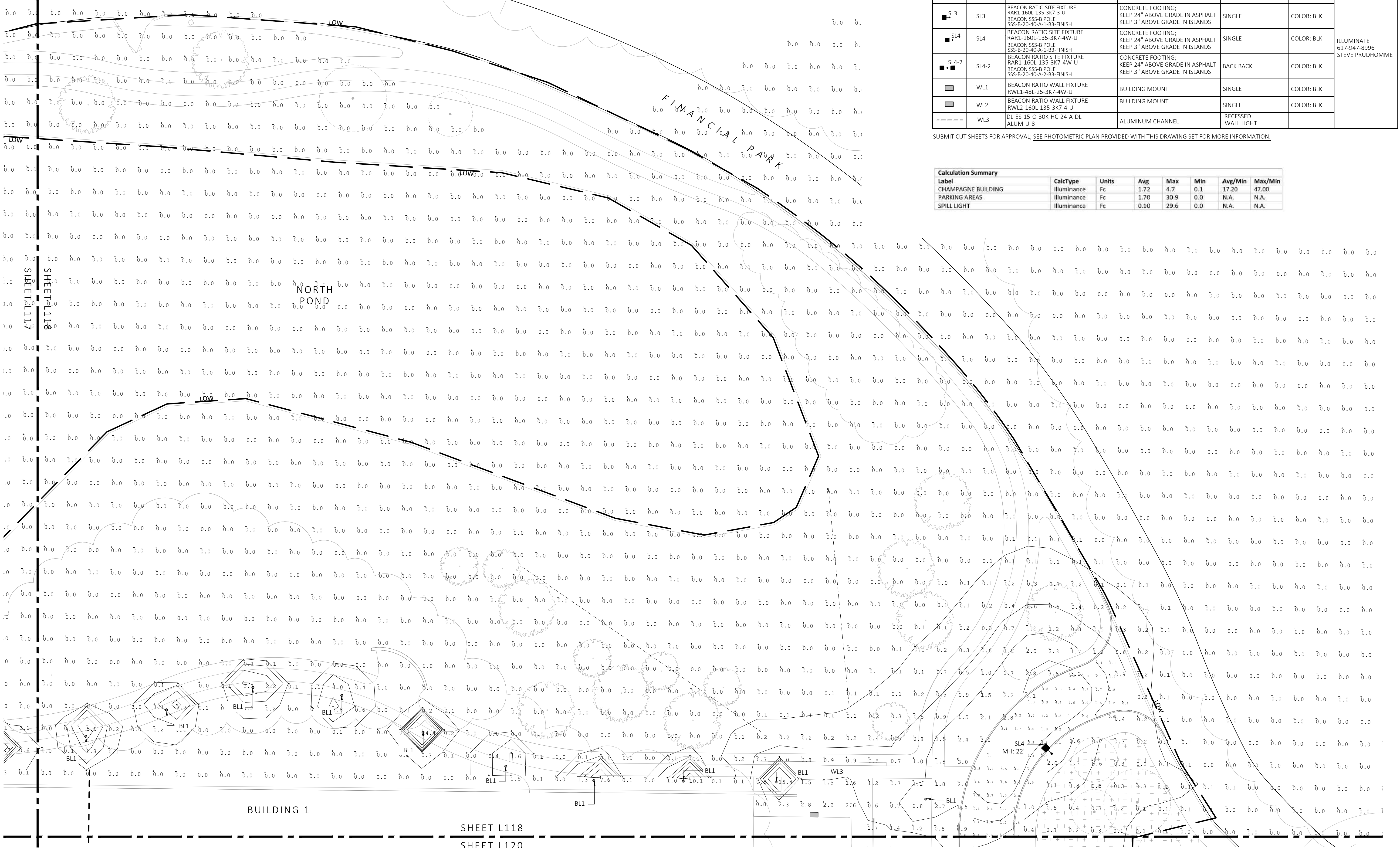
PHOTOMETRIC PLAN

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NOT FOR CONSTRUCTION

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■ SL3	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-3-U BEACON SSS-8 POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■ SL4	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■ SL4-2	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-85-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

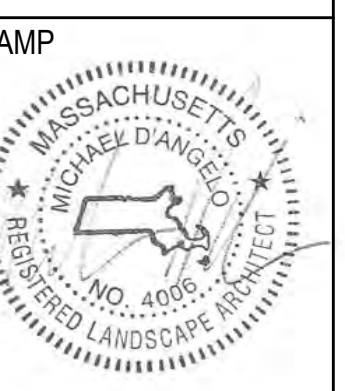


MDLA
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE

MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
840 SUMMER STREET
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BERKELEY PARTNERS
1 WASHINGTON MALL, SUITE 701
BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA



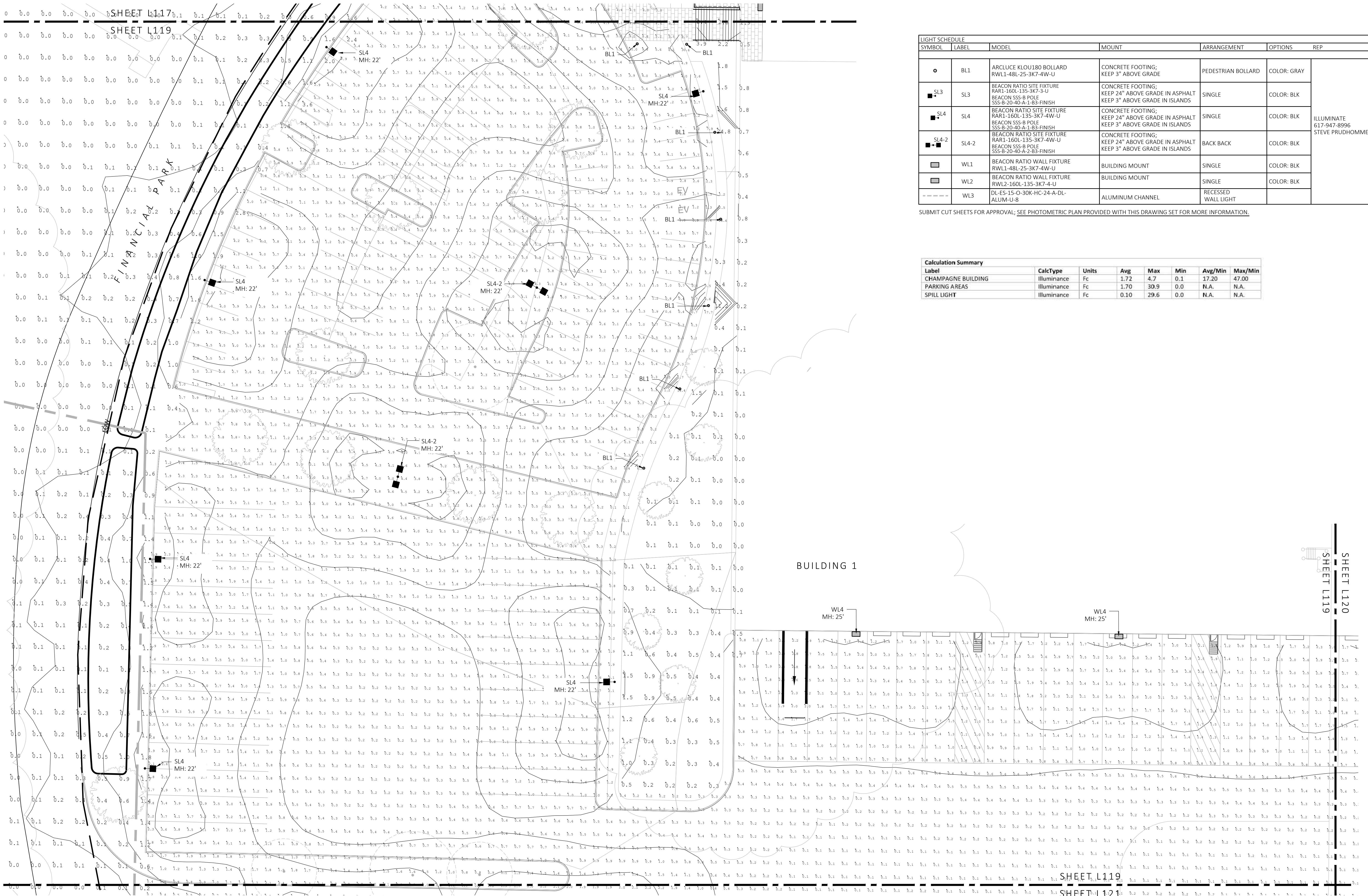
REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT

PHOTOMETRIC PLAN

DRAWN:
NC
CHECKED:
AS NOTED
SCALE:
AS NOTED
DATE:
5/11/2023

L118

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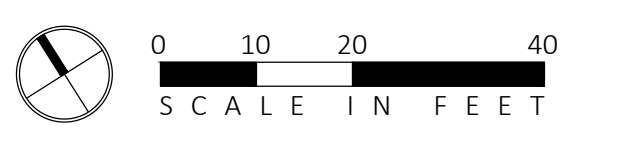


SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON 555-B POLE 555-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON 555-B POLE 555-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON 555-B POLE 555-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	ILLUMINATE STEVE PRUDHOMME
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	ILLUMINANCE	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	ILLUMINANCE	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	ILLUMINANCE	Fc	0.10	29.6	0.0	N.A.	N.A.

1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



MDLA
MICHAEL D'ANGELO Landscape Architecture

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840 SUMMER STREET
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PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA

STAMP
MICHAEL D'ANGELO
REGISTERED LANDSCAPE ARCHITECT
NO. 4098
STATE OF MASSACHUSETTS

REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT

PHOTOMETRIC PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: AS NOTED
DATE: 5/11/2023

L119

SHEET 20 OF 24

plot date: 5/10/2023

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REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT

PHOTOMETRIC PLAN

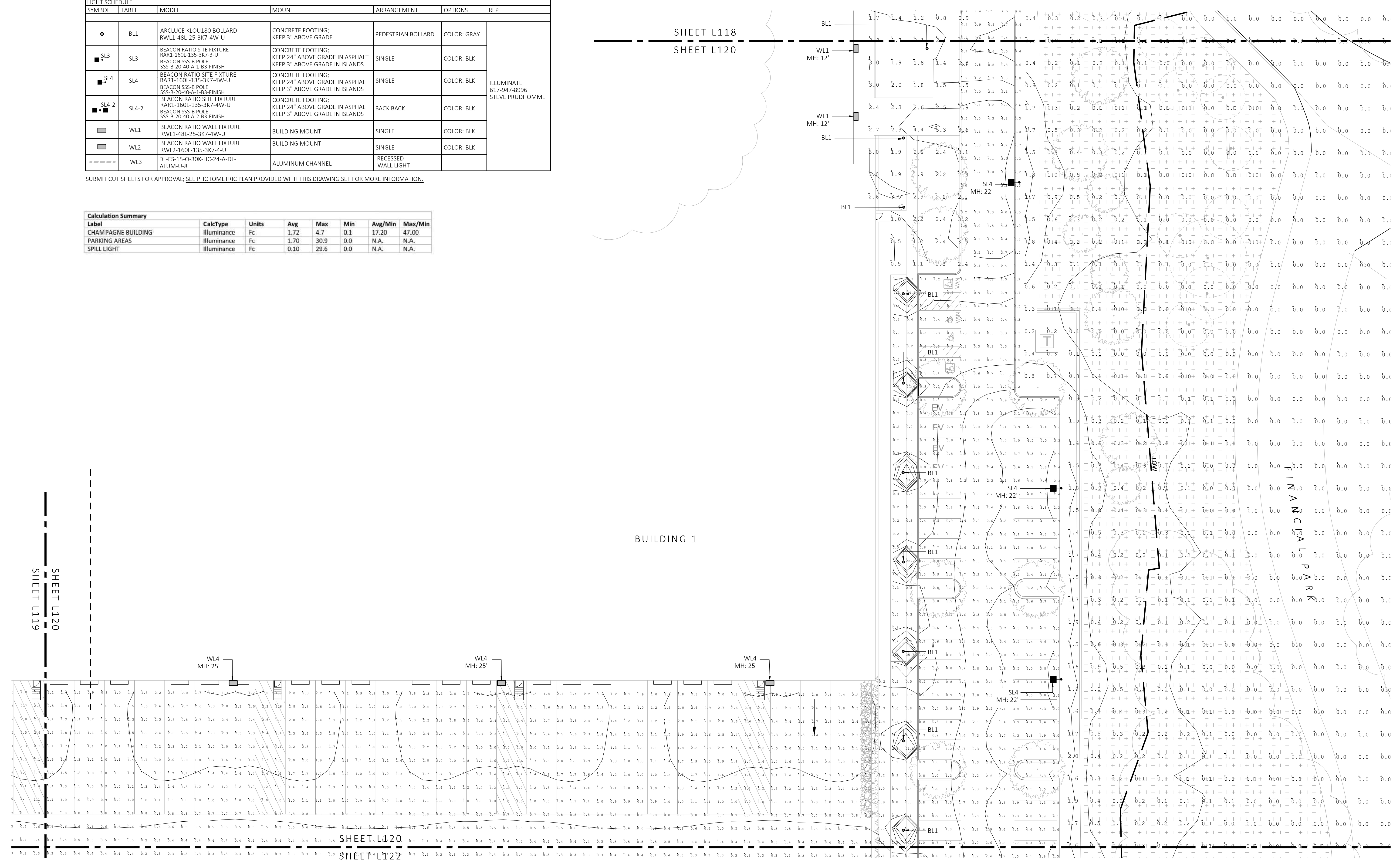
DRAWN: NC
CHECKED: AS NOTED
SCALE: AS NOTED
DATE: 5/11/2023

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.

SHEET L118
SHEET L120



1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

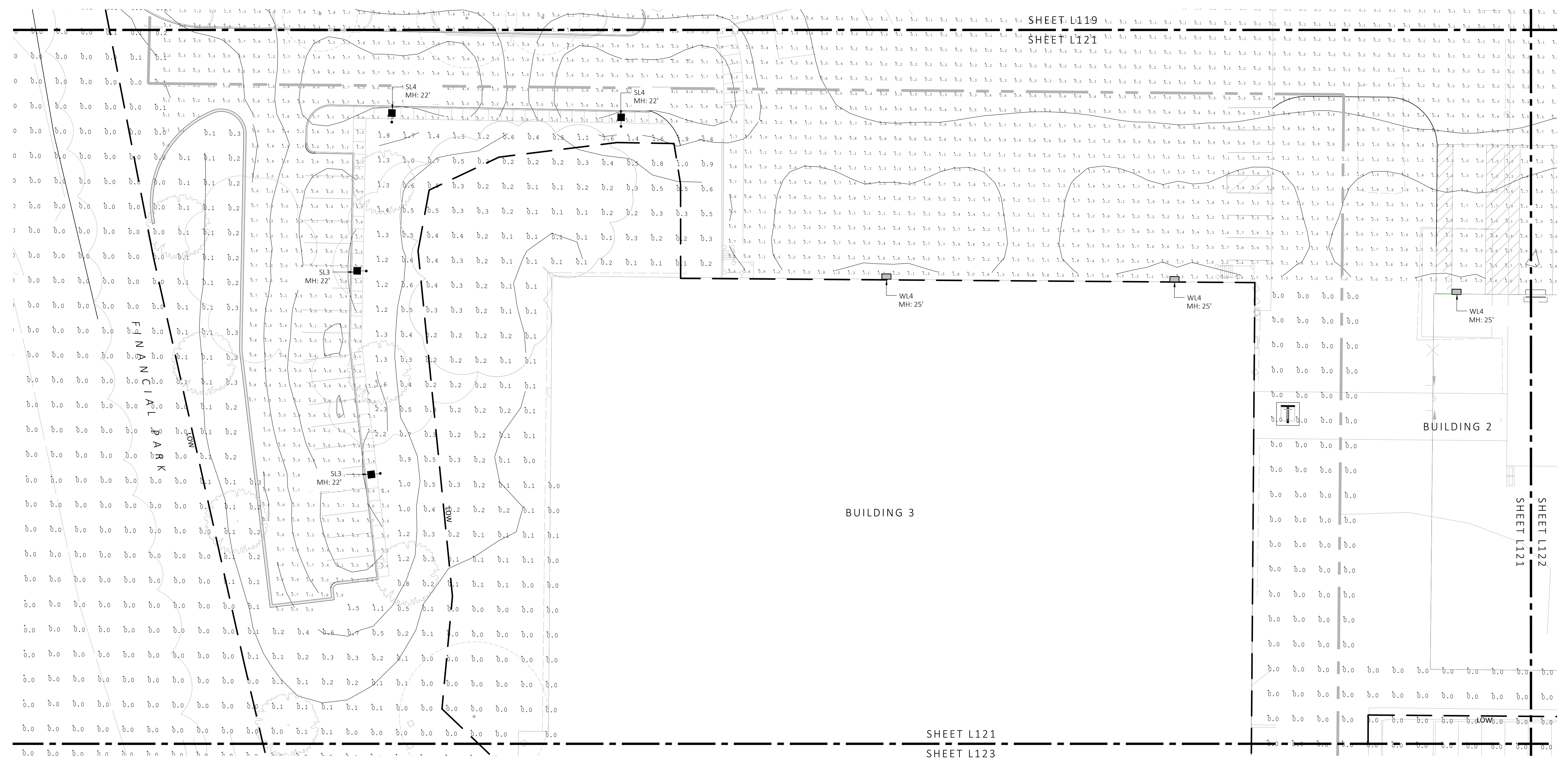


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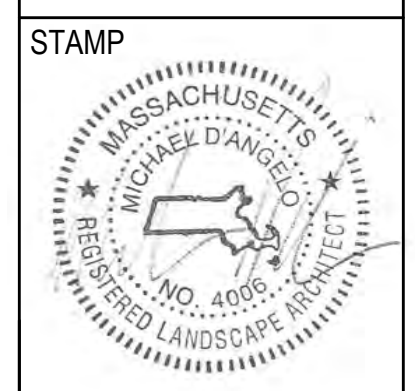
LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-B	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT

PHOTOMETRIC PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: L121
AS NOTED
DATE: 5/11/2023

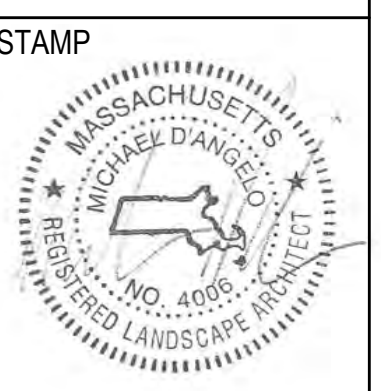
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MICHAEL D'ANGELO Landscape Architecture

MICHAEL D'ANGELO
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840 SUMMER STREET
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REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT

PHOTOMETRIC PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: AS NOTED
DATE: 5/11/2023

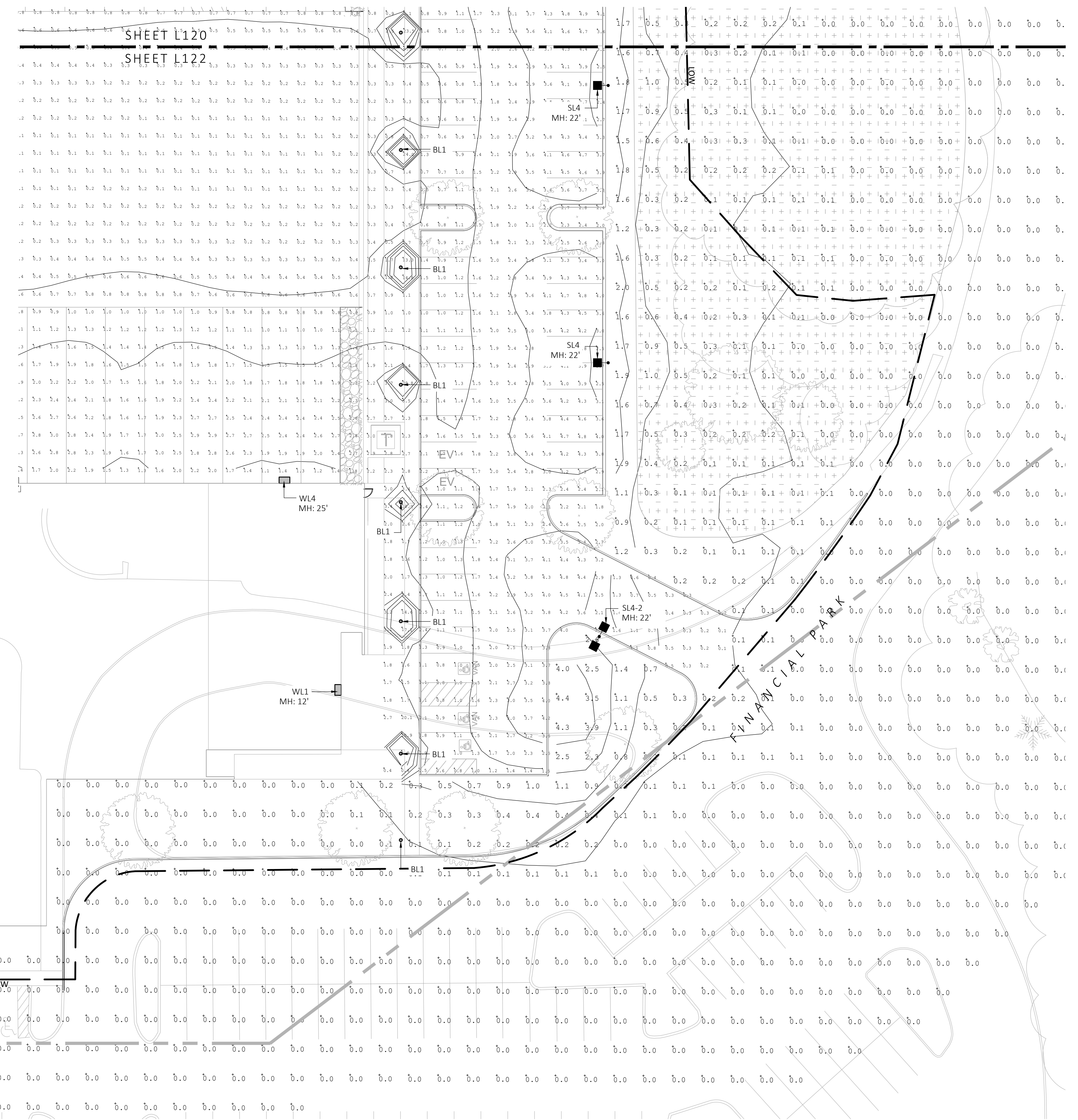
SHEET 23 OF 24

plot date: 5/10/2023

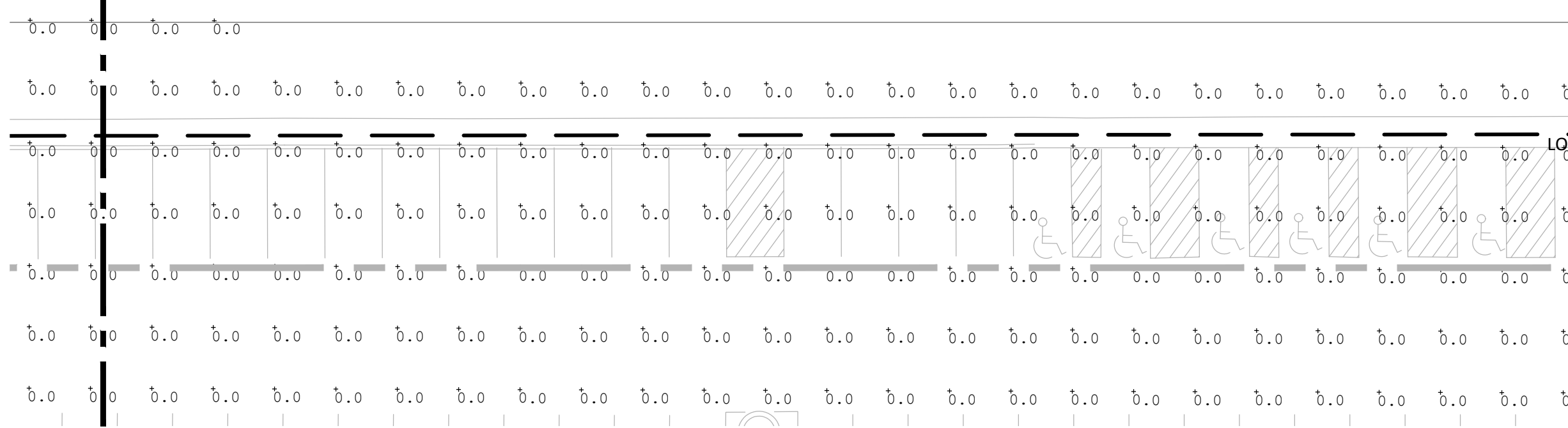
LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	Illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	Illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	Illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



SHEET L121
SHEET L122



1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



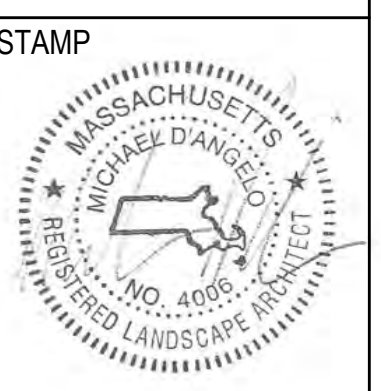
FOR PERMIT ONLY
NOT FOR CONSTRUCTION

MDLA
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE

MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
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CLIENT
BERKELEY PARTNERS
1 WASHINGTON MALL, SUITE 701
BOSTON, MA

PROJECT
WAREHOUSE / INDUSTRIAL DEV.
100 / 200 FINANCIAL PARK
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT

PHOTOMETRIC PLAN

DRAWN: NC
CHECKED: AS NOTED
SCALE: AS NOTED
DATE: 5/11/2023

L123

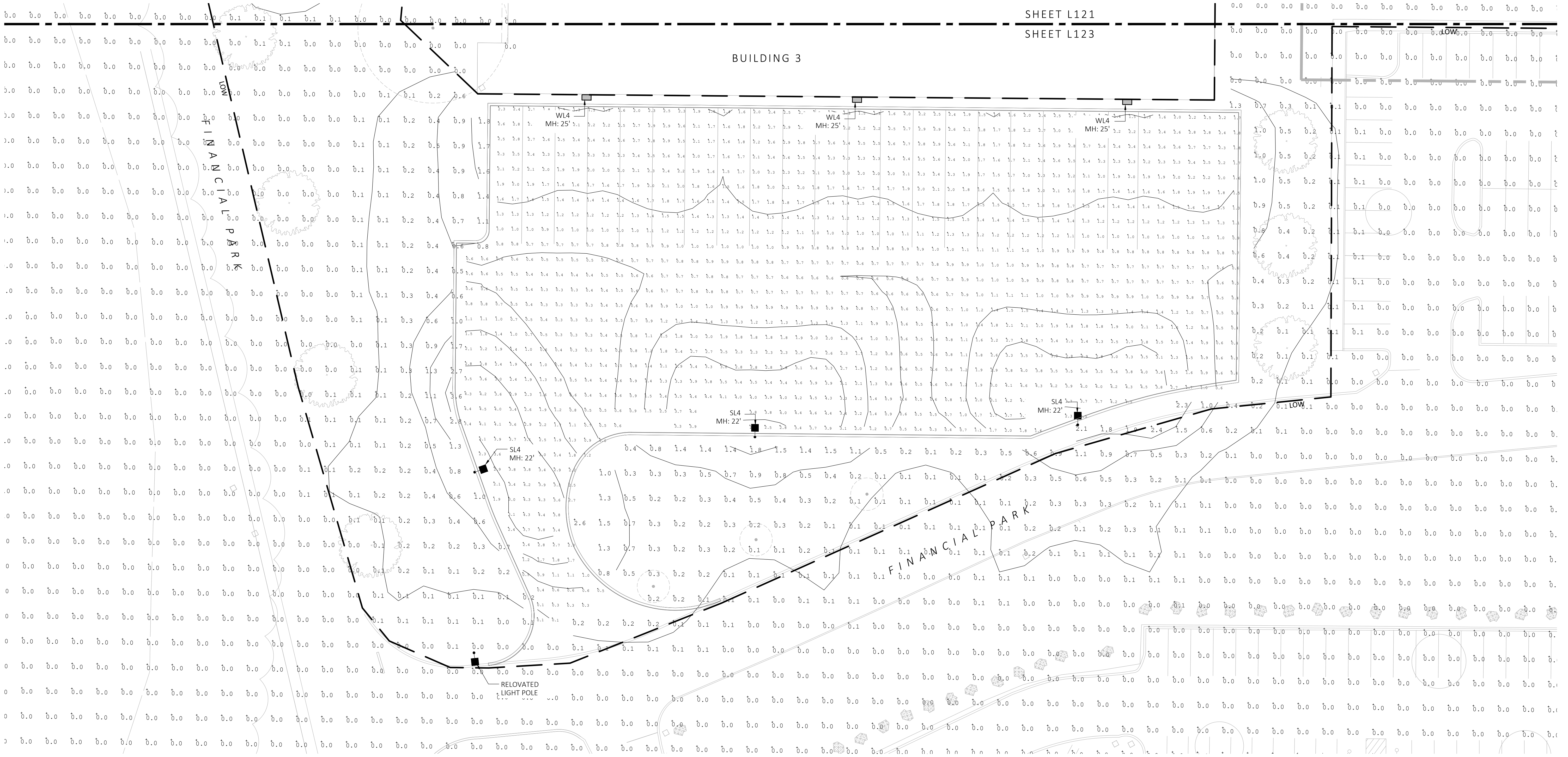
SHEET 24 OF 24

plot date: 5/10/2023

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-8 POLE SSS-B-20-40-A-1-835-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-835-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-835-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

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Calculation Summary							
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1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

