

Limited Site Plan

Hennep Cultivation & Production Facility

APPROVED
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

Site Index Plan

LIMITED SITE PLAN HENNEP CULTIVATION & PRODUCTION FACILITY

located at
**160 Grove Street
Franklin, MA**

Owned By
Hennep Properties, LLC
200 Brookline Ave, #508
Boston, MA

Prepared for
HENNEP CULTIVATION LLC
1330 Boylston St Unit 202
Boston, MA 02215

Scale: 1" = 100'
January 27, 2023

INDEX OF SHEETS

SHEET NO.	TITLE
1	COVER/INDEX SHEET
3A	AMENDED SITE INDEX PLAN
4A	AMENDED UTILITY & GRADING PLAN
5A	AMENDED UTILITY & GRADING PLAN
6A	AMENDED SITE LAYOUT PLAN
7A	AMENDED SITE LAYOUT PLAN
3	ORIGINAL SITE INDEX PLAN
4	ORIGINAL UTILITY & GRADING PLAN
5	ORIGINAL UTILITY & GRADING PLAN
6	ORIGINAL SITE LAYOUT PLAN
7	ORIGINAL SITE LAYOUT PLAN

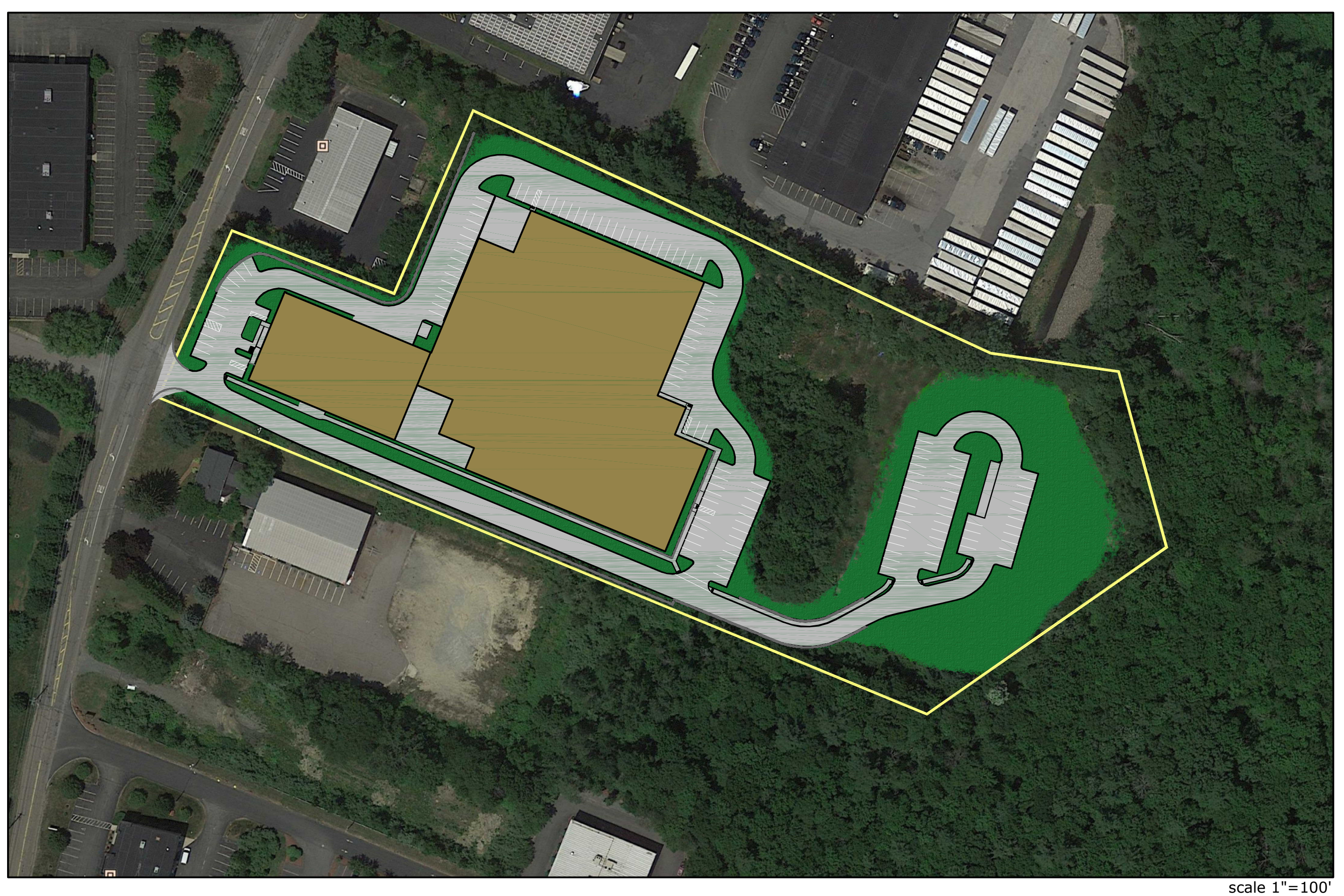
LEGAL REFERENCES

ASSESSORS: PARCEL 306-002-000
DEED: DEED BOOK 37525 PAGE 499
PLAN: PLAN BOOK 688 PAGE 38

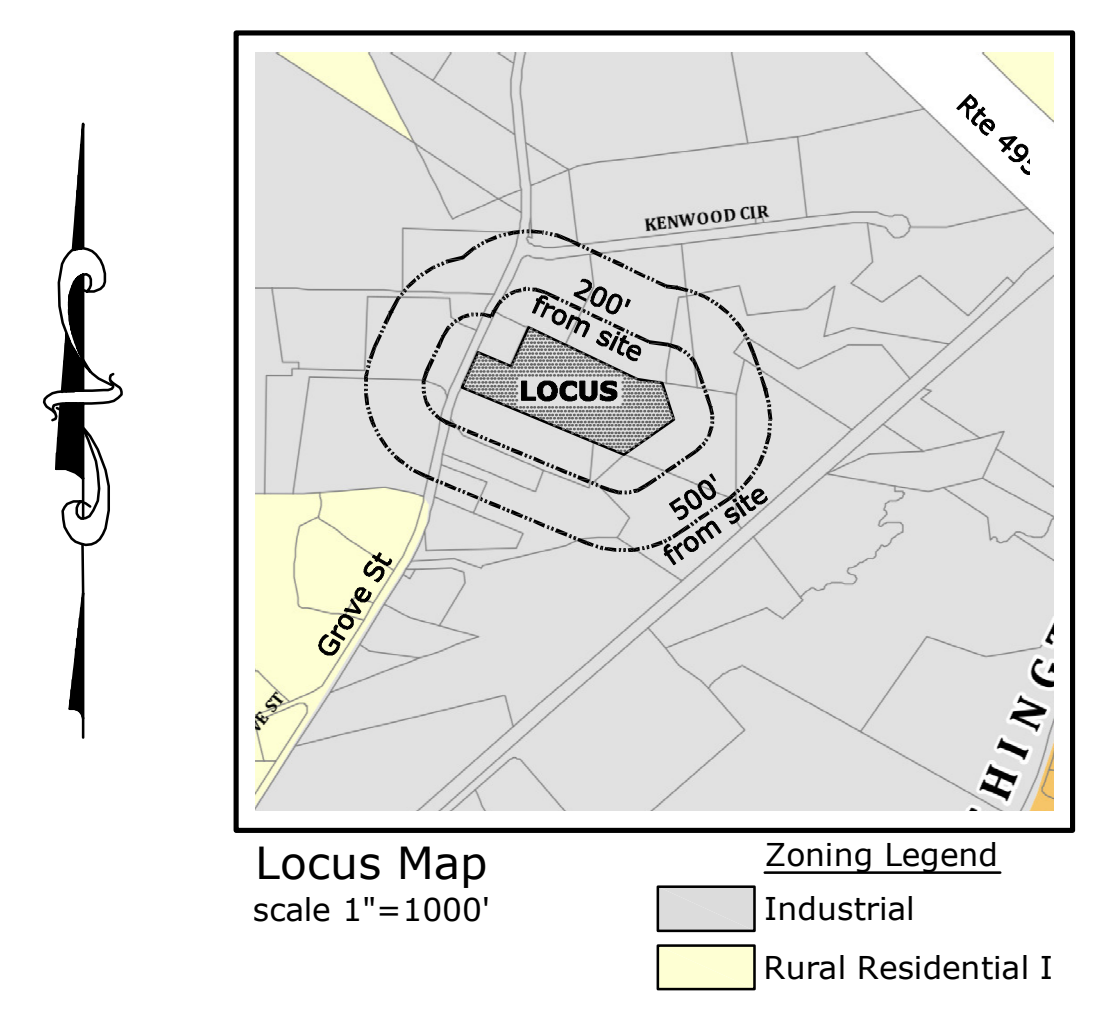
ZONING SUMMARY

	Required	Proposed
Frontage:	175 ft	200.21 ft
Area:	40,000 ft ²	372,249 ft ²
Front Yard:	40 ft	80.8 ft
Side Yard:	30 ft	55.6 ft
Rear Yard:	30 ft	328.6 ft
Bldg. Coverage:	70%	28.5% of upland
Lot Coverage:	80%	57.0% of upland
Height:	3 Stories	2 Stories

Note: Portions of the locus is located within the Water Resource District.



scale 1"=100'



Locus Map
scale 1"=1000'

Zoning Legend
Industrial
Rural Residential I

CERTIFICATE OF VOTE Limited Site Plan Modification 160 Grove Street

Site Plan: Limited Site Plan, Hennep Cultivation & Production Facility

Owner: Hennep Properties, LLC
200 Brookline Ave
Boston, MA 02215

Applicant: Hudson Construction Assoc.
218 High Ridge Ave
Ridgefield, CT 06877

Prepared By: Land Planning, Inc. 167 Hartford Ave, Bellingham, MA 02019
Surveyor/ Engineer: Engel Architects & Engineers, LLC, 1854 Lincoln Highway East, Lancaster, PA
Architect:

Date: January 27, 2023
Property Location: 160 Grove Street
Map 306, Lot 002

Dear Mrs. Danello:

Please be advised that at its meeting on Monday, February 6, 2023 the Planning Board voted (5-0), upon motion duly made and seconded to **APPROVE, with Special Conditions** the Limited Site Plan Modification at 160 Grove Street.

Sincerely,
Gregory Rondeau
Gregory Rondeau, Chairman
Franklin Planning Board

CERTIFICATE OF VOTE Limited Site Plan Modification 160 Grove Street Special Conditions

- The following Conditions shall apply:
- (1) Incorporate all outstanding items listed in the BETA letter dated February 1, 2023 prior to endorsement.
 - (2) Move the CO2 tanks west, away from the parking isle.
 - (3) Show the fence around the CO2 tanks on the Site Plans.
 - (4) Add the spot grades for the ramps to the plans prior to endorsement
 - (5) Edit the front page story height

LEGEND

○	SW STONE WALL
○	IPF IRON PIN FOUND
○	DHF DRILL HOLE FOUND
○	BOUND TO BE SET
○	BOUND FOUND
○	DRAIN MANHOLE
○	CATCH BASIN
○	UTILITY POLE
---	EXISTING CONTOUR
[]	PROPOSED CONTOUR
58x5	PROPOSED SPOT GRADE
←	LIGHT - WALL MOUNTED
★	LIGHT - POLE MOUNTED
▽	SIGN
---	ETC - ELECT., TEL. & CABLE
W	WATER LINE
S	SEWER LINE
G	GAS LINE
OHW	OVERHEAD WIRE
---	FENCE
○	GUARD RAIL
x WF-#	WETLAND FLAG

Norman G. Hill, P.E.
Date: 2-14-2023
PE #31887

Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

Bellingham
167 Hartford Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144
www.landplanninginc.com

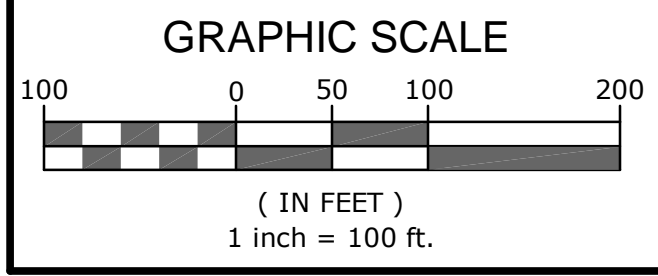
Scale
1" = 100'

Date
February 14, 2020

Job No.
B2521

Sheet No.
1

Located at
**160 Grove Street
Franklin, MA**



Zoning Summary

Zone: Industrial		
	Required	Proposed
Frontage:	175 ft	200.21 ft
Area:	40,000 ft ²	372,249 ft ²
Front Yard:	40 ft	80.8 ft
Side Yard:	30 ft	41.6 ft
Rear Yard:	30 ft	338.4 ft
Bldg. Coverage:	70%	28.5% of upland
Lot Coverage:	80%	57.0% of upland
Height:	3 Stories	2 Stories

Note: Portions of the locus is located within the Water Resource District.

Parking Summary

Use	Regulation	Area	Required Spaces
Industrial	1 per 400 ft ²	14,581 ft ²	37 spaces
Warehouse	1 per 1000 ft ²	92,991 ft ²	93 spaces
Office	1 per 250 ft ²	4,586 ft ²	19 spaces

Total Parking Required = 149 spaces
 Minimum parking per Special Permit Waiver = 138 spaces
 Total parking provided = 150 spaces

Note: The proposed changes to the site development result in a 1697 ft² net reduction of impervious area in comparison to the approved plan.

APPROVED
FRANKLIN PLANNING BOARD

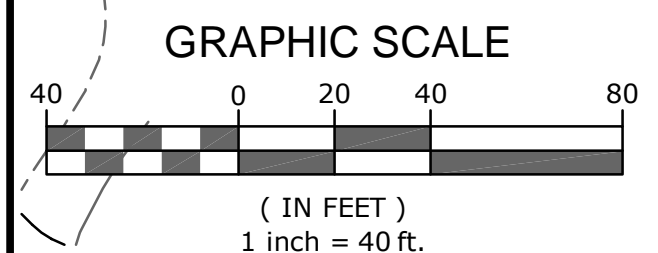
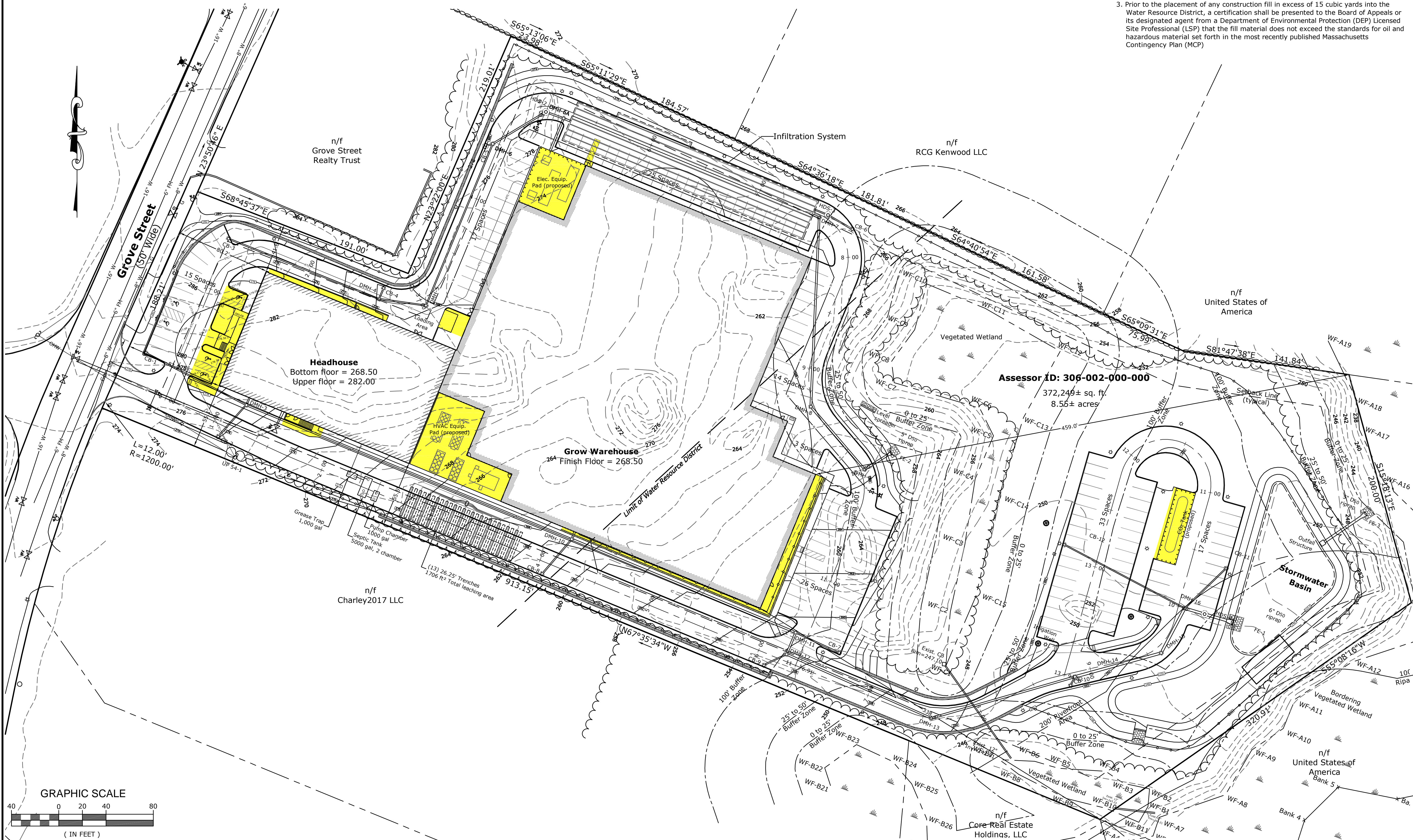
DATE: _____
 BEING A MAJORITY

Utility Notes

- Place 6" Loam and seed all disturbed areas of the project not otherwise improved.
- All underground utility locations shown are based on field evidence and records provided to Land Planning, Inc.. These locations should be considered approximate. Other utilities may exist which are not evident or for which record information was not found. The contractor must contact all utility companies and "Dig Safe" before excavation begins. We assume no responsibility for damages incurred as a result of utilities omitted or inaccurately shown.
- It is the responsibility of the contractor to review all of the drawings and specifications associated with this project work and project scope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to the start of construction. Failure by the contractor to notify the project engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
- All work shall conform to Town of Franklin requirements and Massachusetts Highway Department construction standards as applicable.
- Where any utility installation detail conflicts with the Town of Franklin Department of Public Works Standards for Sewer and Water Materials and Installation, the Town Standards shall govern.

General Notes

- All elevations refer to NAVD 1988 datum.
- No portion of the site is located within the limits of the 100 yr flood zone as shown on the FIRM Map #25021C0308E dated 07/17/12
- Prior to the placement of any construction fill in excess of 15 cubic yards into the Water Resource District, a certification shall be presented to the Board of Appeals or its designated agent from a Department of Environmental Protection (DEP) Licensed Site Professional (LSP) that the fill material does not exceed the standards for oil and hazardous material set forth in the most recently published Massachusetts Contingency Plan (MCP)



Amended Site Index Plan

**LIMITED SITE PLAN
 HENNEP CULTIVATION &
 PRODUCTION FACILITY**

located at
**160 Grove Street
 Franklin, MA**

Owned By
Hennep Properties, LLC
 200 Brookline Ave, #508
 Boston, MA

Prepared for
HENNEP CULTIVATION LLC
 1330 Boylston St Unit 202
 Boston, MA 02215

Scale: 1" = 40'
 January 27, 2023

LEGEND

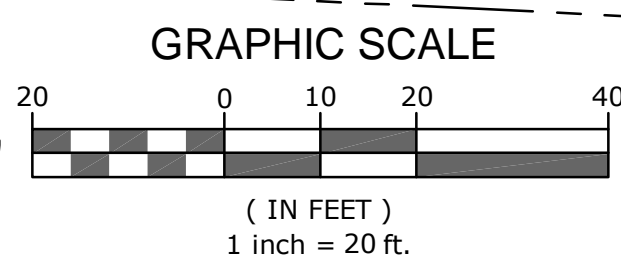
- SW STONE WALL
- IPF IRON PIN FOUND
- DHF DRILL HOLE FOUND
- BOUND TO BE SET
- BOUND FOUND
- DRAIN MANHOLE
- CATCH BASIN
- UTILITY POLE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- 58x5 PROPOSED SPOT GRADE
- LIGHT - WALL MOUNTED
- LIGHT - POLE MOUNTED
- SIGN
- ETC., TEL. & CABLE
- W WATER LINE
- S SEWER LINE
- G GAS LINE
- OHW OVERHEAD WIRE
- FENCE
- GUARD RAIL
- x WF-# WETLAND FLAG

Norman G. Hill, PE
 Date: 2-14-2023
 Norman G. Hill, PE #31887

Land Planning, Inc.
 Civil Engineers • Land Surveyors
 Environmental Consultants

- Bellingham**
 167 Hartord Ave.
 Bellingham, MA 02019
 508-966-4130
- North Grafton**
 214 Worcester St.
 N. Grafton, MA 01536
 508-839-9526
- Hanson**
 1115 Main Street
 Hanson, MA 02341
 781-294-4144
www.landplanninginc.com

Scale: 1" = 40'
 Date: Jan. 27, 2023
 Job No.: B2661
 Sheet No.: 3A



Zoning Summary

	Zone: Industrial	Required	Proposed
Frontage:		175 ft	200.21 ft
Area:		40,000 ft ²	372,249 ft ²
Front Yard:		40 ft	80.8 ft
Side Yard:		30 ft	41.6 ft
Rear Yard:		30 ft	338.4 ft
Bldg. Coverage:		70%	28.5% of upland
Lot Coverage:		80%	57.0% of upland
Height:		3 Stories	2 Stories

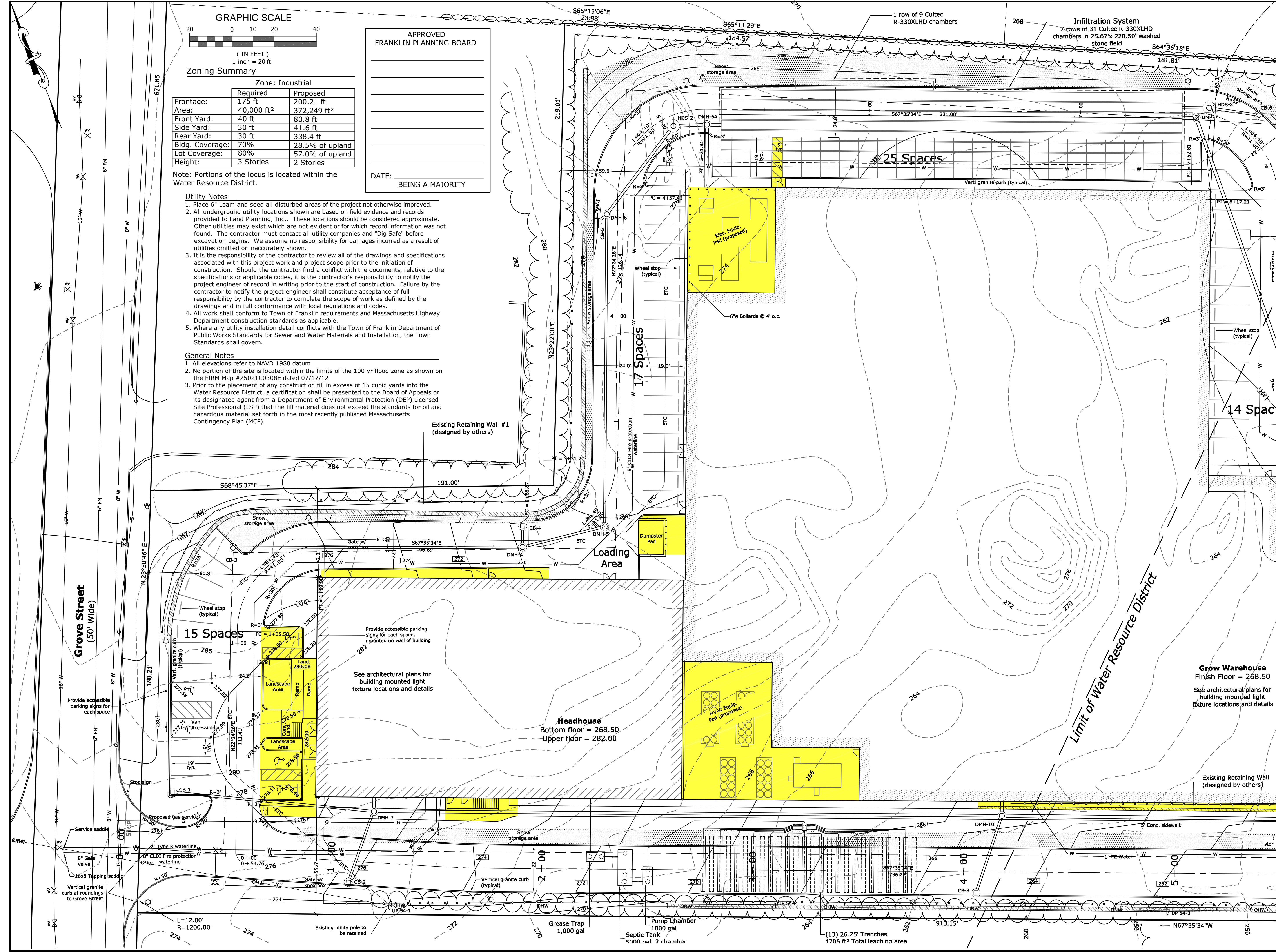
Note: Portions of the locus is located within the Water Resource District.

- Utility Notes**
- Place 6" Loam and seed all disturbed areas of the project not otherwise improved.
 - All underground utility locations shown are based on field evidence and records provided to Land Planning, Inc.. These locations should be considered approximate. Other utilities may exist which are not evident or for which record information was not found. The contractor must contact all utility companies and "Dig Safe" before excavation begins. We assume no responsibility for damages incurred as a result of utilities omitted or inaccurately shown.
 - It is the responsibility of the contractor to review all of the drawings and specifications associated with this project work and project scope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to the start of construction. Failure by the contractor to notify the project engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
 - All work shall conform to Town of Franklin requirements and Massachusetts Highway Department construction standards as applicable.
 - Where any utility installation detail conflicts with the Town of Franklin Department of Public Works Standards for Sewer and Water Materials and Installation, the Town Standards shall govern.

- General Notes**
- All elevations refer to NAVD 1988 datum.
 - No portion of the site is located within the limits of the 100 yr flood zone as shown on the FIRM Map #25021C0308E dated 07/17/12
 - Prior to the placement of any construction fill in excess of 15 cubic yards into the Water Resource District, a certification shall be presented to the Board of Appeals or its designated agent from a Department of Environmental Protection (DEP) Licensed Site Professional (LSP) that the fill material does not exceed the standards for oil and hazardous material set forth in the most recently published Massachusetts Contingency Plan (MCP)

APPROVED
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY



Amended Utility & Grading Plan

LIMITED SITE PLAN HENNEP CULTIVATION & PRODUCTION FACILITY

located at
160 Grove Street Franklin, MA

Owned By
Hennep Properties, LLC
200 Brookline Ave, #508 Boston, MA

Prepared for
HENNEP CULTIVATION LLC
1330 Boylston St Unit 202 Boston, MA 02215

Scale: 1" = 20'
January 27, 2023

LEGEND

	SW STONE WALL
	IPF IRON PIN FOUND
	DHF DRILL HOLE FOUND
	BOUND TO BE SET
	BOUND FOUND
	DRAIN MANHOLE
	CATCH BASIN
	UTILITY POLE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	LIGHT - WALL MOUNTED
	LIGHT - POLE MOUNTED
	SIGN
	ELECT., TEL. & CABLE
	WATER LINE
	SEWER LINE
	GAS LINE
	OVERHEAD WIRE
	FENCE
	GUARD RAIL
	WETLAND FLAG

Norman G. Hill, PE
Date: 2-14-2023
PE #31887

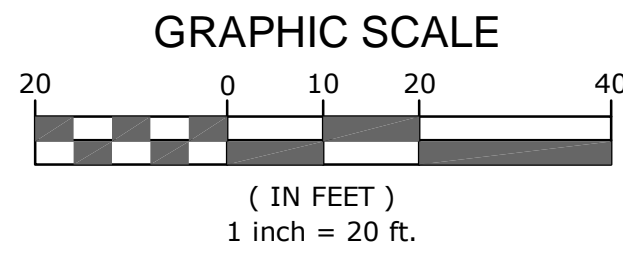
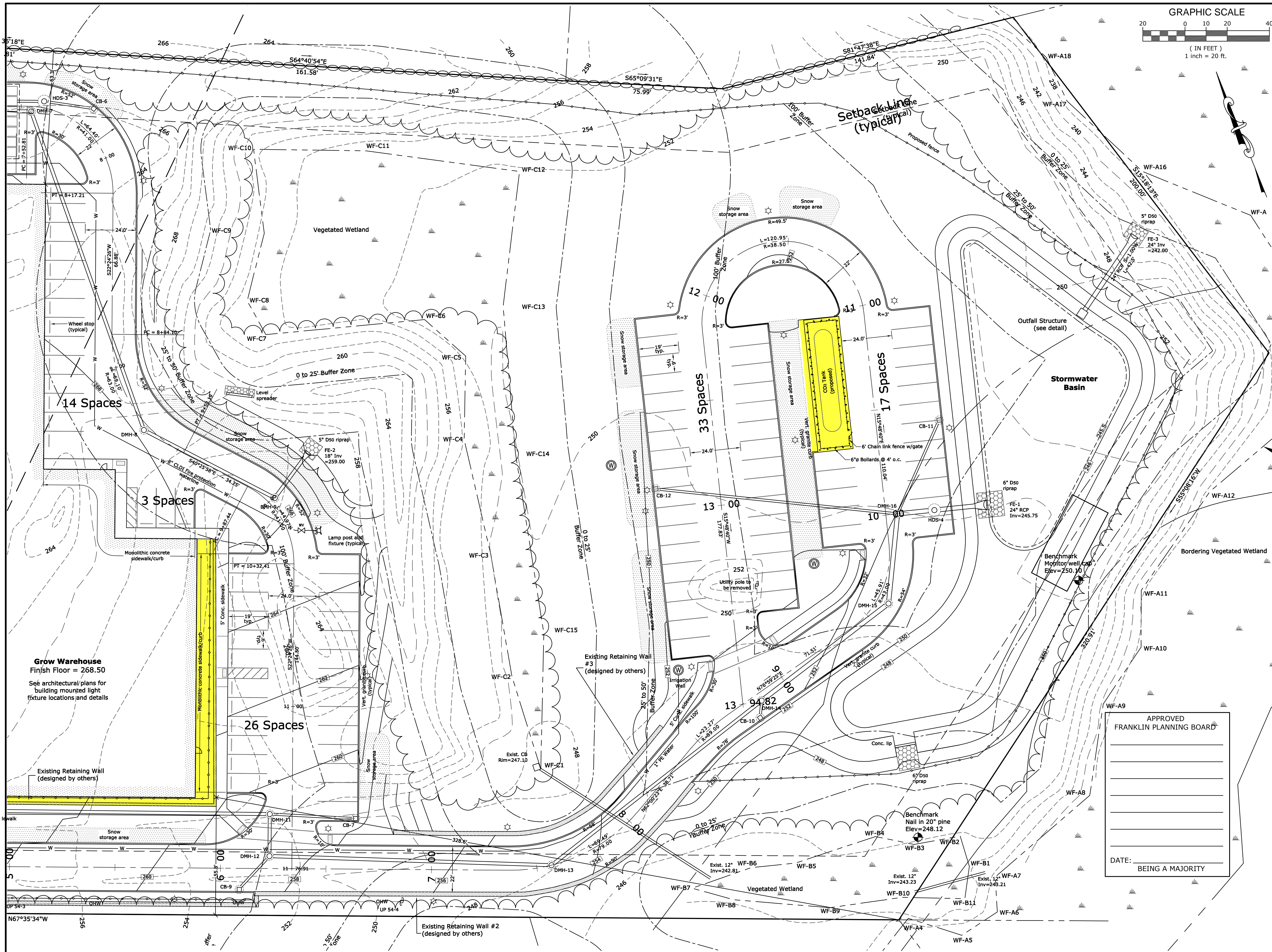
Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

Bellingham
167 Hartord Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144
www.landplanninginc.com

Scale: 1" = 20'
Date: Jan. 27, 2023
Job No.: B2661
Sheet No.: 4A



Amended Utility & Grading Plan

LIMITED SITE PLAN HENNEPE CULTIVATION & PRODUCTION FACILITY

located at
**160 Grove Street
 Franklin, MA**

Owned By
Hennepe Properties, LLC
 200 Brookline Ave, #508
 Boston, MA

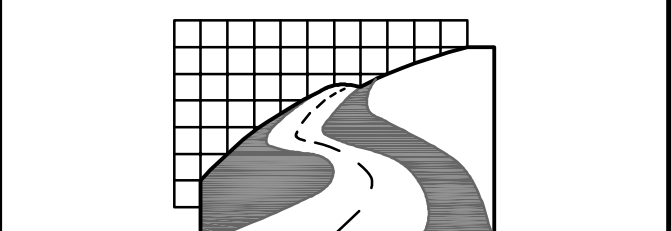
Prepared for
HENNEPE CULTIVATION LLC
 1330 Boylston St Unit 202
 Boston, MA 02215

Scale: 1" = 20'
 January 27, 2023

LEGEND

	SW STONE WALL
	IPF IRON PIN FOUND
	DHF DRILL HOLE FOUND
	BOUND TO BE SET
	BOUND FOUND
	DRAIN MANHOLE
	CATCH BASIN
	UTILITY POLE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT GRADE
	LIGHT - WALL MOUNTED
	LIGHT - POLE MOUNTED SIGN
	ELECT., TEL. & CABLE
	WATER LINE
	SEWER LINE
	GAS LINE
	OVERHEAD WIRE
	FENCE
	GUARD RAIL
	WETLAND FLAG

Norman G. Hill, P.E.
 Date: 2-14-2023
 PE #31887



Land Planning, Inc.
 Civil Engineers • Land Surveyors
 Environmental Consultants

Bellingham
 167 Hartord Ave.
 Bellingham, MA 02019
 508-966-4130

North Grafton
 214 Worcester St.
 N. Grafton, MA 01536
 508-839-9526

Hanson
 1115 Main Street
 Hanson, MA 02341
 781-294-4144
www.landplanninginc.com

APPROVED
 FRANKLIN PLANNING BOARD

DATE: _____
 BEING A MAJORITY

Amended Site Layout Plan

LIMITED SITE PLAN HENNEP CULTIVATION & PRODUCTION FACILITY

located at
**160 Grove Street
Franklin, MA**

Owned By
Hennep Properties, LLC
200 Brookline Ave, #508
Boston, MA

Prepared for
HENNEP CULTIVATION LLC
1330 Boylston St Unit 202
Boston, MA 02215

Scale: 1" = 20'
January 27, 2023

LEGEND	
	SW STONE WALL
	IPF IRON PIN FOUND
	DHF DRILL HOLE FOUND
	BOUND TO BE SET
	BOUND FOUND
	DRAIN MANHOLE
	CATCH BASIN
	UTILITY POLE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	581x5 PROPOSED SPOT GRADE
	◀ LIGHT - WALL MOUNTED
	☆ LIGHT - POLE MOUNTED SIGN
	ETC ELECT., TEL. & CABLE
	W WATER LINE
	S SEWER LINE
	G GAS LINE
	OHW OVERHEAD WIRE
	FENCE
	x WF-# GUARD RAIL
	WETLAND FLAG

Norman G. Hill, P.E.
Date: 2-14-2023
PE #31887

Grow Warehouse
Finish Floor = 268.50
See architectural plans for building mounted light fixture locations and details

Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

Bellingham
167 Hartord Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144

www.landplanninginc.com

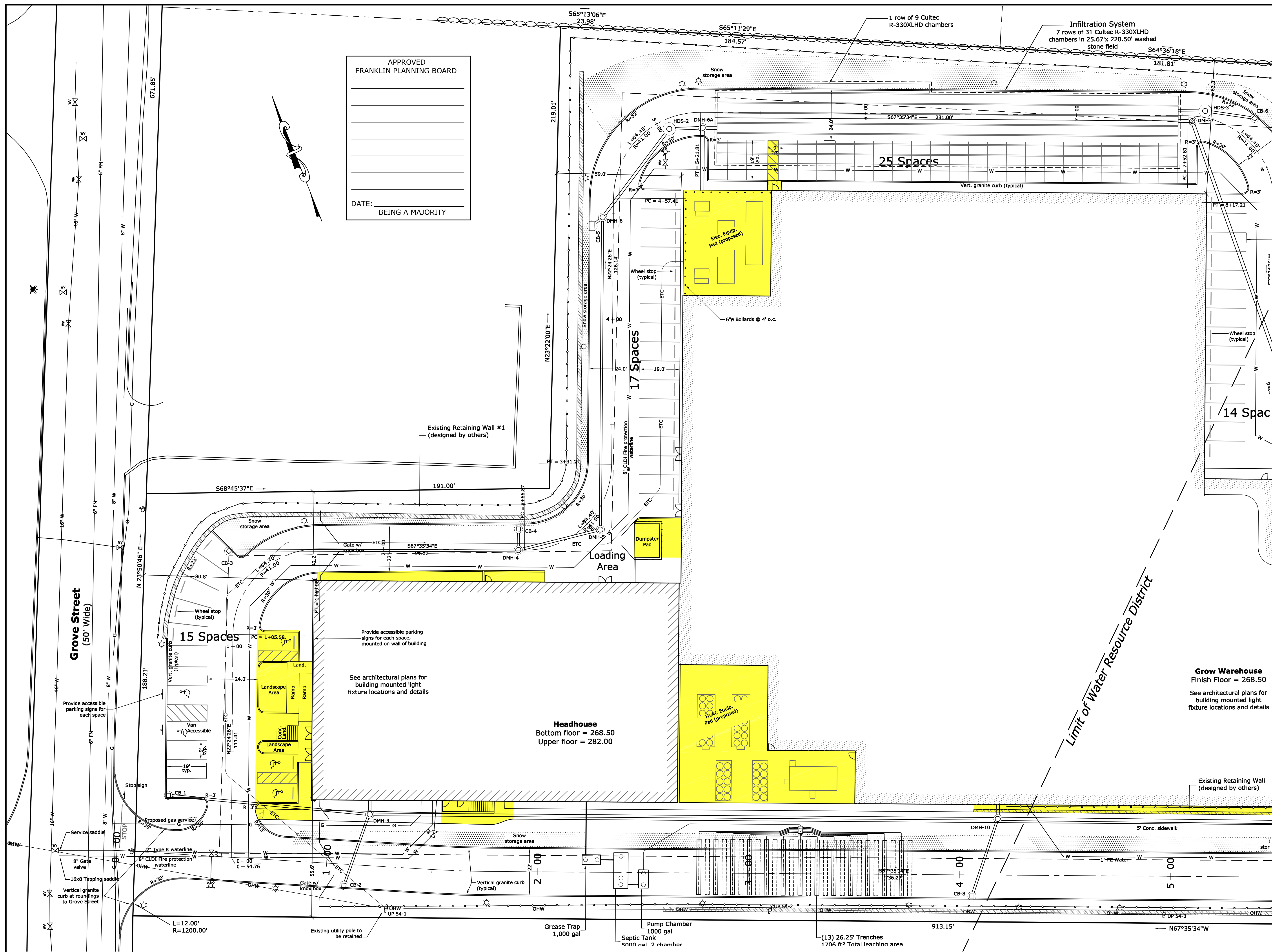
Scale
1" = 20'

Date
Jan. 27, 2023

Job No.
B2521

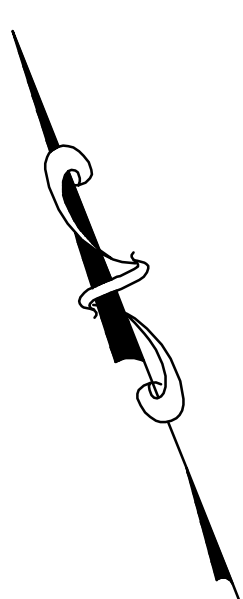
Sheet No.

6A



APPROVED
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY



Limit of Water Resource District

Amended Site Layout Plan

LIMITED SITE PLAN HENNEP CULTIVATION & PRODUCTION FACILITY

located at
**160 Grove Street
Franklin, MA**

Owned By
Hennep Properties, LLC
200 Brookline Ave, #508
Boston, MA

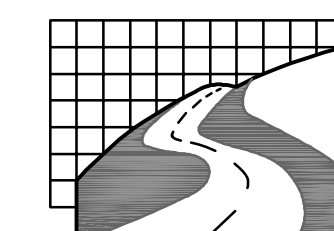
Prepared for
HENNEP CULTIVATION LLC
1330 Boylston St Unit 202
Boston, MA 02215

Scale: 1" = 20'
January 27, 2023

LEGEND	
	SW STONE WALL
	IPF IRON PIN FOUND
	DHF DRILL HOLE FOUND
	BOUND TO BE SET
	BOUND FOUND
	DRAIN MANHOLE
	CATCH BASIN
	UTILITY POLE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	LIGHT - WALL MOUNTED
	LIGHT - POLE MOUNTED
	SIGN
	ELECT., TEL. & CABLE
	WATER LINE
	SEWER LINE
	GAS LINE
	OVERHEAD WIRE
	FENCE
	GUARD RAIL
	WETLAND FLAG



Norman G. Hill, P.E.
Date: 2-14-2023
Norman G. Hill, PE #31887



Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

Bellingham
167 Hartord Ave.
Bellingham, MA 02019
508-966-4130

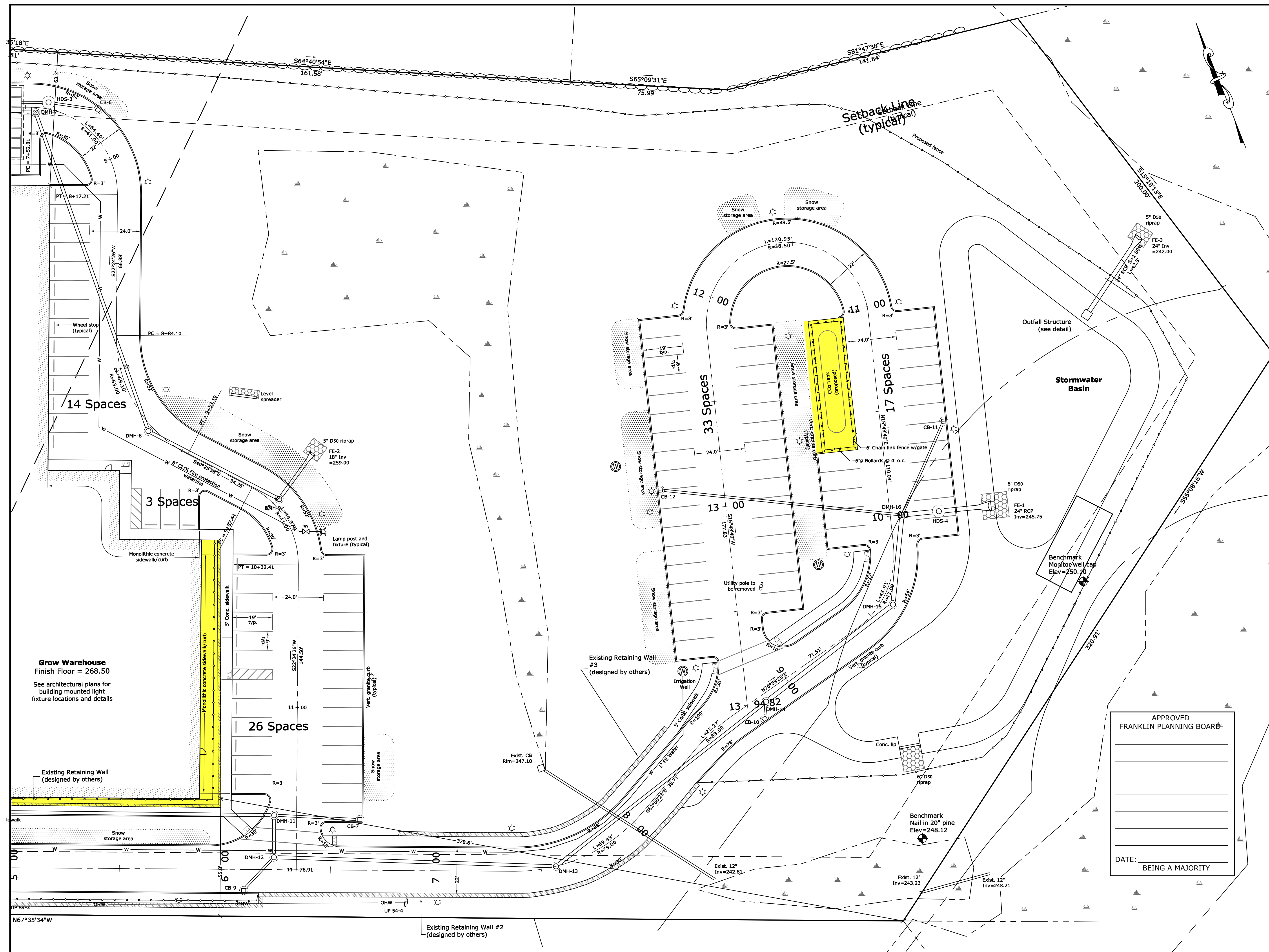
North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144

www.landplanninginc.com

APPROVED
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY



Grow Warehouse
Finish Floor = 268.50
See architectural plans for
building mounted light
fixture locations and details

Existing Retaining Wall
(designed by others)

Existing Retaining Wall
#3
(designed by others)

Existing Retaining Wall #2
(designed by others)

Scale	1" = 20'
Date	Jan. 27, 2023
Job No.	B2521
Sheet No.	7A

Zoning Summary

	Zone: Industrial	
	Required	Proposed
Frontage:	175 ft	200.21 ft
Area:	40,000 ft ²	372,249 ft ²
Front Yard:	40 ft	80.8 ft
Side Yard:	30 ft	55.6 ft
Rear Yard:	30 ft	328.6 ft
Bldg. Coverage:	70%	28.5% of upland
Lot Coverage:	80%	57.0% of upland
Height:	3 Stories	3 Stories

Note: Portions of the locus is located within the Water Resource District.

Parking Summary

Use	Regulation	Area	Required Spaces
Industrial	1 per 400 ft ²	17250 ft ²	44 spaces
Warehouse	1 per 1000 ft ²	100841 ft ²	101 spaces
Office	1 per 250 ft ²	4211 ft ²	17 spaces
Total Parking Required = 162 spaces			
Total proposed parking = 162 spaces			

Earthwork Summary

Cut	49,402 yd ³
Fill	21,905 yd ³
Net	27,496 yd ³ cut

APPROVED
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

**THIS PLAN WAS ENDORSED
BY THE PLANNING BOARD
9/23/2020**

Utility Notes

- Place 6" Loam and seed all disturbed areas of the project not otherwise improved.
- All underground utility locations shown are based on field evidence and records provided to Land Planning, Inc.. These locations should be considered approximate. Other utilities may exist which are not evident or for which record information was not found. The contractor must contact all utility companies and "Dig Safe" before excavation begins. We assume no responsibility for damages incurred as a result of utilities omitted or inaccurately shown.
- It is the responsibility of the contractor to review all of the drawings and specifications associated with this project work and project scope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to the start of construction. Failure by the contractor to notify the project engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
- All work shall conform to Town of Franklin requirements and Massachusetts Highway Department construction standards as applicable.
- Where any utility installation detail conflicts with the Town of Franklin Department of Public Works Standards for Sewer and Water Materials and Installation, the Town Standards shall govern.

General Notes

- All elevations refer to NAVD 1988 datum.
- No portion of the site is located within the limits of the 100 yr flood zone as shown on the FIRM Map #25021C0308E dated 07/17/12
- Prior to the placement of any construction fill in excess of 15 cubic yards into the Water Resource District, a certification shall be presented to the Board of Appeals or its designated agent from a Department of Environmental Protection (DEP) Licensed Site Professional (LSP) that the fill material does not exceed the standards for oil and hazardous material set forth in the most recently published Massachusetts Contingency Plan (MCP)

Site Index Plan

HENNEP CULTIVATION & PRODUCTION FACILITY

Located at
**160 Grove Street
Franklin, MA**

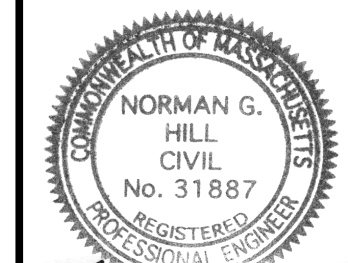
Owned by
Hennep Properties, LLC
200 Brookline Ave, #508
Boston, MA

Prepared for
HENNEP CULTIVATION LLC
1330 Boylston St Unit 202
Boston, MA 02215

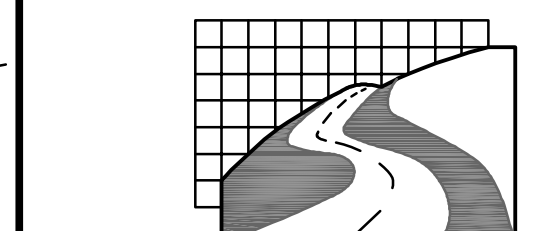
Scale: 1" = 40'
Revised June 16, 2020

LEGEND

- SW STONE WALL
- IPF IRON PIN FOUND
- DHF DRILL HOLE FOUND
- BOUND TO BE SET
- BOUND FOUND
- DRAIN MANHOLE
- CATCH BASIN
- UTILITY POLE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- LIGHT - WALL MOUNTED
- LIGHT - POLE MOUNTED
- SIGN
- ELECT., TEL. & CABLE
- WATER LINE
- SEWER LINE
- GAS LINE
- OVERHEAD WIRE
- FENCE
- GUARD RAIL
- WETLAND FLAG



Norman G. Hill, P.E.
Date: 2-14-2023
Norman G. Hill, PE #31887



Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

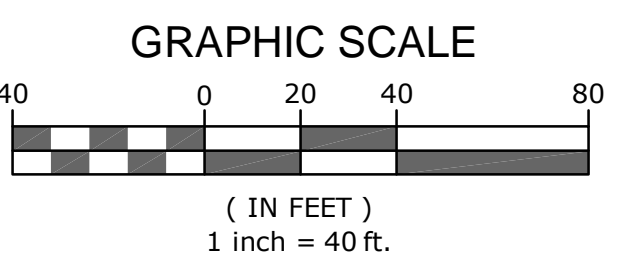
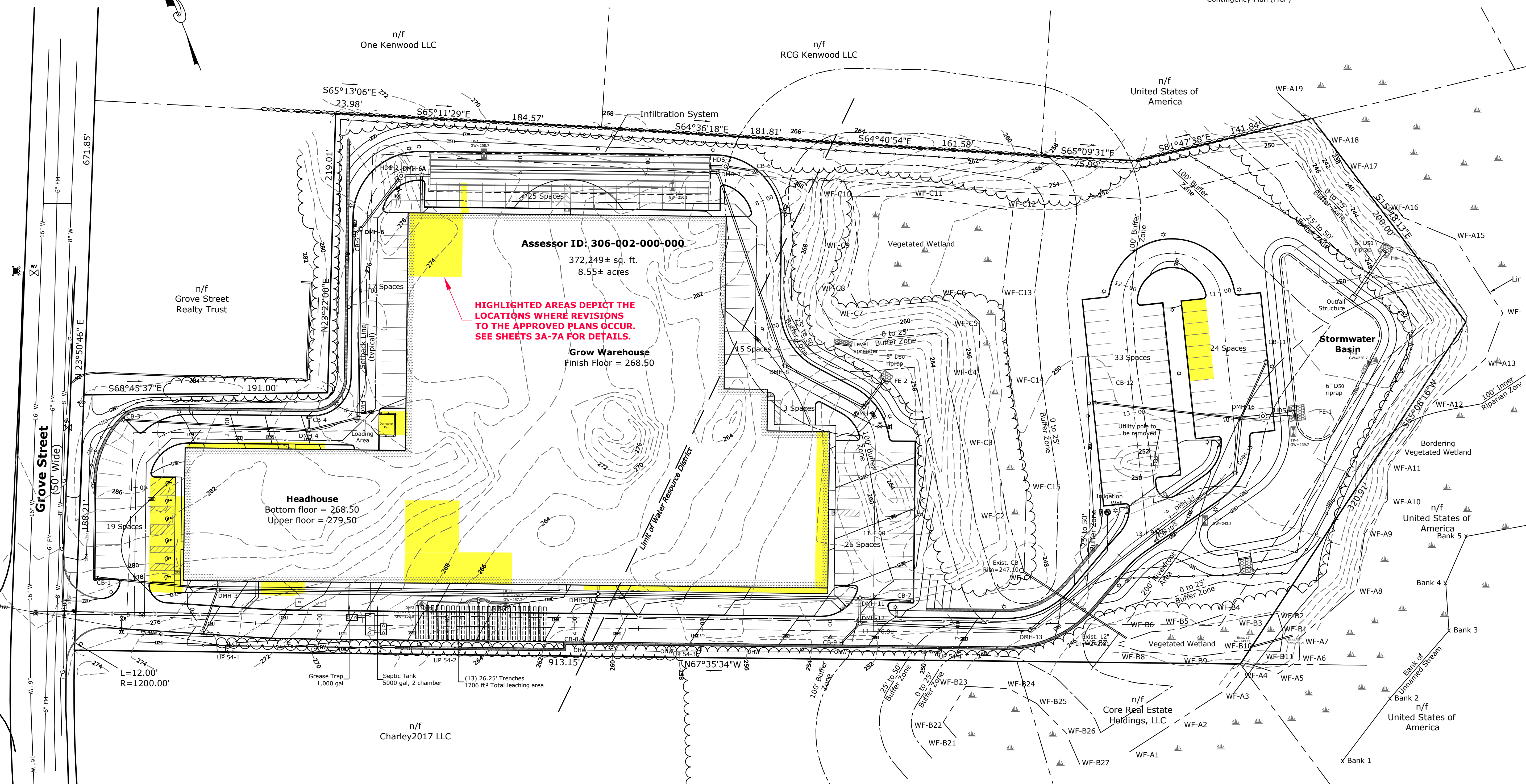
Bellingham
167 Hartord Ave.
Bellingham, MA 02019
508-966-4130

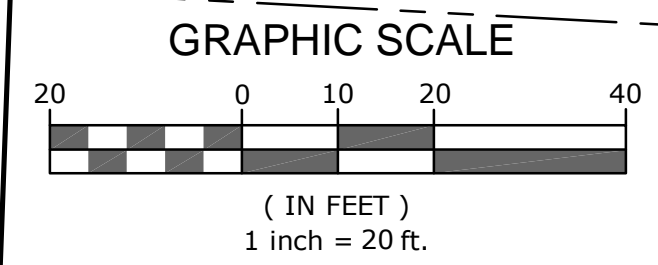
North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144

Scale
1" = 40'
Date
February 14, 2020
Job No.
B2521

Sheet No.
3





Zoning Summary

	Zone: Industrial	Required	Proposed
Frontage:		175 ft	200.21 ft
Area:		40,000 ft ²	372,249 ft ²
Front Yard:		40 ft	80.8 ft
Side Yard:		30 ft	55.6 ft
Rear Yard:		30 ft	328.6 ft
Bldg. Coverage:		70%	26.9%
Lot Coverage:		80%	52.2%
Height:		3 Stories	3 Stories

Note: Portions of the locus is located within the Water Resource District.

- Utility Notes**
- Place 6" Loam and seed all disturbed areas of the project not otherwise improved.
 - All underground utility locations shown are based on field evidence and records provided to Land Planning, Inc.. These locations should be considered approximate. Other utilities may exist which are not evident or for which record information was not found. The contractor must contact all utility companies and "Dig Safe" before excavation begins. We assume no responsibility for damages incurred as a result of utilities omitted or inaccurately shown.
 - It is the responsibility of the contractor to review all of the drawings and specifications associated with this project work and project scope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to the start of construction. Failure by the contractor to notify the project engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
 - All work shall conform to Town of Franklin requirements and Massachusetts Highway Department construction standards as applicable.
 - Where any utility installation detail conflicts with the Town of Franklin Department of Public Works Standards for Sewer and Water Materials and Installation, the Town Standards shall govern.

- General Notes**
- All elevations refer to NAVD 1988 datum.
 - No portion of the site is located within the limits of the 100 yr flood zone as shown on the FIRM Map #25021C0308E dated 07/17/12
 - Prior to the placement of any construction fill in excess of 15 cubic yards into the Water Resource District, a certification shall be presented to the Board of Appeals or its designated agent from a Department of Environmental Protection (DEP) Licensed Site Professional (LSP) that the fill material does not exceed the standards for oil and hazardous material set forth in the most recently published Massachusetts Contingency Plan (MCP)

APPROVED
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

THIS PLAN WAS ENDORSED BY THE PLANNING BOARD 9/23/2020

Retaining Wall #1
Proposed segmental block wall
(design by others)

EGRESS TO BOTTOM FLOOR ADDED

Headhouse
Bottom floor = 268.50
Upper floor = 278.75
See architectural plans for building mounted light fixture locations and details

PARKING AREA REVISED TO ACCOMMODATE ACCESSIBLE ENTRANCE RAMP AND STAIRS

EGRESS TO BOTTOM FLOOR ADDED

BUILDING REDUCED TO PROVIDE CONCRETE PAD FOR ELECTRICAL EQUIPMENT

Assessor ID: 306-002-000-000

372,249± sq. ft.
8.55± acres

DUMPSTER PAD MOVED 2' SOUTH

BUILDING REDUCED TO PROVIDE CONCRETE PAD FOR HVAC EQUIPMENT

Grow Warehouse
Finish Floor = 268.50
See architectural plans for building mounted light fixture locations and details

RETAINING WALL ADDED

LEGEND

○	SW STONE WALL
●	IPF IRON PIN FOUND
⊙	DHF DRILL HOLE FOUND
⊖	BOUND TO BE SET
⊕	BOUND FOUND
⊗	DRAIN MANHOLE
⊘	CATCH BASIN
⊙	UTILITY POLE
---	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
58x5	PROPOSED SPOT GRADE
⊙	LIGHT - WALL MOUNTED
⊙	LIGHT - POLE MOUNTED
⊙	SIGN
---	ELECT., TEL. & CABLE
W	WATER LINE
S	SEWER LINE
G	GAS LINE
OHW	OVERHEAD WIRE
---	FENCE
○	GUARD RAIL
x WF-#	WETLAND FLAG

Norman G. Hill, P.E.
Date: 2-14-2023
PE #31887

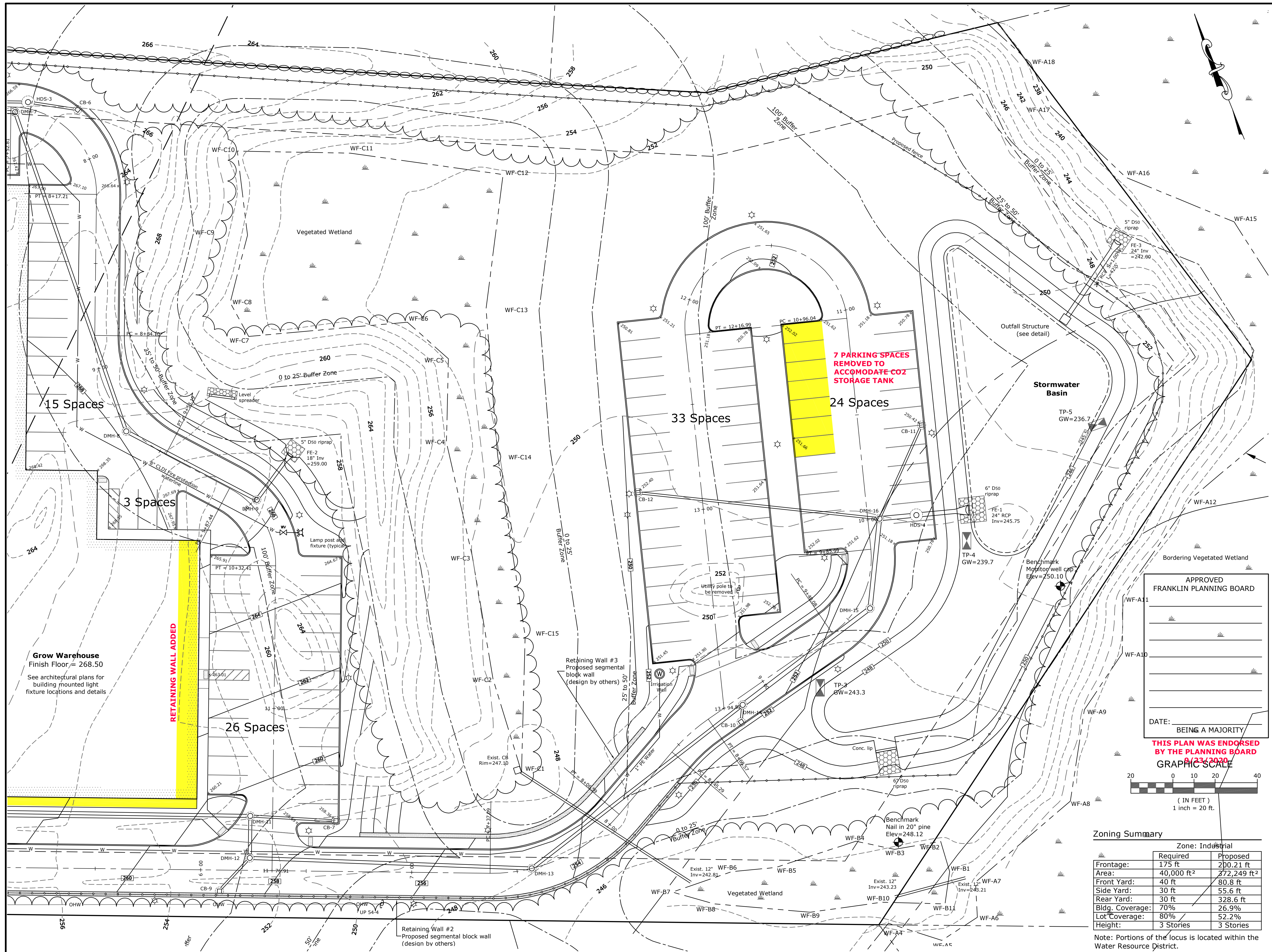
Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

Bellingham
167 Hartord Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144
www.landplanninginc.com

Scale: 1" = 20'
Date: February 14, 2020
Job No.: B2521
Sheet No.: 4



Utility & Grading Plan

HENNEP CULTIVATION & PRODUCTION FACILITY

located at
**160 Grove Street
 Franklin, MA**

Owned By
Hennep Properties, LLC
 200 Brookline Ave, #508
 Boston, MA

Prepared for
HENNEP CULTIVATION LLC
 1330 Boylston St Unit 202
 Boston, MA 02215

Scale: 1" = 20'
 Revised June 16, 2020

LEGEND

- SW STONE WALL
- IPF IRON PIN FOUND
- DHF DRILL HOLE FOUND
- BOUND TO BE SET
- BOUND FOUND
- DRAIN MANHOLE
- CATCH BASIN
- UTILITY POLE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- 58x5 PROPOSED SPOT GRADE
- LIGHT - WALL MOUNTED
- ☆ POLE MOUNTED SIGN
- ETC. ELECT., TEL. & CABLE
- W WATER LINE
- S SEWER LINE
- G GAS LINE
- OHW OVERHEAD WIRE
- FENCE
- GUARD RAIL
- x WF-# WETLAND FLAG

APPROVED
 FRANKLIN PLANNING BOARD

DATE: _____
 BEING A MAJORITY

**THIS PLAN WAS ENDORSED
 BY THE PLANNING BOARD
 8/23/2020**

GRAPHIC SCALE

20 0 10 20 40
 (IN FEET)
 1 inch = 20 ft.

Land Planning, Inc.
 Civil Engineers • Land Surveyors
 Environmental Consultants

Bellingham
 167 Hartord Ave.
 Bellingham, MA 02019
 508-966-4130

North Grafton
 214 Worcester St.
 N. Grafton, MA 01536
 508-839-9526

Hanson
 1115 Main Street
 Hanson, MA 02341
 781-294-4144
 www.landplanninginc.com

Zoning Summary

	Zone: Industrial	
	Required	Proposed
Frontage:	175 ft	200.21 ft
Area:	40,000 ft ²	372,249 ft ²
Front Yard:	40 ft	80.8 ft
Side Yard:	30 ft	55.6 ft
Rear Yard:	30 ft	328.6 ft
Bldg. Coverage:	70%	26.9%
Lot Coverage:	80%	52.2%
Height:	3 Stories	3 Stories

Note: Portions of the locus is located within the Water Resource District.

Site Layout Plan

HENNEP CULTIVATION & PRODUCTION FACILITY

located at
**160 Grove Street
Franklin, MA**

Owned By
**Hennep Properties, LLC
200 Brookline Ave, #508
Boston, MA**

Prepared for
**HENNEP CULTIVATION LLC
1330 Boylston St Unit 202
Boston, MA 02215**

Scale: 1" = 40'
Revised June 16, 2020

LEGEND	
	SW STONE WALL
	IPF IRON PIN FOUND
	DHF DRILL HOLE FOUND
	BOUND TO BE SET
	BOUND FOUND
	DRAIN MANHOLE
	CATCH BASIN
	UTILITY POLE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	LIGHT - WALL MOUNTED
	LIGHT - POLE MOUNTED SIGN
	ETC
	ELECT., TEL. & CABLE
	WATER LINE
	SEWER LINE
	GAS LINE
	OVERHEAD WIRE
	FENCE
	GUARD RAIL
	WETLAND FLAG

Norman G. Hill, P.E.
Date: 2-14-2023
PE #31887

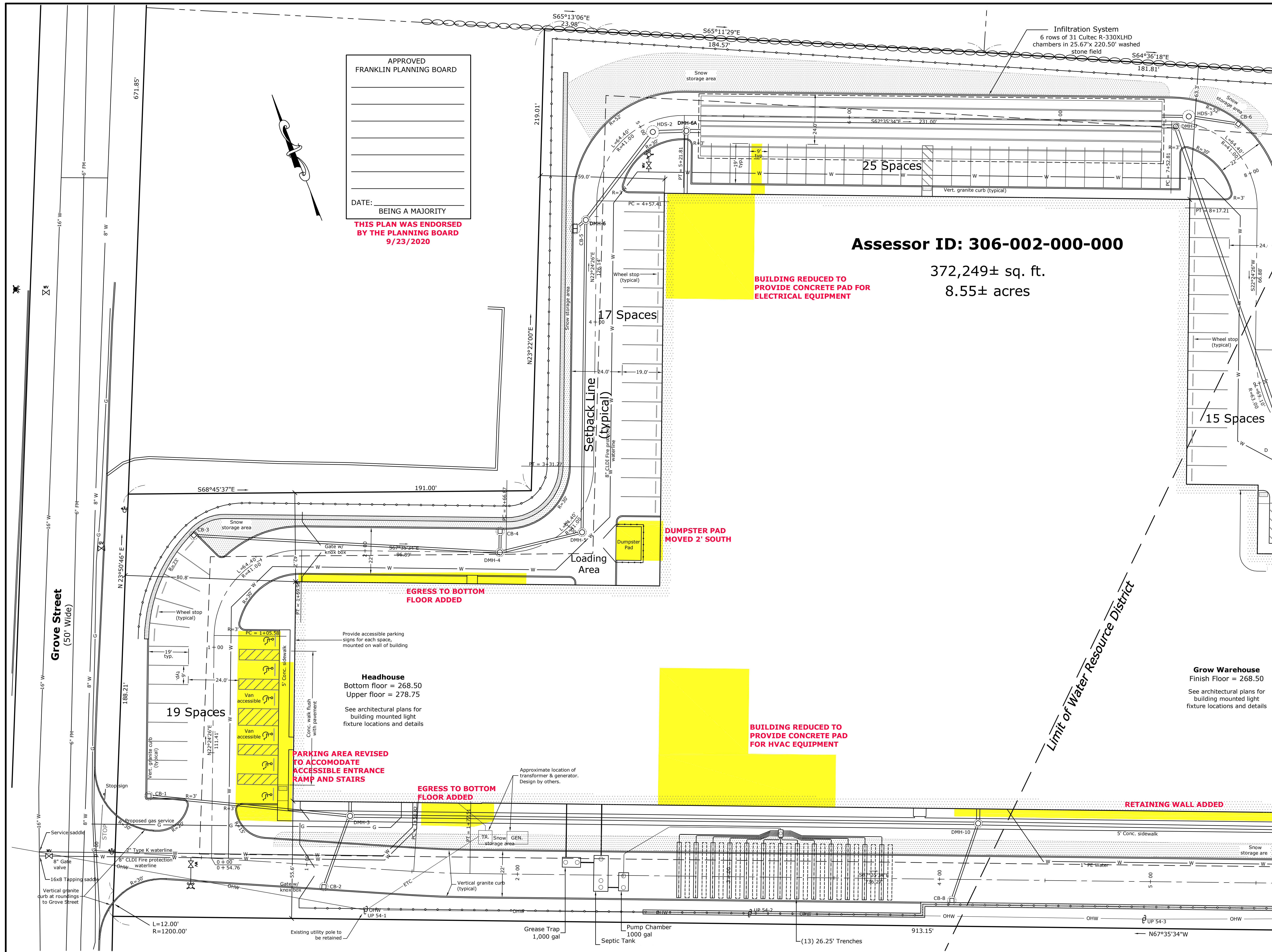
Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

Bellingham
167 Hartord Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144
www.landplanninginc.com

Scale: 1" = 20'
Date: February 14, 2020
Job No.: B2521
Sheet No.: 6



APPROVED
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

**THIS PLAN WAS ENDORSED
BY THE PLANNING BOARD
9/23/2020**

Assessor ID: 306-002-000-000

372,249± sq. ft.
8.55± acres

**BUILDING REDUCED TO
PROVIDE CONCRETE PAD FOR
ELECTRICAL EQUIPMENT**

**DUMPSTER PAD
MOVED 2' SOUTH**

**BUILDING REDUCED TO
PROVIDE CONCRETE PAD
FOR HVAC EQUIPMENT**

Grow Warehouse
Finish Floor = 268.50
See architectural plans for
building mounted light
fixture locations and details

RETAINING WALL ADDED

Headhouse
Bottom floor = 268.50
Upper floor = 278.75
See architectural plans for
building mounted light
fixture locations and details

**PARKING AREA REVISED
TO ACCOMMODATE
ACCESSIBLE ENTRANCE
RAMP AND STAIRS**

**EGRESS TO BOTTOM
FLOOR ADDED**

**Grove Street
(50' Wide)**

Limit of Water Resource District

Site Layout Plan

HENNEP CULTIVATION & PRODUCTION FACILITY

located at
**160 Grove Street
 Franklin, MA**

Owned By
Hennep Properties, LLC
 200 Brookline Ave, #508
 Boston, MA

Prepared for
HENNEP CULTIVATION LLC
 1330 Boylston St Unit 202
 Boston, MA 02215

Scale: 1" = 40'
 Revised June 16, 2020

LEGEND	
	SW STONE WALL
	IPF IRON PIN FOUND
	DHF DRILL HOLE FOUND
	BOUND TO BE SET
	BOUND FOUND
	DRAIN MANHOLE
	CATCH BASIN
	UTILITY POLE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	LIGHT - WALL MOUNTED
	LIGHT - POLE MOUNTED
	SIGN
	ELECT., TEL. & CABLE
	WATER LINE
	SEWER LINE
	GAS LINE
	OVERHEAD WIRE
	FENCE
	GUARD RAIL
	WETLAND FLAG

Norman G. Hill, P.E.
 Date: 2-14-2023
 Norman G. Hill, PE #31887

Land Planning, Inc.
 Civil Engineers • Land Surveyors
 Environmental Consultants

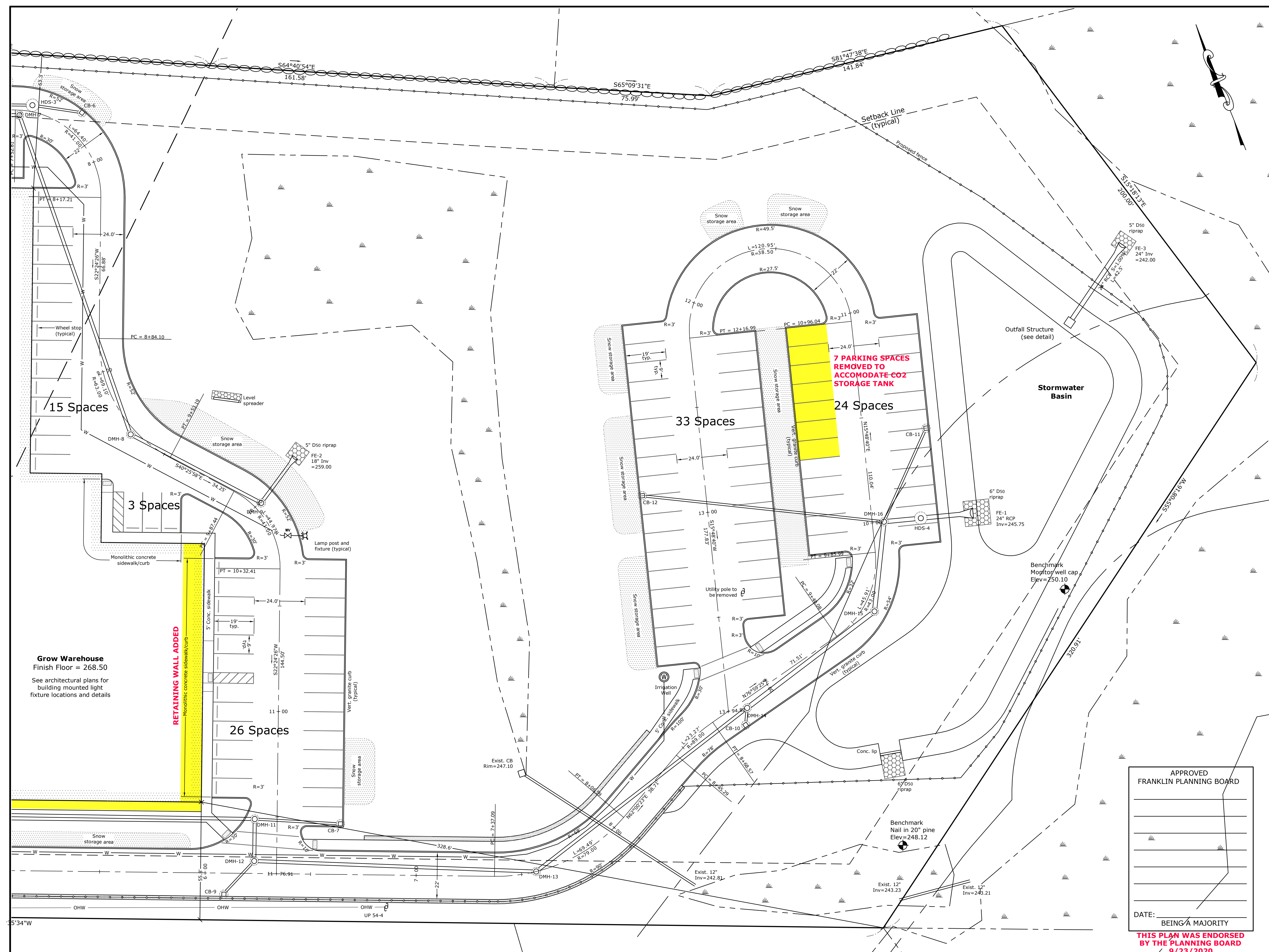
- Bellingham**
 167 Hartord Ave.
 Bellingham, MA 02019
 508-966-4130
- North Grafton**
 214 Worcester St.
 N. Grafton, MA 01536
 508-839-9526
- Hanson**
 1115 Main Street
 Hanson, MA 02341
 781-294-4144
www.landplanninginc.com

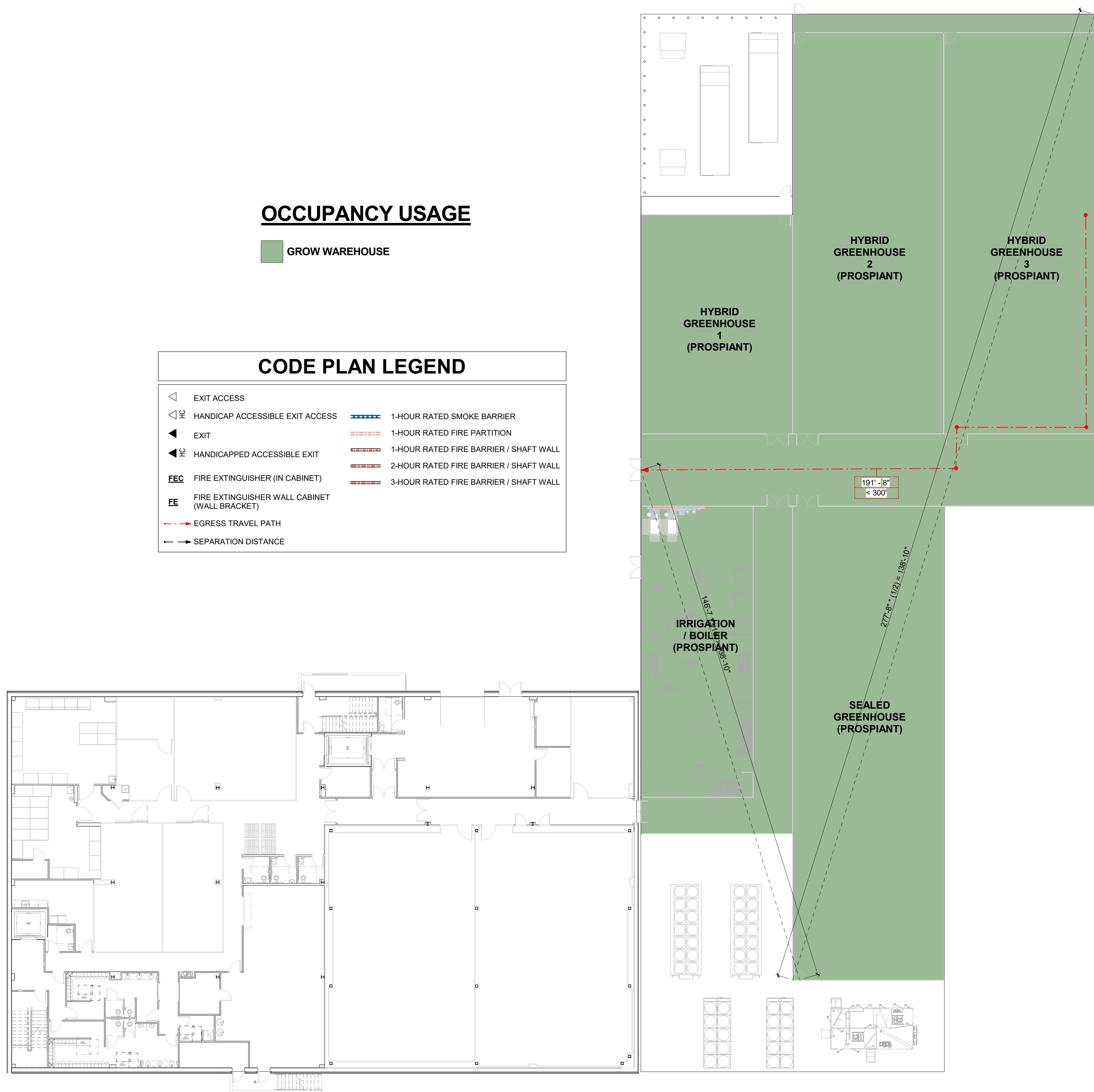
APPROVED
 FRANKLIN PLANNING BOARD

DATE: _____
 BEING A MAJORITY

**THIS PLAN WAS ENDORSED
 BY THE PLANNING BOARD
 9/23/2020**

Scale 1" = 20'	Sheet No. 7
Date February 14, 2020	Job No. B2521





1 GREENHOUSE LEVEL CODE PLAN
A0.2 SCALE: 1/16" = 1'-0"

FOR PLANNING BOARD REVIEW ONLY - 02/14/23

Engel Architects
 1854 Lincoln Highway East
 Lancaster, PA 17602
 717-392-8021 (fax) 717-392-7140

CULTIVATION FACILITY
 for
HENNEP PROPERTIES, LLC
 160 Grove Street
 Franklin, MA 02038

SEAL

THIS DRAWING IS THE PROPERTY OF ENGEL ARCHITECTS. IT MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THEIR PERMISSION. DO NOT SCALE DRAWING. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON SITE PRIOR TO PROCEEDING WITH THE WORK.

PROJECT NO.
18161

MANAGED BY
ERE

DRAWN BY
TSG

REVISIONS		
No.	Date	Description
2	TBD	TBD

DATE
12/20/22

DRAWING TITLE
OVERALL GREENHOUSE CODE PLAN

SHEET NO.
A0.2

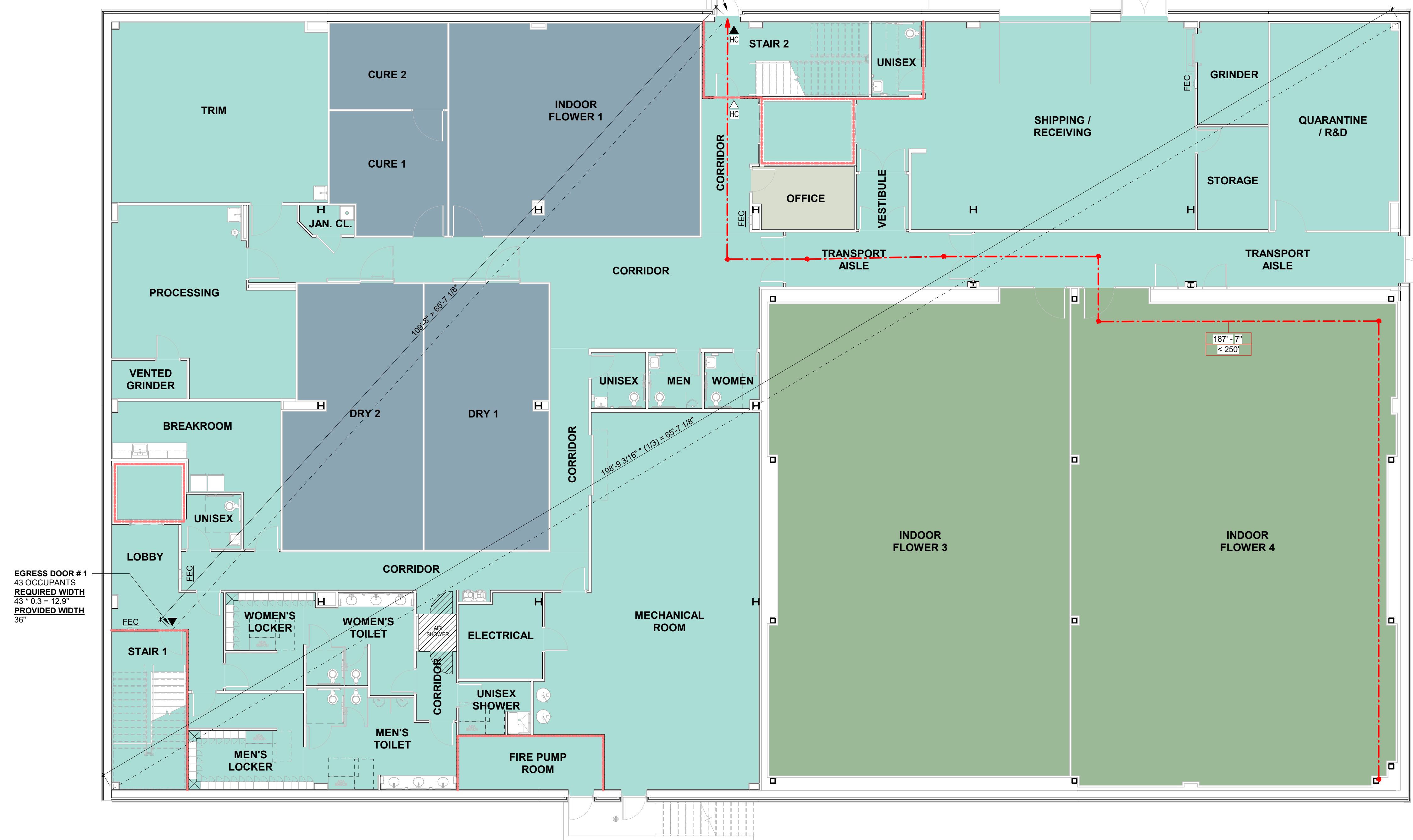
OCCUPANCY USAGE

- GROW WAREHOUSE
- INDUSTRIAL
- OFFICE
- WAREHOUSE

CODE PLAN LEGEND

- EXIT ACCESS
- HANDICAP ACCESSIBLE EXIT ACCESS
- EXIT
- HANDICAPPED ACCESSIBLE EXIT
- FIRE EXTINGUISHER (IN CABINET)
- FIRE EXTINGUISHER WALL CABINET (WALL BRACKET)
- EGRESS TRAVEL PATH
- SEPARATION DISTANCE
- 1-HOUR RATED SMOKE BARRIER
- 1-HOUR RATED FIRE PARTITION
- 1-HOUR RATED FIRE BARRIER / SHAFT WALL
- 2-HOUR RATED FIRE BARRIER / SHAFT WALL
- 3-HOUR RATED FIRE BARRIER / SHAFT WALL

EXIT STAIRTOWER DOOR
44 ENTRANCE LEVEL OCC.
43 GREENHOUSE LEVEL OCC.
44 + 43 = 87 TOTAL OCCUPANTS
REQUIRED WIDTH
87 * 0.3 = 26.1'
PROVIDED WIDTH
36"



EGRESS DOOR # 1
43 OCCUPANTS
REQUIRED WIDTH
43 * 0.3 = 12.9'
PROVIDED WIDTH
36"

1 GREENHOUSE LEVEL CODE PLAN
A0.3 SCALE: 1/8" = 1'-0"

FOR PLANNING BOARD REVIEW ONLY - 02/14/23

Engel Architects
1854 Lincoln Highway East
Lancaster, PA 17602
717-392-8021 (fax) 717-392-7140

CULTIVATION FACILITY
for
HENNEP PROPERTIES, LLC
160 Grove Street
Franklin, MA 02038

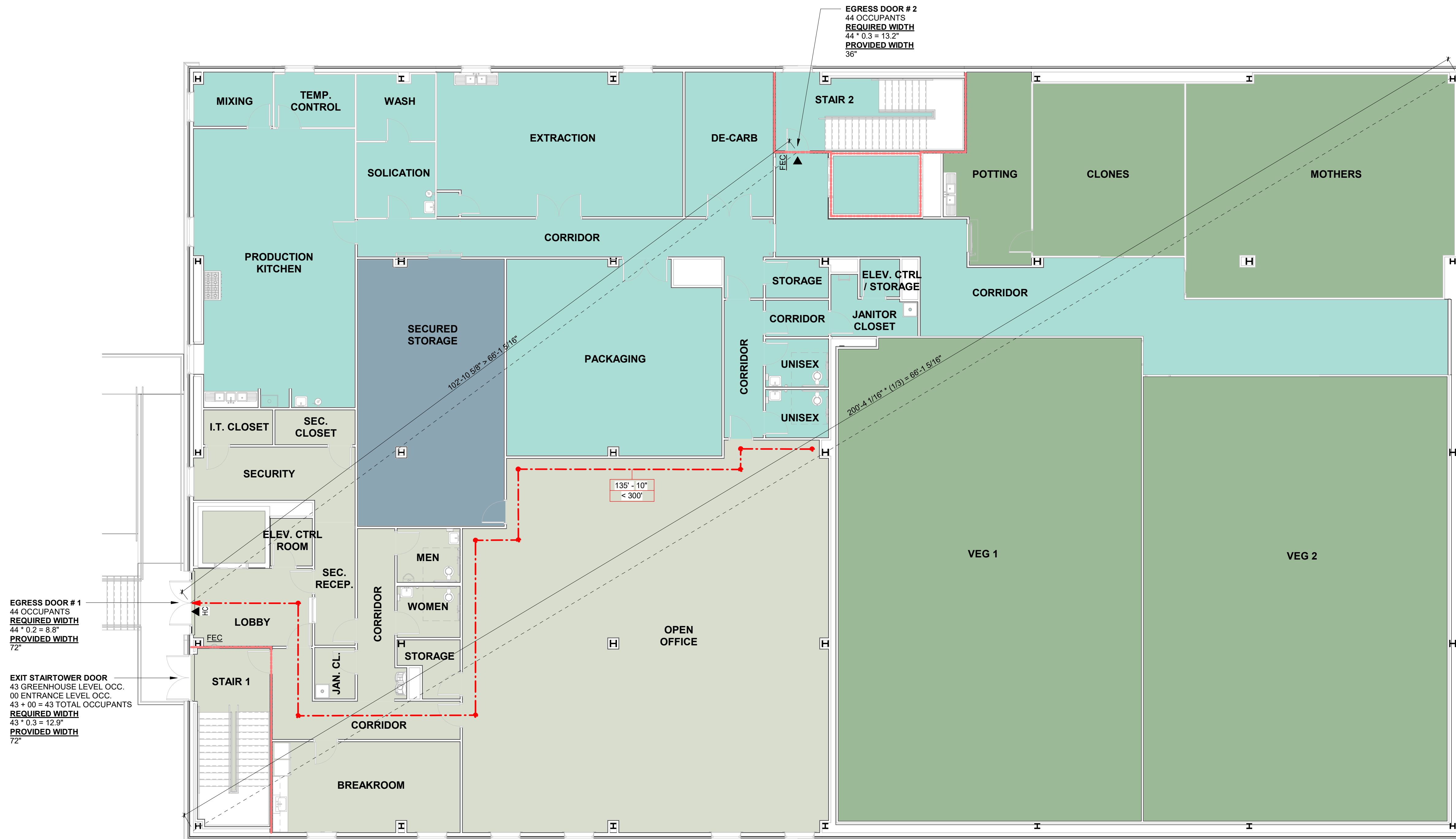
SEAL	
THIS DRAWING IS THE PROPERTY OF ENGEL ARCHITECTS. IT MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THEIR PERMISSION. DO NOT SCALE DRAWING. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON SITE PRIOR TO PROCEEDING WITH THE WORK.	
PROJECT NO.	18161
MANAGED BY	ERE
DRAWN BY	TSG
REVISIONS	
No. Date Description	
2 TBD TBD	
DATE	12/20/22
DRAWING TITLE	GREENHOUSE LEVEL CODE PLAN
SHEET NO.	A0.3

OCCUPANCY USAGE

- GROW WAREHOUSE
- INDUSTRIAL
- OFFICE
- WAREHOUSE

CODE PLAN LEGEND

- EXIT ACCESS
- HANDICAP ACCESSIBLE EXIT ACCESS
- EXIT
- HANDICAPPED ACCESSIBLE EXIT
- FIRE EXTINGUISHER (IN CABINET)
- FIRE EXTINGUISHER WALL CABINET (WALL BRACKET)
- EGRESS TRAVEL PATH
- SEPARATION DISTANCE
- 1-HOUR RATED SMOKE BARRIER
- 1-HOUR RATED FIRE PARTITION
- 1-HOUR RATED FIRE BARRIER / SHAFT WALL
- 2-HOUR RATED FIRE BARRIER / SHAFT WALL
- 3-HOUR RATED FIRE BARRIER / SHAFT WALL



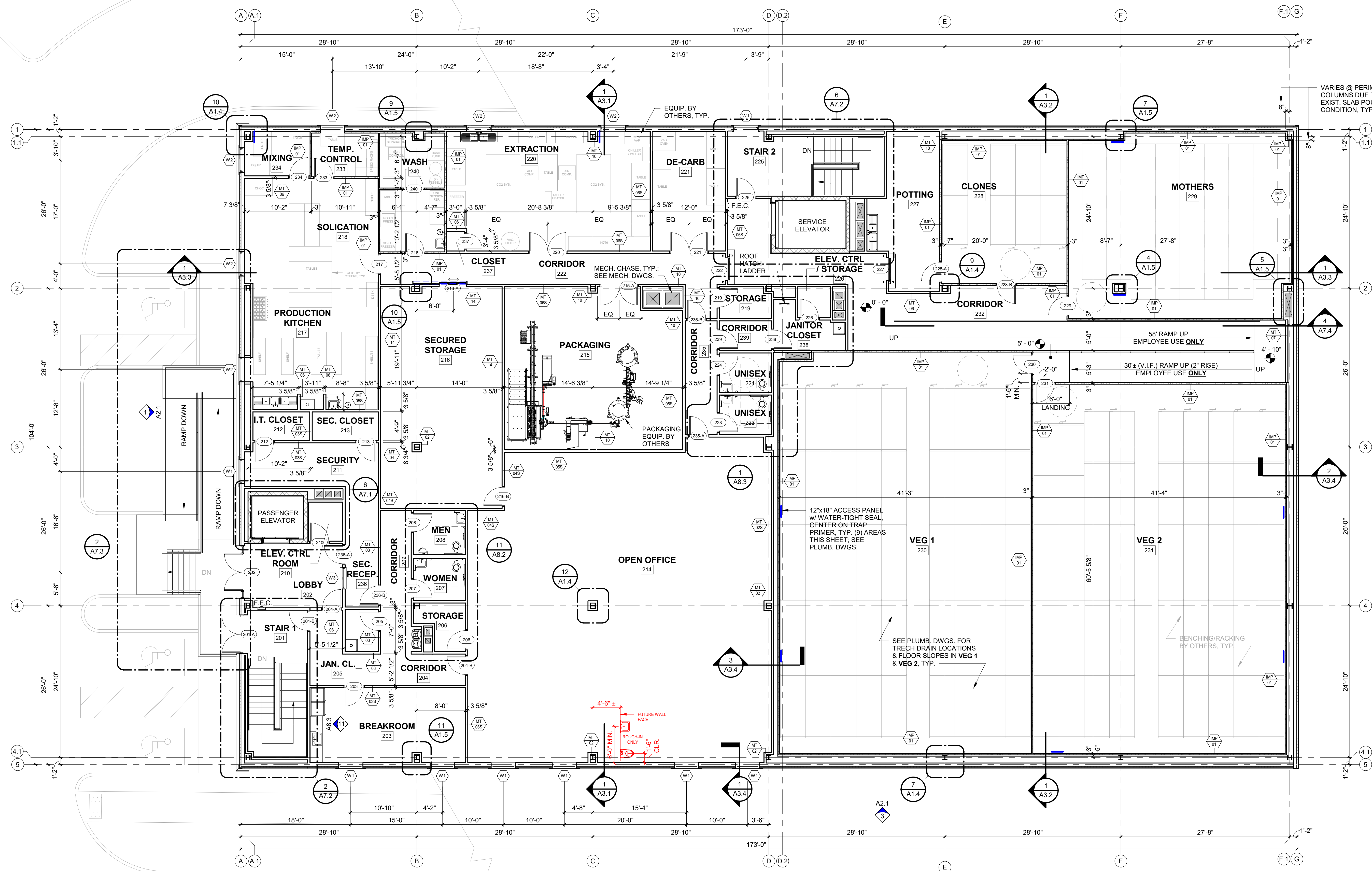
1 ENTRANCE LEVEL - CODE PLAN
A0.4 SCALE: 1/8" = 1'-0"

FOR PLANNING BOARD REVIEW ONLY - 02/14/23

Engel Architects
1854 Lincoln Highway East
Lancaster, PA 17602
717-392-8021 (fax) 717-392-7140

CULTIVATION FACILITY
for
HENNEP PROPERTIES, LLC
160 Grove Street
Franklin, MA 02038

SEAL							
THIS DRAWING IS THE PROPERTY OF ENGEL ARCHITECTS. IT MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THEIR PERMISSION. DO NOT SCALE DRAWING. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON SITE PRIOR TO PROCEEDING WITH THE WORK.							
PROJECT NO.	18161						
MANAGED BY	ERE						
DRAWN BY	TSG						
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>TBD</td> <td>TBD</td> </tr> </tbody> </table>	No.	Date	Description	2	TBD	TBD
No.	Date	Description					
2	TBD	TBD					
DATE	12/20/22						
DRAWING TITLE	ENTRANCE LEVEL CODE PLAN						
SHEET NO.	A0.4						



FOR PLANNING BOARD REVIEW ONLY - 02/14/23

SEAL

THIS DRAWING IS THE PROPERTY OF ENGEL ARCHITECTS. IT MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THEIR PERMISSION. DO NOT SCALE DRAWING. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON SITE PRIOR TO PROCEEDING WITH THE WORK.

PROJECT NO.
18161

MANAGED BY
ERE

DRAWN BY
TSG

REVISIONS

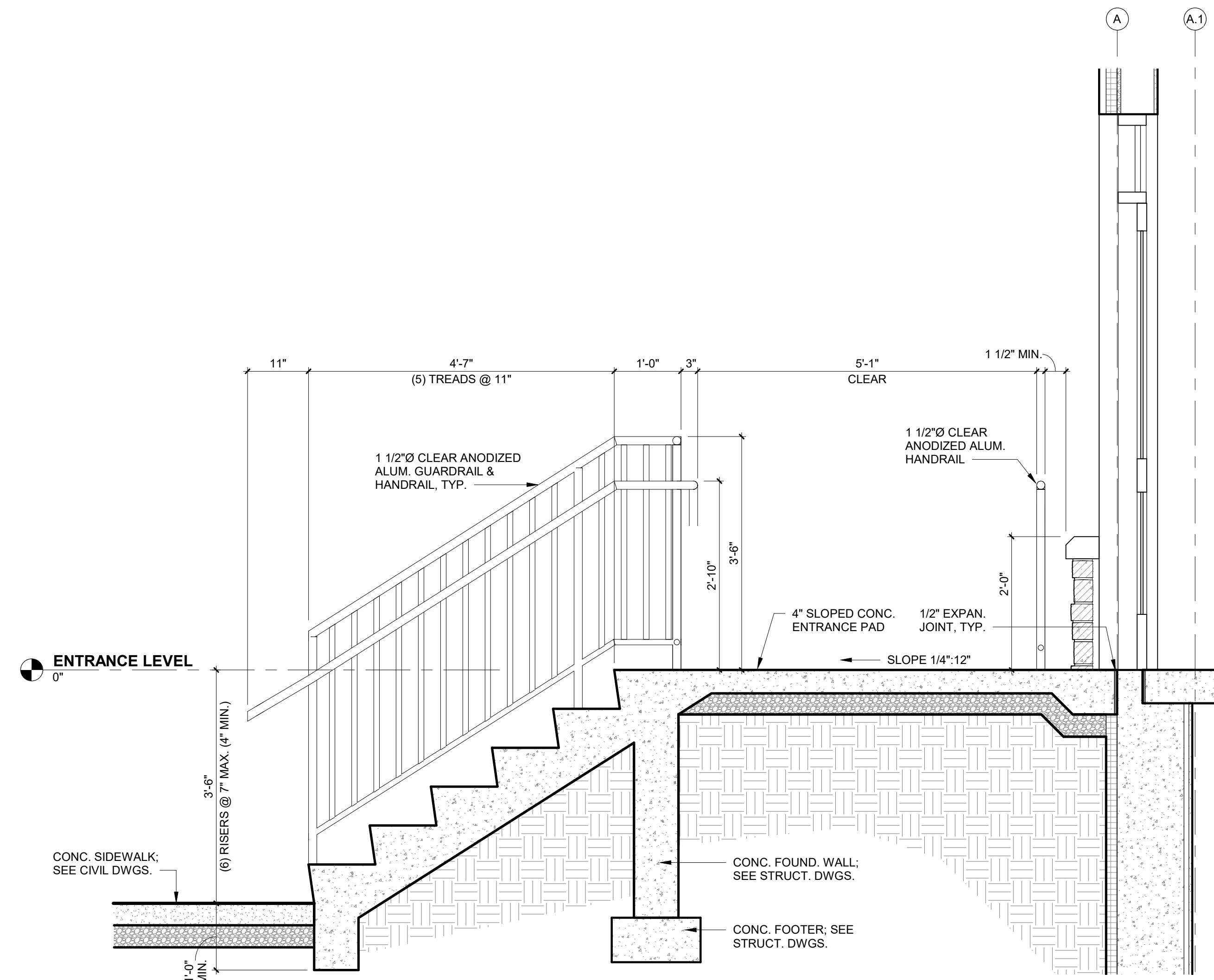
No.	Date	Description
1	01/30/23	ADDENDUM #1
2	TBD	TBD

DATE
12/20/22

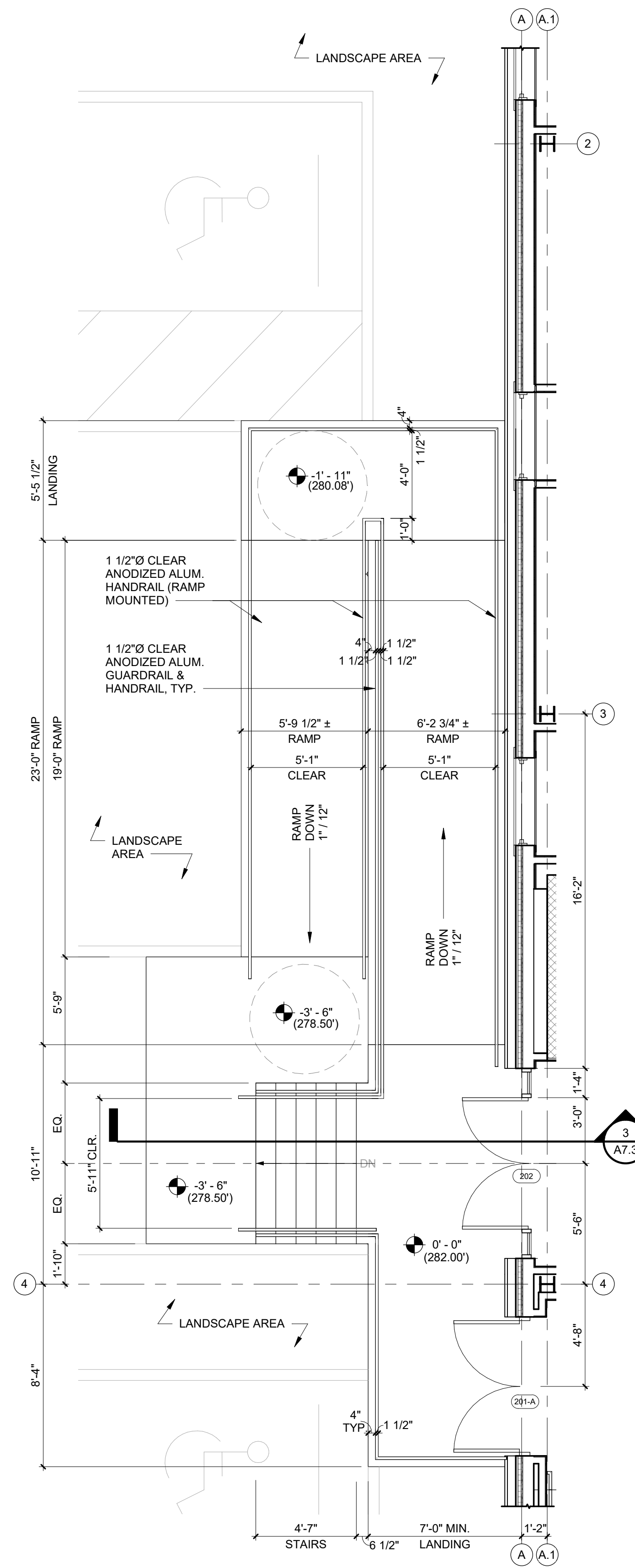
DRAWING TITLE
ENTRANCE LEVEL PLAN

SHEET NO.

A1.3



3 FRONT LANDING & STEPS @ FRONT DOOR SECTION
A7.3 SCALE: 3/4" = 1'-0"



2 ENLARGED ENTRANCE RAMP PLAN
A7.3 SCALE: 1/4" = 1'-0"

FOR PLANNING BOARD REVIEW ONLY - 02/14/23

SEAL

THIS DRAWING IS THE PROPERTY OF ENGEL ARCHITECTS. IT MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THEIR PERMISSION. DO NOT SCALE DRAWING. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON SITE PRIOR TO PROCEEDING WITH THE WORK.

PROJECT NO.
18161

MANAGED BY
ERE

DRAWN BY
TSG

REVISIONS

No.	Date	Description
1	01/30/23	ADDENDUM #1
2	TBD	TBD

DATE
12/20/22

DRAWING TITLE
VERTICAL CIRCULATION

SHEET NO.

A7.3