

SITE PLAN

175 EAST CENTRAL STREET

FRANKLIN MASSACHUSETTS



LOCUS MAP
SCALE: 1" = 100'

- WAIVER REQUESTED:
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
 2. TO ALLOW THE USE OF HDPE PIPE FOR THE, ROOF DRAIN MANIFOLDS AND POND 1.
 3. TO ALLOW MINIMAL LIGHT SPILLAGE ONTO THE CHESTNUT STREET RIGHT OF WAY.

ZONING:

THE FRANKLIN FORD SITE IS LOCATED WITHIN A COMMERCIAL II ZONE.

INDUSTRIAL ZONE	REQUIREMENTS:	EXISTING	PROPOSED
AREA:	40,000 S.F.	226,697± S.F.	226,697± S.F.
FRONTAGE:	175'	243.21'	243.21'
DEPTH:	200'	759'±	759'±
HEIGHT:	3 STORIES 40'	21.1'	21.1' - 1 STORY
WIDTH:	157.5'	> 157.5'	> 157.5'
COVERAGE - STRUCTURES:	70%	12.1%	15.6%
STRUC. & PAVING:	80%	66.6%	76.3%
SETBACKS-			
FRONT:	40'	55.9'	55.9'
RIGHT SIDE:	30'	54.1'	37.2'
LEFT SIDE:	30'	20'	20'
REAR:	30'	37.8'	37.8'

LOT COVERAGE CALCULATION AREA BASED ON UPLAND AREA

THE ENTIRE PROPERTY IS LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT AND A DEP ZONE II. THE SITE AREA PROPOSED FOR DEVELOPMENT IS LOCATED IN A ZONE X BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

AREA WITHIN THE WATER RESOURCE DISTRICT - 226,697± SQ. FT.
 UPLAND AREA WITHIN THE WATER RESOURCE DISTRICT - 177,773± SQ. FT.
 IMPERVIOUS AREA WITHIN THE WATER RESOURCE DISTRICT - 135,580± SQ. FT.
 COVERAGE WITHIN THE WATER RESOURCE DISTRICT - = 76.3%

FRANKLIN FORD:
 BUILDING USE - AUTOMOBILE DEALERSHIP.

REFERENCES:
 ASSESSORS MAP 285 PARCEL 090-000-000
 DEED BOOK 28674 PAGE 487
 ASSESSORS MAP 285 PARCEL 092-000-000
 DEED BOOK 3788 PAGE 197
 PLAN 826 OF 1997
 LIMITED SITE PLAN FRANKLIN FORD, LLC DATED SEPTEMBER 11, 2013 AND ENDORSED ON OCTOBER 21, 2013.

DRAWING INDEX:

1. COVER SHEET
 2. EXISTING CONDITIONS PLAN
 3. SITE LAYOUT PLAN
 4. SITE GRADING AND UTILITY PLAN
 5. SITE PLANTING PLAN
 6. EROSION CONTROL PLAN
 7. CONSTRUCTION DETAILS - 1
 8. CONSTRUCTION DETAILS - 2
- SITE LIGHTING-LIGHTING PLAN,
 PHOTOMETRICS AND SCHEDULES
 BY SK & ASSOCIATES

OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

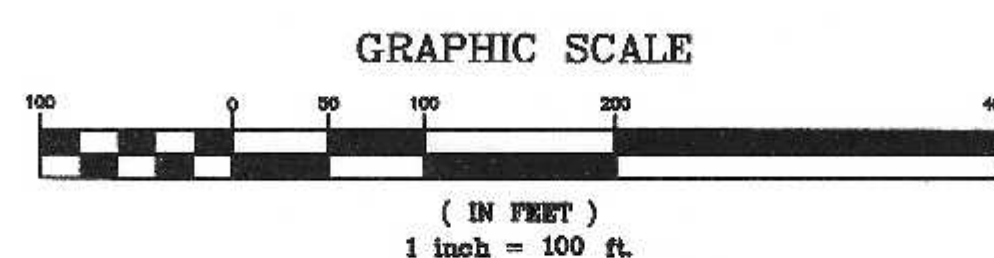
MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 COVER SHEET
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY



DATE	FIELD BY:	INT.
8/21	FIELD BOOK	BL
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

U
CONSULTANTS
INC.

850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8560 FAX 508-384-8566

DATE	APRIL 14, 2022
SCALE	1" = 200'
PROJECT	UC1007
SHEET	1 of 8

MARCH 25, 2022
 PERFORMED BY:
 CARLOS A. QUINTAL, P.E., SOIL EVALUATOR
 RICHARD GOODREAU

TP #1 ELEV. = 90.35
 0 - 76" MISCELLANEOUS FILL
 76" - 140" C - 2.5 YR 4/4 STRATIFIED
 SAND & GRAVEL
 ELEV = 78.88

NO GROUNDWATER OR MOTTILING OBSERVED
 PT 1 ELEV. = 83.85
 PERMEABILITY RATE = 26.88 IN/HR

TP #2 ELEV. = 90.6
 0 - 36" MISCELLANEOUS FILL
 36" - 120" C - 2.5Y 6/4 MEDIUM SAND
 ELEV = 80.6

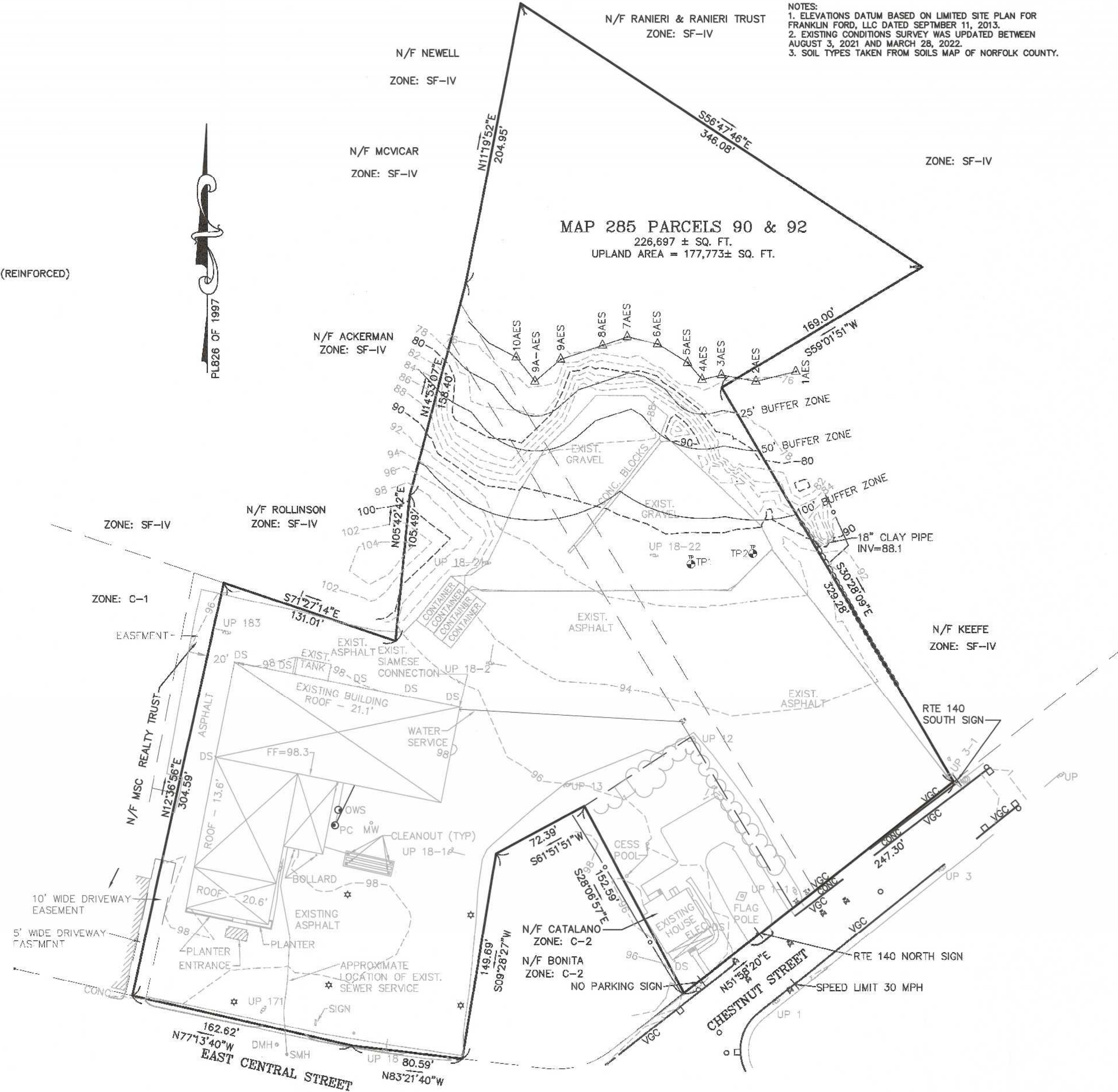
NO GROUNDWATER OR MOTTILING OBSERVED
 PT 2 ELEV. = 90.43
 PERMEABILITY RATE = 11.16 IN/HR

LEGEND:

- SBDH DRILL HOLE STONE BOUND
- SSM STEEL SURVEY MARKER
- 297- EXISTING COUNTOUR
- 297- PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- EXIST. TREE LINE
- U-P-262 UTILITY POLE
- OHW OVERHEAD WIRES
- GAS GATE
- WATER CURB STOP
- WATER GATE
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- CLEANOUT
- DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT
- R=5' CURB RADIUS
- (S) PARKING SPACE COUNT
- 1 SIGN
- OB BOLLARD



NOTES:
 1. ELEVATIONS DATUM BASED ON LIMITED SITE PLAN FOR FRANKLIN FORD, LLC DATED SEPTEMBER 11, 2013.
 2. EXISTING CONDITIONS SURVEY WAS UPDATED BETWEEN AUGUST 3, 2021 AND MARCH 28, 2022.
 3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.



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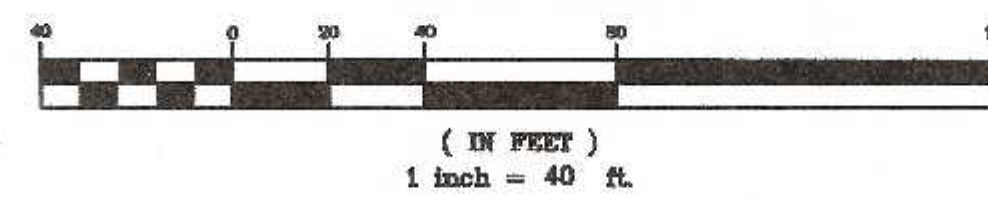
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**SITE PLAN
 EXISTING CONDITIONS PLAN**
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 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
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 FRANKLIN, MASSACHUSETTS
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**UNITED
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PARKING CALCULATIONS:

ZONING BYLAW SECTION 185-21B.(3)(b)ii - RETAILING - 1
SPACE PER 200 SQUARE FEET OF GROSS FLOOR AREA.
3,81 SQ. FT. / 200 = 16 SPACES

ZONING BYLAW SECTION 185-21B.(3)(b)iii - OTHER OFFICES
AND BANKS - 1 SPACE PER 250 SQUARE FEET OF GROSS
FLOOR AREA.
2,548 SQ. FT. / 250 = 11 SPACES

ZONING BYLAW SECTION 185-21B.(3)(b)vi - WAREHOUSE - 1
SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA.
23,702 SQ. FT. / 1,000 = 24 SPACES

51 SPACES REQUIRED

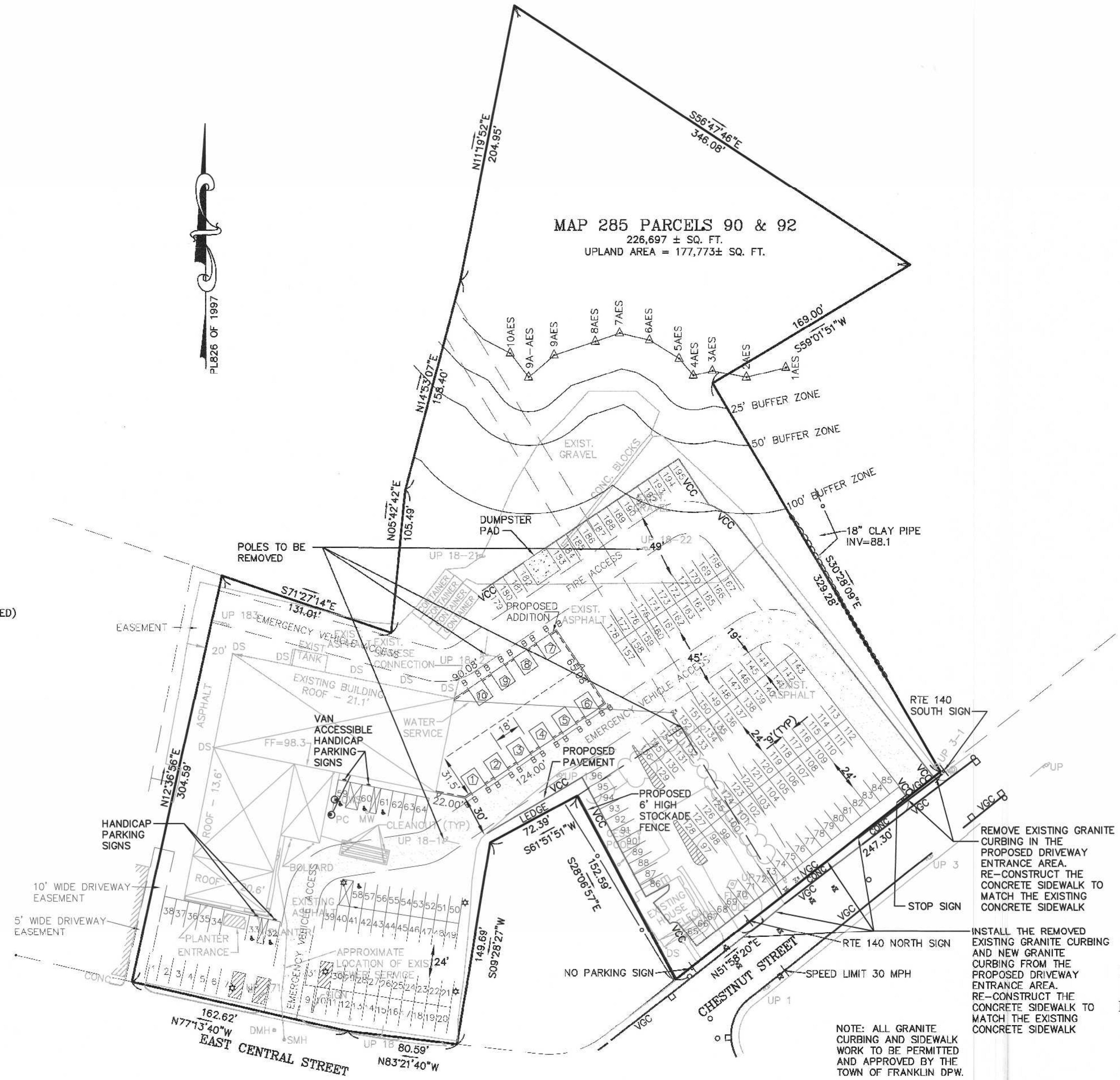
195 SPACES PROPOSED INCLUDING 6 HANDICAP SPACES.

DIMENSION NOTES:

1. ALL PARKING SPACES ARE TO BE 9' x 19'
2. ALL ACCESS AISLES ARE TO BE A MINIMUM OF 24' WIDE.

LEGEND:

- | | | | |
|--------|------------------------|------|--|
| SBDH | DRILL HOLE STONE BOUND | ⊔ | CATCH BASIN |
| SSM | STEEL SURVEY MARKER | ⊙ | SEWER MANHOLE |
| -297- | EXISTING COUNTOUR | CO | CLEANOUT |
| -297- | PROPOSED COUNTOUR | D | DUMPSTER |
| x274.3 | SPOT GRADE - PROPOSED | VCC | VERTICAL CONCRETE CURBING (REINFORCED) |
| --- | EXIST. TREE LINE | VGC | VERTICAL GRANITE CURBING |
| ⊕-262 | UTILITY POLE | ⊕ | HANDICAP PARKING SPACE |
| CHW | OVERHEAD WIRES | ⊕ | BUILDING MOUNTED LIGHT |
| ⊕ | GAS GATE | ⊕ | POLE MOUNTED LIGHT |
| ⊕ | WATER CURB STOP | R=5' | CURB RADIUS |
| ⊕ | WATER GATE | ⊕ | PARKING SPACE COUNT |
| ⊕ | FIRE HYDRANT | ⊕ | SIGN |
| ⊕ | DRAIN MANHOLE | OB | BOLLARD |



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9 CHESTNUT STREET
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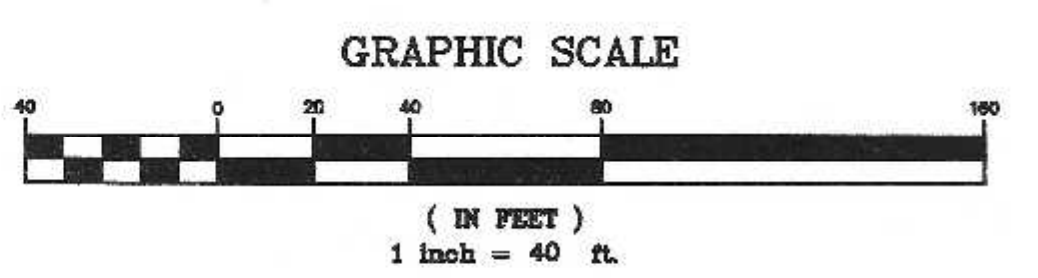
APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

**SITE PLAN
LAYOUT & MATERIALS PLAN**
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
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NOTE: ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



CARLOS A. QUINTAL
P.E. #30612

DATE	FIELD BY:	INT.
8/21	BL	
BK#	FIELD BOOK	PG#
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UNITED CONSULTANTS INC.
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SECTION 185-40 WATER RESOURCE DISTRICT:
 1. THE APPLICANT WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATION WITH RESPECT TO STORAGE OR DISPOSAL OF TOXIC OR HAZARDOUS MATERIALS, INCLUDING STORAGE WITHIN THE INDUSTRIAL WASTE WATER HOLDING TANK.
 2. CONSTRUCTION FILL IN EXCESS OF 15 CUBIC YARDS MUST COMPLY WITH SECTION 185-40.E.(5).

NOTES:
 1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
 3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.

SNOW AND ICE NOTES:
 1. PARKING SPACES ABOVE THE REQUIRED NUMBER OF SPACES TO BE USED FOR ADDITIONAL SNOW STORAGE.
 2. NO DISPOSAL AND OR STOCKPILING OF SNOW AND ICE THAT CONTAINS DEICING CHEMICALS SHALL BE BROUGHT TO THE SITE FORM OUTSIDE THE DISTRICT. SEE ZONING BYLAW SECTION 185-40.D.(1)(f)

WETLAND BUFFER ZONE DISTURBANCES:
 0 - 25' BUFFER ZONE = 0 SQ. FT.
 25' - 50' BUFFER ZONE = 1,429 SQ. FT.
 50' - 100' BUFFER ZONE = 8,501 SQ. FT.
 IMPERVIOUS SURFACE WITHIN THE 50' - 100' BUFFER ZONE = 10%

THERE ARE NOT ANY VERNAL POOLS WITHIN 100 FEET OF ANY PROPOSED WORK.

UTILITY NOTES:
 1. DOMESTIC WATER SUPPLY SHOWN FOR LOCATION ONLY.
 2. ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES.
 3. THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE STORMWATER INFILTRATION POND PRIOR TO ANY FILL OR STONE BEING PLACED.

DRAINAGE PIPING NOTES:
 1. ALL RCP PIPE TO BE CLASS V.
 2. HDPE PIPE TO BE ADS OR APPROVED EQUAL.
 3. 8" ROOF DRAIN TO BE SCH 40 PVC
 4. WHERE HDPE PIPE CONNECTS TO RCP PIPE INSTALL A FERNCO LDC 10 37.00 X 32.00 COUPLING. (OR APPROVED EQUAL)

PROPOSED DRAINAGE STRUCTURE SCHEDULE:

CB 1 RIM = 94.55 INV OUT = 90.55 12" RCP	DMH 1 RIM = 91.7 INV IN = 87.57 12" RCP INV OUT = 87.47 12" RCP
CB 2 RIM = 92.5 INV OUT = 88.47 12" RCP	DMH 2 RIM = 92.5 INV IN = 86.55 12" RCP INV OUT = 86.05 18" RCP
CB 3 RIM = 89.90 INV OUT = 86.58 12" RCP	DMH 3 RIM = 89.3 INV IN = 86.17 12" RCP INV IN = 85.67 18" RCP INV OUT = 85.57 18" RCP
CB 4 RIM = 89.2 INV OUT = 86.19 12" RCP	WQU 4 RIM = 89.5 INV IN = 85.55 18" RCP INV OUT = 85.55 18" HDPE
CB 5 RIM = 89.6 INV OUT = 86.8 12" RCP	FES 1 INV = 92.34 FES 2 INV = 82.00

WATER AND ELECTRIC SERVICES - TO BE VERIFIED IN THE FIELD AND REDIRECTED AS NECESSARY. FLOOR DRAINS TO DISCHARGE TO EXISTING FLOOR DRAIN INSIDE BUILDING. ROOF DRAINS TO BE COLLECTED AND DISCHARGED, AS SHOWN ON PLAN.

LEGEND:

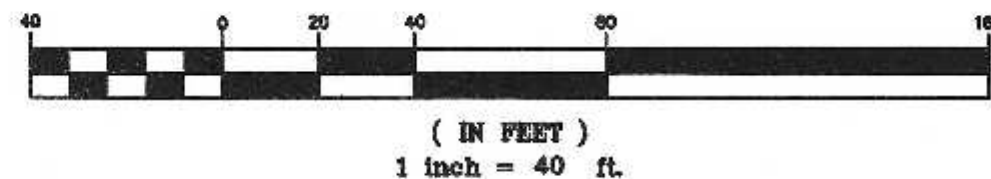
SBDH	DRILL HOLE STONE BOUND	□	CATCH BASIN
SSM	STEEL SURVEY MARKER	⊙	SEWER MANHOLE
-297-	EXISTING CONTOUR	CO	CLEANOUT
-297-	PROPOSED CONTOUR	D	DUMPSTER
x274.3	SPOT GRADE - PROPOSED	VCC	VERTICAL CONCRETE CURBING (REINFORCED)
—	EXIST. TREE LINE	VGC	VERTICAL GRANITE CURBING
P-262	UTILITY POLE	⊙	HANDICAP PARKING SPACE
—	OVERHEAD WIRES	★	BUILDING MOUNTED LIGHT
⊙	GAS GATE	☆	POLE MOUNTED LIGHT
⊙	WATER CURB STOP	R=5'	CURB RADIUS
⊙	WATER GATE	⑤	PARKING SPACE COUNT
⊙	FIRE HYDRANT	+	SIGN
⊙	DRAIN MANHOLE	⊙B	BOLLARD

NOTE: ALL VERTICAL CONCRETE CURBING TO BE REINFORCED.

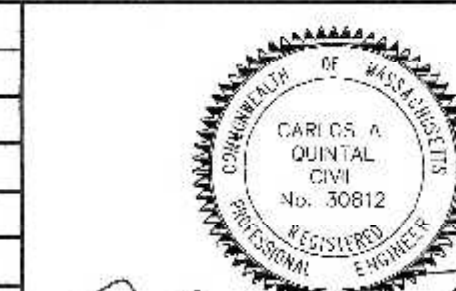
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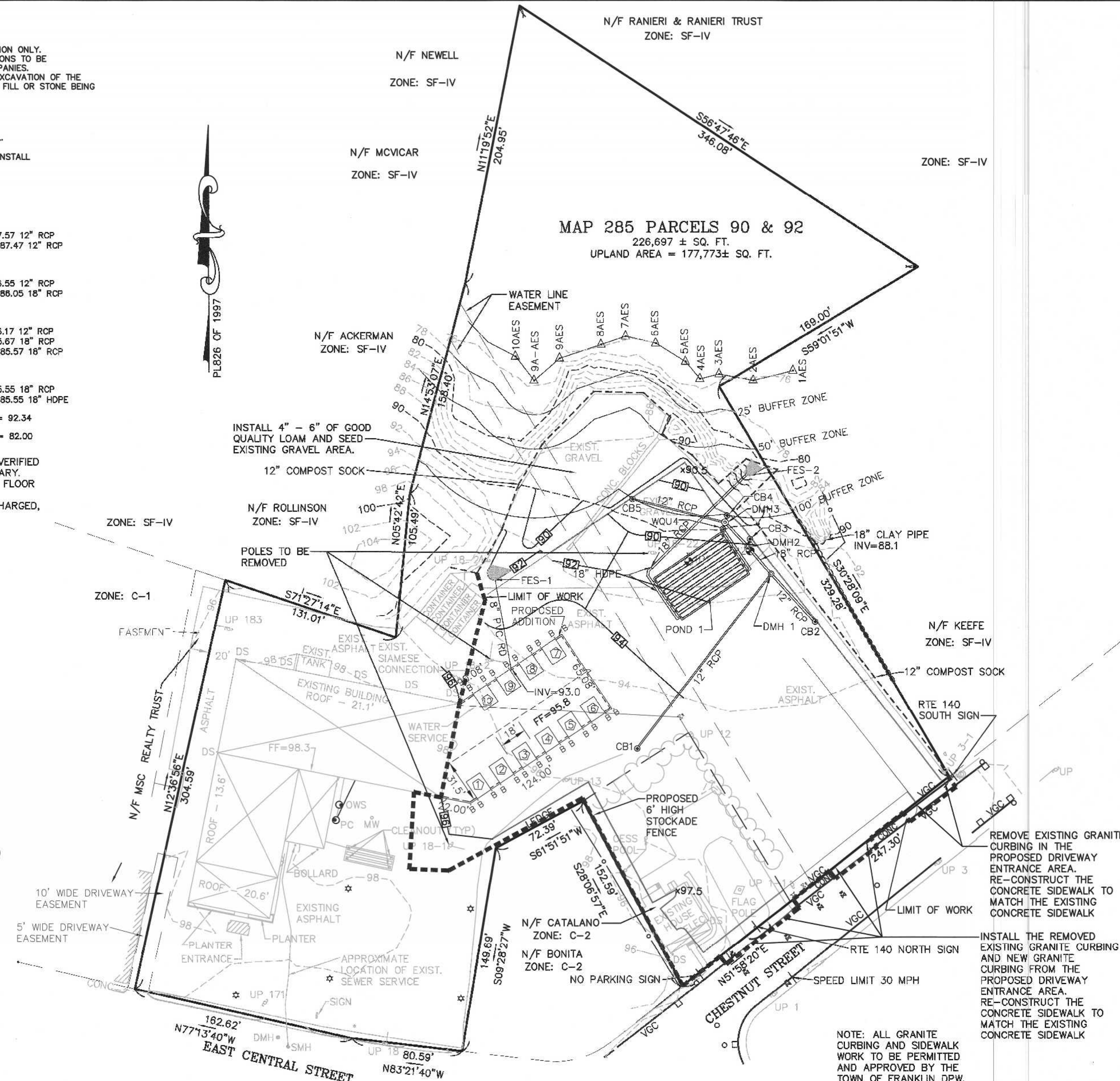


CARLOS A. QUINTAL P.E. 436812

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 508-384-8560 FAX 508-384-6586

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 SCALE
 1" = 40'
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 UC1007
 SHEET
 4 of 8



OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS
 APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 GRADING & UTILITIES
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
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REMOVE EXISTING GRANITE CURBING IN THE PROPOSED DRIVEWAY ENTRANCE AREA. RE-CONSTRUCT THE CONCRETE SIDEWALK TO MATCH THE EXISTING CONCRETE SIDEWALK
 INSTALL THE REMOVED EXISTING GRANITE CURBING AND NEW GRANITE CURBING FROM THE PROPOSED DRIVEWAY ENTRANCE AREA. RE-CONSTRUCT THE CONCRETE SIDEWALK TO MATCH THE EXISTING CONCRETE SIDEWALK

NOTE: ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.

PLANTING SCHEDULE

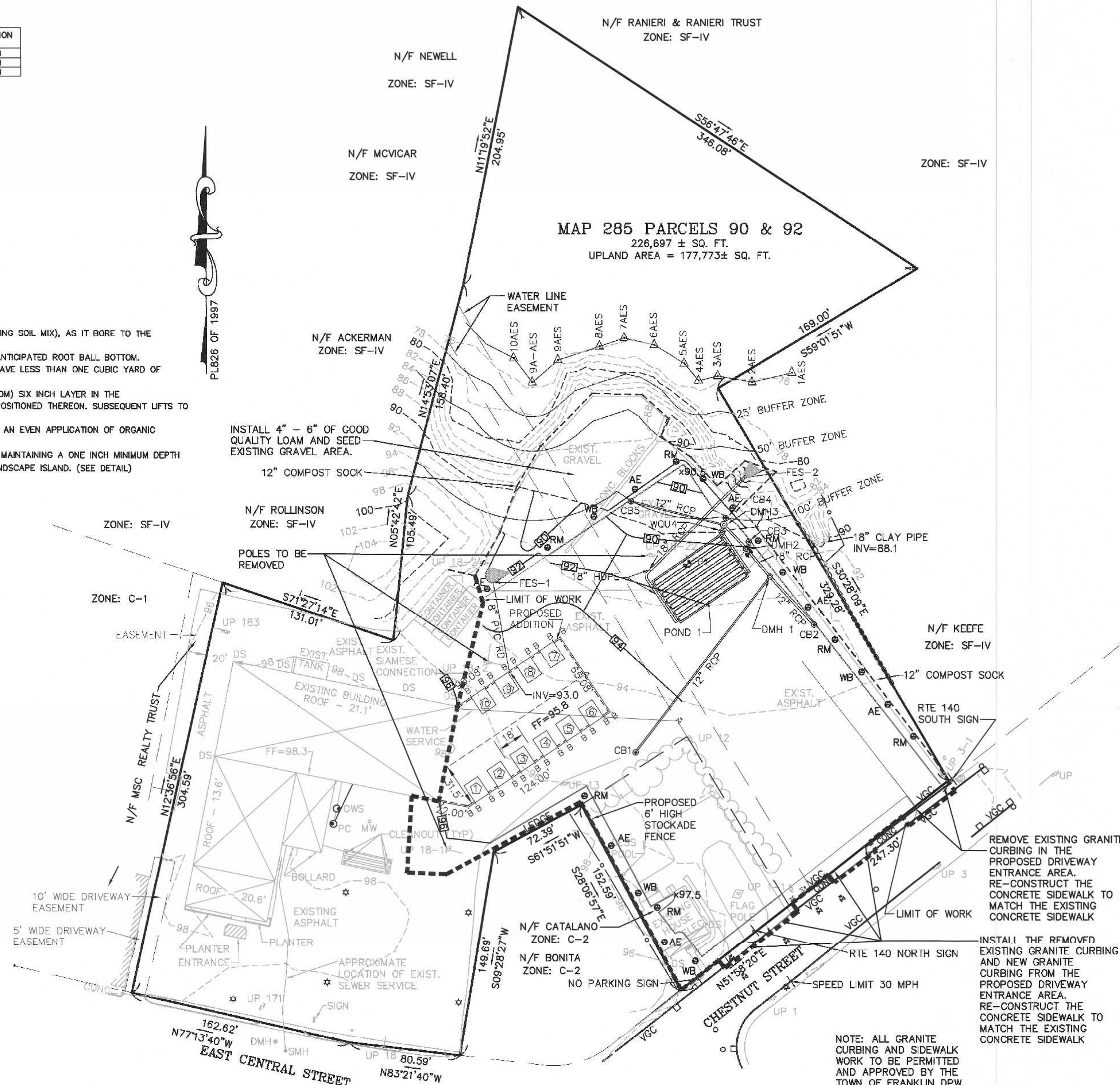
NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
7	AMERICAN ELM - AE	ULMUS AMERICANA	3"	B&B
7	RED MAPLE - RM	ACER RUBRUM	3"	B&B
6	WHITE BIRCH - WB	BETULA Papyrifera	4 - 6 FEET	B&B

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES.
 195 TOTAL PARKING SPACES / 10 = 20 TREES
 - 20 TREES PROVIDED.
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.

GENERAL SITE PLANTING NOTE:
 ALL DISTURBED AREAS NOT COVERED WITH BUILDING, ASPHALT PAVEMENT, CURBING, STONE, RIPRAP OR GEOWEB SHALL HAVE 4" TO 6" OF GOOD QUALITY LOAM COVERING THE AREAS AND SHALL BE HYDROSEEDED.

GENERAL NOTES

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)



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SITE PLAN
 PLANTING PLAN
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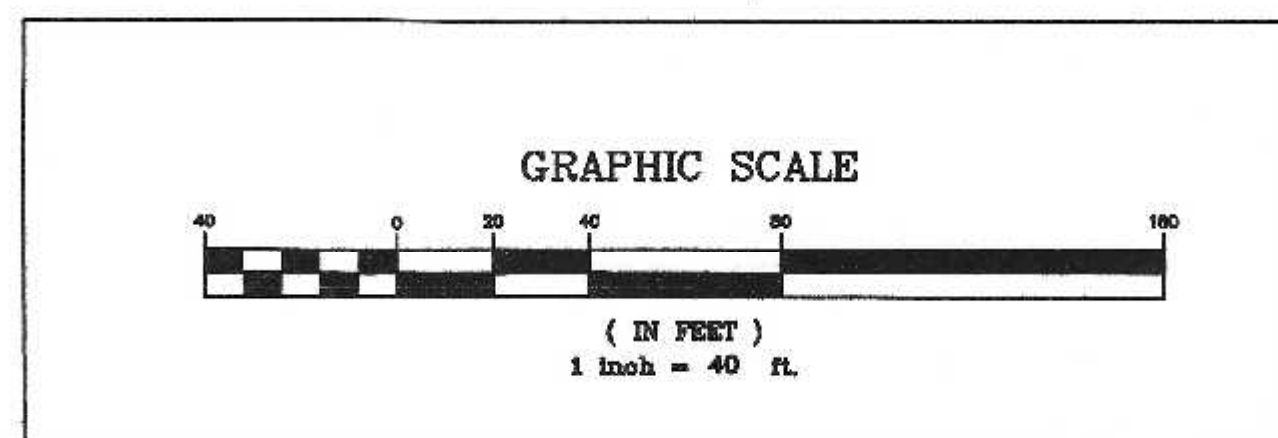
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REMOVE EXISTING GRANITE CURBING IN THE PROPOSED DRIVEWAY ENTRANCE AREA. RE-CONSTRUCT THE CONCRETE SIDEWALK TO MATCH THE EXISTING CONCRETE SIDEWALK

INSTALL THE REMOVED EXISTING GRANITE CURBING AND NEW GRANITE CURBING FROM THE PROPOSED DRIVEWAY ENTRANCE AREA. RE-CONSTRUCT THE CONCRETE SIDEWALK TO MATCH THE EXISTING CONCRETE SIDEWALK

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OPERATION AND MAINTENANCE PLAN

CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, NAME AND PHONE NUMBER TO BE PROVIDED, SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS EXISTING AND PROPOSED AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
9. THE CDS UNIT SHALL BE CLEANED WITH A VACUUM TRUCK.

INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENTS ARE TO BE REMOVED.
3. INSPECTIONS OF THE WATER QUALITY UNIT TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1 TO DETERMINE IF CLEANING IS NECESSARY.

OPERATION AND MAINTENANCE SCHEDULE

CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. ONCE THE PARKING LOT HAS BEEN PAVED DAILY INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS. SILT SAKS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
4. THE WATER QUALITY UNIT SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
5. THE POND SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.

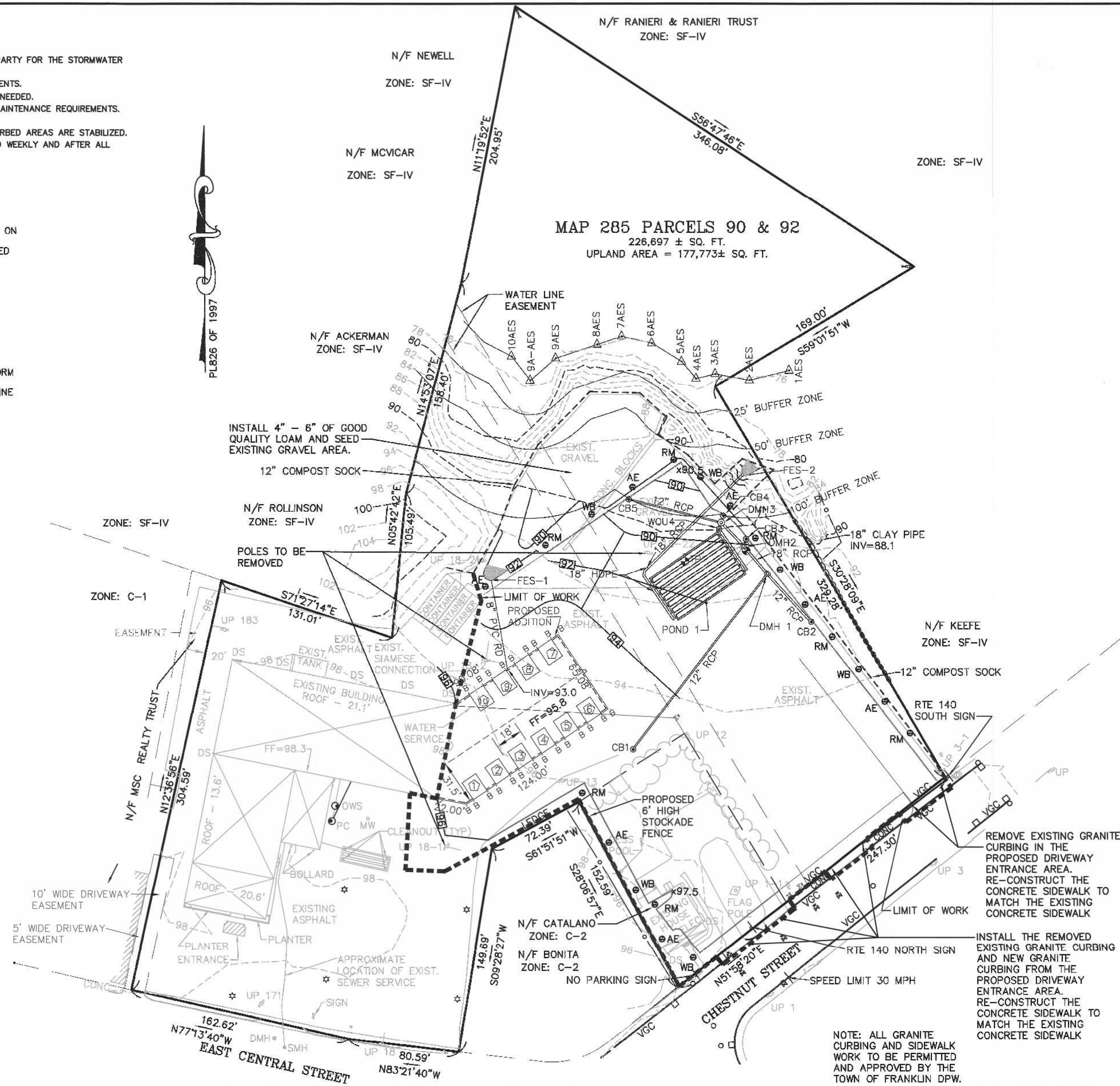
ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

LONG TERM:

1. THE PARKING LOT SHALL BE SWEEP FOUR TIMES PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE WATER QUALITY UNITS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES.
3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

EROSION CONTROL NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
3. REFER TO CONSTRUCTION SEQUENCE FOR SLOPE GREATER THAN 3" HORIZONTAL TO 1" VERTICAL.
4. WATER QUALITY UNITS, CATCH BASINS, UNDERGROUND POND AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
5. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
7. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
9. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.



OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

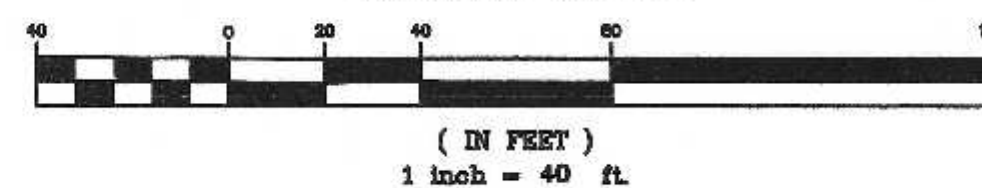
SITE PLAN
EROSION CONTROL PLAN
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

NOTE: ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



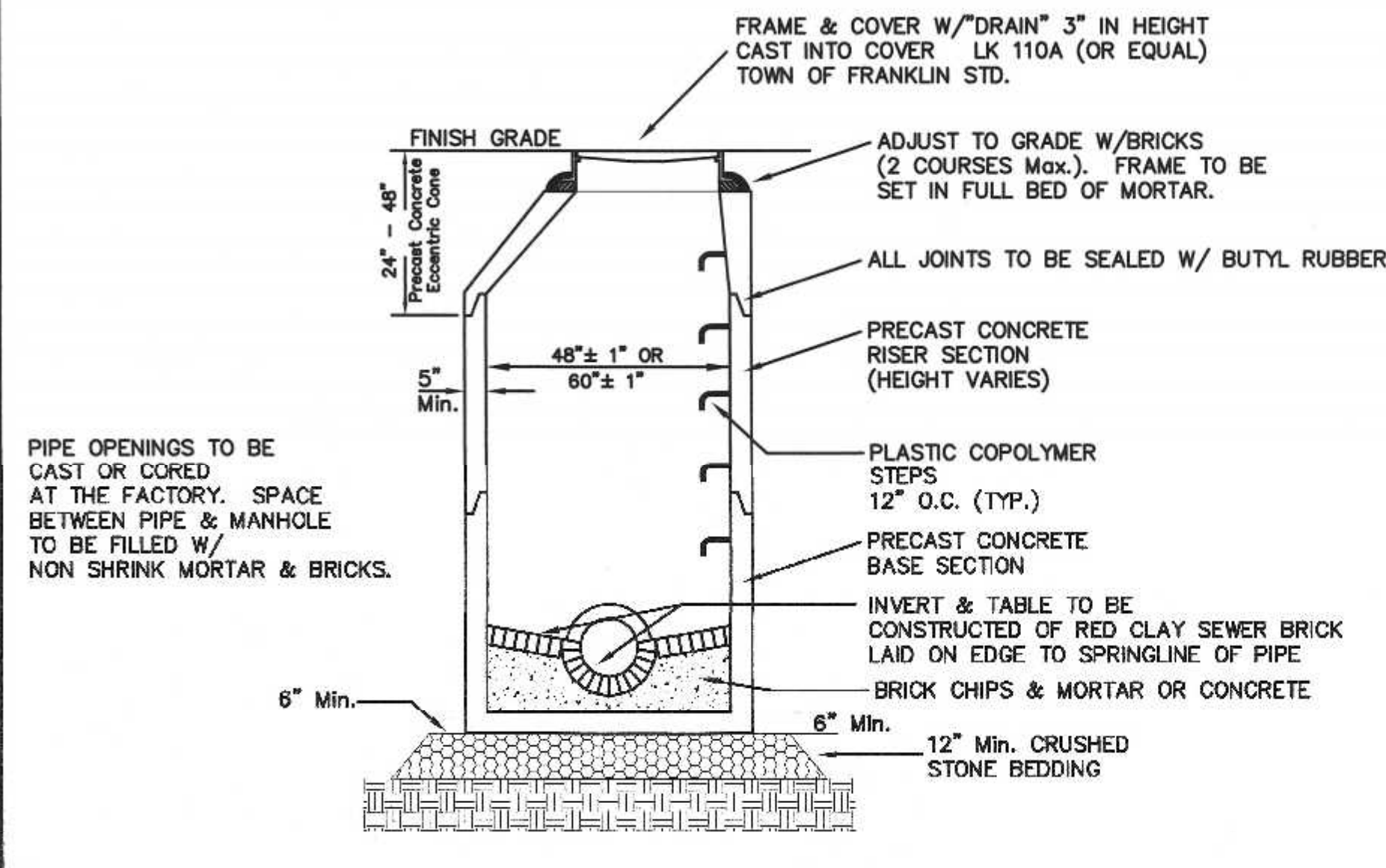
CARLOS A. QUINTAL P.E. #30812

DATE	FIELD BY:	INT.
8/21	BL	BL
BK#	FIELD BOOK	PG#
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

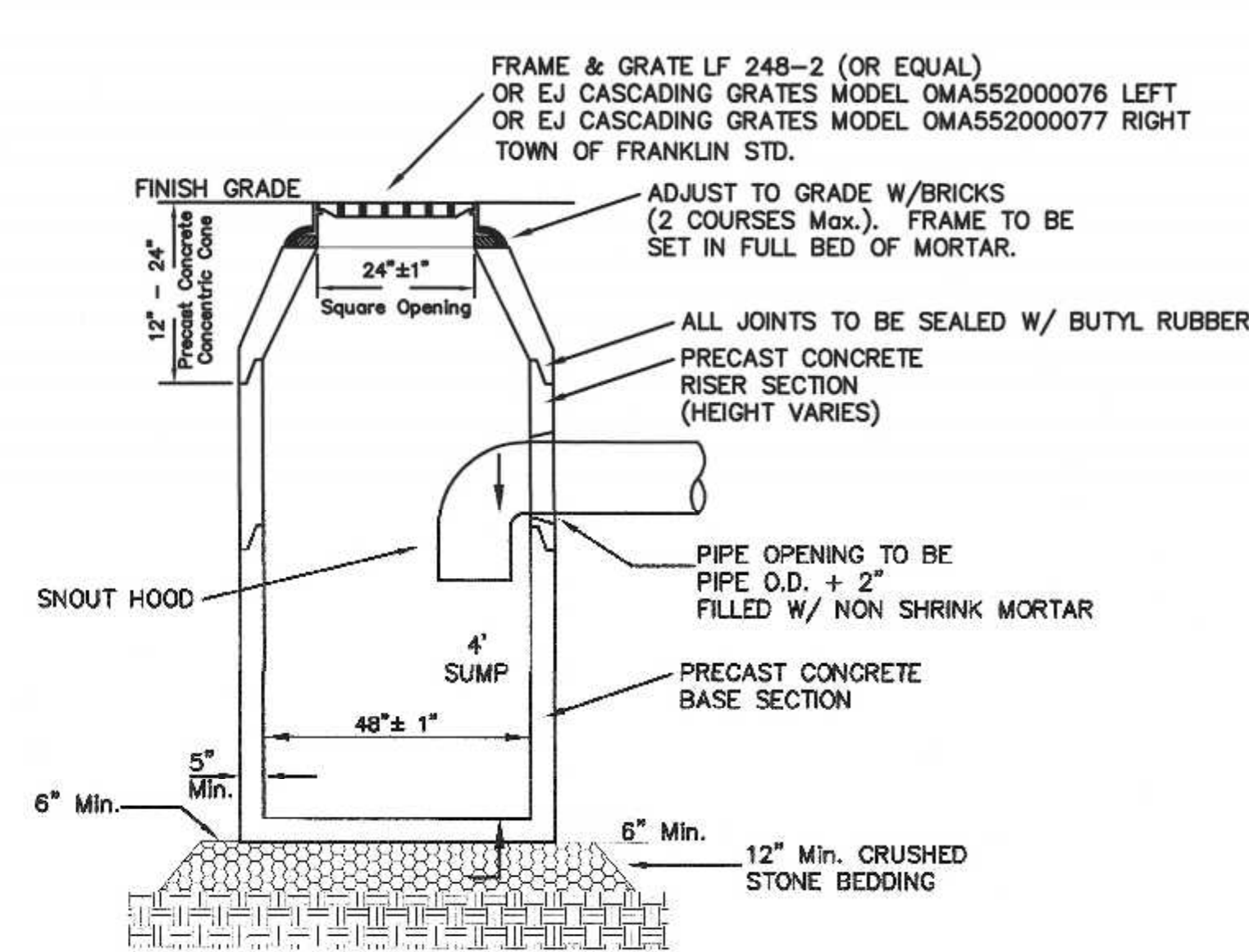
UNITED CONSULTANTS INC.
860 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-304-6568

DATE
APRIL 14, 2022
SCALE
1" = 40'
PROJECT
UC1007
SHEET
8 of 8

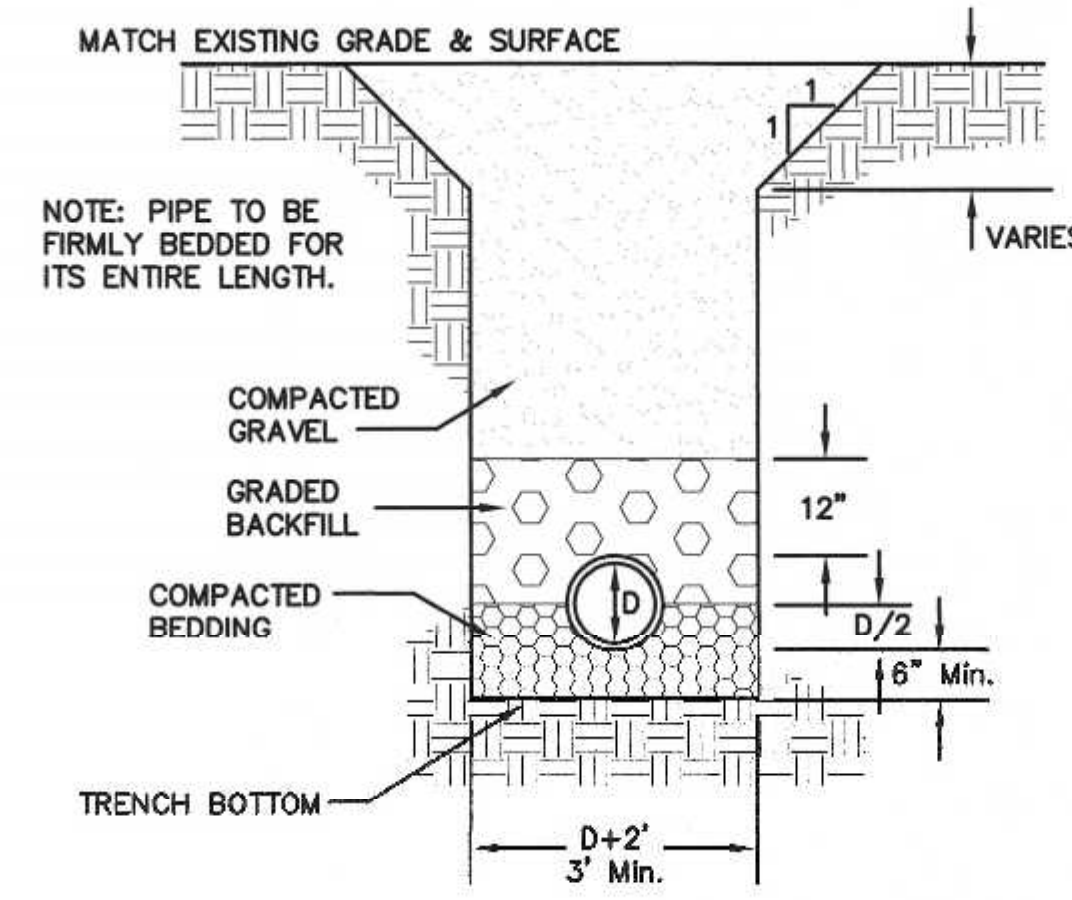
NO.	DATE	DESCRIPTION	BY



PRECAST DRAIN MANHOLE

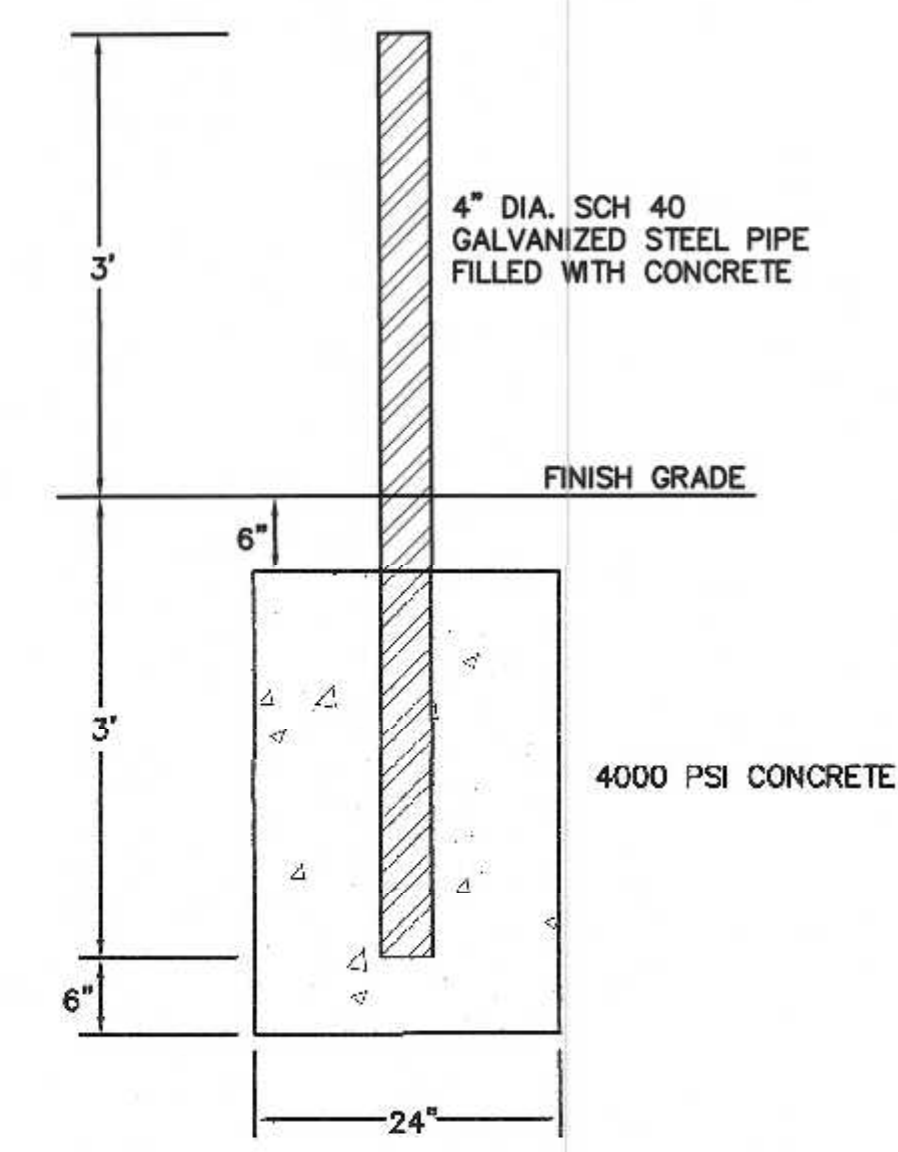


PRECAST CATCH BASIN



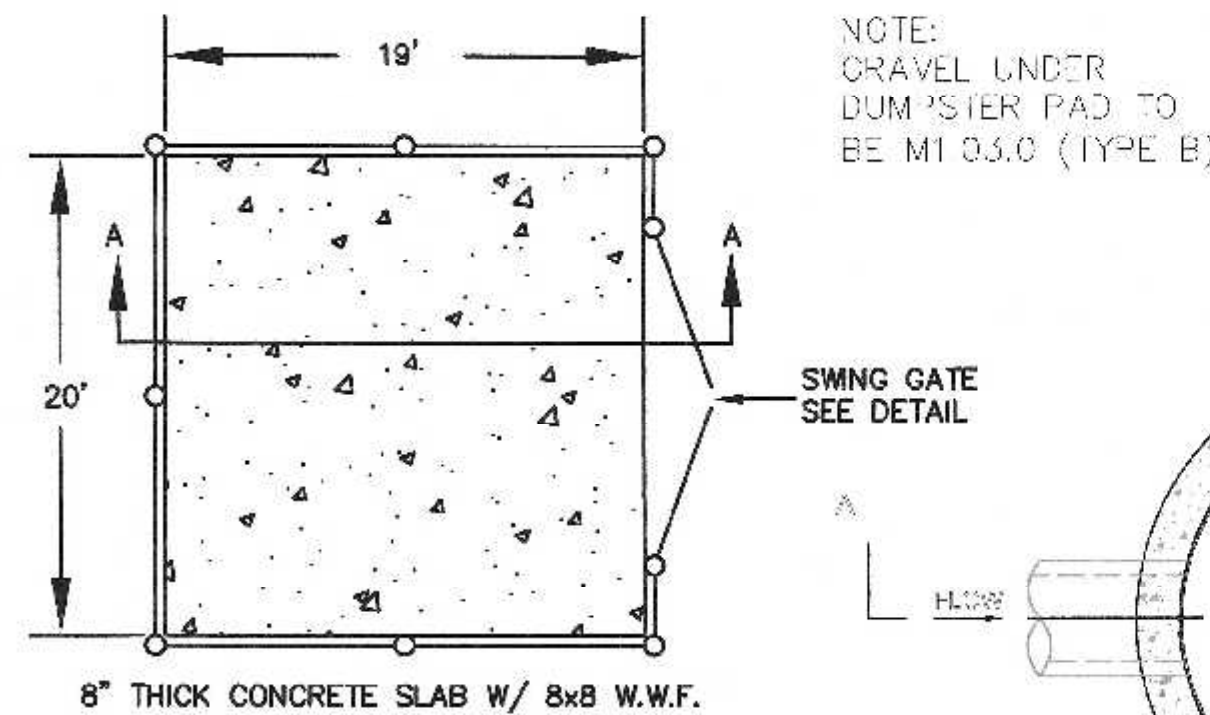
TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING MATERIAL	PROC. GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE	3/8" STONE

UTILITY TRENCH DETAIL



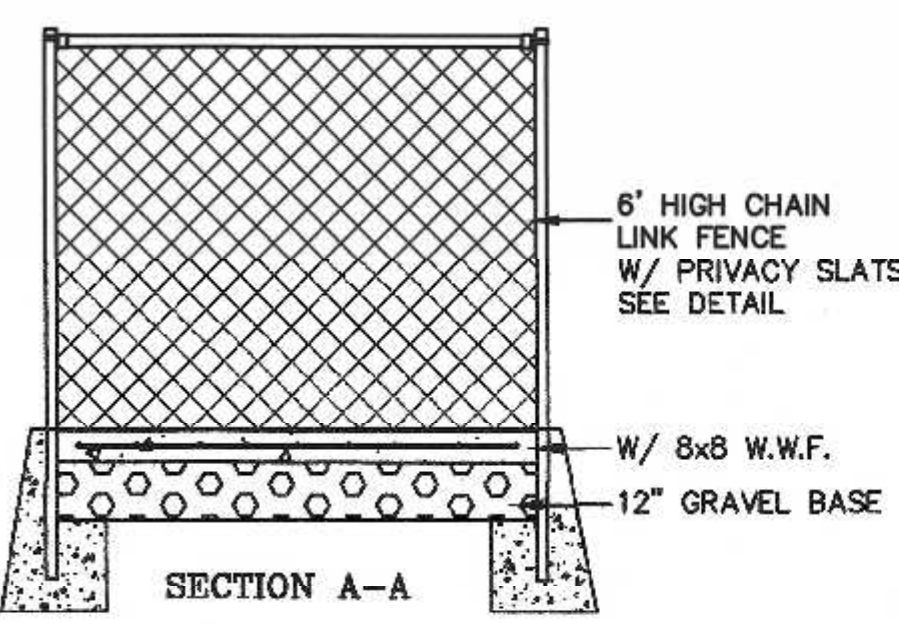
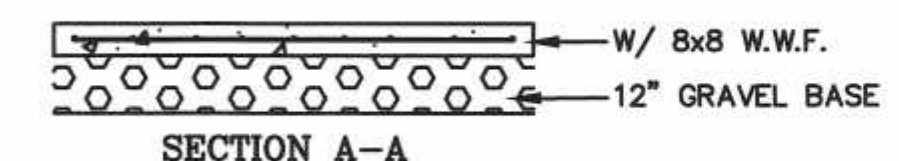
BOLLARD DETAIL

NOTE: BOLLARDS TO BE INSTALLED ON EACH SIDE OF THE OVERHEAD DOOR OPENINGS.

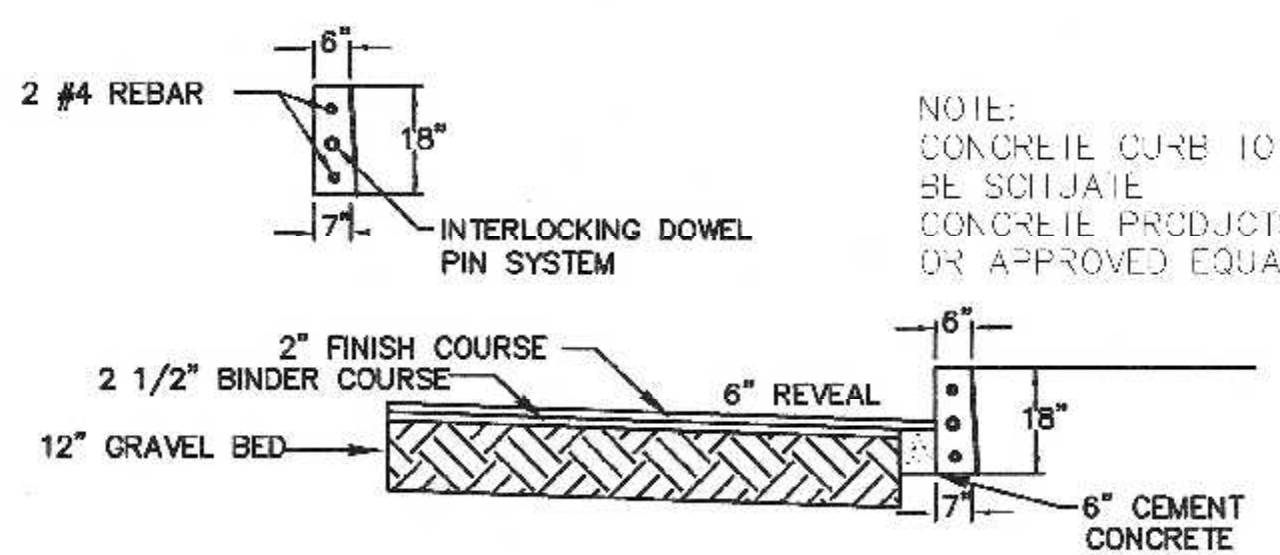


CONCRETE DUMPSTER PAD

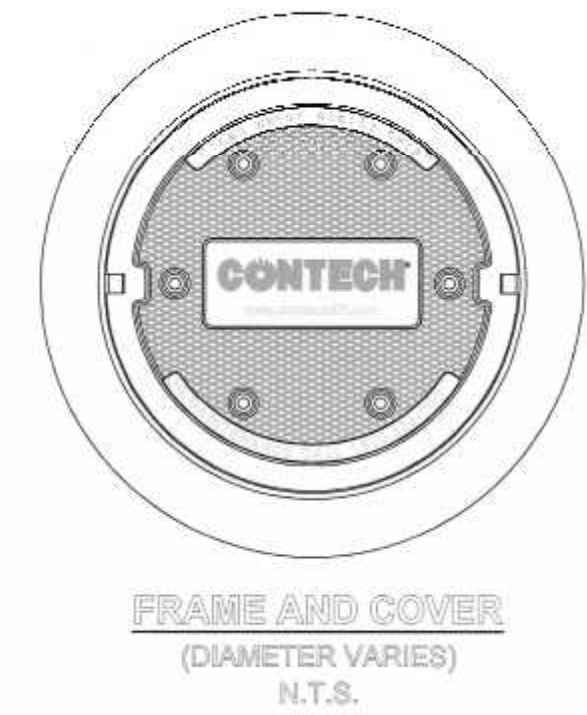
NOTE: DUMPSTER PAD AT BUILDING 1 WILL HAVE THE FENCE CONNECT TO THE RETAINING WALL. NO FENCE IS PROPOSED TO THE REAR OF THE DUMPSTER PAD.



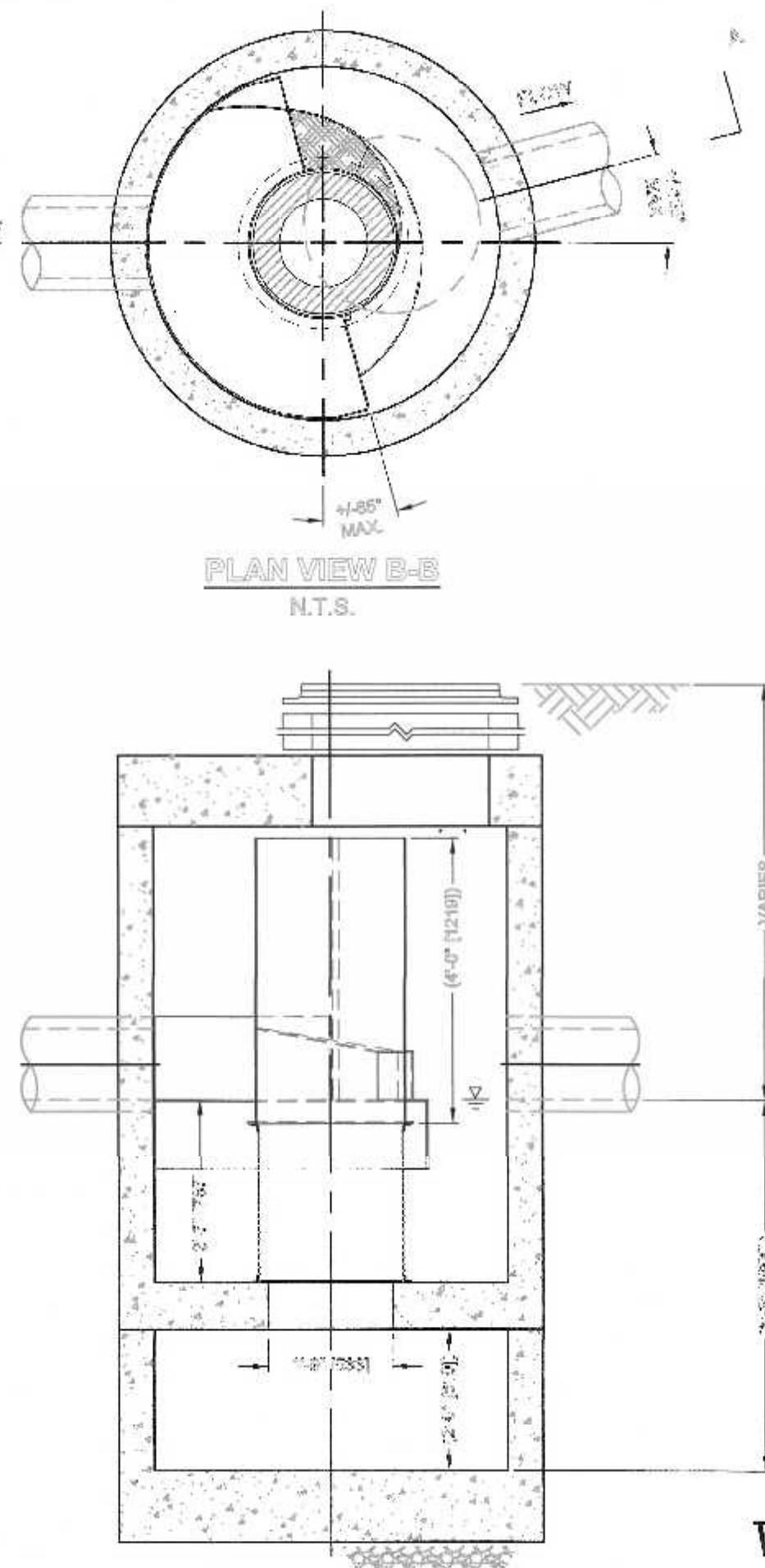
DUMPSTER AREA FENCE



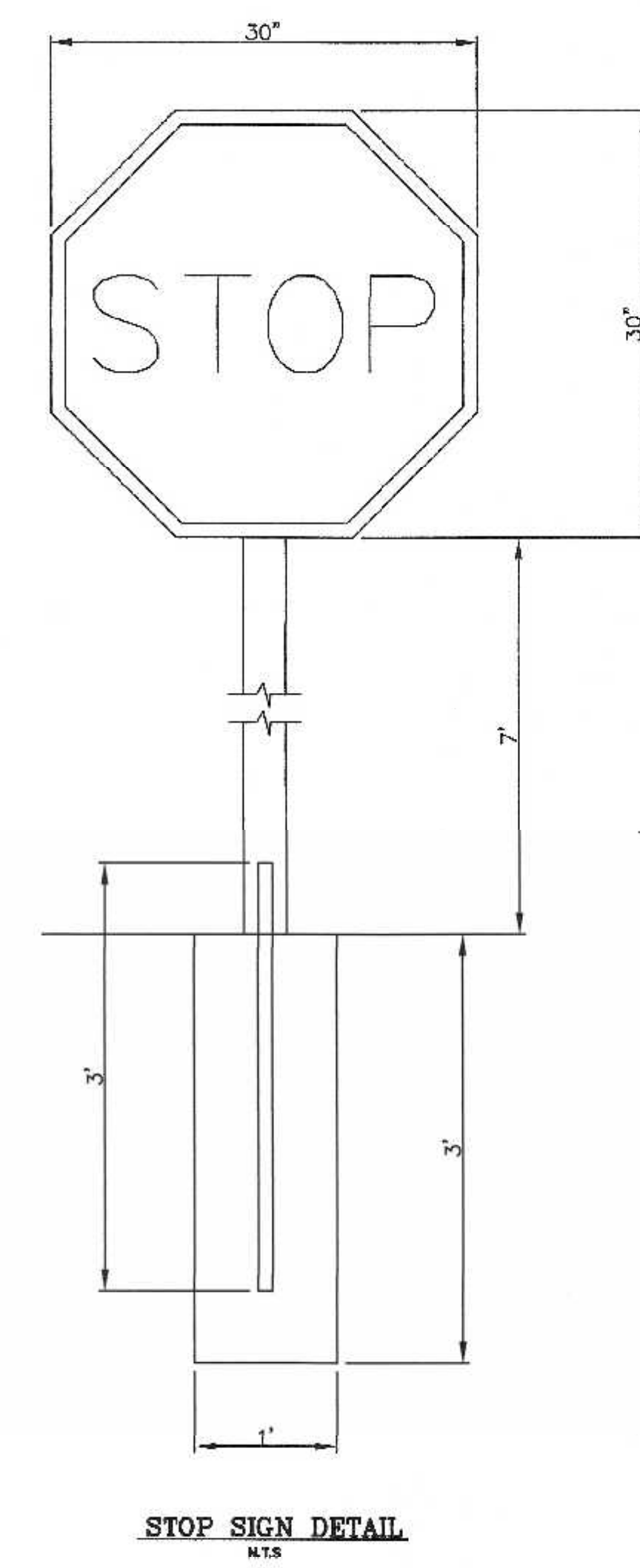
PAVEMENT AND VERTICAL CONCRETE CURBING



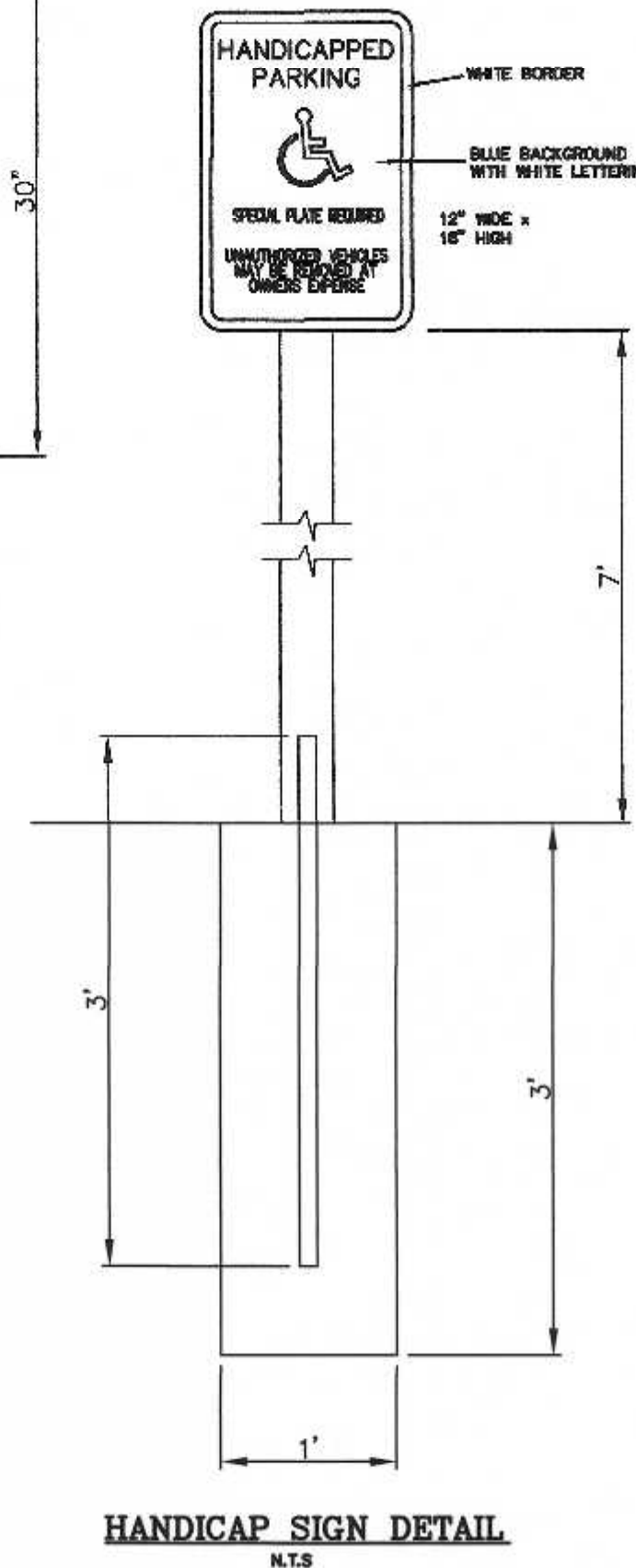
COMPOST SOCK DETAIL



CDS 2020-5 WATER QUALITY UNIT



STOP SIGN DETAIL



HANDICAP SIGN DETAIL

OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS
APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

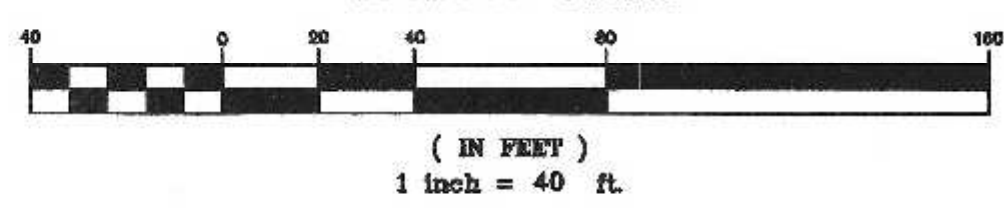
SITE PLAN
CONSTRUCTION DETAILS - 1
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

CARLOS A. QUINTAL P.E. #30812

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY

DATE	INT.
8/21	BL
4/22	RRG
4/22	COMP
4/22	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE
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1" = 40'
PROJECT
UC1007
SHEET
7 of 8

EXCAVATION AND FILL NOTES:

SOIL REMOVAL AT INFILTRATION SYSTEM:
ALL EXISTING TOP (A HORIZON) AND SUB-SOIL (B HORIZON) SOILS AND FILL SHALL BE REMOVED UNDER THE INFILTRATION SYSTEMS AND FIVE FEET FROM THE OUTER EDGE OF THE STONE ENVELOPE.

Fill material for drainage systems constructed in fill shall consist of select on-site or imported soil material. The fill shall be comprised of clean granular sand, free from organic matter and deleterious substances. Mixtures and layers of different classes of soil shall not be used. The fill shall not contain any material larger than two inches. A sieve analysis, using a #4 sieve, shall be performed on a representative sample of the fill. Up to 45% by weight of the fill sample may be retained on the #4 sieve. Sieve analyses also shall be performed on the fraction of the fill sample passing the #4 sieve, such analyses shall demonstrate that the material meets each of the following specifications:

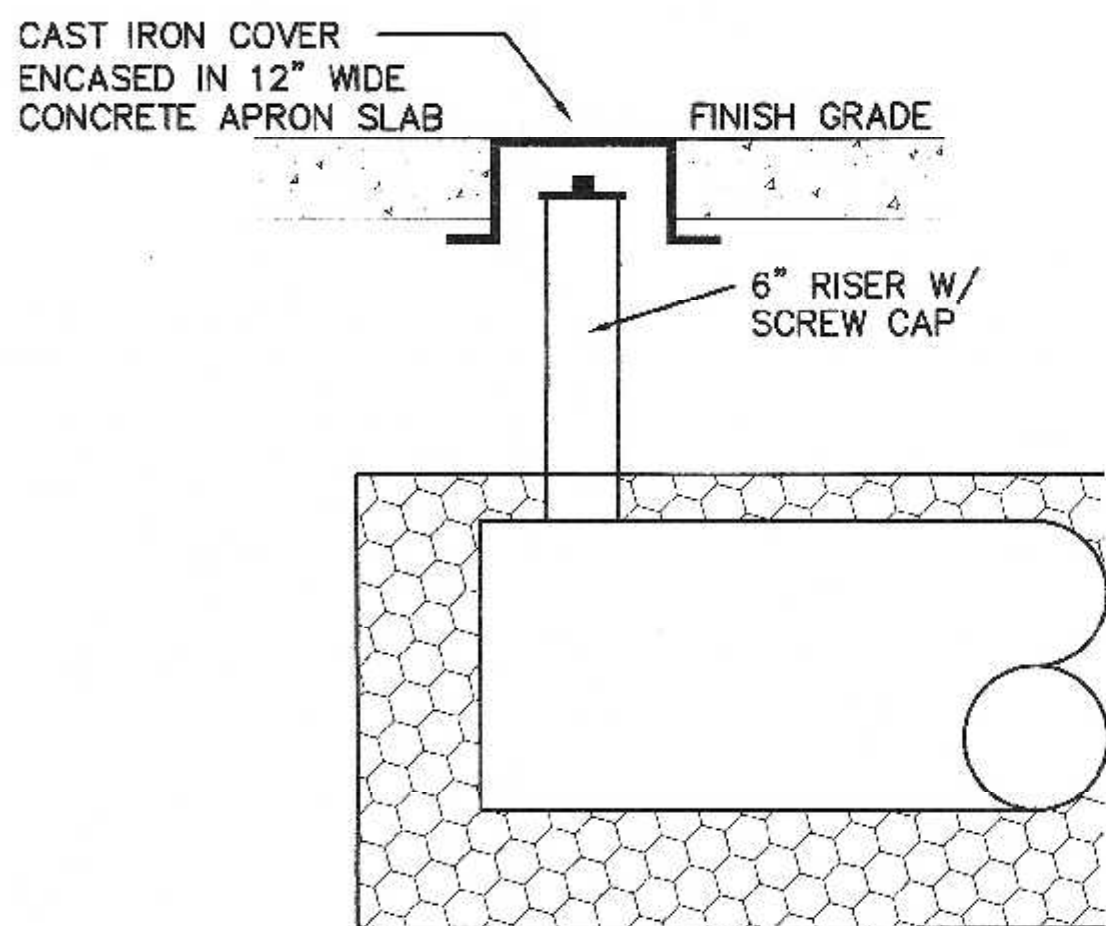
SIEVE SIZE	EFFECTIVE PARTICLE SIZE	% THAT MUST PASS SIEVE
# 4	4.75 mm	100%
# 50	0.30 mm	10% - 100%
#100	0.15 mm	0% - 20%
#200	0.075 mm	0% - 2%

A minimum of two representative sample shall be taken from the in-place fill and tested for compliance with the grain size distribution specification.

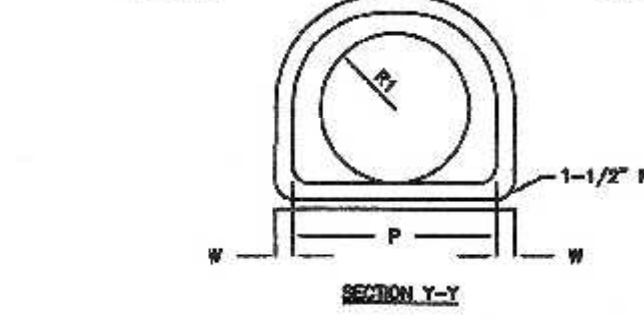
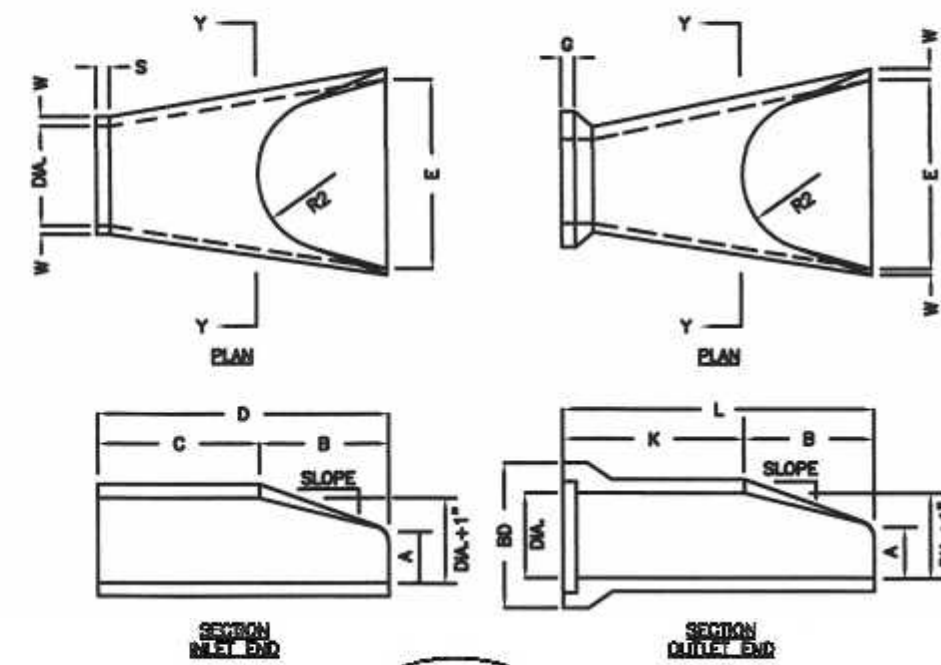
Where fill is required to replace unsuitable or impermeable soils, the excavation of the unsuitable material shall extend a minimum of five feet laterally in all directions beyond the outer perimeter of the soil drainage systems to the depth of naturally occurring pervious material and replaced with fill.

Prior to placement of the fill, the bottom surface of the excavation shall be scarified and relatively dry. Fill shall not be placed during rain or snow storms. If the water table elevation is above the elevation of the bottom of the excavation, the excavation shall be dewatered as necessary.

THE DESIGN ENGINEER SHALL INSPECT AND CERTIFY THE EXCAVATION OF THE SOIL INFILTRATION AREAS AND THE RAIN GARDEN AREA PRIOR TO ANY FILL BEING PLACED.



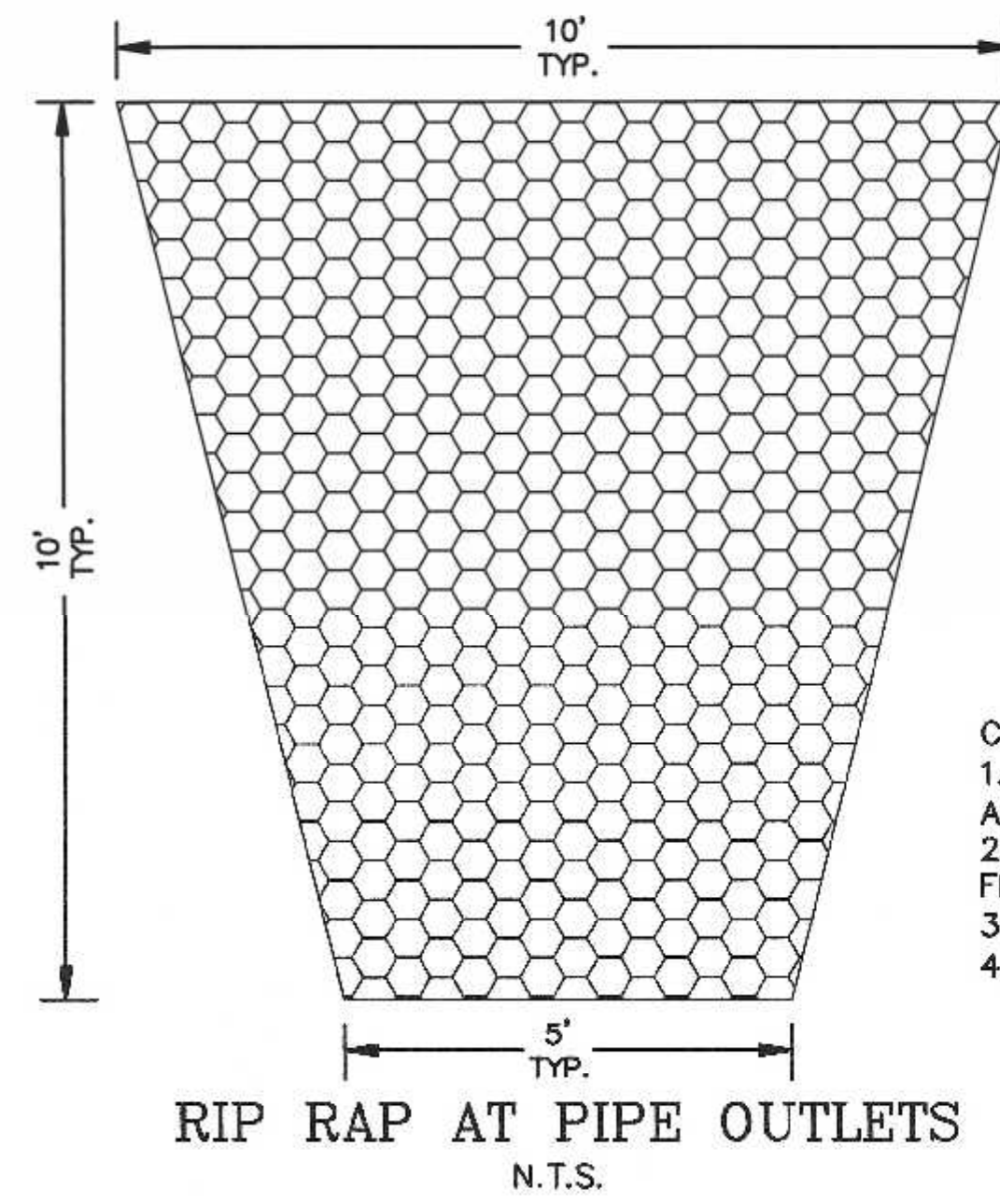
**INSPECTION PORT DETAIL
DRAINAGE INFILTRATION AREAS
N.T.S.**



DL	W	A	B	C	D	E	SD
12"	2"	4"	2'-0"	4'-0 7/8"	8'-1 3/8"	2'-0"	20"
15"	2-1/4"	5"	2'-3"	3'-10"	8'-1 1/2"	2'-0"	24"
18"	2-1/2"	6"	2'-3"	3'-10"	8'-1 1/2"	3'-0"	28"
21"	2-3/4"	7"	2'-11"	3'-8"	8'-1"	3'-0"	32"
24"	3"	8-1/2"	2'-11"	3'-2"	8'-1"	4'-0"	36"

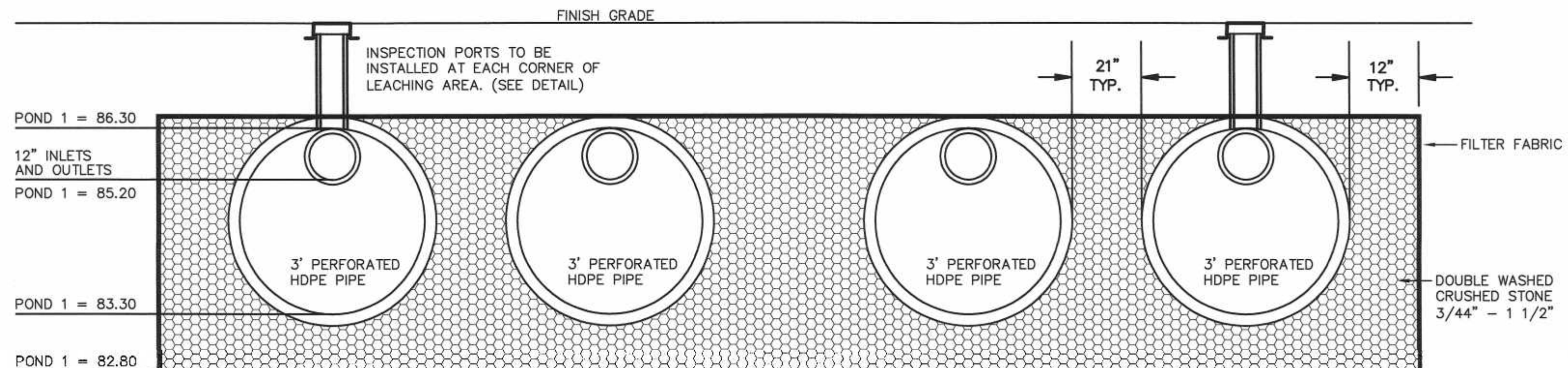
DL	K	L	P	DL	R1	R2	S	O	SLOPE
12"	4'-8 1/8"	6'-8 1/8"	18 5/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	4'-3 11/16"	6'-8 11/16"	24 5/16"	18"	12 1/2"	11"	6"	2 1/2"	3:1
18"	4'-3 7/8"	6'-8 7/8"	20"	18"	18 1/2"	12"	4"	2 3/4"	3:1
21"	3'-8 8/16"	6'-7 8/16"	31 8/16"	22"	18 1/8"	13"	4"	2 3/4"	3:1
24"	3'-0 1/2"	6'-8"	33 3/16"	26"	18 13/16"	14"	4"	3"	3:1

REINFORCED CONCRETE PIPE FLARED END



**RIP RAP AT PIPE OUTLETS
N.T.S.**

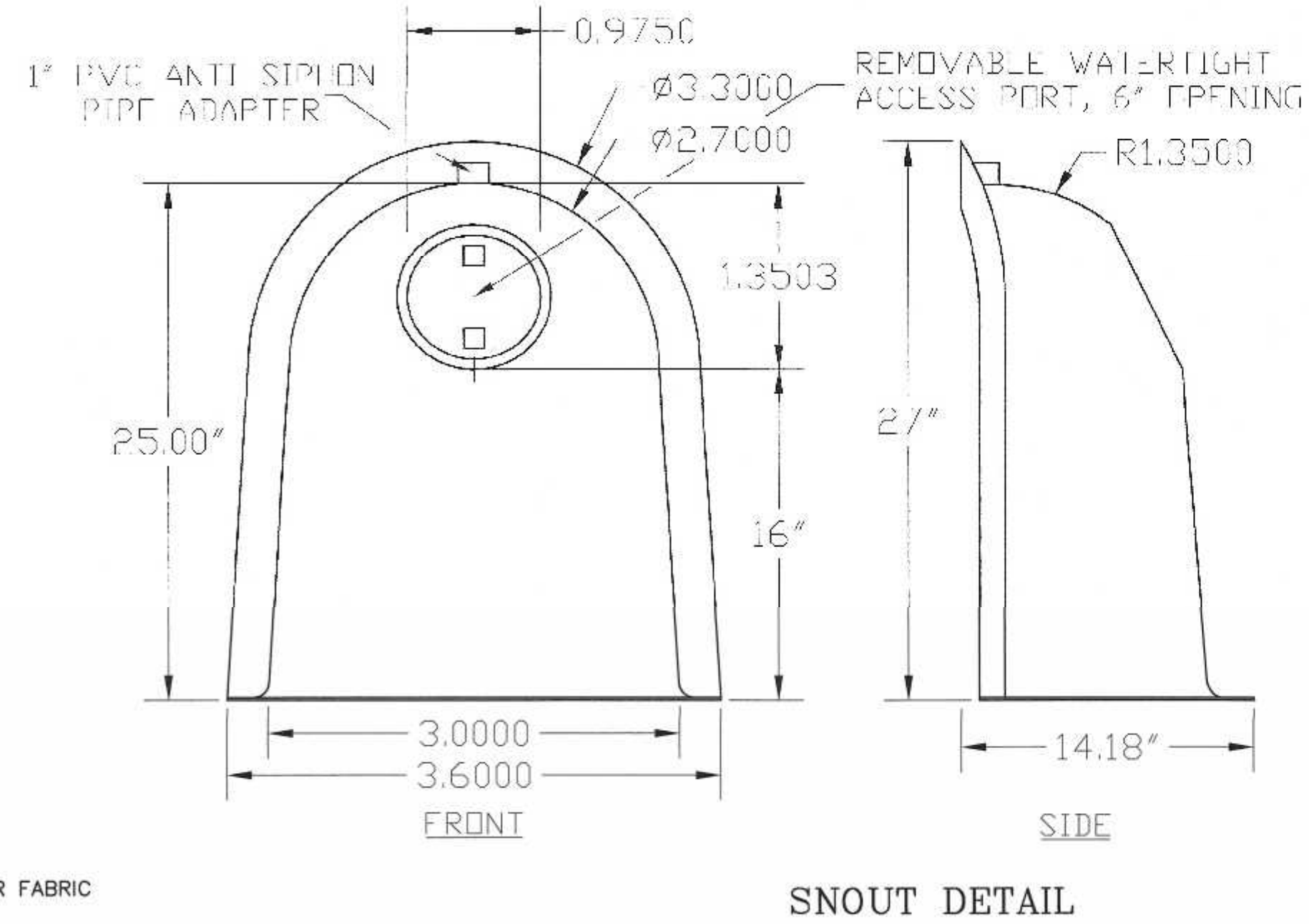
INFILTRATION POND 1



INFILTRATION POND 1

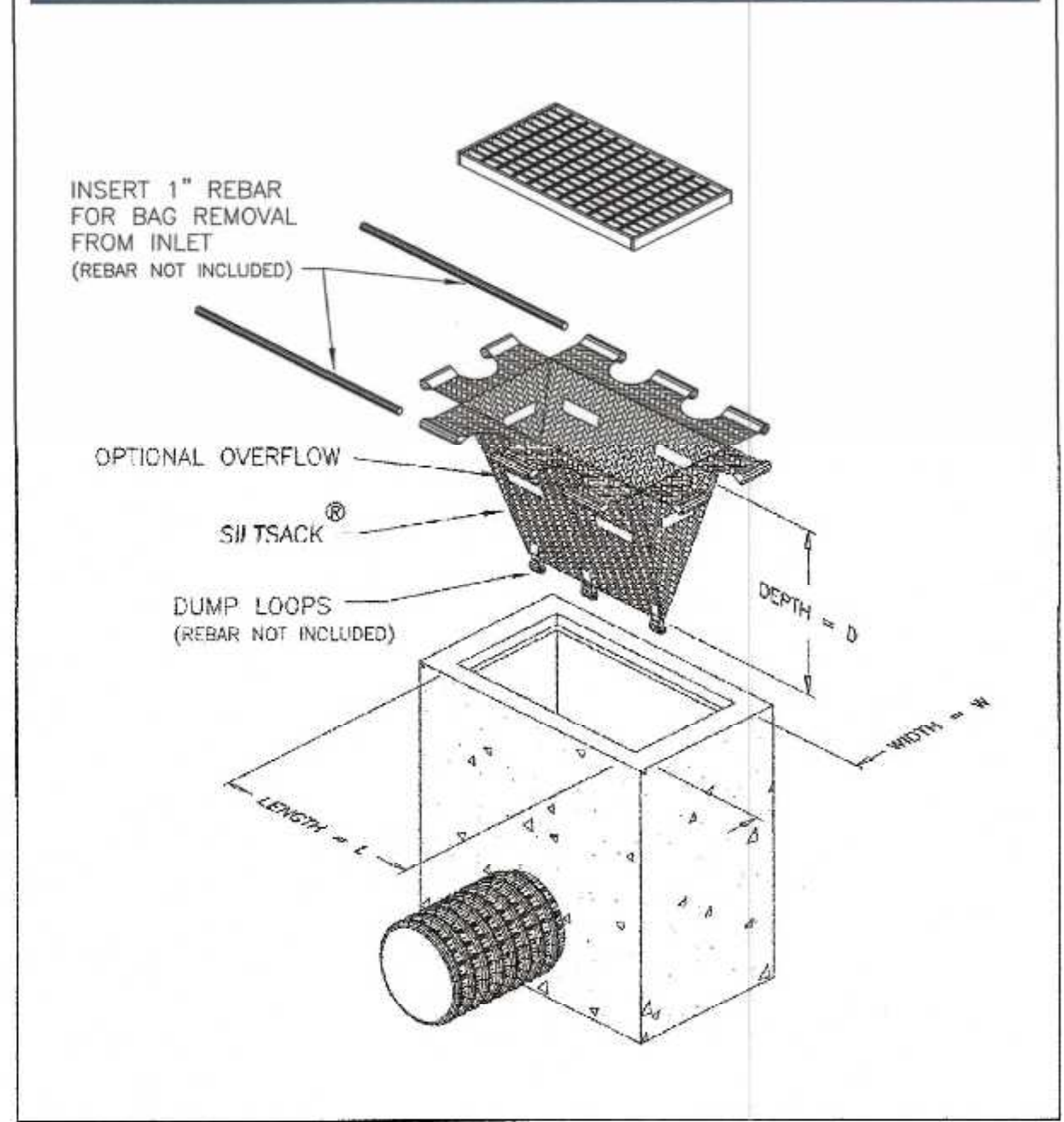
NOTE:
1. INFILTRATION POND 1 CONSISTS OF 7 ROWS OF 3' DIAMETER PERFORATED HDPE PIPE 58' IN LENGTH. STONE ENVELOPE IS 37.22' x 60'

ESHGW - POND 1 = 78.68 BOTTOM TEST PIT 1



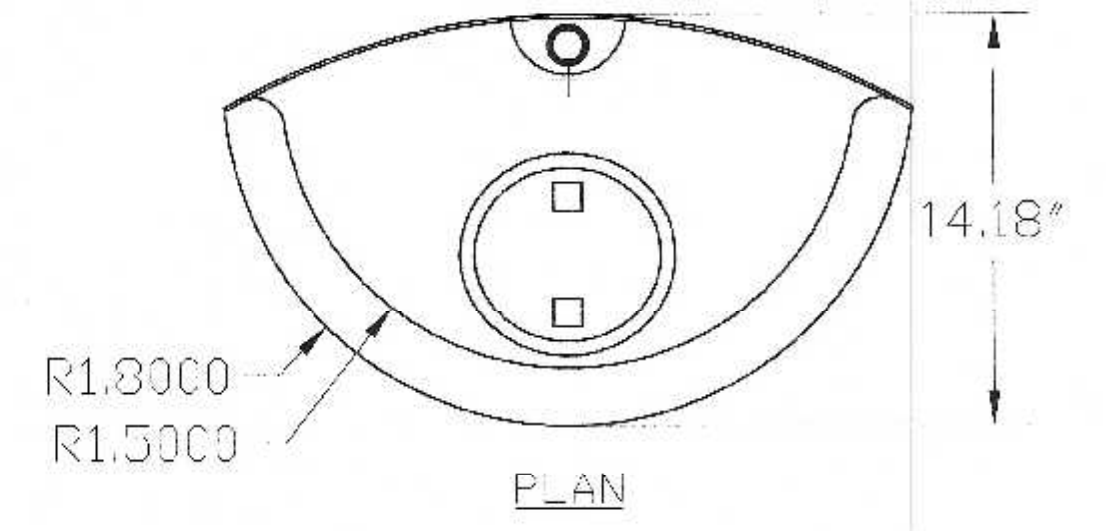
SNOUT DETAIL

Typical Silt sack Construction - Type B



- CONSTRUCTION NOTES:**
1. RIP RAP TO BE MAXIMUM OF 18" AVERAGE OF 12" AND MINIMUM OF 8".
 2. RIP RAP TO BE PLACED OVER A FILTER FABRIC.
 3. RIP RAP MINIMUM DEPTH SHALL BE 18"
 4. RIP RAP OUTLET TO BE 25' x 34'.

**SILT SACK DETAIL
NOT TO SCALE**



DESIGNED BY
BMP, INC.
STRUCTURES

US PATENT # 6126817
ADDITIONAL PATENTS PENDING

BMP, INC. 53 MT. ARCHER ROAD, LYME, CT. 06371 (800) 804-8008 FAX: (860) 434-3185		
DESCRIPTION 18R SNOUT OIL & DEBRIS STOP	DATE 09/06/99	SCALE NONE
DRAWING NUMBER 18R		

OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

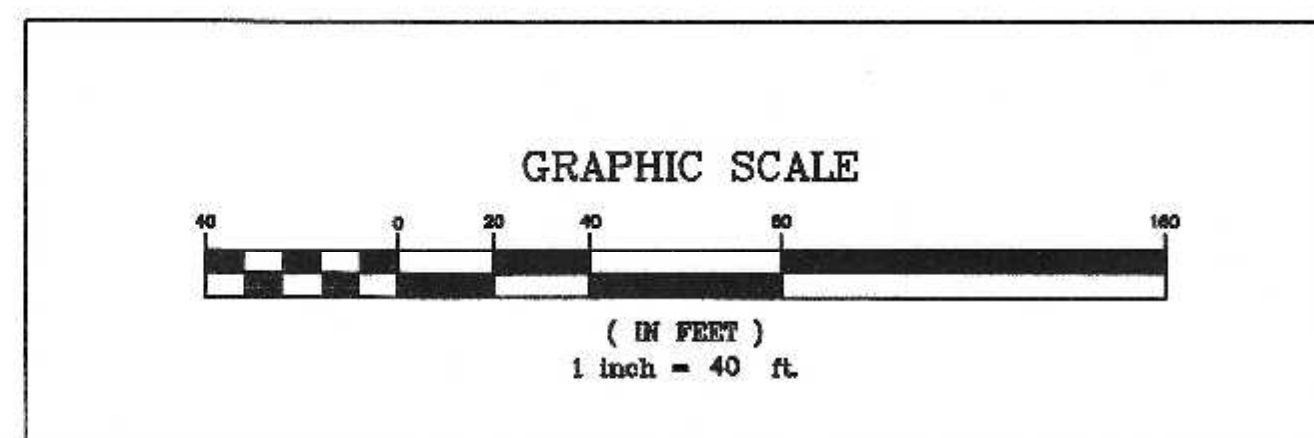


Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

**SITE PLAN
CONSTRUCTION DETAILS - 2**
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

**SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD**

DATE _____



NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
8/21	BL	
BK#	FIELD BOOK	PG#
4/22	RRG	
4/22	RRG	
4/22	COMP	
4/22	CAQ	

**UNITED
CONSULTANTS
INC.**
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6580 FAX 508-384-6586

DATE	APRIL 14, 2022
SCALE	1" = 40'
PROJECT	UC1007
SHEET	8 of 8

&	AND	HOR.	HORIZONTAL
@	AT	HT.	HEIGHT
C	CENTERLINE	HM.	HOLLOW METAL
ACOUS.	ACOUSTICAL	I.D.	INSIDE DIAMETER
ADJ.	ADJACENT	I.G.	INSULATED GLASS
A.F.F.	ABOVE FINISH FLOOR	INSUL.	INSULATION
A.F.G.	ABOVE FINISH GRADE	INT.	INTERIOR
AL.	ALUMINUM	LAM.	LAMINATE
APPROX.	APPROXIMATE	LAV.	LAVATORY
ARCH.	ARCHITECTURAL	LT.	LIGHT
BD.	BOARD	K.E.C.	KITCHEN EQUIPMENT
BLDG.	BUILDING	MAX.	CONTRACTOR
BK.	BLOCK	M.C.	MAXIMUM
BLKG.	BLOCKING	MECH.	MECHANICAL CONTRACTOR
BM.	BEAM	M.E.P.	MECHANICAL
B.O.	BOTTOM OF	MFR.	MECHANICAL ELECTRICAL
C.B.	CATCH BASIN	MGR.	PLUMBING
CEM.	CEMENT	MIN.	MANUFACTURER
CER.	CERAMIC	MISC.	MANAGER
CL.	CLOSET	MTD.	MINIMUM
CLR.	CLEAR	MTL.	MISCELLANEOUS
CLG.	CEILING	N.I.C.	MOUNTED
COL.	COLUMN	N.I.K.E.C.	METAL
CONC.	CONCRETE	N.T.S.	NOT IN CONTRACT
CONN.	CONNECTION	O.C.	NOT IN KITCHEN EQUIP.
CONST.	CONSTRUCTION	O.D.	CONTRACT
CONT.	CONTINUOUS	OPP.	NOT TO SCALE
CONTR.	CONTRACTOR	P.C.	ON CENTER
CNTR.	COUNTER	PL.	OUTSIDE DIAMETER
CTR.	CENTER	PLAM.	OPPOSITE
D.F.	DOUGLAS FIR	PLAS.	PLUMBING CONTRACTOR
DBL.	DOUBLE	PLYWD.	PLATE
DEPT.	DEPARTMENT	PR.	PLASTIC LAMINATE
DET.	DETAIL	P.T.	PLASTER
DIA.	DIAMETER	PTD.	PLYWOOD
DIM.	DIMENSION	R.	PAIR
DISP.	DISPENSER	R.D.	PRESSURE TREATED
DN.	DOWN	REF.	PAINTED
D.S.	DOWN SPOUT	RM.	RADIUS
DWG.	DRAWING	RWD.	ROOF DRAIN
(E)	EXISTING	R.W.L.	REFRIGERATOR
EA.	EACH	S.A.	ROOM
E.C.	ELECTRICAL CONTRACTOR	S.C.	REDWOOD
EL.	ELEVATION	SCHED.	RAINWATER LEADER
ELEC.	ELECTRICAL	SECT.	SMOKE ALARM
ELEV.	ELEVATOR	SHT.	SOLID CORE
EMER.	EMERGENCY	SIM.	SCHEDULE
ENCL.	ENCLOSURE	SPEC.	SECTION
EQ.	EQUAL	SQ.	SHEET
EOP.	EQUIPMENT	S&R	SIMILAR
EXT.	EXTERIOR	S.S.	SPECIFICATION
F.A.	FIRE ALARM	STD.	SQUARE
F.D.	FLOOR DRAIN	STL.	SHELF AND ROD
F.F.	FINISH FACE	STR.	STAINLESS STEEL
F.R.P.	FIBER REINFORCED PANEL	SUSP.	STANDARD
F.T.	FIRE TREATED	T.V.	STEEL
FDN.	FOUNDATION	T.O.	STRUCTURE
FIN. FL.	FINISH FLOOR	TRAN.	SUSPENDED
FLUOR.	FLUORESCENT	TYP.	TELEVISION
FPRF.	FIRE PROOF	U.O.N.	TOP OF
FT.	FOOT/ FEET	V.I.F.	TRANSOM
FTG.	FOOTING	VERT.	TYPICAL
GA.	GAUGE	W/	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED	W.C.	VERIFY IN FIELD
G.B.	GRAB BAR	WD.	VERTICAL
G.C.	GENERAL CONTRACTOR	W/O	WITH
GL.	GLASS	W.R.	WATER CLOSET
GND.	GROUND	WT.	WOOD
GYP.	GYPNUM	WWM	WITHOUT
			WATER RESISTANT
			WEIGHT
			WELDED WIRE MESH

ABBREVIATIONS

	DOOR NUMBER		REFERENCE TO LIGHT FIXTURE
	WINDOW NUMBER		REFERENCE TO FIXTURE / FURNITURE
	REFERENCE TO FINISH		DATUM POINT
	DETAIL REFERENCE		SECTION REFERENCE
	ELEVATION REFERENCE		REVISION
	SHEET NUMBER		DIMENSION TO FACE OF
	NOTATION		ALIGN FINISH SURFACES
	DISCONTINUITY		

SYMBOLS

1. SCOPE DOCUMENTS: THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE OVERALL CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL SYSTEMS, ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND SPECIFICATIONS.

2. THE FOLLOWING NOTES AND TYPICAL DETAILS APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED, AND SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. SEE ALSO NOTES, ABBREVIATIONS, DRAWING LEGENDS AND SYMBOLS, STRUCTURAL DRAWINGS.

3. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO THE REVIEW AND APPROVAL OF THE ARCHITECT.

4. THE CONTRACTOR SHALL PERFORM IN A MANNER CONFORMING TO APPLICABLE REGULATIONS, AND REQUIREMENTS OF ALL GOVERNING AGENCIES AS WELL AS STANDARD INDUSTRY PRACTICES.

5. RESPONSIBILITY: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT ANY WORK, NOTIFY THE ARCHITECT AND OWNER IN WRITING AT ONCE FOR INSTRUCTIONS TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE OWNER WITH NO RESULTING COST TO THE OWNER. SHOULD A CONFLICT OCCUR IN OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON THE CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIAL AND CONSTRUCTION METHODS INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT / OWNER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS OR UNLESS THE ORIGINAL BID IS APPROPRIATELY QUALIFIED.

6. THE CONTRACTOR SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS/HER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS/HER OPERATION.

7. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.

8. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PANELS HVAC EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.

9. ALL MATERIALS SHALL BE HANDLED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

10. STORAGE & DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GASES AND HAZARDOUS CHEMICALS SHALL COMPLY WITH THE UNIFORM FIRE CODE REGULATIONS.

11. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORK DEPARTMENT.

12. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS/HER WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL UPON COMPLETION MATCH SURROUNDING SIMILAR SURFACES.

13. DIMENSIONS:
A. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
B. ALL DIMENSIONS SHOWN ARE TO THE CENTER OF COLUMNS AND BEAMS, FACE OF CONCRETE / CONC. WALLS, EDGE OF SLAB, FACE OF FINISH UNLESS OTHERWISE NOTED.
C. CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR OR SLAB TO THE FINISHED FACE OF D. DIMENSIONS AND ELEVATIONS ARE TO THE TOP OF CONCRETE, BLOCK OR OTHER TO THE TOP OF FLOOR COVERINGS OR ROOFING. DO NOT SCALE DRAWINGS; FOLLOW DIMENSIONS

14. THE CONTRACTOR SHALL BE RESPONSIBLE COORDINATING THE WORK OF ALL THE TRADES

15. THE BUILDING INSPECTOR SHALL BE NOTIFIED PRIOR TO START OF CONSTRUCTION.

16. THE CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.

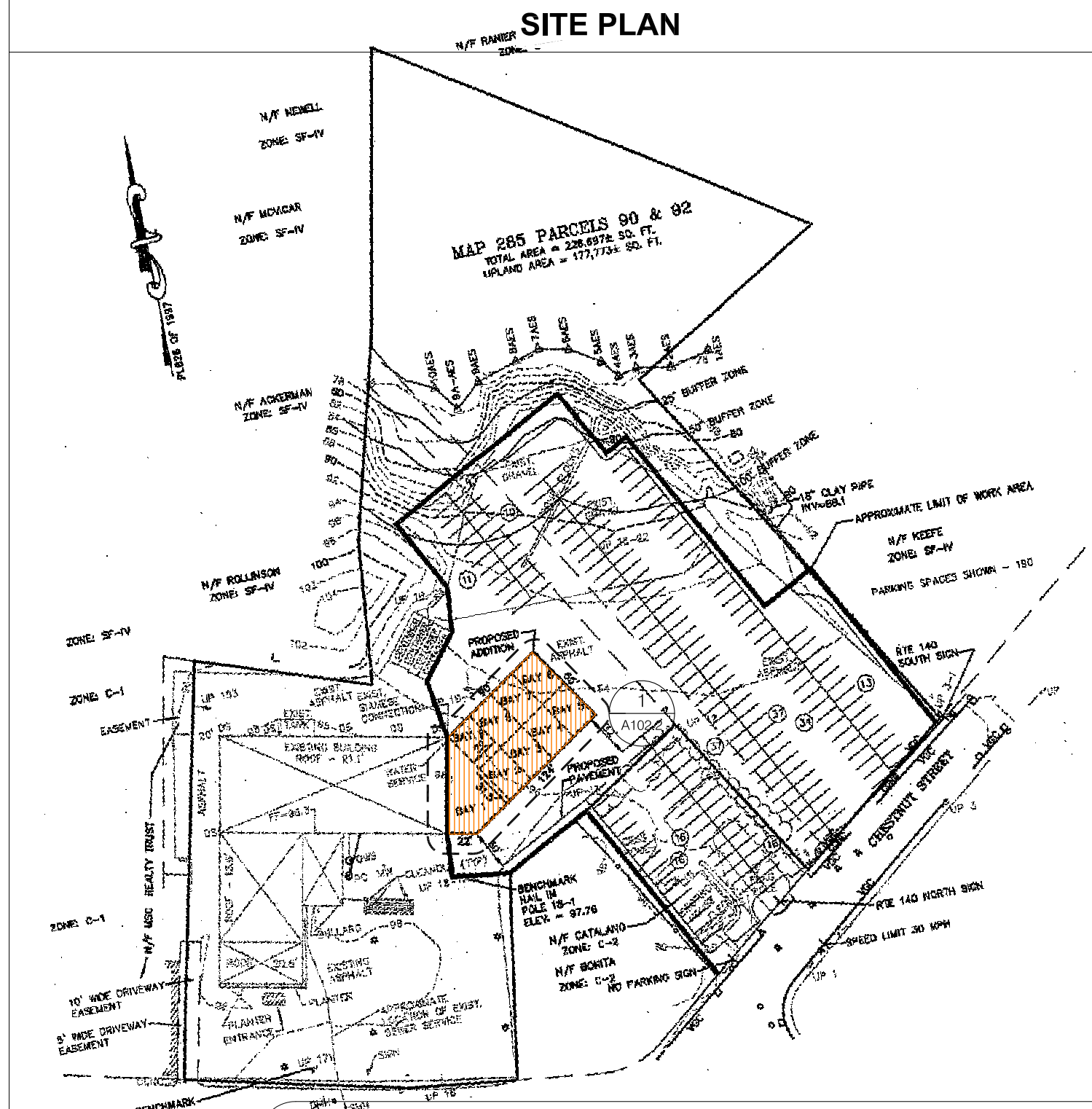
17. AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM OF 2-A-10B:C SHALL BE PROVIDED WITHIN 75 TRAVEL DISTANCE FOR EACH 6,000 SF OR PORTION THEREOF ON

PROPOSED SERVICE BAYS ADDITION FOR:
FRANKLIN FORD
175 EAST CENTRAL STREET, FRANKLIN, MA



PROJECT INFORMATION		SHEET INDEX			
LOCATION:	175 EAST STREET, FRANKLIN, MA 0238	ARCHITECTURAL	CIVIL	M.E.P.	STRUCTURAL
LOT DIMENSIONS:	N/A	A100 TITLE PAGE			
LOT AREA:	5.20 ACRES	SP-1 EXISTING SITE PLAN			
ZONING DISTRICT:	COMMERCIAL II	SP-2 PROPOSED SITE PLAN			
OCCUPANCY GROUP:	"B" BUSINESS + "S1" VEHICLE STORAGE	A101 EXISTING FLR PLAN			
CONSTRUCTION TYPE:	2B	A102 PROPOSED FLR PLAN			
PARKING SPACES	195 SPACES TOTAL (65 NEW SPACES)	A102.1 FOUNDATION PLAN			
# OF STORIES:	SINGLE STORY + MEZZANINE	A102.2 PROPOSED FLR PLAN			
EXISTING BUILDING	19,997 Sq FT MAIN BLDG + 1,794 Sq FT MEZZ	A102.3 LIGHTING PLAN			
EXISTING AREA	21,791 Sq Ft.	A102.4 ROOF PLAN			
		A102.5 ROOF FRAMING PLAN			
		A103 ELEVATIONS			
		A104.1 SECTIONS			
		A104.2 WALL SECTIONS			

GENERAL NOTES	APPLICABLE CODES
1. GENERAL CONTRACTOR TO VERIFY IN FIELD ALL EXISTING CONDITIONS, DIMENSIONS & COORDINATE WITH ARCHITECTURAL PLANS 2. ALL DEMOLITION EXECUTION & DISPOSAL SHALL BE DONE ACCORDING TO LOCAL PERMITS & LAWS FOR DEBRIS REMOVAL 3. EXECUTION SHALL BE DONE MEETING ALL REQUIRED SAFETY STANDARDS ESTABLISHED BY STATE & LOCAL LAWS	ALL WORK TO CONFORM W/ THE FOLLOWING CODES: <ul style="list-style-type: none"> 780 CMR MA BUILDING CODE 9TH EDITION 2018 IECC ENERGY CODE 527 CMR MA FIRE PREVENTION AND ELECTRICAL REGULATIONS 521 CMR MA ACCESSIBILITY REGULATIONS 248 CMR MA PLUMBING REGULATIONS 524 CMR MA ELEVATOR REGULATIONS THE TOWN OF _____ ZONING BYLAW REGULATIONS ALL ADDITIONAL LOCAL & STATE LAWS REGULATING THE PROPER CONSTRUCTION STANDARDS & EXECUTION OF THIS PROJECT



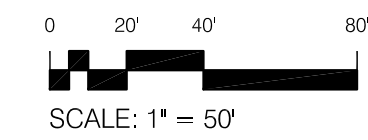
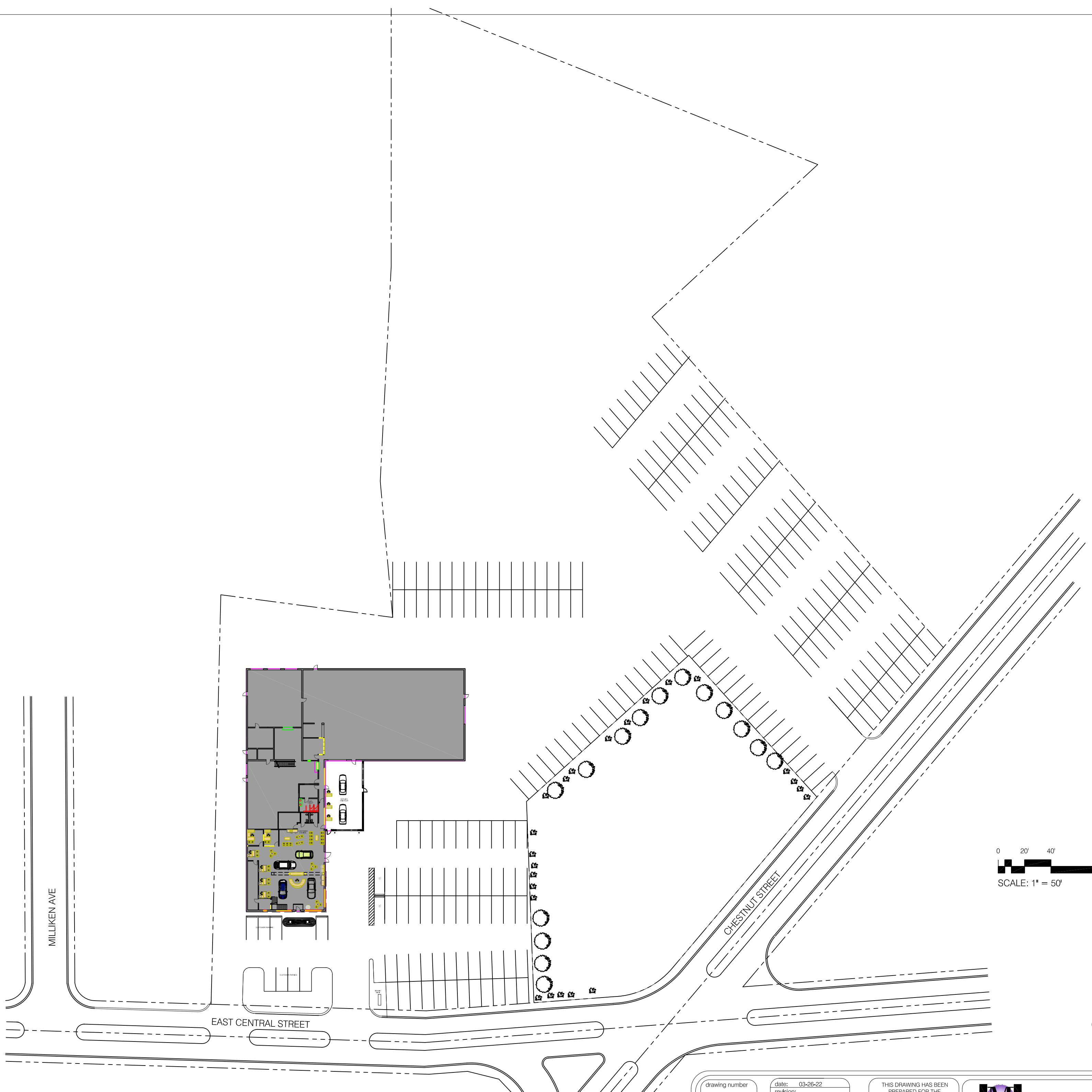
SCOPE OF WORK

PROVIDE NEW 7,733 Sq Ft SINGLE-STORY ADDITION TO EXISTING SERVICE BAYS AREA
PROVIDE NEW VEHICLE SERVICE BAYS
PROVIDE NEW PARKING *REFER TO CIVIL PLANS

SITE IMAGES

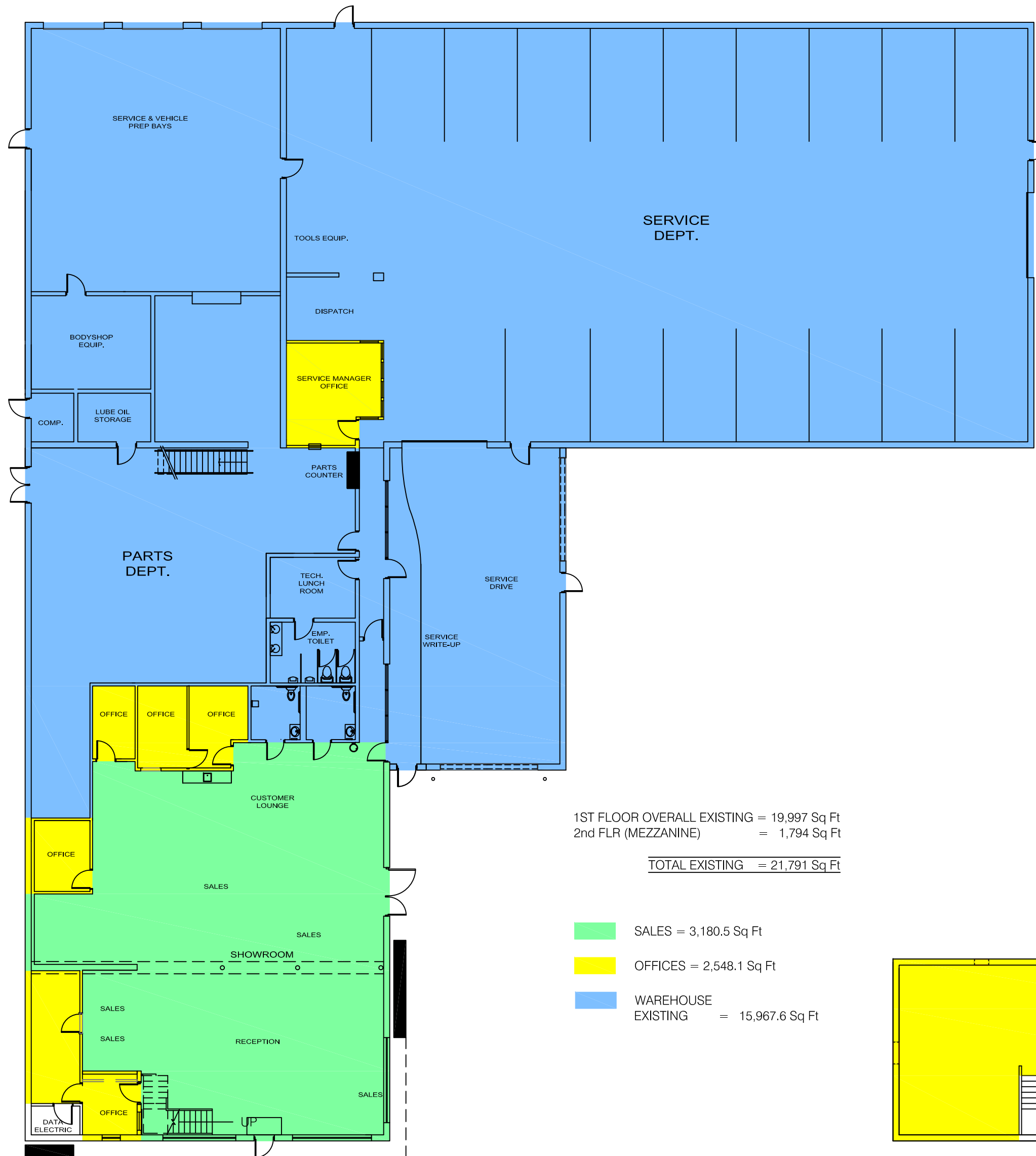


A100	date: 03-26-22 revision: scale: AS NOTED Dwn by: H&M ARCH	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION H&M ARCHITECTURAL STUDIO	H&M ARCHITECTURE 136 Old Colony Av unit 2-R Quincy, MA 02170 PHONE: 857-526-4353 • EMAIL: hugomeneasesv@hotmail.com	PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA	
	progress _____ date _____ bid only _____ permit only _____ construction _____			TITLE PAGE	

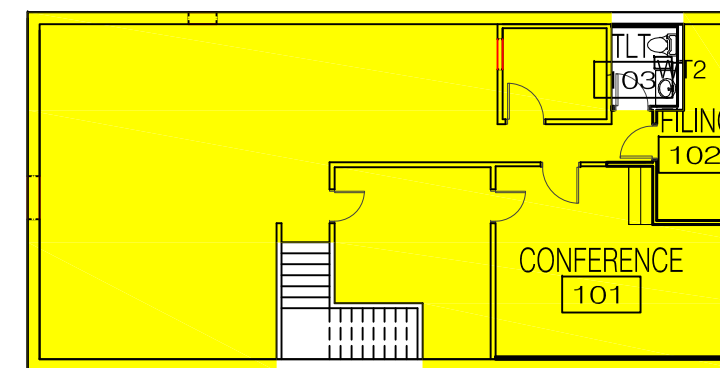


1 EXISTING SITE PLAN
SCALE: 1" = 50'

drawing number SP-1	date: 03-26-22 revision: AS NOTED dwn by: H&M ARCH	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION H&M ARCHITECTURAL STUDIO	 H&M ARCHITECTURE 136 Old Colony Av unit 2-R Quincy, MA 02170 <small>PHONE: 857-526-4353 • EMAIL: hugomeneesv@hotmail.com</small>	<small>PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA</small>	 <small>H&M ARCHITECTURE • DESIGN PHOTO: BOB ANDERSON/STUDIO WWW.HUGOMENEESV.COM</small>										
	<table border="1"> <tr> <th>progress</th> <th>date</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>			progress		date									EXISTING SITE PLAN
	progress			date											

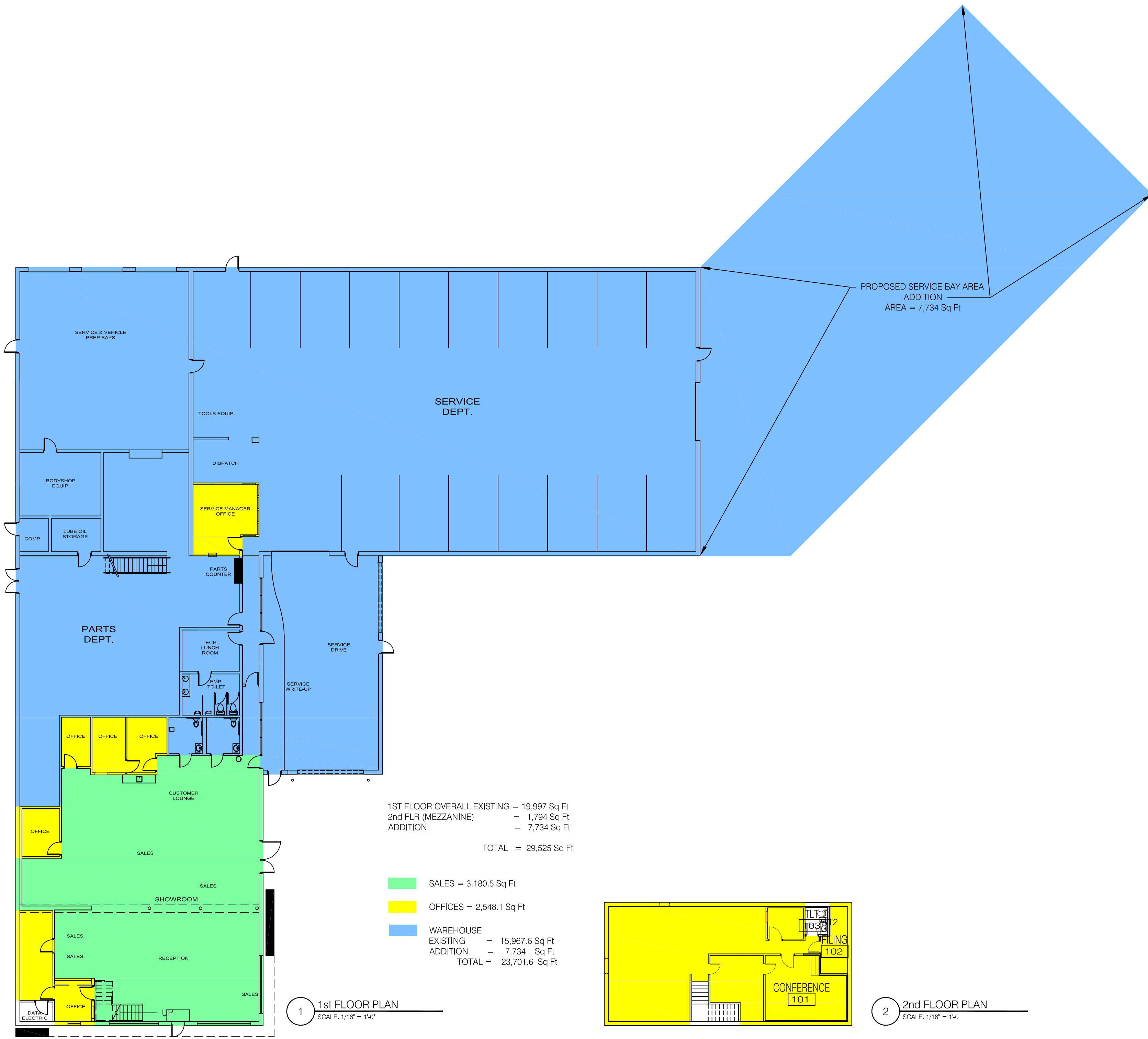


1 EXISTING MAIN FLOOR PLAN
 SCALE: 1/16" = 1'-0"



2 EXISTING MEZZANINE PLAN
 SCALE: 1/16" = 1'-0"

drawing number A101	date: 03-26-22	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO	 136 Old Colony Av unit 2-R Quincy, MA 02170 PHONE: 857-526-4353 • EMAIL: hugomeneesv@hotmail.com	PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA						
	revision: scale: AS NOTED dwg by: H&M ARCH			<table border="1"> <tr><td>progress</td><td>date</td></tr> <tr><td>bid only</td><td></td></tr> <tr><td>permit only</td><td></td></tr> <tr><td>construction</td><td></td></tr> </table>	progress	date	bid only		permit only	
progress	date									
bid only										
permit only										
construction										



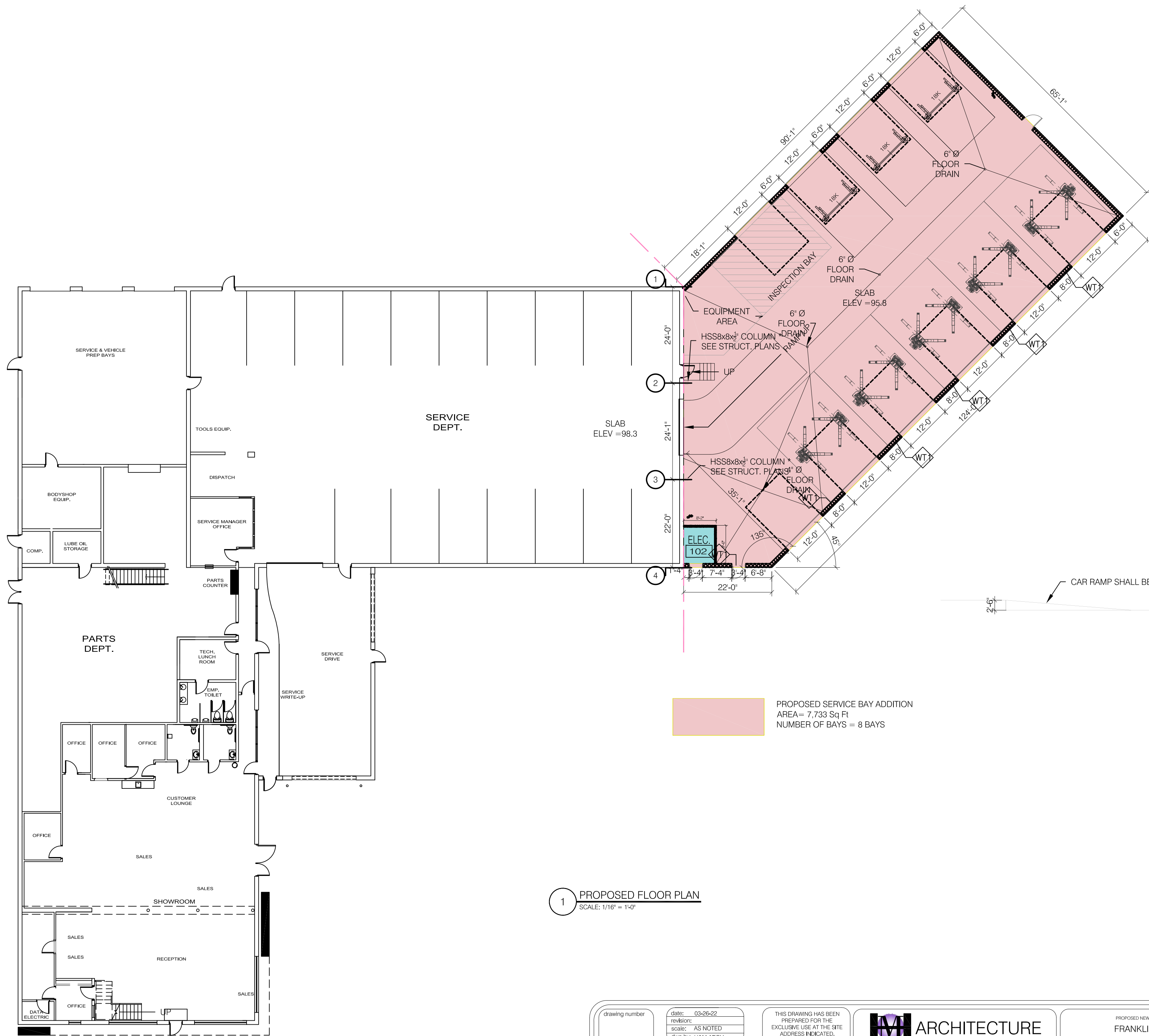
1ST FLOOR OVERALL EXISTING = 19,997 Sq Ft
 2nd FLR (MEZZANINE) = 1,794 Sq Ft
 ADDITION = 7,734 Sq Ft
 TOTAL = 29,525 Sq Ft

SALES = 3,180.5 Sq Ft
 OFFICES = 2,548.1 Sq Ft
 WAREHOUSE EXISTING = 15,967.6 Sq Ft
 ADDITION = 7,734 Sq Ft
 TOTAL = 23,701.6 Sq Ft

1 1st FLOOR PLAN
 SCALE: 1/16" = 1'-0"

2 2nd FLOOR PLAN
 SCALE: 1/16" = 1'-0"

drawing number A-SK1	date: 05-05-22	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO	 H&M ARCHITECTURE 136 Old Colony Av unit 2-R Quincy, MA 02170 PHONE: 857-526-4353 • EMAIL: hugomenesesv@hotmail.com	PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA
	revision: scale: AS NOTED dwn by: H&M ARCH			FLOOR AREAS PER USE
progress	date			
bid only				
permit only				
construction	date			



1 PROPOSED FLOOR PLAN
SCALE: 1/16" = 1'-0"

drawing number A102	date: 03-26-22	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO		PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA	
	revision: scale: AS NOTED dwg by: H&M ARCH			136 Old Colony Av unit 2-R Quincy, MA 02170 PHONE: 857-526-4353 • EMAIL: hugomenesesv@hotmail.com	PROPOSED FLOOR PLAN
	progress				
	bld only permit only construction	date date			

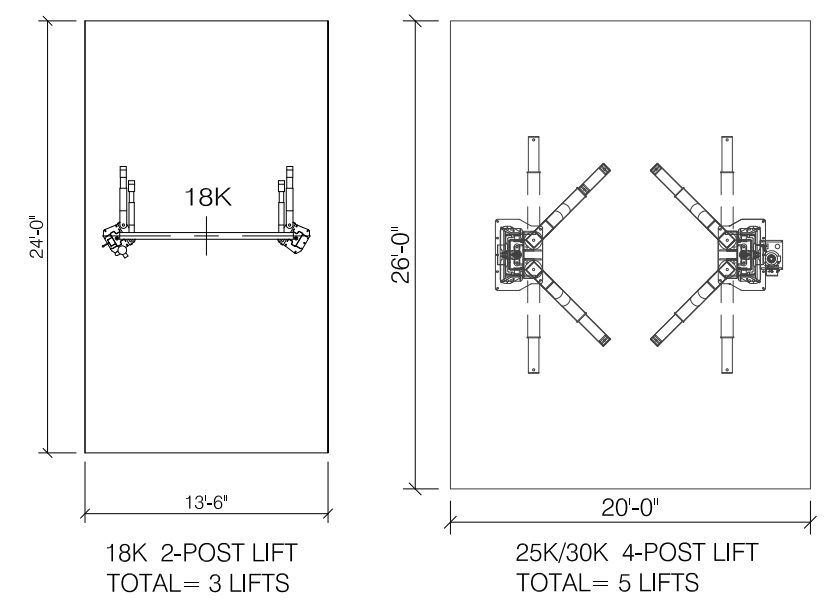


1 PROPOSED FLOOR PLAN
SCALE: 3/32" = 1'-0"

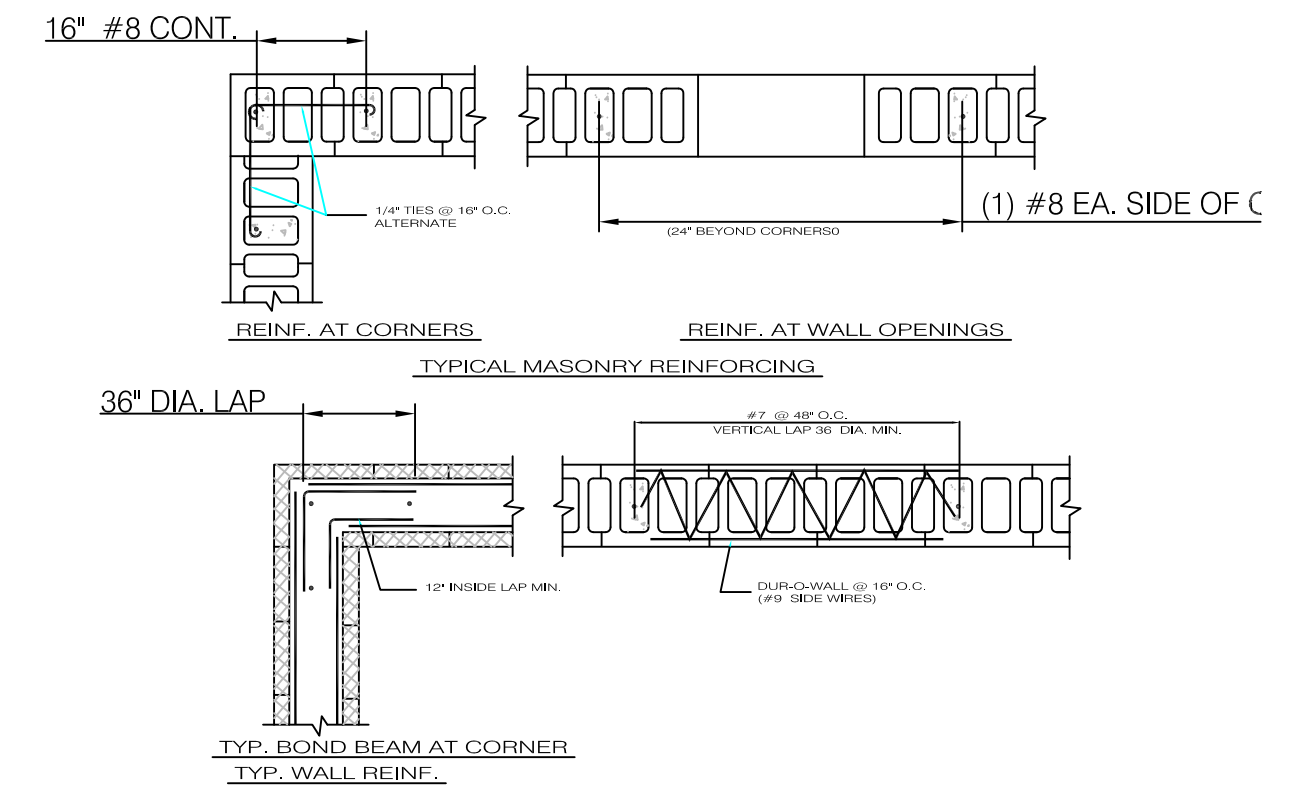
PROPOSED SERVICE BAY ADDITION
AREA = 7,733 Sq Ft
NUMBER OF BAYS = 8 BAYS

FINISHES
FLOOR: SEALED CONCRETE
WALLS: PAINTED TO MATCH
CEILING: EXPOSED PAINTED

CAR RAMP SHALL BE 8% SLOPE MAX.



2 LIFT TYPES + DIMENSIONS
SCALE: 3/32" = 1'-0"

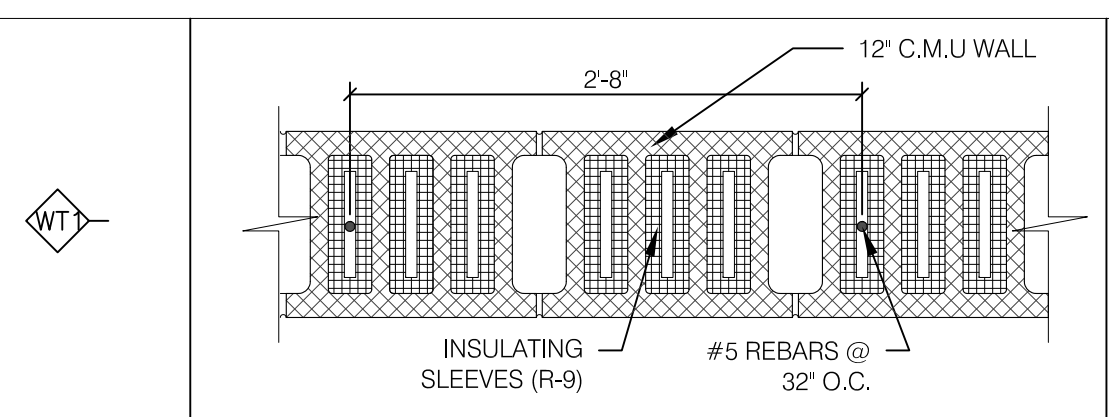


1 TYP. C.M.U. REINFORCING
SCALE: N.T.S.

REV: 05-05-22
* CAR RAMP ADDED TO CONNECT EXISTING SLAB ELEV. @ 98.3 WITH NEW SLAB ELEV. @ 95.8
* NEW ELECTRIC ROOM LOCATION FOR ENTIRE FACILITY

GENERAL NOTES:

- ALL WORK TO CONFORM W/ THE FOLLOWING CODES:
 - 780 CMR MA BUILDING CODE 9th EDITION
 - 527 CMR MA FIRE PREVENTION AND ELECTRICAL REGULATIONS
 - 521 CMR MA ACCESSIBILITY REGULATIONS
 - 248 CMR MA PLUMBING REGULATIONS
 - THE TOWN OF FRANKLIN, MA ZONING BYLAW REGULATIONS
 - ALL ADDITIONAL LOCAL & STATE LAWS REGULATING THE PROPER CONSTRUCTION STANDARDS & EXECUTION OF THIS PROJECT
- GENERAL CONTRACTOR TO VERIFY IN FIELD ALL EXISTING CONDITIONS, DIMENSIONS & COORDINATE WITH ARCHITECTURAL PLANS
- ALL DEMOLITION EXECUTION & DISPOSAL SHALL BE DONE ACCORDING TO LOCAL PERMITS & LAWS FOR DEBRIS REMOVAL
- EXECUTION SHALL BE DONE MEETING ALL REQUIRED SAFETY STANDARDS ESTABLISHED BY STATE & LOCAL LAWS



12" W x 16" L x 8" H C.M.U. WALL
W/ #5 REBARS @ 32" O.C. +
INSULATING CELLS R-9 FULL
HEIGHT + CELLS FULLY
GROUTED

drawing number: **A102.2**

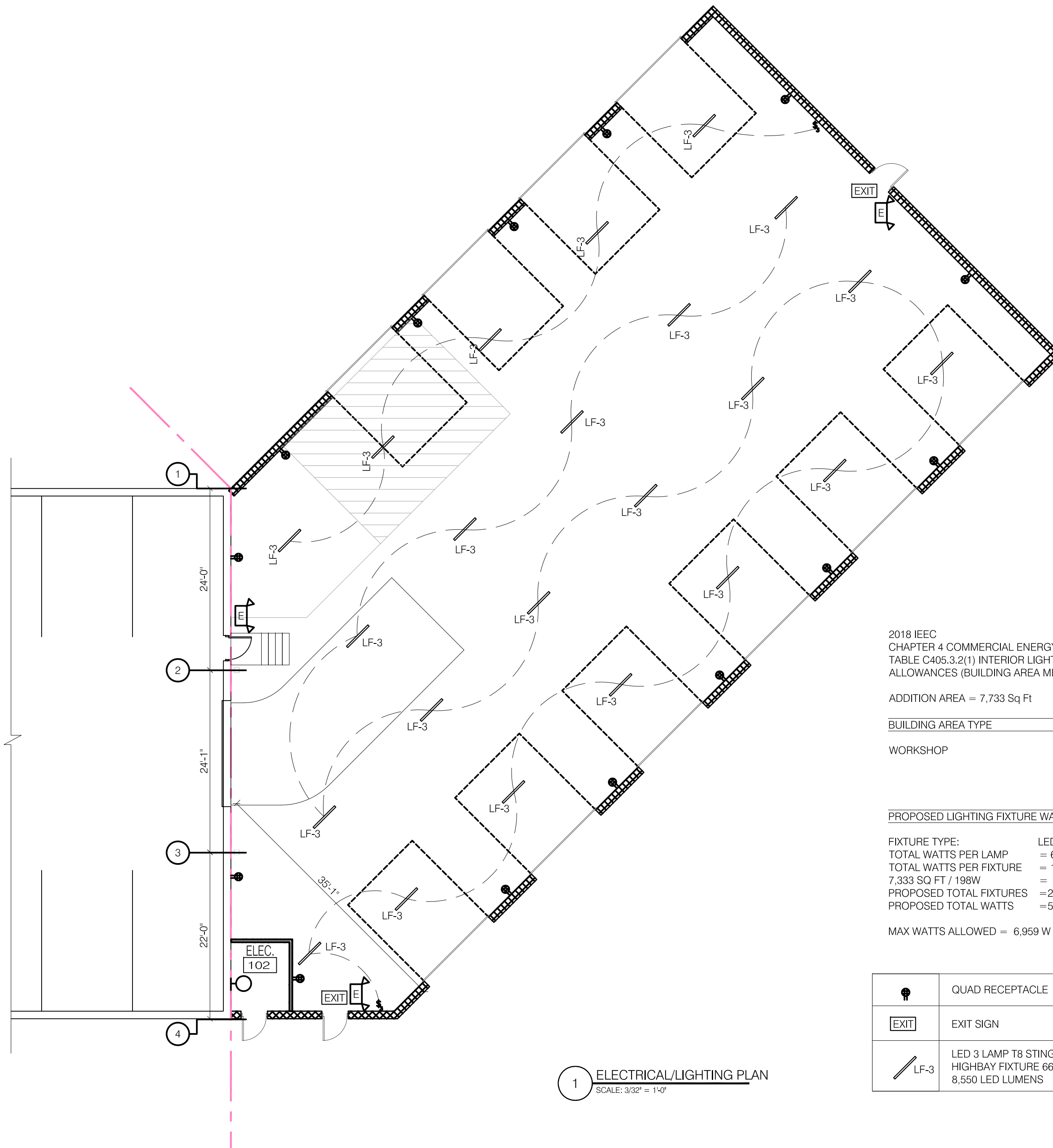
date:	03-26-22
revision:	05-05-22
scale:	AS NOTED
drawn by:	H&M ARCH
progress:	
bid only:	
permit only:	
construction:	

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H&M ARCHITECTURE
136 Old Colony Av
unit 2-R
Quincy, MA 02170
PHONE: 857-526-4353 • EMAIL: hugomenezesv@hotmail.com

PROPOSED NEW ADDITION FOR
FRANKLIN FORD
175 EAST CENTRAL STREET
FRANKLIN, MA
PROPOSED FLOOR PLAN





1 ELECTRICAL/LIGHTING PLAN
SCALE: 3/32" = 1'-0"

2018 IECC
CHAPTER 4 COMMERCIAL ENERGY EFFICIENCY
TABLE C405.3.2(1) INTERIOR LIGHTING POWER
ALLOWANCES (BUILDING AREA METHOD)

ADDITION AREA = 7,733 Sq Ft

BUILDING AREA TYPE	LDP (W/F12)
WORKSHOP	0.90 W

PROPOSED LIGHTING FIXTURE WATTAGE PER AREA:

FIXTURE TYPE: LED 6 LAP T8
 TOTAL WATTS PER LAMP = 66W
 TOTAL WATTS PER FIXTURE = 198W
 7,333 SQ FT / 198W = 39 FIXTURES MAX
 PROPOSED TOTAL FIXTURES = 28 @ 198W EACH
 PROPOSED TOTAL WATTS = 5,544W

MAX WATTS ALLOWED = 6,959 W

	QUAD RECEPTACLE
	EXIT SIGN
	LED 3 LAMP T8 STINGRAY 4XL HIGHBAY FIXTURE 66 WATT, 110-277V, 8,550 LED LUMENS

GENERAL NOTES:

- ALL WORK TO CONFORM W/ THE FOLLOWING CODES:
 - 780 CMR MA BUILDING CODE 9th EDITION
 - 527 CMR MA FIRE PREVENTION AND ELECTRICAL REGULATIONS
 - 521 CMR MA ACCESSIBILITY REGULATIONS
 - 248 CMR MA PLUMBING REGULATIONS
 - 2018 IECC CODE
 - THE TOWN OF FRANKLIN, MA ZONING BYLAW REGULATIONS
 - ALL ADDITIONAL LOCAL & STATE LAWS REGULATING THE PROPER CONSTRUCTION STANDARDS & EXECUTION OF THIS PROJECT
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- EXECUTION SHALL BE DONE MEETING ALL REQUIRED SAFETY STANDARDS ESTABLISHED BY STATE & LOCAL LAWS

REFLECTED CEILING SCHEDULE

SYMBOL	ITEM LABEL	DESCRIPTION	SIZE	LOCATION	COLOR	SPECIFICATIONS	MANUFACTURER	CONTACT INFORMATION
	LF-3	LED 3 LAMP T8	48"L x 14"W x 3"D	SERVICE WRITE UP	WHITE	LED 3 LAMP T8 STINGRAY 4XL HIGHBAY FIXTURE 66 WATT, 110-277V, 8,550 LED LUMENS	PL-BLT66WCL	

drawing number
A102.3

date: 03-26-22
 revision:
 scale: AS NOTED
 dwn by: H&M ARCH

progress	date
bid only	
permit only	
construction	

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H&M ARCHITECTURE

136 Old Colony Av
unit 2-R
Quincy, MA 02170

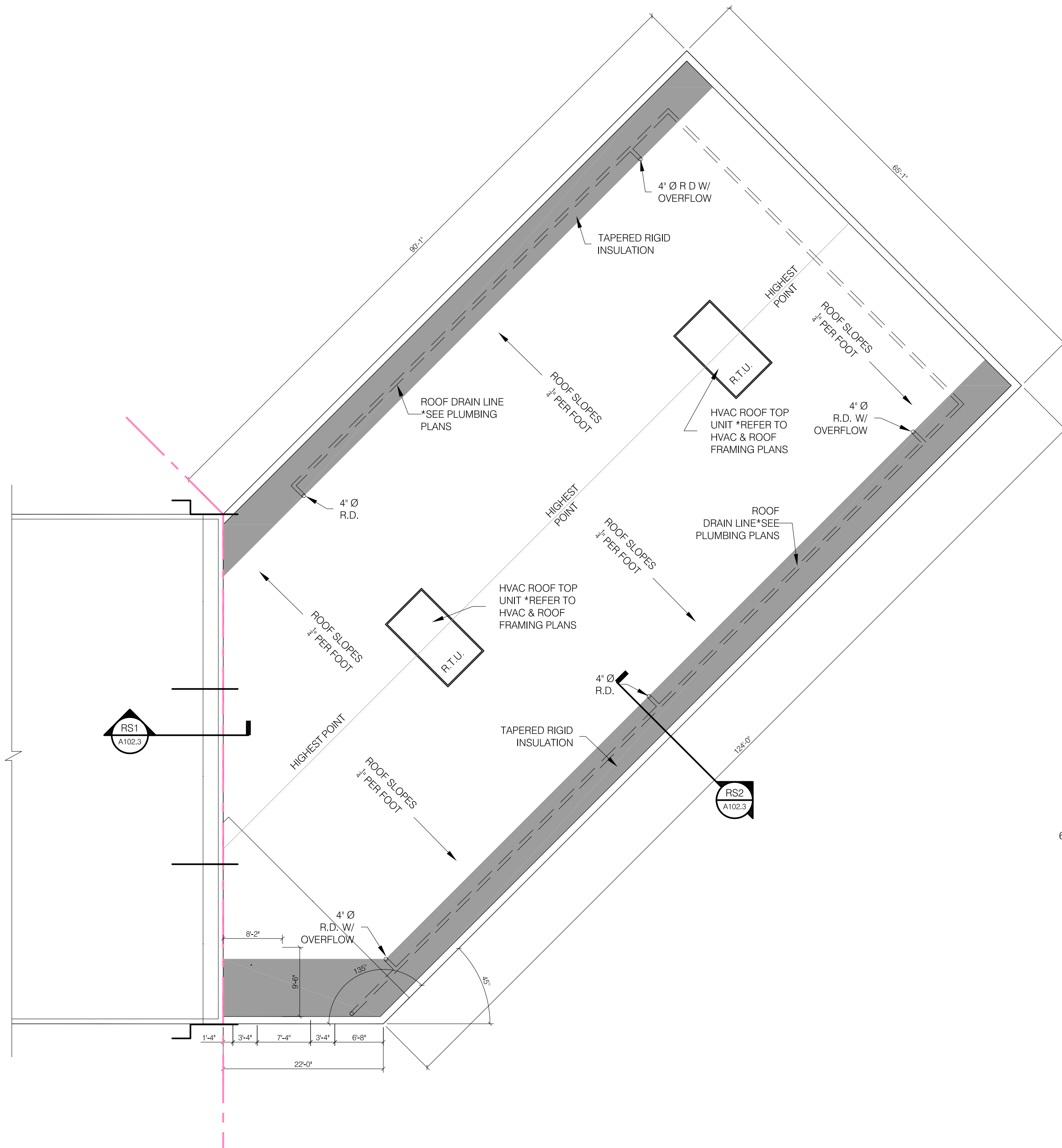
PHONE: 857-526-4353 • EMAIL: hugomenesesv@hotmail.com

PROPOSED NEW ADDITION FOR
FRANKLIN FORD
175 EAST CENTRAL STREET
FRANKLIN, MA

LIGHTING PLAN

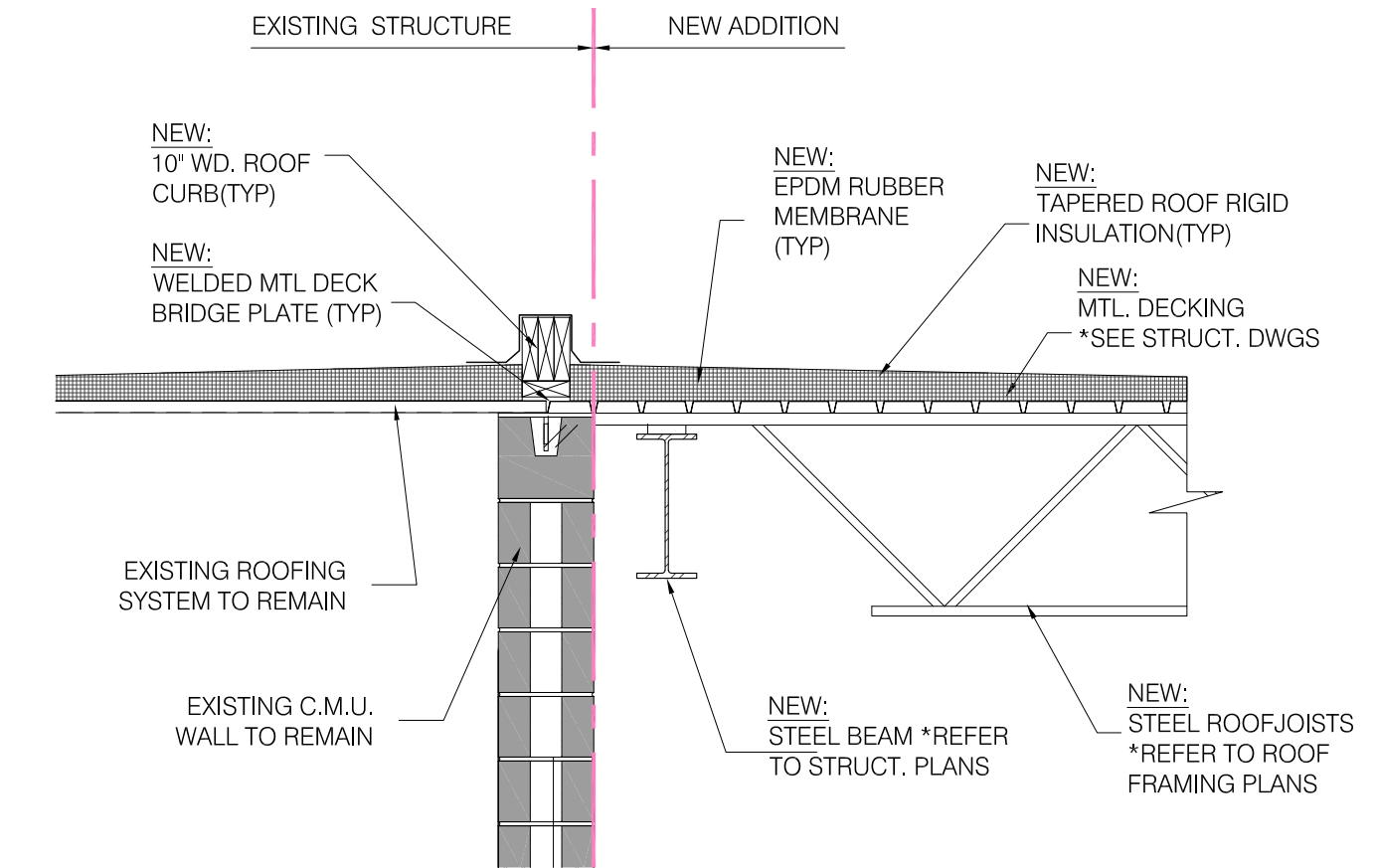
H&M ARCHITECTURE

ARCHITECTURE • DESIGN
INTERIOR DESIGN • CONSTRUCTION ADMINISTRATION

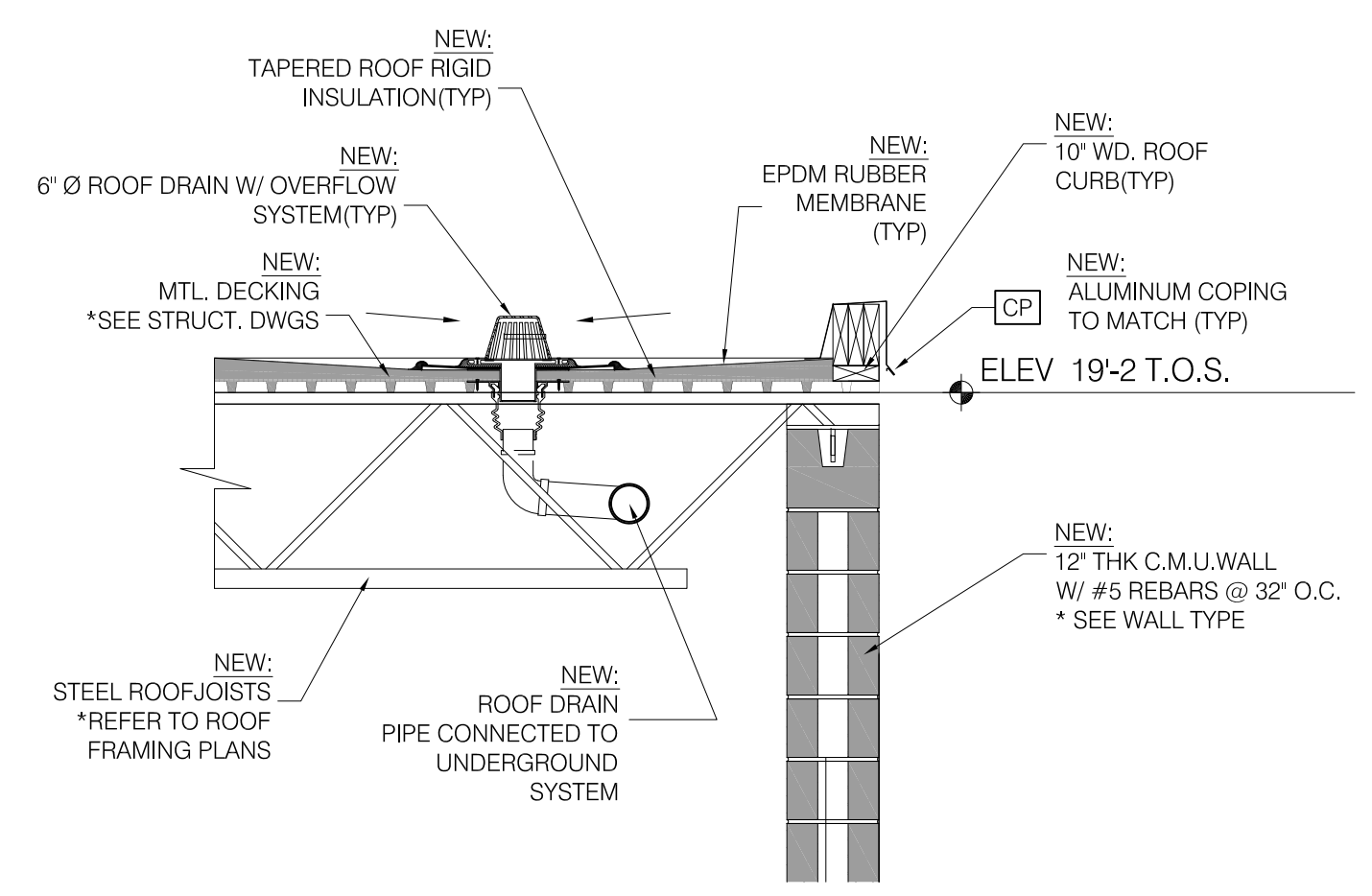


ROOF DESIGN LOADS
 780 CMR MASS BLG CODE 9TH EDITION (2015 IBC)
 CHAPTER 16 STRUCTURAL DESIGN
 TABLE 1604.11 SNOW LOADS, WIND SPEEDS & SEISMIC PARAMETERS

CITY : FRANKLIN, MA
 GROUND SNOW LOAD = 40 PSF
 MIN. FLAT ROOF NOW LOADS = 35 PSF
 BASIC WIND SPEED
 *RISK CATEGORY I = 119 MPH
 *RISK CATEGORY II = 129 MPH
 *RISK CATEGORY III OR IV = 140 MPH



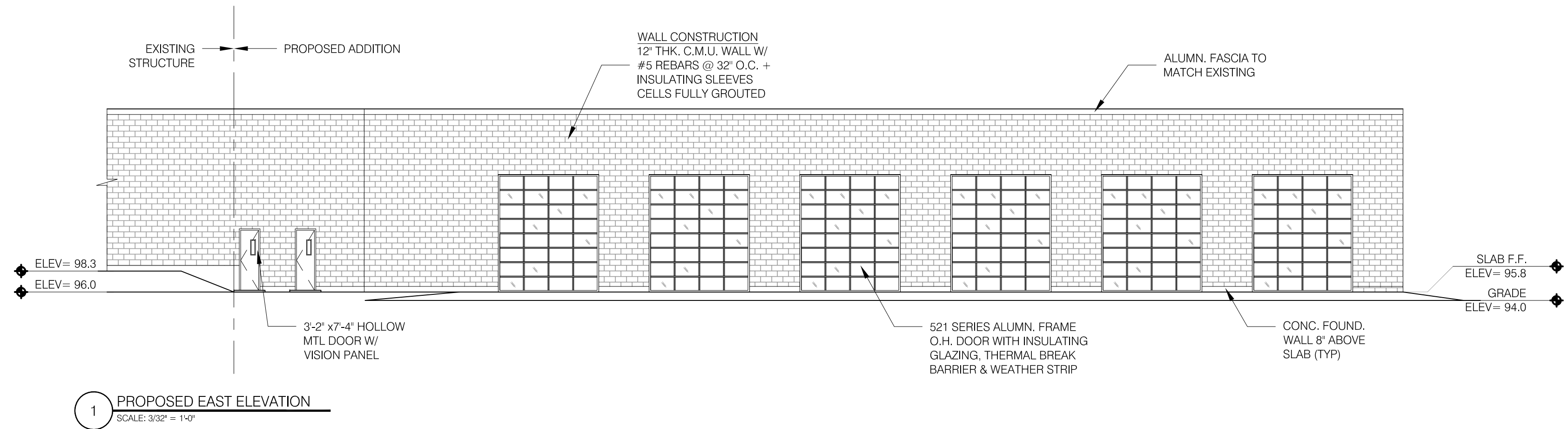
RS1 SECTION @ ROOF TRANSITION
 SCALE: 1/2" = 1'-0"



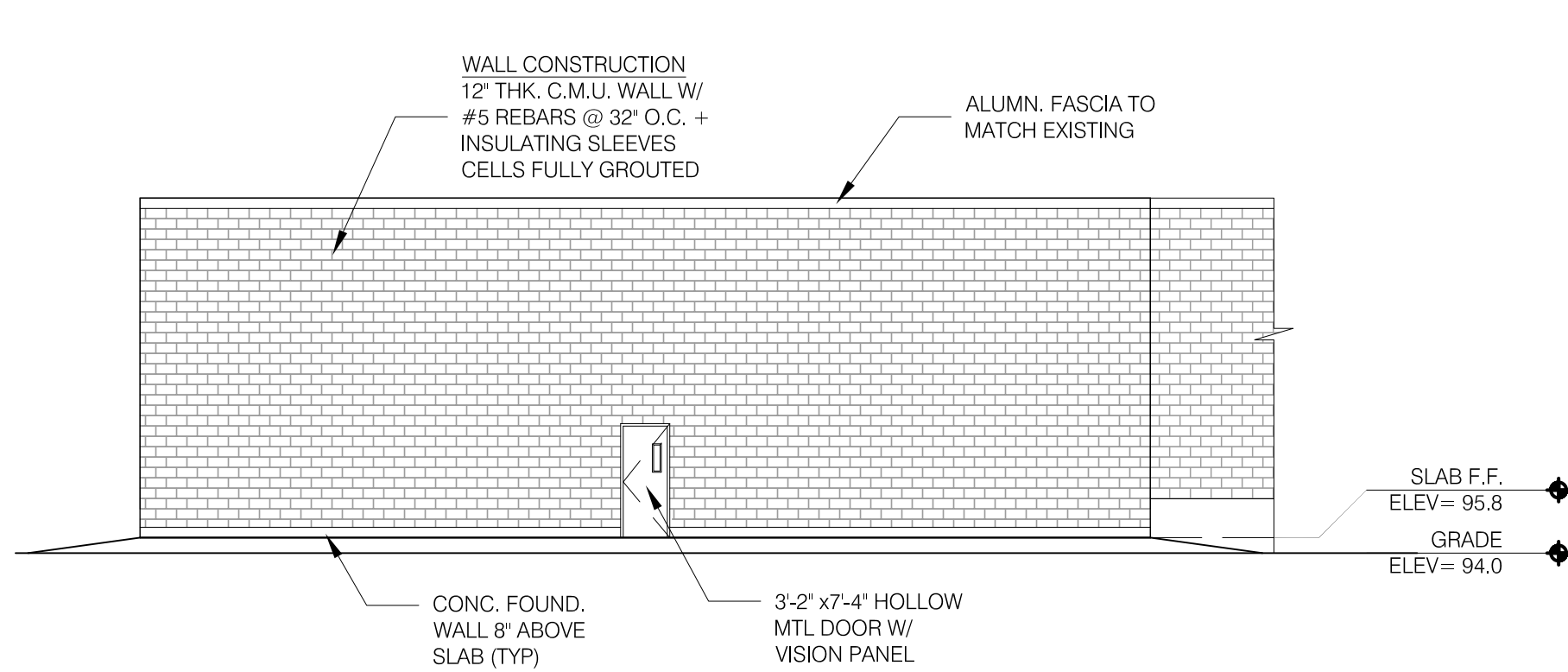
RS2 TYP. SECTION @ ROOF
 SCALE: 1/2" = 1'-0"

1 ROOF PLAN
 SCALE: 3/32" = 1'-0"

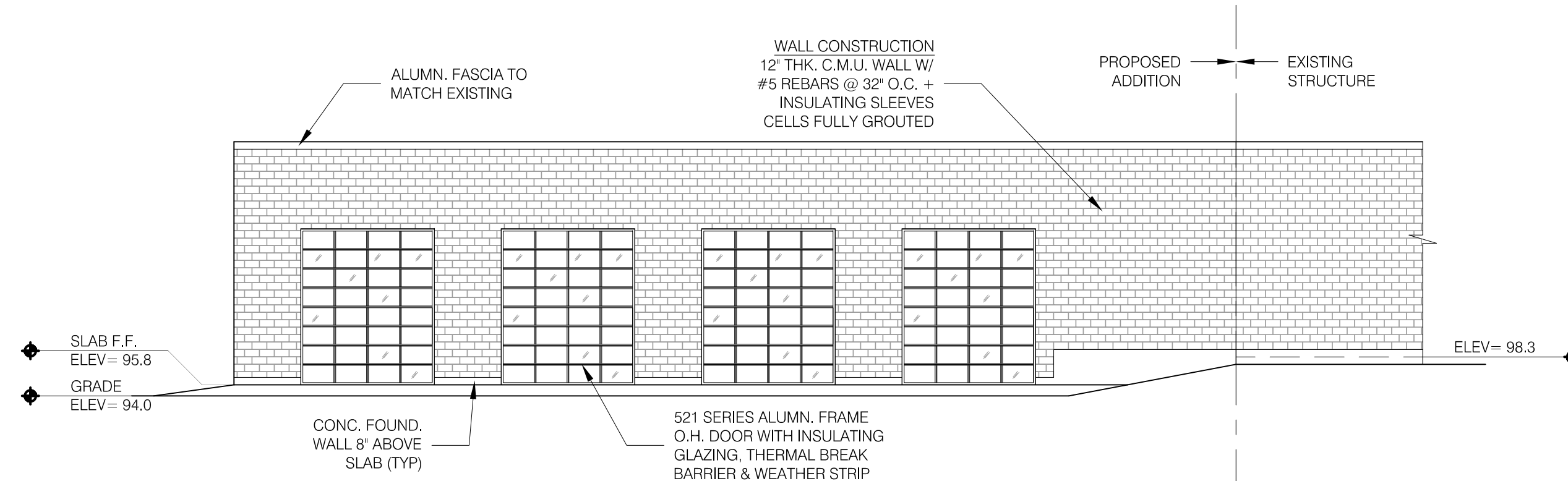
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	revision: scale: AS NOTED dwn by: H&M ARCH			PROPOSED ROOF PLAN
	progress			
	date			
bid only				
permit only				
construction				



1 PROPOSED EAST ELEVATION
SCALE: 3/32" = 1'-0"

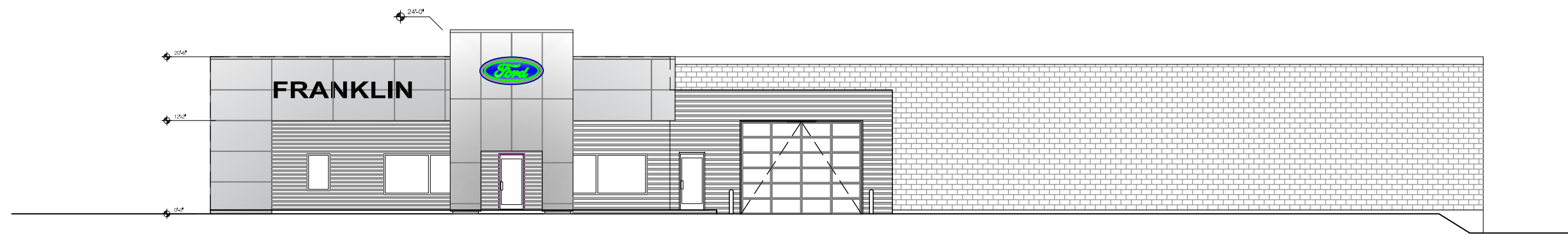


2 PROPOSED NORTH ELEVATION
SCALE: 3/32" = 1'-0"

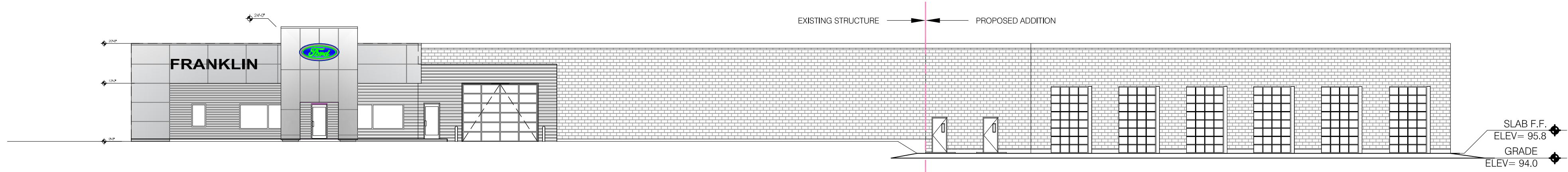


3 PROPOSED WEST ELEVATION
SCALE: 3/32" = 1'-0"

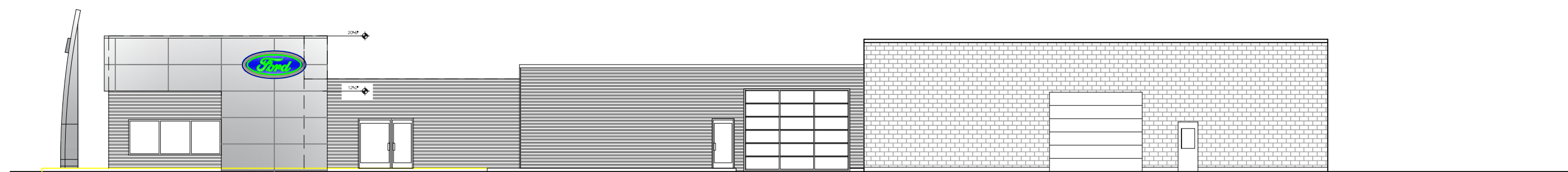
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	revision: scale: AS NOTED dwg by: H&M ARCH			PROPOSED ELEVATIONS
	progress			
	bid only			
	permit only			
construction		 <small>H&M ARCHITECTURE • DESIGN 175 EAST CENTRAL STREET FRANKLIN, MA 01901 TEL: 857-526-4353</small>		



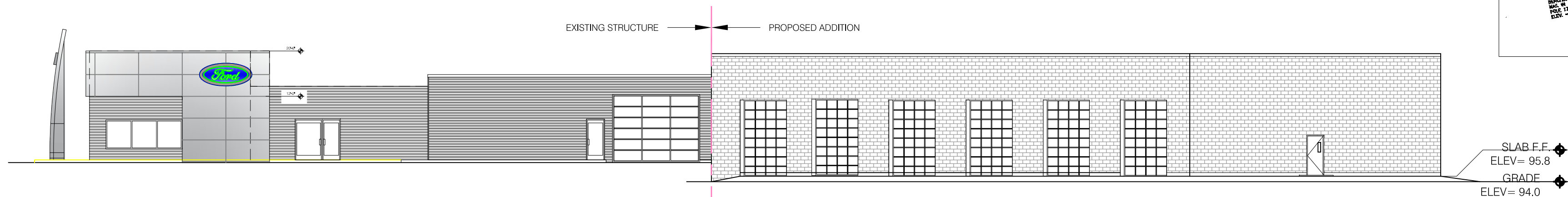
1 EXISTING ELEVATION / EAST STREET
SCALE: 1/16" = 1'-0"



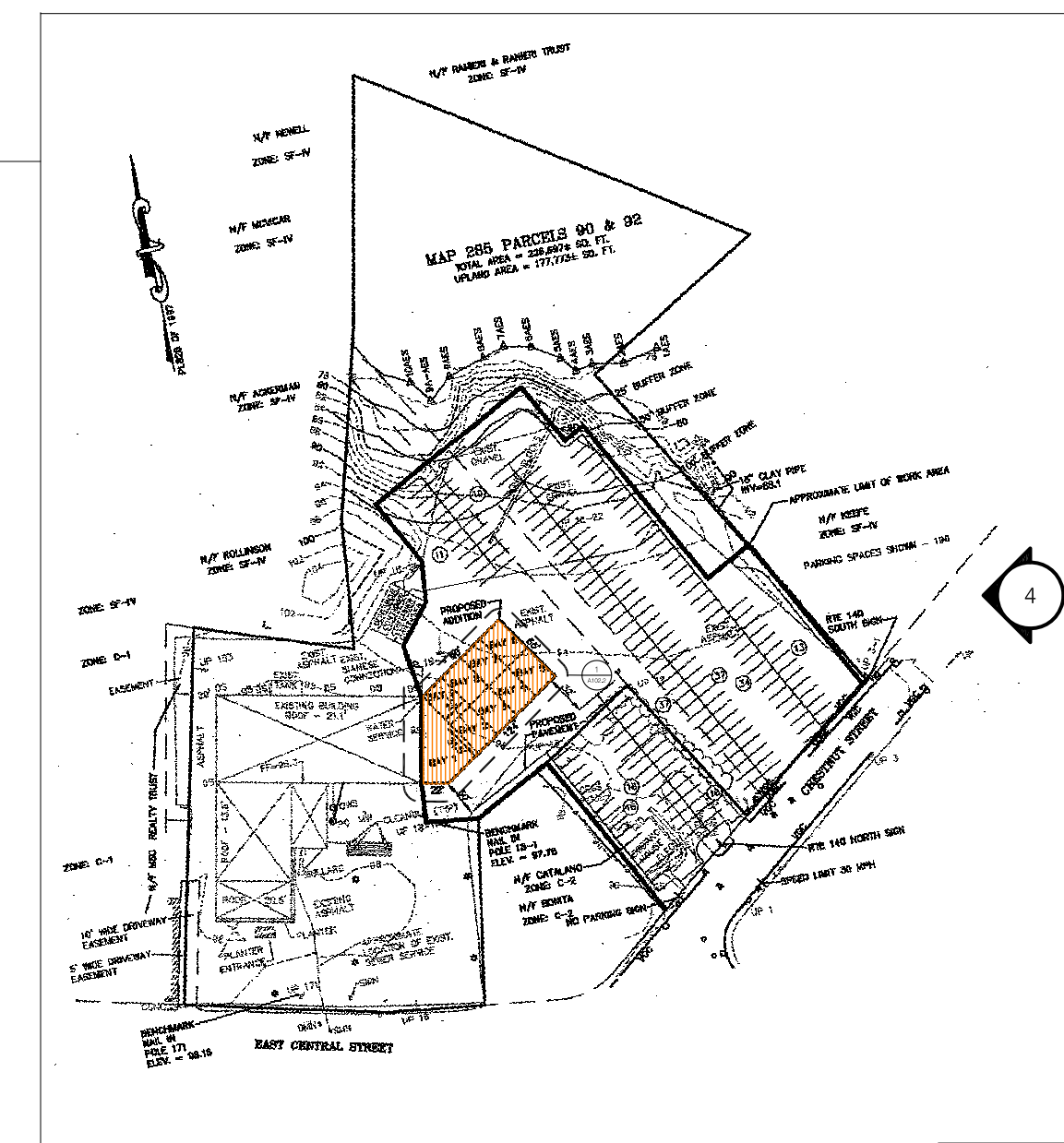
2 PROPOSED ELEVATION / EAST STREET VIEW
SCALE: 1/16" = 1'-0"



3 EXISTING ELEVATION / CHESTNUT STREET
SCALE: 1/16" = 1'-0"



4 PROPOSED ELEVATION / CHESNUT STREET VIEW
SCALE: 1/16" = 1'-0"



KEYPLAN

A103.1	drawing number	date: 03-26-22	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO	H&M ARCHITECTURE	PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA	ELEVATIONS EXISTING & PROPOSED	
	revision:	scale: AS NOTED					
	drawn by: H&M ARCH	progress	date	PHONE: 857-526-4353 • EMAIL: hugomeneesesv@hotmail.com			
	bid only	permit only	construction				

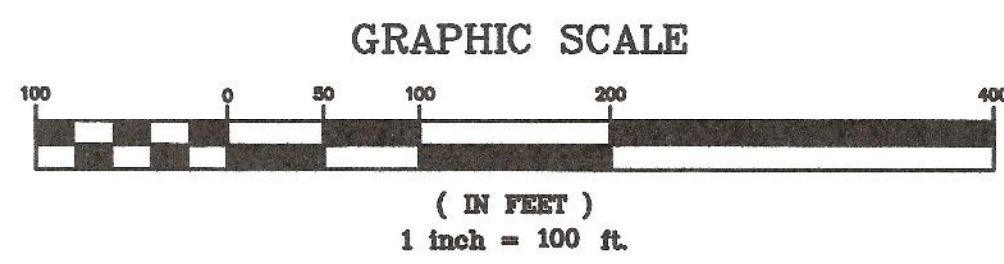
SITE PLAN

175 EAST CENTRAL STREET

FRANKLIN MASSACHUSETTS



LOCUS MAP
SCALE: 1" = 100'



ZONING:

THE FRANKLIN FORD SITE IS LOCATED WITHIN A COMMERCIAL II ZONE.

INDUSTRIAL ZONE	REQUIREMENTS:	EXISTING	PROPOSED
AREA:	40,000 S.F.	226,697± S.F.	226,697± S.F.
FRONTAGE:	175'	243.21'	243.21'
DEPTH:	200'	759'±	759'±
HEIGHT:	3 STORIES 40'	21.1'	21.1' - 1 STORY
WIDTH:	157.5'	> 157.5'	> 157.5'
COVERAGE - STRUCTURES:	70%	12.1%	15.6%
STRUC. & PAVING:	80%	66.6%	76.3%
SETBACKS-			
FRONT:	40'	55.9'	55.9'
RIGHT SIDE:	30'	54.1'	37.2'
LEFT SIDE:	30'	20'	20'
REAR:	30'	37.8'	37.8'

LOT COVERAGE CALCULATION AREA BASED ON UPLAND AREA

THE ENTIRE PROPERTY IS LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT AND A DEP ZONE II. THE SITE AREA PROPOSED FOR DEVELOPMENT IS LOCATED IN A ZONE X BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

AREA WITHIN THE WATER RESOURCE DISTRICT - 226,697± SQ. FT.
UPLAND AREA WITHIN THE WATER RESOURCE DISTRICT - 177,773± SQ. FT.
IMPERVIOUS AREA WITHIN THE WATER RESOURCE DISTRICT - 135,580± SQ. FT.
COVERAGE WITHIN THE WATER RESOURCE DISTRICT - = 76.3%

FRANKLIN FORD:
BUILDING USE - AUTOMOBILE DEALERSHIP.

REFERENCES:
ASSESSORS MAP 285 PARCEL 090-000-000
DEED BOOK 28674 PAGE 487
ASSESSORS MAP 285 PARCEL 092-000-000
DEED BOOK 3788 PAGE 197
PLAN 826 OF 1997
LIMITED SITE PLAN FRANKLIN FORD, LLC DATED SEPTEMBER 11, 2013 AND ENDORSED ON OCTOBER 21, 2013.

DRAWING INDEX:

1. COVER SHEET
 2. EXISTING CONDITIONS PLAN
 3. SITE LAYOUT PLAN
 4. SITE GRADING AND UTILITY PLAN
 5. SITE PLANTING PLAN
 6. EROSION CONTROL PLAN
 7. CONSTRUCTION DETAILS - 1
 8. CONSTRUCTION DETAILS - 2
- SITE LIGHTING-LIGHTING PLAN,
PHOTOMETRICS AND SCHEDULES
BY SK & ASSOCIATES

OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

SITE PLAN
COVER SHEET
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

- WAIVER REQUESTED:
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
 2. TO ALLOW THE USE OF HDPE PIPE FOR THE MANIFOLDS AND POND 1.
 3. TO ALLOW MINIMAL LIGHT SPILLAGE ONTO THE CHESTNUT STREET RIGHT OF WAY.

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
8/21		BL
4/22		
4/22		
4/22		
4/22		

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-364-6560 FAX 508-364-6566

DATE	APRIL 14, 2022
SCALE	1" = 200'
PROJECT	UC1007
SHEET	1 of 8

PARKING CALCULATIONS:

ZONING BYLAW SECTION 185-21B.(3)(b)ii - RETAILING - 1
 SPACE PER 200 SQUARE FEET OF GROSS FLOOR AREA.
 3,137 SQ. FT / 200 = 16 SPACES

ZONING BYLAW SECTION 185-21B.(3)(b)iii - OTHER OFFICES
 AND BANKS - 1 SPACE PER 250 SQUARE FEET OF GROSS
 FLOOR AREA.
 2,772 SQ. FT / 250 = 12 SPACES

ZONING BYLAW SECTION 185-21B.(3)(b)vi - WAREHOUSE - 1
 SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA.
 23,485 SQ. FT. / 1,000 = 24 SPACES

52 SPACES REQUIRED

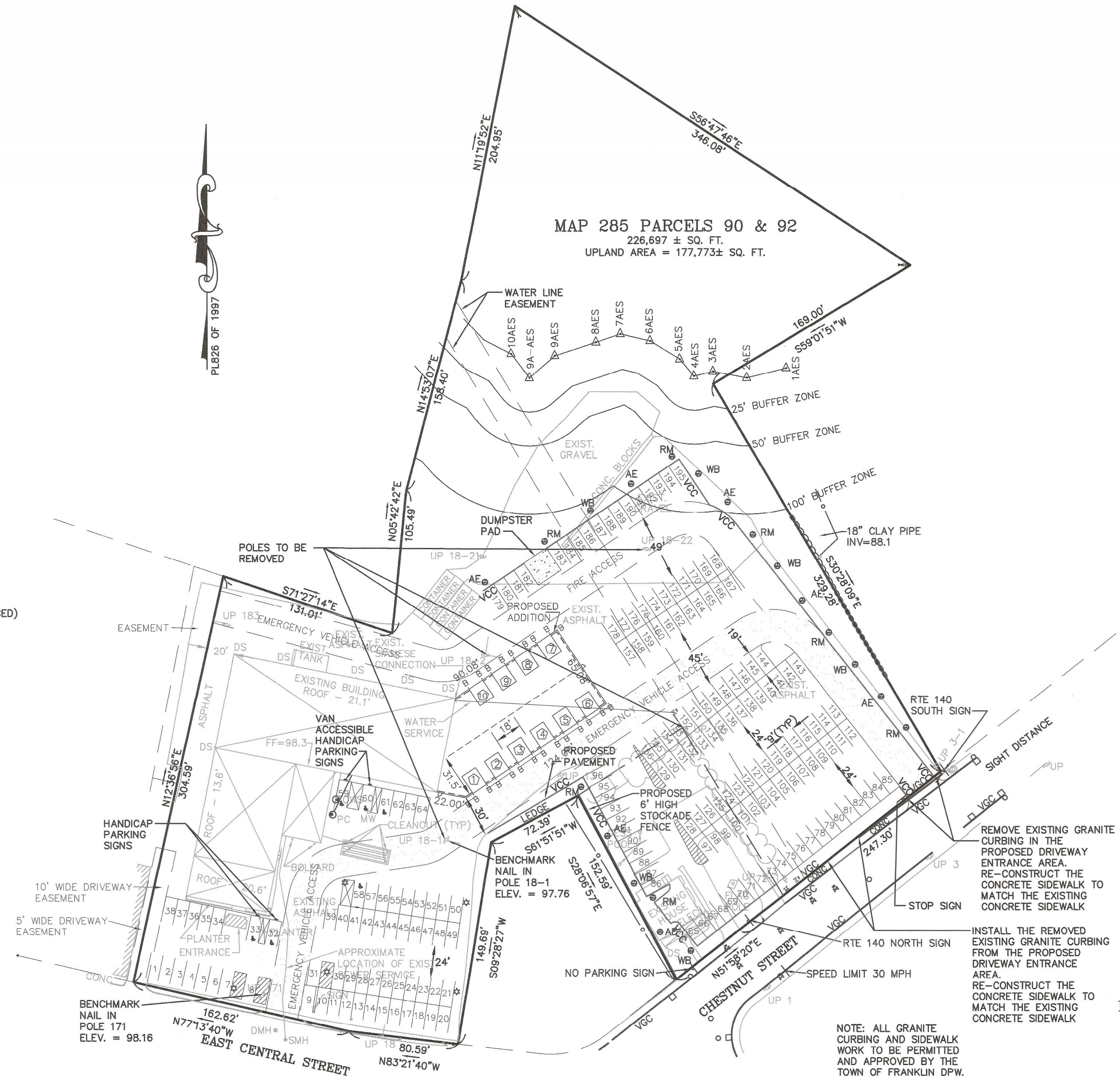
195 SPACES PROPOSED INCLUDING 6 HANDICAP SPACES.

DIMENSION NOTES:

1. ALL PARKING SPACES ARE TO BE 9' x 19'
2. ALL ACCESS AISLES ARE TO BE A MINIMUM OF 24' WIDE.

LEGEND:

- | | | | |
|--------|------------------------|------|--|
| SBDH | DRILL HOLE STONE BOUND | □ | CATCH BASIN |
| SSM | STEEL SURVEY MARKER | ⊙ | SEWER MANHOLE |
| -297- | EXISTING COUNTOUR | CO | CLEANOUT |
| -297- | PROPOSED COUNTOUR | D | DUMPSTER |
| x274.3 | SPOT GRADE - PROPOSED | VCC | VERTICAL CONCRETE CURBING (REINFORCED) |
| --- | EXIST. TREE LINE | VGC | VERTICAL GRANITE CURBING |
| ⊙P-262 | UTILITY POLE | ⊕ | HANDICAP PARKING SPACE |
| -OHW- | OVERHEAD WIRES | ⊕ | BUILDING MOUNTED LIGHT |
| ⊕ | GAS GATE | ⊕ | POLE MOUNTED LIGHT |
| ⊕ | WATER CURB STOP | R=5' | CURB RADIUS |
| ⊕ | WATER GATE | ⊕ | PARKING SPACE COUNT |
| ⊕ | FIRE HYDRANT | ⊕ | SIGN |
| ⊕ | DRAIN MANHOLE | ⊕ | BOLLARD |



MAP 285 PARCELS 90 & 92
 226,697 ± SQ. FT.
 UPLAND AREA = 177,773± SQ. FT.

OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 LAYOUT & MATERIALS PLAN
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

NOTE: ALL GRANITE
 CURBING AND SIDEWALK
 WORK TO BE PERMITTED
 AND APPROVED BY THE
 TOWN OF FRANKLIN DPW.

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
8/21		BL
BK#	FIELD BOOK	PG#
4/22		RRG
DATE	DESIGNED BY:	
4/22		RRG
DATE	DRAWN BY:	COMP
4/22		COMP
DATE	CHECKED BY:	CAQ
4/22		CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE
 APRIL 14, 2022
 SCALE
 1" = 40'
 PROJECT
 UC1007
 SHEET
 3 of 9

PLANTING SCHEDULE

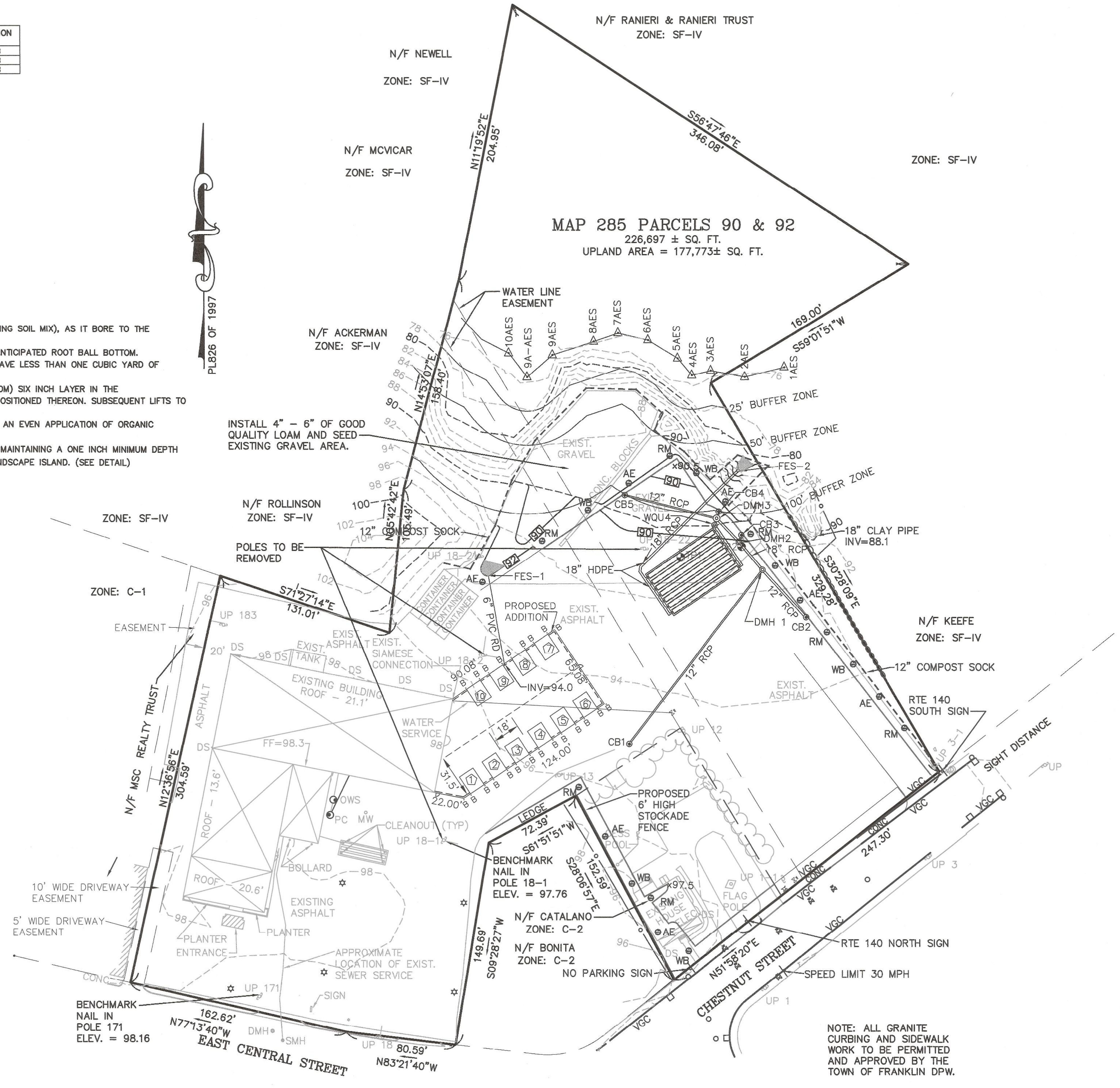
NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
7	AMERICAN ELM - AE	ULMUS AMERICANA	3"	B&B
7	RED MAPLE - RM	ACER RUBRUM	3"	B&B
6	WHITE BIRCH - WB	BETULA Papyrifera	4 - 6 FEET	B&B

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES.
 195 TOTAL PARKING SPACES / 10 = 20 TREES
 - 20 TREES PROVIDED.
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.

GENERAL SITE PLANTING NOTE:
 ALL DISTURBED AREAS NOT COVERED WITH BUILDING, ASPHALT PAVEMENT, CURBING, STONE, RIPRAP OR GEOWEB SHALL HAVE 4" TO 6" OF GOOD QUALITY LOAM COVERING THE AREAS AND SHALL BE HYDROSEEDED.

GENERAL NOTES

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)



OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

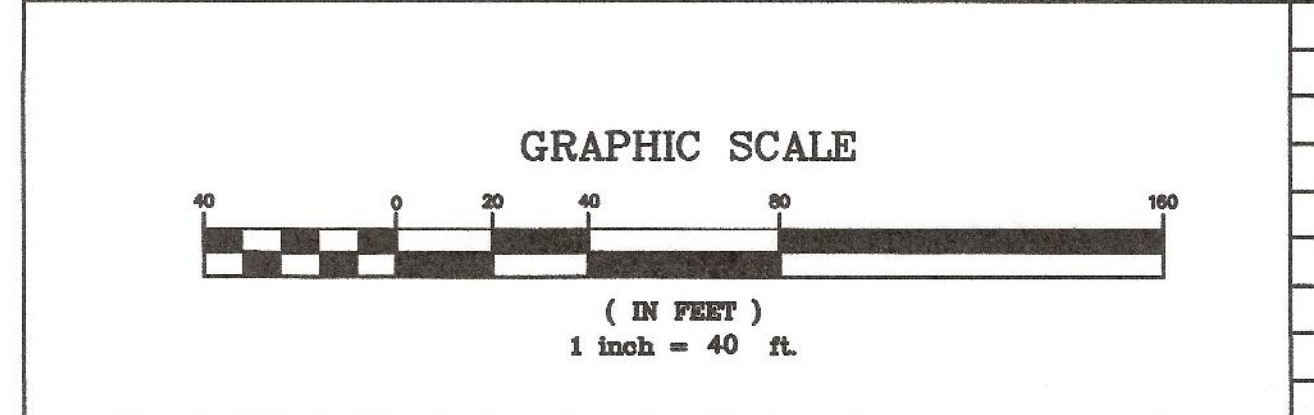
MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 PLANTING PLAN
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

NOTE: ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.

SITE PLAN APPROVAL REQUIRED FRANKLIN PLANNING BOARD	
DATE	_____
_____	_____
_____	_____

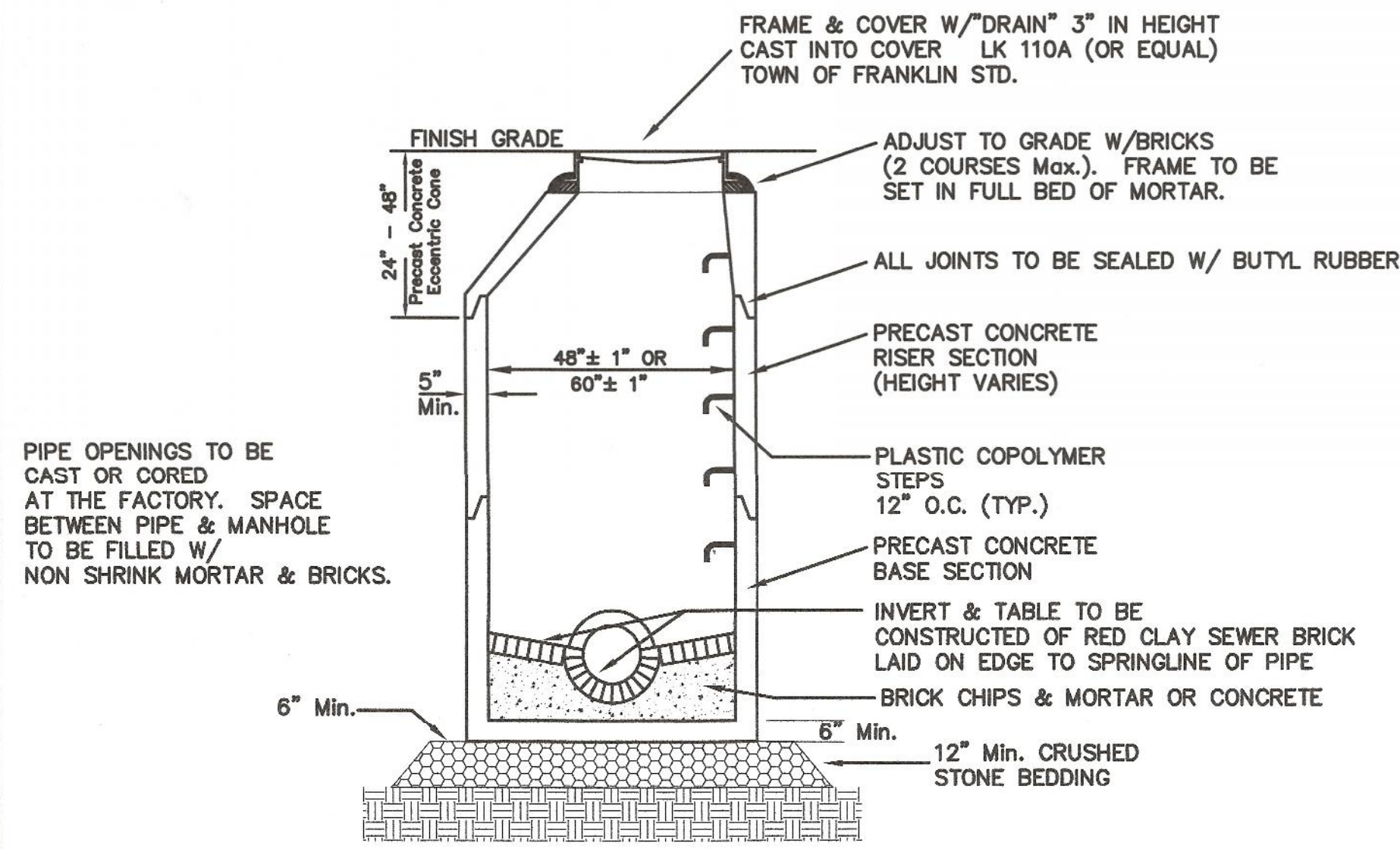


NO.	DATE	DESCRIPTION	BY

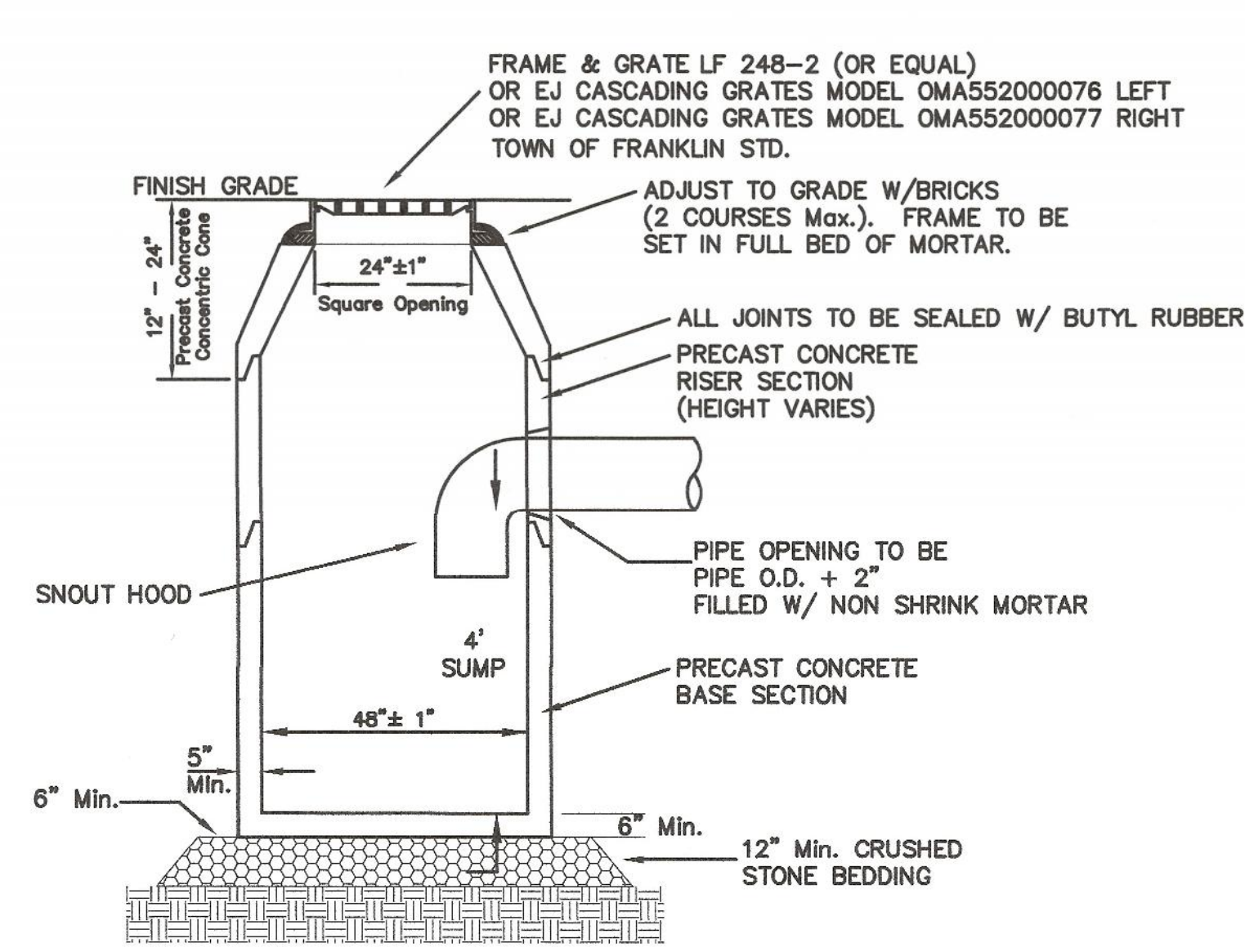
DATE	FIELD BY:	INT.
8/21	BL	
4/22	FIELD BOOK PG#	
4/22	CALCS BY: RRG	
4/22	DESIGNED BY: RRG	
4/22	DRAWN BY: COMP	
4/22	CHECKED BY: CAQ	

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6568

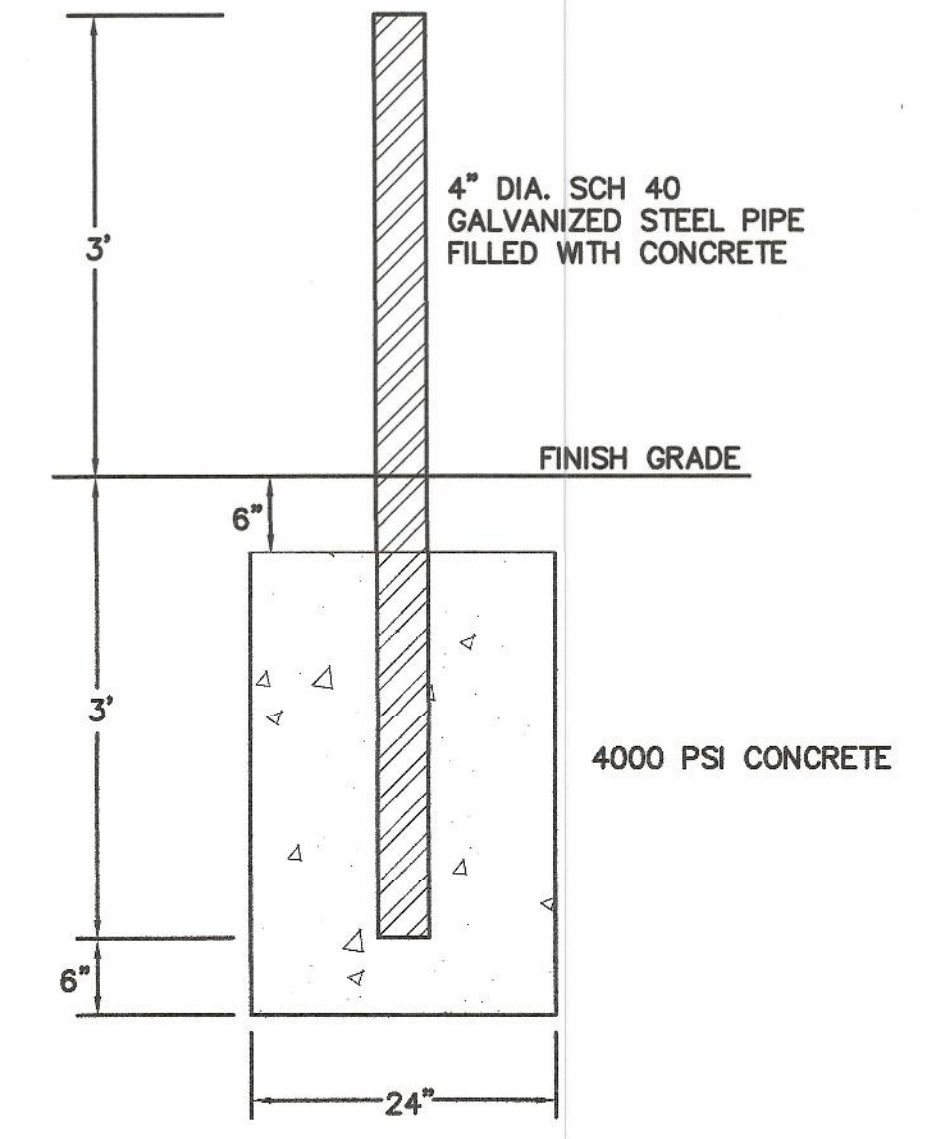
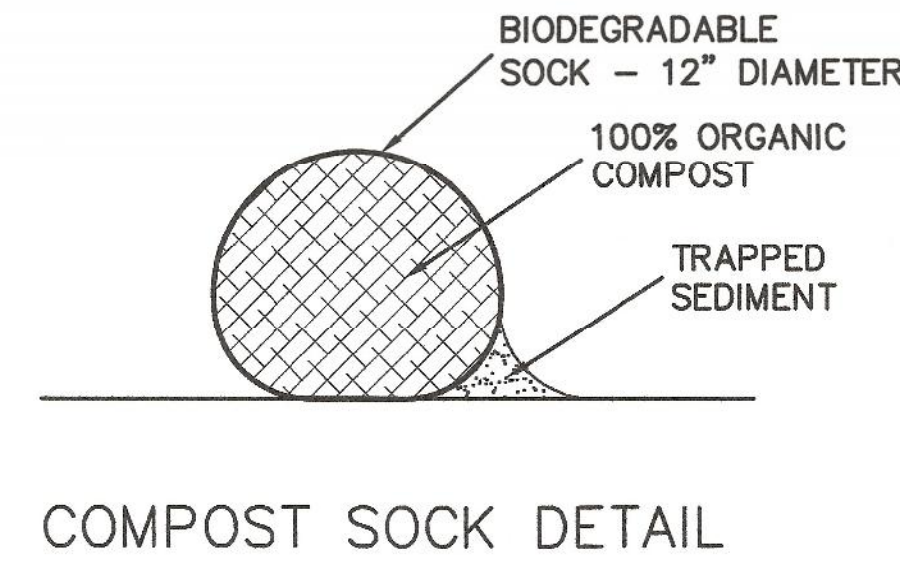
DATE	APRIL 14, 2022
SCALE	1" = 40'
PROJECT	UC1007
SHEET	5 of 9



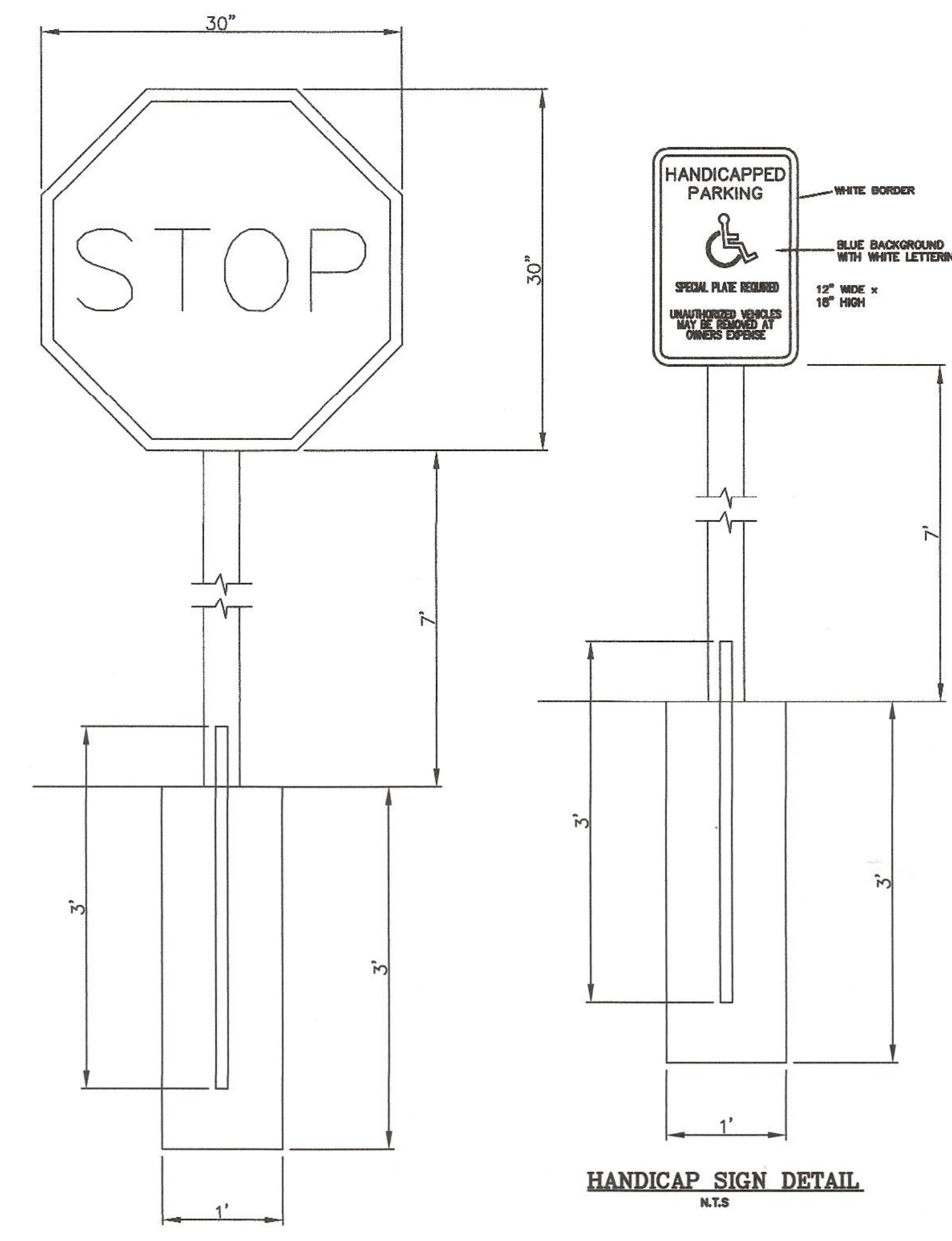
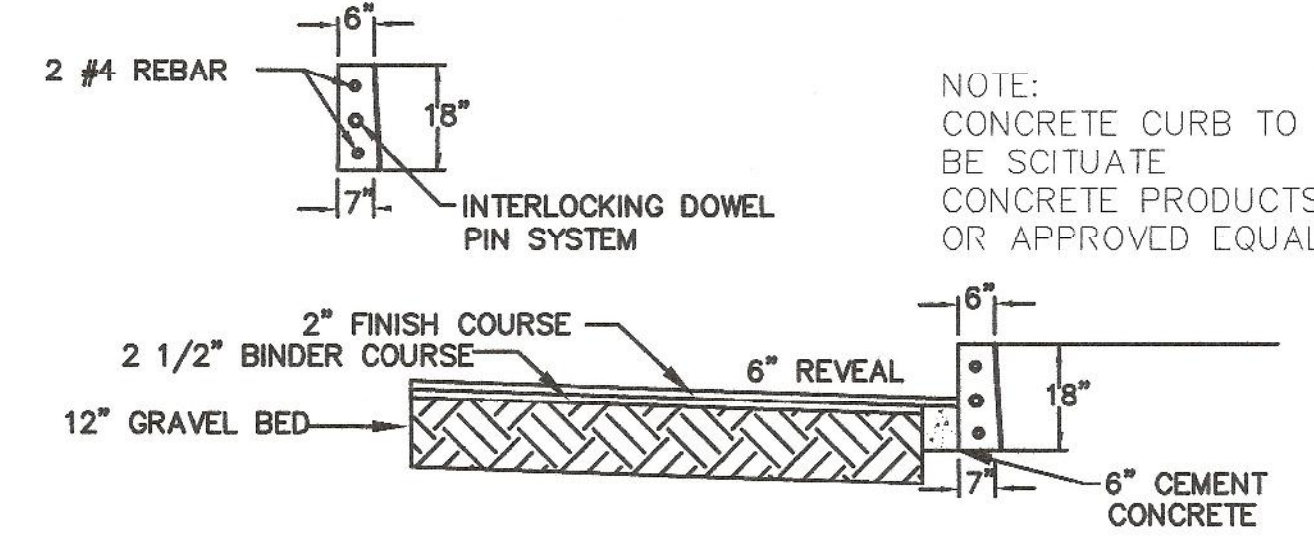
PRECAST DRAIN MANHOLE



PRECAST CATCH BASIN



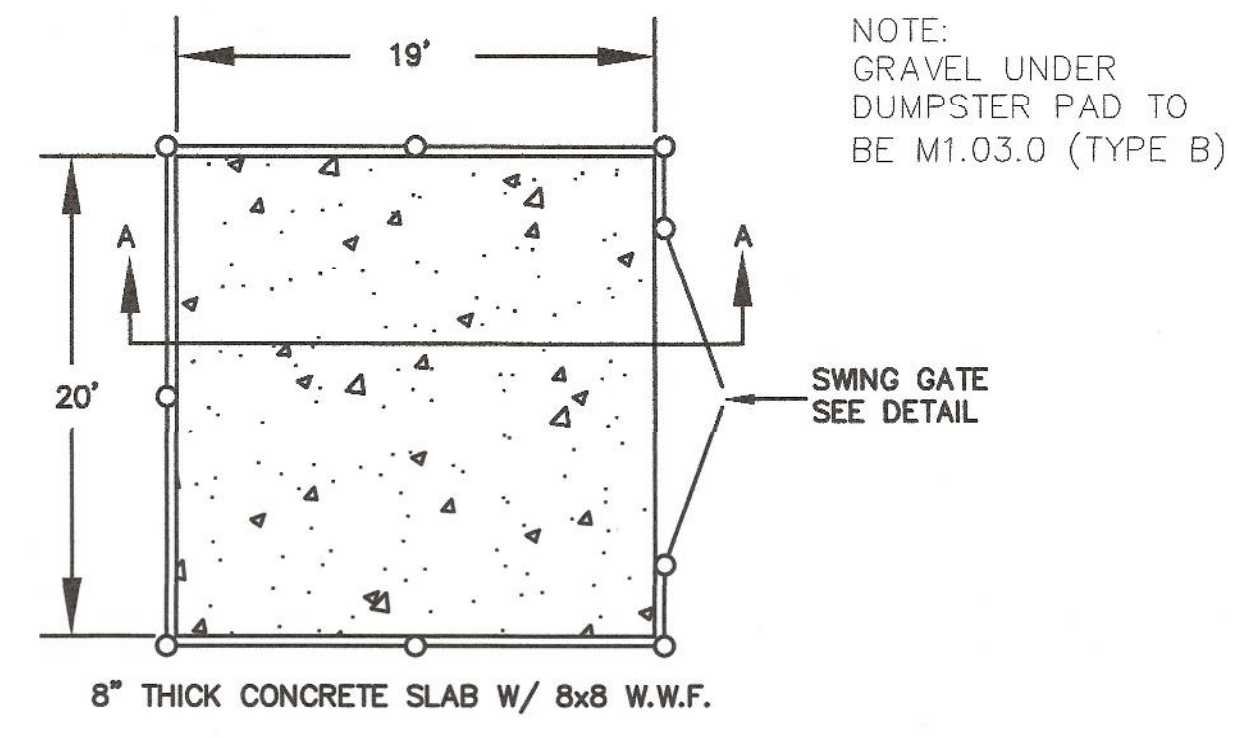
NOTE: BOLLARDS TO BE INSTALLED ON EACH SIDE OF THE OVERHEAD DOOR OPENINGS.



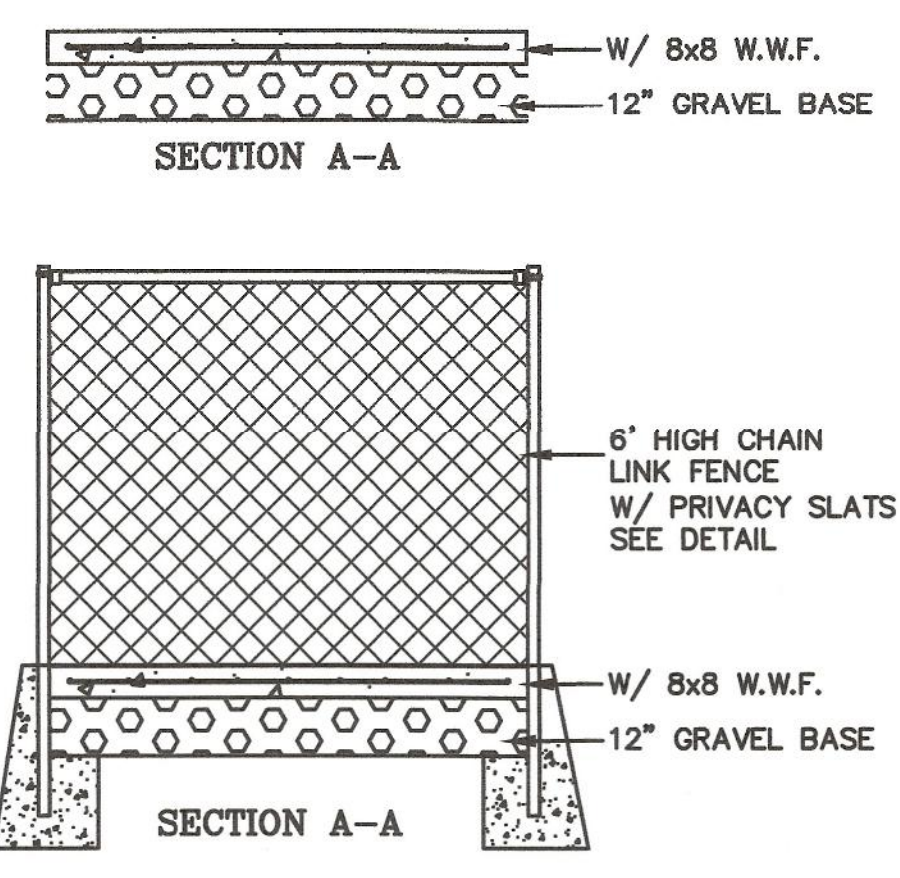
OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

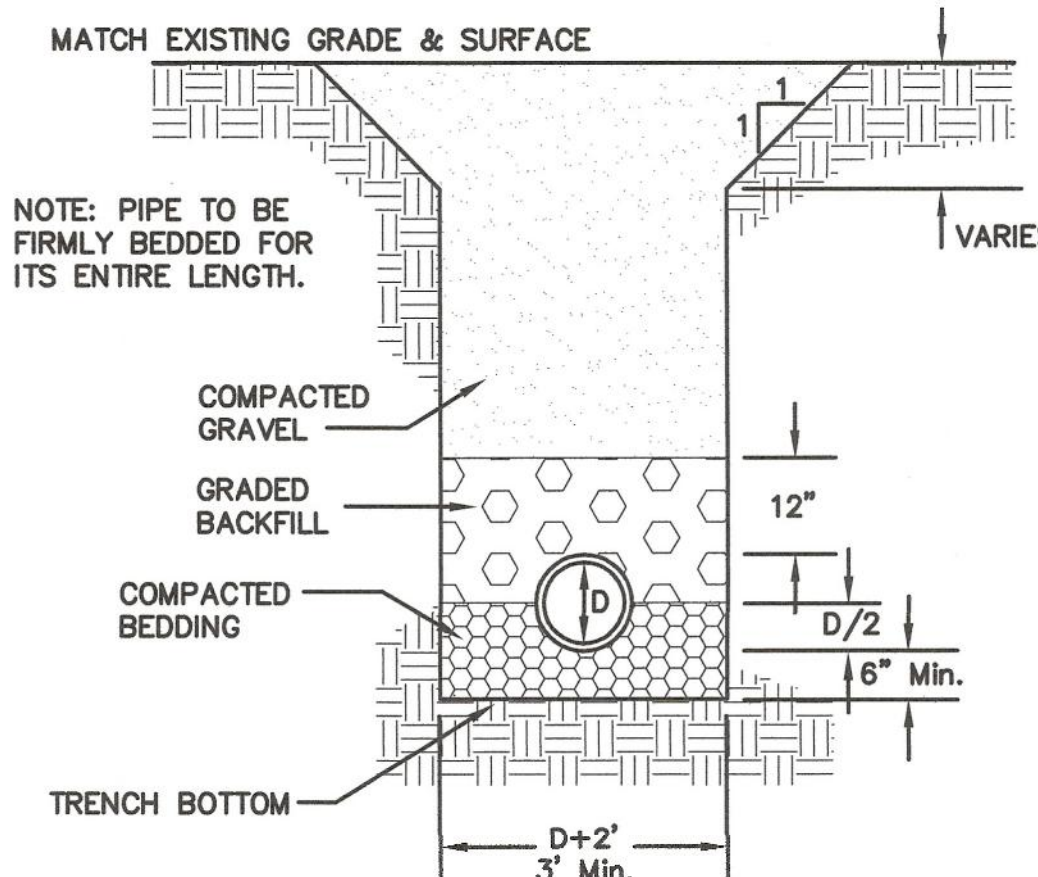
APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS



NOTE: DUMPSTER PAD AT BUILDING 1 WILL HAVE THE FENCE CONNECT TO THE RETAINING WALL. NO FENCE IS PROPOSED TO THE REAR OF THE DUMPSTER PAD.



PAVEMENT AND VERTICAL CONCRETE CURBING



TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING MATERIAL	PROC. GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE	3/8" STONE

UTILITY TRENCH DETAIL

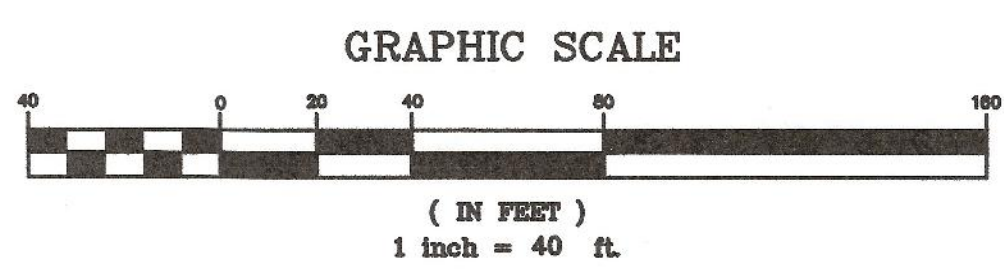
STOP SIGN DETAIL

HANDICAP SIGN DETAIL

SITE PLAN
CONSTRUCTION DETAILS - 1
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
8/21	BL	
BK#	FIELD BOOK	PG#
4/22		
DATE	DESIGNED BY:	
4/22	RRG	
DATE	DRAWN BY:	
4/22	COMP	
DATE	CHECKED BY:	
4/22	CAQ	

UNITED
CONSULTANTS
INC.

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8586

DATE	APRIL 14, 2022
SCALE	1" = 40'
PROJECT	UC1007
SHEET	7 of 8

EXCAVATION AND FILL NOTES:

SOIL REMOVAL AT INFILTRATION SYSTEM:
 ALL EXISTING TOP (A HORIZON) AND SUB-SOIL (B HORIZON) SOILS AND FILL SHALL BE REMOVED UNDER THE INFILTRATION SYSTEMS AND FIVE FEET FROM THE OUTER EDGE OF THE STONE ENVELOPE.

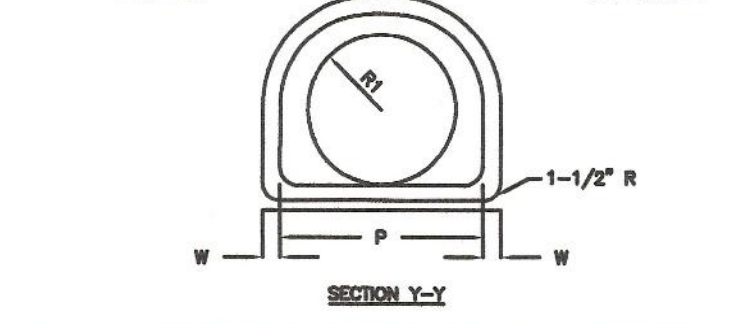
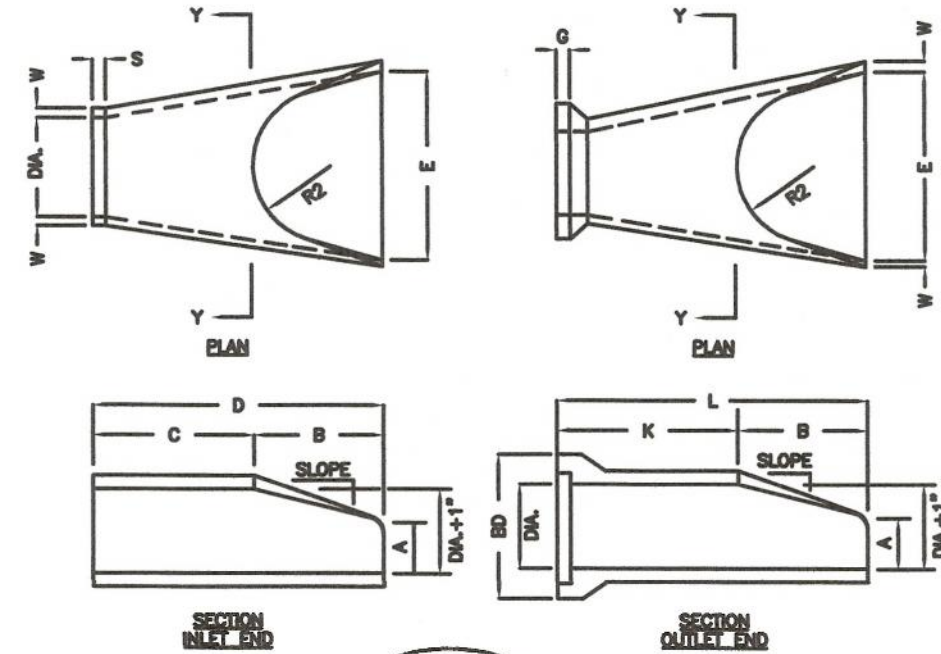
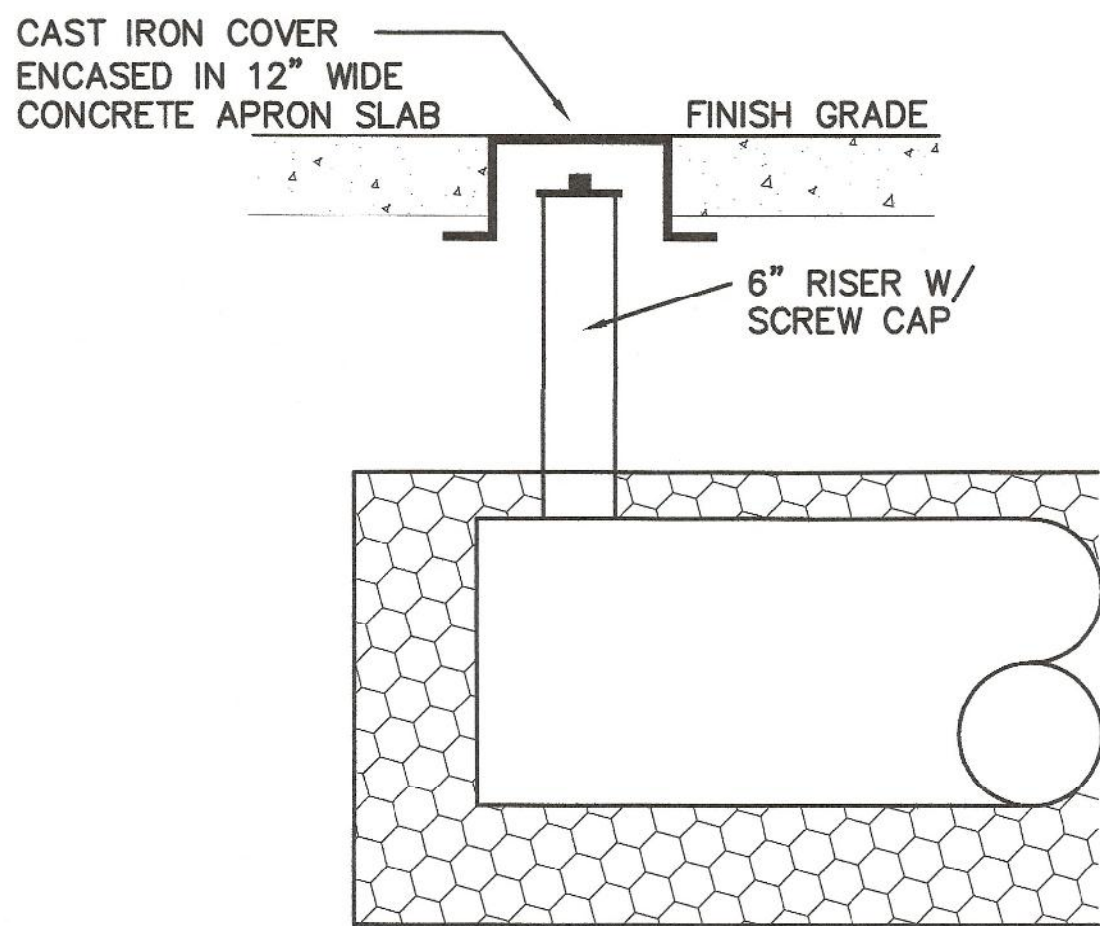
Fill material for drainage systems constructed in fill shall consist of select on-site or imported soil material. The fill shall be comprised of clean granular sand, free from organic matter and deleterious substances. Mixtures and layers of different classes of soil shall not be used. The fill shall not contain any material larger than two inches. A sieve analysis, using a #4 sieve, shall be performed on a representative sample of the fill. Up to 45% by weight of the fill sample may be retained on the #4 sieve. Sieve analyses also shall be performed on the fraction of the fill sample passing the #4 sieve, such analyses shall demonstrate that the material meets each of the following specifications:

SIEVE SIZE	EFFECTIVE PARTICLE SIZE	% THAT MUST PASS SIEVE
# 4	4.75 mm	100%
# 50	0.30 mm	10% - 100%
#100	0.15 mm	0% - 20%
#200	0.075 mm	0% - 2%

A minimum of two representative sample shall be taken from the in-place fill and tested for compliance with the grain size distribution specification. Where fill is required to replace unsuitable or impermeable soils, the excavation of the unsuitable material shall extend a minimum of five feet laterally in all directions beyond the outer perimeter of the soil drainage systems to the depth of naturally occurring pervious material and replaced with fill.

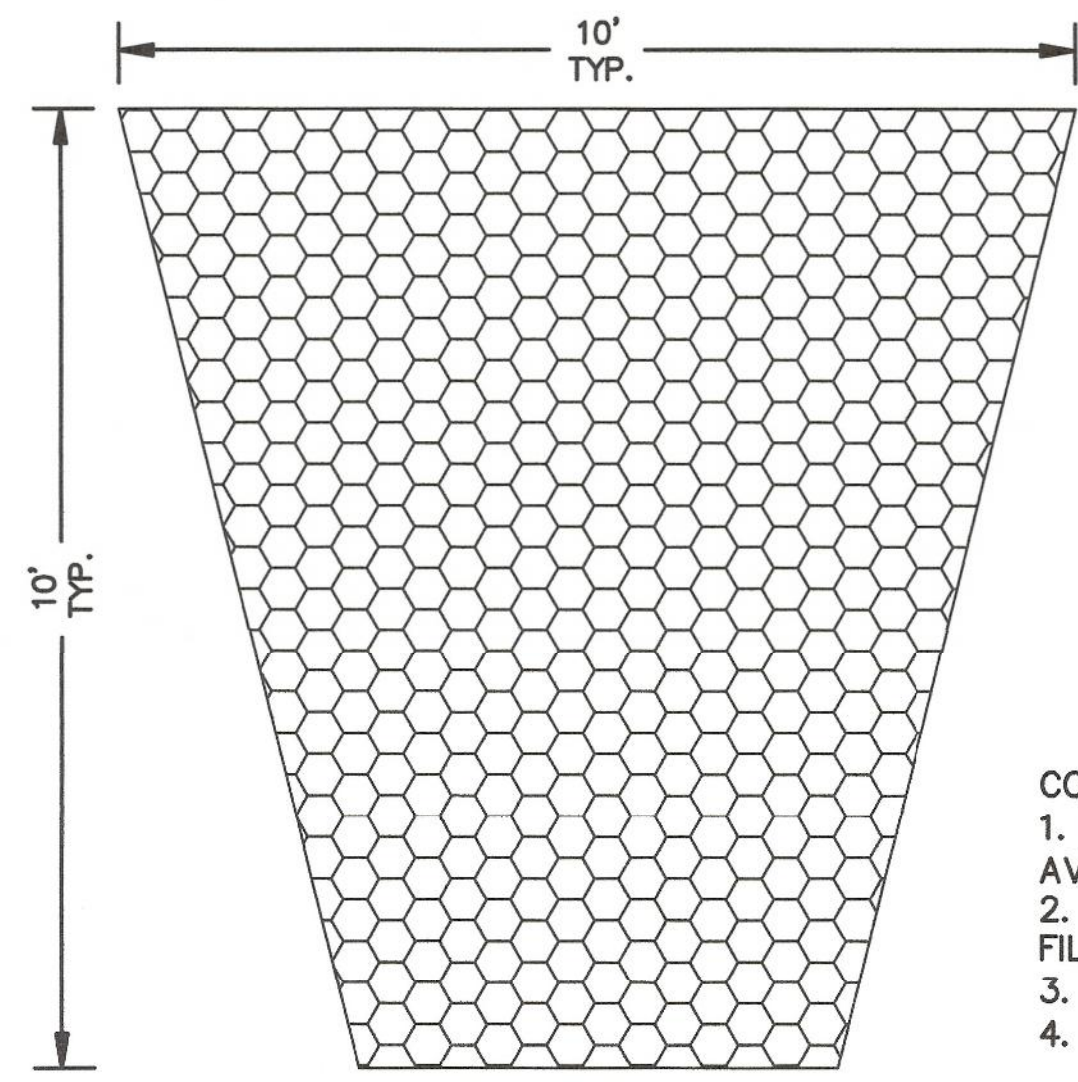
Prior to placement of the fill, the bottom surface of the excavation shall be scarified and relatively dry. Fill shall not be placed during rain or snow storms. If the water table elevation is above the elevation of the bottom of the excavation, the excavation shall be dewatered as necessary.

THE DESIGN ENGINEER SHALL INSPECT AND CERTIFY THE EXCAVATION OF THE SOIL INFILTRATION AREAS AND THE RAIN GARDEN AREA PRIOR TO ANY FILL BEING PLACED.



DL	W	A	B	C	D	E	BD
12"	2"	4"	2'-0"	4'-0 7/16"	6'-1 3/8"	2'-0"	20"
18"	2-1/4"	6"	2'-3"	3'-10"	6'-1 1/2"	2'-0"	26"
18"	2-1/2"	6"	2'-3"	3'-10"	6'-1"	3'-0"	28"
21"	2-3/4"	6"	2'-11"	3'-2"	6'-1"	3'-0"	32"
24"	3"	6-1/2"	3'-7 1/2"	3'-2"	6'-1"	4'-0"	36"

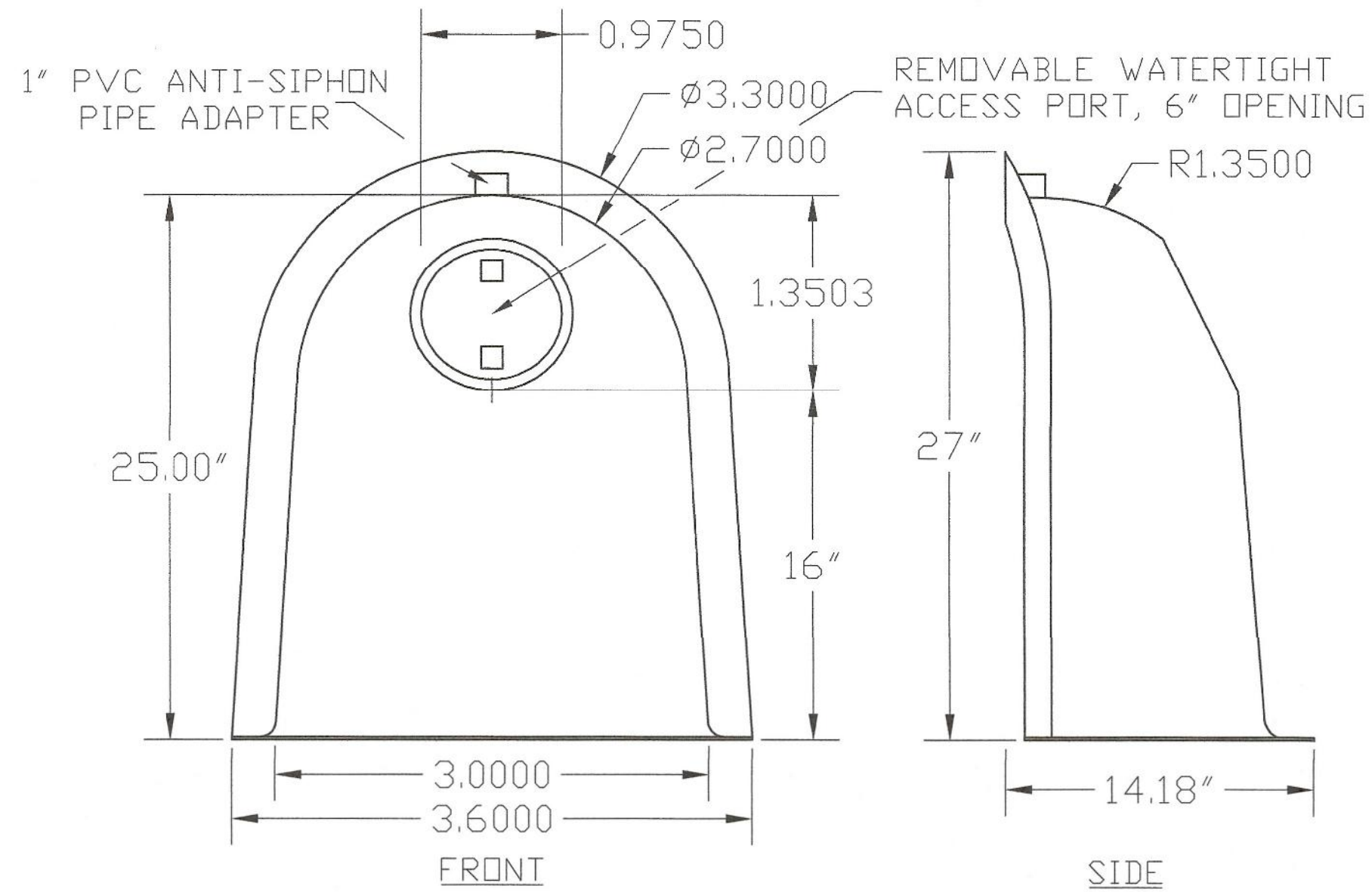
DL	K	L	P	DL	R1	R2	S	G	SLOPE
12"	4'-0 1/8"	6'-0 1/8"	10 5/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
18"	4'-3 11/16"	6'-0 11/16"	24 5/16"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	4'-3 7/8"	6'-0 7/8"	20"	18"	10 1/2"	12"	4"	2 3/4"	3:1
21"	3'-0 5/16"	6'-7 5/16"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3'-0 1/2"	6'-0"	33 3/16"	25"	18 13/16"	14"	4"	3"	3:1



RIP RAP AT PIPE OUTLETS
N.T.S.

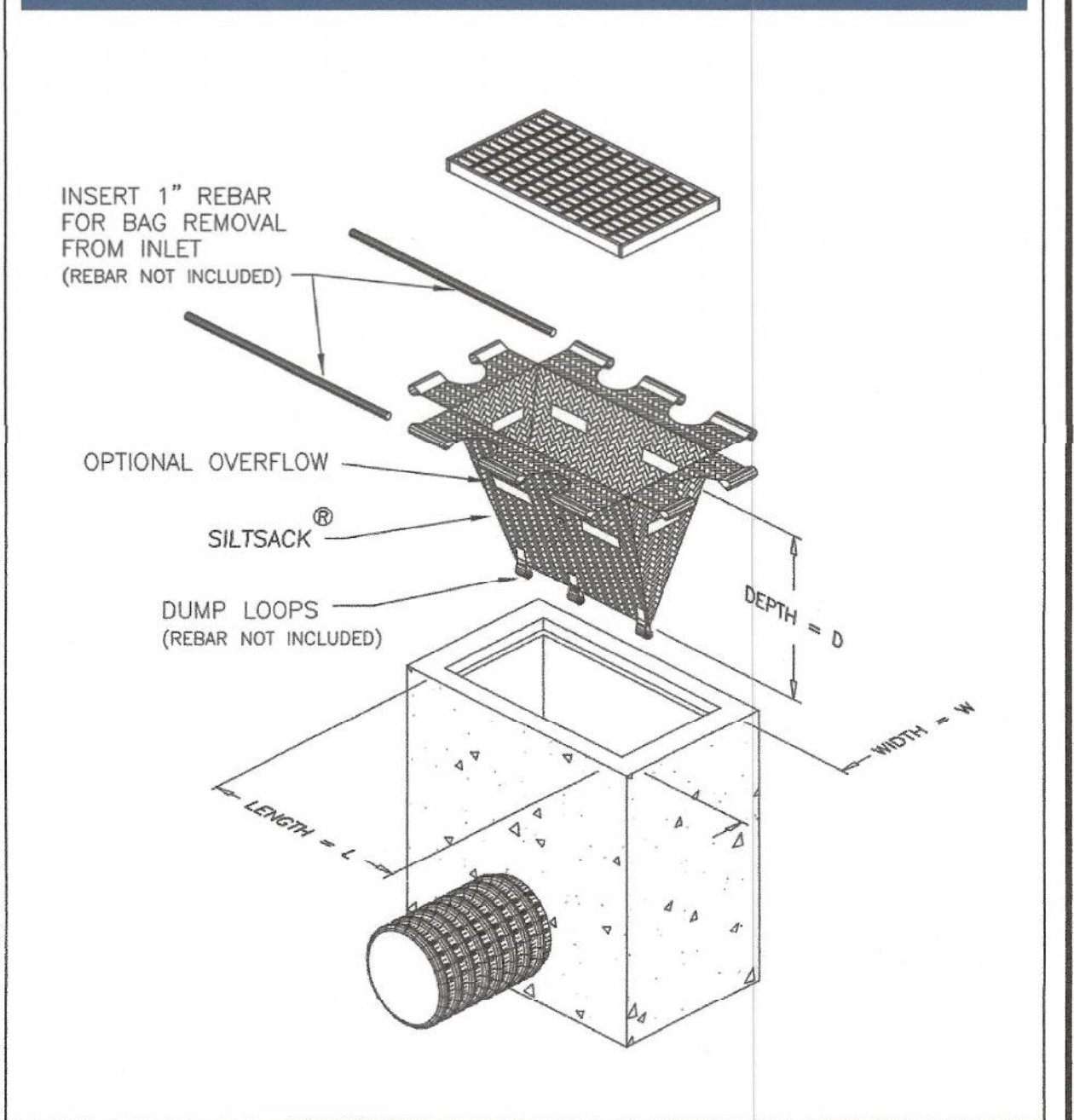
- CONSTRUCTION NOTES:**
1. RIP RAP TO BE MAXIMUM OF 18" AVERAGE OF 12" AND MINIMUM OF 8".
 2. RIP RAP TO BE PLACED OVER A FILTER FABRIC.
 3. RIP RAP MINIMUM DEPTH SHALL BE 18"
 4. RIP RAP OUTLET TO BE 25' x 34'.

INFILTRATION POND 1

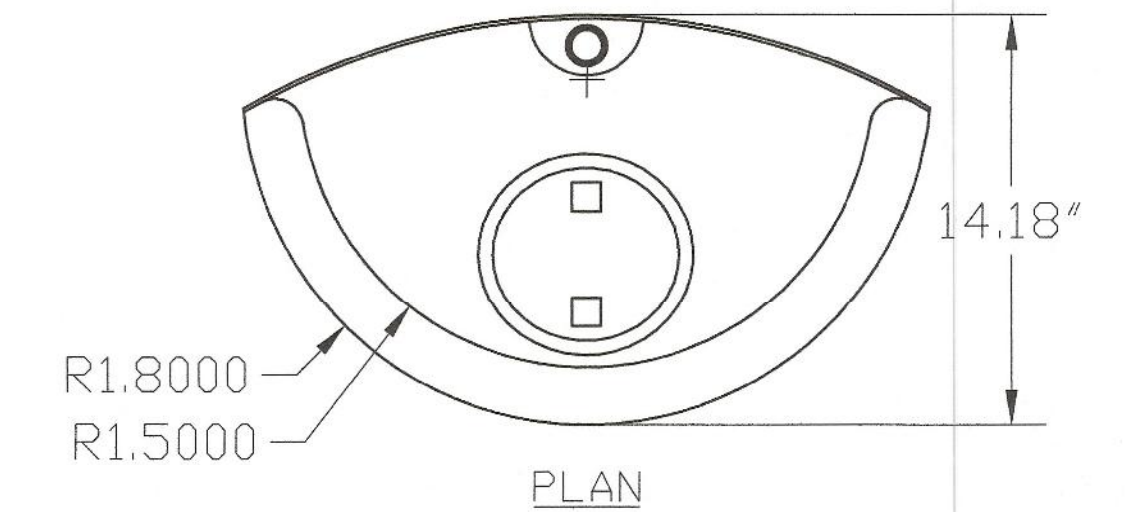


SNOUT DETAIL

Typical Siltsack® Construction - Type B



SILT SAK DETAIL
NOT TO SCALE



PLAN
DESIGNED TO FIT
48"-80" DIAM.
STRUCTURES

US PATENT # 6126817
ADDITIONAL PATENTS PENDING

BMP, INC.
 53 MT. ARCHER ROAD, LYME, CT. 06371
 (800) 504-8008 FAX: (860) 434-3195

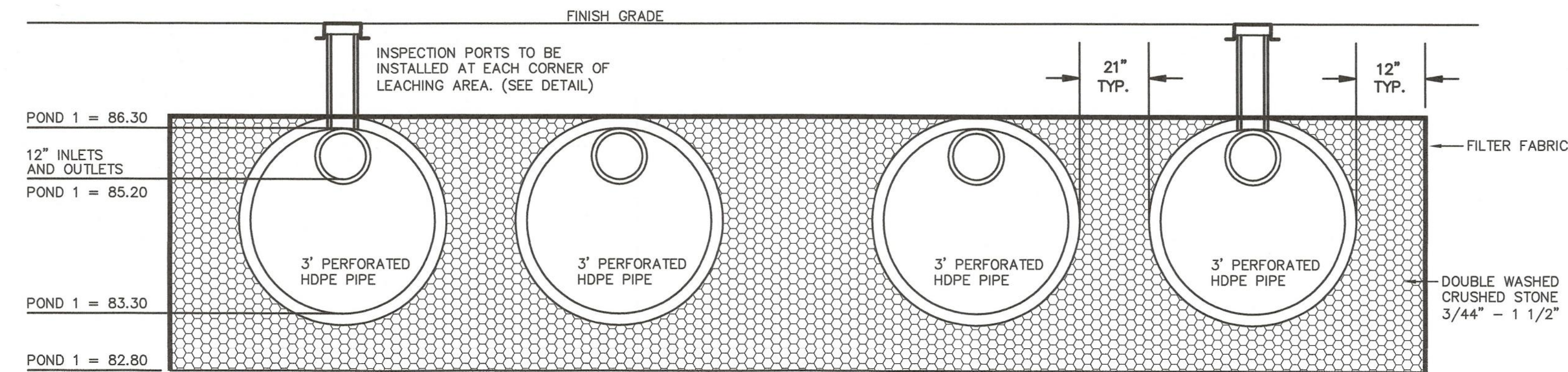
DESCRIPTION	DATE	SCALE
18R SNOUT	09/06/99	NONE
OIL & DEBRIS STOP		
DRAWING NUMBER		18R

OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
CONSTRUCTION DETAILS - 2
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'



INFILTRATION POND 1

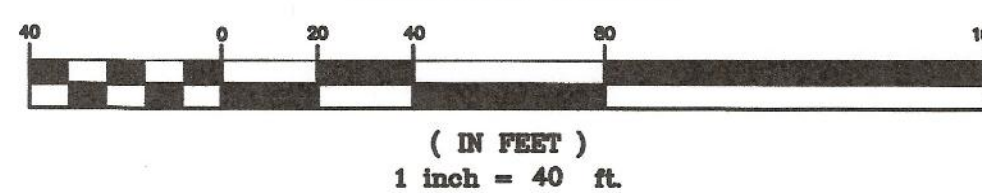
NOTE:
 1. INFILTRATION POND 1 CONSISTS OF 7 ROWS OF 3' DIAMETER PERFORATED HDPE PIPE 58' IN LENGTH. STONE ENVELOPE IS 37.22' x 60'

ESHGW - POND 1 = 78.68 BOTTOM TEST PIT 1

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE

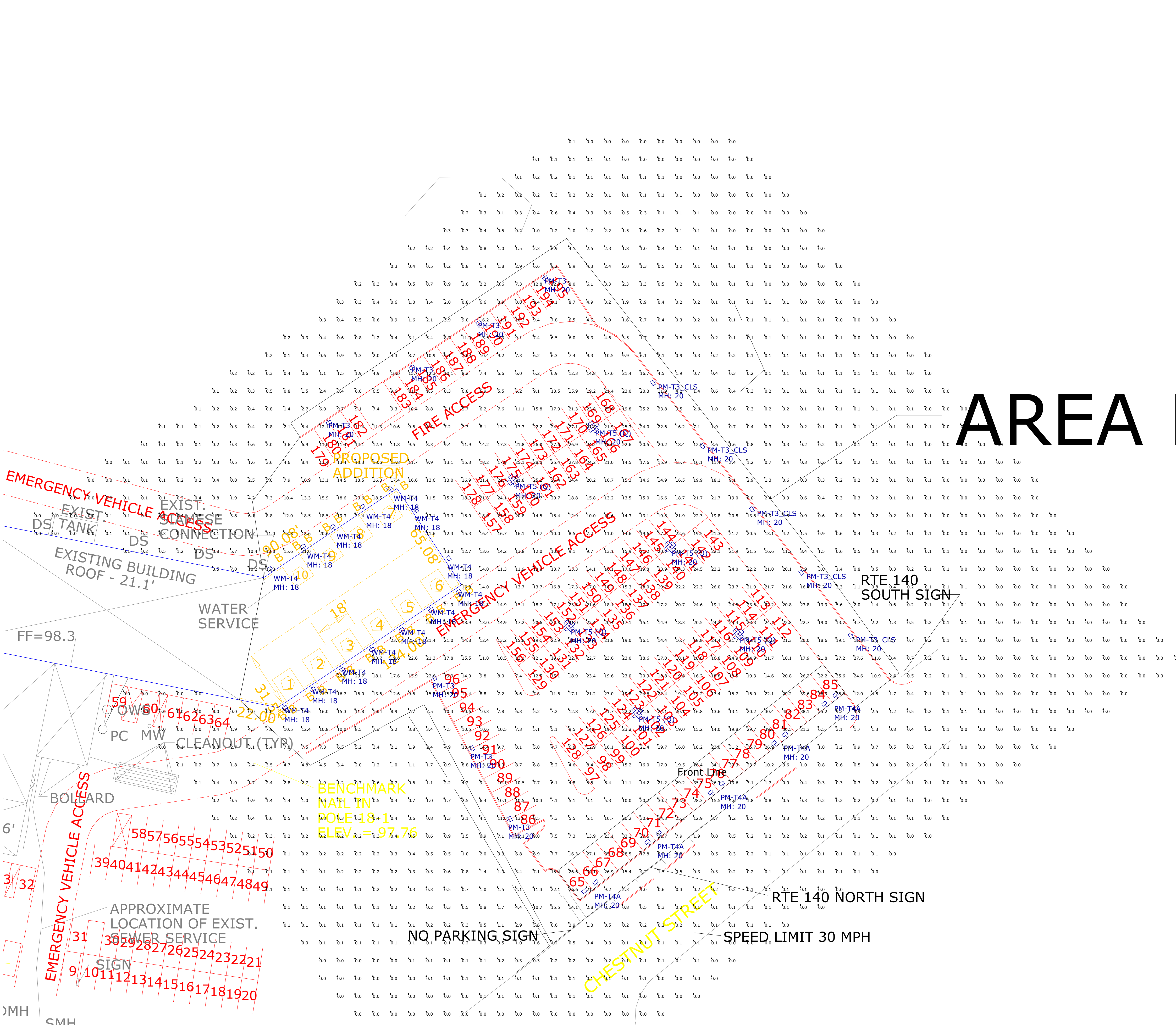


NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
8/21	FIELD BOOK	BL
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8560 FAX 508-384-8568

DATE
APRIL 14, 2022
SCALE
1" = 40'
PROJECT
UC1602
SHEET
8 of 8

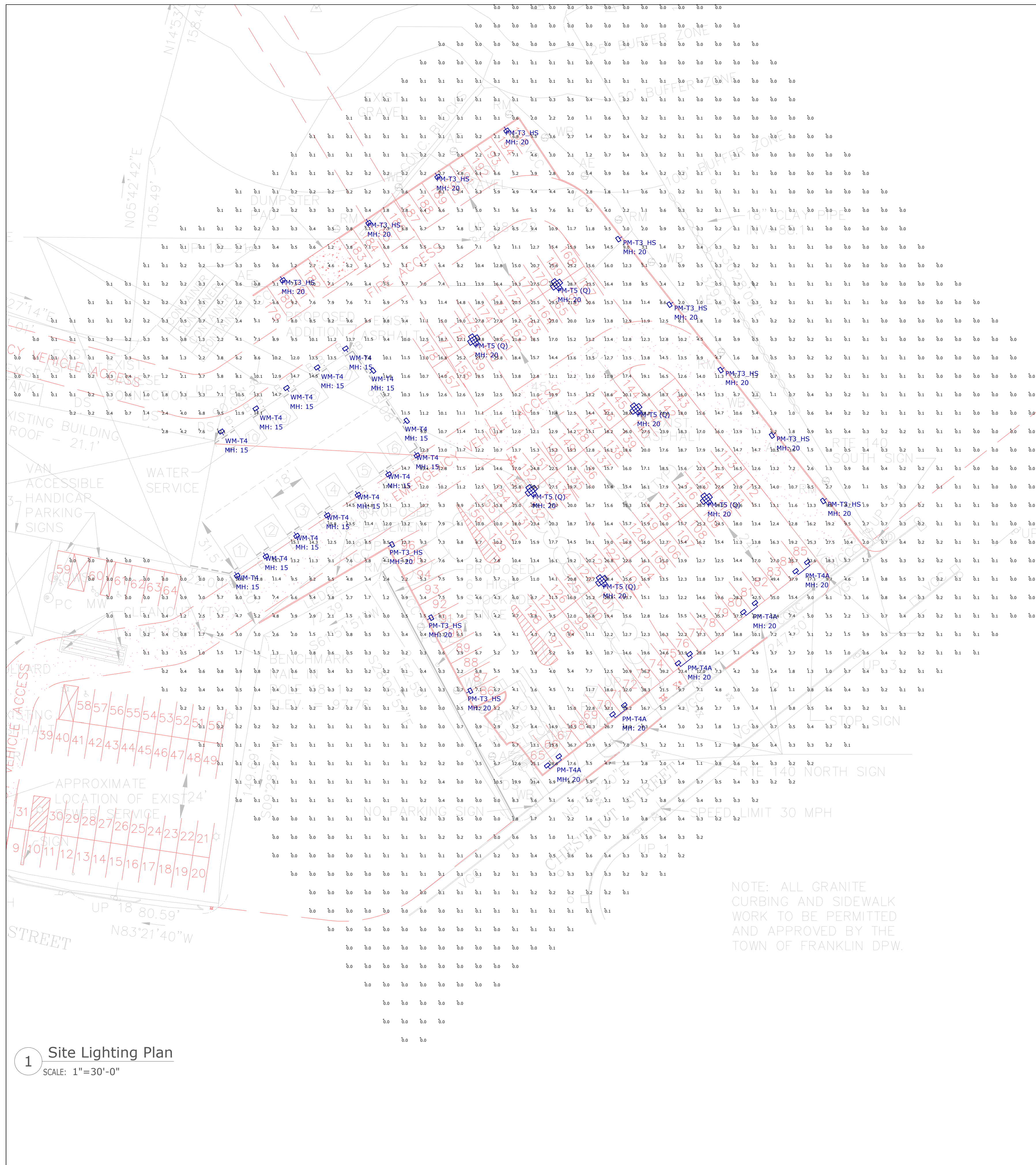


AREA FOR LIGHTING

FF=98.3
EMERGENCY VEHICLE ACCESS
APPROXIMATE LOCATION OF EXIST. WATER SERVICE SIGN
CENTRAL STREET

FRONT LINE
RTE 140 NORTH SIGN

SPEED LIMIT 30 MPH



1 Site Lighting Plan
SCALE: 1"=30'-0"

Symbol	Label	Qty	Part Number	LLF	Fixture Wattage	Fixture Lumens	BUG Rating
☐	PM-T3_HS	12	Visionaire # VMX-II-T3-30L-4K-UNV-SAM-BK-HS / SNTS-4S-11-20'-9BC-343-S1-BK	0.900	208	9526	B1-U0-G2
☐	PM-T4A	5	Visionaire # VMX-II-T4A-25L-4K-UNV-SAM-BK / SNTS-4S-11-20'-9BC-343-D2-BK	0.900	172	25070	B3-U0-G3
☐	PM-T5 (Q)	6	Visionaire # VMX-II-T5SR-25L-4K-UNV-SAM-BK / SNTS-4S-11-20'-9BC-343-QD-BK	0.900	172	24867	B4-U0-G3
☐	WM-T4	14	Visionaire # VSX-II-T4L-15L-4K-UNV-WM-BK-BAWP	0.900	101.7	13949	B3-U0-G3

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site Points	Illuminance	Fc	4.93	49.4	0.0	N.A.	N.A.

- NOTES:
- A. A LIGHT LOSS FACTOR OF 0.900 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
 - B. SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
 - C. CALCULATION POINTS ARE TAKEN AT GRADE.
 - D. CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.

VMX-II Array LED Specifications

Ordering Information

MODEL	OPTICS	LUMENS	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
VMX-II	T1	25L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T2	30L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T3	35L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T4	40L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T5	45L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T6	50L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T7	55L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T8	60L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T9	65L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T10	70L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T11	75L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T12	80L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T13	85L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T14	90L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T15	95L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T16	100L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T17	105L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T18	110L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T19	115L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T20	120L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T21	125L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T22	130L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T23	135L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T24	140L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T25	145L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T26	150L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T27	155L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T28	160L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T29	165L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T30	170L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T31	175L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T32	180L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T33	185L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T34	190L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T35	195L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T36	200L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T37	205L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T38	210L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T39	215L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T40	220L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T41	225L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T42	230L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T43	235L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T44	240L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T45	245L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T46	250L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T47	255L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T48	260L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T49	265L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T50	270L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T51	275L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T52	280L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T53	285L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T54	290L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T55	295L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T56	300L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T57	305L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T58	310L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T59	315L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T60	320L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T61	325L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T62	330L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T63	335L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T64	340L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T65	345L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T66	350L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T67	355L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T68	360L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T69	365L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T70	370L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T71	375L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T72	380L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T73	385L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T74	390L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T75	395L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T76	400L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T77	405L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T78	410L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T79	415L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T80	420L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T81	425L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T82	430L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T83	435L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T84	440L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T85	445L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T86	450L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T87	455L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T88	460L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T89	465L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T90	470L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T91	475L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T92	480L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T93	485L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T94	490L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T95	495L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T96	500L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T97	505L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T98	510L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T99	515L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S
	T100	520L	4K	UNV	AM	BZ	PCR-100	WSC-6	UPMA-S

SNTS Specifications

Ordering Information

MODEL	SHAFT SIZE	GAUGE	HEIGHT	BASE	ANCHORAGE	MOUNTING	FINISH	OPTIONS
SNTS	45	11	10"	9BC	343	S1	BK	SFI
	45	11	12"	9BC	343	S1	BK	SFI
	45	11	14"	9BC	343	S1	BK	SFI
	45	11	16"	9BC	343	S1	BK	SFI
	45	11	18"	9BC	343	S1	BK	SFI
	45	11	20"	9BC	343	S1	BK	SFI
	45	11	22"	9BC	343	S1	BK	SFI
	45	11	24"	9BC	343	S1	BK	SFI
	45	11	26"	9BC	343	S1	BK	SFI
	45	11	28"	9BC	343	S1	BK	SFI
	45	11	30"	9BC	343	S1	BK	SFI
	45	11	32"	9BC	343	S1	BK	SFI
	45	11	34"	9BC	343	S1	BK	SFI
	45	11	36"	9BC	343	S1	BK	SFI
	45	11	38"	9BC	343	S1	BK	SFI
	45	11	40"	9BC	343	S1	BK	SFI
	45	11	42"	9BC	343	S1	BK	SFI
	45	11	44"	9BC	343	S1	BK	SFI
	45	11	46"	9BC	343	S1	BK	SFI
	45	11	48"	9BC	343	S1	BK	SFI
	45	11	50"	9BC	343	S1	BK	SFI
	45	11	52"	9BC	343	S1	BK	SFI
	45	11	54"	9BC	343	S1	BK	SFI
	45	11	56"	9BC	343	S1	BK	SFI
	45	11	58"	9BC	343	S1	BK	SFI
	45	11	60"	9BC	343	S1	BK	SFI