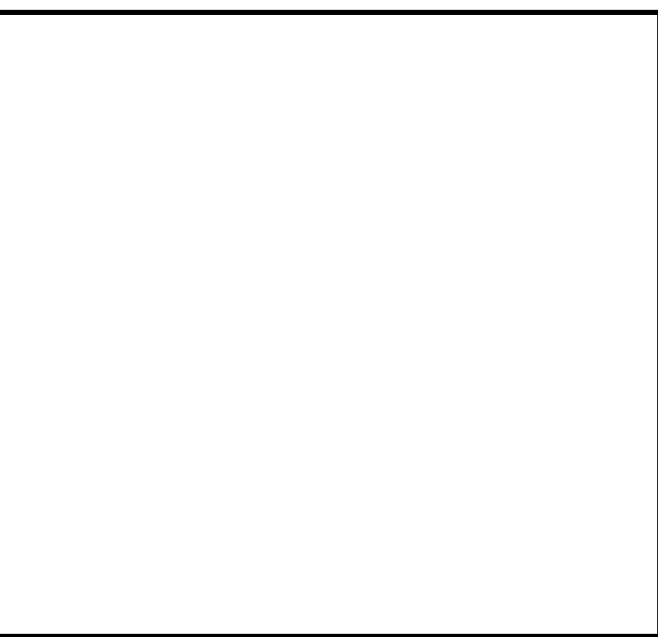
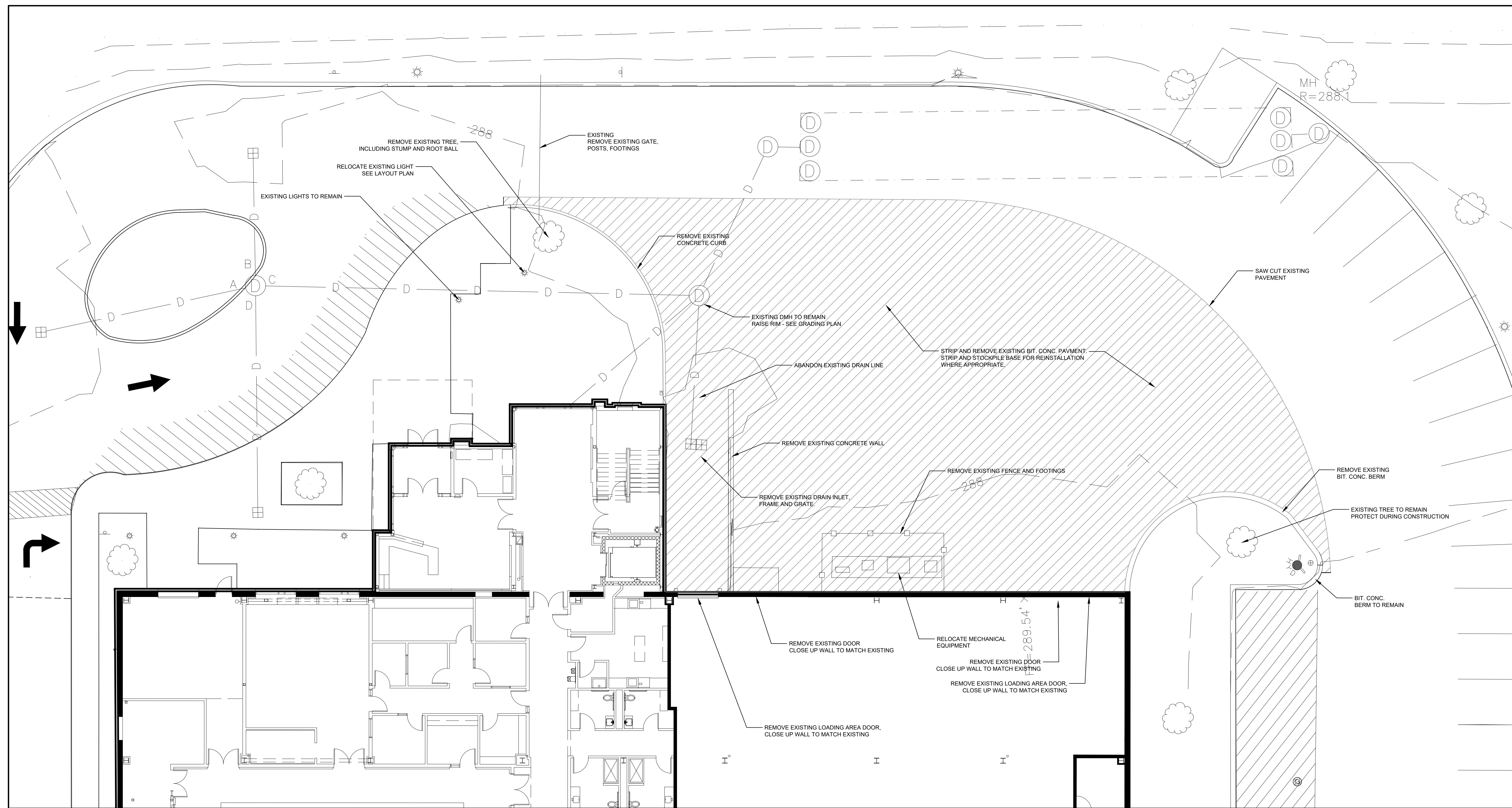


**Leonard  
Design  
Associates**

Site Planning/  
Landscape Architecture

7 Court Street Place  
Arlington, MA 02476  
t: (781) 641-0750  
e: leonarddesign@rcn.com



No.	Date	Description
0	8/25/2023	Design Development

No.	Date	Description

**PLAYGROUND  
FACILITY  
AMEGO SCHOOL**

**AMEGO, INC.**  
33 Perry Avenue  
Attleboro, MA 02703

**EXISTING CONDITIONS  
AND SITE PREPARATION  
PLAN**

JOB NUMBER: 2311	DRAWN: ADL	DATE: 08/25/2023
FILE:	CHECKED: ADL	SCALE: 1" = 10'-0"

**L.1**

EXISTING CONDITIONS ARE TAKEN FROM A SURVEY PREPARED BY GUERRIERE & HANLON, MILFORD, MA, TITLED 'PLAN OF LAND AT FRUIT STREET ATHLETIC FIELDS, 66 FRUIT STREET, HOPKINTON, MA', DATED 10/22/2022.

**EXISTING CONDITIONS AND SITE PREPARATION NOTES**

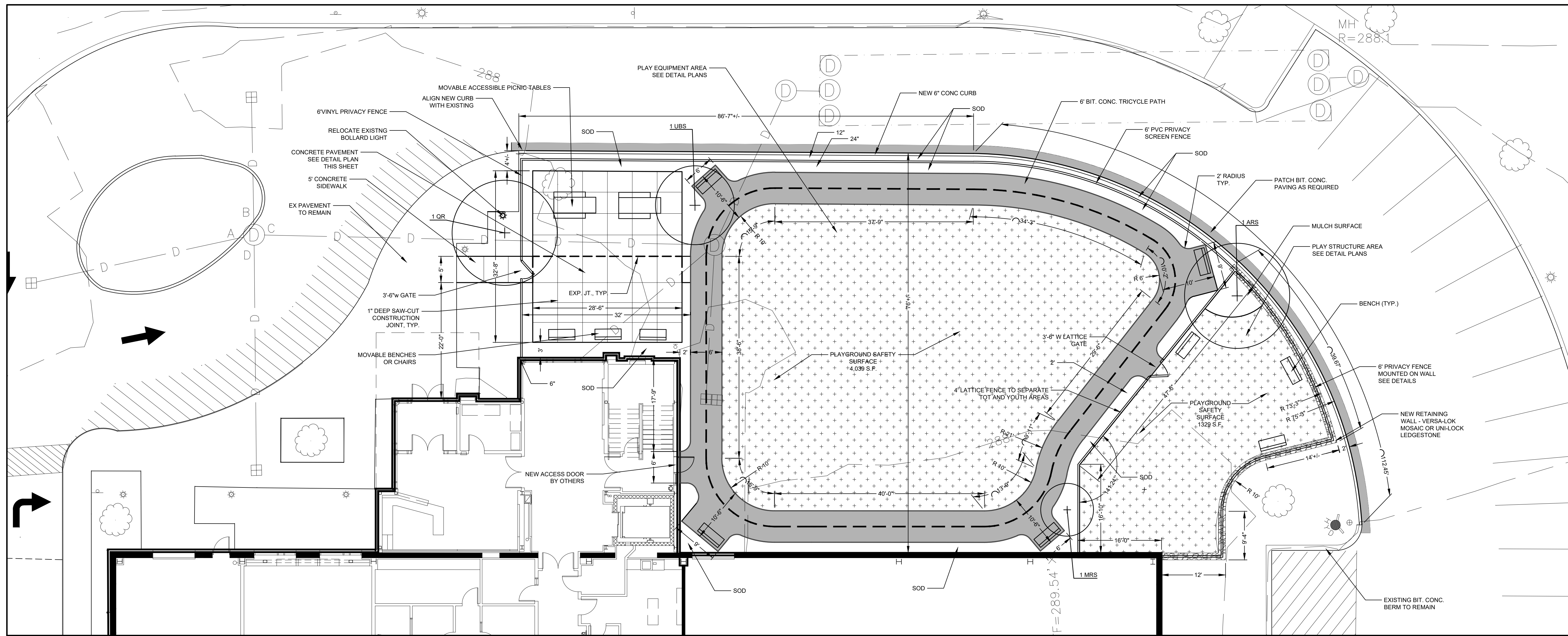
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AS THEY MAY AFFECT THE WORK.
- REVIEW EXTENT OF DEMOLITION AND REMOVAL WITH LANDSCAPE ARCHITECT BEFORE COMMENCING SITE OPERATIONS.
- REPORT DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR RESOLUTION. DO NOT PROCEED WITH SITE REPARATION IN AREAS OF DISCREPANCY UNTIL WRITTEN RESOLUTION IS OBTAINED.
- DO NOT SCALE DRAWINGS. IF DIMENSION OR EXTENT OF WORK IS UNCLEAR, OBTAIN CLARIFICATION FROM LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
- CONSULT EXISTING DRAWINGS AND RECORDS FOR LOCATION AND EXTENT OF SITE UTILITIES. EXERCISE CARE TO PROTECT EXISTING UTILITIES TO REMAIN.
- STAKE OR FLAG LIMITS OF CLEARING AND OBTAIN APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO BEGINNING CLEARING OPERATIONS.
- INSTALL EROSION CONTROL AND TREE PROTECTION FENCE IMMEDIATELY AFTER COMPLETION OF CLEARING AND BEFORE COMMENCING OTHER SITE OPERATIONS.
- PROTECT ALL AREAS AND ELEMENTS SCHEDULED TO REMAIN FROM DAMAGE FROM CONSTRUCTION OPERATIONS. RESTORE ANY AREAS DAMAGED BY CONSTRUCTION OPERATION TO PREVIOUSLY EXISTING CONDITION AT NO ADDITIONAL COST TO TOWN.
- SWEEP ROADWAY AS NEEDED TO REMOVE SEDIMENTATION PERIODICALLY DURING CONSTRUCTION.
- AFTER CERTIFICATION OF FINAL COMPLETION, REMOVE ALL NON-BIODEGRADABLE MATERIALS, CONSTRUCTION EQUIPMENT AND MATERIALS FROM SITE. REMOVE STAKES FROM SILT SOCK. SILT SOCK MAY REMAIN TO DECOMPOSE. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS.

**PROGRESS PRINT  
NOT FOR CONSTRUCTION**

# Leonard Design Associates

Site Planning/  
Landscape Architecture

7 Court Street Place  
Arlington, MA 02476  
t: (781) 641-0750  
e: leonarddesign@ren.com



0	8/25/2023	Design Development
No.	Date	Description

## PLAYGROUND FACILITY AMEGO SCHOOL

AMEGO, INC.  
33 Perry Avenue  
Attleboro, MA 02703

## LAYOUT PLAN

JOB NUMBER:	DRAWN:	DATE:
2311	ADL	08/25/2023
FILE:	CHECKED:	SCALE:
	ADL	1" = 10'-0"

# L.2

### GENERAL LAYOUT NOTES

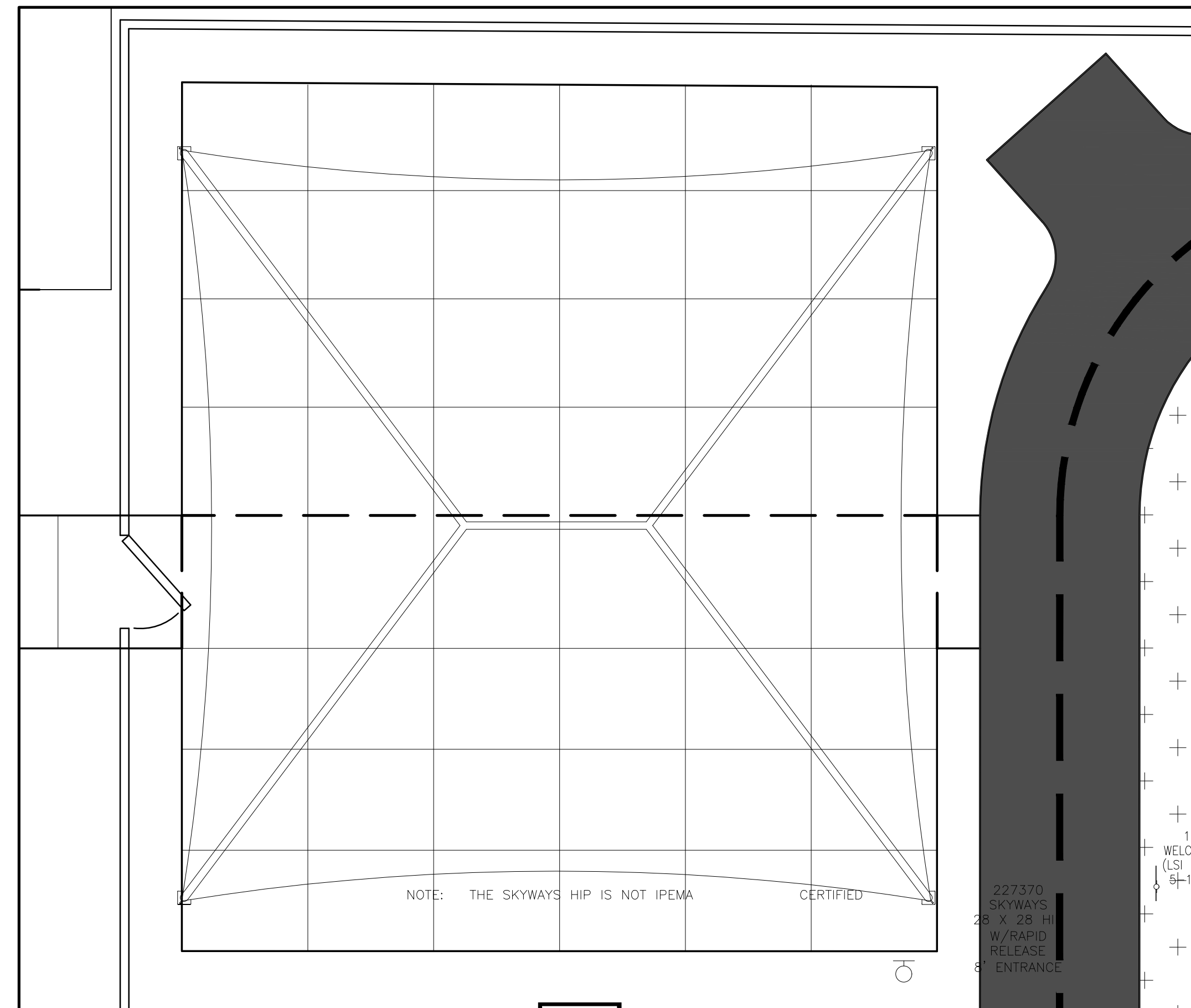
- LAYOUT ALL SITE ELEMENTS IN THE FIELD. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.
- DO NOT SCALE DRAWINGS. IF EXTENT OF WORK IS UNCLEAR, OBTAIN CLARIFICATION FROM LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- REPORT ANY UNSATISFACTORY CONDITIONS IMMEDIATELY TO THE OWNER OR LANDSCAPE ARCHITECT FOR RESOLUTION. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR UNSATISFACTORY CONDITIONS REPORTED AFTER THE FACT OR AFTER COMPLETION OF CONSTRUCTION.
- ALL AREAS INDICATED TO REMAIN THAT ARE DISTURBED BY CONSTRUCTION TO BE REPAIRED OR RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO OWNER.

### GENERAL PLANTING NOTES:

- ALL PLANT MATERIALS SHALL BE FINEST QUALITY STOCK GROWN IN THE NORTHEAST.
- ALL PLANT MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- PROVIDE TWO YEAR WARRANTY ON ALL PLANT MATERIALS.
- ALL PLANTS NOT OTHERWISE DESIGNATED ARE TO BE DELIVERED B&B (BALLED AND BURLAPPED). NO BARE ROOT OR FIELD CLUMP MATERIAL IS ALLOWED (EXCEPT BULBS AND DAYLILIES, WHERE SPECIFIED).
- LAYOUT PLANT MATERIAL IN APPROXIMATE LOCATIONS AND OBTAIN APPROVAL OF LANDSCAPE ARCHITECT BEFORE PLANTING.
- REPORT ANY UNSATISFACTORY CONDITIONS FOR PLANTING IMMEDIATELY TO THE OWNER FOR RESOLUTION. CONTRACTOR SHALL RECEIVE NO ADDITIONAL COMPENSATION FOR UNSATISFACTORY CONDITIONS REPORTED AFTER THE FACT OR AFTER COMPLETION OF PLANTING.
- ALL AREAS DISTURBED BY CONSTRUCTION AND PLANTING OPERATIONS TO BE REPAIRED OR RESTORED TO PREVIOUSLY EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING SOIL MIXTURE: 3 PARTS TOPSOIL TO 1 PART ORGANIC COMPOST, AS SPECIFIED.
- ALL LAWN AREAS TO RECEIVE 4" OF TOPSOIL, PLANT AND PLANTING BEDS 12" OF PLANTING MIX.
- LOOSEN AND/OR DE-COMPACT SUBGRADE TO A DEPTH OF 6" PRIOR TO SPREADING TOPSOIL.
- IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, LANDSCAPE ARCHITECT SHALL DECIDE WHICH QUANTITY SHALL GOVERN, AT NO ADDITIONAL COST TO THE OWNER.
- EXTEND EXISTING IRRIGATION SYSTEM TO COVER NEW SODDED AND PLANTING AREAS.

PLANT LIST					
ITEM	QNTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
TREES					
ARS	1	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	3.5" CAL.	
MRS	1	MALUS 'RASPBERRY SPEAR'	UPRIGHT RED FLOWERING CRABAPPLE	2.5" CAL.	
QR	1	QUERCUS RUBRA	NORTHERN RED OAK	3.5" CAL.	
UBS	1	ULMUS 'BAILEY'S SELECT'	BAILEY'S SELECT HYBRID ELM	3.5" CAL.	

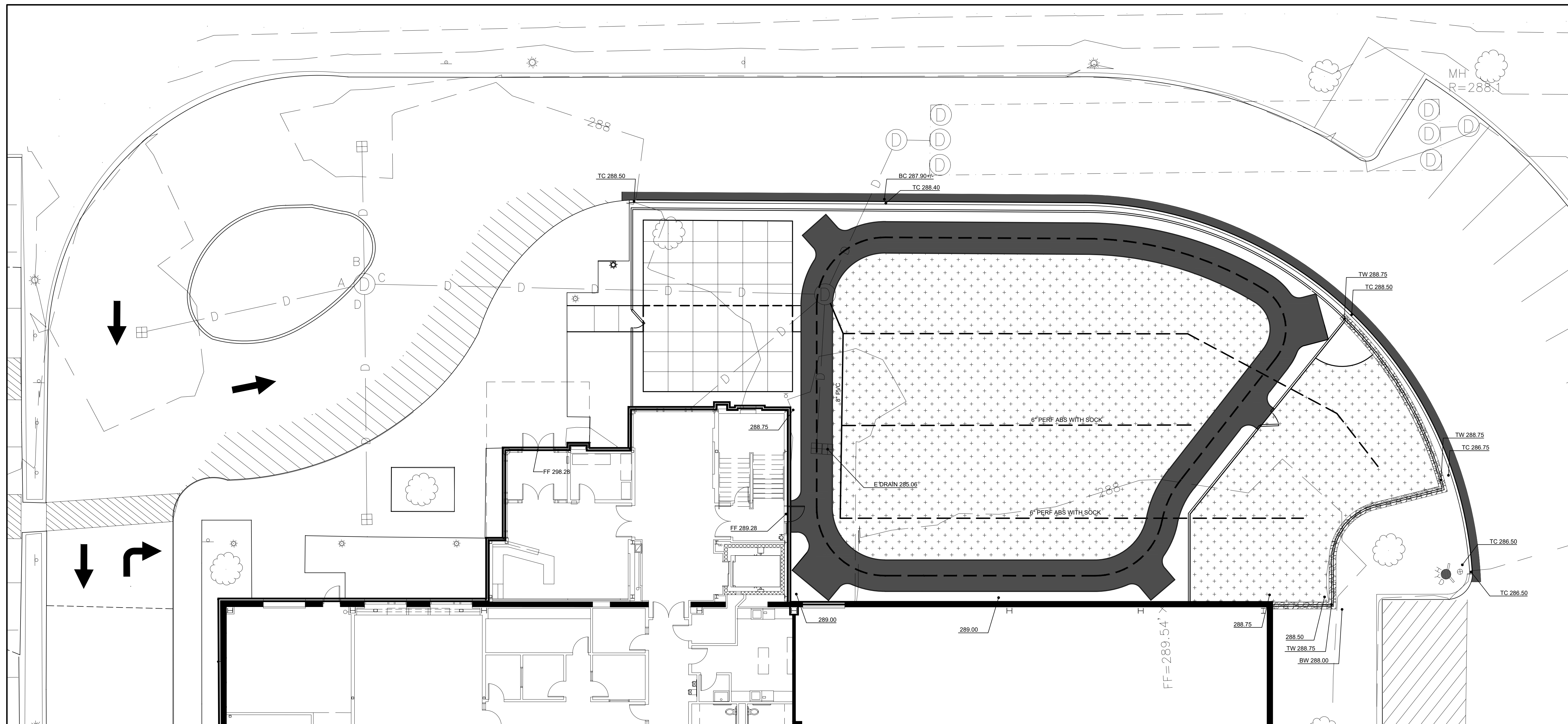
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NOT FOR CONSTRUCTION



**Leonard  
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GRADING & DRAINAGE NOTES

1. PROVIDE POSITIVE DRAINAGE ON ALL SURFACES. VERIFY WITH LANDSCAPE ARCHITECT ANY SURFACE WITH A SLOPE OF LESS THAN 2%.
2. PROVIDE ROUNDINGS AT ALL CHANGES IN GRADE OR SLOPE. NO ABRUPT TRANSITIONS UNLESS SPECIFICALLY DETAILED OR NOTED.
3. REPORT ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR RESOLUTION. DO NOT PROCEED WITH CONSTRUCTION IN AREAS OF DISCREPANCY UNTIL WRITTEN RESOLUTION OBTAINED.
4. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE REPAIRED IN ACCORDANCE WITH SPECIFICATIONS AT NO ADDITIONAL COST TO OWNER.

**PLAYGROUND  
FACILITY  
AMEGO SCHOOL**

**AMEGO, INC.**  
33 Perry Avenue  
Attleboro, MA 02703

**GRADING AND  
DRAINAGE PLAN**

JOB NUMBER: 2311	DRAWN: ADL	DATE: 08/25/2023
FILE:	CHECKED: ADL	SCALE: 1" = 10'-0"

**L.3**

**PROGRESS PRINT  
NOT FOR CONSTRUCTION**

**Leonard Design Associates**

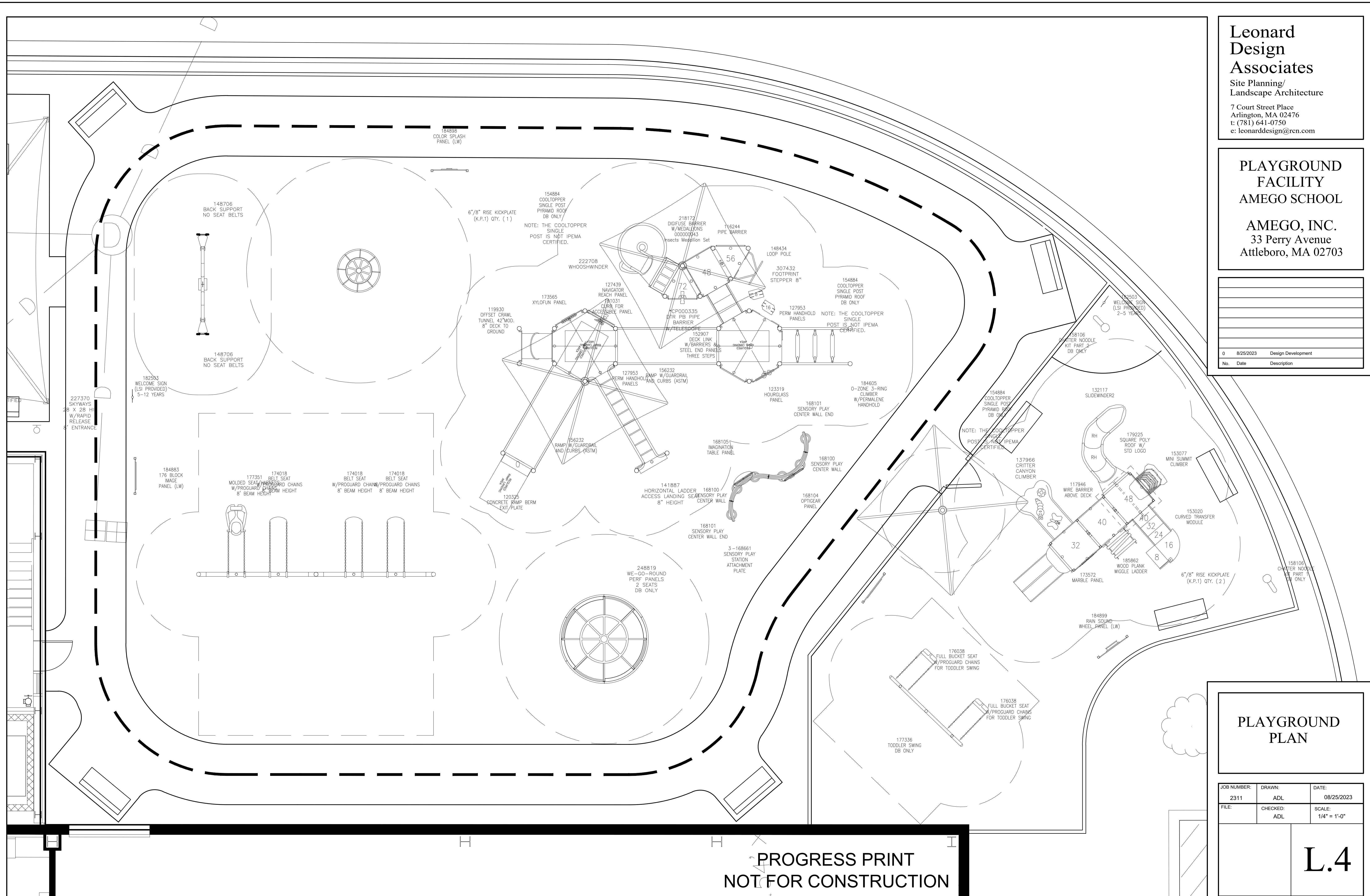
Site Planning/  
Landscape Architecture

7 Court Street Place  
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**PLAYGROUND FACILITY  
AMEGO SCHOOL**

**AMEGO, INC.**  
33 Perry Avenue  
Attleboro, MA 02703

No.	Date	Description
0	8/25/2023	Design Development



**PROGRESS PRINT  
NOT FOR CONSTRUCTION**

**PLAYGROUND PLAN**

JOB NUMBER: 2311	DRAWN: ADL	DATE: 08/25/2023
FILE:	CHECKED: ADL	SCALE: 1/4" = 1'-0"

**L.4**

# Leonard Design Associates

Site Planning/  
Landscape Architecture

7 Court Street Place  
Arlington, MA 02476  
t: (781) 641-0750  
e: leonarddesign@ren.com

## FENCES AND GATES

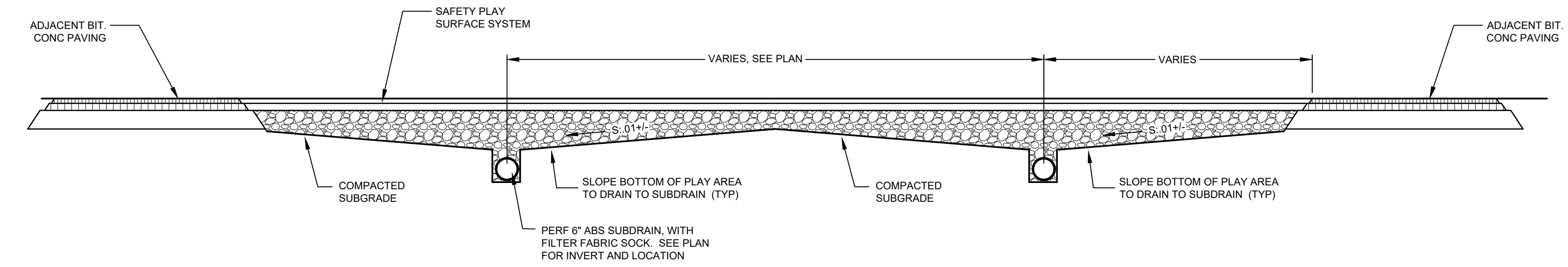
- PROVIDE FENCING AS SHOWN AND SPECIFIED. THE WORK INCLUDES:
  - 4" VINYL LATTICE SCREEN FENCING.
  - 6" VINYL PRIVACY FENCE.
- PROVIDE FENCES AS COMPLETE UNITS PRODUCED BY A SINGLE MANUFACTURER, INCLUDING NECESSARY ERECTION ACCESSORIES, FITTINGS, AND FASTENINGS.
- SUBMIT MANUFACTURER'S PRODUCT DATA AND SPECIFICATIONS FOR SHOP FABRICATED FENCING. INCLUDE HARDWARE SCHEDULE AND CATALOG CUTS FOR GATE HARDWARE.
- SUBMIT SHOP DRAWINGS. INDICATED SHOP FABRICATION AND ERECTION DETAILS FOR FACTORY FABRICATED FENCING, INCLUDING: LAYOUT AND DETAILS OF HEIGHT, POST LOCATIONS, PANEL SIZES, AND ANCHORAGE.
- COORDINATE INSTALLATION OF FENCING WITH OTHER TRADES. INSTALL FOOTINGS IN PROPER SEQUENCE WITH PAVEMENT INSTALLATION.
- WOOD FENCING: NORTHERN WHITE CEDAR, SELECT GRADE
  - FASTENERS: HOT DIP GALVANIZED STEEL, ALUMINUM, OR STAINLESS STEEL. PROVIDE NAILS, SCREWS, AND BOLTS OF SIZE AND TYPE INDICATED.
  - PLATES, STRAPS, AND ANGLES: ASTM A36 STEEL, SHOP PRIMED WITH RUST INHIBITIVE PRIMER/HOT DIP GALVANIZED FINISH.
- GATE HARDWARE: HEAVY EXTERIOR DUTY GATE HARDWARE.
- CONCRETE: ASTM C94 READY MIXED CONCRETE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 40500 PSI, AIR ENTRAINMENT 2% TO 4%.
- DRAINAGE FILL: ASHFTO M43 #6 (3/8" TO 3/4") CLEAN UNIFORMLY GRADED STONE OR GRAVEL.
- SHOP FABRICATE WOOD FENCING. PROVIDE MANUFACTURER'S STANDARD FABRICATION FOR FENCE TYPE AND DESIGN INDICATED.
- CUT AND FIT POSTS TO ACCOMMODATE RAILINGS. SHAPE POST TOPS AS INDICATED.
- ASSEMBLE FENCE PANELS INTO MANUFACTURER'S STANDARD PANEL LENGTHS FOR FENCE HEIGHT INDICATED. PROVIDE PANELS READY FOR FIELD ERECTION.
- GATE: WOOD AND FINISH MATCHING FENCE LATTICE AND FABRIC. PROVIDE MANUFACTURE AND BRACING SUFFICIENT TO PREVENT RACKING AND WARPING.
- GATE HARDWARE: PROVIDE MANUFACTURER'S HEAVY-DUTY HARDWARE, COMPLETE WITH LATCHES, STOPS, KEEPERS, AND HINGES. PROVIDE HARDWARE OF SUFFICIENT DESIGN AND STRENGTH FOR SATISFACTORY GATE OPERATION.
- PERFORM CLEANING DURING INSTALLATION OF WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITE ALL DEBRIS AND EQUIPMENT. REPAIR ALL DAMAGE RESULTING FROM FENCING INSTALLATION.
- UPON COMPLETION OF INSTALLATION, CLEAN SHOP FINISHED METAL FABRICATION ITEMS IN ACCORDANCE WITH MANUFACTURER'S CLEANING INSTRUCTIONS. EXERCISE CARE TO AVOID DAMAGE TO THE FINISH COATING.

## SODDING

- PROVIDE AND SPREAD TOPSOIL, FINE GRADE, INSTALL SODDED LAWNS AND MAINTAIN UNTIL ACCEPTANCE.
- PAY FOR AND PROVIDE TOPSOIL TEST, INCLUDING ORGANIC CONTENT, PH, GRADATION NUTRIENT ANALYSIS, AND RECOMMENDATIONS FOR AMENDMENTS FOR INSTALLATION OF SOD.
- PROVIDE A UNIFORM STAND OF GRASS BY WATERING, MOWING, AND MAINTAINING SEEDED AND SODDED AREAS UNTIL FINAL ACCEPTANCE. RE-SEED OR RESOD AREAS, WITH SPECIFIED MATERIALS, WHICH FAIL TO PROVIDE A UNIFORM STAND OF GRASS UNTIL ALL AFFECTED AREAS ARE ACCEPTED BY THE LANDSCAPE ARCHITECT.
- TOPSOIL: NATURAL, FRABLE, FERTILE SOIL CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY, REASONABLY FREE OF STONES GREATER THAN 1/2" IN SIZE, CLAY LUMPS, ROOTS, AND OTHER FOREIGN MATTER. TOPSOIL SHALL BE LOAMY SAND OR SANDY LOAM AS CLASSIFIED ACCORDING TO THE US SOIL CONSERVATION SERVICE UNIFORM SOILS CLASSIFICATION OR, SITE STOCKPILED TOPSOIL MAY BE USED IF SUITABLE. SCREEN STOCKPILED TOPSOIL OF ALL STONES GREATER THAN 1/2" IN SIZE. PROVIDE IMPORTED TOPSOIL IF NECESSARY TO COMPLETE THE WORK. COST OF IMPORTED TOPSOIL SHALL BE INCLUDED IN THE BASE BID FOR THE PROJECT.
- SOD: AN "APPROVED" NURSERY GROWN BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES. PROVIDE WELL ROOTED, HEALTHY SOD, FREE OF DISEASES, NEMATODES AND SOIL BORNE INSECTS. PROVIDE SOD UNIFORM IN COLOR, LEAF TEXTURE, DENSITY, AND FREE OF WEEDS, UNDESIRABLE GRASSES, STONES, ROOTS, THATCH, AND EXTRANEOUS MATERIAL, VISIBLE AND CAPABLE OF GROWTH AND DEVELOPMENT WHEN PLANTED.
- PROVIDE 4" AVERAGE DEPTH OF TOPSOIL AT LAWN AREAS. FINE GRADE TOPSOIL ELIMINATING ROUGH AND LOW AREAS TO ENSURE POSITIVE DRAINAGE. REMOVE STONES, ROOTS, WEEDS, AND DEBRIS WHILE SPREADING TOPSOIL MATERIALS. RAKE SURFACE CLEAN OF STONES 1/2" OR LARGER IN ANY DIMENSION AND DEBRIS. PROVIDE SURFACES SUITABLE FOR SOIL PREPARATION PROVIDED UNDER LAWN AND PLANTING WORK.
- GRADE LAWN AREAS TO A SMOOTH, FREE DRAINING EVEN SURFACE WITH A LOOSE, MODERATELY COARSE TEXTURE. ROLL AND RAKE. REMOVE RIDGES, AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
- APPLY LIMESTONE AND FERTILIZERS AT RATE DETERMINED BY THE SOIL TEST. DISTRIBUTE EVENLY BY MACHINE AND INCORPORATE THOROUGHLY INTO TOPSOIL. RESTORE PREPARED AREAS TO SPECIFIED CONDITION IF ERODED, SETTLED, OR OTHERWISE DISTURBED AFTER FINE GRADING AND PRIOR TO SEEDING.
- LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAY EDGES. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. REMOVE EXCESS SOD TO AVOID SMOTHERING OF ADJACENT GRASS. PROVIDE SOD PAD TOP FLUSH WITH ADJACENT CURBS, SIDEWALKS, DRAINS, AND SEEDED AREAS. WATER SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER LAYING. ROLL WITH LIGHT LAWN ROLLER TO ENSURE CONTACT WITH SUB. GRADE.
- MAINTAIN SODDED LAWNS FOR A PERIOD OF AT LEAST 60 DAYS AFTER COMPLETION AND ACCEPTANCE. MAINTAIN LAWN AREAS, INCLUDING WATERING, SPOT WEEDING, MOWING, APPLICATIONS OF HERBICIDES, FUNGICIDES, INSECTICIDES, AND RE-SEEDING OR SODDING UNTIL A FULL, UNIFORM STAND OF GRASS FREE OF WEEDS, UNDESIRABLE GRASS SPECIES, DISEASE, AND INSECTS IS ACHIEVED AND ACCEPTED BY THE LANDSCAPE ARCHITECT. WATER DAILY TO MAINTAIN ADEQUATE SURFACE SOIL MOISTURE FOR PROPER SEED GERMINATION. CONTINUE DAILY WATERING FOR NOT LESS THAN 30 DAYS. THEREAFTER APPLY 1/2" OF WATER TWICE WEEKLY UNTIL ACCEPTANCE. REPAIR, REWORK, AND RE-SEED OR SOD ALL AREAS THAT HAVE WASHED OUT, ARE ERODED, OR DO NOT CATCH. MOW LAWN AREAS AS SOON AS LAWN TOP GROWTH REACHES A 3" HEIGHT. CUT BACK TO 2" IN HEIGHT. REPEAT MOWING AS REQUIRED TO MAINTAIN SPECIFIED HEIGHT UNTIL ACCEPTANCE.
- INSPECTION TO DETERMINE ACCEPTANCE OF LAWNS WILL BE MADE BY THE LANDSCAPE ARCHITECT, UPON CONTRACTOR'S REQUEST. PROVIDE NOTIFICATION AT LEAST 10 WORKING DAYS BEFORE REQUESTED INSPECTION DATE. LAWN AREAS WILL BE ACCEPTABLE PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN COMPLIED WITH, AND A HEALTHY, UNIFORM, CLOSE STAND OF THE SPECIFIED GRASS IS ESTABLISHED FREE OF WEEDS, UNDESIRABLE GRASS SPECIES, DISEASE, AND INSECTS. NO INDIVIDUAL LAWN AREAS SHALL HAVE BARE SPOTS OR UNACCEPTABLE COVER TOTALING MORE THAN 2% OF THE INDIVIDUAL AREAS, IN AREAS REQUESTED TO BE INSPECTED.

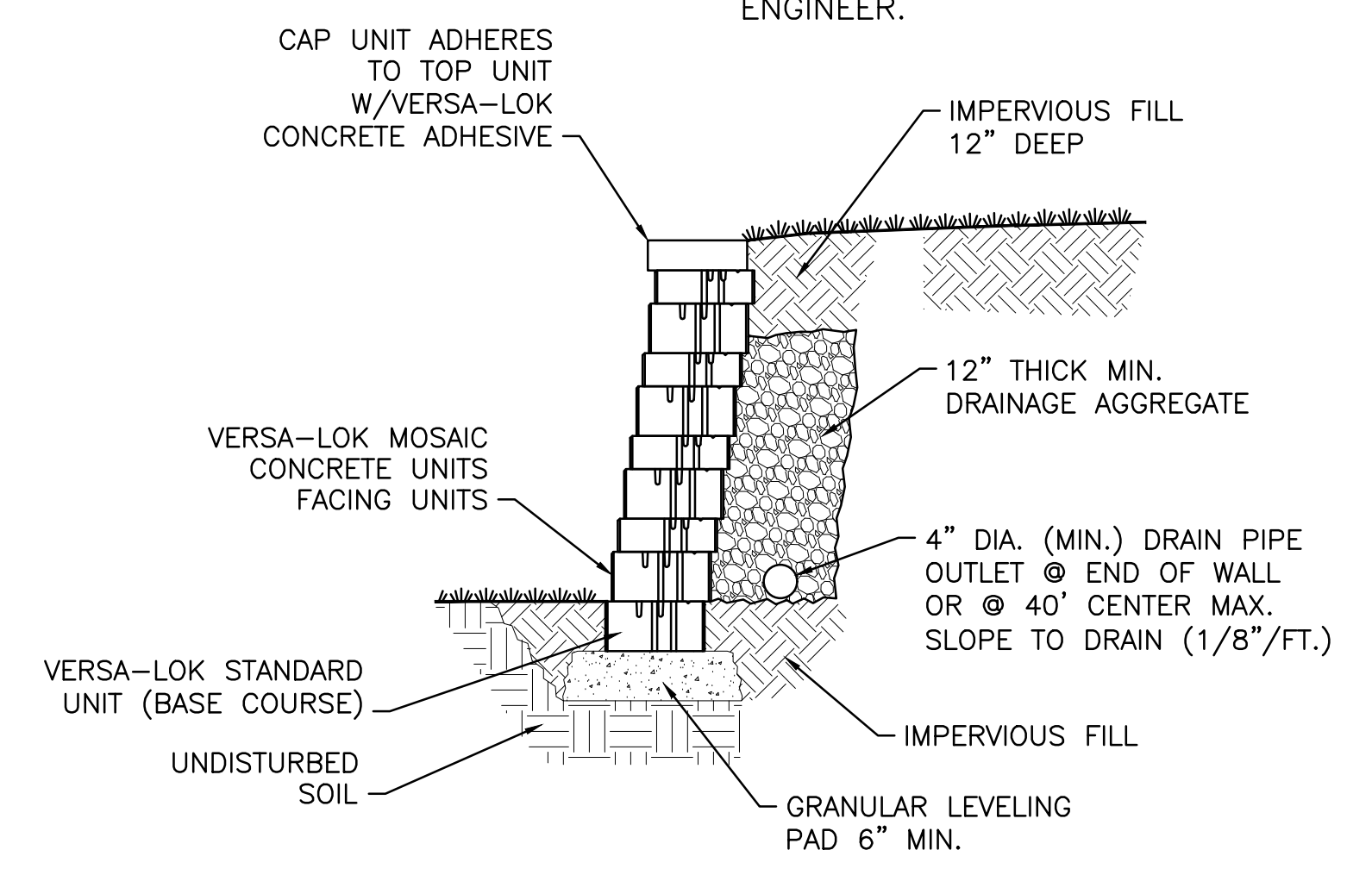
## CONCRETE UNIT MASONRY WALLS

- PROVIDE DRY-LAID CONCRETE UNIT MASONRY RETAINING WALLS, UNIT MASONRY ACCESSORIES AND GRAVEL BASE.
- MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY NATIONAL CONCRETE MASONRY ASSOCIATION, (NCMA), TEK BULLETINS, THE AMERICAN SOCIETY FOR TESTING AND MATERIALS, (ASTM), AND STATE AND LOCAL BUILDING CODES.
- SUBMIT MANUFACTURER'S PRODUCT DATA FOR EACH TYPE OF MASONRY UNIT, COLORED MORTAR, AND ACCESSORY REQUIRED.
- SUBMIT FULLY ENGINEERED SHOP DRAWINGS OF THE PROPOSED RETAINING WALL SYSTEM SPECIFIC TO THIS PROJECT. DRAWING SHALL BE PREPARED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER.
- PRECAST CONCRETE WALL UNITS AND STEPS SHALL BE 4" UNIT WEATHERED VERSA-LOK MOSAIC RETAINING WALL SYSTEM, AS SUPPLIED BY VERSA-LOK® RETAINING WALL SYSTEMS, 6348 HWY. 36 BLVD, SUITE 1 OAKDALE, MN 55128, (651) 770-3166 PHONE, (651) 770-4889 FAX OR APPROVED EQUAL. COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOR RANGES.
- AGGREGATE BASE: AGGREGATE BASE FOR WALLS SHALL BE 1-1/2" CLEAN CRUSHED STONE, M2.01.2 OF THE STANDARD SPECIFICATIONS.
- DRAINAGE FILL: 3/4" CLEAN UNIFORMLY GRADED STONE OR GRAVEL, M2.01.4 OF THE STANDARD SPECIFICATIONS.
- FILTER FABRIC SHALL BE MIRAFI HP 270 MANUFACTURED BY TC MIRAFI, PENDERGRASS, GA, (888) 795-0808, OR APPROVED EQUAL.
- LAYOUT WALLS IN ADVANCE FOR ACCURATE SPACING OF SURFACE BOND PATTERNS, WITH UNIFORM JOINT WIDTHS.
- INSTALL PRECAST CONCRETE UNIT RETAINING WALL SYSTEM IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODES AND STANDARDS.
- CUT MASONRY UNITS WITH MASONRY SAWS TO PROVIDE CLEAN, SHARP, UN-CHIPPED EDGES. CUT UNITS AS REQUIRED TO PROVIDE PATTERN SHOWN AND TO FIT ADJOINING WORK. WHERE CUTTING IS REQUIRED, USE THE LARGEST SIZE UNITS POSSIBLE.
- LAY MASONRY PLUMB AND TRUE. PROVIDE CORNERS AND ANGLES SQUARE, WITH COURSES LEVEL, ACCURATELY SPACED, AND COORDINATED WITH OTHER WORK.

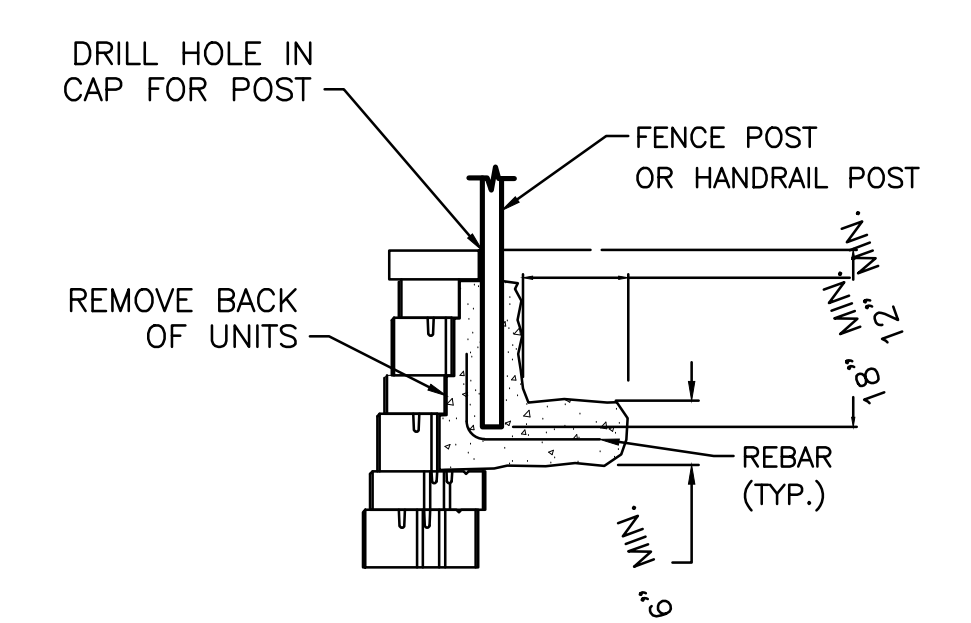


PLAY AREA DRAINAGE  
NOT TO SCALE

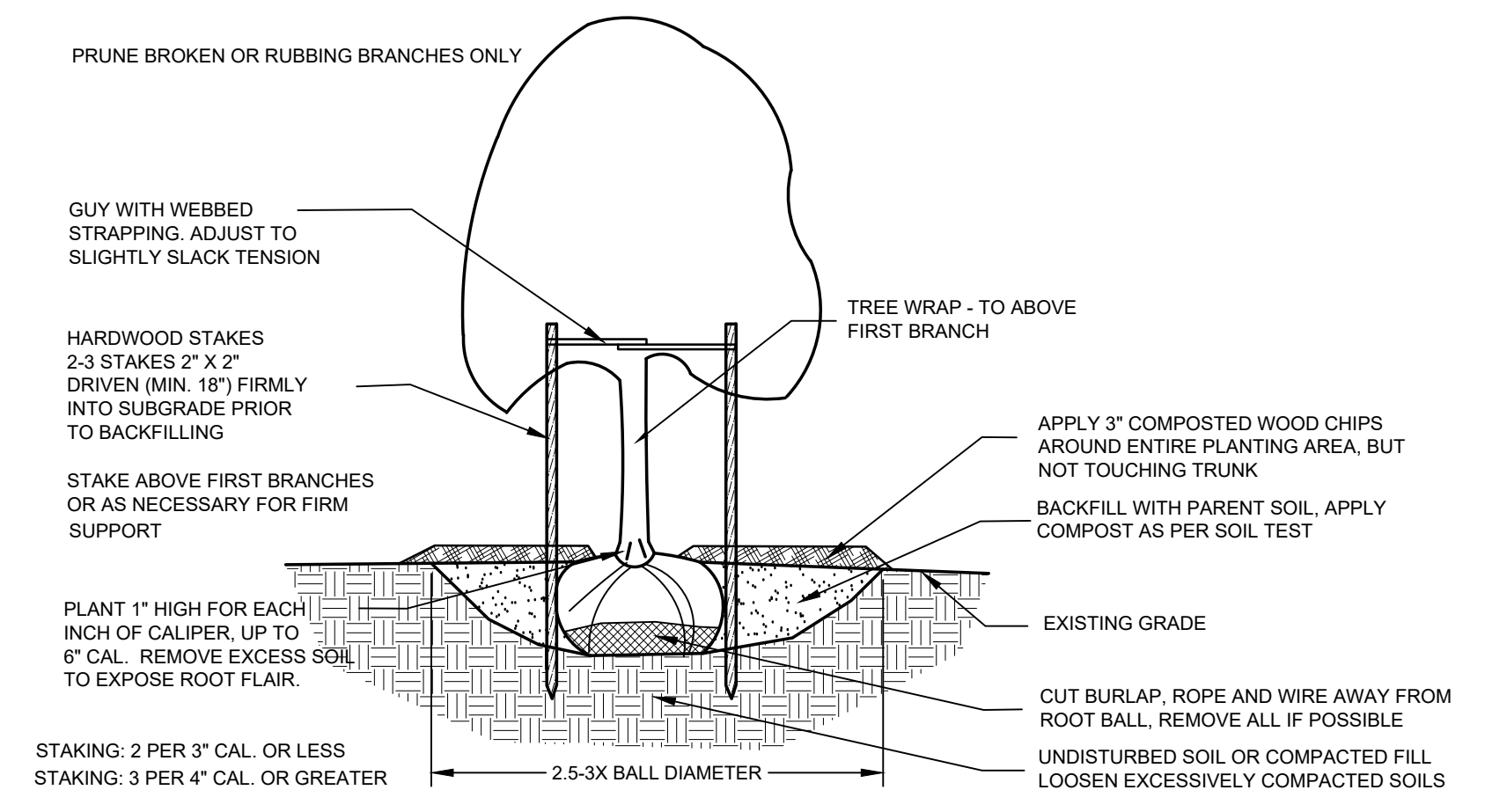
THIS PRELIMINARY DETAIL IS INTENDED AS AN AID BIDDING WALLS WITH VERSA-LOK UNITS. FINAL DETERMINATION OF THE SUITABILITY OF ANY INFORMATION OR MATERIAL FOR THE USE CONTEMPLATED, AND ITS MANNER OF USE, IS THE SOLE RESPONSIBILITY OF THE USER. A FINAL PROJECT SPECIFIC DESIGN SHALL BE PREPARED BY A QUALIFIED, LICENSED, PROFESSIONAL ENGINEER.



TYPICAL SECTION-UNREINFORCED RETAINING WALL  
VERSA-LOK MOSAIC  
SCALE: NONE



POST DETAIL-FENCE IN WALL  
MOSAIC-TYPICAL HANDRAIL AND/OR FENCE POST  
SCALE: NONE



TREE PLANTING - VERTICAL STAKES  
NOT TO SCALE

PROGRESS PRINT  
NOT FOR CONSTRUCTION

No.	Date	Description
0	8/25/2023	Design Development

PLAYGROUND FACILITY  
AMEGO SCHOOL  
  
AMEGO, INC.  
33 Perry Avenue  
Attleboro, MA 02703

## SITE DETAILS

JOB NUMBER:	DRAWN:	DATE:
2311	ADL	08/25/2023
FILE:	CHECKED:	SCALE:
	ADL	AS NOTED

L.1

# Town of Franklin

355 East Central Street  
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907  
www.franklinma.gov

## DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

**DATE:** November 28, 2023  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 122 Grove St – Amego School  
Limited Site Plan Modification

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The DPCD has reviewed the above referenced Limited Site Plan Modification application for the Monday, December 4, 2023 Planning Board meeting and offers the following commentary:

### **General:**

1. The site is located at 122 Grove St located in the Industrial Zoning District (Assessors Map 295 Lot 002).
2. The proposed project includes the construction a children's playground.
3. Review letter has been received from DPW.
4. BETA was not asked to review the plan.

### **Comments:**

1. Applicant should contact the Conservation Agent to determine if there is any disturbance in the buffer area.
2. Provide the amount of impervious area being disturbed or increased.



# TOWN OF FRANKLIN

## DEPARTMENT OF PUBLIC WORKS

Franklin Municipal Building  
257 Fisher Street  
Franklin, MA 02038-3026

November 28, 2023

Mr. Greg Rondeau, Chairman  
Members of the Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

**RE: Site Plan – 122 Grove Street Limited Site Plan Modification**

Dear Mr. Chairman and Members:

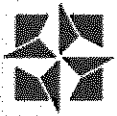
We have reviewed the submitted materials for the subject project and offer the following comments:

1. The plans should note the net decrease in impervious area.
2. Dimensions noting the depth of the 6" subdrains should be noted on the details.

Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

Michael Maglio, P.E.  
Town Engineer



Doherty, Dugan, Cannon,  
Raymond & Weil, P.C.

124 Grove Street, Suite 220  
Franklin, MA 02038  
Tel. (508) 541-3000  
Fax (508) 541-3008  
www.ddcrwlaw.com

Edward V. Cannon, Jr., Esq.  
[evc@ddcrwlaw.com](mailto:evc@ddcrwlaw.com)

November 13, 2023

**HAND DELIVERED**

Planning Board  
Town of Franklin  
355 East Central Street  
Franklin, MA 02038

RE: Grove Street, Franklin, MA  
Application for Limited Site Plan Modifications

Dear Sir/Madam:

On behalf of the applicant, Amego Inc., enclosed for filing please find their application for Limited Site Plan Modification along with the appropriate filing fees. The application includes the following:

- 1) Check to the Town of Franklin for \$500.00 for the filing fee;
- 2) Application Form for Limited Site Plan Approval
- 3) Certificates of Ownership
- 4) Certified abutters lists
- 5) Signed Site Plans
  - a. 2 full-size sets
  - b. 6 11x17 sets

We look forward to presenting and discussing the application before the Board.

Respectfully,



Edward V. Cannon, Jr.

Enclosures

cc: John Randall, Andrew Armington.

F23-154





DOHERTY, DUGAN, CANNON,  
RAYMOND & WEIL, P.C. - OPER. ACCT.  
DATE : NOV/13/2023  
CHE # : 35102  
AMOUNT : \$500.00  
ACCOUNT: GENERAL - 1  
PAID TO: Town of Franklin

*Mms* 35102

Filing Fee for Limited Site Plan Modification

CLIENT: 10388 - AMEGO, Inc.  
MATTER: 10388-032

		35102	
<b>DOHERTY, DUGAN, CANNON, RAYMOND &amp; WEIL, PC - OPERATING ACCOUNT</b> 124 GROVE STREET, SUITE 220 FRANKLIN, MA 02038 (508) 541-3000		ROCKLAND TRUST 53-447/113	
Five Hundred *****		00/100	
		DATE	AMOUNT
		Nov/13/2023	\$500.00
PAY TO THE ORDER OF	Town of Franklin		
			 AUTHORIZED SIGNATURE
Filing Fee for Limited Site Plan Modification			
⑈035102⑈		⑈011304478⑈	
		26602084⑈	

Security features. Details on back.

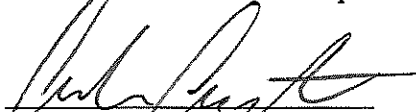
**FORM P**

**APPLICATION FOR APPROVAL OF A LIMITED SITE PLAN**

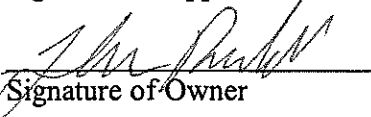
To the Franklin Planning Board:

The undersigned, herewith, submits the accompanying Limited Site Plan entitled "Playground Facility Amego School" for approval under the provisions of the Zoning By-Laws of the Town of Franklin Section §185-31.1.D covering Limited Site Plans.

1. Name of Applicant: Andrew J. Armington, Director of Facilities Amego Inc.  
Address of Applicant: 33 Perry Ave, Attleboro, MA, 02703  
Phone No.: 781-506-3059 Email: AArmington@AmegoInc.org
  
2. Name of Owner (if not the Applicant): John Randall, CEO, Amego Inc.  
Address of Owner: 33 Perry Ave, Attleboro, MA, 02703  
Phone No.: 508-455-6200 Email: AArmington@AmegoInc.org
  
3. Name of Engineer: Andrew Leonard RLA, Leonard Design Associates  
Address of Owner: 7 Court Street Place, Arlington, MA, 02476  
Phone No.: 781-641-0750 Email: LeonardDesign@RCN.com
  
4. Deed of Property recorded with Norfolk Registry of Deeds in Book 38719, Page 167, (or Certificate of Title No. \_\_\_\_\_)
  
5. Location and Description of Property:  
122 Grove Street, Amego School for Children affected by Autism.  
\_\_\_\_\_  
  
Square Footage of Building(s) 64859 SQF  
Assessor's Map 295 Lot 002
  
6. Purpose of Site Plan: Proposed construction of a childrens playground  
\_\_\_\_\_
  
7. List of Waivers Requested (if any): Attach Form R for each waiver

  
\_\_\_\_\_  
Signature of Applicant

Andrew J. Armington  
Print Name of Applicant

  
\_\_\_\_\_  
Signature of Owner

John Randall  
Print Name of Owner

CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Title of Plan: "Playground Facility Amego School"

Date of Plan: 8/25/23 Assessor's Information: \_\_\_\_\_

Prepared by: Andrew Leonard RLA, Leonard Design Associates

Type of Plan: 81-P; Prelim.; Def.; Site ~~X~~ Plan

SECTION B:

Name of Record Owner(s): Amego Inc.

Address of Record Owner(s): 33 Perry Ave, Attleboro, MA, 02703

\*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):  
Please see Attachment "Exhibit A"

\*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation: Please see Attachment "Exhibit A"

\*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation: \_\_\_\_\_  
Date of incorporation: 06-29-1971 Massachusetts

Executed as a sealed instrument this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

  
\_\_\_\_\_  
Signature of Applicant

Andrew J. Armington, Director of Facilities Amego Inc.  
Print name of Applicant

  
\_\_\_\_\_  
Signature of Owner

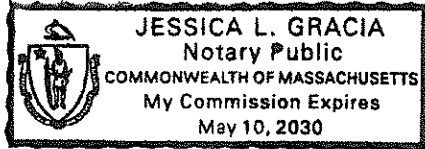
John Randall, CEO, Amego Inc.  
Print name of Owner

\_\_\_\_\_ ss.

20\_\_\_\_

On this 17<sup>th</sup> day of October 2023, before me, the undersigned notary public, personally appeared Andrew Armington (name of Applicant), proved to me through satisfactory evidence of identification, which were Driver Lic. to be the person whose name is signed on the preceding document in my presence.

*Jessica L. Gracia*  
(Official signature and seal of notary)  
Notary Public:  
My Commission Expires: 5/10/30



# Amego

## Exhibit A

<b>PRESIDENT</b>	JOHN RANDALL	87 PILGRIM RD HOLLISTON, MA 01746 USA
<b>TREASURER</b>	MARK HATCH	44 CORTLAND DR. SHARON, MA 02067 USA
<b>CEO</b>	JOHN RANDALL	87 PILGRIM RD HOLLISTON, MA 01746 USA
<b>CFO</b>	KEVIN JOHNSON	165 MADISON AVE. QUINCY, MA 02169 USA
<b>ASSISTANT CLERK</b>	KEVIN JOHNSON	165 MADISON AVE. QUINCY, MA 02169 USA
<b>CHAIRPERSON</b>	PAUL BERGMAN	73 CHEALSEA ST CHARLESTOWN, MA 02219 USA
<b>CLERK</b>	LISA BROWN	221 HIGH ST CANTON, MA 02021 USA
<b>DIRECTOR</b>	CHRISTOPHER TIMSOM	126 TAHARTO RD POCASSET, MA 02559 USA
<b>DIRECTOR</b>	REGINA YANDO	80 DEVONSHIRE STREET WABAN, MA 02468 USA
<b>DIRECTOR</b>	CHRISTINE HUBBARD	68 POND ST NATICK, MA 01760 USA
<b>DIRECTOR</b>	KATHRYN SHORE	176 SOUTH ST HOPKINTON, MA 01748 USA
<b>DIRECTOR</b>	JOEL GOLOSKIE	1 INTERNATIONAL PLACE BOSTON, MA 02110 USA
<b>DIRECTOR</b>	MICHAEL BORR	5 LILAC ST SHARON, MA 02067 USA
<b>DIRECTOR</b>	NICK SAVARESE	33 PERRY AVE ATTLEBORO, MA 02703 USA
<b>DIRECTOR</b>	TRICIA KEEGAN	53 STATE ST BOSTON, MA 02109 USA
<b>DIRECTOR</b>	RUSSELL RAPOSA	98 SHERWOOD LN RAYNHAM, MA 02767 USA
<b>DIRECTOR</b>	MAURA SULLIVAN	217 SOUTH ST WALTHAM, MA 02453 USA



# 122 GROVE ST - 300' ABUTTERS

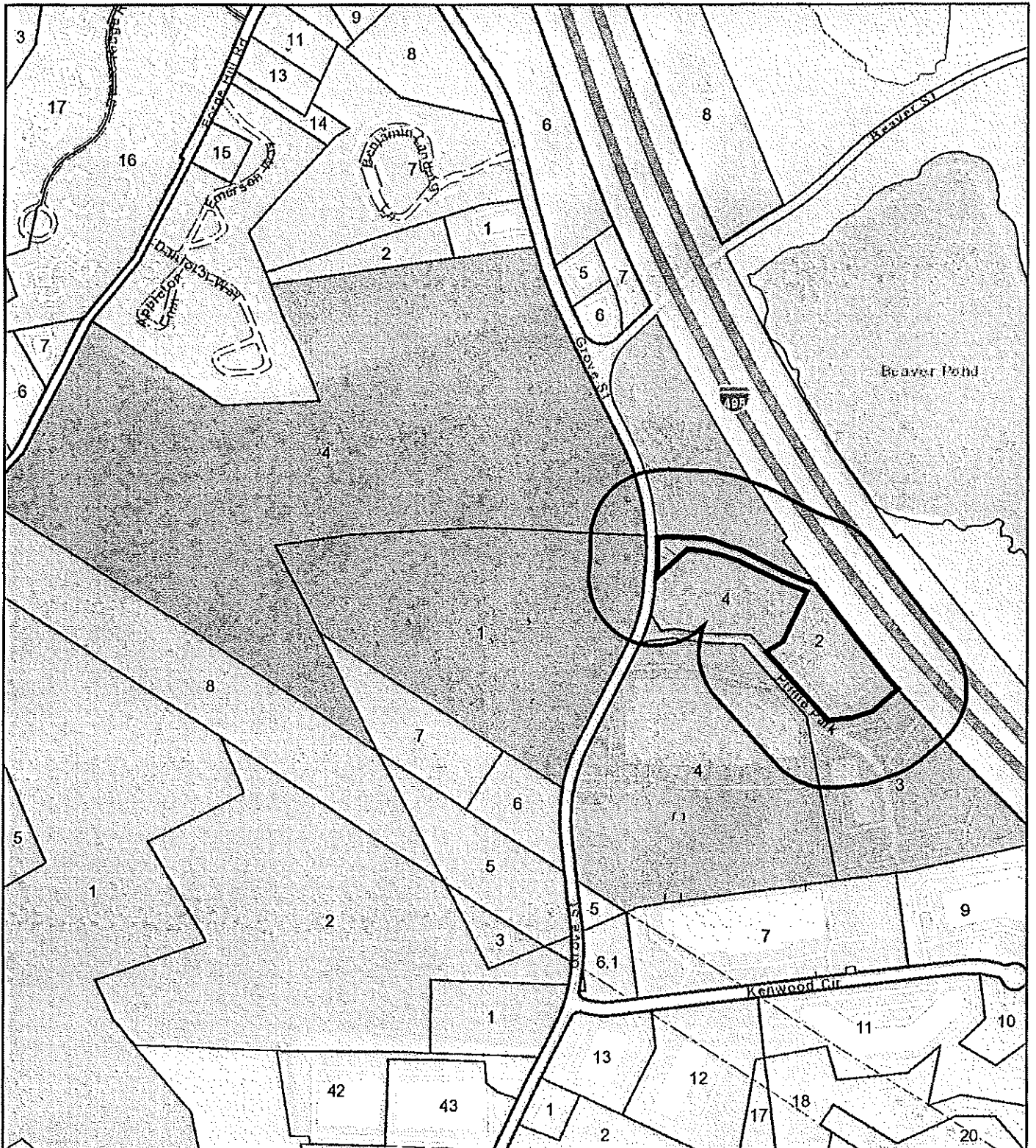
Franklin, MA



November 13, 2023

1 inch = 600 Feet

[www.cai-tech.com](http://www.cai-tech.com)



This information is believed to be correct but is subject to change and is not warranted.



# 300 foot Abutters List Report

Franklin, MA  
November 13, 2023

## Subject Property:

Parcel Number: 295-002-000  
CAMA Number: 295-002-000-000  
Property Address: 122 GROVE ST

Mailing Address: AMEGO INC  
33 PERRY AVE  
ATTLEBORO, MA 02703

## Abutters:

Parcel Number: 288-003-000  
CAMA Number: 288-003-000-000  
Property Address: 100 GROVE ST

Mailing Address: FRANKLIN TOWN OF  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038

Parcel Number: 288-004-000  
CAMA Number: 288-004-000-000  
Property Address: 120 GROVE ST

Mailing Address: BEAULIEU DEBRA A TR MEL-DINA  
REALTY TRUST  
842 UPPER UNION ST STE 8  
FRANKLIN, MA 02038

Parcel Number: 289-004-000  
CAMA Number: 289-004-000-000  
Property Address: GROVE ST

Mailing Address: COMMONWEALTH OF  
MASSACHUSETTS DIVISION OF STATE  
PARKS AND RE  
251 CAUSEWAY ST, STE 600  
BOSTON, MA 02114

Parcel Number: 295-001-000  
CAMA Number: 295-001-000-000  
Property Address: 121 GROVE ST

Mailing Address: SMITH BRYN  
106 MENDON ST  
BELLINGHAM, MA 02019

Parcel Number: 295-002-000  
CAMA Number: 295-002-000-000  
Property Address: 122 GROVE ST

Mailing Address: AMEGO INC  
33 PERRY AVE  
ATTLEBORO, MA 02703

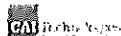
Parcel Number: 295-003-000  
CAMA Number: 295-003-000-000  
Property Address: 124 GROVE ST

Mailing Address: FRANKLIN OAKS EQUITY PARTNERS,  
C/O AEGEAN CAPITAL LLC  
150 EAST 58TH ST - 23RD FLOOR  
NEW YORK, NY 10155

Parcel Number: 295-004-000  
CAMA Number: 295-004-000-000  
Property Address: 126 GROVE ST

Mailing Address: KEY BOSTON INC  
126 GROVE ST BOX 247  
FRANKLIN, MA 02038


*Kevin M. Doyle, 11-13-23*



www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.

### General Parcel Information

<b>Assessor's Parcel ID* </b>	<b>Property Street Address*</b>
295-002	122 Grove

### Property Owner Information

<b>Property Owner*</b>	<b>Property Owner's Mailing Address*</b>
Amego, Inc.	33 Perry Avenue
<b>Town/City*</b>	<b>Zip/Postal Code*</b>
Attleboro	02703
<b>State*</b>	<b>Property Owner Telephone Number*</b>
MA	508 455-6200

### Requestor's Information

<b>Requestor/Applicant same as Property Owner Information?*</b>	<b>Requestor's Name *</b>
No	Ted Cannon
<b>Requestor's Telephone Number</b>	<b>Requestor's Address</b>
508 637-5144	124 Grove St., Ste. 220, Franklin, MA 02038



AMEGO INC  
33 PERRY AVE  
ATTLEBORO, MA 02703

BEAULIEU DEBRA A TR  
MEL-DINA REALTY TRUST  
842 UPPER UNION ST STE 8  
FRANKLIN, MA 02038

COMMONWEALTH OF  
MASSACHUS  
DIVISION OF STATE PARKS A  
251 CAUSEWAY ST, STE 600  
BOSTON, MA 02114

FRANKLIN OAKS EQUITY PART  
C/O AEGEAN CAPITAL LLC  
150 EAST 58TH ST - 23RD FLOOR  
NEW YORK, NY 10155

FRANKLIN TOWN OF  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038

KEY BOSTON INC  
126 GROVE ST BOX 247  
FRANKLIN, MA 02038

SMITH BRYN  
106 MENDON ST  
BELLINGHAM, MA 02019