

SITE PLAN

122 AND 138 EAST CENTRAL STREET



LOCUS MAP
SCALE: 1" = 100'

THE 122 AND 138 EAST CENTRAL STREET PROPERTIES ARE LOCATED WITHIN A COMMERCIAL I ZONE.

	REQUIREMENTS: 5,000 S.F.	EXISTING 31,340± S.F.	PROPOSED 31,340± S.F.
AREA:			
FRONTAGE:	50'	211'	211'
DEPTH:	50'	176.5'	176.5'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	2 STORIES
WIDTH:	45'	> 45'	> 45'
SETBACKS			
FRONT:	20' *1	6.5'	6.5'
SIDE WEST:	10' *14	4.6'	4.6'
SIDE EAST:	10' *14	26.8'	10.6'
REAR:	15'	85.7'	85.7'
COVERAGE			
STRUCTURES:	80%	21.5%	25.4%
STRUC. & PAVING:	90%	87.4%	78.2%

LOT COVERAGE BASED ON UPLAND AREA.

*1 - BUT NO NEW STRUCTURE SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN EXISTED ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.
 *14 - THE 10-FOOT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF THE LOT; IF LOT ADJUTS A RESIDENTIAL DISTRICT, A 20-FOOT SETBACK IS REQUIRED ON THE ADJUTING SIDE.
 *15 - BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

REQUIREMENTS FOR 122 AND 138 EAST CENTRAL STREET ZONE COMMERCIAL I EXISTING AND PROPOSED LOT AREA, FRONTAGE, DEPTH, WIDTH AND COVERAGE BASED ON THE LOTS BEING COMBINED.
 BUILDING HEIGHT, AND SETBACKS BASED ON EXISTING AND PROPOSED BUILDINGS LOCATED ON 122 AND 138 EAST CENTRAL STREET.
 PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT.
 THE PROPERTY IS LOCATED IN A ZONE C BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

NOTE:
EXISTING HOUSE DIMENSIONS AND LOCATIONS WERE TAKEN FROM THE TOWN OF FRANKLIN TAX ASSESSORS RECORDS.

DRAWING INDEX:

1. COVER SHEET
 2. EXISTING CONDITIONS PLAN
 3. SITE LAYOUT PLAN
 4. SITE GRADING AND UTILITY PLAN
 5. PLANTING PLAN
 6. CONSTRUCTION DETAILS - 1
 7. CONSTRUCTION DETAILS - 2
- SITE LIGHTING-LIGHTING PLAN, PHOTOMETRICS AND SCHEDULES BY SK & ASSOCIATES

REFERENCES:
ASSESSORS MAP 286 PARCELS 27 AND 28
DEED BOOK 40221 PAGE 464
DEED BOOK 40435 PAGE 87

PLAN 1175 OF 1949
PLAN 550 OF 1999
PLAN 65 OF 2006
PLAN 3334 OF 1913

OWNER AND APPLICANT:
138 EAST CENTRAL STREET, LLC
37 AND 138 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

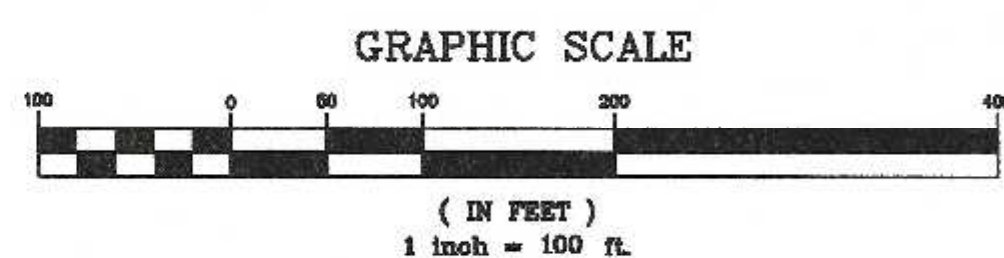
SITE PLAN
COVER SHEET
122 & 138 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
138 EAST CENTRAL STREET, LLC
37 AND 138 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
JULY 27, 2023
SCALE: 1" = 100'

- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

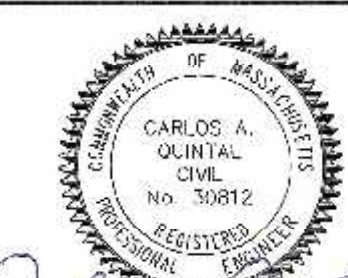
WAIVER REQUESTS:
1. TO ALLOW THE USE OF PVC AND HPDE PIPE FOR THE ROOF DRAINS AND UNDERGROUND STORMWATER STORAGE AREA.
2. TO ALLOW SITE LIGHTING TO EXTEND PAST THE PROPERTY LINE.

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY
1	9/25/23	REVIEW COMMENTS	RRG



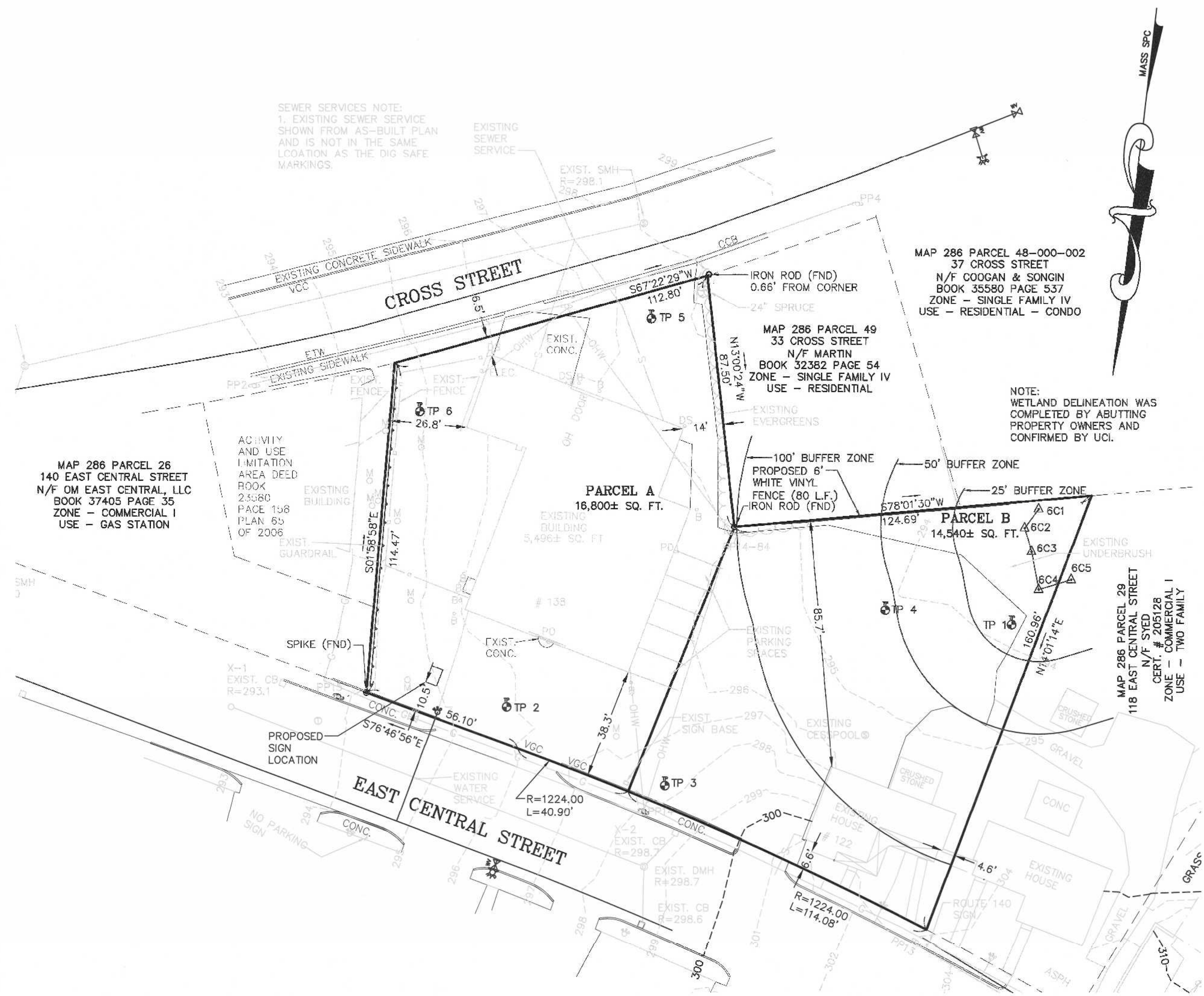
DATE	FIELD BY:	INT.
8/20	BL	BL
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7/23	CALCS BY:	RRG
7/23	DESIGNED BY:	RRG
7/23	DRAWN BY:	COMP
7/23	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-864-8560 FAX 508-864-8566

DATE	JULY 27, 2023
SCALE	1" = 100'
PROJECT	UC1596
SHEET	1 of 7

- NOTES:
 1. ELEVATIONS DATUM NGVD 1929.
 2. EXISTING CONDITIONS SURVEY WAS COMPLETED BETWEEN AUGUST 28, 2020 AND JULY 18, 2023.
 3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

EXISTING UTILITY NOTE:
 SEWER, DRAIN AND WATER LOCATIONS AND ELEVATIONS WERE TAKEN FROM PLANS OF RECORD AND ARE NOT THE RESULT OF A FIELD SURVEY.



MAP 286 PARCEL 48-000-002
 37 CROSS STREET
 N/F COOGAN & SONGIN
 BOOK 35580 PAGE 537
 ZONE - SINGLE FAMILY IV
 USE - RESIDENTIAL - CONDO

MAP 286 PARCEL 49
 33 CROSS STREET
 N/F MARTIN
 BOOK 32382 PAGE 54
 ZONE - SINGLE FAMILY IV
 USE - RESIDENTIAL

NOTE:
 WETLAND DELINEATION WAS COMPLETED BY ABUTTING PROPERTY OWNERS AND CONFIRMED BY UCI.

- LEGEND:
- 297- EXISTING CONTOUR
 - 297- PROPOSED CONTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - x274.3EX SPOT GRADE - EXISTING
 - 48M EXIST. TREE - DIAMETER - SPECIES
 - UP4 UTILITY POLE
 - CHW OVERHEAD WIRES
 - ⊗ GAS GATE
 - ⊗ WATER CURB STOP
 - ⊗ WATER GATE
 - ⊗ FIRE HYDRANT
 - ⊗ DRAIN MANHOLE
 - ⊗ CATCH BASIN
 - ⊗ SEWER MANHOLE
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING (REINFORCED)
 - VGC VERTICAL GRANITE CURBING
 - ⊗ HANDICAP PARKING SPACE
 - ⊗ BUILDING MOUNTED LIGHT
 - ⊗ B BOLLARD
 - ⊗ M MONITOR WELL

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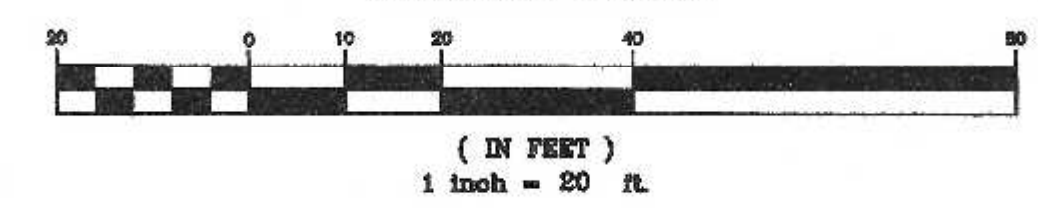
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SITE PLAN
 EXISTING CONDITIONS PLAN
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GRAPHIC SCALE



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ANDREW C. MURPHY P.L.S. #35042
 9/27/23

DATE	FIELD BY:	INT.
8/20	BL	BL
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7/23	RRG	RRG
7/23	RRG	RRG
7/23	COMP	COMP
7/23	CAQ	CAQ

UNITED CONSULTANTS INC.
 860 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6660 FAX 508-384-6568

DATE	DATE
JULY 27, 2023	JULY 27, 2023
SCALE	SCALE
1" = 20'	1" = 20'
PROJECT	PROJECT
UC1596	UC1596
SHEET	SHEET
2 of 7	2 of 7

PARKING CALCULATIONS:
 #122 EAST CENTRAL STREET
 COMMERCIAL 1 REQUIREMENTS (SECTIONS 185-21B.(2)(a))
 1.5 SPACES PER DWELLING UNIT
 RESIDENTIAL DWELLINGS 2 x 1.5 = 3

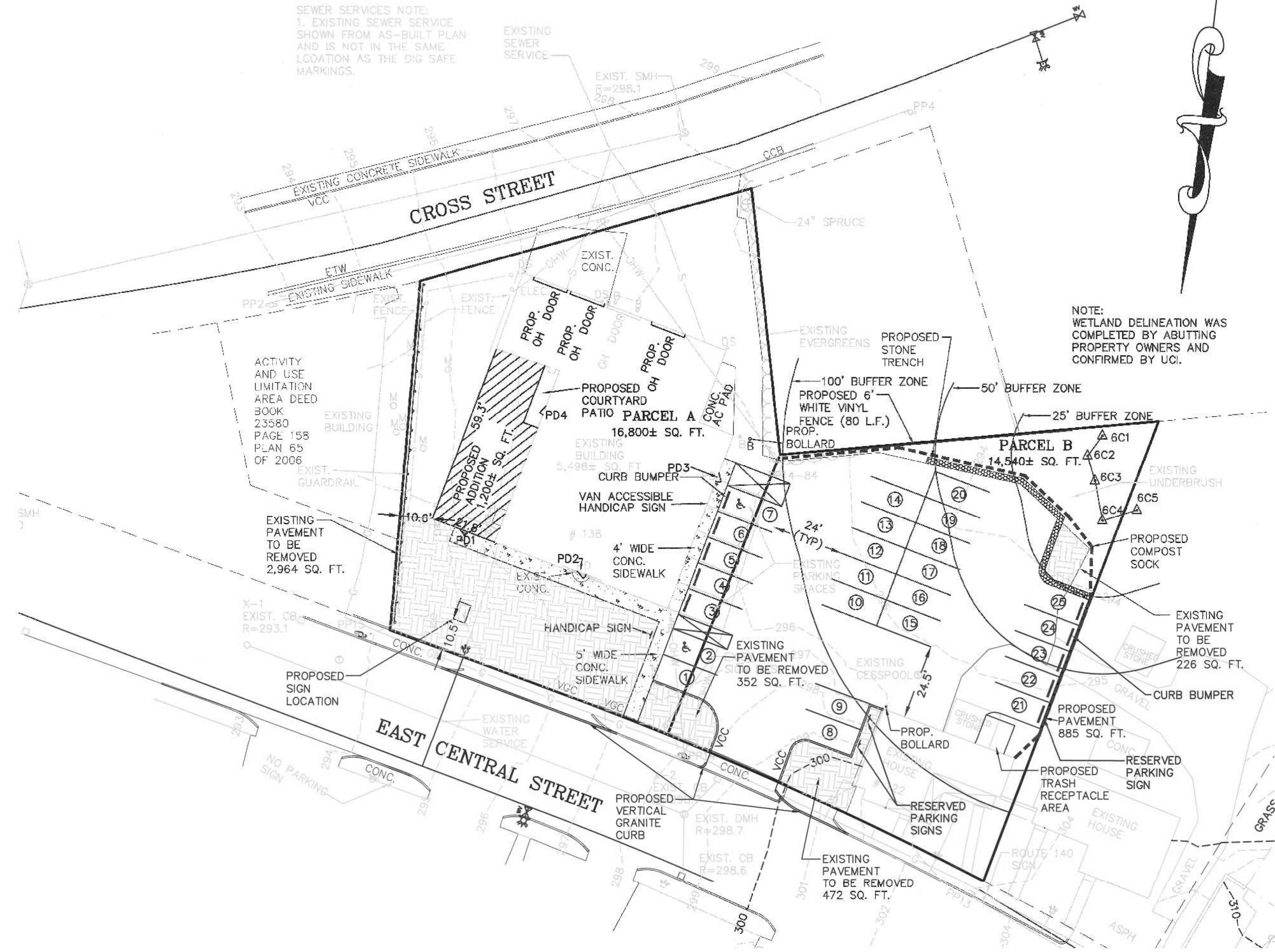
COMMERCIAL 1 REQUIREMENTS (SECTIONS 185-21B.(2)(b))
 COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500
 SQ. FT. = 8,446 SQ. FT. / 500 = 17 SPACES REQUIRED

20 SPACES REQUIRED
 25 TOTAL SPACES PROVIDED INCLUDING 2 HANDICAP SPACES.

NOTE BUILDING CONSIST OF 6,696 SQ. FT. FIRST FLOOR AND
 1,750 SQ. FT. SECOND FLOOR.

PROPOSED USES INCLUDE RETAIL AND OFFICE

PARKING SPACES 8, 9 AND 21 SHALL BE RESERVED FOR THE
 RESIDENTIAL UNITS.



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 - ⊗ GAS GATE
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 - ⊗ FIRE HYDRANT
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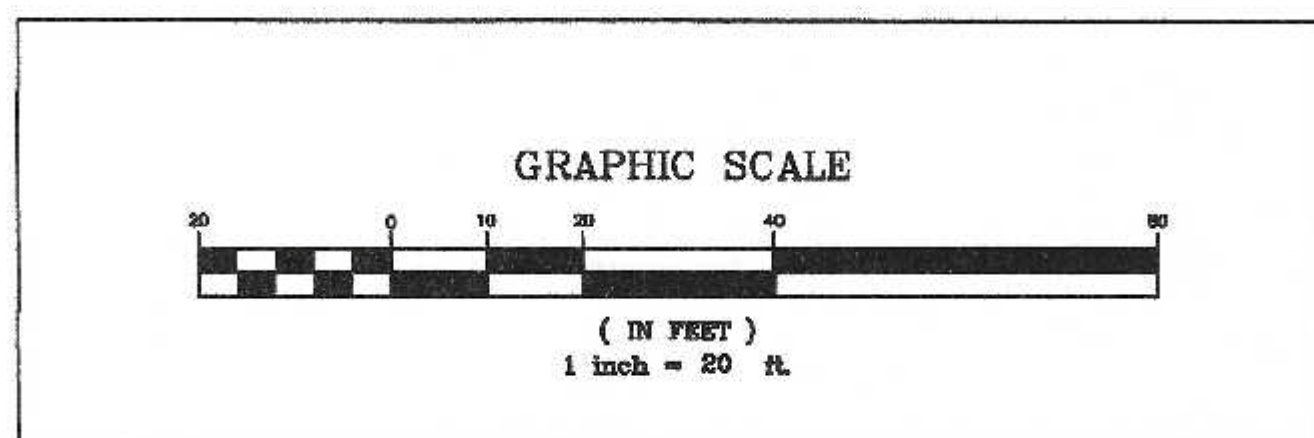
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CARLOS A. QUINTAL
 CIVIL
 No. 30812
 REGISTERED PROFESSIONAL ENGINEER

CARLOS A. QUINTAL P.E. #30812

DATE	FIELD BY:	INT.
8/20	BL	
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UNITED
 CONSULTANTS
 INC.

850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE	SCALE	PROJECT	SHEET
JULY 27, 2023	1" = 20'	UC1596	3 of 7

BUFFER ZONE DISTURBANCES:

0 - 25' BUFFER ZONE
 AREA - 457 SQ. FT.
 EXISTING IMPERVIOUS AREA - 363 SQ. FT.
 PROPOSED IMPERVIOUS AREA - 159 SQ. FT.
 204 SQ. FT. REDUCTION

25' - 50' BUFFER ZONE
 AREA - 1,692 SQ. FT.
 EXISTING IMPERVIOUS AREA - 1,481 SQ. FT.
 PROPOSED IMPERVIOUS AREA - 1,653 SQ. FT.
 172 SQ. FT. ADDITION

50' - 100' BUFFER ZONE
 AREA - 5,178 SQ. FT.
 EXISTING IMPERVIOUS AREA - 4,192 SQ. FT.
 PROPOSED IMPERVIOUS AREA - 5,032 SQ. FT.
 840 SQ. FT. ADDITION

WESTERLY BUILDING ROOF TO RECHARGE
 AREA 2,727 SQ. FT.

REDUCTION OF IMPERVIOUS AREA TO IVW - 1,919 SQ. FT.

SEWER SERVICES NOTE:
 1. EXISTING SEWER SERVICE SHOWN FROM AS-BUILT PLAN AND IS NOT IN THE SAME LOCATION AS THE DIG SAFE MARKINGS.

VERNAL POOL STATEMENT:
 THERE ARE NOT ANY CERTIFIED OR POTENTIAL VERNAL POOLS LOCATED ON THE PROJECT SITE OR WITHIN 100 FEET OF THE PROJECT SITE WORK AREA.

MAY 8, 2023

PERFORMED BY CARLOS A. QUINTAL, P.E., SOIL EVALUATOR
 RICHARD GOODREAU AND JARED LIBERTI

TP 1 ELEV. = 293.82
 0" - 24" FILL - ELEV. = 291.82
 24" - 27" A 10YR 2/2 - ELEV. = 291.57
 27" - 40" MED SAND 2.5Y 4/4 - ELEV. = 290.49
 MOTTLES @ 27" - ELEV. = 291.57

TP 2 ELEV. = 295.67
 0 - 13" ASPHALT AND DENSE GRADE - ELEV. = 294.59
 13" - 72" FILL - ELEV. = 289.67
 WATER @ 70" - ELEV. = 289.84

TP 3 ELEV. = 297.72
 0 - 2" - ELEV. = 297.55
 2" - 91" FILL - ELEV. = 290.14
 91" - 97" C SILTY - ELEV. = 289.64

TP 4 ELEV. = 293.82
 0 - 2.5" - ELEV. = 293.61
 2.5" - 65" FILL - ELEV. = 288.40
 WATER @ 60" - ELEV. = 288.82

TP 5 ELEV. = 297.24
 0 - 3" ASPHALT - ELEV. = 296.99
 3" - 11" FILL - ELEV. = 296.32
 11" - 41" C1 10YR 5/3 - ELEV. = 293.82
 41" - 51" C2 10YR 5/2 - ELEV. = 292.99
 MOTTLES @ 35" - ELEV. = 294.32

TP 6 ELEV. = 295.01
 0 - 4" ASPHALT - ELEV. = 294.68
 4" - 14" SAND AND GRAVEL - ELEV. = 293.84
 14" - 36" FILL - ELEV. = 292.01
 36" - 63" C1 10YR 4/6 - ELEV. = 289.76
 63" - 76" C2 2.5Y 5/4 - ELEV. = 288.68
 WATER WEEPING @ 69" - ELEV. = 289.26

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STANDARD B

- THE PROJECT CONSISTS OF THE RECONSTRUCTION OF AN EXISTING PARKING LOT WITH REMOVAL OF PAVEMENT AND AREA OF ADDED PAVEMENT. A ROOF STORAGE SYSTEM IS PROPOSED ON THE ABUTTING PROPERTY.
- THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL RAINFALL EVENTS OF 1" OR GREATER. ONCE THE EXISTING PAVEMENT IS REMOVED THE SITE SHALL BE GRADED AND THE AREA SHALL BE PAVED. - THE OWNER SHALL BE RESPONSIBLE FOR COMPLIANCE.
- THE CONTRACTOR SHALL REMOVE THE EXISTING PAVEMENT, RE-GRADE THE AREA AND THEN RE-PAVE THE AREA WITHIN A ONE WEEK PERIOD TO MINIMIZE SOIL EXPOSURE.
- REFER TO THE EROSION CONTROL BARRIER LOCATION AND DETAIL.
- DUE TO THE SMALL SIZE OF THE SITE THERE ARE NOT ANY EROSION CONTROL BMP'S PROPOSED.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED WILL BE COVERED WITH LOAM AND WILL BE SEEDED OR COVERED WITH MULCH.
- REFERENCE THE SITE PLANS
- THE CONTRACTOR SHALL REMOVE THE EXISTING PAVEMENT, RE-GRADE THE AREA AND THEN RE-PAVE THE AREA WITHIN A ONE WEEK PERIOD TO MINIMIZE SOIL EXPOSURE.
- THE EROSION CONTROL BARRIER SHALL BE INSTALLED PRIOR TO ANY WORK COMMENCING WITH IN THE BUFFER ZONE.
- THE EROSION CONTROL BARRIER SHALL BE INSPECTED AND IF NECESSARY REPAIRED.
- THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL RAINFALL EVENTS OF 1" OR GREATER.
- DUE TO THE RELATIVELY SHORT CONSTRUCTION PERIOD OF ONE WEEK, MAINTENANCE IS NOT ANTICIPATED TO BE NECESSARY.
- THE CONTRACTOR SHALL MAINTAIN A LOG OF THE INSPECTIONS AND DATED WHEN THEY WERE COMPLETED.

DRAINAGE PIPE SCHEDULE:

WEST SIDE OF BUILDING
 1 - 3' OF 8" SDR 35 PVC - S=0.01
 2 - 15' OF 8" SDR 35 PVC - S=0.01
 3 - 63' OF 8" SDR 35 PVC - S=0.01
 4 - 12' OF 8" SDR 35 PVC - S=0.01
 5 - 23' OF 8" SDR 35 PVC - S=0.01

INVERT @ A - 293.33
 INVERT @ B - 293.48
 INVERT @ C - 294.11
 INVERT @ D - 294.23
 INVERT @ E - 294.46

EAST SIDE OF BUILDING
 11 - 10' OF 8" SDR 35 PVC - S=0.005
 12 - 26' OF 8" SDR 35 PVC - S=0.005
 13 - 86' OF 8" SDR 35 PVC - S=0.005

INVERT @ AA - 293.35
 INVERT @ BB - 293.48
 INVERT @ CC - 293.91

NOTE: FINAL DOWNSPOUT LOCATIONS TO BE DETERMINED BY THE ARCHITECT.

PROPOSED SITE IMPERVIOUS - 24,167 SQ. FT. X 1/12 X 0.80 = 1,611 CUBIC FEET STORMWATER STORAGE REQUIRED

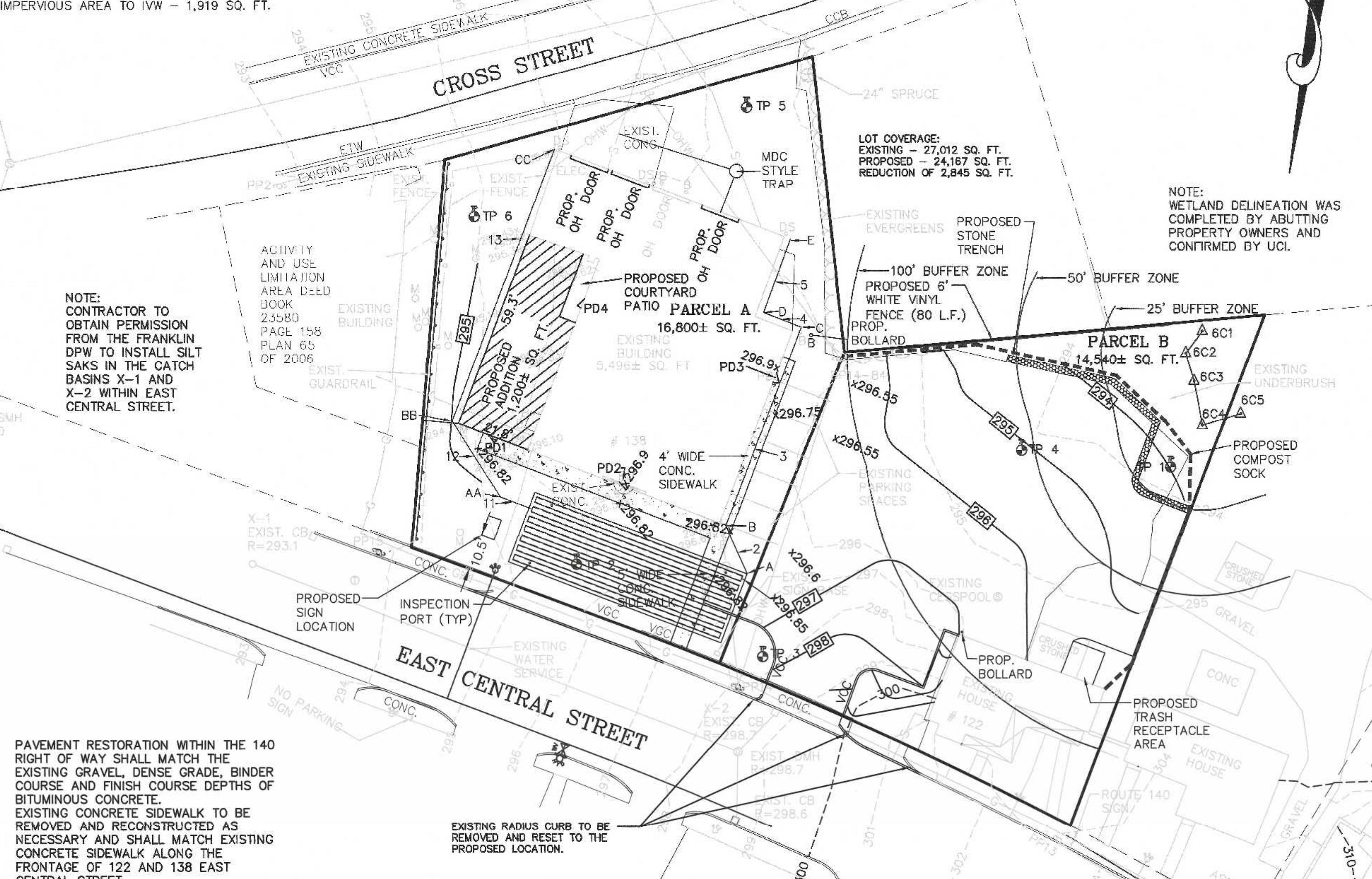
PROPOSED TRENCH = 18" ADS PERFORATED PIPE WITH 6" BELOW THE INVERT 12" STONE BETWEEN THE PIPE AND THE EDGE OF THE STORAGE SYSTEM.
 STORAGE VOLUME = 1,657 CUBIC FEET.

EXISTING SITE FEATURES NOTES:

1. EXISTING BOLLARDS TO BE REMOVED INCLUDING BOLLARDS AT THE EXISTING GARAGE DOOR.
2. EXISTING CONCRETE PADS TO BE REMOVED.
3. EXISTING ASPHALT TO BE REMOVED AND AREAS TO BE REPAVED.
4. EXISTING WATER SERVICE TO REMAIN.
5. EXISTING SEWER SERVICE TO REMAIN.
6. EXISTING UTILITY SERVICES TO REMAIN.
7. EXISTING WATER AND SEWER SERVICE TAKEN FROM TIES PROVIDED BY THE TOWN OF FRANKLIN AND SHOULD BE FIELD VERIFIED.

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 37 AND 138 EAST CENTRAL STREET
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GRADING AND UTILITY PLAN
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NOTE:
 CONTRACTOR TO OBTAIN PERMISSION FROM THE FRANKLIN DPW TO INSTALL SILT SAKS IN THE CATCH BASINS X-1 AND X-2 WITHIN EAST CENTRAL STREET.

ACTIVITY AND USE LIMITATION AREA DEED BOOK 23580 PAGE 158 PLAN 65 OF 2006

PAVEMENT RESTORATION WITHIN THE 140 RIGHT OF WAY SHALL MATCH THE EXISTING GRAVEL, DENSE GRADE, BINDER COURSE AND FINISH COURSE DEPTHS OF BITUMINOUS CONCRETE. EXISTING CONCRETE SIDEWALK TO BE REMOVED AND RECONSTRUCTED AS NECESSARY AND SHALL MATCH EXISTING CONCRETE SIDEWALK ALONG THE FRONTAGE OF 122 AND 138 EAST CENTRAL STREET.

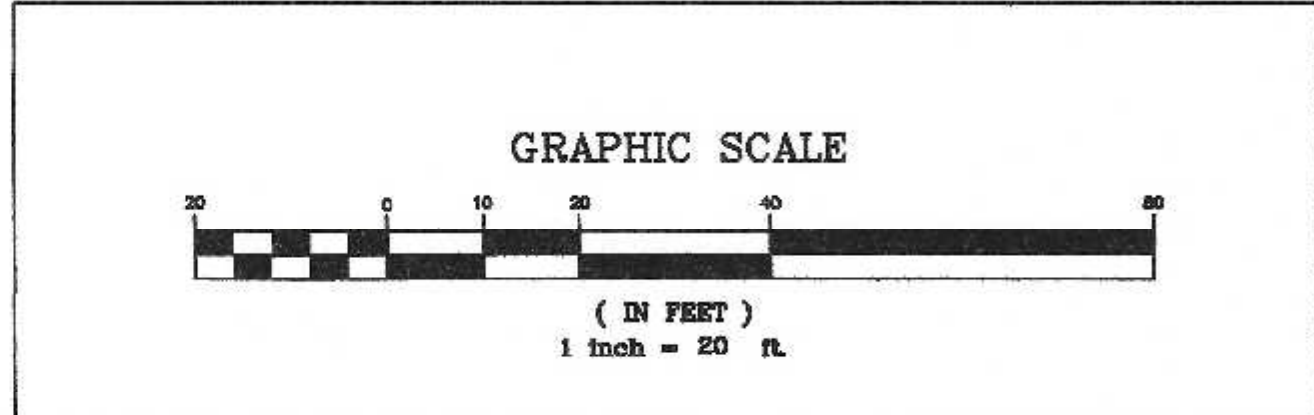
EXISTING RADIUS CURB TO BE REMOVED AND RESET TO THE PROPOSED LOCATION.

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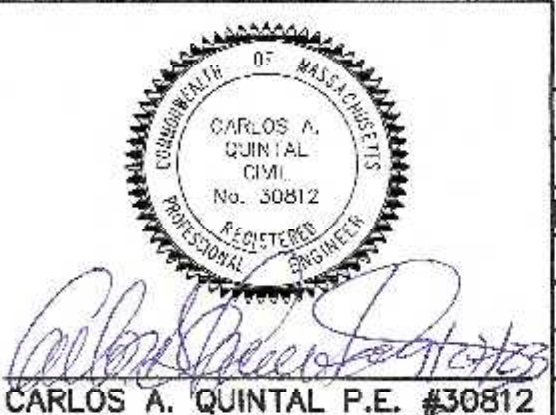
ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% OR A RUNNING SLOPE GREATER THAN 5% SEE 521 CMR 20.9.

SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

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SHEET	4 of 7

- CONSTRUCTION SEQUENCE:**
1. RECORD PERMITS, INSTALL EROSION CONTROL MEASURES AND HAVE INSPECTION COMPLETED, INSTALL DEP SIGN.
 2. REMOVE EXISTING ASPHALT PAVEMENT.
 3. INSTALL THE UNDERGROUND PIPING AND STORMWATER SYSTEM.
 4. REMOVE AND TREAT THE INVASIVE SPECIES.
 5. REGRADE PARKING AREA.
 6. PAVE THE AREA WITH A BINDER COURSE.
 7. INSTALL THE STONE TRENCH.
 8. LOAM, SEED AND INSTALL THE PLANTINGS AND MULCH.
 9. PAVE THE AREA WITH A TOP COURSE.
 10. INSTALL THE FENCE.
 11. STRIPE THE PARING LOT.

SEWER SERVICES NOTE:
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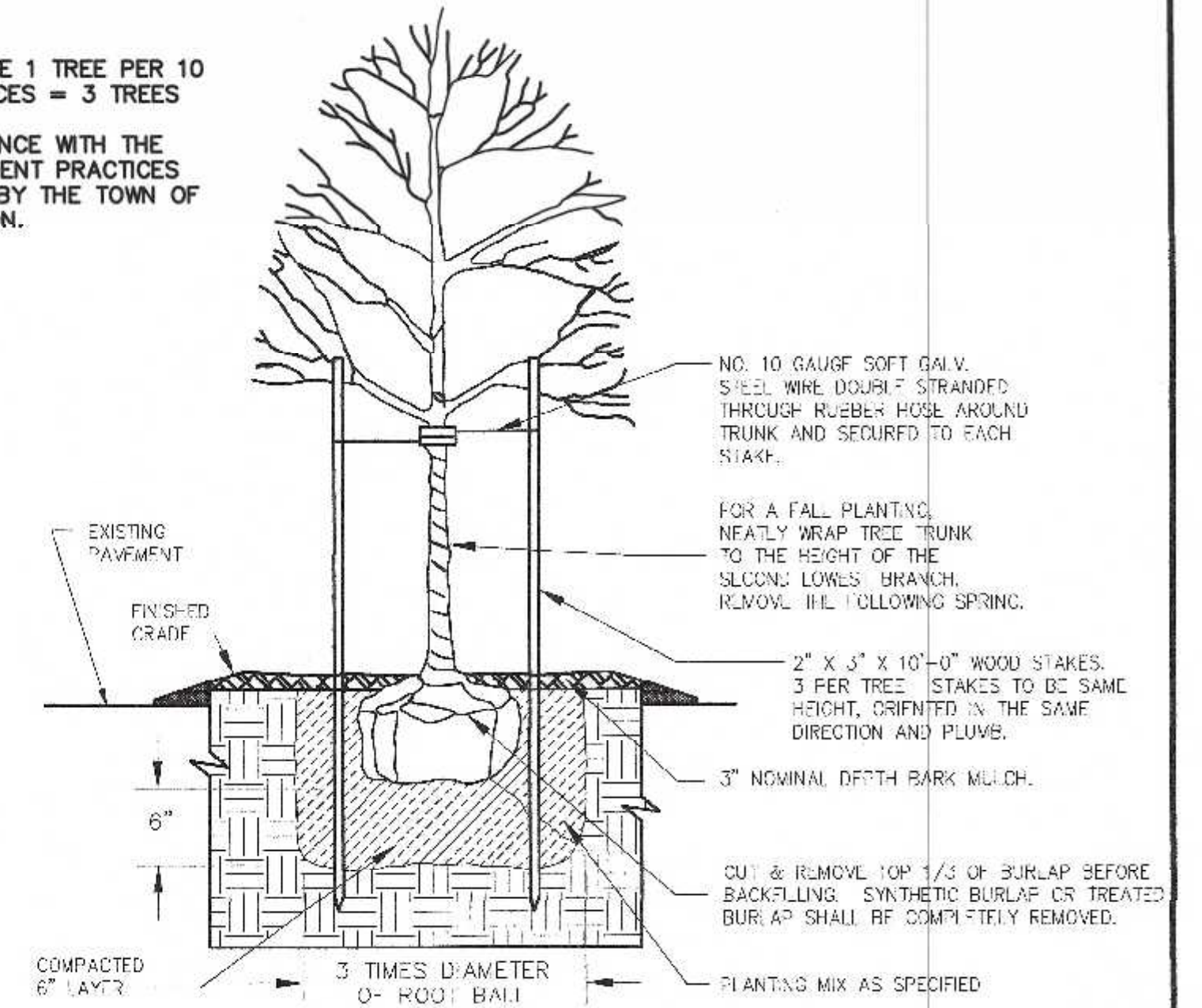
LANDSCAPE AND SNOW STORAGE / REMOVAL NOTES:

1. LANDSCAPE AREAS TO BE COVERED WITH MULCH OR DECORATIVE STONE.
2. LANDSCAPE AREAS TO BE UTILIZED AS SNOW STORAGE AREAS.
3. SNOW STORAGE TO BE IN EXTRA PARKING SPACES 21-25.

PLANTING SCHEDULE

NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
3	RED MAPLE - RM	ACER RUBRUM	3"	B&B

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES, 25 PARKING SPACES = 3 TREES
 3 TREES PROVIDED.
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK OR WILL BE APPROVED BY THE TOWN OF FRANKLIN CONSERVATION COMMISSION.



DECIDUOUS TREE PLANTING

- NOTES:**
1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
 3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
 4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

JAPANESE KNOTWEED TREATMENT

1. JAPANESE KNOT WEED TO BE CUT AND REMOVED FROM SITE AND DISPOSED OF IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
2. THE APPLICATION OF HERBICIDES SHALL BE COMPLETED IMMEDIATELY AFTER THE CUTTING AND SHALL BE DONE IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

LANDSCAPING REQUIREMENTS PAVEMENT REMOVAL AREAS.
 - UPON REMOVAL OF PAVEMENT IN WETLAND JURISDICTIONAL AREAS, THE SURFACE SHALL HAVE 6" OF GOOD QUALITY LOAM APPLIED AND SHALL BE SEEDDED WITH A NEW ENGLAND WILDFLOWER MIX. (NEW ENGLAND WETLAND PLANT, INC OR APPROVED EQUAL)

REFERENCES:
 ASSESSORS MAP 286 PARCELS 27 AND 28 DEED BOOK 40221 PAGE 464
 DEED BOOK 40435 PAGE 87

PLAN 1175 OF 1949
 PLAN 550 OF 1999
 PLAN 65 OF 2006
 PLAN 3334 OF 1913

OWNER AND APPLICANT:
 138 EAST CENTRAL STREET, LLC
 37 AND 138 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

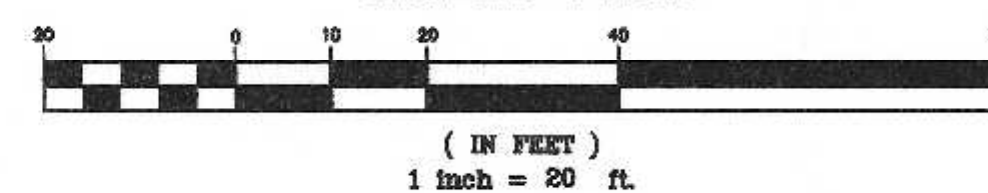
**SITE PLAN
 GRADING & UTILITY PLAN**
 122 & 138 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 138 EAST CENTRAL STREET, LLC
 37 AND 138 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 JULY 27, 2023
 SCALE: 1" = 20'

- LEGEND:**
- 297- EXISTING CONTOUR
 - 297- PROPOSED CONTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - x274.3EX. SPOT GRADE - EXISTING
 - 4BM EXIST. TREE - DIAMETER - SPECIES
 - UP4-1 UTILITY POLE
 - OHW OVERHEAD WIRES
 - GAS GATE
 - WATER CURB STOP
 - WATER GATE
 - FIRE HYDRANT
 - DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING (REINFORCED)
 - VGC VERTICAL GRANITE CURBING
 - HANDICAP PARKING SPACE
 - BUILDING MOUNTED LIGHT
 - B BOLLARD
 - M MONITOR WELL

**SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD**

DATE

GRAPHIC SCALE



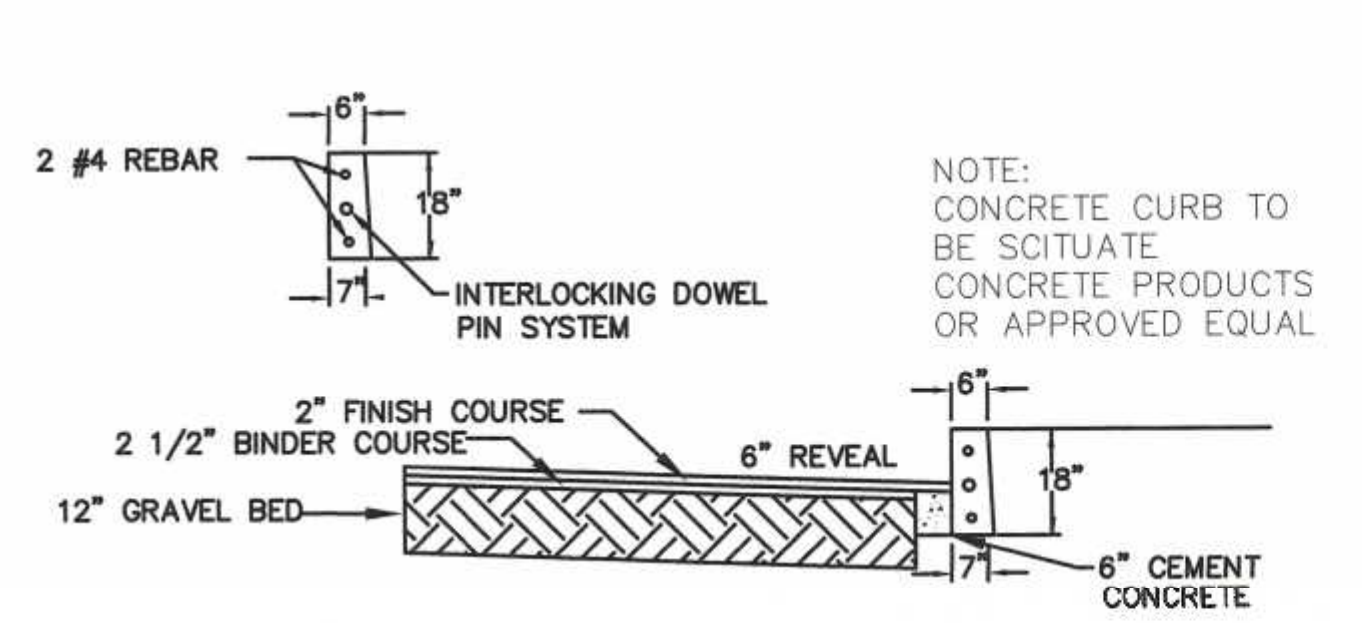
NO.	DATE	DESCRIPTION	BY
1	9/25/23	REVIEW COMMENTS	RRG



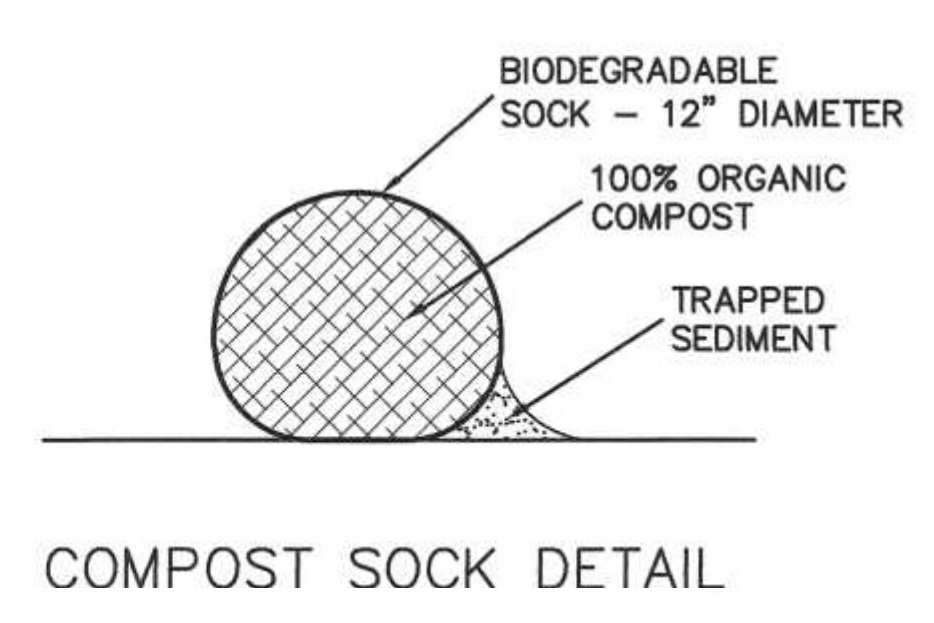
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8/20	BL	
7/23	FIELD BOOK PG#	
7/23	CALCS BY:	RRG
7/23	DESIGNED BY:	RRG
7/23	DRAWN BY:	COMP
7/23	CHECKED BY:	CAQ

**UNITED
 CONSULTANTS
 INC.**
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8560 FAX 508-384-8566

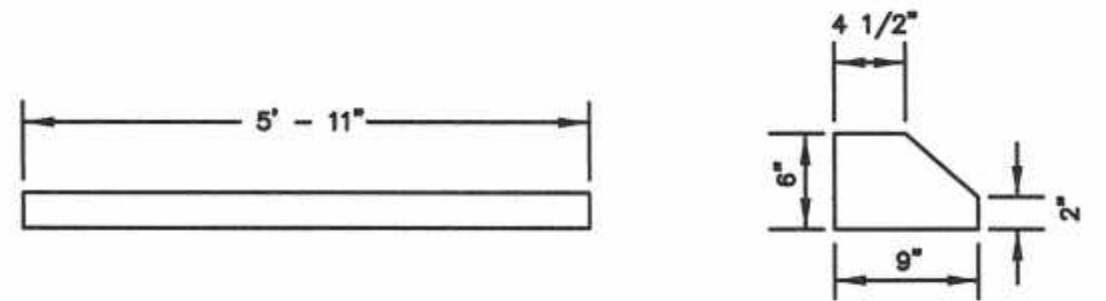
DATE	SCALE	PROJECT	SHEET
JULY 27, 2023	1" = 20'	UC1596	5 of 7



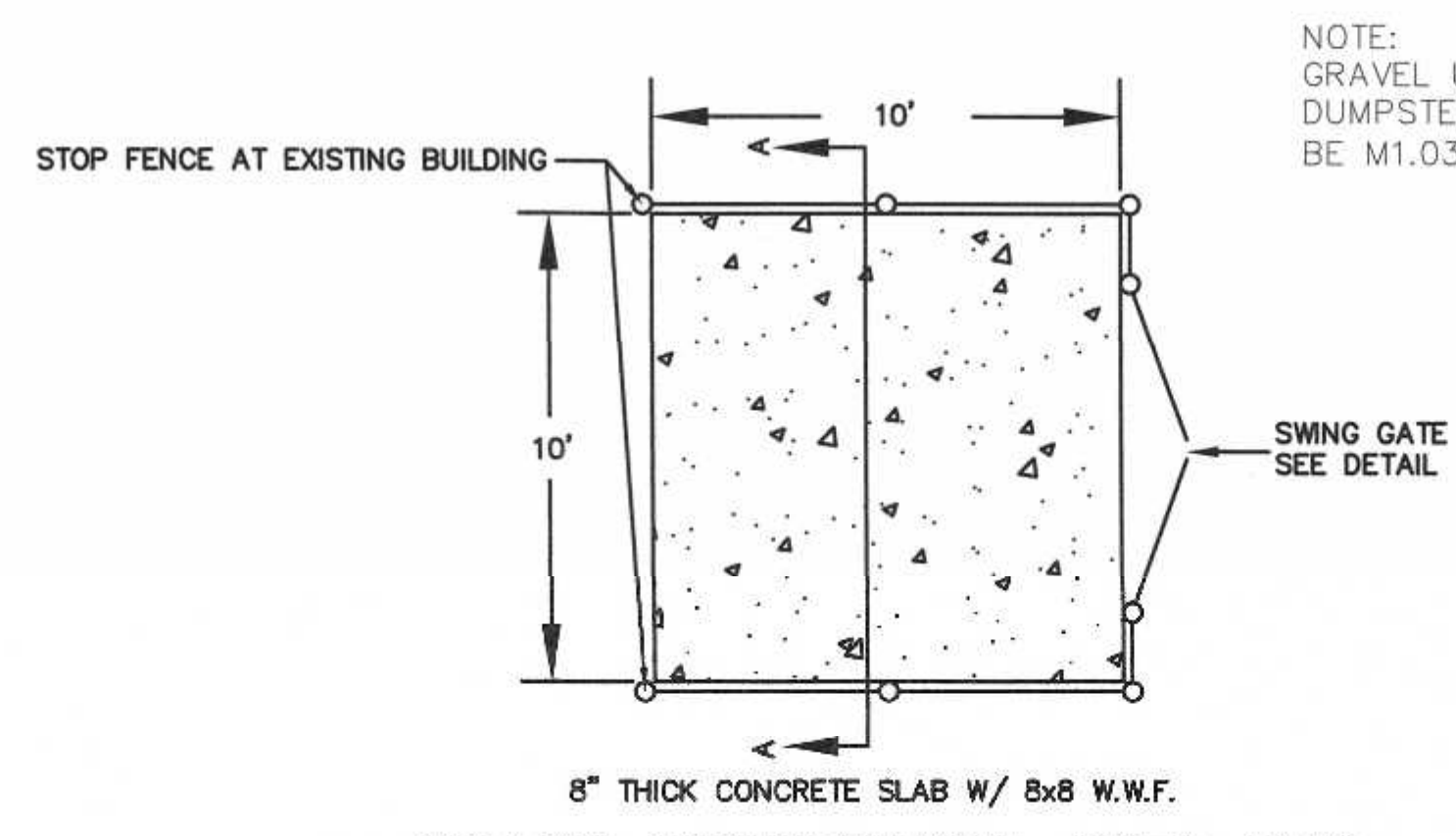
PAVEMENT AND REINFORCED VERTICAL CONCRETE CURBING



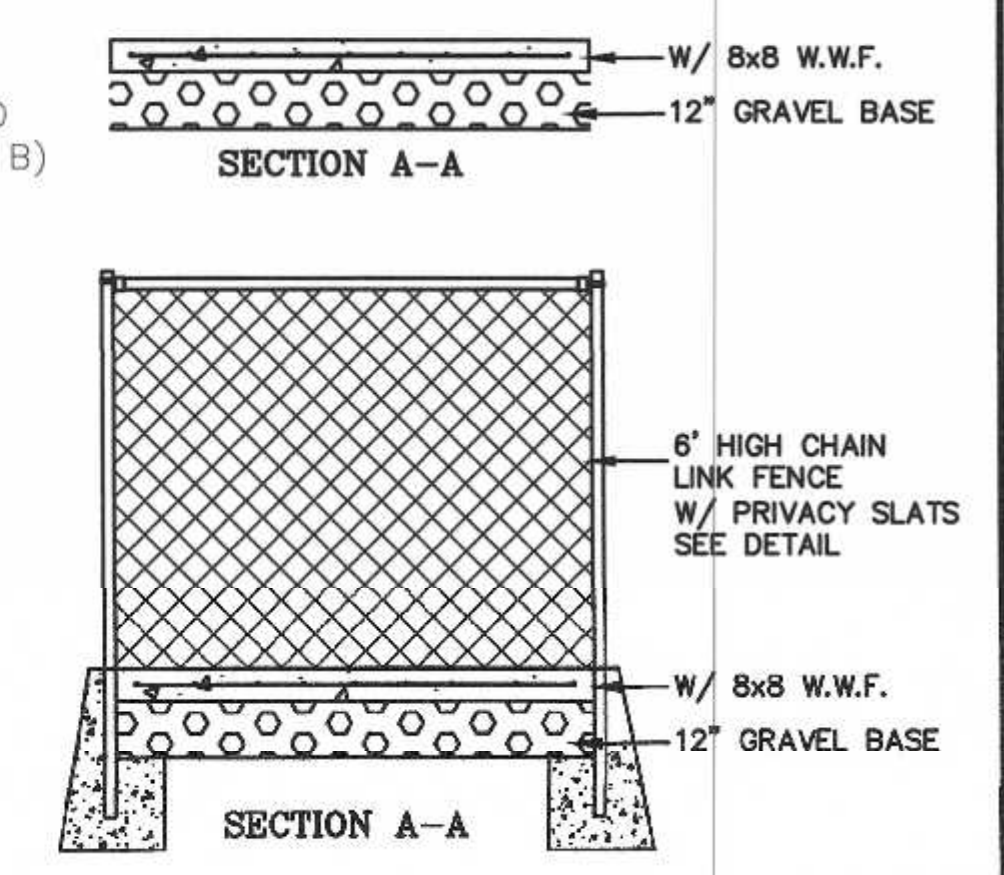
COMPOST SOCK DETAIL



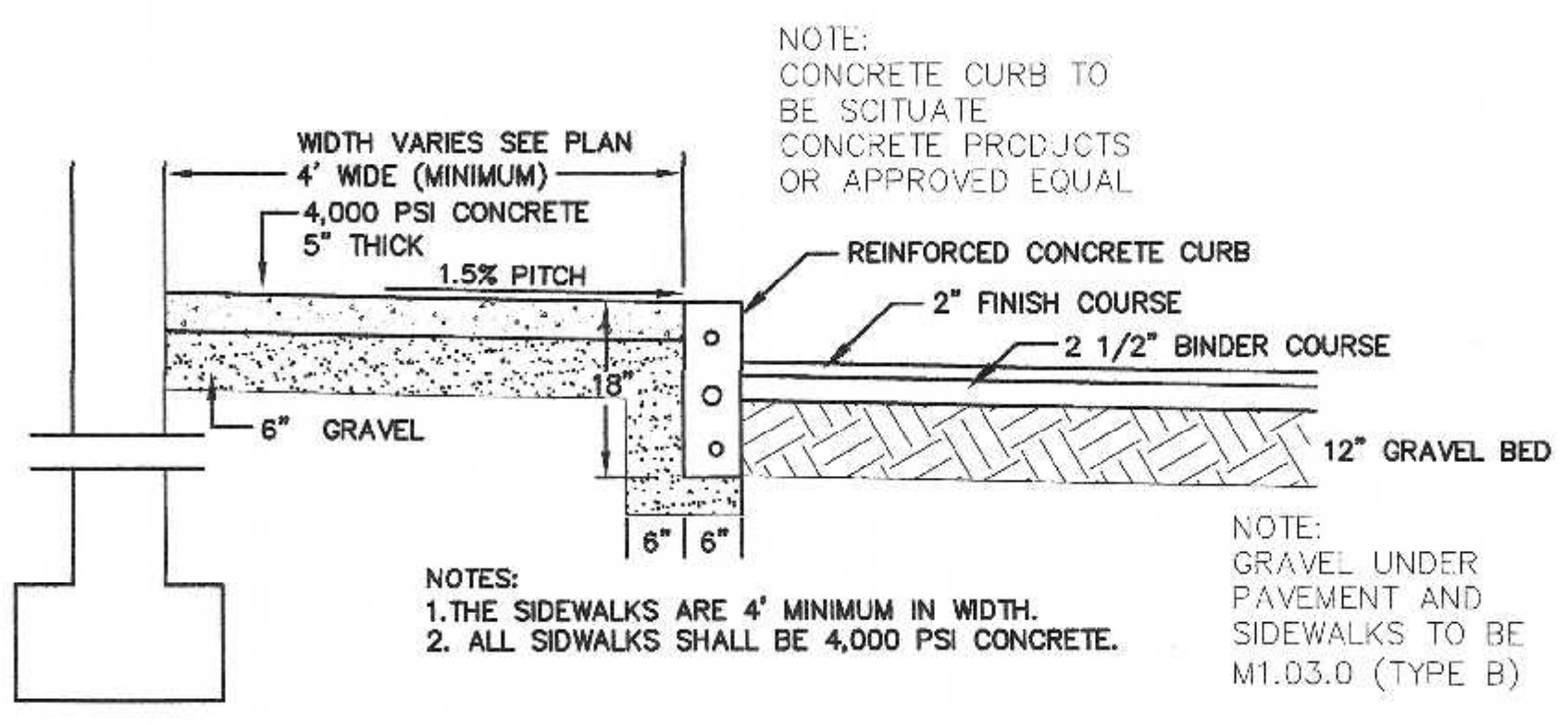
BUMPER CURB DETAIL



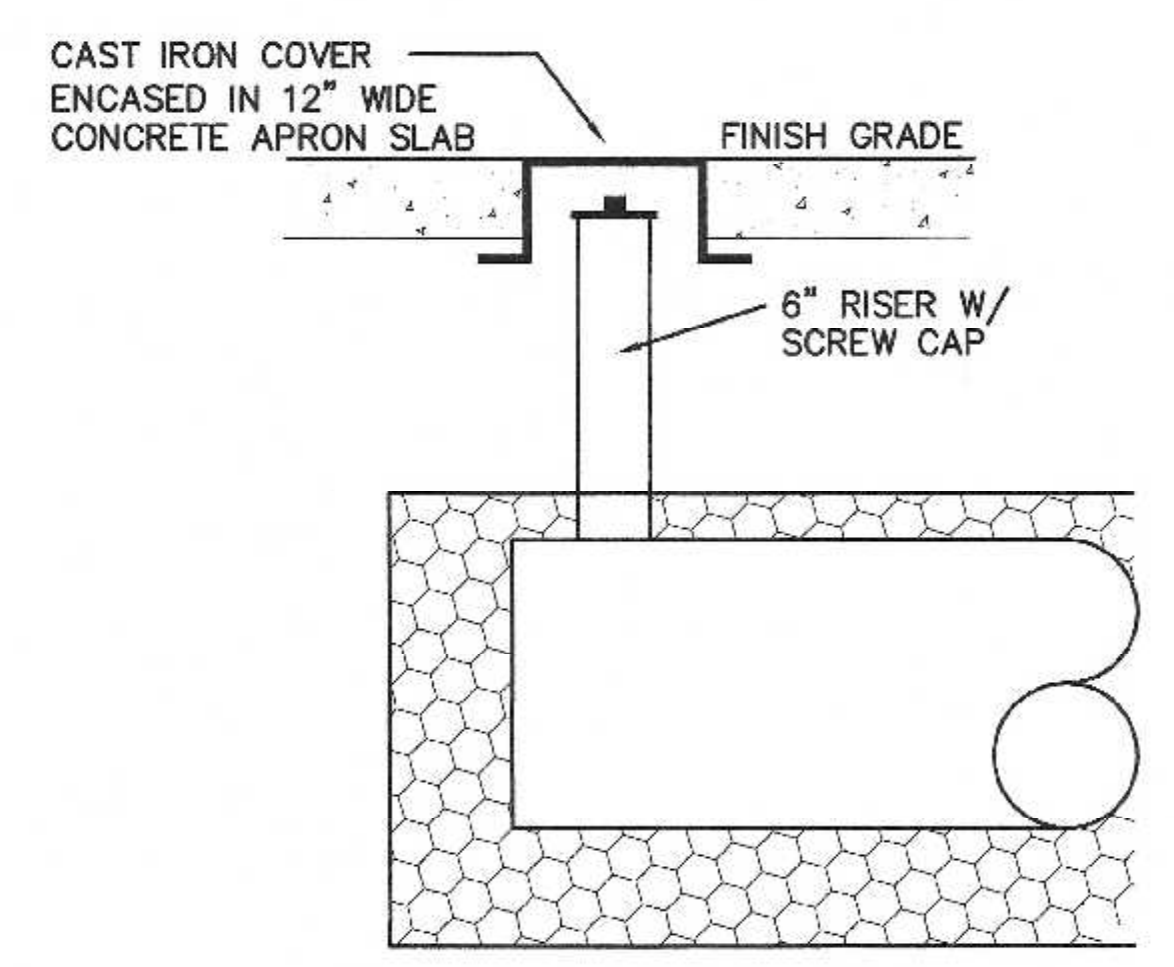
TRASH RECEPTACLE AREA PAD



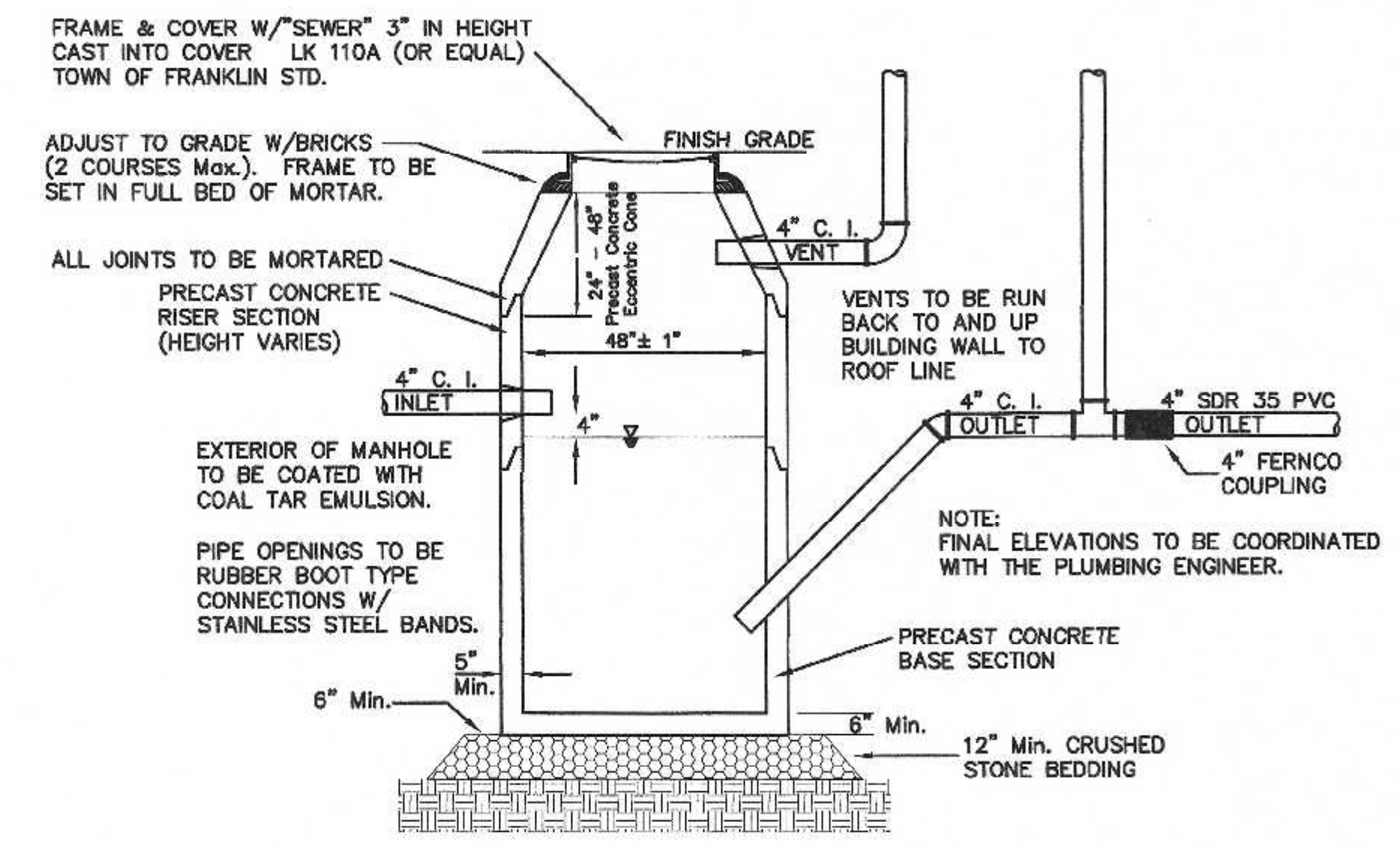
TRASH RECEPTACLE AREA FENCE



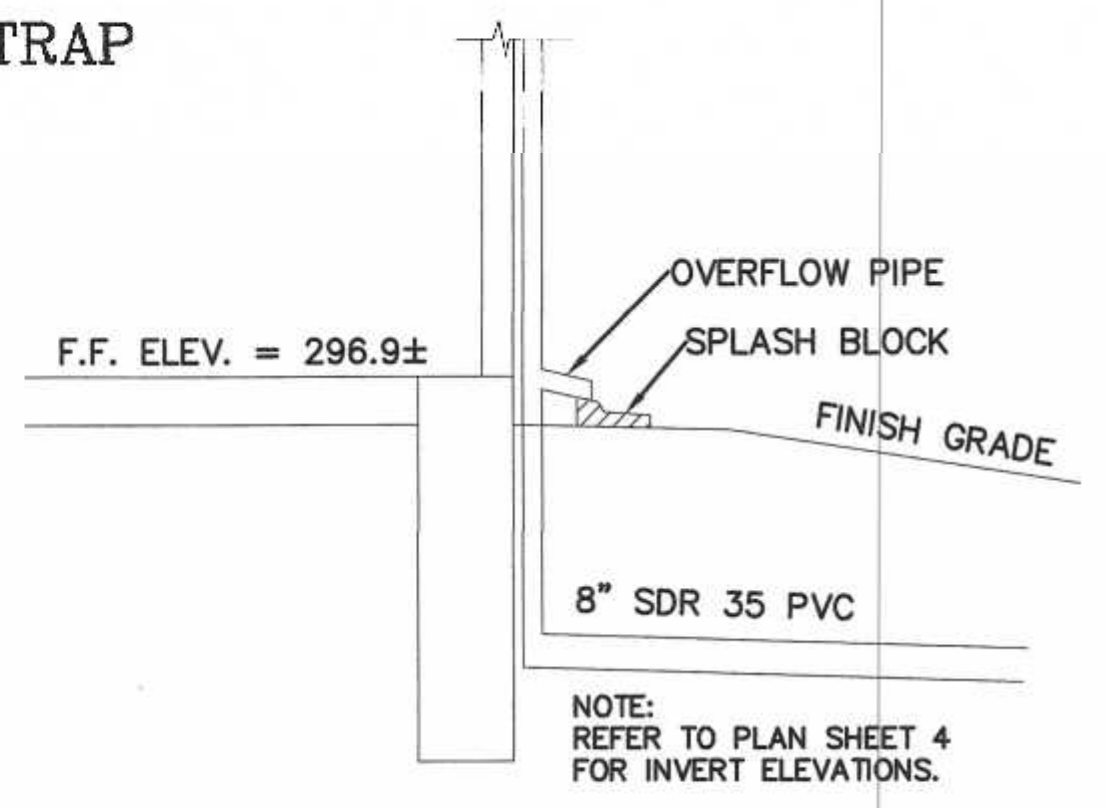
SIDEWALK DETAIL w/ REINFORCED CONCRETE CURB N.T.S.



INSPECTION PORT DETAIL DRAINAGE INFILTRATION AREAS N.T.S.



M.D.C. STYLE TRAP



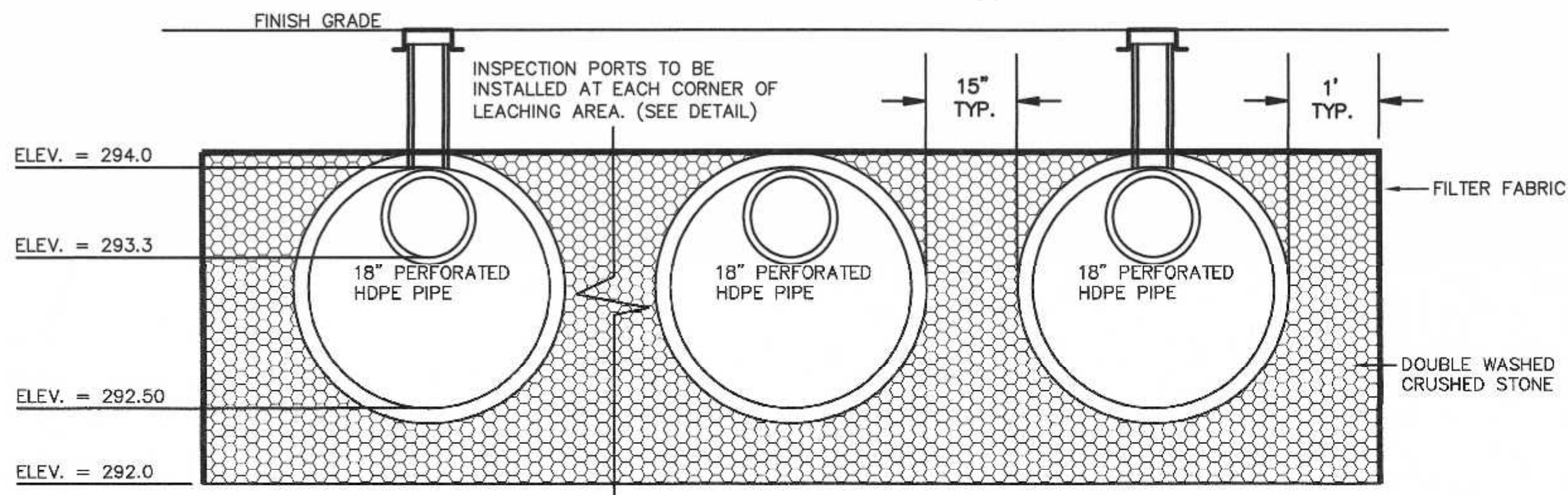
ROOF LEADER DETAIL

Fill material for systems constructed in fill shall consist of select on-site or imported soil material. The fill shall be comprised of clean granular sand, free from organic matter and deleterious substances. Mixtures and layers of different classes of soil shall not be used. The fill shall not contain any material larger than two inches. A sieve analysis, using a #4 sieve, shall be performed on a representative sample of the fill. Up to 45% by weight of the fill sample may be retained on the #4 sieve. Sieve analyses also shall be performed on the fraction of the fill sample passing the #4 sieve, such analyses must demonstrate that the material meets each of the following specifications:

SIEVE SIZE	EFFECTIVE PARTICLE SIZE	% THAT MUST PASS SIEVE
# 4	4.75 mm	100%
# 50	0.50 mm	10% - 100%
#100	0.15 mm	0% - 20%
#200	0.075 mm	0% - 5%

If required by the local approving authority, a minimum of one representative sample may be taken from the in-place fill for a system serving a single family residence and tested for compliance with the grain size distribution specification. Where fill is required to replace unsuitable or impermeable soils, the excavation of the unsuitable material shall extend a minimum of five feet laterally in all directions beyond the outer perimeter of the soil absorption system to the depth of naturally occurring pervious material as required by 310 CMR 15.240 (soil absorption systems) and replaced with fill material meeting the specifications of 310 CMR 15.255(3). Prior to placement of the fill, the bottom surface of the excavation shall be scarified and relatively dry. Fill shall not be placed during rain or snow storms. If the water table elevation is above the elevation of the bottom of the excavation, the excavation shall be dewatered as necessary.

- NOTES:
- CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.
 - THE SIDEWALKS ARE 4' MINIMUM IN WIDTH.
 - ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.
 - GRAVEL UNDER SIDEWALK TO BE M1.03.0 (TYPE B)

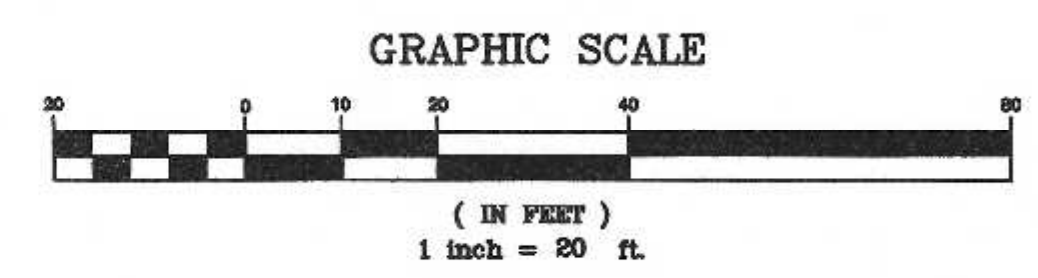


DRAINAGE SYSTEM PROFILE

NOTE: INFILTRATION POND CONSISTS OF 7 ROWS OF 18" DIAMETER PERFORATED HDPE PIPE 65' IN LENGTH. STONE ENVELOPE - 21.75' x 67'

REQUIRED FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY
1	9/25/23	REVIEW COMMENTS	RRG

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 WRENTHAM, MASSACHUSETTS 02093
 508-384-6660 FAX 508-384-6668

DATE	JULY 27, 2023
SCALE	1" = 20'
PROJECT	UC1596
SHEET	6 of 7

SITE PLAN
 CONSTRUCTION DETAILS - 1
 122 & 138 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 138 EAST CENTRAL STREET, LLC
 37 AND 138 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
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