

SITE PLAN

175 EAST CENTRAL STREET

FRANKLIN MASSACHUSETTS



LOCUS MAP
SCALE: 1" = 100'

- WAIVER REQUESTED:
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
 2. TO ALLOW THE USE OF HDPE PIPE FOR THE, ROOF DRAIN MANIFOLDS AND POND 1.
 3. TO ALLOW MINIMAL LIGHT SPILLAGE ONTO THE CHESTNUT STREET RIGHT OF WAY.

ZONING:

THE FRANKLIN FORD SITE IS LOCATED WITHIN A COMMERCIAL II ZONE.

REQUIREMENTS:	EXISTING	PROPOSED
INDUSTRIAL ZONE		
AREA:	40,000 S.F.	226,697± S.F.
FRONTAGE:	175'	243.21'
DEPTH:	200'	759±'
HEIGHT:	3 STORIES 40'	21.1' - 1 STORY
WIDTH:	157.5'	> 157.5'
COVERAGE -		
STRUCTURES:	70%	12.1%
STRUC. & PAVING:	80%	66.6%
SETBACKS-		
FRONT:	40'	55.9'
RIGHT SIDE:	30'	54.1'
LEFT SIDE:	30'	20'
REAR:	30'	37.8'

LOT COVERAGE CALCULATION AREA BASED ON UPLAND AREA

THE ENTIRE PROPERTY IS LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT AND A DEP ZONE II. THE SITE AREA PROPOSED FOR DEVELOPMENT IS LOCATED IN A ZONE X BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

AREA WITHIN THE WATER RESOURCE DISTRICT - 226,697± SQ. FT.
 UPLAND AREA WITHIN THE WATER RESOURCE DISTRICT - 177,773± SQ. FT.
 IMPERVIOUS AREA WITHIN THE WATER RESOURCE DISTRICT - 135,580± SQ. FT.
 COVERAGE WITHIN THE WATER RESOURCE DISTRICT - = 76.3%

FRANKLIN FORD:
 BUILDING USE - AUTOMOBILE DEALERSHIP.

REFERENCES:

- ASSESSORS MAP 285 PARCEL 090-000-000
- DEED BOOK 28674 PAGE 487
- ASSESSORS MAP 285 PARCEL 092-000-000
- DEED BOOK 3788 PAGE 197
- PLAN 826 OF 1997
- LIMITED SITE PLAN FRANKLIN FORD, LLC DATED SEPTEMBER 11, 2013 AND ENDORSED ON OCTOBER 21, 2013.

DRAWING INDEX:

1. COVER SHEET
 2. EXISTING CONDITIONS PLAN
 3. SITE LAYOUT PLAN
 4. SITE GRADING AND UTILITY PLAN
 5. SITE GRADING AND UTILITY PLAN RE-DEVELOPMENT AREA
 6. SITE PLANTING PLAN
 7. EROSION CONTROL PLAN
 8. CONSTRUCTION DETAILS - 1
 9. CONSTRUCTION DETAILS - 2
 10. CONSTRUCTION DETAILS - 3
- SITE LIGHTING-LIGHTING PLAN,
 PHOTOMETRICS AND SCHEDULES
 BY SK & ASSOCIATES

OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

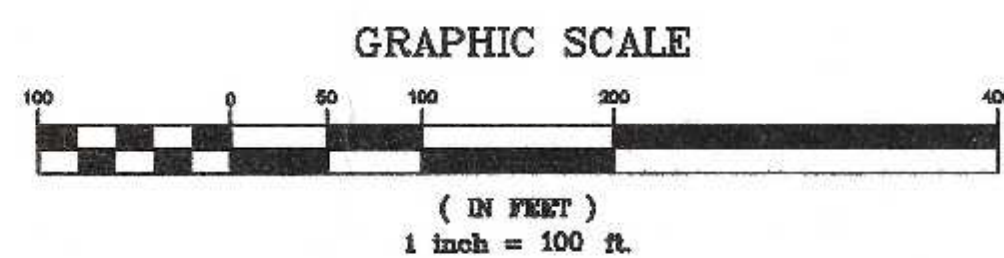
MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 COVER SHEET
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY
2	9/12/22	BETA REVIEW COMMENTS	RRG
1	8/4/22	REVIEW COMMENTS	RRG



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4/22	CHECKED BY:	CAQ

UNITED
CONSULTANTS
INC.

850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8560 FAX 508-384-8566

DATE	APRIL 14, 2022
SCALE	1" = 200'
PROJECT	UC1007
SHEET	1 of 10

MARCH 25, 2022
 PERFORMED BY:
 CARLOS A. QUINTAL, P.E., SOIL EVALUATOR
 RICHARD GOODREAU

TP #1 ELEV. = 90.35
 0 - 76" MISCELLANEOUS FILL
 76" - 140" C - 2.5 YR 4/4 STRATIFIED
 SAND & GRAVEL
 ELEV = 78.88

NO GROUNDWATER OR MOTTLING OBSERVED
 PT 1 ELEV. = 83.85
 PERMEABILITY RATE = 26.88 IN/HR

TP #2 ELEV. = 90.6
 0 - 36" MISCELLANEOUS FILL
 36" - 120" C - 2.5Y 6/4 MEDIUM SAND
 ELEV = 80.6

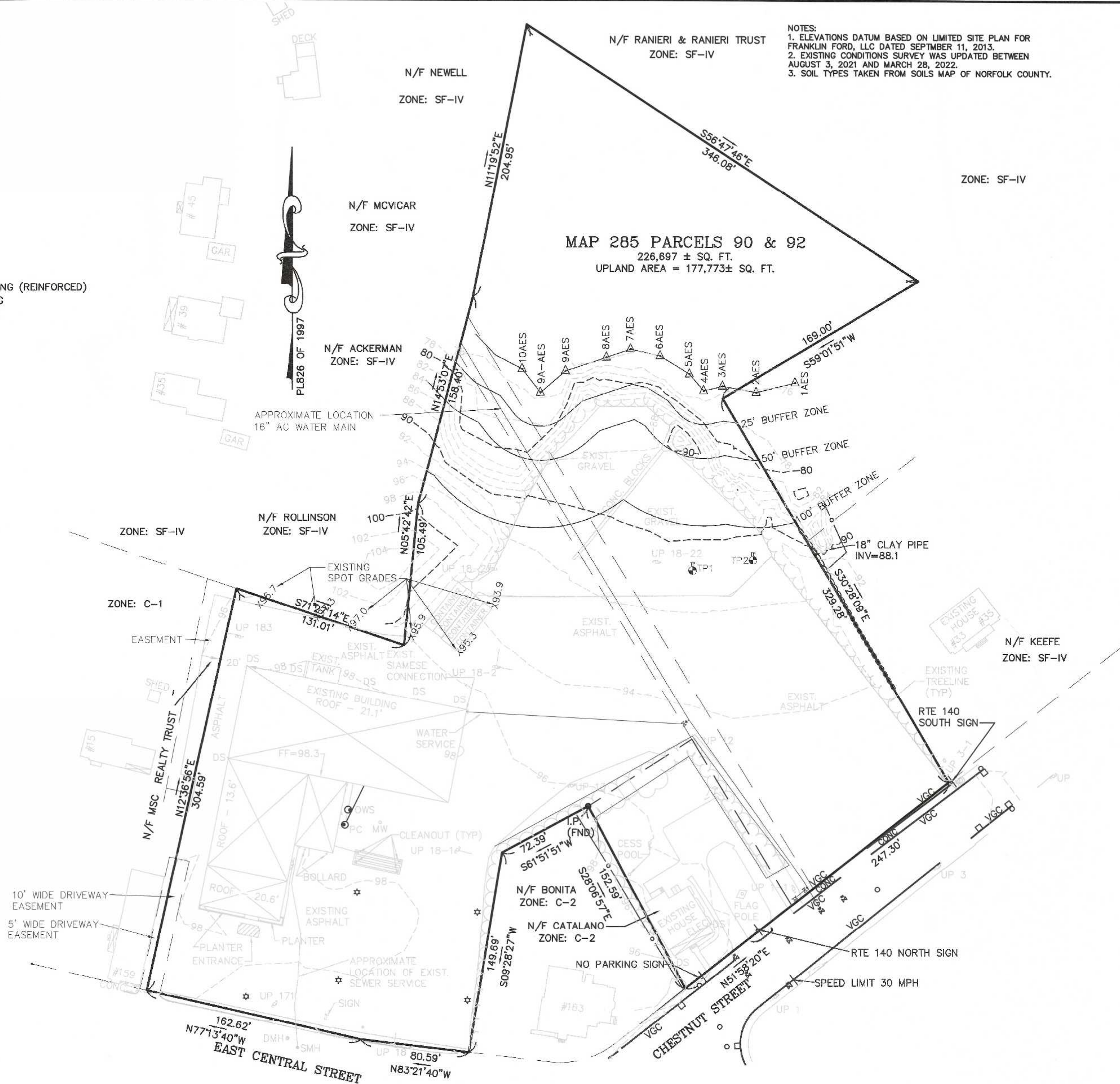
NO GROUNDWATER OR MOTTLING OBSERVED
 PT 2 ELEV. = 90.43
 PERMEABILITY RATE = 11.16 IN/HR

LEGEND:

- SBDH DRILL HOLE STONE BOUND
- SSM STEEL SURVEY MARKER
- 297- EXISTING COUNTOUR
- 297- PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- EXIST. TREE LINE
- U-P-262 UTILITY POLE
- OHW OVERHEAD WIRES
- GAS GATE
- WATER CURB STOP
- WATER GATE
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- CLEANOUT
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT
- R=5' CURB RADIUS
- PARKING SPACE COUNT
- SIGN
- OB BOLLARD

NOTES:

1. ELEVATIONS DATUM BASED ON LIMITED SITE PLAN FOR FRANKLIN FORD, LLC DATED SEPTEMBER 11, 2013.
2. EXISTING CONDITIONS SURVEY WAS UPDATED BETWEEN AUGUST 3, 2021 AND MARCH 28, 2022.
3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

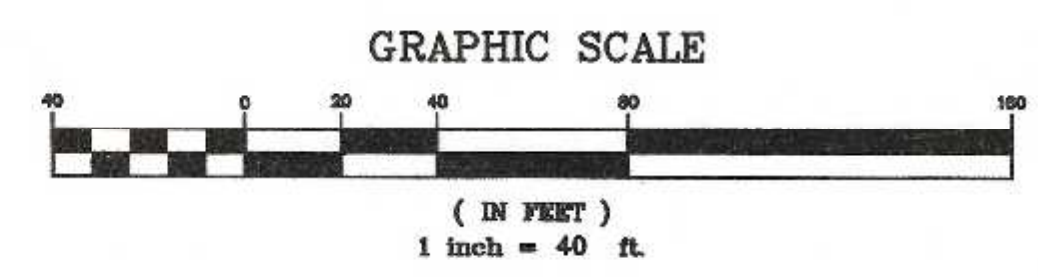


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 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
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SITE PLAN
EXISTING CONDITIONS PLAN
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
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ANDREW C. MURPHY
 P.L.S. #35042
 9/15/22

DATE	FIELD BY:	INT.
8/21	BL	
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4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
 860 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE
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PARKING CALCULATIONS:

ZONING BYLAW SECTION 185-21B.(3)(b)ii - RETAILING - 1
SPACE PER 200 SQUARE FEET OF GROSS FLOOR AREA.
3,81 SQ. FT / 200 = 16 SPACES

ZONING BYLAW SECTION 185-21B.(3)(b)iii - OTHER OFFICES
AND BANKS - 1 SPACE PER 250 SQUARE FEET OF GROSS
FLOOR AREA.
2,548 SQ. FT / 250 = 11 SPACES

ZONING BYLAW SECTION 185-21B.(3)(b)vi - WAREHOUSE - 1
SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA.
23,702 SQ. FT. / 1,000 = 24 SPACES

51 SPACES REQUIRED

192 SPACES PROPOSED INCLUDING 6 HANDICAP SPACES.

SPACES 9 THROUGH 20 ARE PROPOSED TO BE UTILIZED FOR
VEHICLE DISPLAY AND DO NOT HAVE DIRECT ACCESS

180 SPACES ARE PROVIDED WITH DIRECT ACCESS.

DIMENSION NOTES:

1. ALL PARKING SPACES ARE TO BE 9' x 19'
2. ALL ACCESS AISLES ARE TO BE A MINIMUM OF 24' WIDE.

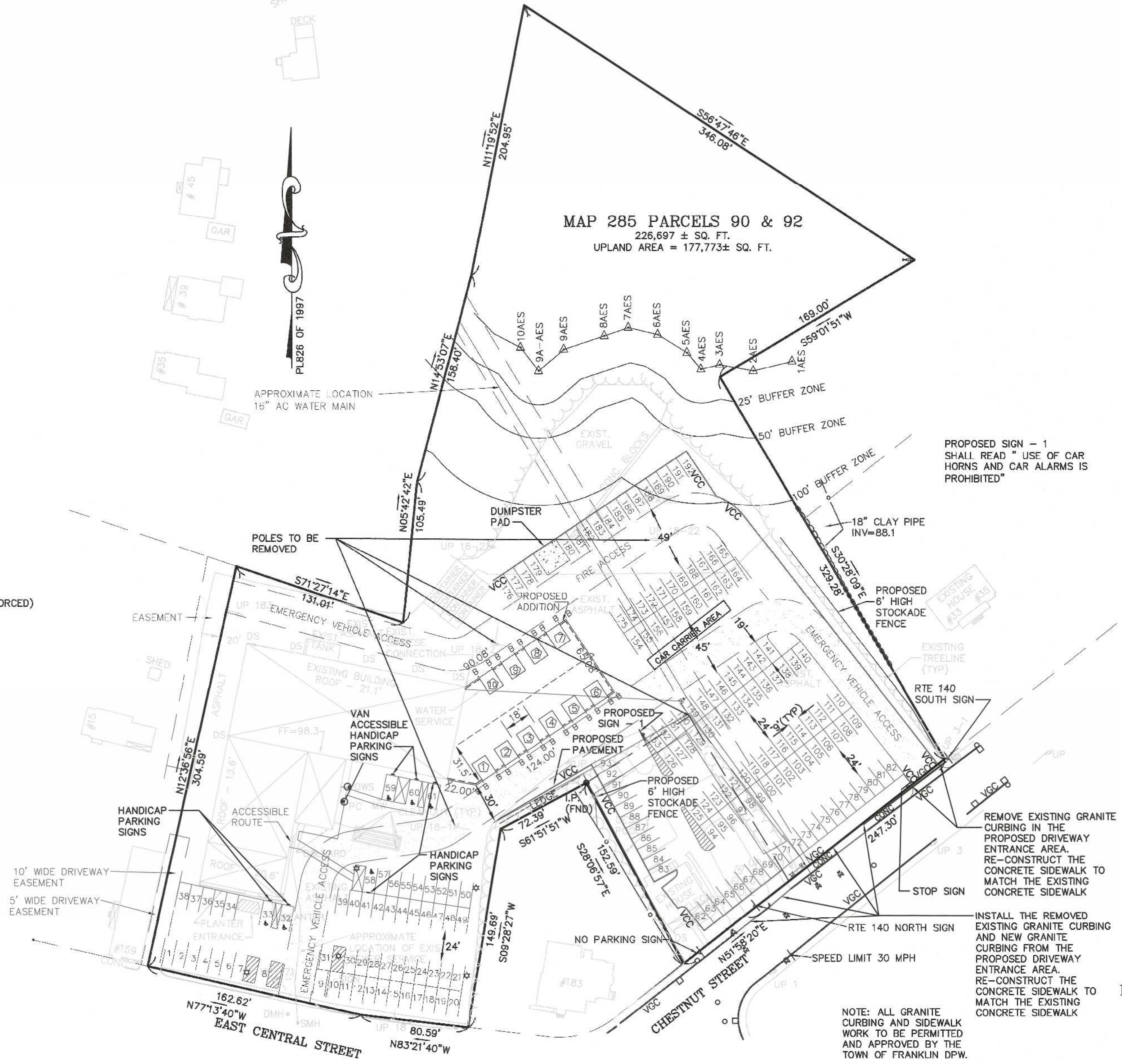
SPACES 1 - 31 AND 62 - 82 52 TOTAL SPACES ARE FOR VEHICLE
DISPLAY.
REMAINING SPACES ARE TO BE USED FOR EMPLOYEES AND VISITORS.

SNOW STORAGE TO BE ON PARKING SPACES 164 - 192.

TOTAL SPACES WITH DIRECT ACCESS, AND NOT USED FOR VEHICLE
STORAGE WHEN SNOW STORAGE IS PROVIDED - 100 SPACES

LEGEND:

- | | | | |
|--------|------------------------|------|--|
| SBDH | DRILL HOLE STONE BOUND | □ | CATCH BASIN |
| SSM | STEEL SURVEY MARKER | ⊙ | SEWER MANHOLE |
| -297- | EXISTING COUNTOUR | CO | CLEANOUT |
| -297- | PROPOSED COUNTOUR | D | DUMPSTER |
| x274.3 | SPOT GRADE - PROPOSED | VCC | VERTICAL CONCRETE CURBING (REINFORCED) |
| — | EXIST. TREE LINE | VGC | VERTICAL GRANITE CURBING |
| —P-262 | UTILITY POLE | ⊕ | HANDICAP PARKING SPACE |
| —OHW | OVERHEAD WIRES | ⊕ | BUILDING MOUNTED LIGHT |
| — | GAS GATE | ⊕ | POLE MOUNTED LIGHT |
| — | WATER CURB STOP | R=5' | CURB RADIUS |
| — | WATER GATE | ⊙ | PARKING SPACE COUNT |
| — | FIRE HYDRANT | — | SIGN |
| — | DRAIN MANHOLE | OB | BOLLARD |



PROPOSED SIGN - 1
SHALL READ "USE OF CAR
HORNS AND CAR ALARMS IS
PROHIBITED"

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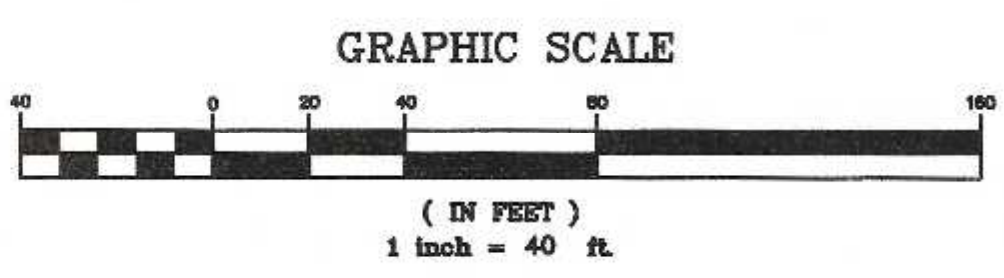
APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

**SITE PLAN
LAYOUT & MATERIALS PLAN**
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

NOTE: ALL GRANITE
CURBING AND SIDEWALK
WORK TO BE PERMITTED
AND APPROVED BY THE
TOWN OF FRANKLIN DPW.

**SITE PLAN APPROVAL
REQUIRED**
FRANKLIN PLANNING BOARD

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850 FRANKLIN STREET SUITE 11D
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508-384-0560 FAX 508-384-0568

DATE	SCALE	PROJECT	SHEET
APRIL 14, 2022	1" = 40'	UC1007	3 of 10

SECTION 185-40 WATER RESOURCE DISTRICT:
 1. THE APPLICANT WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATION WITH RESPECT TO STORAGE OR DISPOSAL OF TOXIC OR HAZARDOUS MATERIALS, INCLUDING STORAGE WITHIN THE INDUSTRIAL WASTE WATER HOLDING TANK.
 2. CONSTRUCTION FILL IN EXCESS OF 15 CUBIC YARDS MUST COMPLY WITH SECTION 185-40.E.(5).

NOTES:
 1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
 3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.

SNOW AND ICE NOTES:
 1. PARKING SPACES ABOVE THE REQUIRED NUMBER OF SPACES TO BE USED FOR ADDITIONAL SNOW STORAGE.
 2. NO DISPOSAL AND OR STOCKPILING OF SNOW AND ICE THAT CONTAINS DEICING CHEMICALS SHALL BE BROUGHT TO THE SITE FORM OUTSIDE THE DISTRICT. SEE ZONING BYLAW SECTION 185-40.D.(1)(f)

WETLAND BUFFER ZONE DISTURBANCES:
 0 - 25' BUFFER ZONE = 0 SQ. FT.
 25' - 50' BUFFER ZONE = 1,896 SQ. FT.
 50' - 100' BUFFER ZONE = 8,231 SQ. FT.
 IMPERVIOUS SURFACE WITHIN THE 50' - 100' BUFFER ZONE - 10%

THERE ARE NOT ANY VERNAL POOLS WITHIN 100 FEET OF ANY PROPOSED WORK.

UTILITY NOTES:
 1. DOMESTIC WATER SUPPLY SHOWN FOR LOCATION ONLY.
 2. ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES.
 3. THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE STORMWATER INFILTRATION POND PRIOR TO ANY FILL OR STONE BEING PLACED.

DRAINAGE PIPING NOTES:
 1. ALL RCP PIPE TO BE CLASS V.
 2. HDPE PIPE TO BE ADS OR APPROVED EQUAL.
 3. 8" ROOF DRAIN TO BE SCH 40 PVC
 4. WHERE HDPE PIPE CONNECTS TO RCP PIPE INSTALL A FERNCO LDC 10 37.00 X 32.00 COUPLING. (OR APPROVED EQUAL)

PROPOSED DRAINAGE STRUCTURE SCHEDULE:

CB 1 RIM = 94.55 INV OUT = 90.55 12" RCP	DMH 1 RIM = 91.7 INV IN = 87.57 12" RCP INV OUT = 87.47 12" RCP
CB 2 RIM = 92.5 INV OUT = 88.47 12" RCP	DMH 2 RIM = 92.5 INV IN = 86.55 12" RCP INV OUT = 86.05 18" RCP
CB 3 RIM = 89.90 INV OUT = 86.58 12" RCP	DMH 3 RIM = 89.3 INV IN = 86.17 12" RCP INV OUT = 85.67 18" RCP
CB 4 RIM = 89.2 INV OUT = 86.19 12" RCP	WQU 4 RIM = 89.5 INV IN = 85.55 18" RCP INV OUT = 85.55 18" HDPE
CB 5 RIM = 89.7 INV OUT = 86.65 12" RCP	DMH 5 RIM = 94.4 INV IN = 90.35 12" RCP INV OUT = 90.25 12" RCP
	HW 1 INV = 82.96

WATER AND ELECTRIC SERVICES - TO BE VERIFIED IN THE FIELD AND REDIRECTED AS NECESSARY. FLOOR DRAINS TO DISCHARGE TO EXISTING FLOOR DRAIN INSIDE BUILDING. ROOF DRAINS TO BE COLLECTED AND DISCHARGED, AS SHOWN ON PLAN.

WATER MAIN CROSSING NOTES:
 1. THE CONTRACTOR SHALL COORDINATE THE DRAIN LINE CROSSING WITH THE TOWN OF FRANKLIN DPW.
 2. THE CONTRACTOR SHALL EXCAVATE A TEST PIT WHICH WILL BE WITNESSED BY THE DESIGN ENGINEER AT ALL WATER MAIN CROSSINGS. TEST PITS SHALL BE EXCAVATED PRIOR TO ORDERING ANY PRE-CAST DRAINAGE STRUCTURES.

ZONE: SF-IV

SIGHT DISTANCE NOTES:
 CHESTNUT STREET HAS A POSTED SPEED OF 30 MPH. ROAD GRADE IS LESS THAN 3% - STOPPING SIGHT DISTANCE IS 200 FEET.
 SIGHT DISTANCE EXCEED 200 FEET IN BOTH DIRECTIONS OF THE PROPOSED DRIVEWAY LOCATED ON CHESTNUT STREET.

CHESTNUT STREET AND ROUTE 140 INTERSECTION UNDER STOP LIGHT CONTROL.

SIGHT DISTANCE TRIANGLES TO BE CLEARED OF VEGETATION AS NECESSARY AND WITH THE APPROVAL OF THE FRANKLIN DPW.

CHESTNUT STREET NOTES:
 1. ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.
 2. ALL MODIFICATIONS TO THE EXISTING SIDEWALK AND THE PROPOSED DRIVEWAY OPENING SHALL CONFORM TO THE ADA AND THE MASSACHUSETTS AAB ACCESSIBILITY REQUIREMENTS.

9 CHESTNUT STREET PROPERTY UTILITY ABANDONMENT:
 1. THE EXISTING ELECTRIC TELEPHONE AND CABLE TV SERVICES SHALL BE REMOVED AND REMOVAL SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
 2. THE EXISTING CESSPOOL SHALL BE PUMPED, CRUSHED AND FILLED WITH CLEAN SAND.
 3. THE EXILING WATER SERVICE SHALL BE REMOVED AND CUT AND CAPPED AS REQUIRED BY THE FRANKLIN DPW WATER DEPARTMENT.

OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 GRADING & UTILITIES
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
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 175 EAST CENTRAL STREET
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LEGEND:

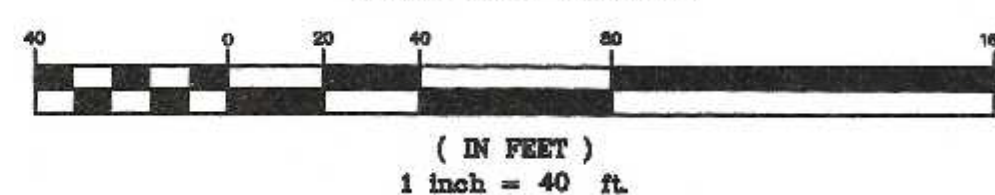
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⊕	WATER GATE	⊕	PARKING SPACE COUNT
⊕	FIRE HYDRANT	-	SIGN
⊕	DRAIN MANHOLE	OB	BOLLARD

NOTE:
 ALL VERTICAL CONCRETE CURBING TO BE REINFORCED.

SITE PLAN APPROVAL
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GRAPHIC SCALE



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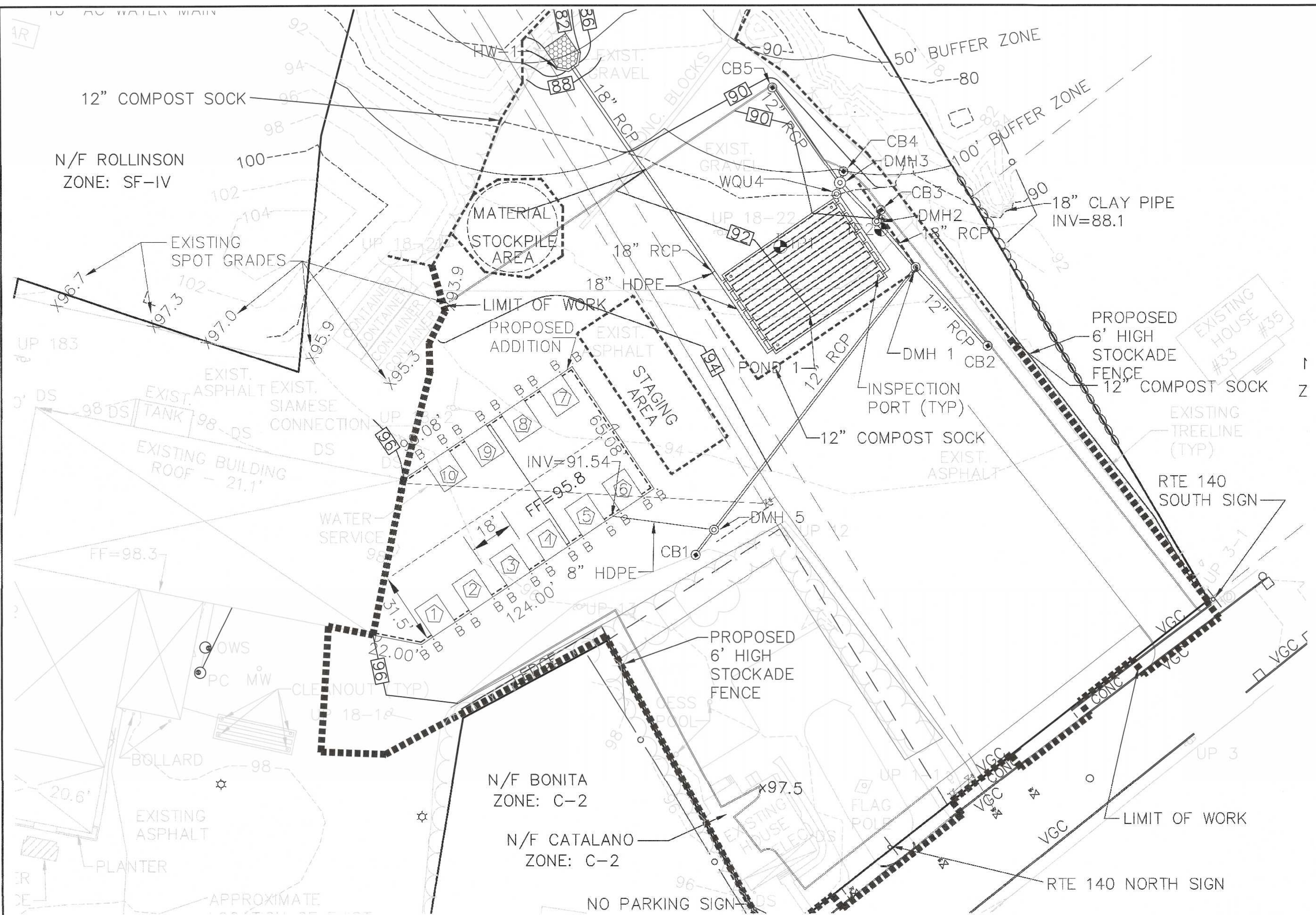
CARLOS A. QUINTAL P.E. #30812

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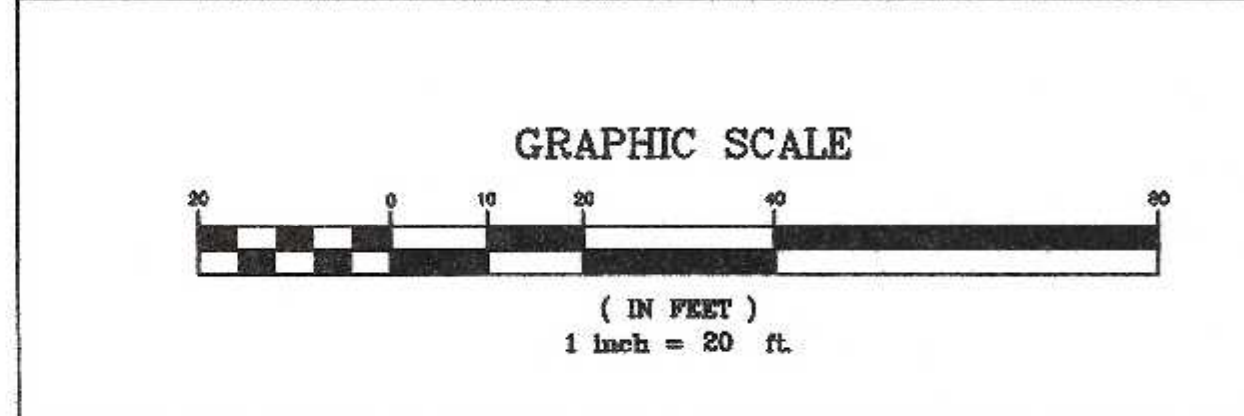
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4 of 10



SITE PLAN
 GRADING & UTILITIES
 RE-DEVELOPEMNT AREA
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
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PLANTING SCHEDULE

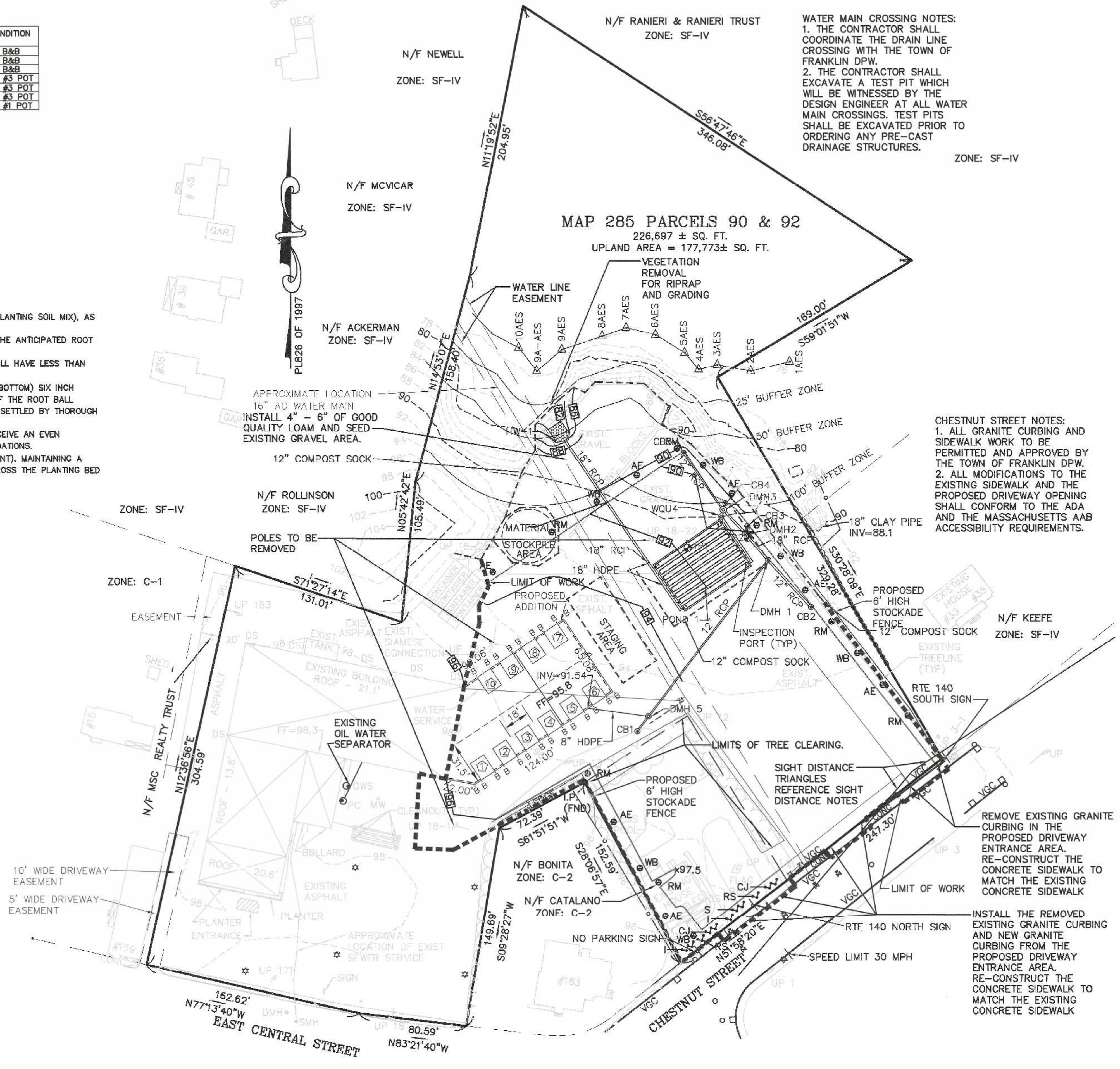
NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
7	AMERICAN ELM - AE	ULMUS AMERICANA	3"	B&B
7	RED MAPLE - RM	ACER RUBRUM	3"	B&B
6	WHITE BIRCH - WB	BETULA Papyrifera	4 - 6 FEET	B&B
8	INKBERRY - I	ILEX GLABRA	18" - 24"	#3 POT
10	CREeping JUNIPER - CJ	JUNIPERUS HORIZONTALIS		#3 POT
6	RUSSIAN SAGE - RS	PEROVSKIA ATRIPLICIFOLIA		#3 POT
5	SEDUM - S	HYLOTELIUM TELEPHIODES		#1 POT

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES.
 192 TOTAL PARKING SPACES / 10 = 20 TREES
 - 20 TREES PROVIDED.
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.

GENERAL SITE PLANTING NOTE:
 ALL DISTURBED AREAS NOT COVERED WITH BUILDING, ASPHALT PAVEMENT, CURBING, STONE, RIPRAP OR GEOWEB SHALL HAVE 4" TO 6" OF GOOD QUALITY LOAM COVERING THE AREAS AND SHALL BE HYDROSEEDDED.

GENERAL NOTES

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)



WATER MAIN CROSSING NOTES:
 1. THE CONTRACTOR SHALL COORDINATE THE DRAIN LINE CROSSING WITH THE TOWN OF FRANKLIN DPW.
 2. THE CONTRACTOR SHALL EXCAVATE A TEST PIT WHICH WILL BE WITNESSED BY THE DESIGN ENGINEER AT ALL WATER MAIN CROSSINGS. TEST PITS SHALL BE EXCAVATED PRIOR TO ORDERING ANY PRE-CAST DRAINAGE STRUCTURES.

ZONE: SF-IV

CHESTNUT STREET NOTES:
 1. ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.
 2. ALL MODIFICATIONS TO THE EXISTING SIDEWALK AND THE PROPOSED DRIVEWAY OPENING SHALL CONFORM TO THE ADA AND THE MASSACHUSETTS AAB ACCESSIBILITY REQUIREMENTS.

OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

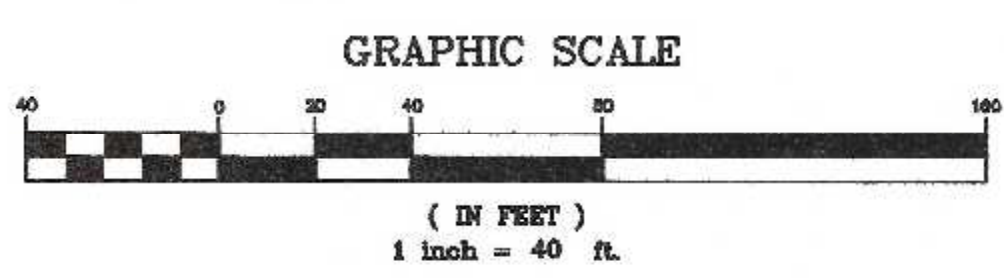
 MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

 APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 PLANTING PLAN
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY
2	9/12/22	BETA REVIEW COMMENTS	RRG
1	8/4/22	REVIEW COMMENTS	RRG

CARLOS A. QUINTAL
 CIVIL
 No. 30812
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MASSACHUSETTS

DATE	FIELD BY:	INT.
8/21	FIELD BOOK	BL
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

DATE	SCALE	PROJECT	SHEET
APRIL 14, 2022	1" = 40'	UC1007	6 of 10

OPERATION AND MAINTENANCE PLAN

- CONSTRUCTION PHASE**
1. THE OWNERS REPRESENTATIVE, NAME AND PHONE NUMBER TO BE PROVIDED, SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
 2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
 3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
 4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
 5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
 6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
 7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS EXISTING AND PROPOSED AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
 8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
 9. THE CDS UNIT SHALL BE CLEANED WITH A VACUUM TRUCK.

- INSPECTION AND MAINTENANCE SCHEDULE:**
1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
 2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENTS ARE TO BE REMOVED.
 3. INSPECTIONS OF THE WATER QUALITY UNIT TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
 4. INSPECTION OF THE PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
 5. INSPECTION OF POND 1 TO DETERMINE IF CLEANING IS NECESSARY.

- OPERATION AND MAINTENANCE SCHEDULE**
- CONSTRUCTION PHASE:**
1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
 2. THE EXISTING PAVED PARKING AREAS AS WELL THE PROPOSED PARKING AREA ONCE PAVED WILL REQUIRE DAILY INSPECTIONS TO BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
 3. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS. SILT SAKS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
 4. THE WATER QUALITY UNIT SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
 5. THE POND SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.
 6. IMMEDIATELY UPON COMPLETION OF SITE GRADING ACTIVITIES OF PROPOSED LANDSCAPED AREA, THE AREAS SHALL HAVE LOAM APPLIED AND SHALL BE SEED.
 7. ALL MATERIAL STOCKPILES THAT ARE NOT BEING ACTIVELY USED FOR A PERIOD OF 2 WEEKS SHALL BE COVERED WITH A TARP(S) OR VEGETATED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

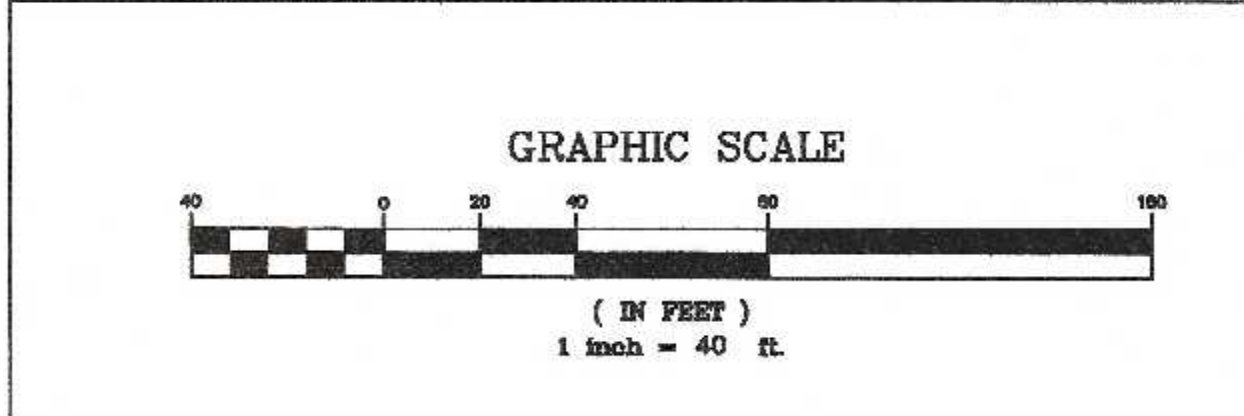
- LONG TERM:**
1. THE PARKING LOT SHALL BE SWEEP FOUR TIMES PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
 2. THE WATER QUALITY UNITS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES.
 3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
 4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

EROSION CONTROL NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
3. REFER TO CONSTRUCTION SEQUENCE FOR SLOPE GREATER THAN 3' HORIZONTAL TO 1' VERTICAL.
4. WATER QUALITY UNITS, CATCH BASINS, UNDERGROUND POND AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
5. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
7. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
9. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

DATE _____



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1	8/4/22	REVIEW COMMENTS	RRG

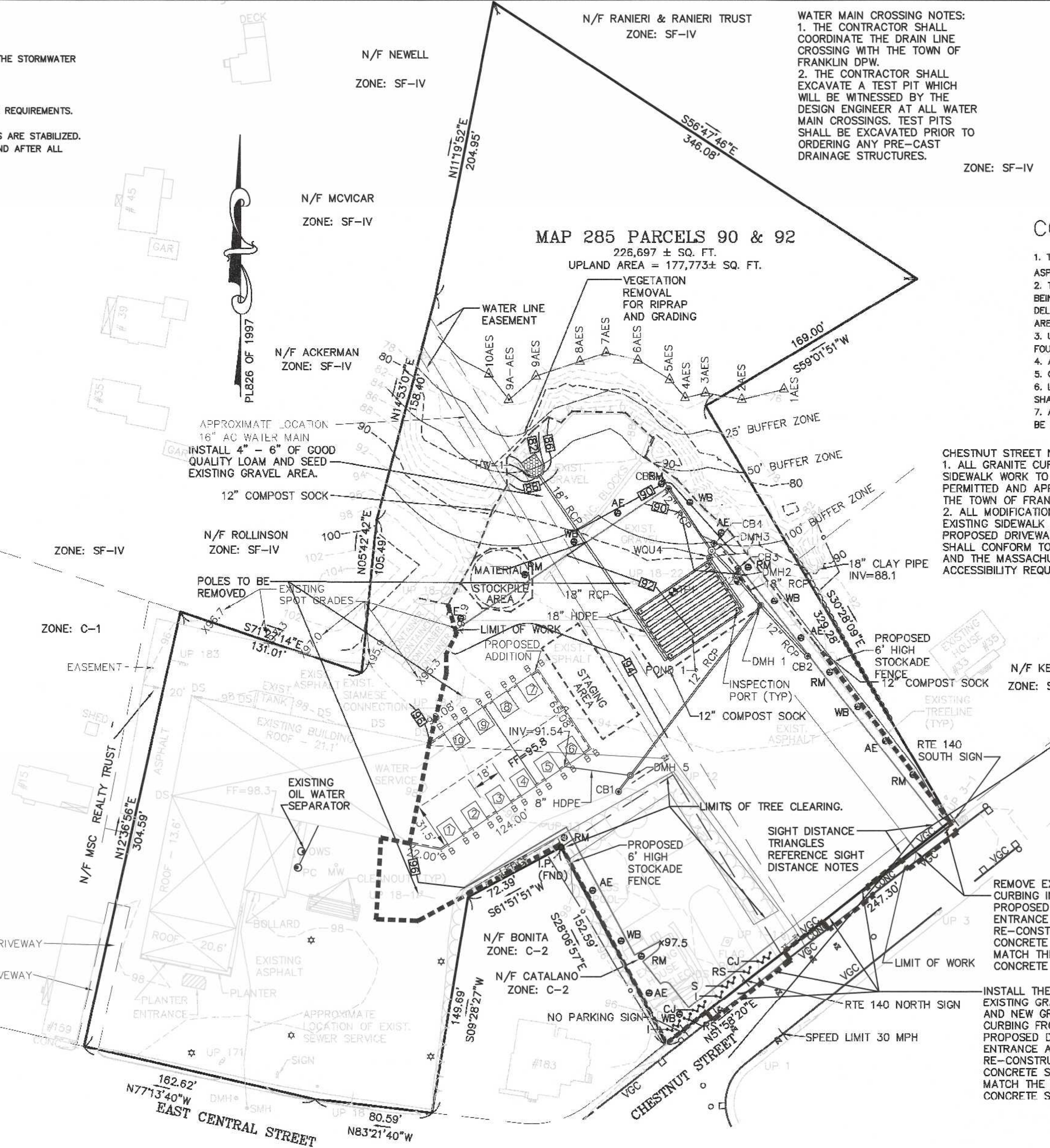
CARLOS A. QUINTAL P.E. #30812

DATE	FIELD BY:	INT.
8/21	BL	BL
4/22	FIELD BOOK	PG#
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-844-6560 FAX 508-844-6566

DATE
APRIL 14, 2022
SCALE
1" = 40'
PROJECT
UC1007
SHEET
7 of 10



WATER MAIN CROSSING NOTES:

1. THE CONTRACTOR SHALL COORDINATE THE DRAIN LINE CROSSING WITH THE TOWN OF FRANKLIN DPW.
2. THE CONTRACTOR SHALL EXCAVATE A TEST PIT WHICH WILL BE WITNESSED BY THE DESIGN ENGINEER AT ALL WATER MAIN CROSSINGS. TEST PITS SHALL BE EXCAVATED PRIOR TO ORDERING ANY PRE-CAST DRAINAGE STRUCTURES.

- AUTOMOBILE REPAIR OPERATIONAL BMP'S**
1. PREPARE AN EMERGENCY SPILL RESPONSE AND CLEANUP PLAN AND SHALL HAVE DESIGNATED TRAINED PERSON(S) AVAILABLE EITHER ON-SITE OR ON CALL AT ALL TIMES TO PROMPTLY AND PROPERLY IMPLEMENT THAT PLAN AND IMMEDIATELY CLEANUP ALL SPILLS. KEEP SUITABLE CLEANUP MATERIALS, SUCH AS DRY ABSORBENT MATERIALS, ON SITE TO ALLOW PROMPT CLEANUP OF A SPILL.
 2. KEEP DRAINED OIL FILTERS IN A SUITABLE CONTAINER OR DRUM. DRUMS SHOULD BE CLOSED ON AN IMPERVIOUS PAD WITH ADEQUATE CONTAINMENT.

- CONSTRUCTION SEQUENCE:**
1. THE PROPOSED BUILDING FOUNDATION WILL BE EXCAVATED. EXISTING ASPHALT AND EARTH MATERIALS SHALL BE REMOVED FROM THE SITE.
 2. THE STORMWATER SYSTEM SHALL BE INSTALLED WITH EXCESS MATERIAL BEING REMOVED FROM THE SITE AND NECESSARY CONSTRUCTION MATERIALS DELIVERED TO THE SITE. MINIMIZE THE USE OF THE MATERIAL STOCKPILE AREA.
 3. UPON COMPLETION OF THE STORM WATER SYSTEM AND THE BUILDING FOUNDATION THE SITE SHALL BE BROUGHT TO FINAL SUB-GRADE.
 4. ASPHALT BINDER SHALL BE INSTALLED AS REQUIRED.
 5. CURBING SHALL BE INSTALLED.
 6. LANDSCAPING SHALL BE PLANTED AND ALL REMAINING DISTURBED AREAS SHALL BE LOAMED AND SEED.
 7. AT ALL TIMES A PAVED DRIVEWAY FOR CONSTRUCTION VEHICLES SHALL BE MAINTAINED FROM CHESTNUT STREET TO THE SITE.

- CHESTNUT STREET NOTES:**
1. ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.
 2. ALL MODIFICATIONS TO THE EXISTING SIDEWALK AND THE PROPOSED DRIVEWAY OPENING SHALL CONFORM TO THE ADA AND THE MASSACHUSETTS AAB ACCESSIBILITY REQUIREMENTS.

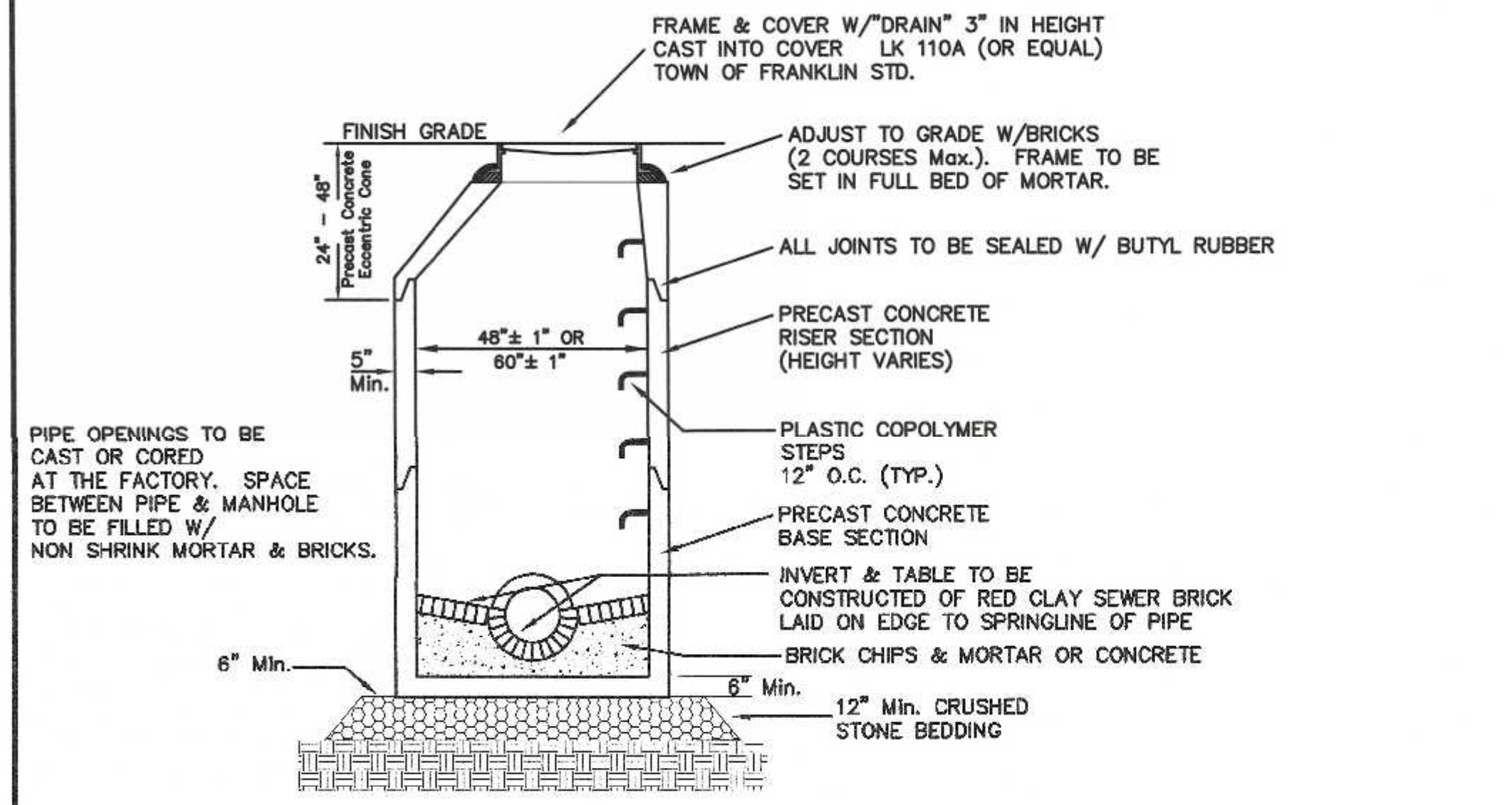
- EROSION CONTROL BARRIERS:**
1. EROSION CONTROL BARRIERS MUST BE INSTALLED, INSPECTED, AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OR LICENSED WETLAND SCIENTIST.
 2. NO SEDIMENTATION BARRIER MAY BE REMOVED WITHOUT PRIOR APPROVAL OF THE COMMISSION OR ITS STAFF.

OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

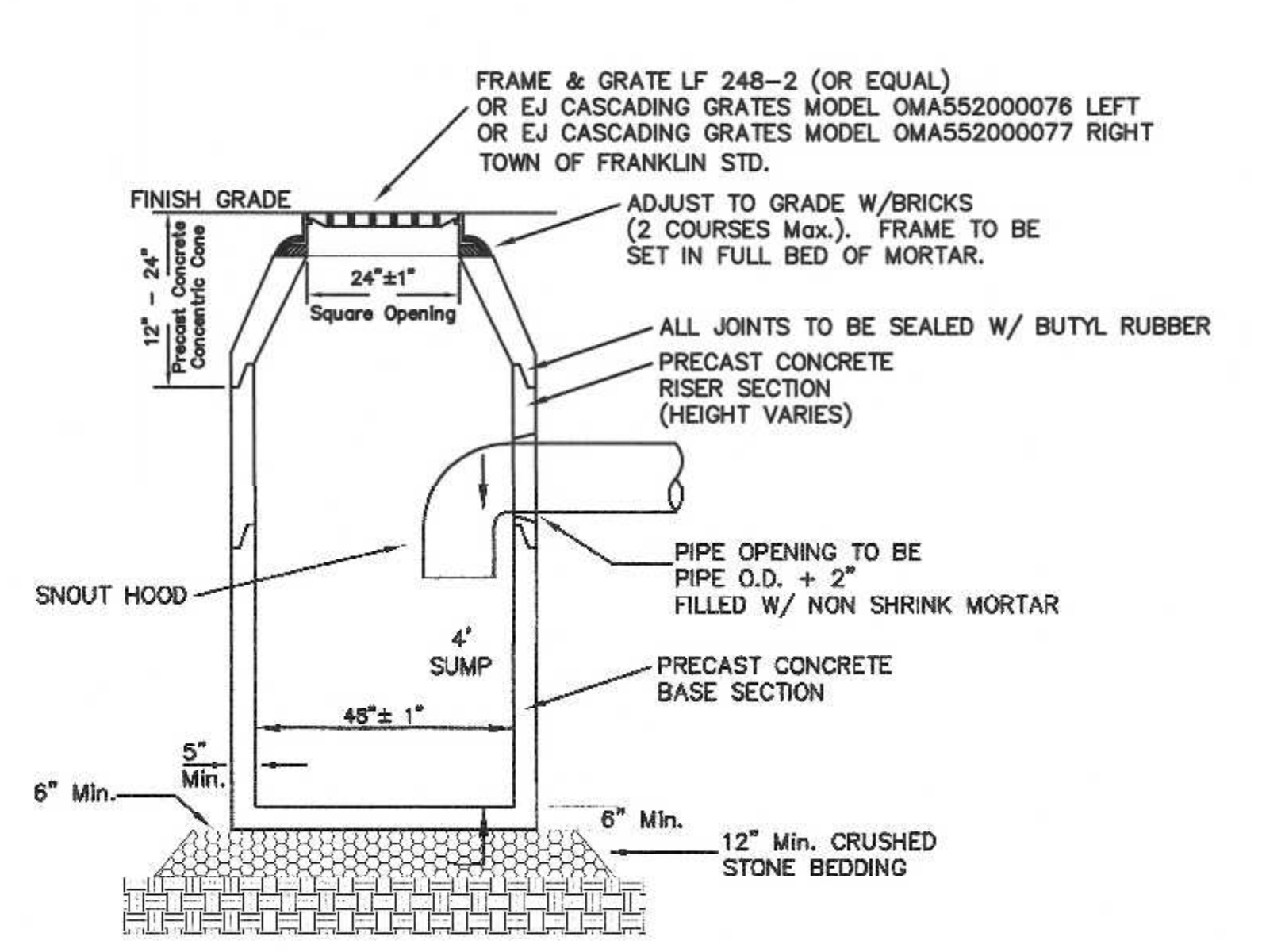
MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

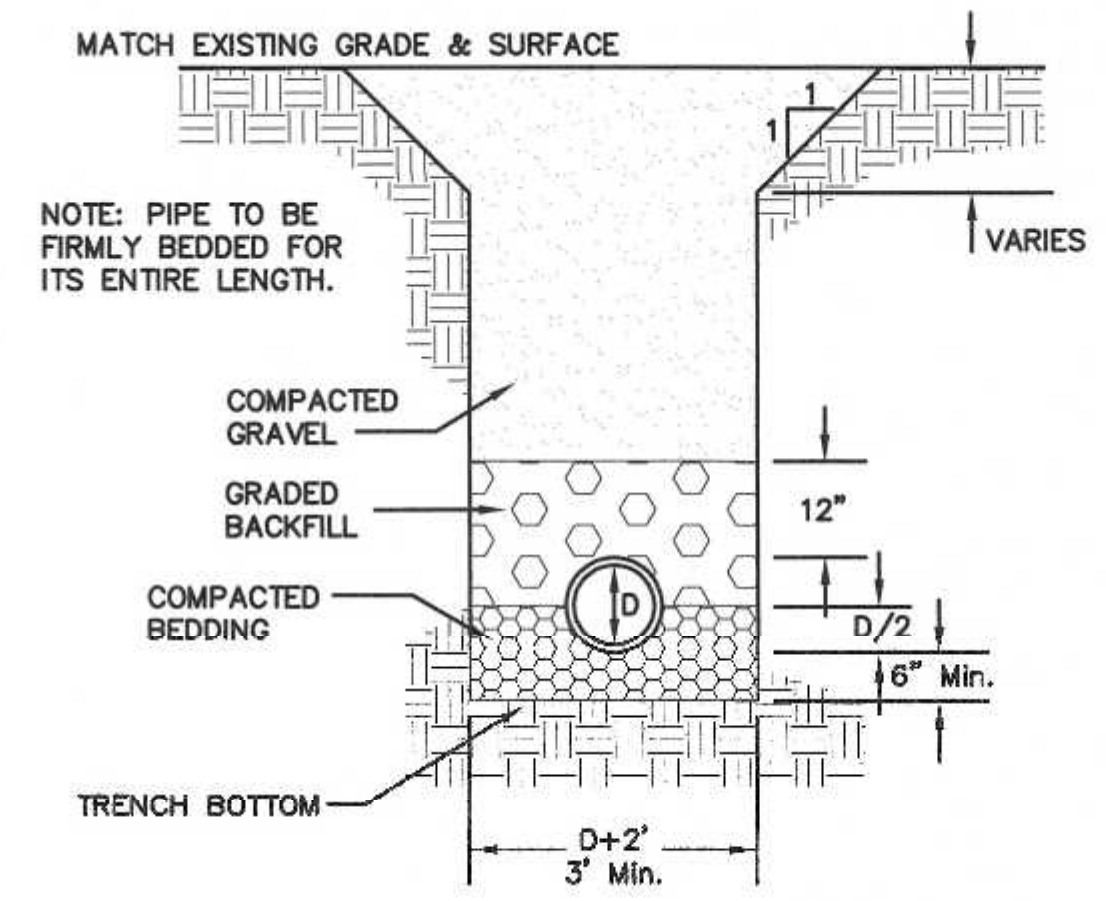
SITE PLAN
EROSION CONTROL PLAN
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'



PRECAST DRAIN MANHOLE

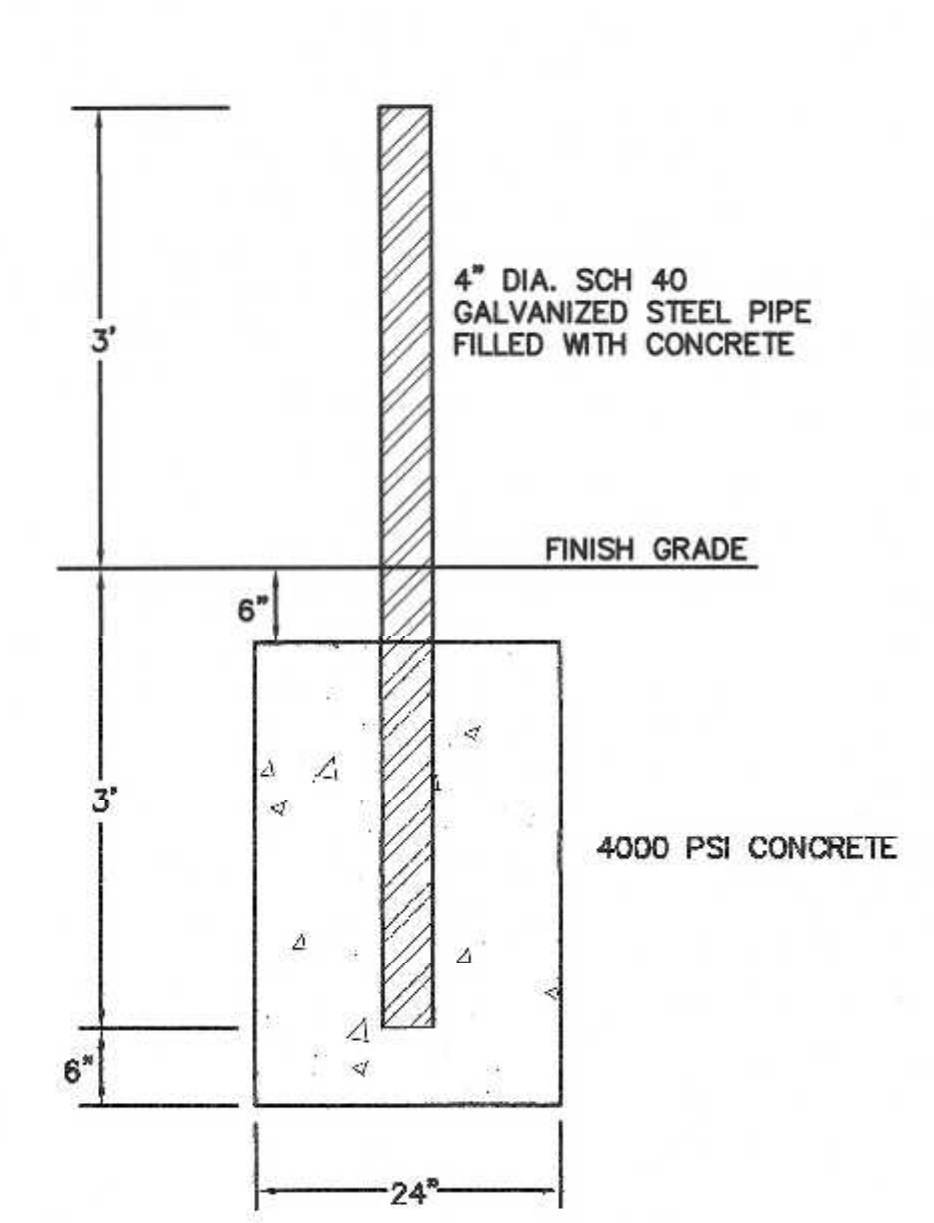


PRECAST CATCH BASIN



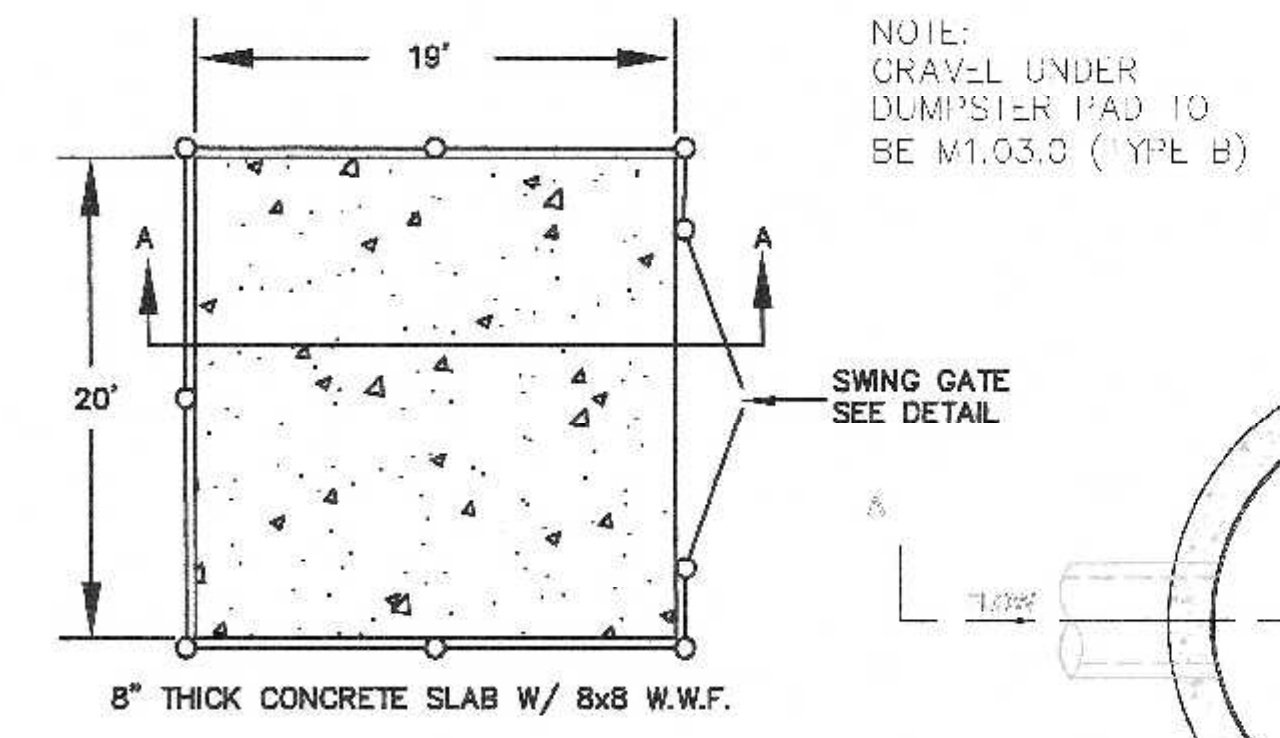
TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING MATERIAL	PROC. GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE	3/8" STONE

UTILITY TRENCH DETAIL



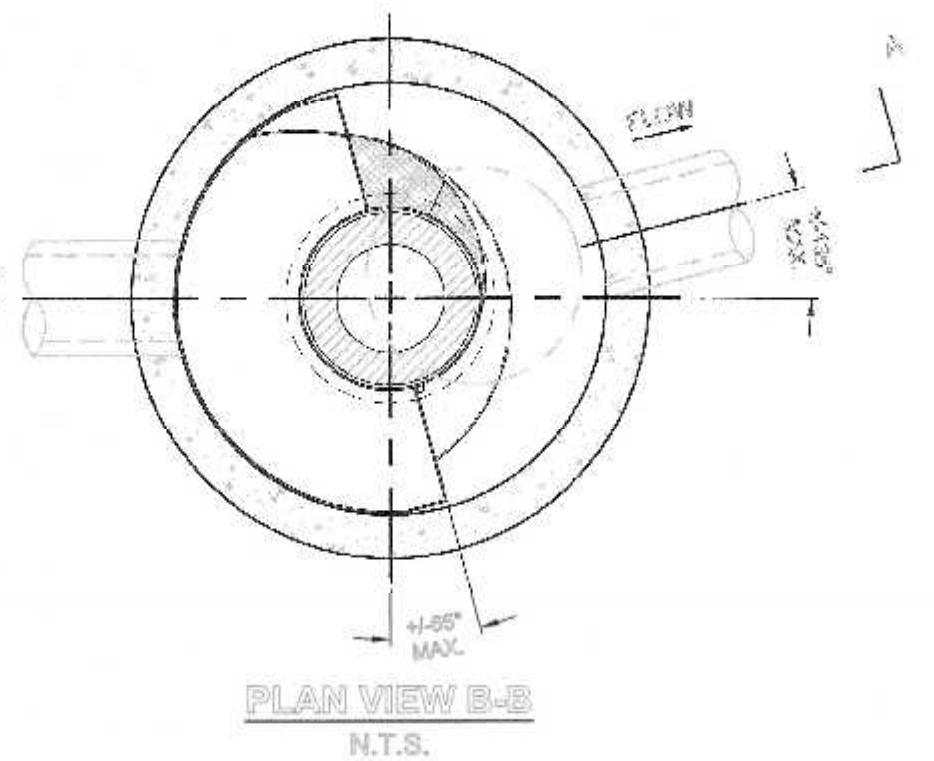
BOLLARD DETAIL

NOTE: BOLLARDS TO BE INSTALLED ON EACH SIDE OF THE OVERHEAD DOOR OPENINGS.

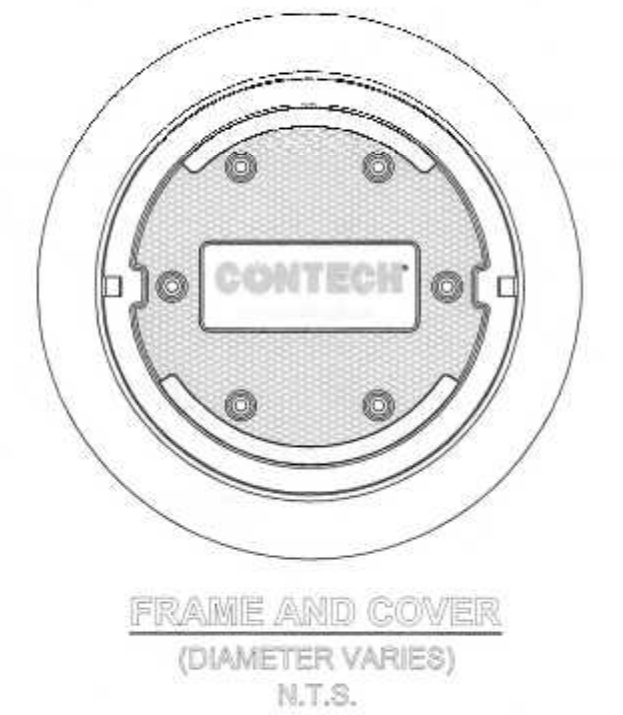


CONCRETE DUMPSTER PAD

NOTE: DUMPSTER PAD AT BUILDING 1 WILL HAVE THE FENCE CONNECT TO THE RETAINING WALL. NO FENCE IS PROPOSED TO THE REAR OF THE DUMPSTER PAD.



CDS 200-5 WATER QUALITY UNIT

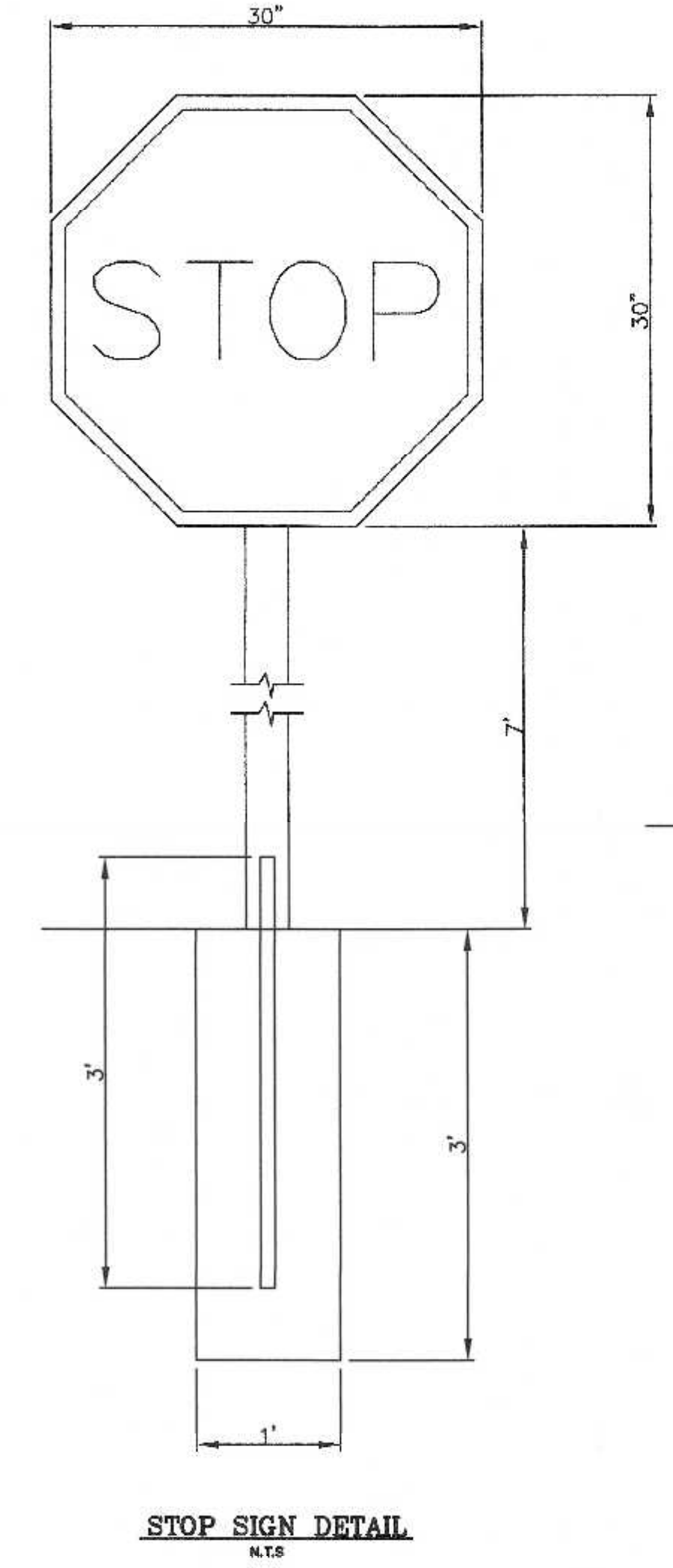


COMPOST SOCK DETAIL

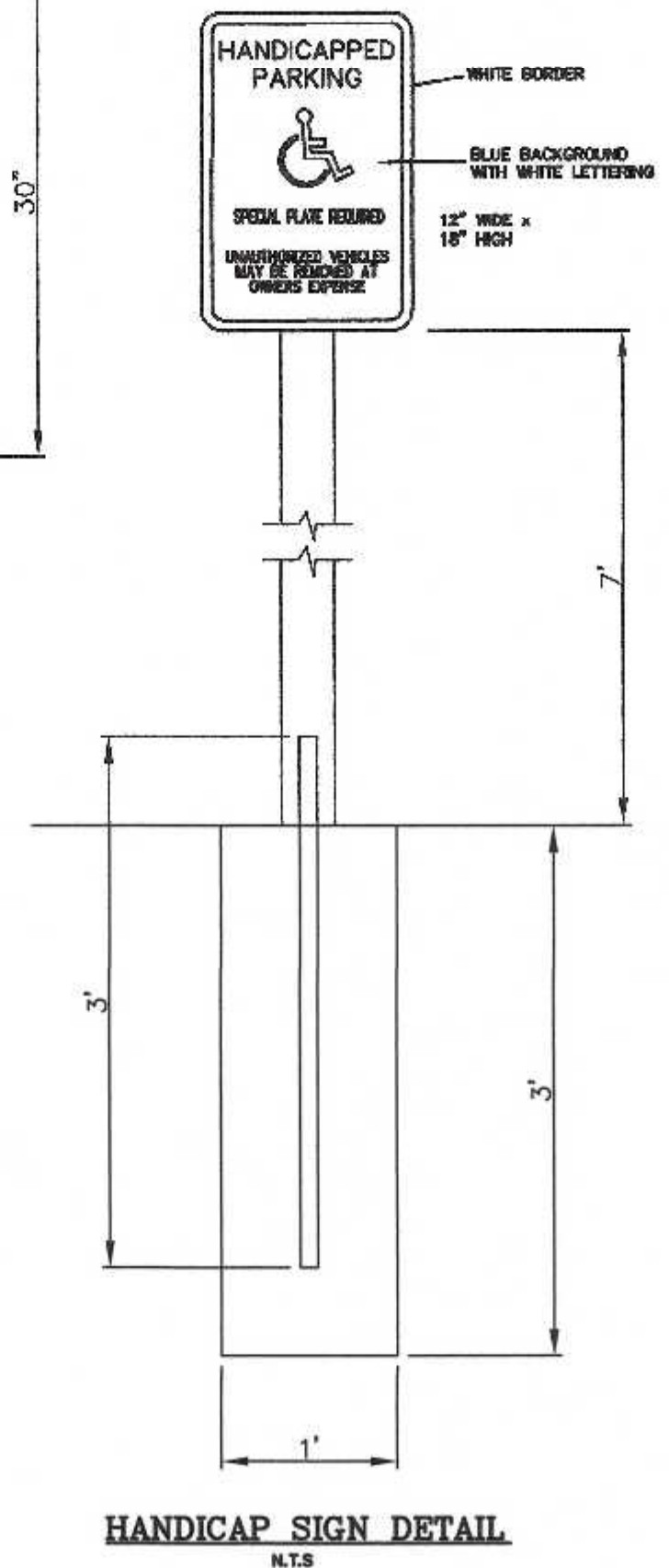
OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

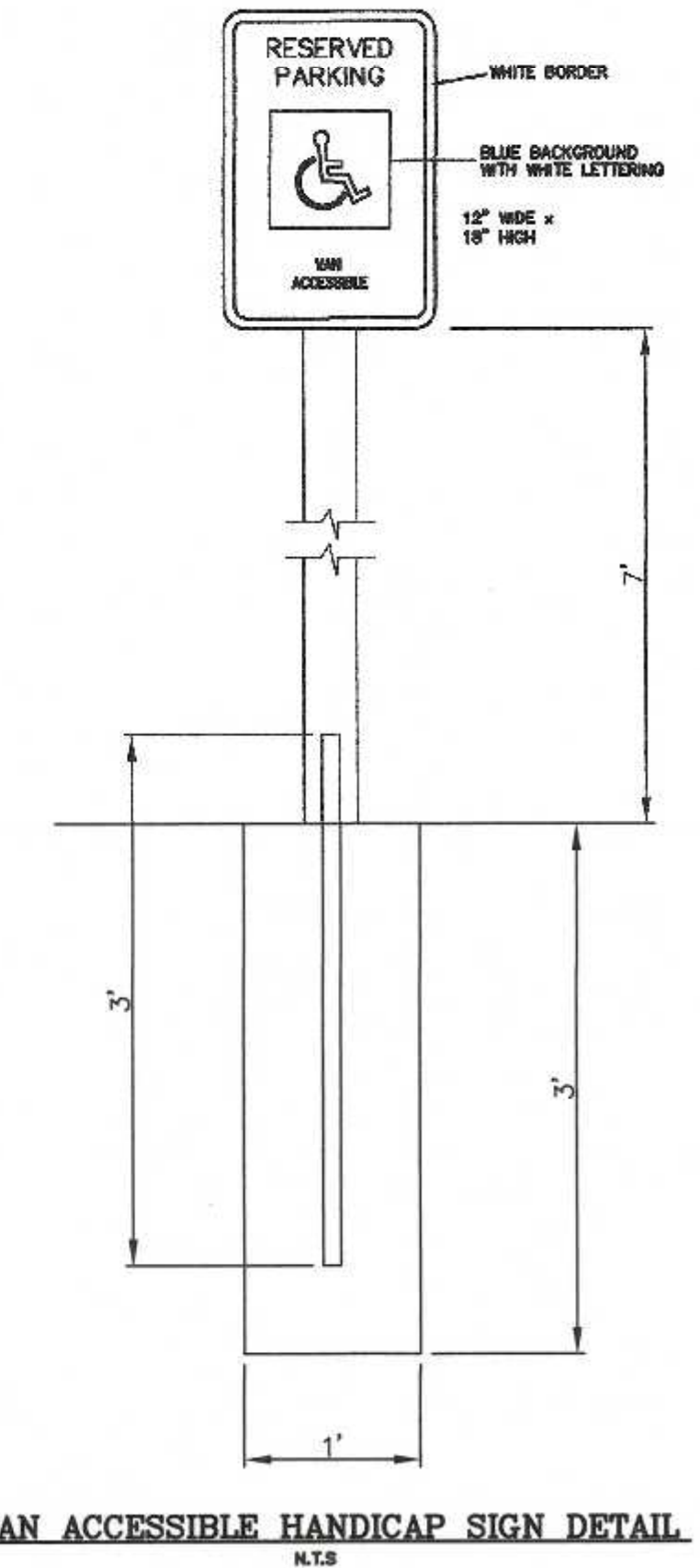
APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS



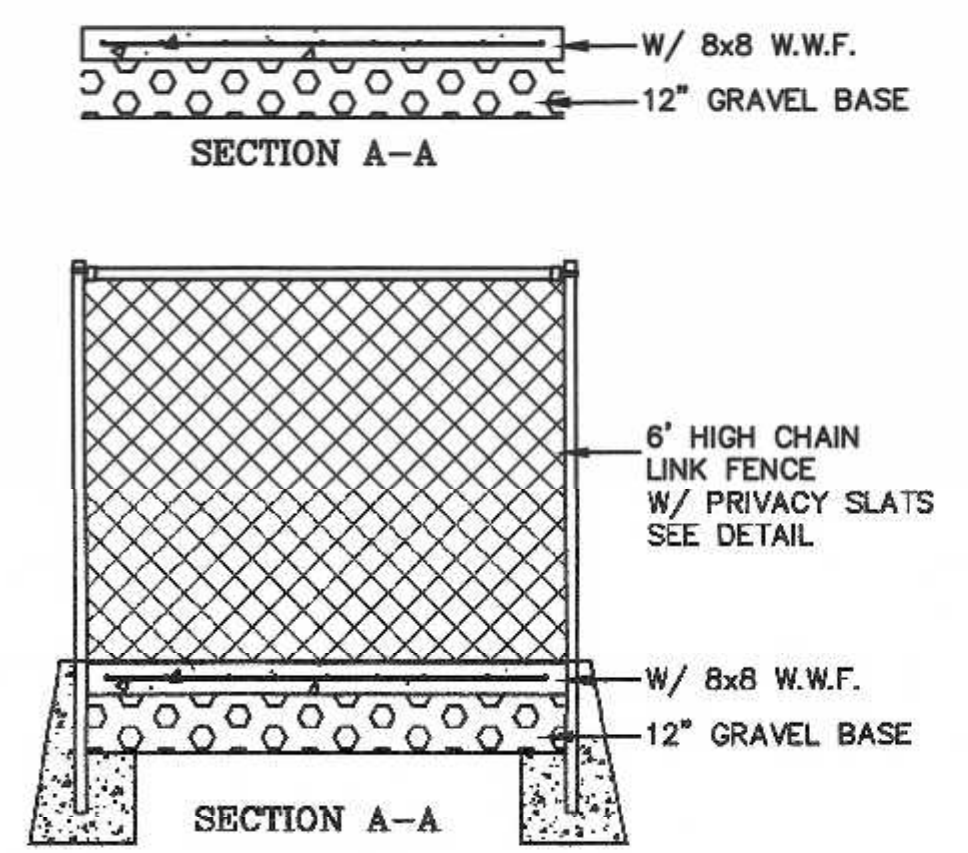
STOP SIGN DETAIL



HANDICAP SIGN DETAIL



VAN ACCESSIBLE HANDICAP SIGN DETAIL



DUMPSTER AREA FENCE

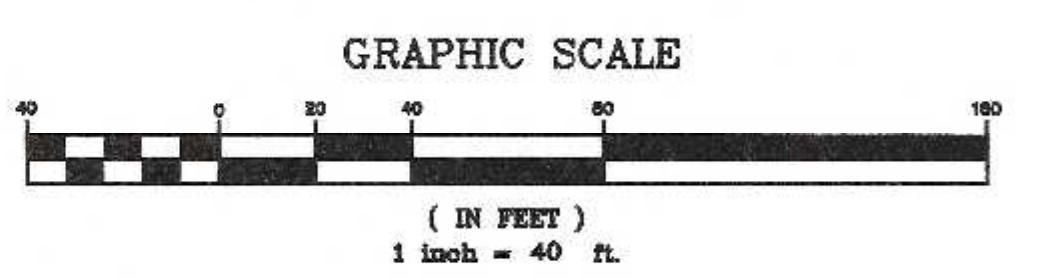


Carlos A. Quintal P.E. #30812

SITE PLAN
CONSTRUCTION DETAILS - 1
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



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DATE	FIELD BY:	INT.
8/21	BL	
BK#	FIELD BOOK	PG#
4/22	RRG	
DATE	DESIGNED BY:	BY
4/22	RRG	
DATE	DRAWN BY:	BY
4/22	COMP	
DATE	CHECKED BY:	BY
4/22	CAQ	

UNITED
CONSULTANTS
INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6580 FAX 508-384-6566

DATE
APRIL 14, 2022
SCALE
1" = 40'
PROJECT
UC1007
SHEET
8 of 10

EXCAVATION AND FILL NOTES:

SOIL REMOVAL AT INFILTRATION SYSTEM:
ALL EXISTING TOP (A HORIZON) AND SUB-SOIL (B HORIZON) SOILS AND FILL SHALL BE REMOVED UNDER THE INFILTRATION SYSTEMS AND FIVE FEET FROM THE OUTER EDGE OF THE STONE ENVELOPE.

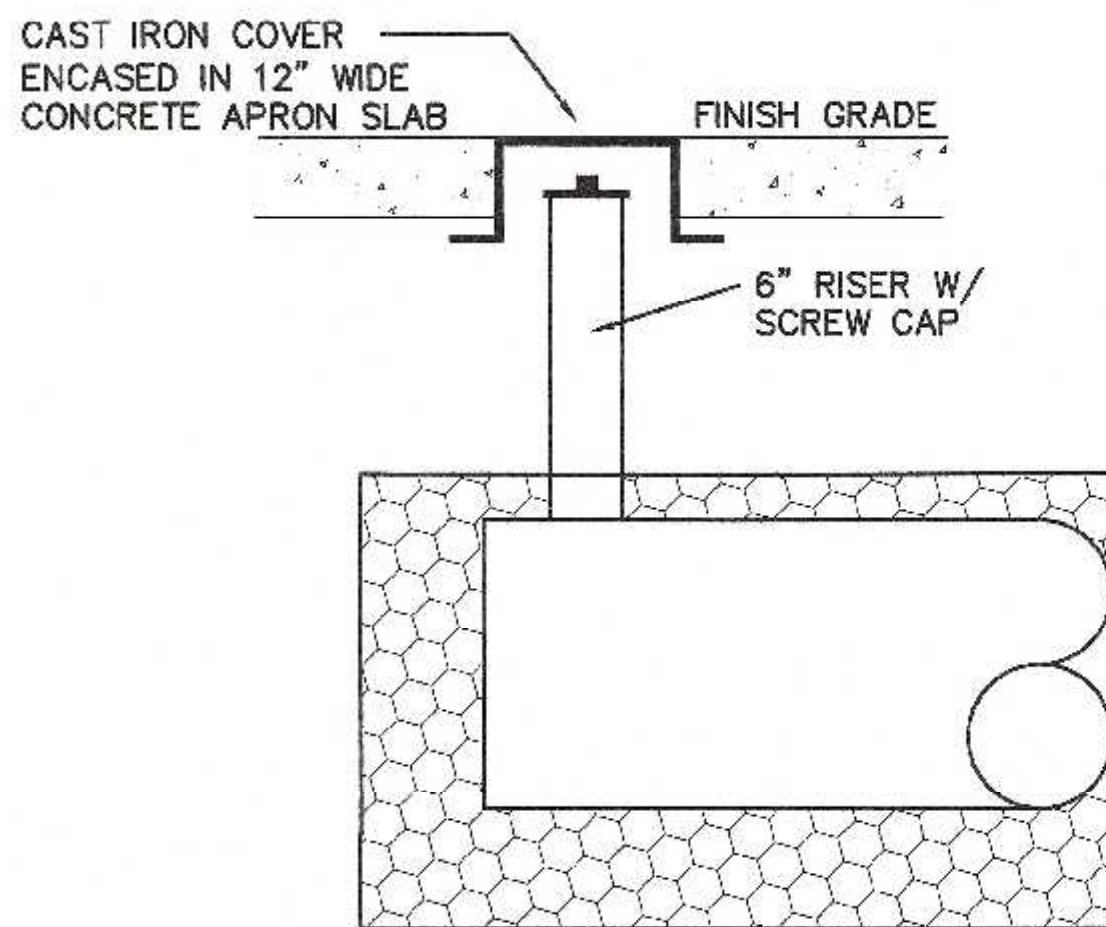
Fill material for drainage systems constructed in fill shall consist of select on-site or imported soil material. The fill shall be comprised of clean granular sand, free from organic matter and deleterious substances. Mixtures and layers of different classes of soil shall not be used. The fill shall not contain any material larger than two inches. A sieve analysis, using a #4 sieve, shall be performed on a representative sample of the fill. Up to 45% by weight of the fill sample may be retained on the #4 sieve. Sieve analyses also shall be performed on the fraction of the fill sample passing the #4 sieve, such analyses must demonstrate that the material meets each of the following specifications:

SIEVE SIZE	EFFECTIVE PARTICLE SIZE	% THAT MUST PASS SIEVE
# 4	4.75 mm	100%
# 50	0.30 mm	10% - 100%
#100	0.15 mm	0% - 20%
#200	0.075 mm	0% - 2%

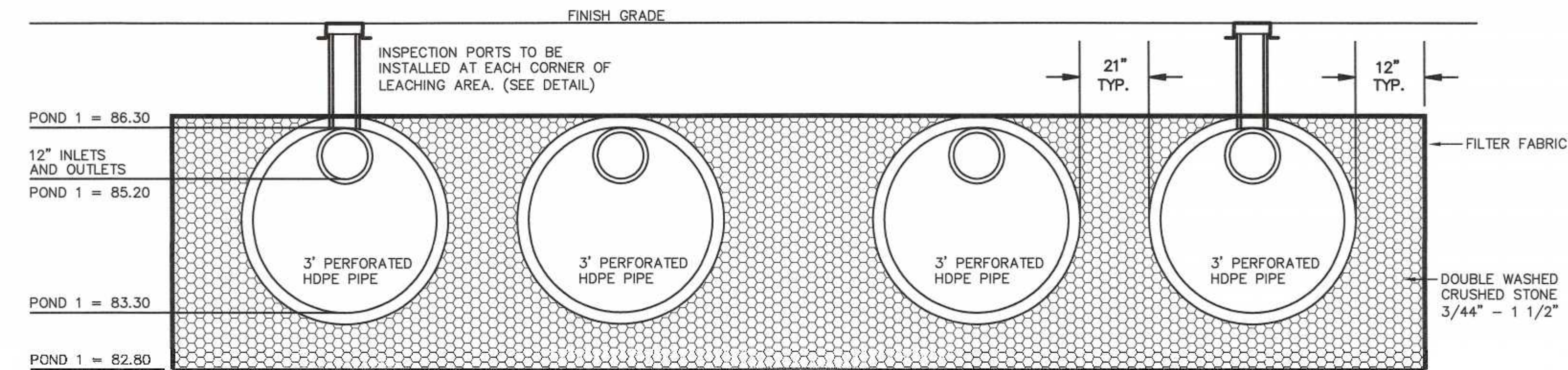
A minimum of two representative sample shall be taken from the in-place fill and tested for compliance with the grain size distribution specification. Where fill is required to replace unsuitable or impermeable soils, the excavation of the unsuitable material shall extend a minimum of five feet laterally in all directions beyond the outer perimeter of the soil drainage systems to the depth of naturally occurring pervious material and replaced with fill.

Prior to placement of the fill, the bottom surface of the excavation shall be scarified and relatively dry. Fill shall not be placed during rain or snow storms. If the water table elevation is above the elevation of the bottom of the excavation, the excavation shall be dewatered as necessary.

THE DESIGN ENGINEER SHALL INSPECT AND CERTIFY THE EXCAVATION OF THE SOIL INFILTRATION AREAS AND THE RAIN GARDEN AREA PRIOR TO ANY FILL BEING PLACED.



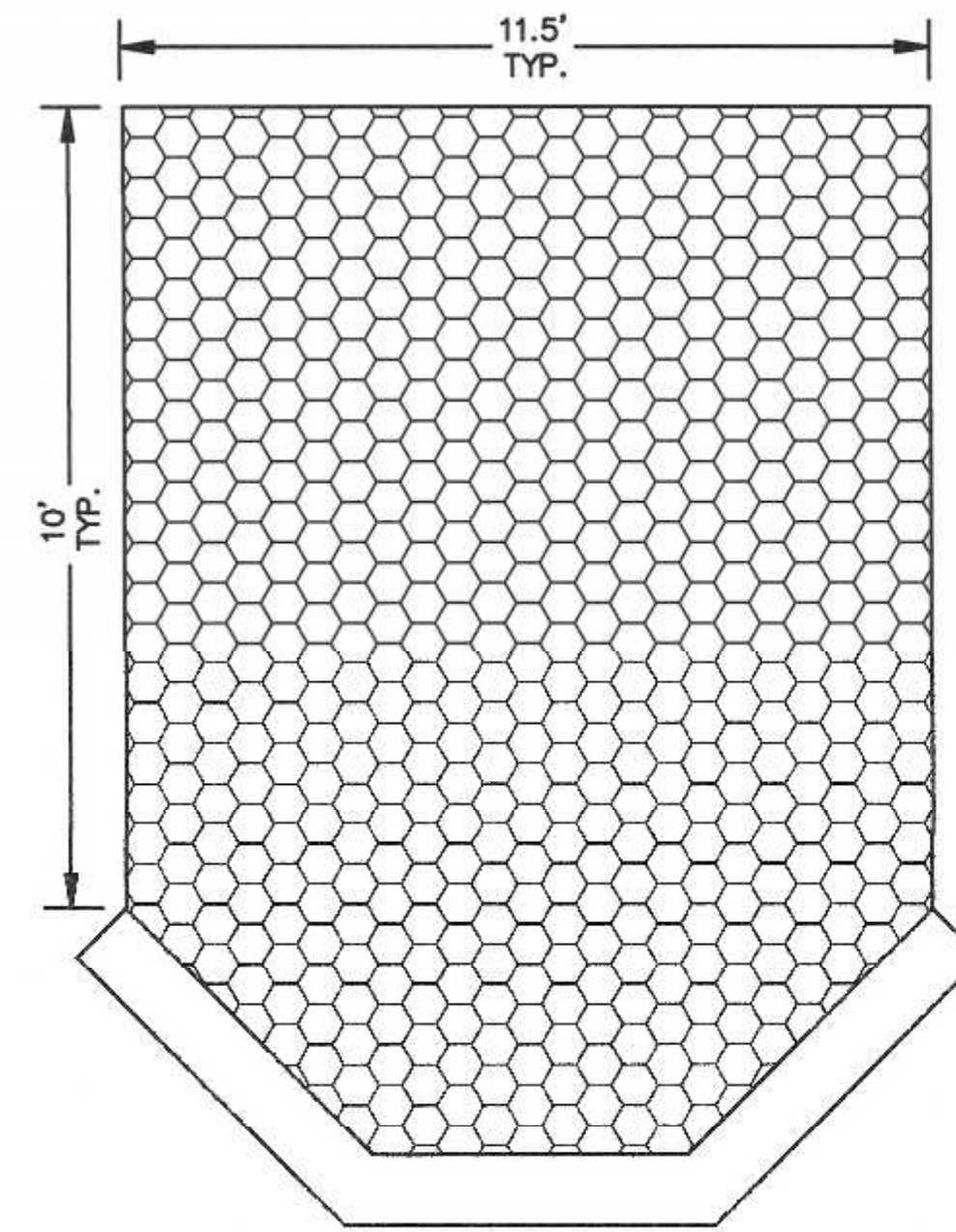
**INSPECTION PORT DETAIL
DRAINAGE INFILTRATION AREAS**
N.T.S.



INFILTRATION POND 1

NOTE:
1. INFILTRATION POND 1 CONSISTS OF 7 ROWS OF 3\"/>

ESHGW - POND 1 = 78.68 BOTTOM TEST PIT 1



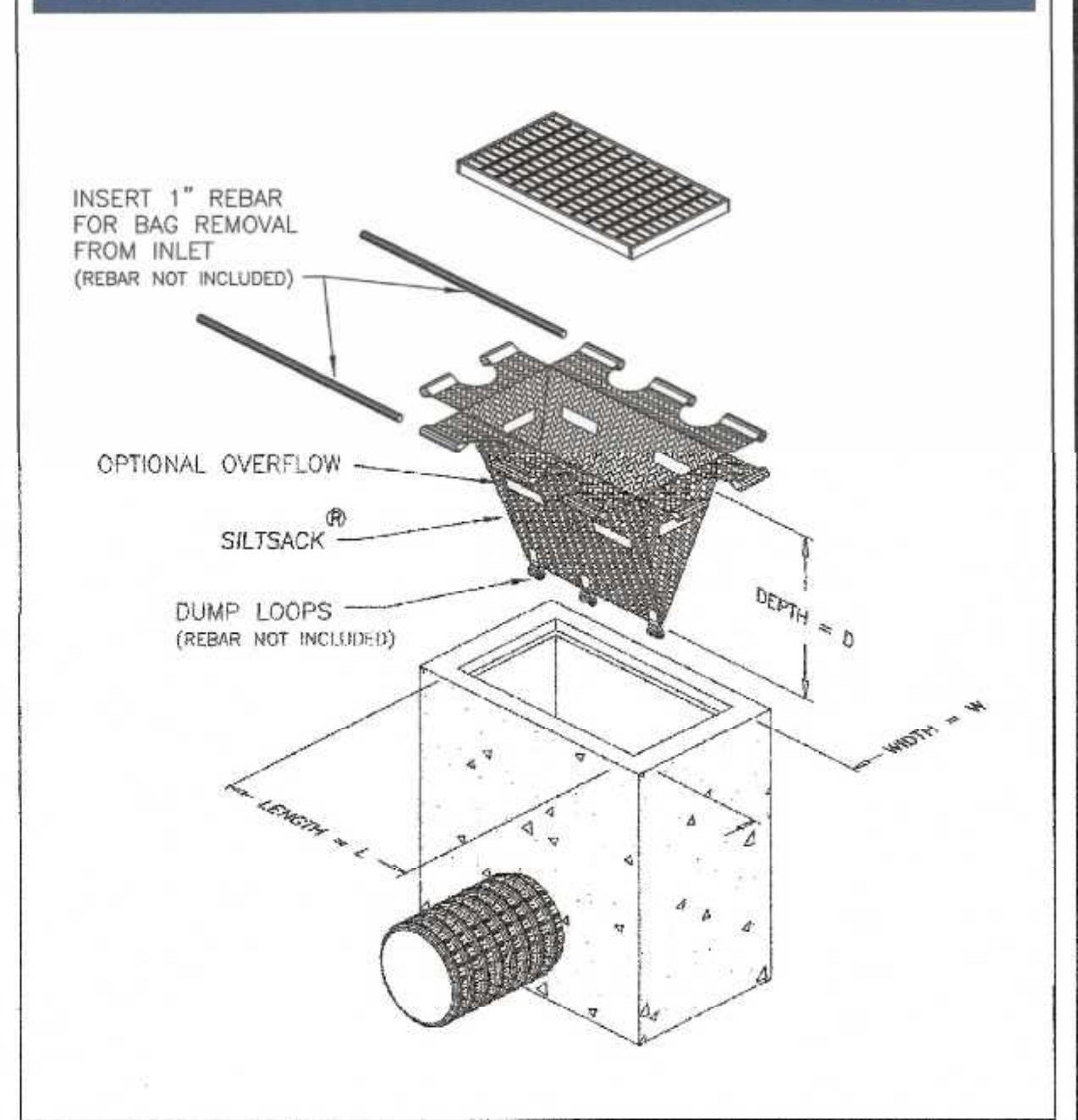
RIP RAP AT HEADWALL
N.T.S.

CONSTRUCTION NOTES:
1. RIP RAP TO BE MAXIMUM OF 21\"/>

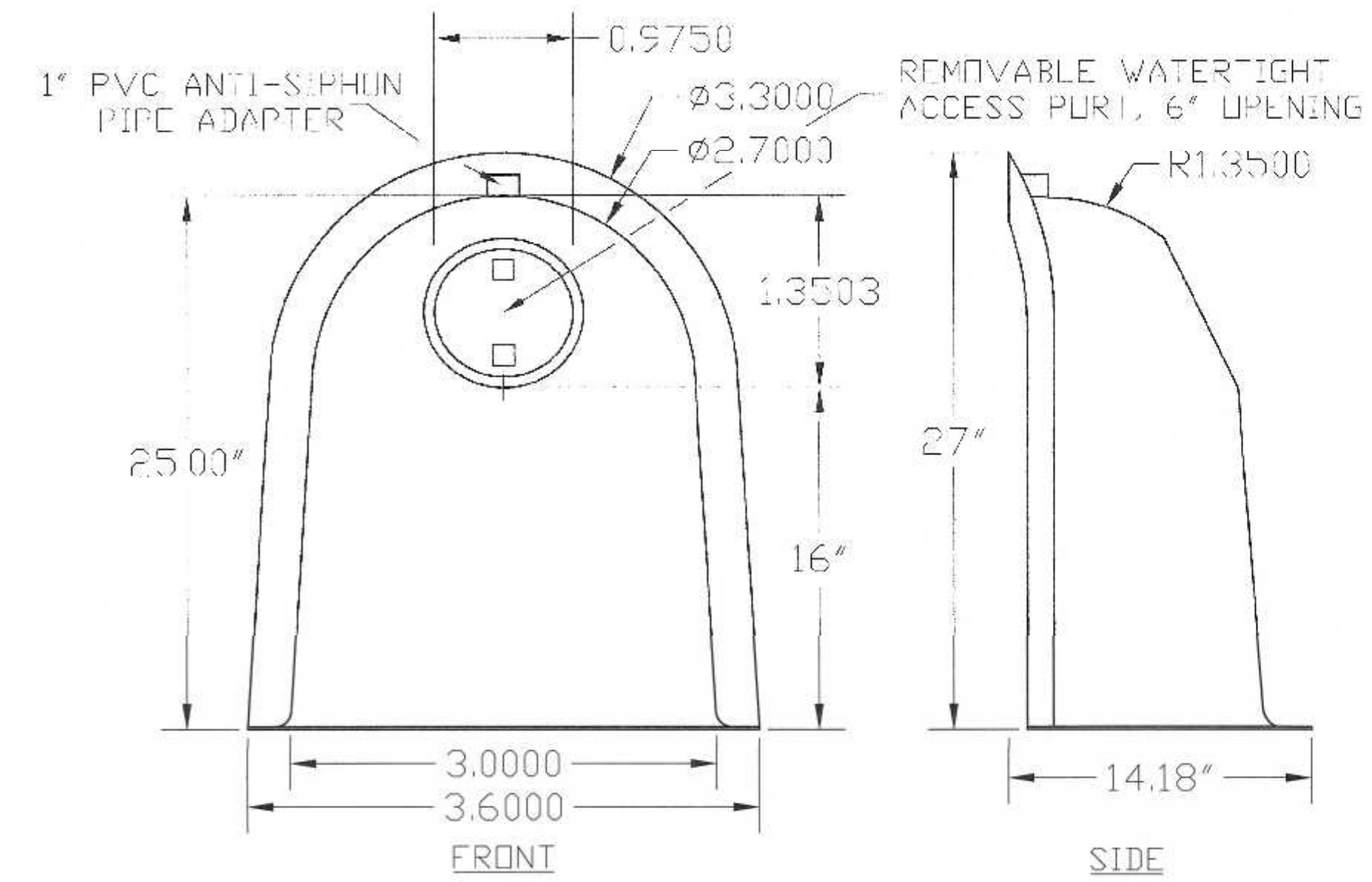
REFERENCE TECHNICAL SUPPLEMENT 14C - US BUREAU OF RECLAMATION METHOD.

$$D50 = 0.0122 \times 8.92^{2.06} = 1.11$$

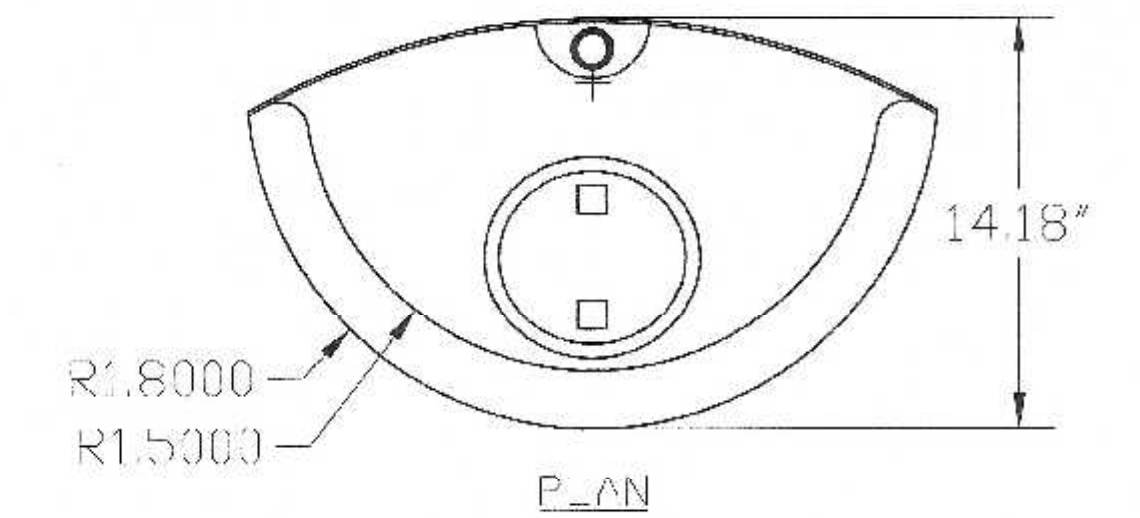
Typical Silt sack Construction - Type B



SILT SACK DETAIL
NOT TO SCALE



SNOUT DETAIL



US PATENT # 6126817
ADDITIONAL PATENTS PENDING

BMP, INC. 53 MT. ARCHER ROAD, LYME, CT. 06371 (800) 504-8008 FAX: (860)434-3195		
DESCRIPTION 18R SNOUT OIL & DEBRIS STOP	DATE 09/06/99	SCALE NONE
DRAWING NUMBER 18R		

OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

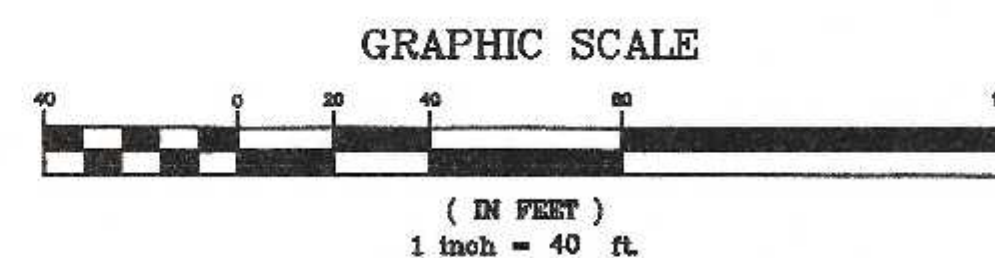
APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS



SITE PLAN
CONSTRUCTION DETAILS - 2
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

SITE PLAN APPROVAL
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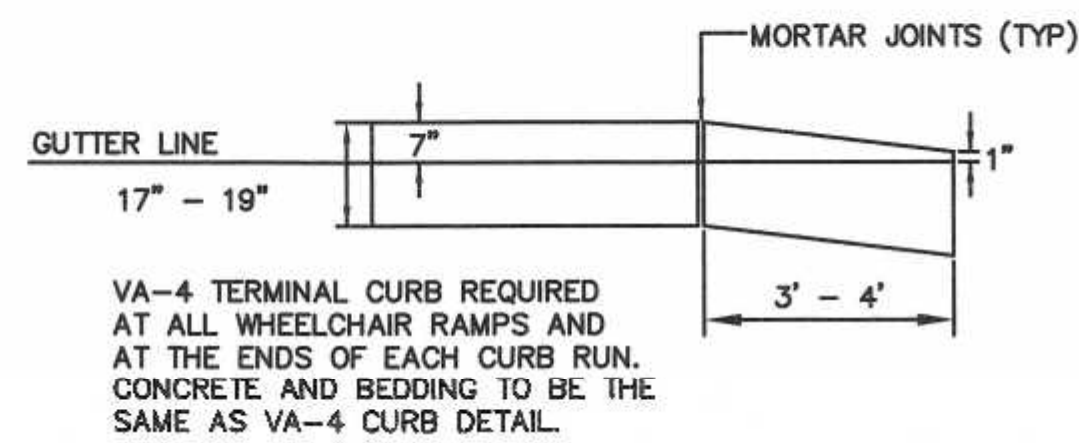


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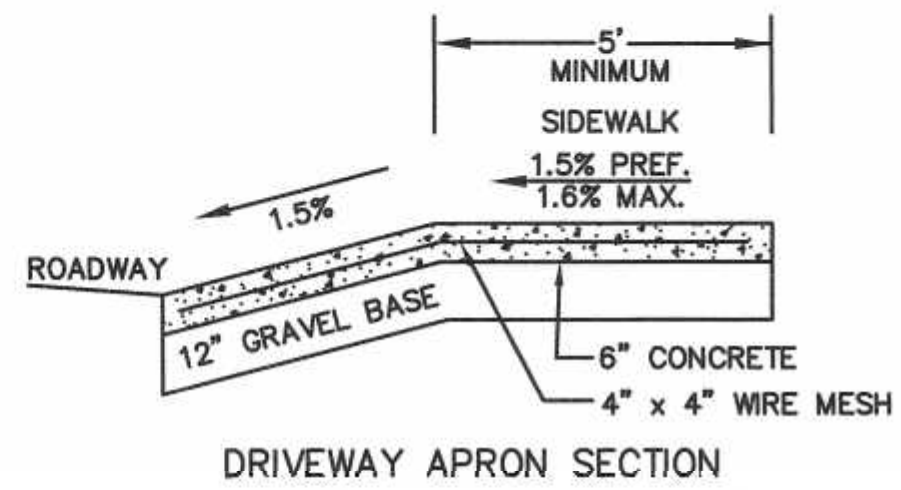
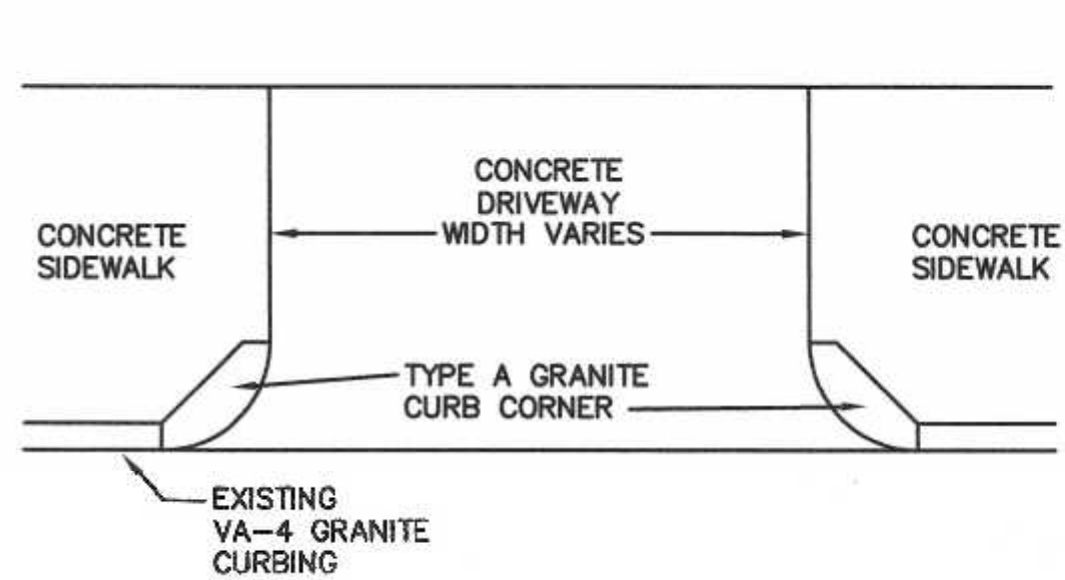
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4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8660 FAX 508-384-8586

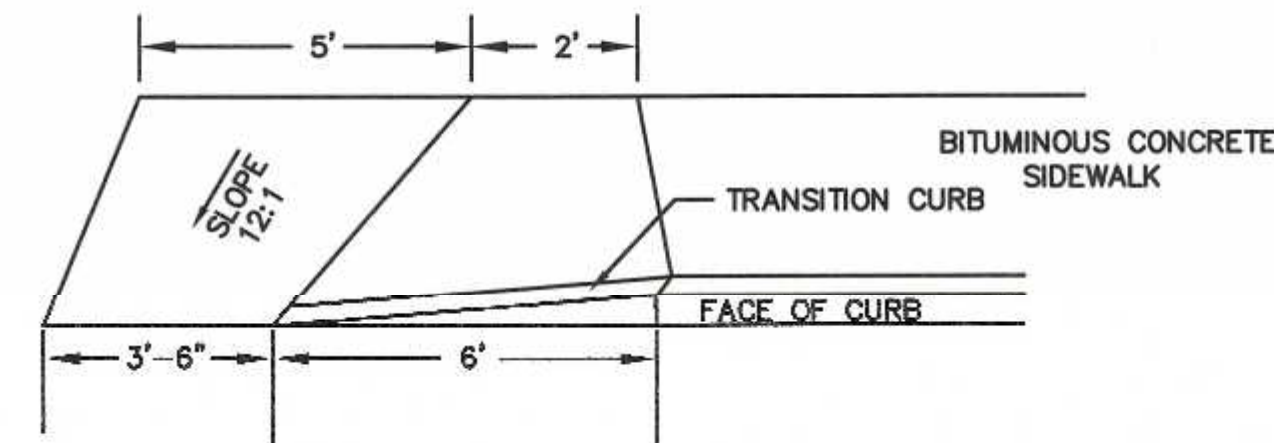
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SHEET
9 of 10



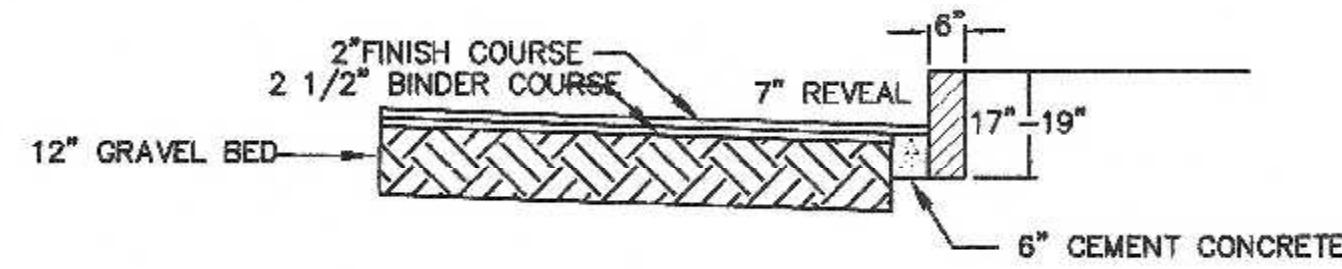
VA-4 TERMINAL AND TRANSITION CURB



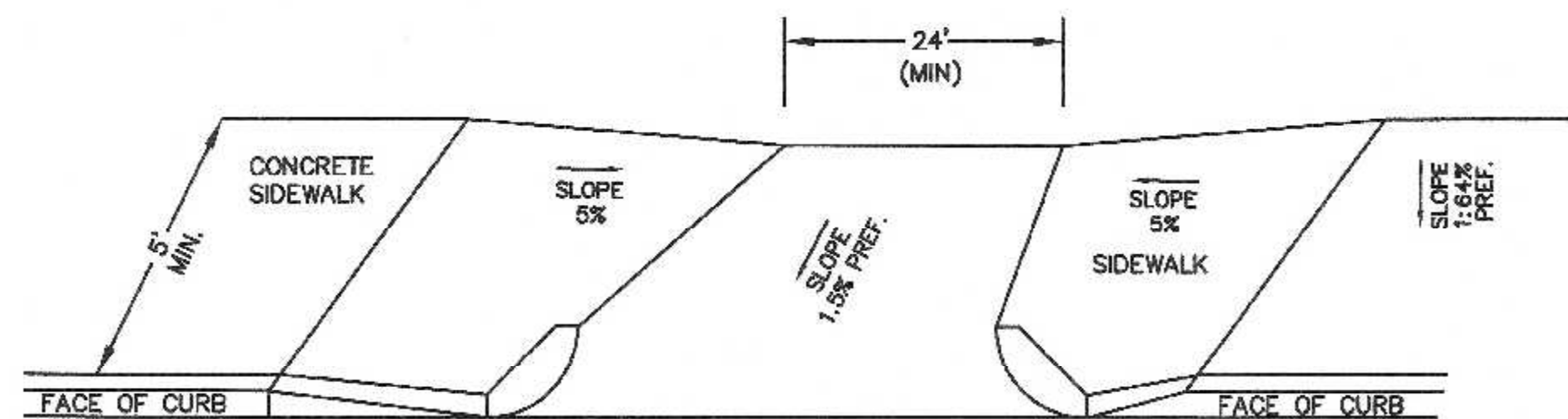
NOTES:
 1. CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.
 2. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.
 3. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.
 4. GRAVEL UNDER SIDEWALK TO BE M1.03.0 (TYPE B)



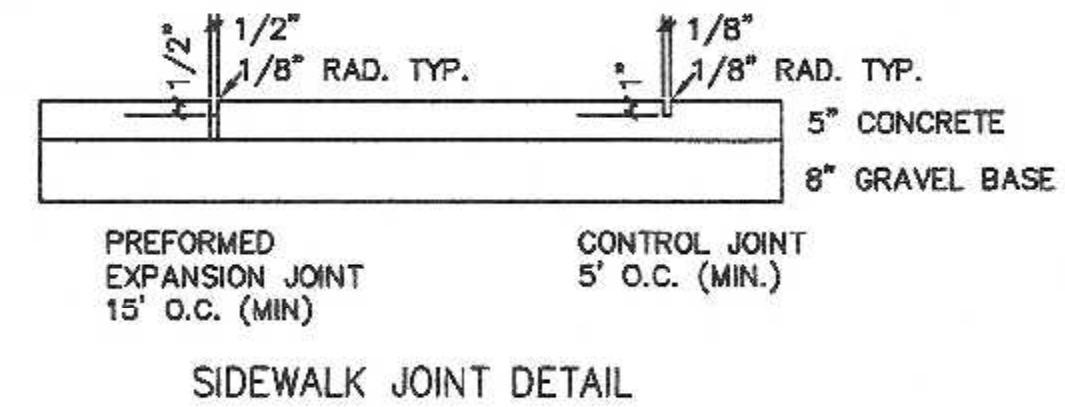
WHEELCHAIR RAMP



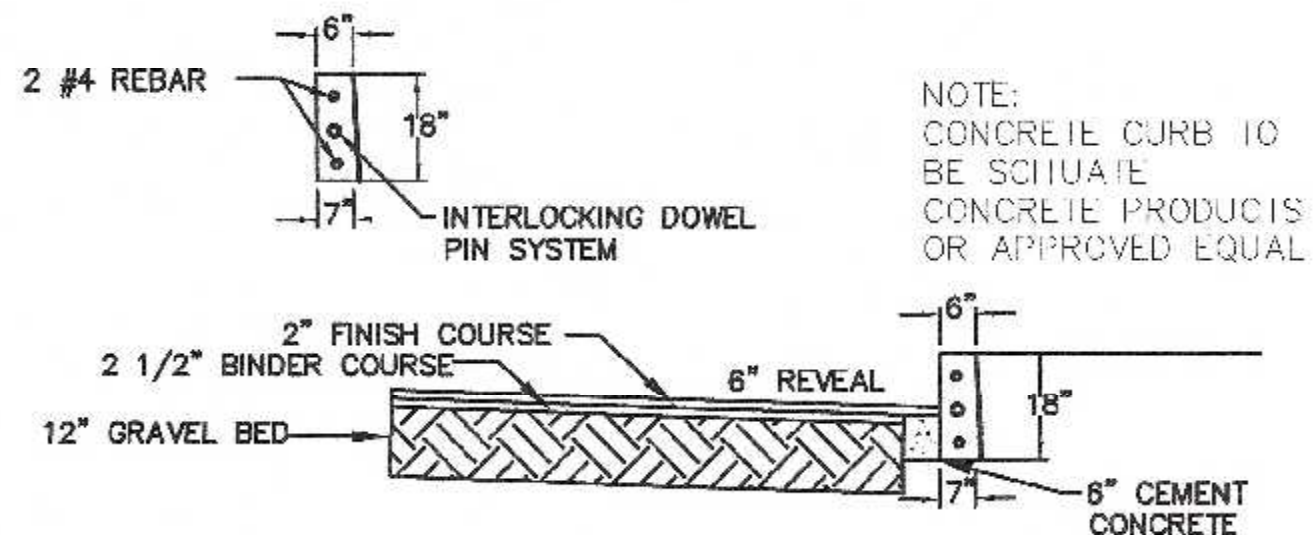
PAVEMENT AND VA-4 VERTICAL GRANITE CURBING



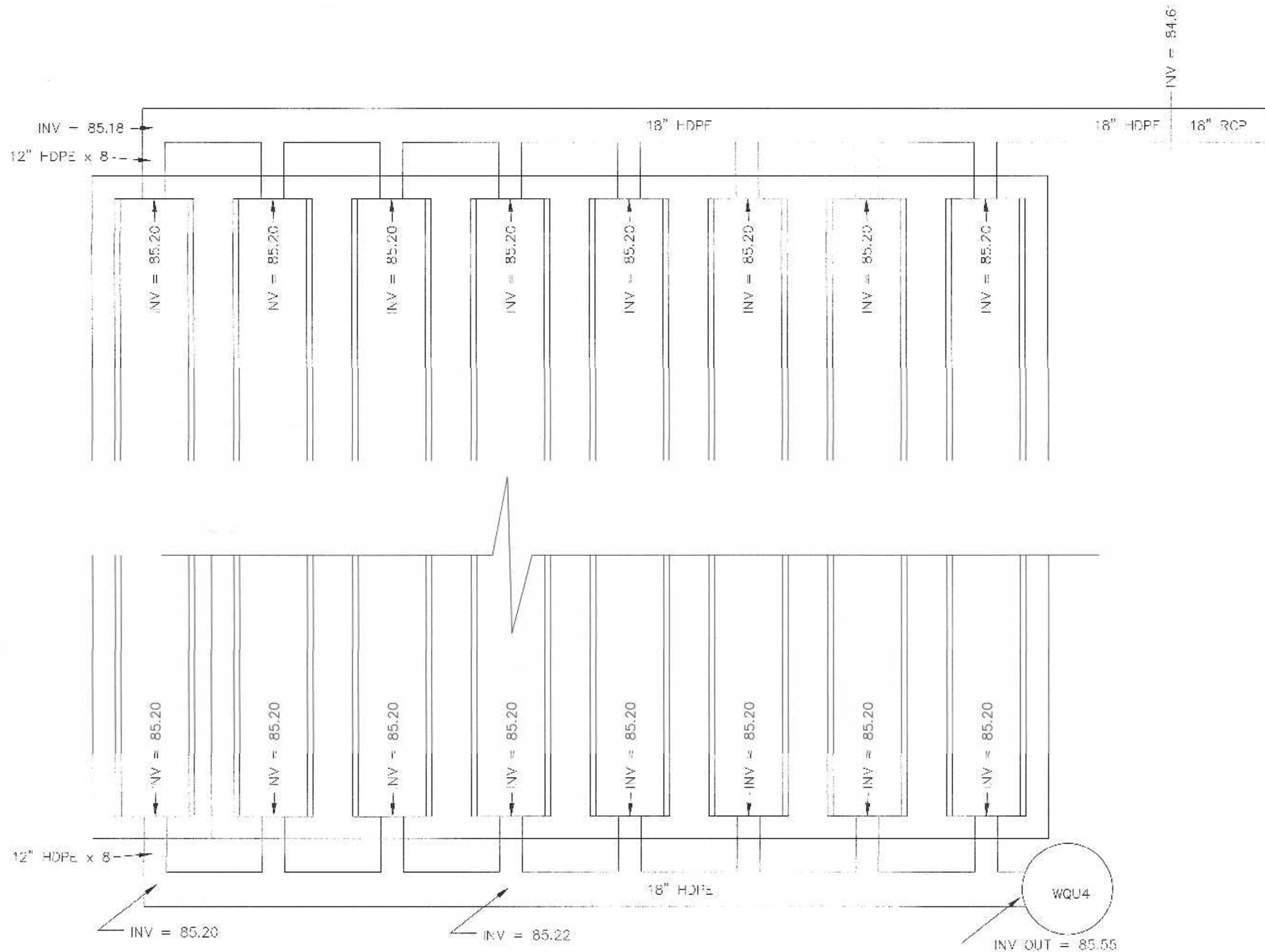
DRIVEWAY APRON



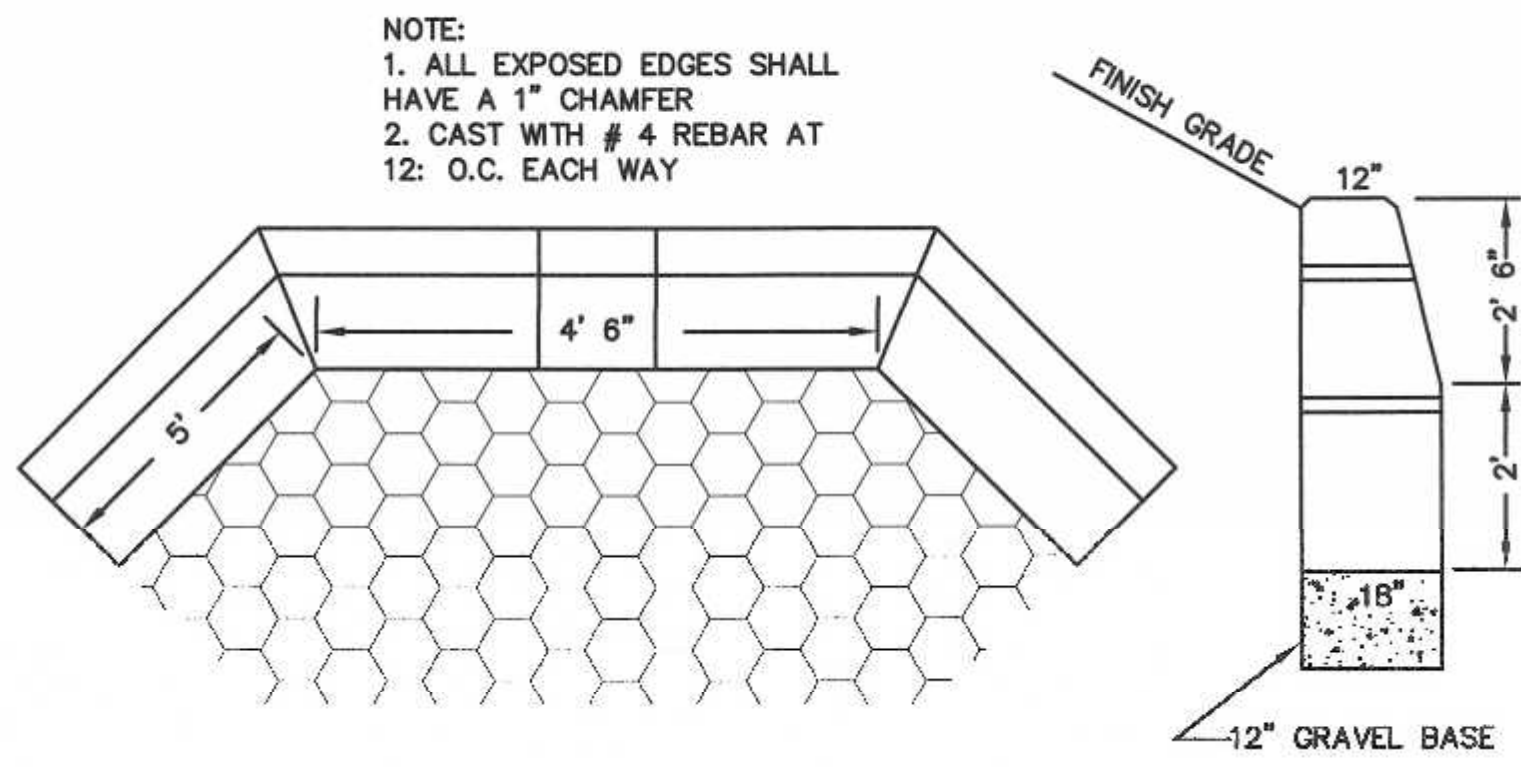
SIDEWALK JOINT DETAIL



PAVEMENT AND VERTICAL CONCRETE CURBING



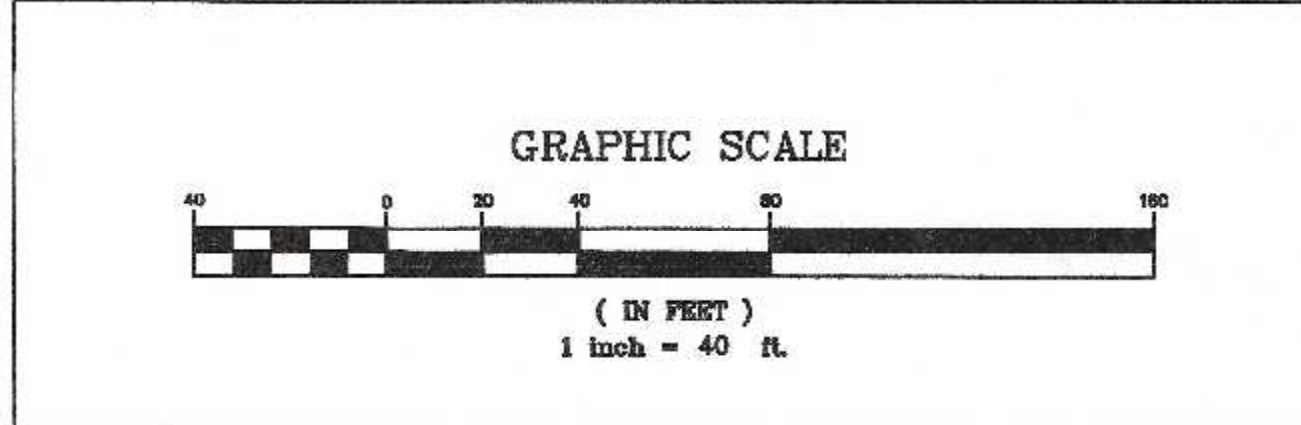
INFILTRATION POND 1 MANIFOLDS



TYPE "B" PRECAST HEADWALL

SITE PLAN
 CONSTRUCTION DETAILS - 3
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD
 DATE



NO.	DATE	DESCRIPTION	BY
2	9/12/22	BETA REVIEW COMMENTS	RRG
1	8/4/22	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
8/21	BL	
4/22	FIELD BOOK	PG#
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8580 FAX 508-384-8588

DATE
 APRIL 14, 2022
 SCALE
 1" = 40'
 PROJECT
 UC1007
 SHEET
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