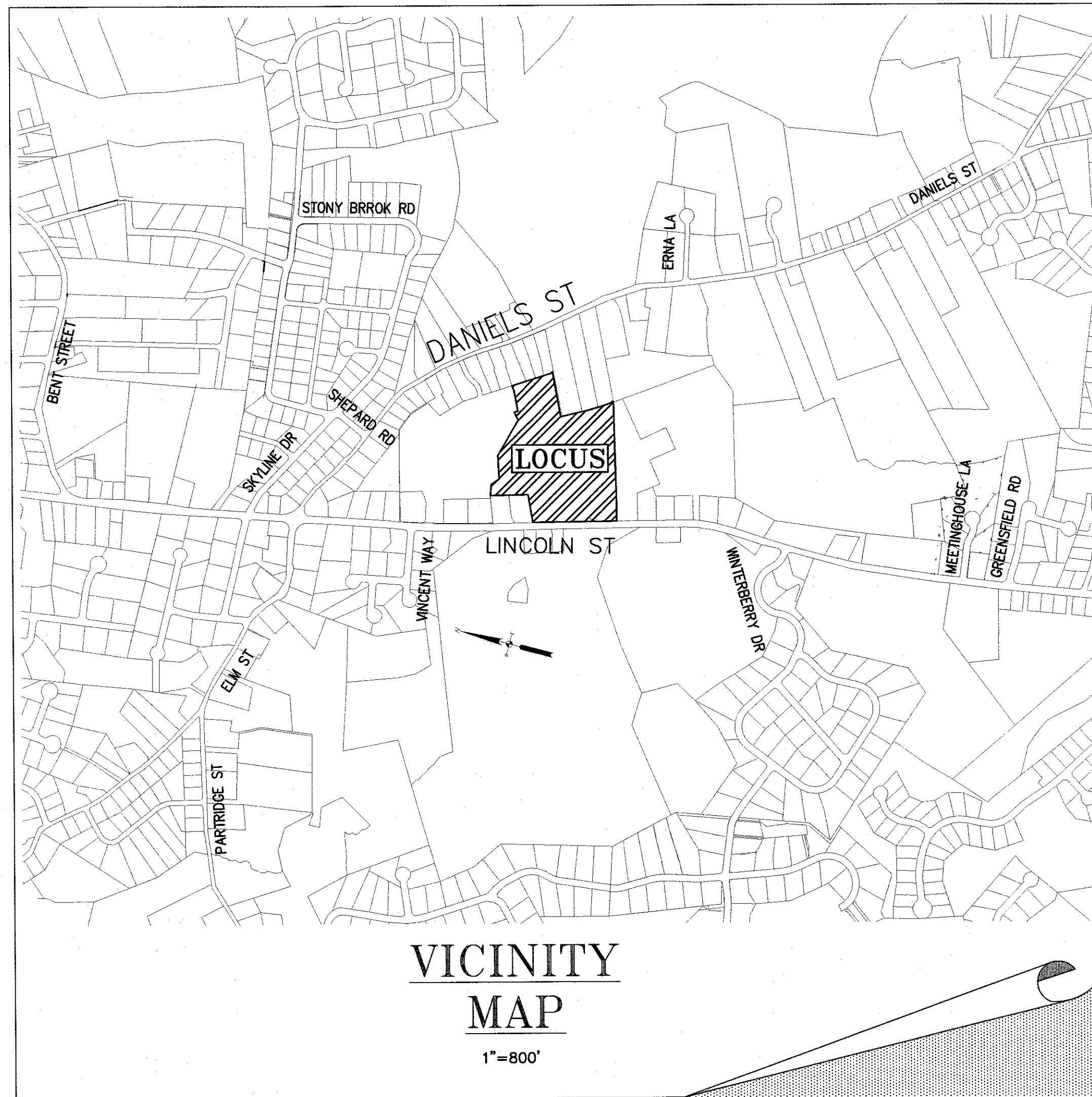


# FRANKLIN HEIGHTS PARCEL B 40B DEVELOPMENT PLAN FRANKLIN MASSACHUSETTS



## WAIVERS REQUESTED

REQUEST FROM THE TOWN OF FRANKLIN  
2005 ZONING BY-LAW (CHAPTER 185)

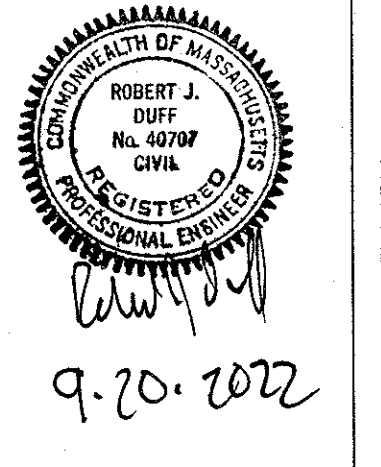
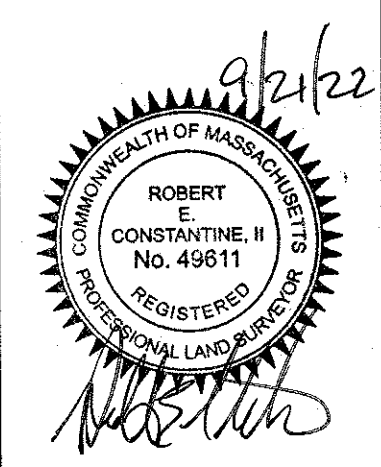
1. SECTION 185-2
2. SECTION 185-3
3. SECTION 185-7
4. SECTION 185-9
5. SECTION 185-16
6. SECTION 185.21.B.1.A
7. SECTION 185-23
8. SECTION 185-31 (1)
9. SECTION 185-31 (2)
10. SECTION 185-36
11. SECTION 185-45 F.
12. SECTION 185-46
14. USE REGULATION SCHEDULE-PARK VI SEC. 6.1
15. SCHEDULE OF LOT, AREA, FRONTAGE, YARD, AND HEIGHT REQUIREMENTS

## PLAN REFERENCES

1. SEE PLAN BY GUERRIERE & HALNON, INC. DATED FEBRUARY 23, 2006 ENTITLED 'PLAN OF LAND IN FRANKLIN, MASSACHUSETTS.' SIGNED BY THE FRANKLIN PLANNING BOARD ON MARCH 20, 2006.
2. SEE PLAN ENTITLED 'FRANKLIN HEIGHTS ESTATES CONDOMINIUM SITE PLAN IN FRANKLIN, MASSACHUSETTS' DATED JUNE 29, 2005 AND REVISED THRU MAY 1, 2006. APPROVED BY THE FRANKLIN PLANNING BOARD ON DECEMBER 1, 2005.

## INDEX

1. COVER SHEET
  2. EXISTING CONDITIONS
  3. SITE LAYOUT
  4. EROSION CONTROL PLAN
  5. GRADING PLAN
  6. TURNING RADIUS PLAN
  7. PLAN AND PROFILE
  8. PLAN AND PROFILE
  9. LANDSCAPE PLAN
  10. CONSTRUCTION DETAILS
  11. CONSTRUCTION DETAILS
  12. CONSTRUCTION DETAILS
- STREAM CROSSING AND WETLAND  
REPLICATION PLAN (BY OTHERS)



F4471

APPROVED DATE: \_\_\_\_\_  
FRANKLIN ZONING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
BEING A MAJORITY

**LEGAL NOTES**  
UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.  
OWNER(S)

JOSEPHINE A. FARINA AND CATHERINE L. MEDAGLIA,  
TRUSTEES OF THE HARMONY NOMINEE REALTY TRUST  
PO BOX 60269  
120 ADAMS STREET  
NEWTON, MA 02460  
  
JOHN A. FARINA  
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APPLICANT  
OLIVER CROSSING REALTY TRUST  
148 PARK STREET  
NORTH READING MA, 01864

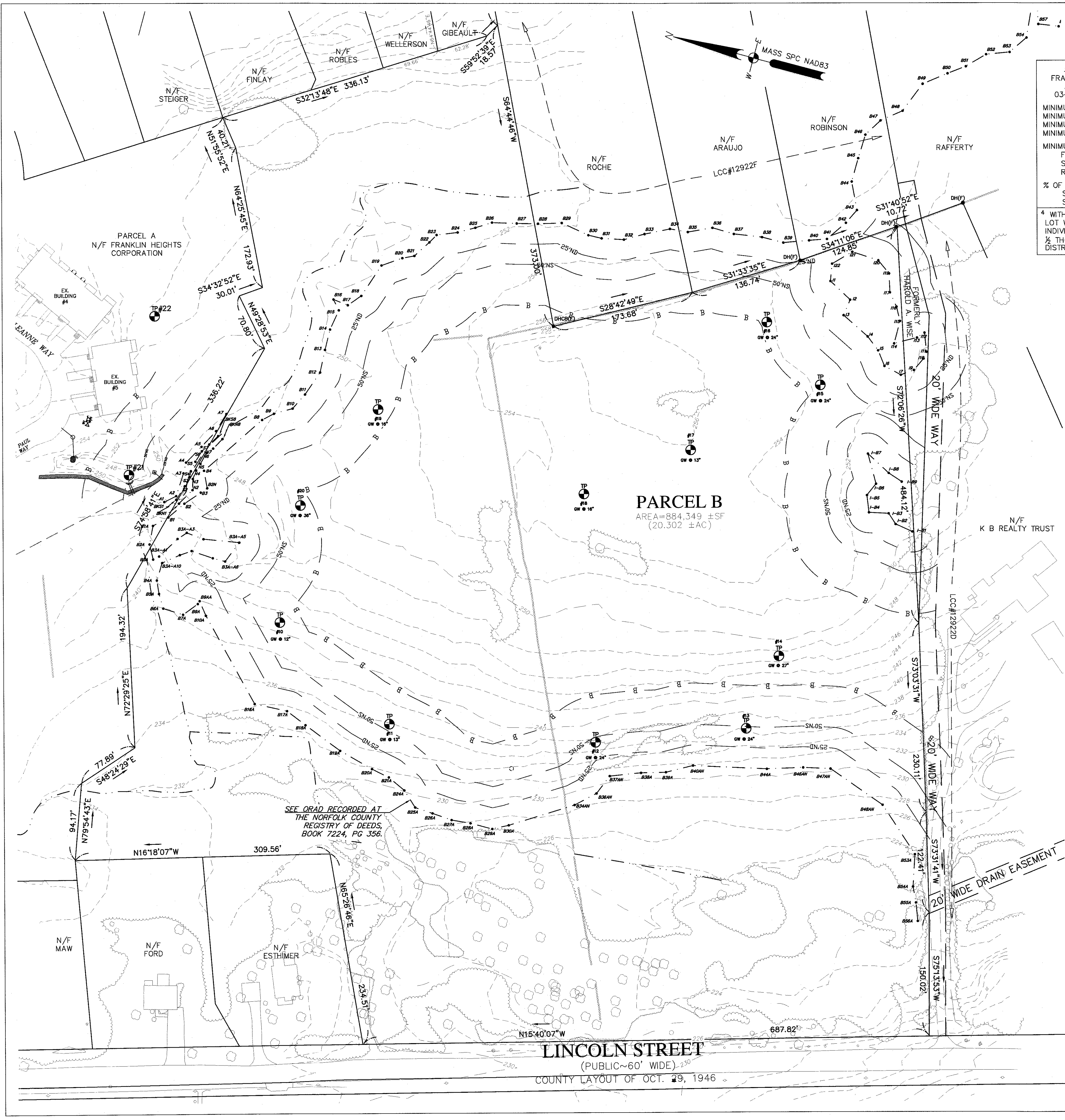
LOCUS REFERENCES  
PLAN BK. 553 PLAN PG. 1 OF 2006  
A.M. 219 LOT 178.2

**FRANKLIN HEIGHTS  
PARCEL B  
40B DEVELOPMENT PLAN  
FRANKLIN MASSACHUSETTS**

**COVER  
SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION

**Guerriere & Halnon, Inc.**  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com



**RURAL RESIDENTIAL II**  
 FRANKLIN ZONING BYLAW SECTION 185  
 ATTACHMENT 9 LAST AMENDED  
 03-13-2019 BY AMENDMENT 19-831

MINIMUM LOT AREA 30,000 SF  
 MINIMUM LOT FRONTAGE 150'  
 MINIMUM LOT DEPTH 200'  
 MINIMUM LOT WIDTH 135'<sup>4</sup>

MINIMUM YARDS  
 FRONT 40'  
 SIDE 35'  
 REAR 35'

% OF LOT UPLAND COVERED BY:  
 STRUCTURES 20  
 STRUCTURES+PAVING 25

<sup>4</sup> WITHIN OPEN SPACE DEVELOPMENTS, THE LOT WIDTH WHICH MUST BE MET FOR INDIVIDUAL LOTS SHALL NOT BE LESS THAN 1/2 THOSE REQUIRED WITHIN THE UNDERLYING DISTRICT

**LEGEND**

▣	CATCH BASIN	☆	LIGHT POLE
⊙	DRAIN MANHOLE	⊕	UTILITY POLE
⊖	ELECTRIC MANHOLE	—	GUY WIRE
⊙	SEWER MANHOLE	—	SIGN
○	MANHOLE	•	WETFLAG
⊕	GAS VALVE	⊕	UTILITY POLE
⊕	GAS SHUT OFF VALVE	☆	PROP. STREET LIGHTING
⊕	WATER VALVE		
⊕	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
⊕	FIRE HYDRANT	▨	RIPRAP

— 000 — EXISTING CONTOUR  
 — D — EXISTING DRAIN LINE  
 — W — EXISTING WATER LINE

**NOTES**

- THIS LAND IS ZONED RURAL RESIDENTIAL II
- THIS SITE IS NOT WITHIN A WATER RESOURCE DISTRICT.
- THIS SITE IS NOT LOCATED FLOOD HAZARD ZONE PER FEMA FLOOD MAP 25021C0307E, EFFECTIVE DATE 7/17/2012.
- WETLAND DELINEATION BY DESHENG WANG, PH.D., P.E., CWS, CSE OF CREATIVE LAND & WATER ENGINEERING, LLC (CLAWE). FIELD LOCATED BY GUERRIERE & HALNON, INC. JUNE 2021 AND UPDATED JANUARY 2022.
- CONTRACTOR & ARCHITECT SHALL VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
- REFER TO FRANKLIN ASSESSORS MAP 219 LOT 178-002
- THIS SITE IS NOT LOCATED IN A WELLHEAD PROTECTION DISTRICT ZONE 2.
- ALL REFERENCED DEEDS ARE ON RECORD AT THE NORFOLK REGISTRY OF DEEDS.
- THIS SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM AREA.
- ELEVATIONS ARE BASED ON HORIZONTAL DATUM:NAD83; VERTICAL DATUM: NAVD88.
- THE ARCHITECT WILL PROVIDE PLANS AND CALCULATIONS FOR FIRE PROTECTION IF REQUIRED.
- ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED OUT ONTO THE PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.

**TESTING INFORMATION**

TESTING DATE: OCTOBER 27, 2005 SOIL EVALUATOR: DONALD R. NEILSEN

240.9 TP 10	235.9 TP 11	237.5 TP 12
LOAM 0"-6"	LOAM 0"-6"	LOAM 0"-6"
SANDY LOAM 6"-24"	SANDY LOAM 6"-13"	SANDY LOAM 6"-26"
VERY FINE SAND (REDDISH) 24"-48"	VERY FINE SAND 13"	VERY FINE SAND 26"-52"
236.9 GW@15"	234.8 SEEPAGE @13"	233.2 GW WEEPING @ 24"
236.3 TP 13	247.1 TP 14	253.7 TP 15
LOAM 0"-6"	LOAM 0"-6"	LOAM 0"-6"
SANDY LOAM 6"-24"	SANDY LOAM 6"-27"	SANDY LOAM 6"-24"
VERY FINE SAND 24"-38"	VERY FINE SAND 27"-48"	VERY FINE SAND 24"-48"
233.1 GW@24"	243.1 GW@27"	249.7 GW@24"
254.4 TP 16	255.7 TP 17	254.8 TP 18
LOAM 0"-6"	LOAM 0"-6"	LOAM 0"-6"
SANDY LOAM 6"-24"	SANDY LOAM 6"-24"	SANDY LOAM 6"-24"
VERY FINE SAND 24"-52"	VERY FINE SAND 24"	VERY FINE SAND 24"
250.1 GW@24"	253.7 GW@13" REFUSAL@24"	252.8 GW@16" FRACTURED ROCK
251.0 TP 19	249.3 TP 20	
LOAM 0"-6"	LOAM 0"-6"	
SANDY LOAM 6"-24"	SANDY LOAM 6"-18"	
VERY FINE SAND 24"-40"	VERY FINE SAND 18"-36"	
247.7 GW@16"	246.3 GW@3"	

APPROVED DATE: \_\_\_\_\_

FRANKLIN ZONING BOARD

BEING A MAJORITY

LEGAL NOTES

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OWNER(S)

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 C/O KATHRYN G. COLLINS, ESQ.  
 HORNUNG & SCIMONE PC  
 5 COMMONWEALTH ROAD, 4TH FLOOR  
 NATICK, MA 01760

APPLICANT

OLIVER CROSSING REALTY TRUST  
 148 PARK STREET  
 NORTH READING MA, 01864

LOCUS REFERENCES

PLAN BK. 553 PLAN PG. 1 OF 2006  
 A.M. 219 LOT 178.2

**FRANKLIN HEIGHTS  
 PARCEL B  
 40B DEVELOPMENT PLAN  
 FRANKLIN MASSACHUSETTS**

**EXISTING CONDITIONS  
 SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION

GRAPHIC SCALE: 1"=60'

**Guerriere & Halnon, Inc.**  
 ENGINEERING & LAND SURVEYING  
 55 WEST CENTRAL ST. PH. (508) 528-3221  
 FRANKLIN, MA 02038 FX. (508) 528-7921  
 www.gandhengineering.com

SHEET 2 OF 12 JOB NO. F4471





PARCEL A  
N/F FRANKLIN HEIGHTS CORPORATION

9/21/22

ROBERT J. DUFF  
No. 40107  
REGISTERED PROFESSIONAL ENGINEER  
9.20.2022

APPROVED DATE: \_\_\_\_\_  
FRANKLIN ZONING BOARD  
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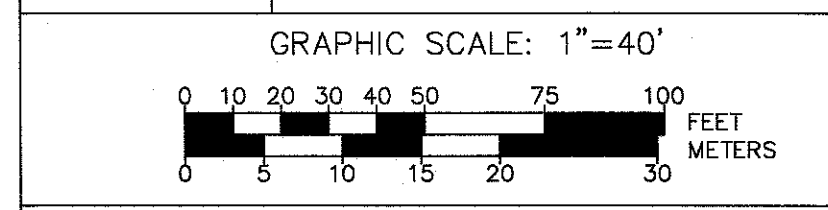
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A.M. 219 LOT 178.2

**FRANKLIN HEIGHTS  
PARCEL B  
40B DEVELOPMENT PLAN  
FRANKLIN MASSACHUSETTS**

**SITE LAYOUT  
SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION



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**PARKING NOTES**

PARKING REQUIREMENTS PER ZONING - REQUESTING WAIVER  
IN ACCORDANCE WITH CHAPTER 185 SECTION 21(B)(1)(A):  
2 SPACES PER LIVING UNIT = 2 X 60 = 120 SPACES REQUIRED  
PARKING SPACES PROVIDED (2 EXTERIOR SPACES PER UNIT + 20 VISITOR SPACES) = 140 SPACES\*  
TYPICAL PARKING SPACE: 19' X 9'  
\*TOTAL SPACES PROVIDED DOES NOT INCLUDE GARAGE SPACES

**UNIT INFORMATION**

Proposed Building Information			
Building Type	Quantity	Footprint (sf)	Total Area (sf)
Style A-5	11	1,482	16,302
Style B-2	21	1,871	39,291
Style A-6	8	1,500	12,000
Style B-1	20	1,775	35,500
<b>Total</b>	<b>60</b>	<b>6,628</b>	<b>103,093</b>

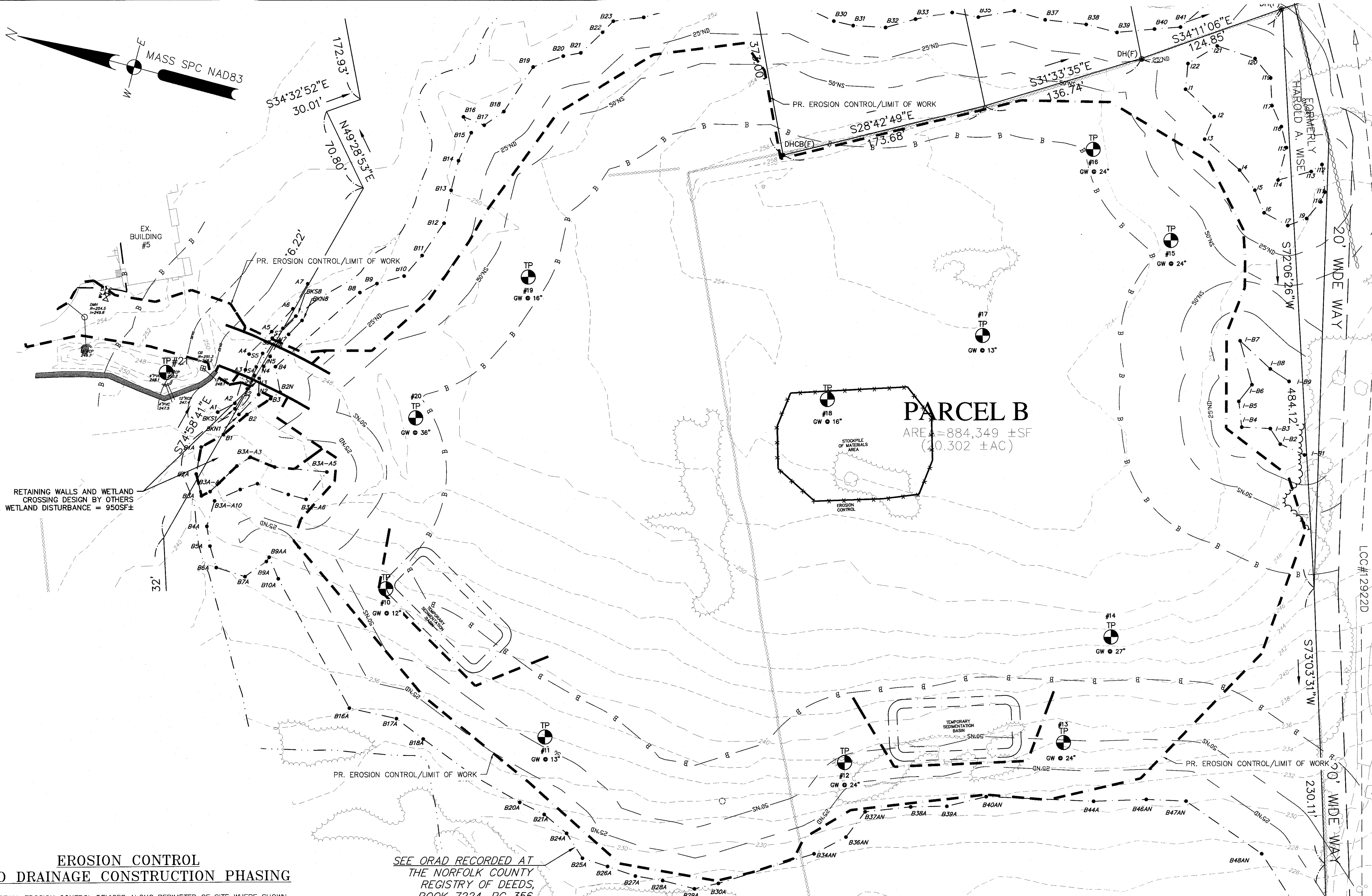
Proposed Impervious Coverage		
Type	Area (sf)	% Impervious
Proposed Pavement	54,000	6%
Proposed Sidewalk	6,000	1%
Proposed Driveway	36,000	4%
Proposed building footprint	103,093	12%
<b>Total Proposed Impervious</b>	<b>199,093</b>	<b>23%</b>

**Total Existing Parcel Area (sf)** 884,349  
**60 TOTAL UNITS PROPOSED - 3 BEDROOMS EACH = 180 BEDROOMS**

APPLICANT IS PROPOSING A TOTAL OF 180 BEDROOMS WITHIN THE DEVELOPMENT. USING TITLE V'S ESTIMATED DESIGN FLOWS OF 110 GALLONS PER DAY PER BEDROOM, THE TOTAL DAILY WATER DEMAND AND SEWER FLOWS IS APPROXIMATELY 19,800 GALLONS PER DAY.

SEE ORAD RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS.





**EROSION CONTROL AND DRAINAGE CONSTRUCTION PHASING**

1. INSTALL EROSION CONTROL DEVICES ALONG PERIMETER OF SITE WHERE SHOWN.
2. INSTALL CONSTRUCTION ENTRANCE.
3. SITE TO BE CLEARED AND GRUBBED.
4. INSTALL SLOPE MATTING TO STABILIZE SLOPES (IF APPLICABLE)
5. INSTALL DRAINAGE MANHOLES AND CATCHBASINS AND ENSURE TEMPORARY COVER IS IN PLACE.
6. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS
7. REMOVE CONSTRUCTION ENTRANCES.
8. UPON ALL CATCHMENT STRUCTURES AND MITIGATION FEATURES BECOMING OPERATIONAL, INSTALL PAVEMENT TO BINDER FINISH GRADE. PAVER TO PROVIDE TEMPORARY ASPHALT BERM ON BOTH SIDES OF PROPOSED PAVED AREAS. EROSION CONTROL MEASURES BACKED BY CRUSHED STONE TO BE PROVIDED ON DOWN GRADIENT SIDE OF CATCH BASINS TO DIRECT WATER TO TEMPORARY BASIN.
9. REMOVE TEMPORARY SEDIMENTATION BASIN AFTER SITE HAS BEEN STABILIZED AND PREPARED FOR BUILDING FOUNDATION INSTALLATION.

SEE ORAD RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS, BOOK 7224, PG 356.

**GENERAL NOTES:**

1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
2. INSTALL SILT SACKS.
3. INSTALL BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL.
4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
6. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
7. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.

ROBERT E. CONSTANTINE, II  
No. 49811  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF MASSACHUSETTS

ROBERT J. DUFF  
No. 40327  
REGISTERED PROFESSIONAL CIVIL ENGINEER  
STATE OF MASSACHUSETTS

9.20.2022

APPROVED DATE: \_\_\_\_\_

FRANKLIN ZONING BOARD

\_\_\_\_\_

\_\_\_\_\_

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BEING A MAJORITY

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**LOCUS REFERENCES**

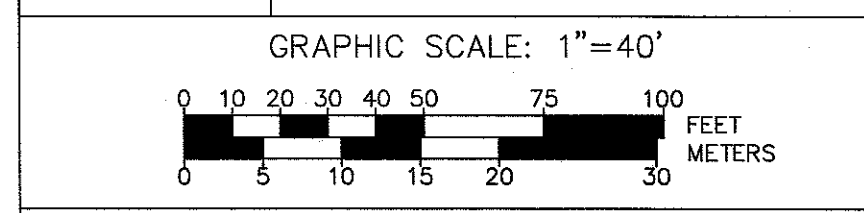
PLAN BK. 553 PLAN PG. 1 OF 2006  
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**FRANKLIN HEIGHTS  
PARCEL B  
40B DEVELOPMENT PLAN  
FRANKLIN MASSACHUSETTS**

**EROSION CONTROL PLAN**

**SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION



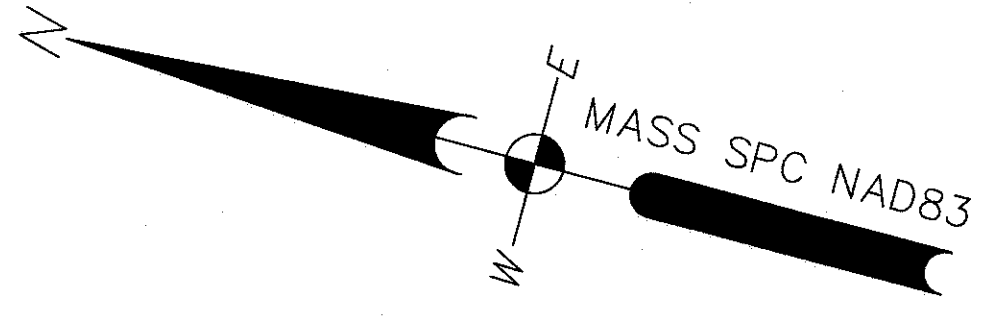
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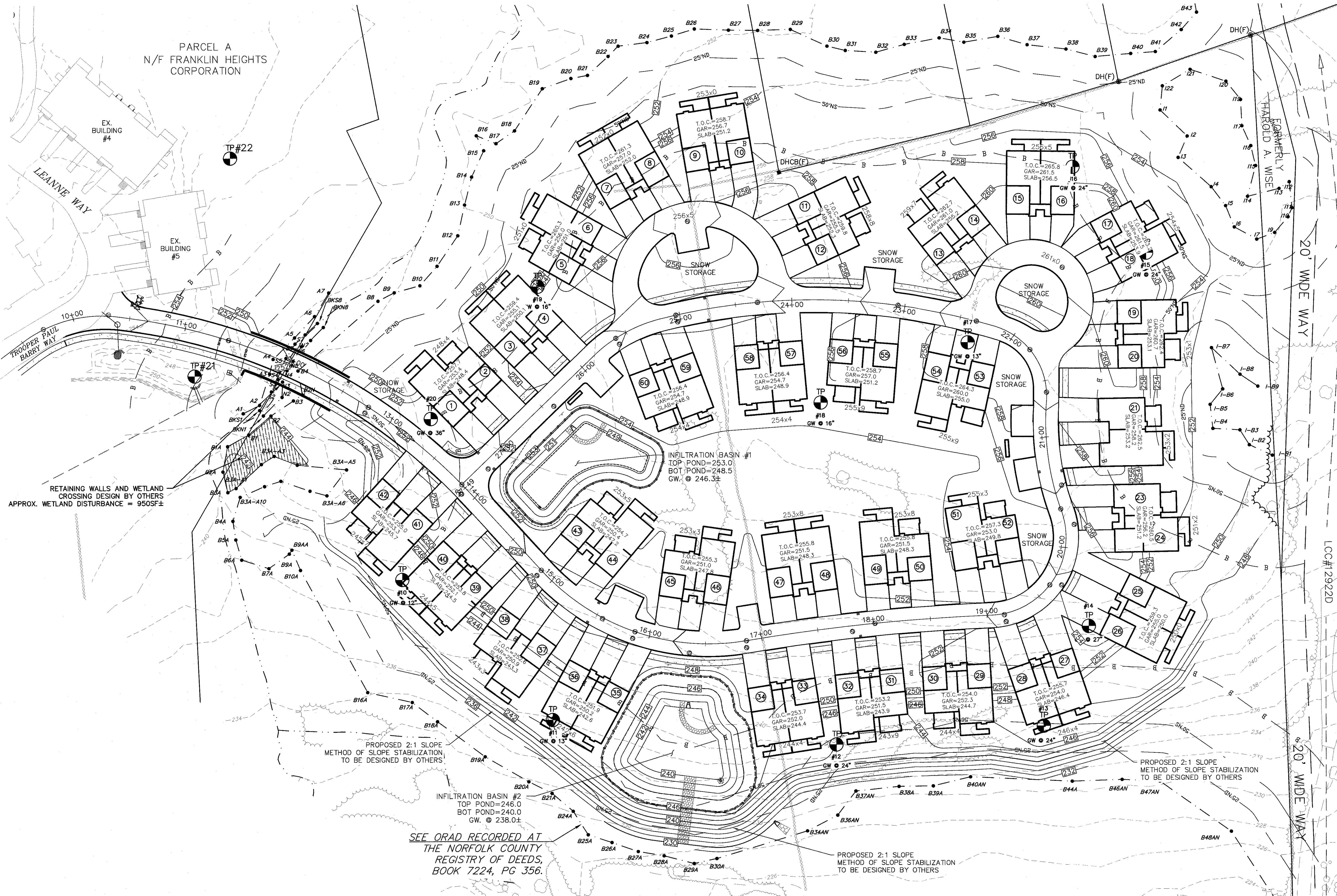
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PARCEL A  
N/F FRANKLIN HEIGHTS  
CORPORATION

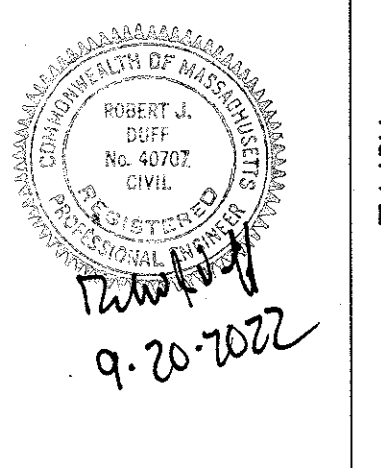
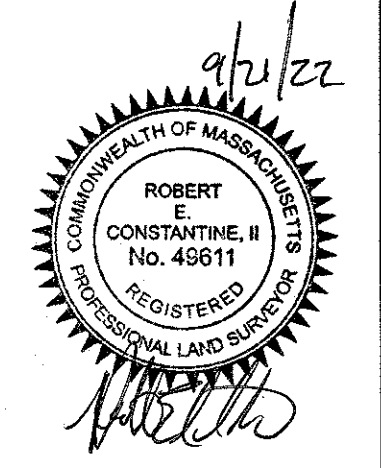


RETAINING WALLS AND WETLAND  
CROSSING DESIGN BY OTHERS  
APPROX. WETLAND DISTURBANCE = 9505F±

PROPOSED 2:1 SLOPE  
METHOD OF SLOPE STABILIZATION  
TO BE DESIGNED BY OTHERS

SEE ORAD RECORDED AT  
THE NORFOLK COUNTY  
REGISTRY OF DEEDS,  
BOOK 7224, PG 356.

PROPOSED 2:1 SLOPE  
METHOD OF SLOPE STABILIZATION  
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F4471

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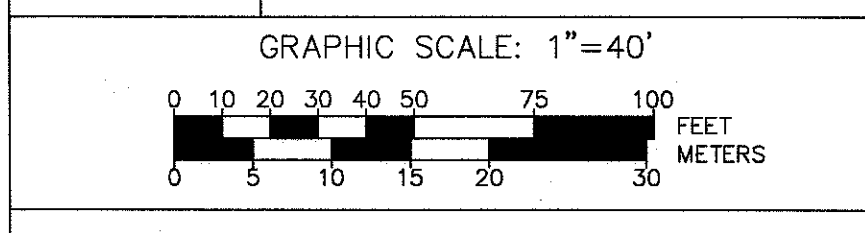
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PARCEL B  
40B DEVELOPMENT PLAN  
FRANKLIN MASSACHUSETTS

GRADING PLAN  
SEPTEMBER 14, 2022

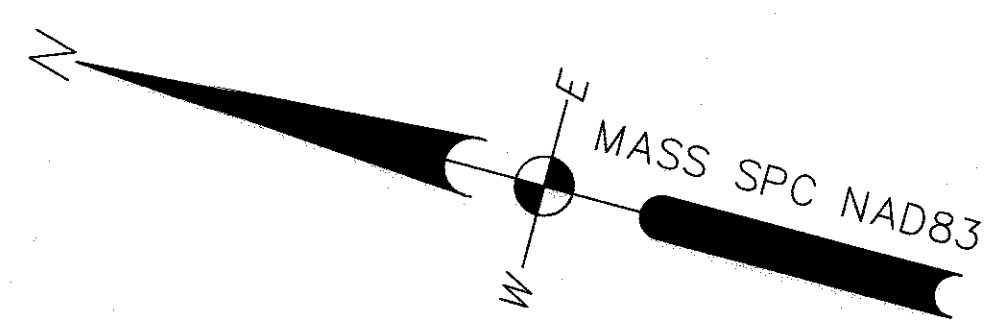
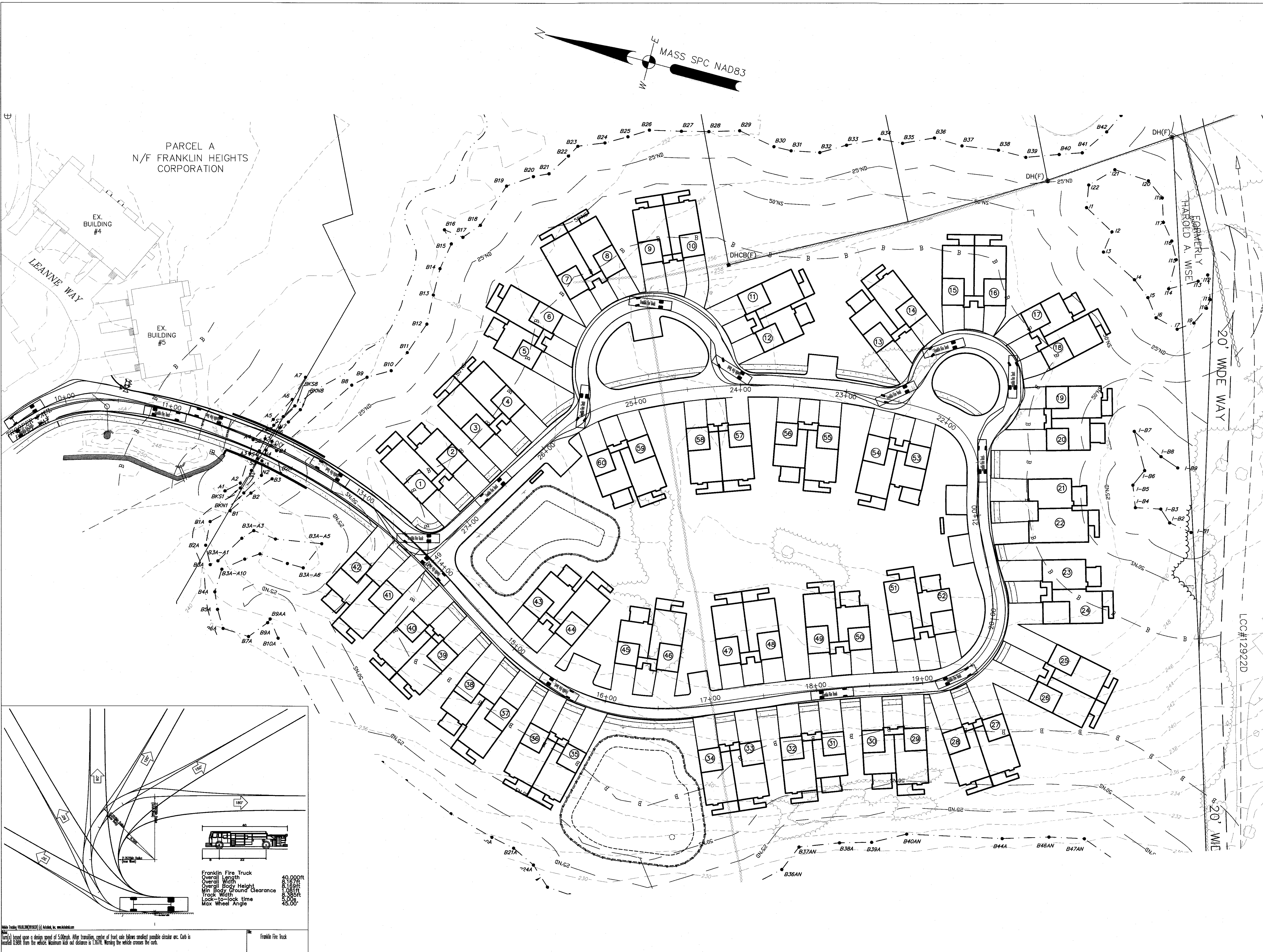
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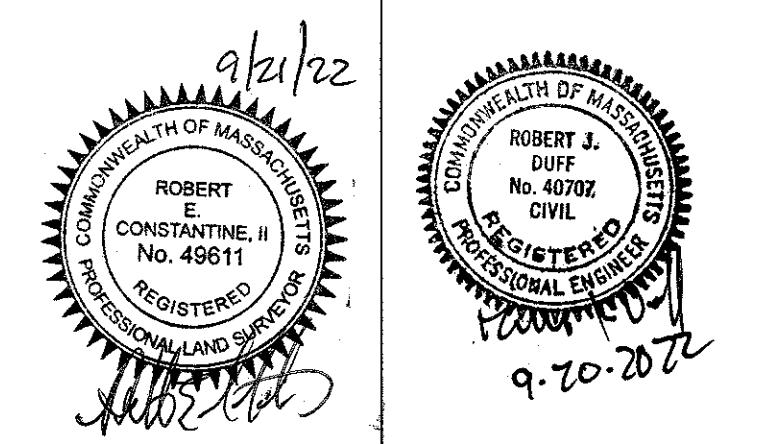
**Guerriere & Halnon, Inc.**  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
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PARCEL A  
N/F FRANKLIN HEIGHTS  
CORPORATION



F4471

APPROVED DATE:  
FRANKLIN ZONING BOARD  
  
BEING A MAJORITY

LEGAL NOTES  
UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).  
CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER(S)  
JOSEPHINE A. FARINA AND CATHERINE L. MEDAGLIA,  
TRUSTEES OF THE HARMONY NOMINEE REALTY TRUST  
PO BOX 600269  
120 ADAMS STREET  
NEWTON, MA 02460

APPLICANT  
JOHN A. FARINA  
ANTHONY J. MEDAGLIA, JR.  
STEPHEN M. COLLINS  
BRYON R. COLLINS  
DAVID C. COLLINS  
SEAN C. COLLINS  
C/O KATHRYN G. COLLINS, ESQ.  
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5 COMMONWEALTH ROAD, 4TH FLOOR  
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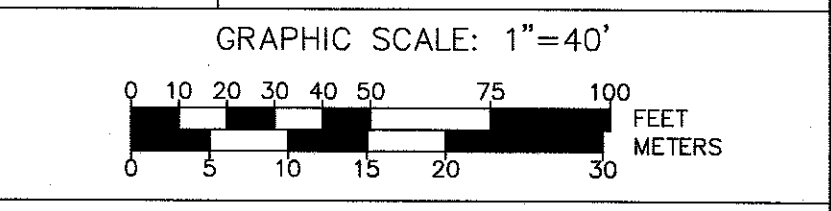
OLIVER CROSSING REALTY TRUST  
148 PARK STREET  
NORTH READING MA, 01864

LOCUS REFERENCES  
PLAN BK. 553 PLAN PG. 1 OF 2006  
A.M. 219 LOT 178.2

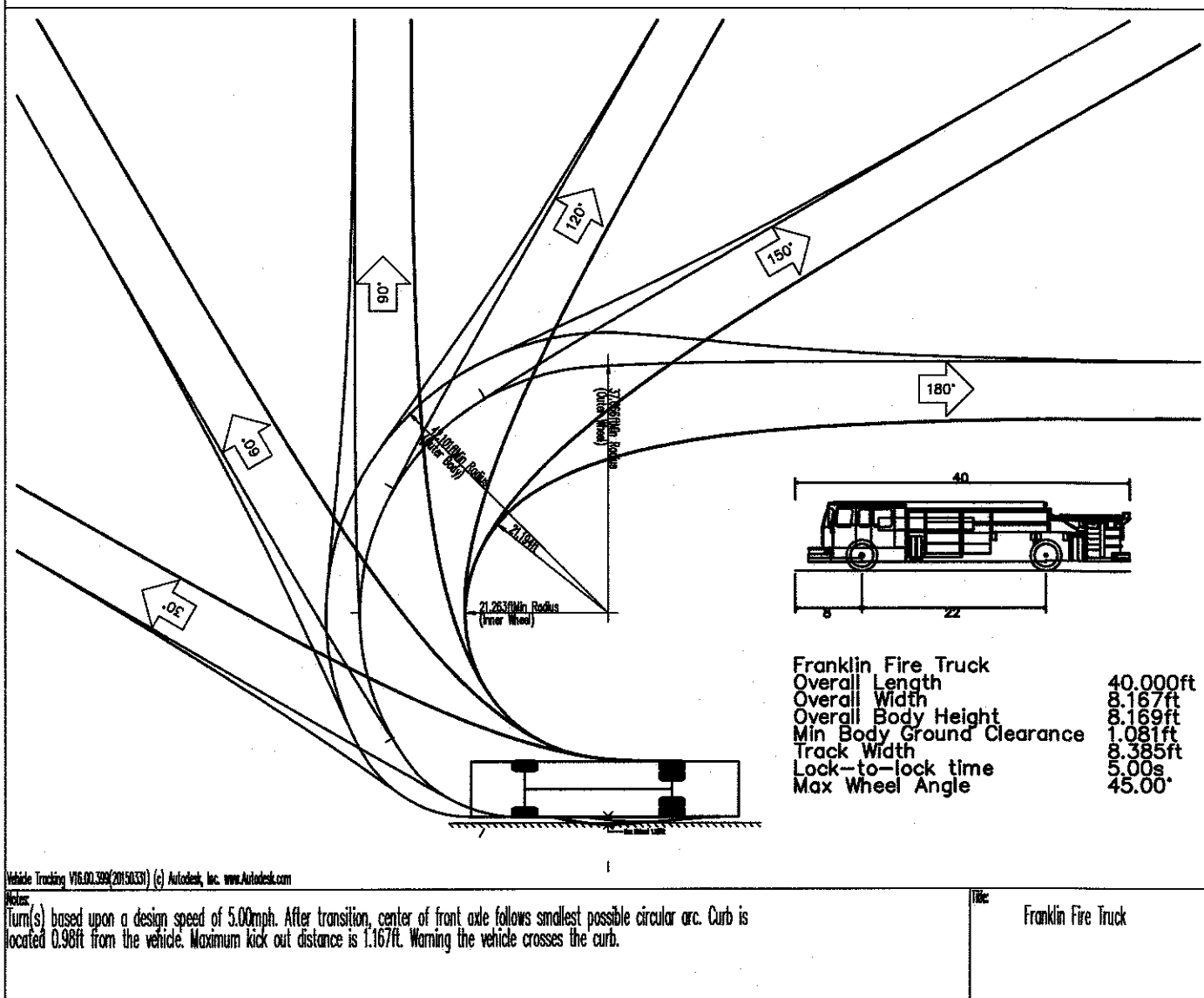
**FRANKLIN HEIGHTS  
PARCEL B  
40B DEVELOPMENT PLAN  
FRANKLIN MASSACHUSETTS**

**TURNING RADIUS PLAN  
SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION

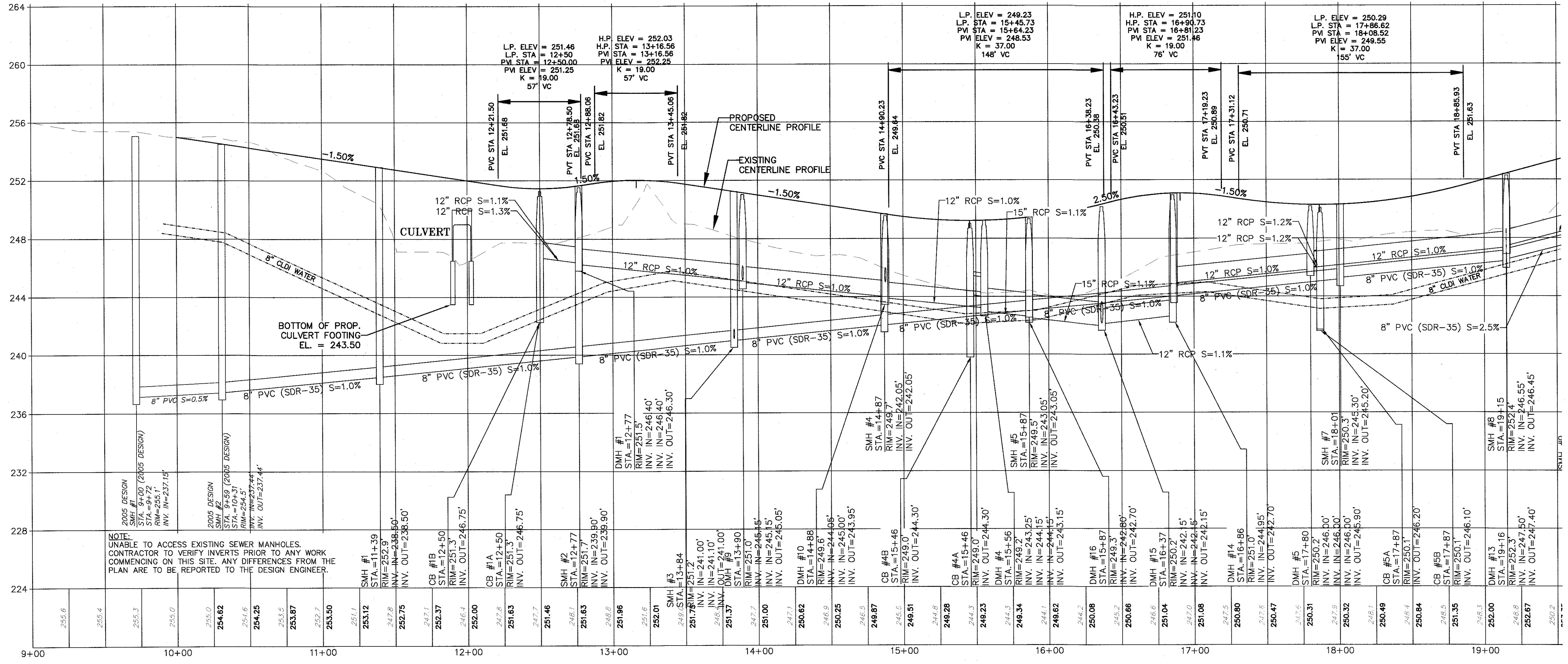
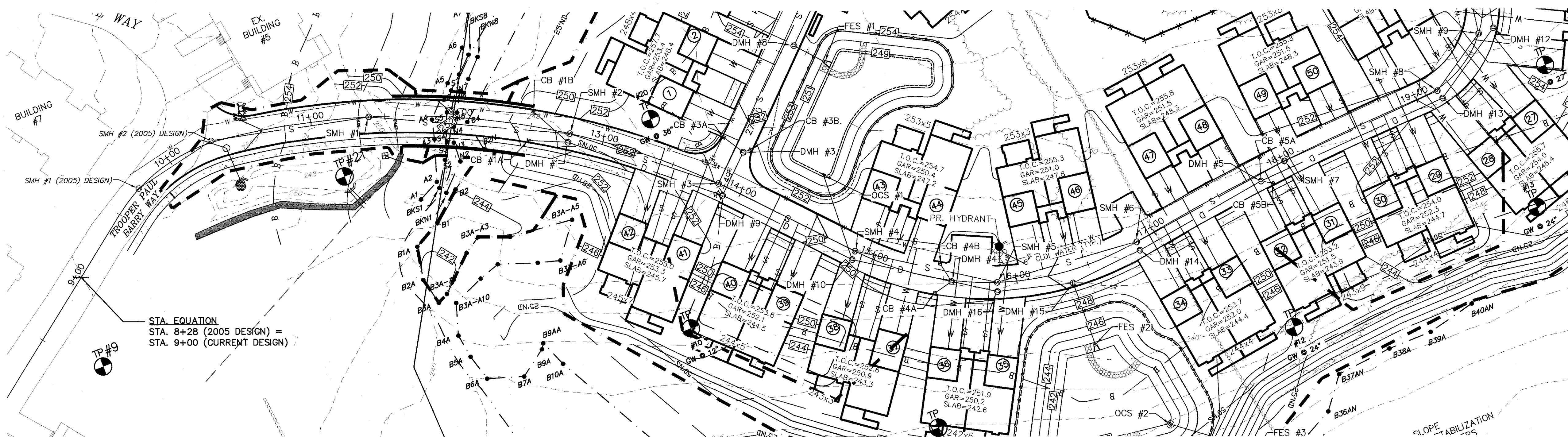
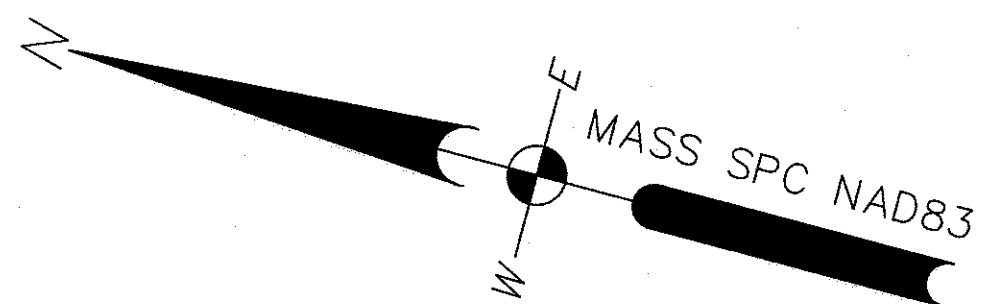


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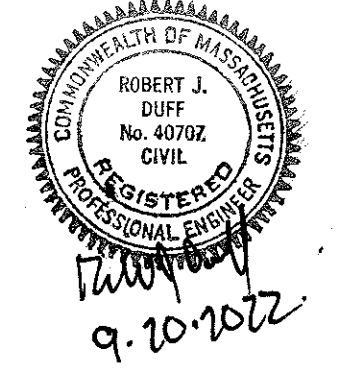
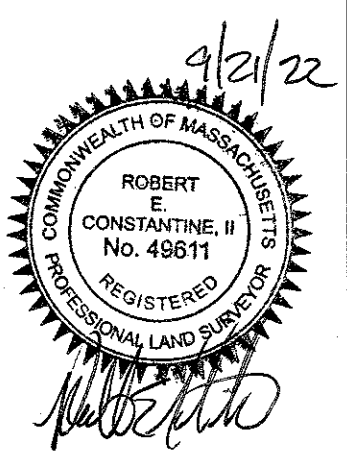
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NOTE:  
UNABLE TO ACCESS EXISTING SEWER MANHOLES,  
CONTRACTOR TO VERIFY INVERTS PRIOR TO ANY WORK  
COMMENCING ON THIS SITE. ANY DIFFERENCES FROM THE  
PLAN ARE TO BE REPORTED TO THE DESIGN ENGINEER.

**TROOPER PAUL BARRY WAY  
STA. 9+00-19+50**



APPROVED DATE: \_\_\_\_\_  
FRANKLIN ZONING BOARD

BEING A MAJORITY  
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APPLICANT

OLIVER CROSSING REALTY TRUST  
148 PARK STREET  
NORTH READING MA, 01864  
LOCUS REFERENCES

PLAN BK. 553 PLAN PG. 1 OF 2006  
A.M. 219 LOT 178.2

**FRANKLIN HEIGHTS  
PARCEL B  
40B DEVELOPMENT PLAN  
FRANKLIN MASSACHUSETTS  
PLAN & PROFILE  
STA. 9+00-19+50**

**SEPTEMBER 14, 2022**

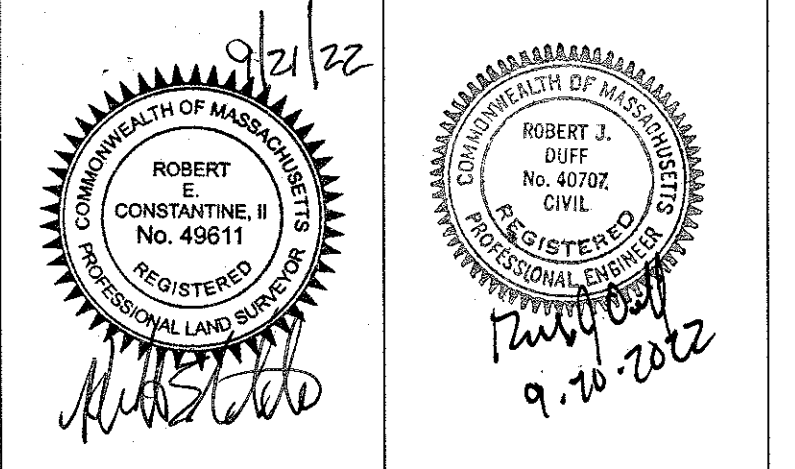
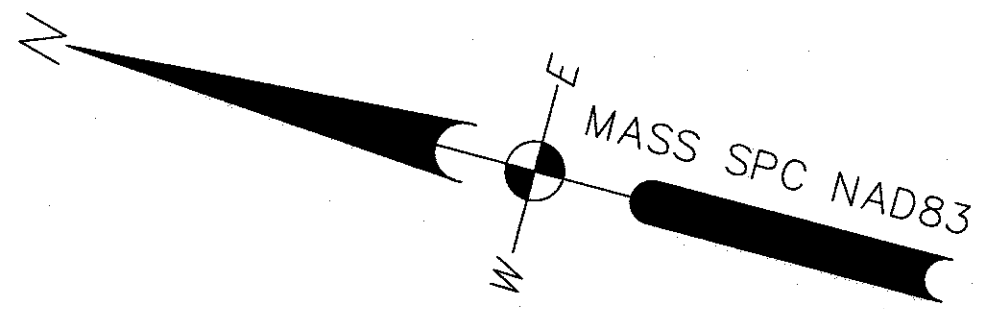
DATE	REVISION DESCRIPTION

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0 10 20 30 40 50 75 100 FEET  
0 5 10 15 20 30 METERS

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APPROVED DATE: \_\_\_\_\_  
 FRANKLIN ZONING BOARD  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 BEING A MAJORITY

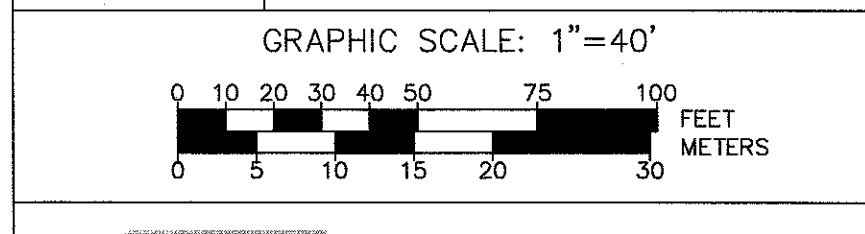
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 APPLICANT

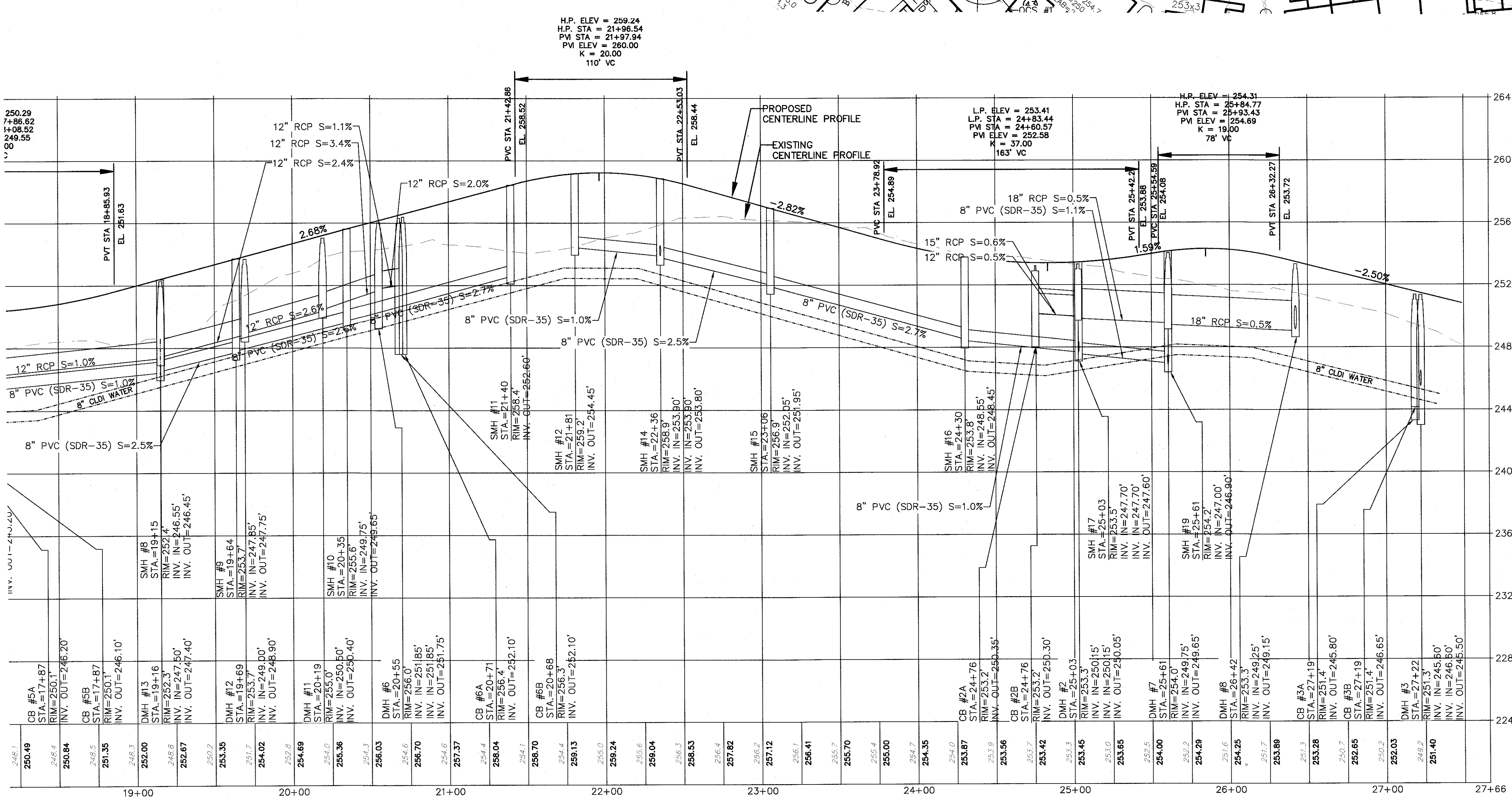
OLIVER CROSSING REALTY TRUST  
 148 PARK STREET  
 NORTH READING MA, 01864  
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 PLAN BK. 553 PLAN PG. 1 OF 2006  
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**FRANKLIN HEIGHTS  
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 40B DEVELOPMENT PLAN  
 FRANKLIN MASSACHUSETTS  
 PLAN AND PROFILE  
 STA. 18+50 - 27+66  
 SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION



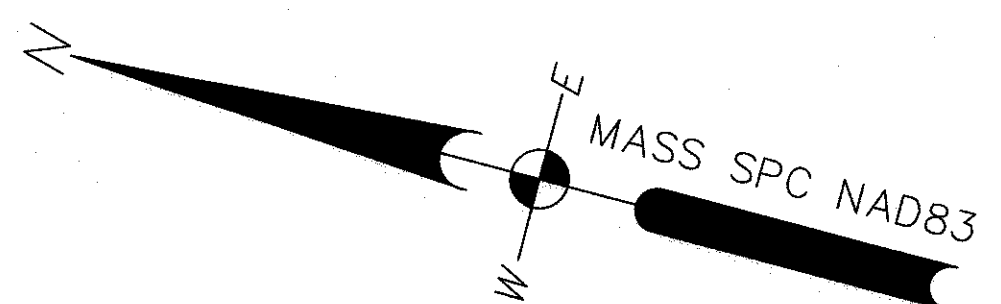
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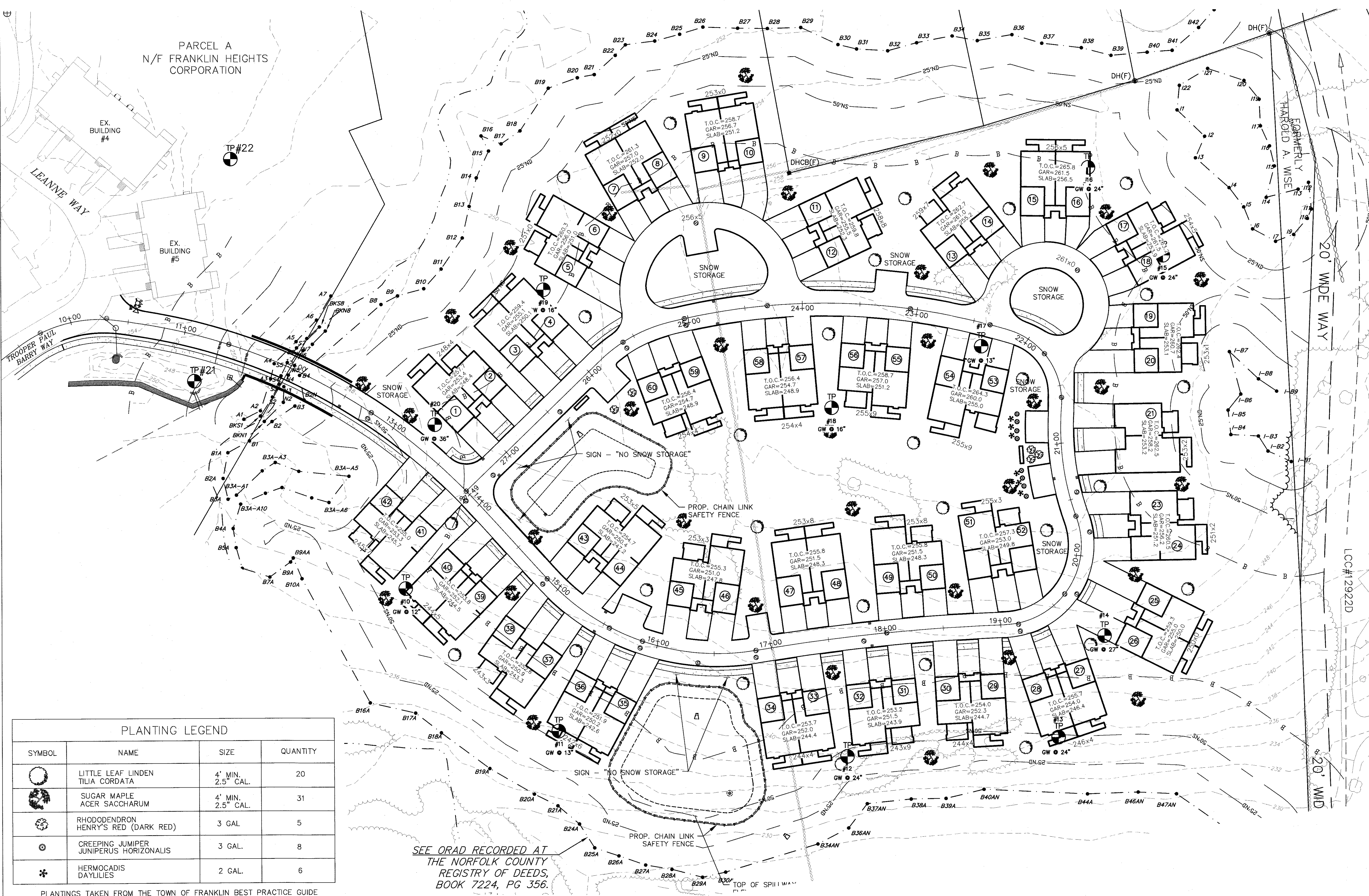
**TROOPER PAUL BARRY WAY  
 STA. 19+50-27+66**

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PARCEL A  
N/F FRANKLIN HEIGHTS  
CORPORATION

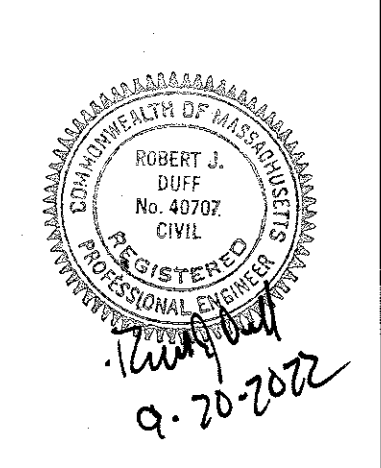
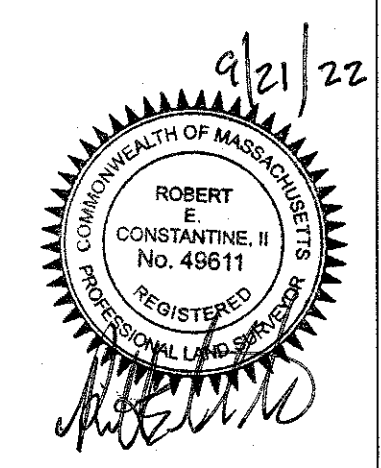


SEE ORAD RECORDED AT  
THE NORFOLK COUNTY  
REGISTRY OF DEEDS,  
BOOK 7224, PG 356.

PLANTING LEGEND

SYMBOL	NAME	SIZE	QUANTITY
	LITTLE LEAF LINDEN TILIA CORDATA	4' MIN. 2.5" CAL.	20
	SUGAR MAPLE ACER SACCHARUM	4' MIN. 2.5" CAL.	31
	RHODODENDRON HENRY'S RED (DARK RED)	3 GAL.	5
	CREeping JUNIPER JUNIPERUS HORIZONTALIS	3 GAL.	8
	HERMODADIS DAYLILIES	2 GAL.	6

PLANTINGS TAKEN FROM THE TOWN OF FRANKLIN BEST PRACTICE GUIDE



F4471

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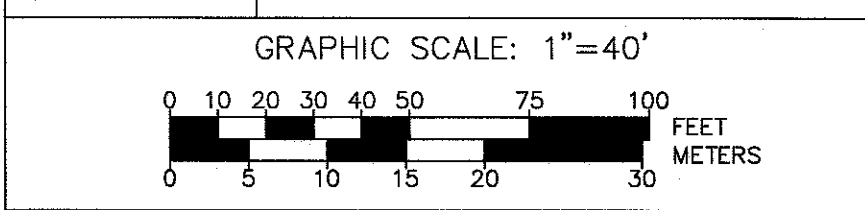
APPLICANT  
OLIVER CROSSING REALTY TRUST  
148 PARK STREET  
NORTH READING MA, 01864

LOCUS REFERENCES  
PLAN BK. 553 PLAN PG. 1 OF 2006  
A.M. 219 LOT 178.2

FRANKLIN HEIGHTS  
PARCEL B  
40B DEVELOPMENT PLAN  
FRANKLIN MASSACHUSETTS

LANDSCAPE PLAN  
SEPTEMBER 14, 2022

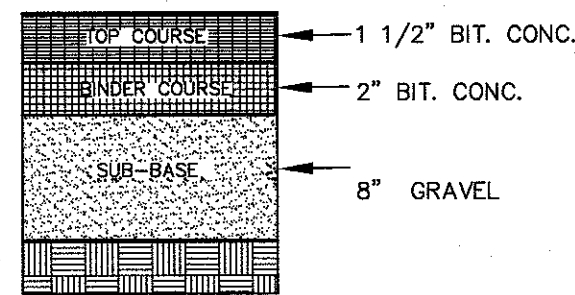
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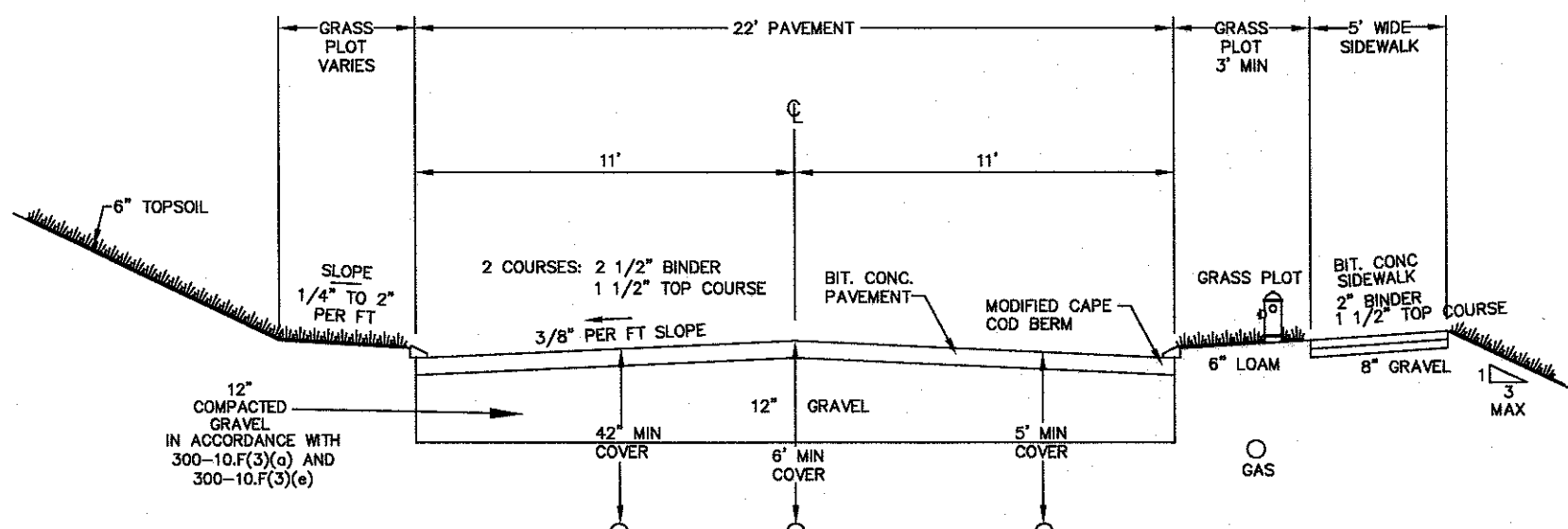
**Guerriere & Halon, Inc.**  
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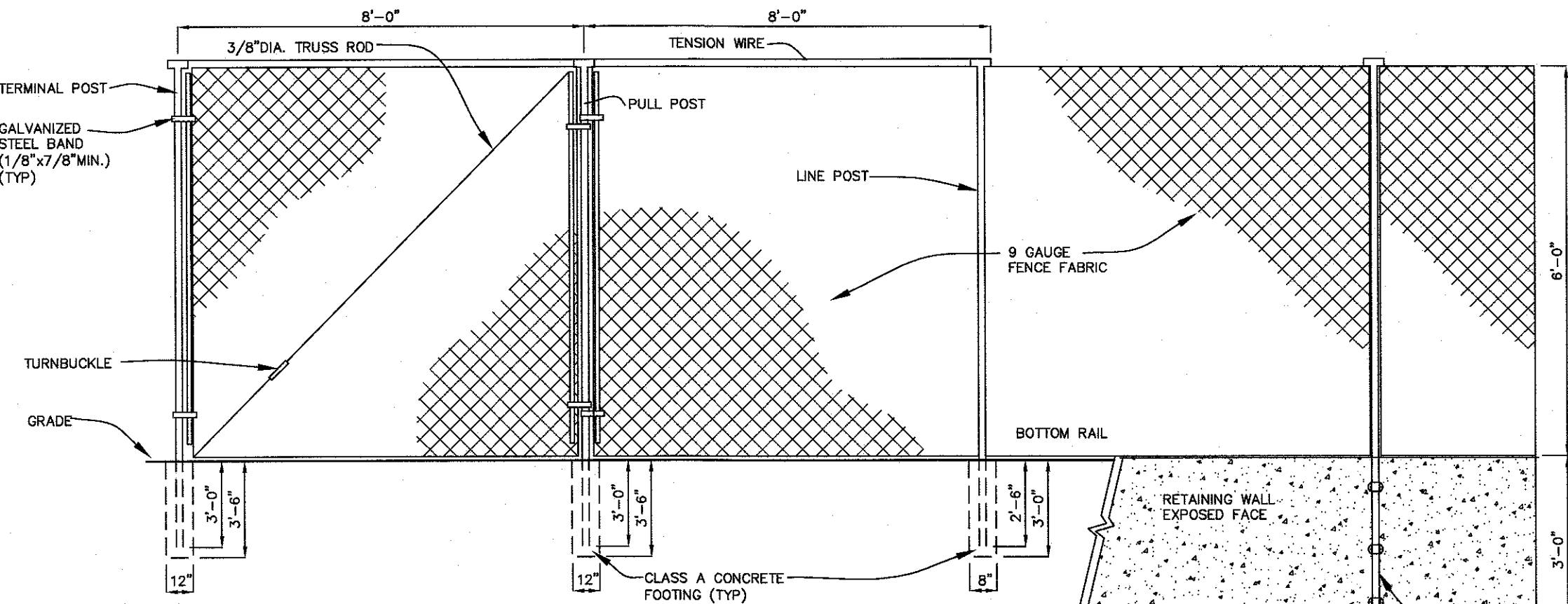




**BIT. CONC. SIDEWALK SECTION**  
N.T.S.



**TYPICAL ROAD CROSS SECTION**

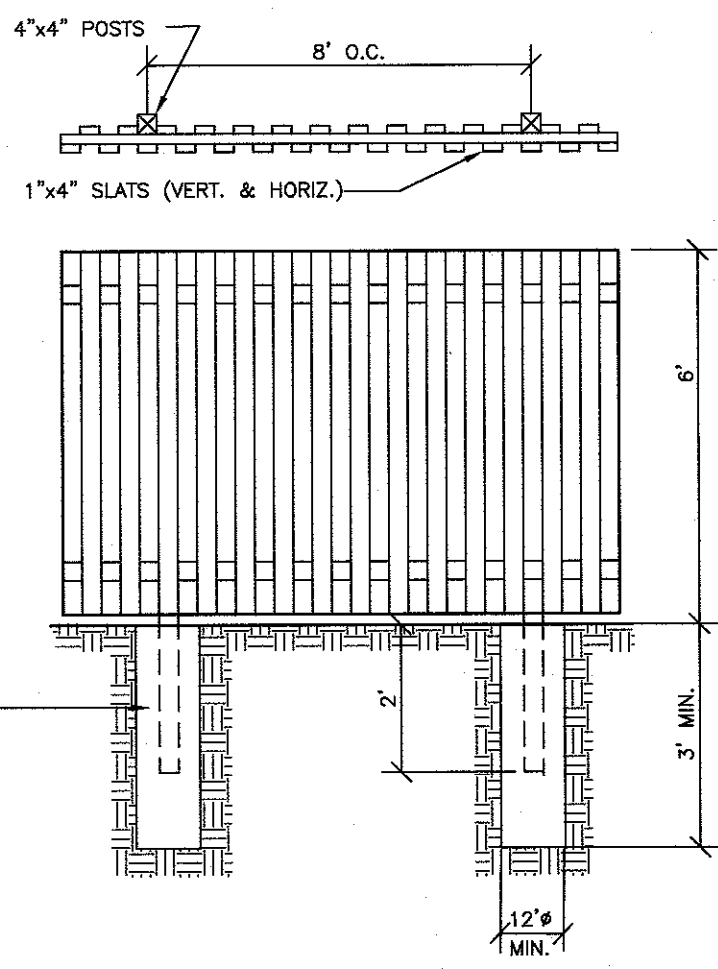


**FENCE AT GRADE**  
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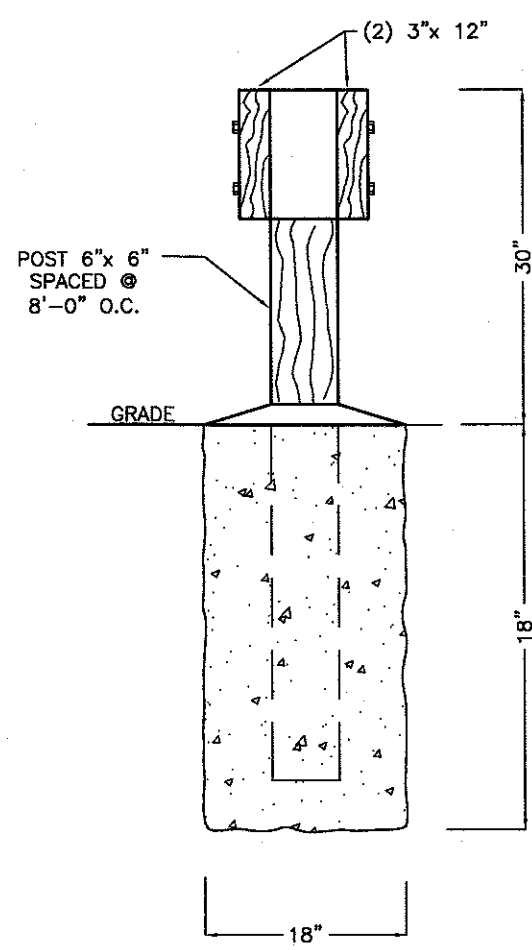
**FENCE AT RETAINING WALL**  
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**CHAIN LINK FENCE**

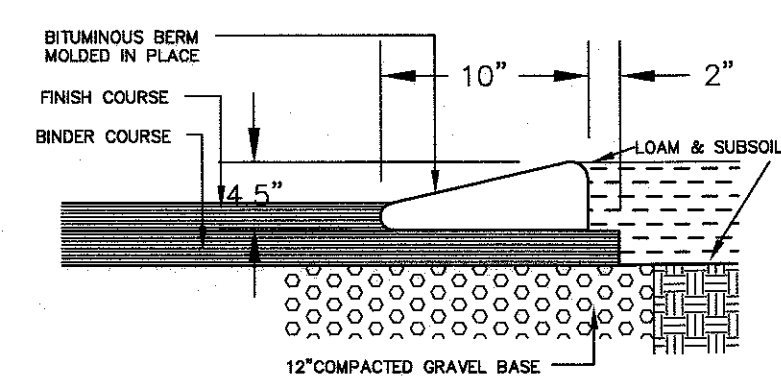
- NOTES:
1. TOP TENSION WIRE SHALL BE 7 GAUGE ATTACHED WITH 12.5 GAUGE HOG RINGS, 12\"/>
  - 2. TOP RAIL WIRE TIES SHALL BE SPACED AT 24\"/>
  - 3. FENCE FABRIC TO BE LOCATED ON OUTSIDE OF FENCE POSTS.
  - 4. BOTTOM OF FENCE FABRIC TO BE SECURED TO RETAINING WALL.



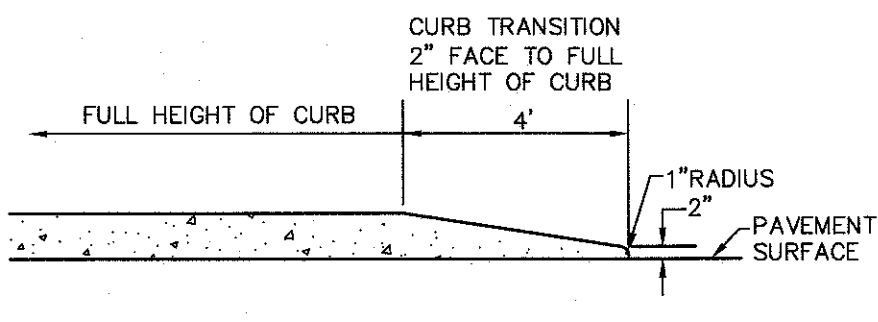
**FENCE DETAIL**  
N.T.S.



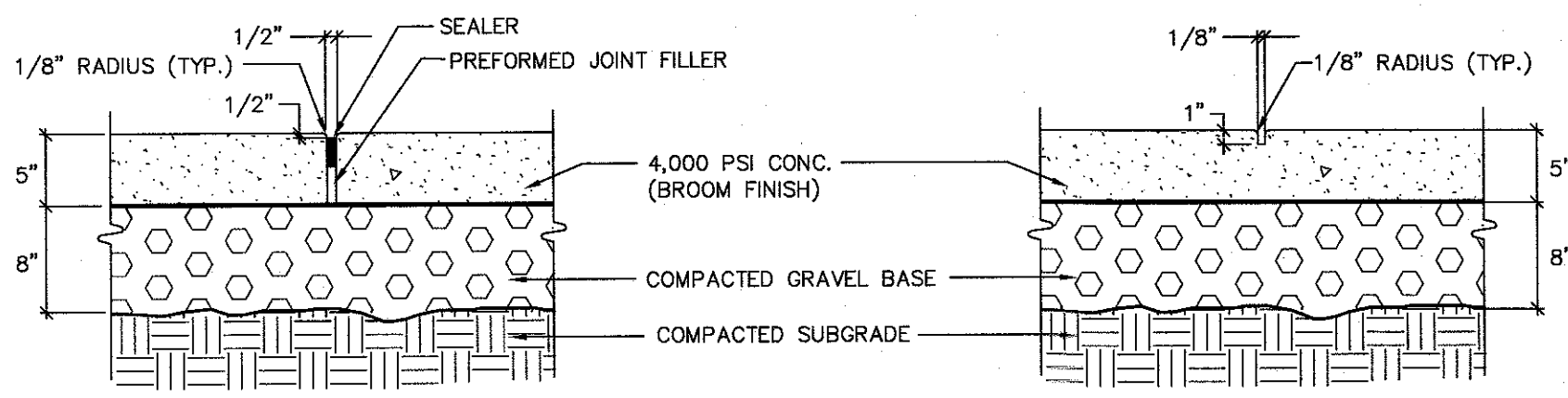
**WOODEN GUARD RAIL**  
N.T.S.



**MODIFIED BITUMINOUS CAPE COD BERM DETAIL**  
N.T.S.



**TRANSITION CURB DETAIL**  
N.T.S.



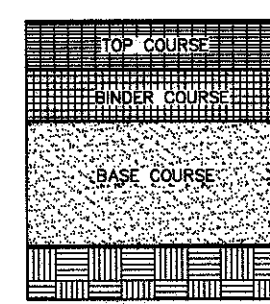
**EXPANSION JOINT**

**CONTROL JOINT**

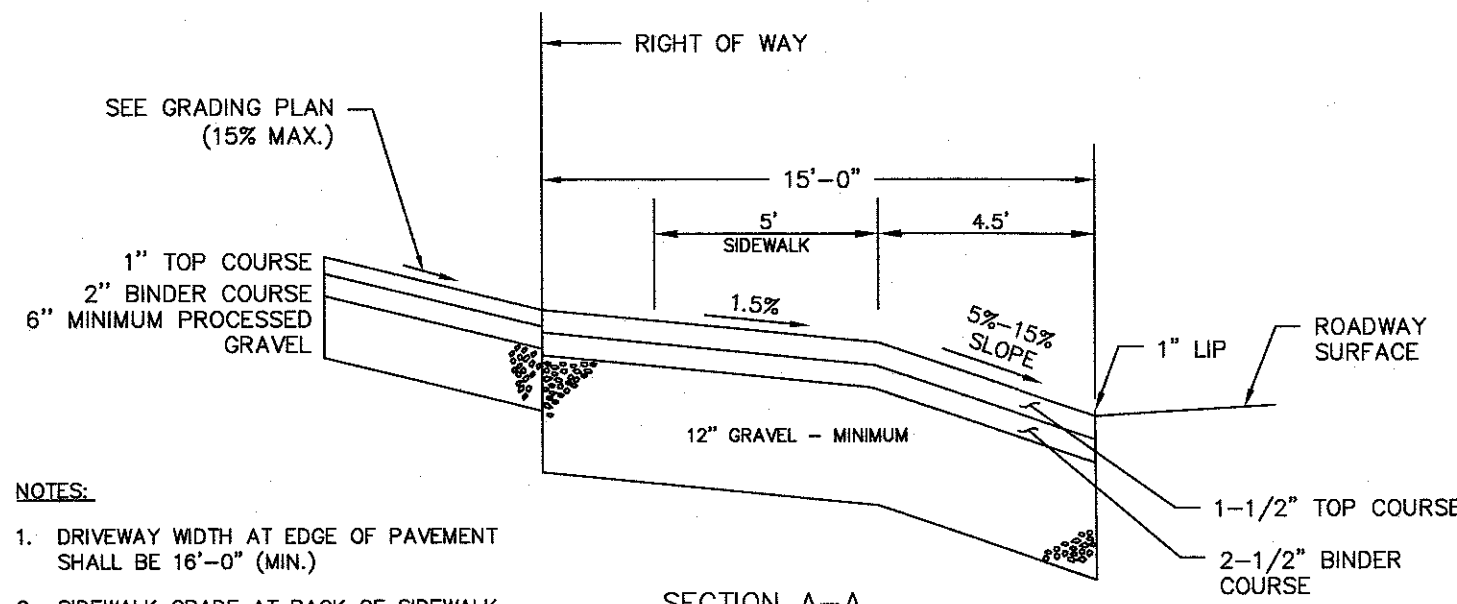
- NOTES:
1. PROVIDE CONTROL JOINTS 5'- 0\"/>
  - 2. PROVIDE EXPANSION JOINTS 20'- 0\"/>

**TYP. CONC. WALK DETAILS**

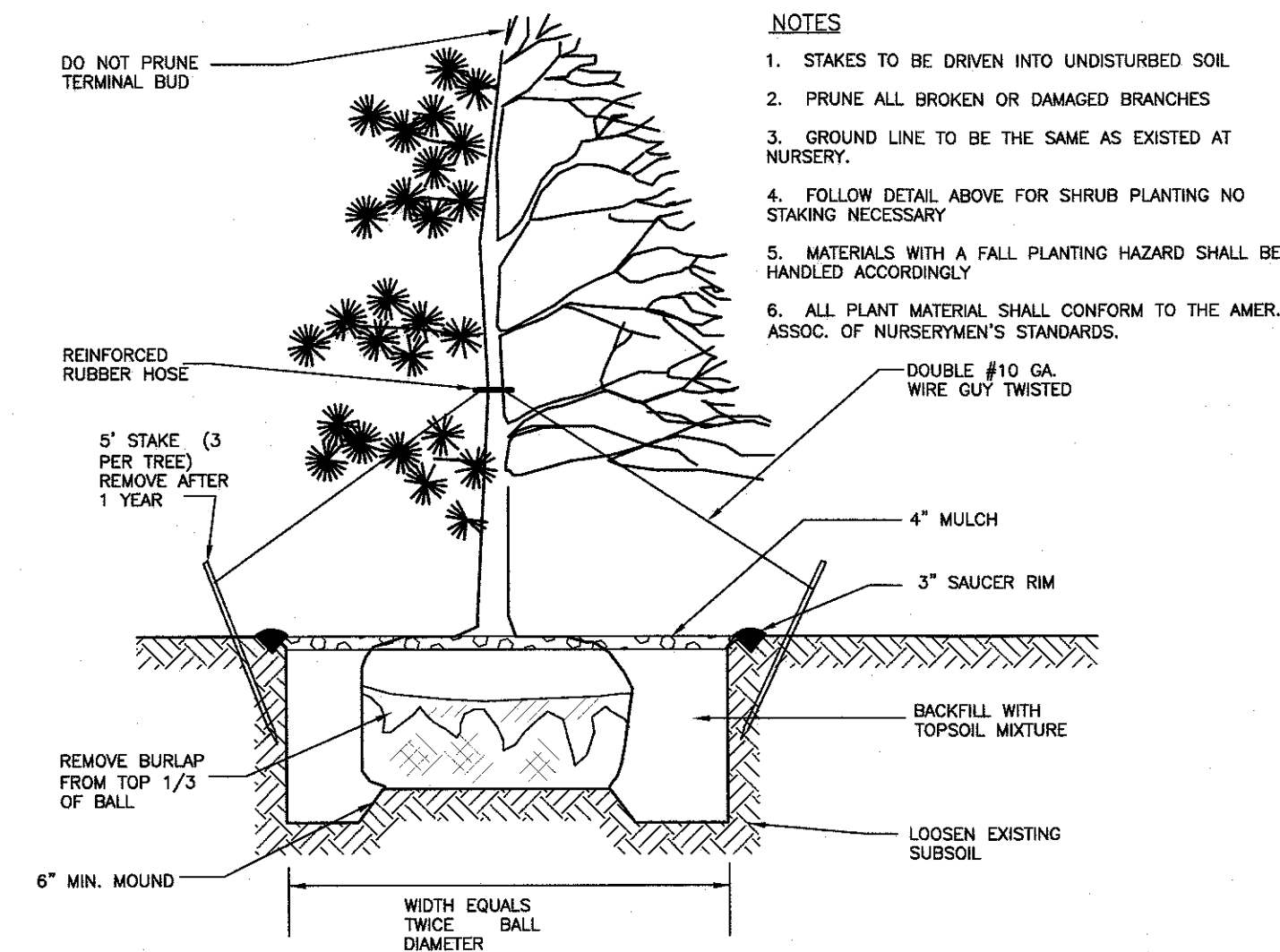
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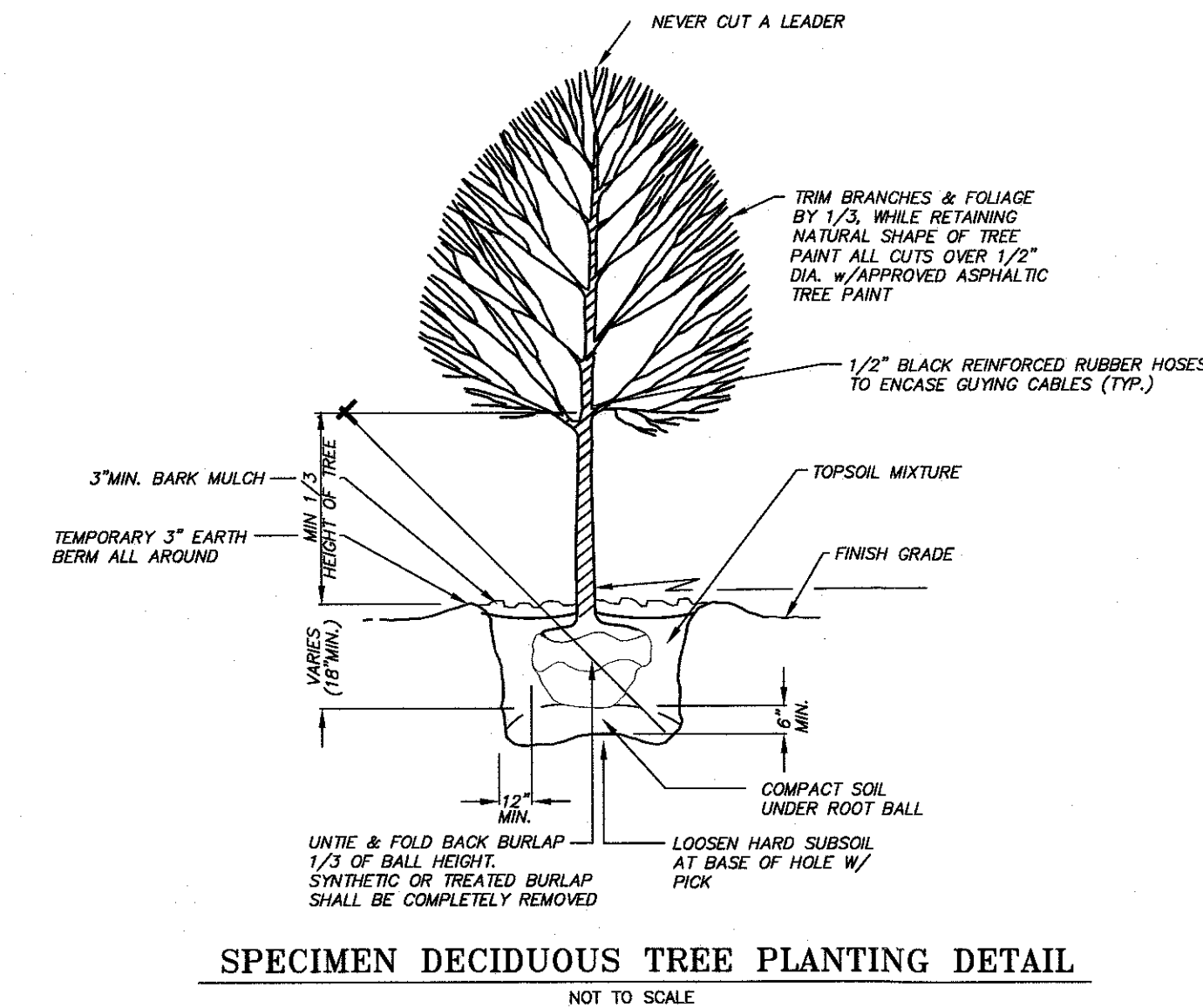
**PAVEMENT SECTION**  
N.T.S.



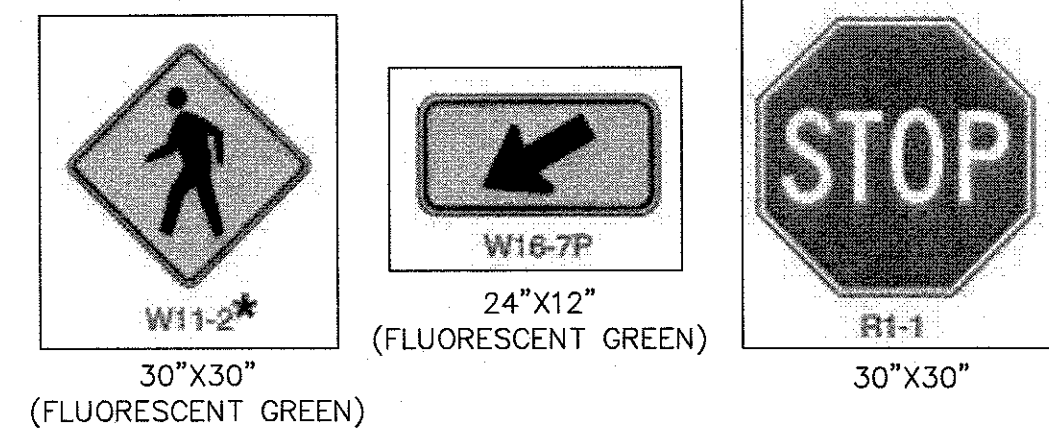
**SITE DRIVEWAY APRON DETAIL**  
NOT TO SCALE



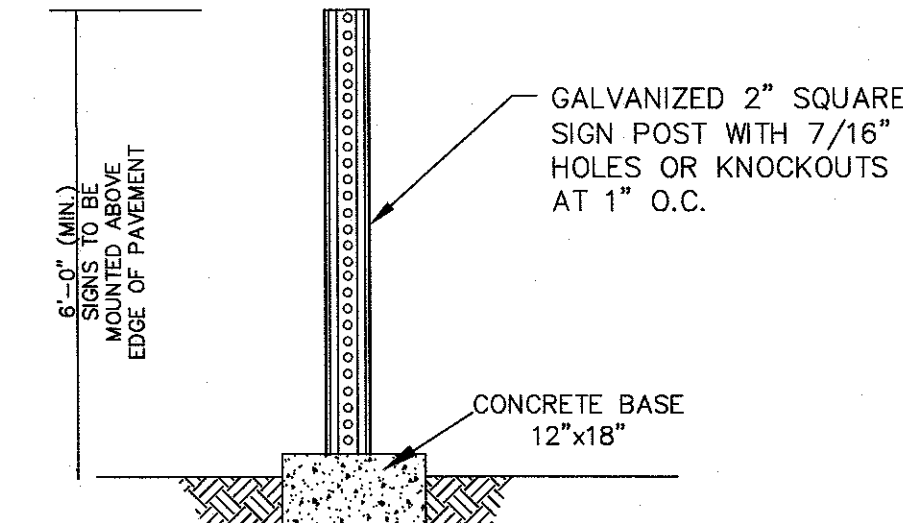
**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



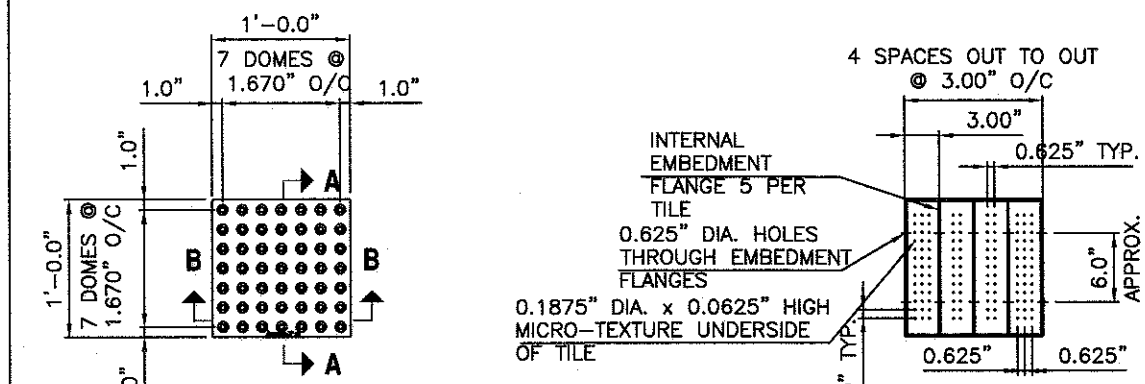
**SPECIMEN DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



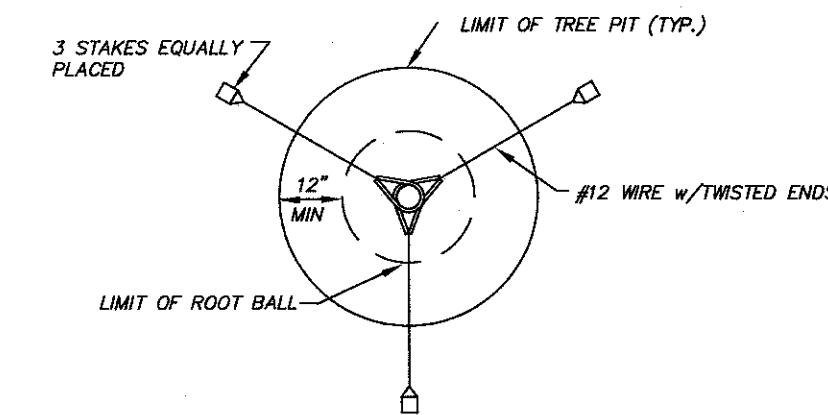
**SIGN DETAILS**  
N.T.S.



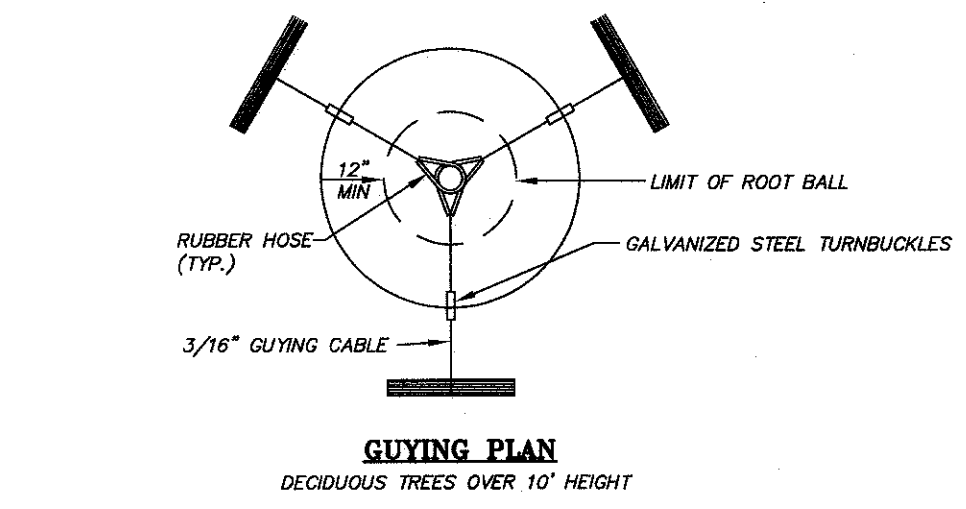
**SIGN POST DETAIL**  
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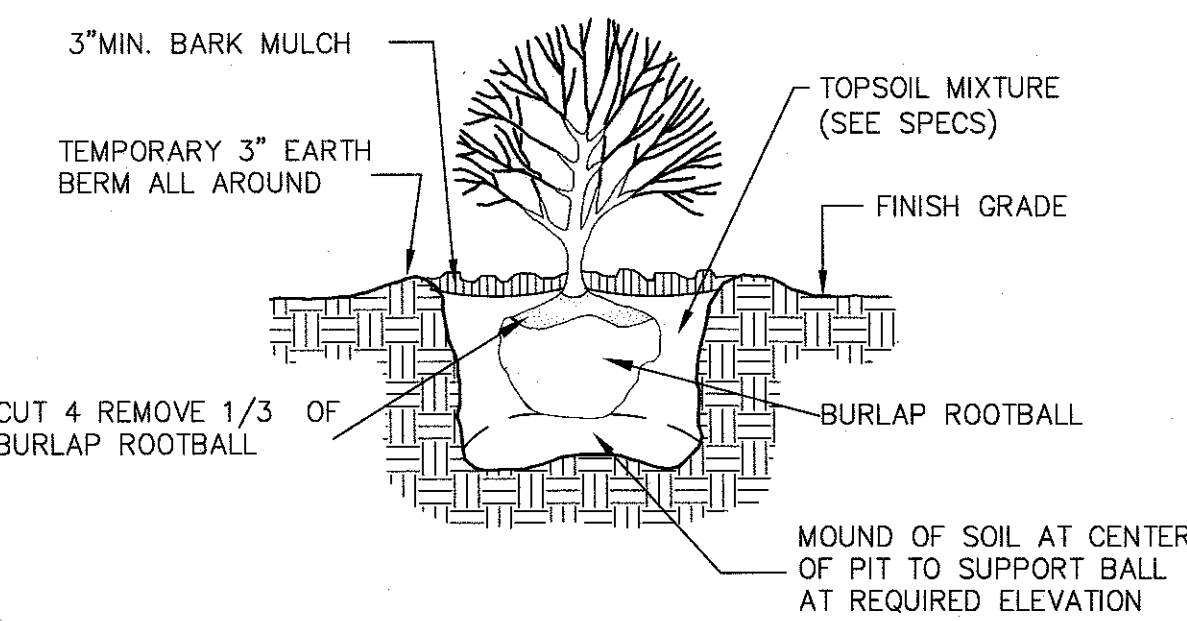
**DETECTABLE WARNING SURFACE**



**GUYING PLAN**



**GUYING PLAN**



**SHRUB DETAIL**  
N.T.S.

APPROVED DATE: \_\_\_\_\_  
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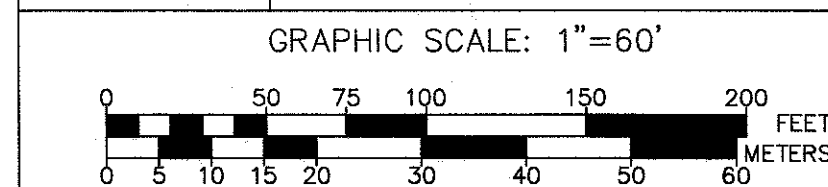
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**CONSTRUCTION DETAILS**  
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ROBERT J. DUFF  
No. 42707  
CIVIL  
REGISTERED PROFESSIONAL ENGINEER  
9.10.2022





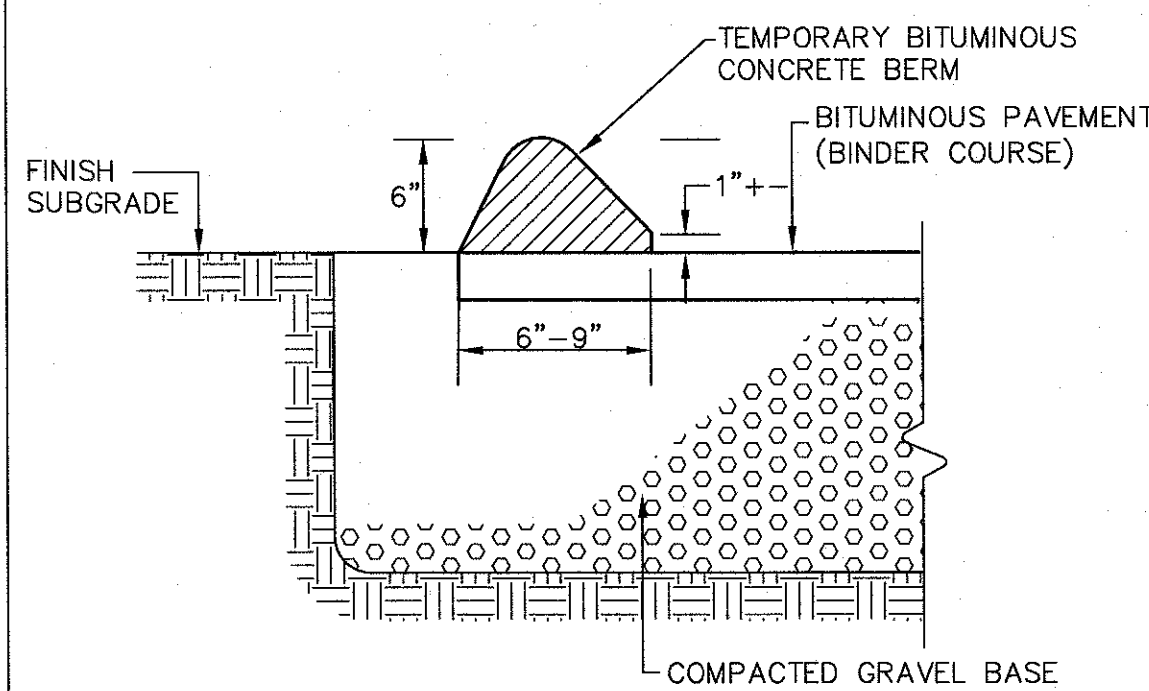


**General erosion control and Construction notes**

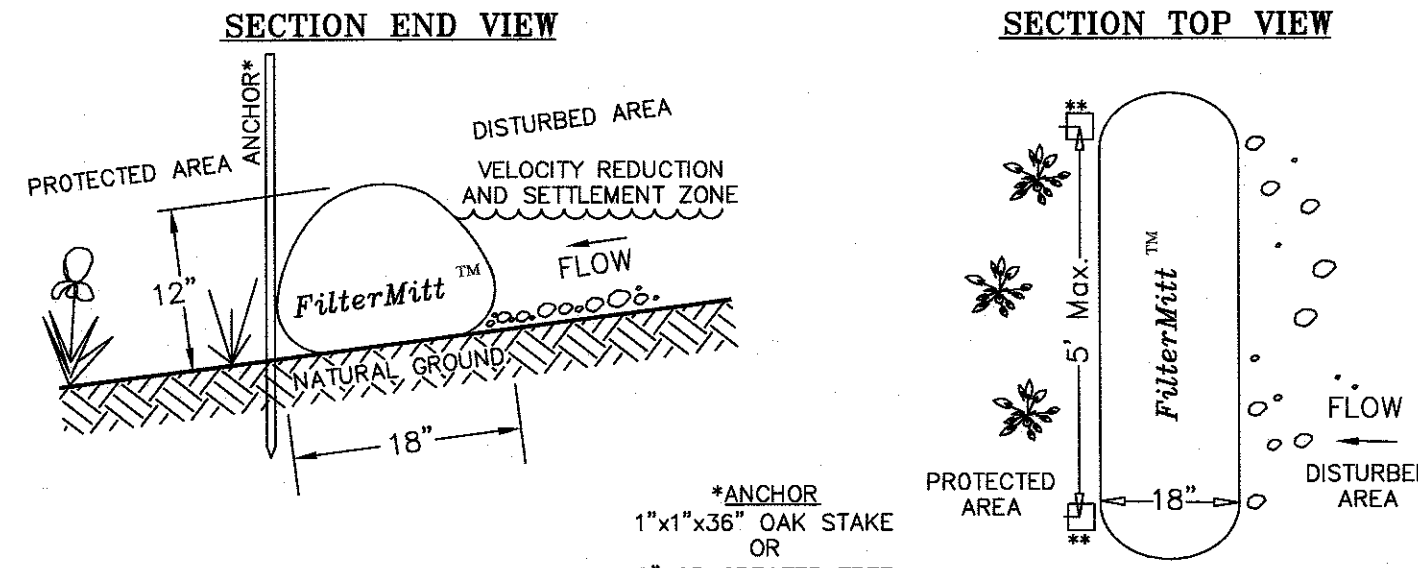
- The limits of all clearing, grading and disturbance shall be kept to a minimum within the proposed area of construction. All areas outside the limits of disturbance shall remain totally undisturbed.
- Inspect all sediment and erosion control measures at least once per week and within 24 hours after every rainfall event.
- Maintain all erosion and sediment control measures or replace as required to assure proper function.
- Contractor shall immediately repair any and all erosion and sediment controls found to be faulty.
- Any and all debris and litter which accumulates in the basins shall be removed weekly.
- The contractor shall implement all reasonable erosion and sediment controls prior to the actual commencement of construction activities including the clearing and/or grubbing of any portion of the property. These measures shall be maintained in effect throughout the entire construction phase, or until the site has become stabilized with an adequate vegetative cover.
- Sediment build up behind filtermitt shall be monitored and be removed whenever it has accumulated to four inches in depth.
- Sediment build up in the basin shall be promptly removed if accumulation exceeds twelve (12) inches in depth at the outlets.
- Catch basins shall be protected with silt filters (silt sacks). Inspect sediment filters at least once per week and within 24 hours after rainfall that produces runoff.
- Clean or replace filters within 24 hours of inspection when sediment reaches one half of the filter sack depth. Catch basins shall be protected by sediment filters throughout the construction period and until all disturbed areas are thoroughly stabilized. Sumps shall be cleaned whenever sediment has accumulated to a depth of 24 inches and immediately following installation of permanent pavement.
- The contractor shall maintain an adequate stockpile of erosion control materials on-site at all times for emergency or routine replacement and shall include materials to repair or replace silt fence, haybales, stone filter dikes or any other devices planned for use during construction.
- The contractor is to inspect all controls no less than weekly, and in anticipation of rainfall events expected to exceed 1/2 inch in depth. All deficiencies noted during said inspection shall be repaired immediately and in no case shall a deficiency be allowed to go uncorrected during a rainfall event. The erosion control devices shall be maintained, reinforced, or replaced if necessary. All accumulated sediments and other materials collected by the sedimentation control systems shall be removed as necessary to insure proper function of systems and disposed of in a manner that is consistent with the intent of this plan, in an upland area.
- Storm drain inlet protection shall be used for all existing and proposed catch basins in the project area. Prior to completion of the project, all catch basins within the project area shall be cleaned.
- All disturbed earth slopes area to be stabilized with permanent vegetative cover, to be established as soon as possible. Disturbed areas that are not subject to construction traffic shall receive a permanent or temporary vegetative cover as soon as final contours are established. Temporary vegetative cover is to be established on all disturbed areas where construction activities will not require additional disturbance for period of 30 days or more. If the season prevents the establishment of vegetative cover, disturbed areas shall be mulched and then seeded as soon as weather conditions allow.
- All plantings shall be accomplished by the contractor as early as the possible upon completion of grading and construction.
- All plantings shall be watered and maintained by the contractor to ensure survival.
- Erosion Control shall remain in place until the Certificate of Compliance is issued

**Interim Erosion Control and Construction Sequence**

- Install erosion control barriers
- Clear site of all trees designated to be removed
- Construct site berm around limits of temporary basins site to maintain stormwater runoff on site.
- Stockpile loam, or remove loam.
- Construct drainage system.
- The outlet devices will be plugged and no water will be allowed to leave the site. If water buildup is excessive, install filter fabric and 1" - 1 1/2" washed stone (as filter) at the outlet to allow temporary retention/detention sediment pond to drain. The drainage shall be monitored by the contractor.
- Bring site to sub-grade.
- Excavate foundations, use materials as fill for site, construct foundation and building.
- All slopes along the property lines shall be mulched temporarily, if disturbed within 7 days.
- Temporary stone (3" - 6") shall be placed at the project entrance when accessing existing pavement. Sweeping is required if fines are observed in the public ways.
- All disturbed areas not treated with permanent loam and seed shall be covered with mulch, or other erosion control device.
- All construction grades in the interim shall be sloped to flow into the temporary basin, where possible.
- The site mitigation of erosion in those areas to be landscaped or mulched shall be to install as soon as possible.
- Clean all sediment out of the catch basins and install per plan specifications prior to final grading and surface stabilization.
- The subsurface drainage system shall be installed prior to pavement installation proper filter fabric shall be placed at inlets to keep the storm drainage clean of debris.
- Once the curb is installed, the permanent mulch and landscaping shall be installed.
- Sediment control shall remain in place until the site is stabilized.
- Clean all on site catch basins, manholes, piping, and subsurface drainage system. Install silt bags at each catch basin.
- Keep site swept and maintained per stormwater management plan.



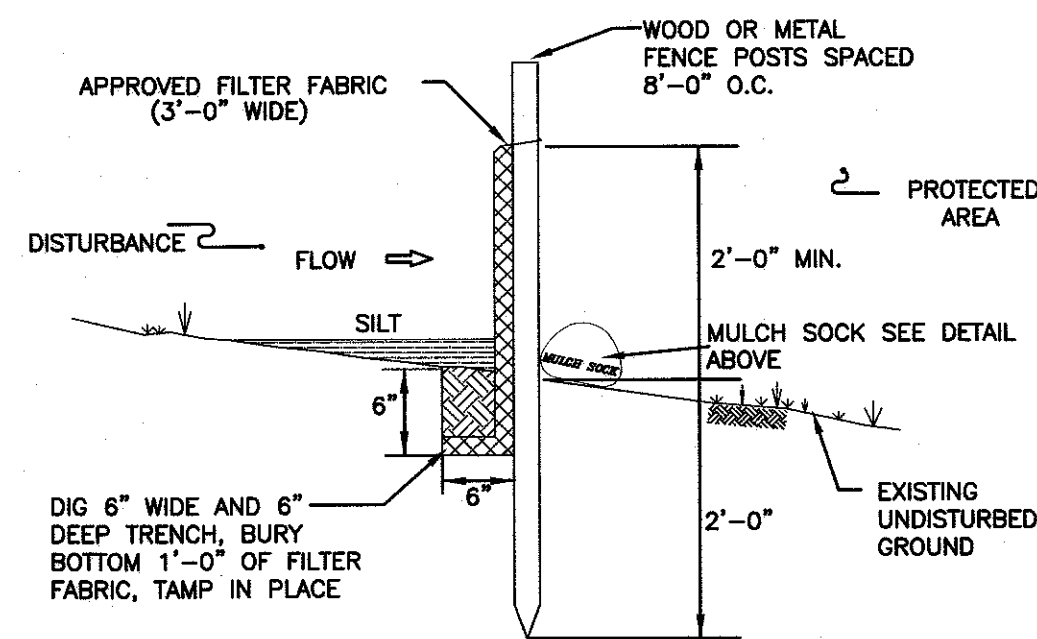
**TEMPORARY BITUMINOUS CONCRETE BERM DETAIL**  
N.T.S.



**Mulch Sock COMPONENTS:**  
OUTSIDE CASING: 100% organic hessian.  
FILLER INGREDIENT: *FiberRoot Mulch*  
• A blend of coarse and fine compost and shredded wood.  
• Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.  
• Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

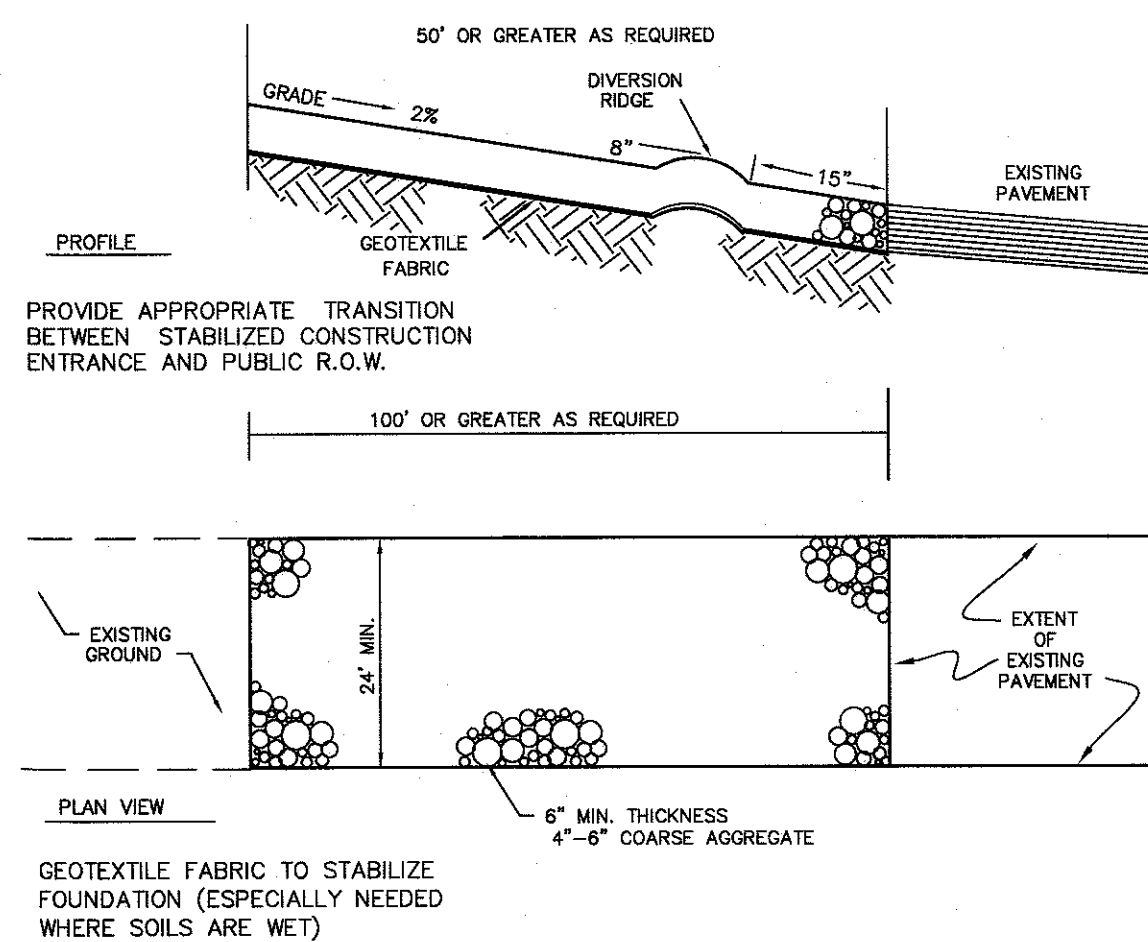
**Mulch Sock INSTALLATION:**  
With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.  
Sections can also be delivered to the site in lengths from 1' to 8'.  
The flexibility of *Mulch Sock* allows it to conform to a slightly oval shape at 12" high by 18" wide.  
Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union. No additional anchors are required on slopes less than 2:1. \*\*Additional anchors are required at 5' intervals (max.) on the downslope or protected side on slopes greater than 2:1 to prevent movement.

**Mulch Sock Detail**  
NOT TO SCALE

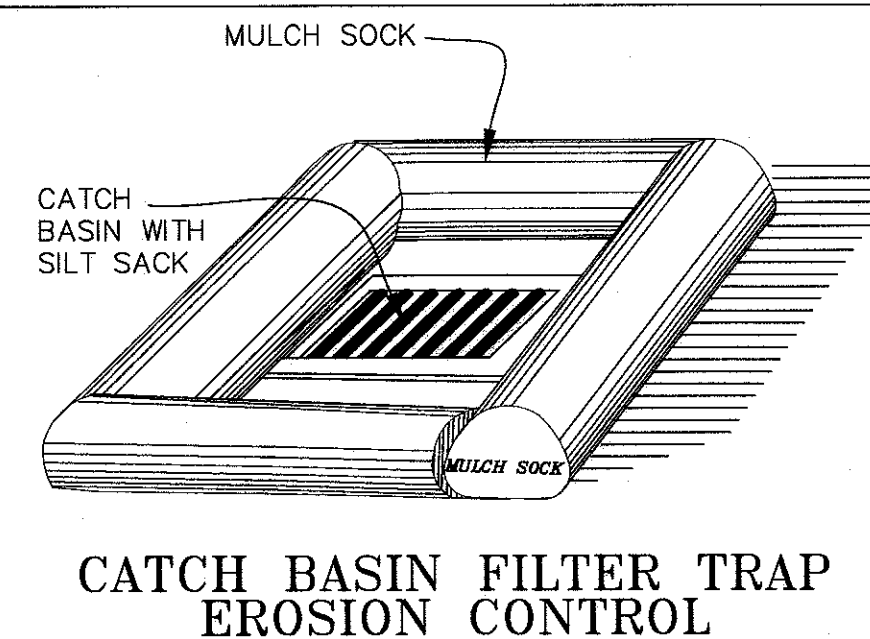


- PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
- SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE CONSERVATION COMMISSION.

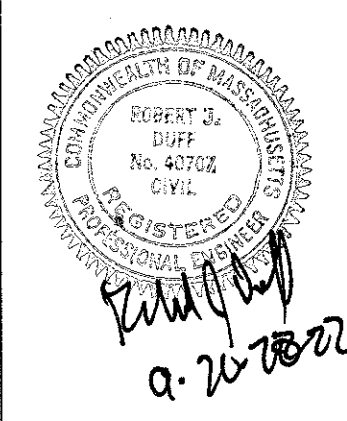
**SILT FENCE EROSION CONTROL**  
N.T.S.



**STABILIZED CONSTRUCTION ENTRANCE**



**SILTATION BASKET TYPE II-S (SEDIMENT)**  
N.T.S.



F4471

APPROVED DATE: \_\_\_\_\_  
FRANKLIN ZONING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
BEING A MAJORITY

LEGAL NOTES  
UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. DURING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE{7233}.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER(S)  
JOSEPHINE A. FARINA AND CATHERINE L. MEDAGLIA, TRUSTEES OF THE HARMONY NOMINEE REALTY TRUST  
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C/O KATHRYN G. COLLINS, ESQ.  
HORNING & SCIMONE PC  
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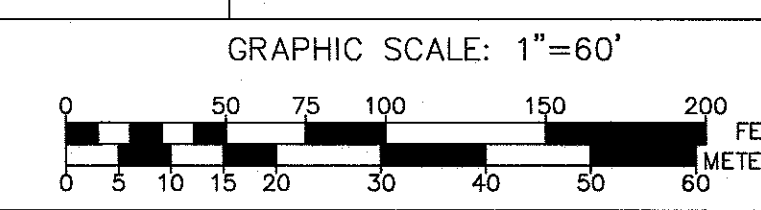
OLIVER CROSSING REALTY TRUST  
148 PARK STREET  
NORTH READING MA, 01864  
LOCUS REFERENCES

PLAN BK. 553 PLAN PG. 1 OF 2006  
A.M. 219 LOT 178.2

**FRANKLIN HEIGHTS**  
PARCEL B  
**40B DEVELOPMENT PLAN**  
FRANKLIN MASSACHUSETTS

**CONSTRUCTION DETAILS**  
**SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION



**Guerriere & Halnon, Inc.**  
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