

NOTICE OF INTENT

**Site Plan
175 East Central Street
Franklin Ford
Franklin, MA**

**Under the Massachusetts Wetlands Protection Act
M.G.L. Chapter 131, Section 40
And
The Franklin Wetlands Protection By-Law
Franklin Town Code Section 181**

PREPARED FOR

**Franklin Ford, LLC
175 East Central Street
Franklin, MA 02038**

PREPARED BY

**UNITED CONSULTANTS, INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093**

May 6, 2022

United Consultants, Inc.

850 Franklin Street Suite 11D

Wrentham, MA 02093

508-384-6560 FAX 508-384-6566

May 6, 2022

Town of Franklin Conservation Commission

355 East Central Street

Franklin, Massachusetts 02038

RE: 175 East Central Street – Franklin Ford – Functions and Characteristics Assessment

Dear Commission Members,

The proposed project consists of the construction of an addition to the existing building. A portion of the existing parking area will be removed for the addition. The parking area will be expanded and a stormwater management system will be constructed. Grading and landscaping will also be completed

The following is a functions and characteristics assessment of the proposed project in accordance with the Town of Franklin Conservation Commission Wetlands Protection Bylaw.

1. Public water supply.

The developed portion of the site is located approximately 2,900 feet from the nearest public well. The site is not located within the 400' zone I to the well. The project includes a stormwater system for the building addition and most of the parking area which has been designed to comply with the Massachusetts Storm-water standards. Based on the above no adverse impact to public water supplies is anticipated.

2. Private water supply.

The existing building and the proposed addition will be serviced by municipal water and municipal sewer. The abutting developed properties are supplied with town water. No impact to private water supplies is anticipated.

3. Ground water.

The storm-water system has been designed to comply with the Massachusetts Storm-water standards. No impact to groundwater is anticipated.

4. Flood Control.

There is not a proposed filling of bordering land subject to flooding proposed. The stormwater system has been designed to reduce both the rate and volume of stormwater runoff from the site after construction. Based on this the project should not impact the flood plain.

5. Erosion and Sedimentation Control.

A compost sock has been proposed to encapsulate the work area located on the lot. No material stockpiles will be allowed within the buffer zone. Disturbed area stabilization and plantings have been included on the site plans. Based on the above the project should adequately address the erosion and sedimentation control.

6. Storm Damage Prevention.

The installation of the compost sock and the stabilization of the site should minimize the affects from the project during construction. Additionally, the addition will be built in an area that is currently asphalt pavement. The storm-water systems will reduce the storm-water rate and volume of runoff. The vegetative stabilization of the site will assist with storm-water attenuation and reduce erosion. Based on the above there are not any impacts based on storm damage anticipated.

7. Water Quality.

The installation of the compost sock will prevent silt laden runoff from entering the bordering vegetated wetlands. The vegetative stabilization shall minimize the affects of the project on water quality upon completion of the project. Based on the above no adverse impact are anticipated.

8. Water Pollution Control.

The proposed addition being built in a area that is currently asphalt pavement and the addition of a curb to direct the stormwater to the proposed stormwater system shall improve the water quality sat the site. No filling of bordering vegetated wetlands are being proposed which should minimize the affects on water pollution control. The installation of compost sock and stabilization of the site should minimize the affects to water pollution during construction. The vegetative stabilization shall minimize the affects of the project on water pollution upon completion. The building will be connected to municipal sewer. Based on the above no adverse impacts are anticipated.

9. Fisheries.

The installation of the compost sock will prevent silt laden runoff from entering the bordering vegetated wetlands. Upon completion of the project, which will include adequate vegetative cover the owner will be responsible for maintaining the site vegetation. Based on the above no adverse impacts are anticipated.

10. Shellfish.

Not applicable.

11. Wildlife Habitat.

The project is mostly located within a previously disturbed area consisting of asphalt paving and gravel parking areas.

12. Rare Species Habitat Including Rare Plant Species.

The project is not located within a rare species habitat as shown on the Natural Heritage data layer on the MASSGIS website.

13. Agriculture.

There are not any current agricultural uses located on the property.

14. Aquaculture.

There are not any current aquaculture uses located on the property.

15. Recreation.

The project is located on private property. The proposed work will not impact the public's recreational opportunities to access the private property.

United Consultants, Inc.

850 Franklin Street Suite 11D
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508-384-6560 FAX 508-384-6566

Washington Street
Franklin Flex Space
Project Narrative

Project Narrative / Mitigation Plan

The site is currently an automobile dealership with an asphalt paved parking area and a gravel area. The project includes a building addition within the existing asphalt paved area, an expansion of the asphalt parking area and the installation of a stormwater management system. The parking lot, grading and stormwater management system is located within the buffer zone of a bordering vegetated wetland. The stormwater system has been designed to reduce the rate and volume of runoff after construction.

The proposed project will be located within the 50 foot to 100 foot buffer zone. The existing gravel parking area will be loamed and seeded which will occur within the 25 foot to 50 foot buffer zone. Upon completion of construction the areas within the compost sock / limit of work will be loamed and seeded or landscaped with plantings and mulch.

The proposed project will not adversely impact the buffer zone resource due to the storm-water system being designed to comply with the Massachusetts Storm-water Standards. Particularly the storm-water systems will attenuate peak flows and will provide a reduction of the rate and volume of runoff in the three storm events that were analyzed (2 year, 10 year and 100 year storm events.) The required volume of recharge has been calculated and provided in the infiltration pond.

During construction the bordering vegetated wetlands will be protected by the compost sock and the resulting interception of silt latent runoff. Upon completion of construction the remaining areas within the compost sock / limit of work will be loamed and seeded or landscaped with plantings and mulch.

The project is scheduled to be completed within one year after all necessary permits are obtained.

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508-384-6560 FAX 508-384-6566

May 6, 2022

Town of Franklin Conservation Commission
355 East Central Street
Franklin, Massachusetts 02038

RE: 175 East Central Street – Franklin Ford – Resource Area Disturbances

Dear Commission Members,

The proposed project consists of the construction of building addition, the expansion of the asphalt parking areas and a storm-water management systems, utility installation, grading and landscaping. Portions of the parking areas will be located within the 50 to 100 foot buffer zone area. The existing gravel area within the 25 foot to 100 foot buffer zone will be loamed and seeded. Upon completion of construction the areas within the compost sock / limit of work will be loamed and seeded or landscaped with plantings and mulch.

The following is a list of resource are disturbances:

Bordering Vegetate Wetlands: 0 S. F.

Bank: 0 L.F.

Land Under Water Bodies: 0 S.F.

Isolated Wetlands: 0 S.F.

Vernal Pool: 0 S.F.

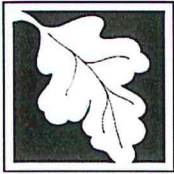
Buffer Zone 0 – 25' – 0 S.F.

Buffer Zone: 25' – 50' – 1,429 S.F.

Buffer Zone: 50' to 100' – 8,501 S.F.

Riverfront: 0 S.F.

100 Yr. Floodplain: 0 S.F OR Cubic Feet



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

 MassDEP File Number

 Document Transaction Number
 Franklin

 City/Town

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

| | | |
|------------------------------|-----------------------|--------------|
| 175 East Central Street | Franklin | 02038 |
| a. Street Address | b. City/Town | c. Zip Code |
| Latitude and Longitude: | 42.08165 | 71.38929 |
| | d. Latitude | e. Longitude |
| 285 | 090-000-000 | |
| f. Assessors Map/Plat Number | g. Parcel /Lot Number | |

2. Applicant:

| | | |
|-------------------------|---------------|------------------|
| _____ | _____ | |
| a. First Name | b. Last Name | |
| Franklin Ford, LLC | | |
| c. Organization | | |
| 175 East Central Street | | |
| d. Street Address | | |
| Franklin | MA | 02038 |
| e. City/Town | f. State | g. Zip Code |
| 1-888-651-0091 | _____ | _____ |
| h. Phone Number | i. Fax Number | j. Email Address |

3. Property owner (required if different from applicant): Check if more than one owner

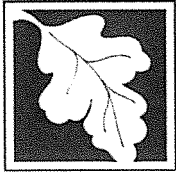
| | | |
|-------------------|---------------|------------------|
| _____ | _____ | |
| a. First Name | b. Last Name | |
| _____ | | |
| c. Organization | | |
| _____ | | |
| d. Street Address | | |
| _____ | _____ | _____ |
| e. City/Town | f. State | g. Zip Code |
| _____ | _____ | _____ |
| h. Phone Number | i. Fax Number | j. Email address |

4. Representative (if any):

| | | |
|-------------------------------|---------------|------------------|
| Richard | Goodreau | |
| a. First Name | b. Last Name | |
| United Consultants, Inc. | | |
| c. Company | | |
| 850 Franklin Street Suite 11D | | |
| d. Street Address | | |
| Wrentham | MA | 02093 |
| e. City/Town | f. State | g. Zip Code |
| 508-384-6560 | 508-384-6566 | rick@uci850.com |
| h. Phone Number | i. Fax Number | j. Email address |

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

| | | |
|-------------------|-------------------|-----------------------|
| 500 | 237.50 | 262.50 |
| a. Total Fee Paid | b. State Fee Paid | c. City/Town Fee Paid |



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A. General Information (continued)

6. General Project Description:

Expansion of a parking lot and construction of a stormwater management system.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

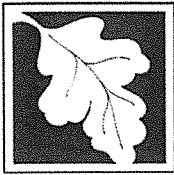
8. Property recorded at the Registry of Deeds for:

| | | | |
|-----------|-------|---------------------------------------|-------|
| Norfolk | _____ | b. Certificate # (if registered land) | _____ |
| a. County | _____ | | |
| 28674 | _____ | 487 | _____ |
| c. Book | _____ | d. Page Number | _____ |

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

| <u>Resource Area</u> | <u>Size of Proposed Alteration</u> | <u>Proposed Replacement (if any)</u> |
|--|--|--------------------------------------|
| a. <input type="checkbox"/> Bank | 1. linear feet | 2. linear feet |
| b. <input type="checkbox"/> Bordering Vegetated Wetland | 1. square feet | 2. square feet |
| c. <input type="checkbox"/> Land Under Waterbodies and Waterways | 1. square feet 3. cubic yards dredged | 2. square feet |

| <u>Resource Area</u> | <u>Size of Proposed Alteration</u> | <u>Proposed Replacement (if any)</u> |
|--|---|--|
| d. <input type="checkbox"/> Bordering Land Subject to Flooding | 1. square feet 3. cubic feet of flood storage lost | 2. square feet 4. cubic feet replaced |
| e. <input type="checkbox"/> Isolated Land Subject to Flooding | 1. square feet 2. cubic feet of flood storage lost | 3. cubic feet replaced |

- f. Riverfront Area
1. Name of Waterway (if available) - specify coastal or inland _____
2. Width of Riverfront Area (check one):
- 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

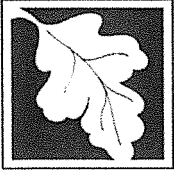
a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

| <u>Resource Area</u> | <u>Size of Proposed Alteration</u> | <u>Proposed Replacement (if any)</u> |
|---|--|--|
| a. <input type="checkbox"/> Designated Port Areas | Indicate size under Land Under the Ocean, below | |
| b. <input type="checkbox"/> Land Under the Ocean | 1. square feet _____ | |
| | 2. cubic yards dredged _____ | |
| c. <input type="checkbox"/> Barrier Beach | Indicate size under Coastal Beaches and/or Coastal Dunes below | |
| d. <input type="checkbox"/> Coastal Beaches | 1. square feet _____ | 2. cubic yards beach nourishment _____ |
| e. <input type="checkbox"/> Coastal Dunes | 1. square feet _____ | 2. cubic yards dune nourishment _____ |

| | <u>Size of Proposed Alteration</u> | <u>Proposed Replacement (if any)</u> |
|---|---|--|
| f. <input type="checkbox"/> Coastal Banks | 1. linear feet _____ | |
| g. <input type="checkbox"/> Rocky Intertidal Shores | 1. square feet _____ | |
| h. <input type="checkbox"/> Salt Marshes | 1. square feet _____ | 2. sq ft restoration, rehab., creation _____ |
| i. <input type="checkbox"/> Land Under Salt Ponds | 1. square feet _____ | |
| | 2. cubic yards dredged _____ | |
| j. <input type="checkbox"/> Land Containing Shellfish | 1. square feet _____ | |
| k. <input type="checkbox"/> Fish Runs | Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above | |
| | 1. cubic yards dredged _____ | |
| l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage | 1. square feet _____ | |

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

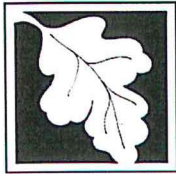
_____ a. square feet of BVW

_____ b. square feet of Salt Marsh

5. Project Involves Stream Crossings

_____ a. number of new stream crossings

_____ b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
 Division of Fisheries and Wildlife
 1 Rabbit Hill Road
 Westborough, MA 01581

May 2022
 b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage

2. Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects not in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/mass-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and *mail to NHESP* at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site

- (e) Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. Project is exempt from MESA review.
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
 Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

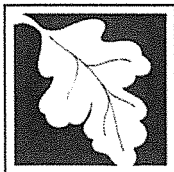
Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 836 South Rodney French Blvd.
 New Bedford, MA 02744
 Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection
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C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

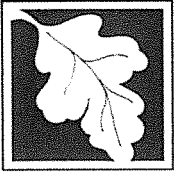
D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Site Plan Franklin Ford

a. Plan Title

United Consultants, Inc

Carlos Quintal

b. Prepared By

c. Signed and Stamped by

April 14, 2022

1" 40

d. Final Revision Date

e. Scale

Stormwater Report

April 14, 2022

f. Additional Plan or Document Title

g. Date

- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

37904

2. Municipal Check Number

May 17, 2022

3. Check date

37905

4. State Check Number

May 17, 2022

5. Check date

Franklin Ford Sales

6. Payor name on check: First Name

7. Payor name on check: Last Name



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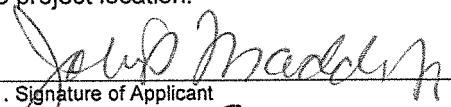
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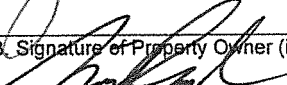
F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.


1. Signature of Applicant

5/17/2022
2. Date


3. Signature of Property Owner (if different)

5/17/2022
4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

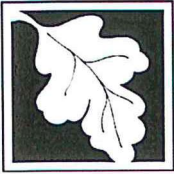
For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

175 East Central Street

a. Street Address

37905

c. Check number

Franklin

b. City/Town

237.50

d. Fee amount

2. Applicant Mailing Address:

a. First Name

Franklin Ford, LLC

c. Organization

175 East Central Street

d. Mailing Address

Franklin

e. City/Town

1-888-651-0091

h. Phone Number

i. Fax Number

MA

f. State

02038

g. Zip Code

j. Email Address

3. Property Owner (if different):

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

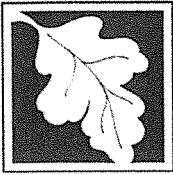
Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



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 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

| Step 1/Type of Activity | Step 2/Number of Activities | Step 3/Individual Activity Fee | Step 4/Subtotal Activity Fee |
|----------------------------------|-----------------------------|--------------------------------|------------------------------|
| Parking Lot | 1 | 500 | 500 |
| _____ | _____ | _____ | _____ |
| _____ | _____ | _____ | _____ |
| _____ | _____ | _____ | _____ |
| _____ | _____ | _____ | _____ |
| _____ | _____ | _____ | _____ |
| _____ | _____ | _____ | _____ |
| _____ | _____ | _____ | _____ |
| Step 5/Total Project Fee: | | | <u>500</u> |

Step 6/Fee Payments:

| | |
|---------------------------------|-------------------------------|
| Total Project Fee: | <u>500</u> |
| State share of filing Fee: | <u>237.50</u> |
| City/Town share of filling Fee: | <u>262.50</u> |
| | a. Total Fee from Step 5 |
| | b. 1/2 Total Fee less \$12.50 |
| | c. 1/2 Total Fee plus \$12.50 |

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and a copy of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)