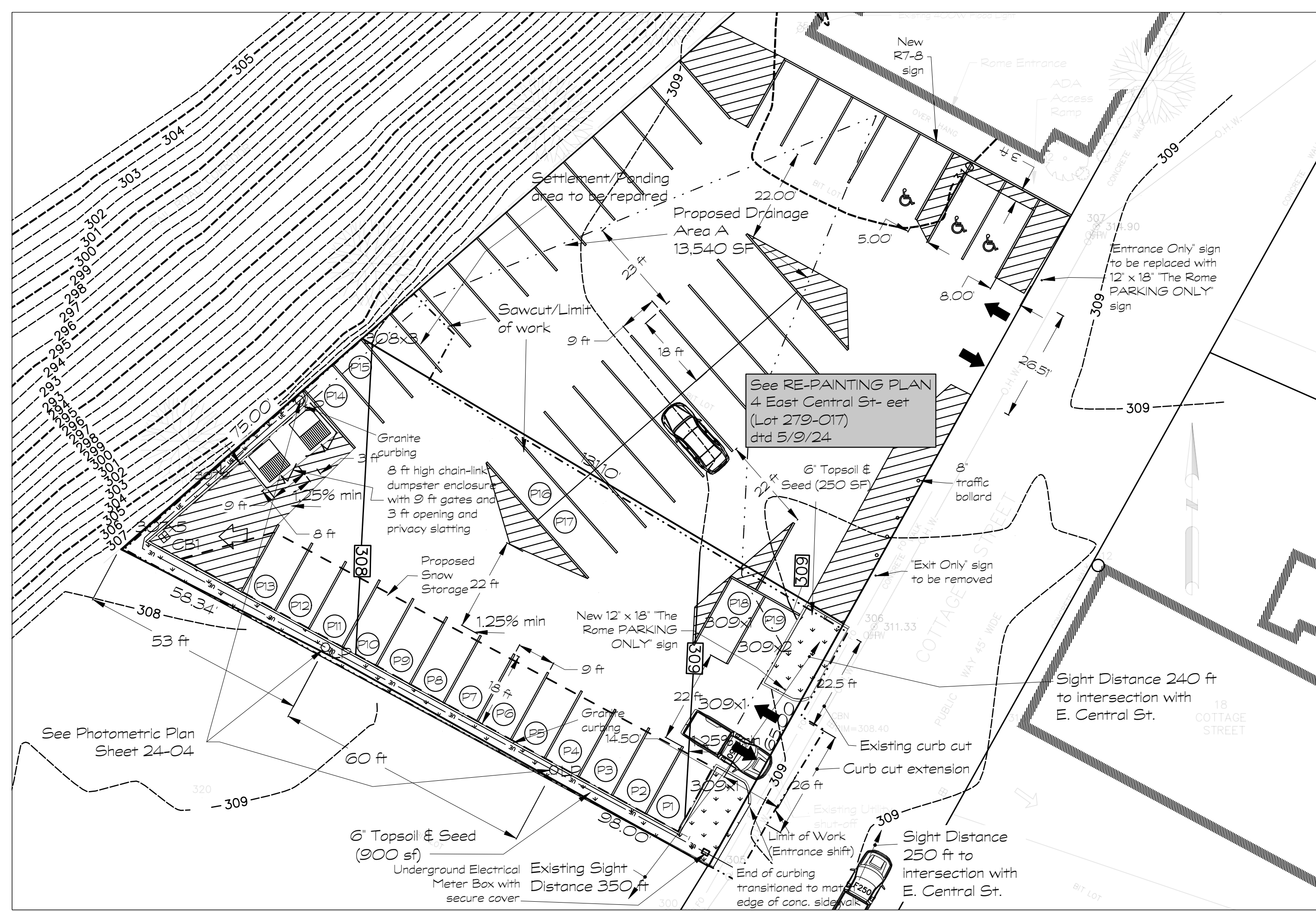


EXISTING

Scale: 1 in = 20 feet



PROPOSED

Scale: 1 in = 20 feet

LEGEND

	Deep Hole		NOT TO SCALE SIGN
	DRAIN MANHOLE		DRILL HOLE
	SEWER MANHOLE		STONE BOUND W/DH
	CATCH BASIN		EDGE OF RIGHT OF WAY
	HYDRANT		EXIST. CONTOUR
	WATER GATE		OVERHEAD WIRES
	WATER SERVICE		STONE WALL
	UTILITY POLE		EXISTING TREES AND SHRUBS
	LIGHT		TREELINE/LANDSCAPE
	YARD LIGHTING		WETLAND BUFFER ZONE
	GAS VALVE		WETLAND LINE
	POST		GAS LINE BURIED
	LIND. ELEC. CONDUIT		FIBER OPTIC LINE BURIED
	Runoff Direction		

SITE DATA

Assessor's Parcel ID: 285-217
 Property Owner:
 James A. Colace/Abbruzzi Realty Trust
 55 Court Street
 Franklin, MA 02038

Deed Reference: Book 32674 Page 112

Site Elevations based on NAVD88 datum.

Deep Hole Logs
 Performed by: Stephen Dunbar, PE (SE647)
 Perc tests performed using MADEP Perc Test Form 12
 Deep Hole 1 (DH-1) Surface Elevation: 308.1

Horizon	Depth	Soil	Color	Description
Pvmt/Fill	0-8"	Gravel	N/A	
B	8-40'	SAND w/Gravel	7.5 YR 5/6	Fine-Medium SAND w/ 5-10% Gravel
C	40-114'	Gravelly SAND	2.5 Y 6/2	Med-Course SAND w/30-40% Gravel and 5-10% Cobblesones

Mottles: None
 Water: None
 Percolation Depth: 58 in.
 Percolation Rate: < 2 min/inch

Deep Hole 2 (DH-2) Surface Elevation: 308.5

Horizon	Depth	Soil	Color	Description
Pvmt/Fill	0-8"	Gravel	N/A	
B	8-45"	SAND w/Gravel	7.5 YR 5/6	Fine-Medium SAND w/ 5-10% Gravel
C	45-108"	Gravelly SAND	2.5 Y 6/2	Med-Course SAND w/30-40% Gravel and 5-10% Cobblesones

Mottles: None
 Water: None
 Percolation Depth: 63 in.
 Percolation Rate: < 2 min/inch

PARKING LEGEND

Proposed new full parking space (19 total)

Existing Parking on Lot 17 (ANR Plan):
 33 parking spaces 9 ft wide x 15 ft or 16 ft long
 2 Accessible parking spaces, one non-compliant

Result of combining Lots 217 and 17 with new parking layout:
 19 new parking spaces on Lot 217
 32 re-painted spaces 9 ft wide x 18 ft long on Lot 17
 3 Accessible/ADA-compliant spaces, one van accessible.
 Total spaces: 54 Net increase: 19

NOTES

- Parcel ID 286-217-000, Quitclaim Deed recorded 8/7/2008 (Bk 25965 p572) referencing Lots 3 & 4 on "Plan of House Lots, Cottage Street, Franklin, Property of Jennie L. Greene, March 1923, D.L. Chilson, Eng.", recorded with the Norfolk County Registry of Deeds as Plan No. 370 of 1946 in Bk 2601, p423. Parcel 'A' portion of Lot 4 sold via Quitclaim Deed recorded 11/5/2014 (Bk 32674 p212) with the Norfolk County Registry of Deeds referencing Plan Bk 635 p21.
- Property is located in Zone X (area of minimal flood hazard) on Norfolk county Flood Insurance Rate Map panel 25021C0309E (i.e., not Zone II or Interim Wellhead Protection Area or public eater supply).
- Property is located in the Downtown Commercial District.
- Property survey performed by Moran Surveying Inc., 14 William Avenue, Pembroke, MA 02359, (781) 293-5601.
- All underground utility locations shown are based on field evidence and records provided. The locations should be considered approximate. Other utilities may exist which are not evident or for which record information was not found. The contractor must contact all utility companies and "Dig Safe" before excavation begins. Dunbar Engineering and Management assumes no responsibility for damages incurred as a result of utilities omitted or inaccurately shown.
- It is the responsibility of the contractor to review all of the drawings and specifications associated with this project prior to the initiation of construction.
- Should the contractor identify a conflict within the documents relative to the specifications or applicable codes, it is the contractor's responsibility to notify the design engineer in writing prior to the start of construction. Failure by the contractor to notify the project engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
- All work shall conform to Town of Franklin requirements and Massachusetts Highway Department construction standards as applicable. All work shall be performed in conformance with all applicable Local and State building codes. Applications that may need to be filed with the Franklin Department of Public Works include (but are not necessarily limited to) a Right-of-Way Excavation Permit, a Public Way Access Permit, and a Trench Permit.
- All materials installed shall follow Buy American requirements. Material substitutions must be approved by the design engineer.
- All erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
- The contractor shall limit on site storage of materials to that needed to maintain construction progress and shall clean the site of any loose debris at the end of each work day. In the event that debris is carried onto any public way, the Contractor shall clean up that debris within 24 hrs of notification. Failure to meet this requirement after formal notification by the Planning Board may result in suspension of construction.
- Special Permit conditions certified by the Franklin Planning Board on XX/XX/XXXX are as follows:
 - Condition 1
 - No alteration of the Special Permit and the plans associated with it shall be made or affected other than by an affirmative vote of the members of the Planning Board at a duly posted meeting and upon the issuance of a written amended decision.

AREA	REQUIRED	EXISTING	PROPOSED
FRONTAGE	5,000 sf	9,644 sf	9,644 sf
FRONT YARD	50 ft	65 ft	65 ft
SIDE YARD	5 ft	N/A	N/A
REAR YARD	0 ft	N/A	N/A
LOT WIDTH	15 ft	N/A	N/A
LOT DEPTH	45 ft	65 ft	65 ft
LOT DEPTH	50 ft	131.10 ft	131.10 ft
HEIGHT	40 ft	N/A	N/A
STRUCT. COV.	80%	0%	0%
STRUCT. & PAV.	90%	90%	89.8%

Notes:
 N/A - Requirement not applicable, no structures remain on this property.

REVISIONS

1	5/9/24	New pkg layout Lots 217 & 17, Changes in response to BETA-Town of Franklin on Plan Set dtd 3/15/24.
---	--------	---

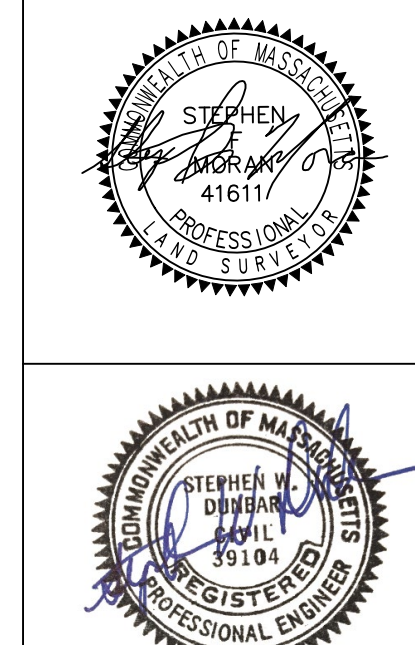
SITE LOCATION MAP

PREPARED BY:

Dunbar
 ENGINEERING & MANAGEMENT
 stevedunbar@dunbarem.com (774) 737-4301

DEVELOPMENT PLAN
 PROPOSED PARKING LOT
 19 Cottage Street
 FOR
 James A. Colace/Abbruzzi Realty Trust
 55 Court Street
 Franklin, MA 02038

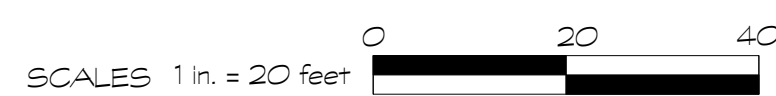
DATE: March 15, 2024
 DRAWN BY: S. Dunbar
 PLAN NO: 24-01





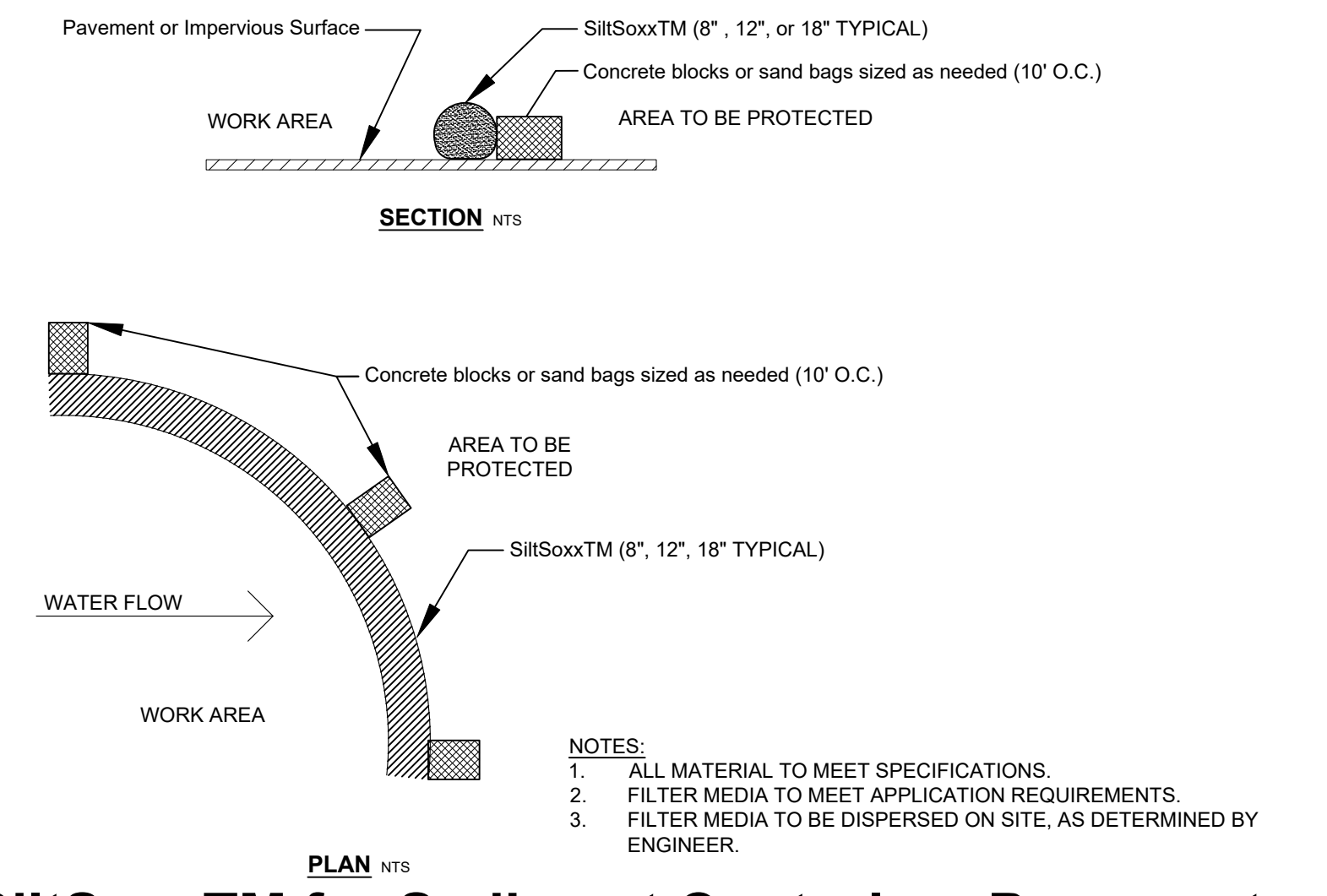
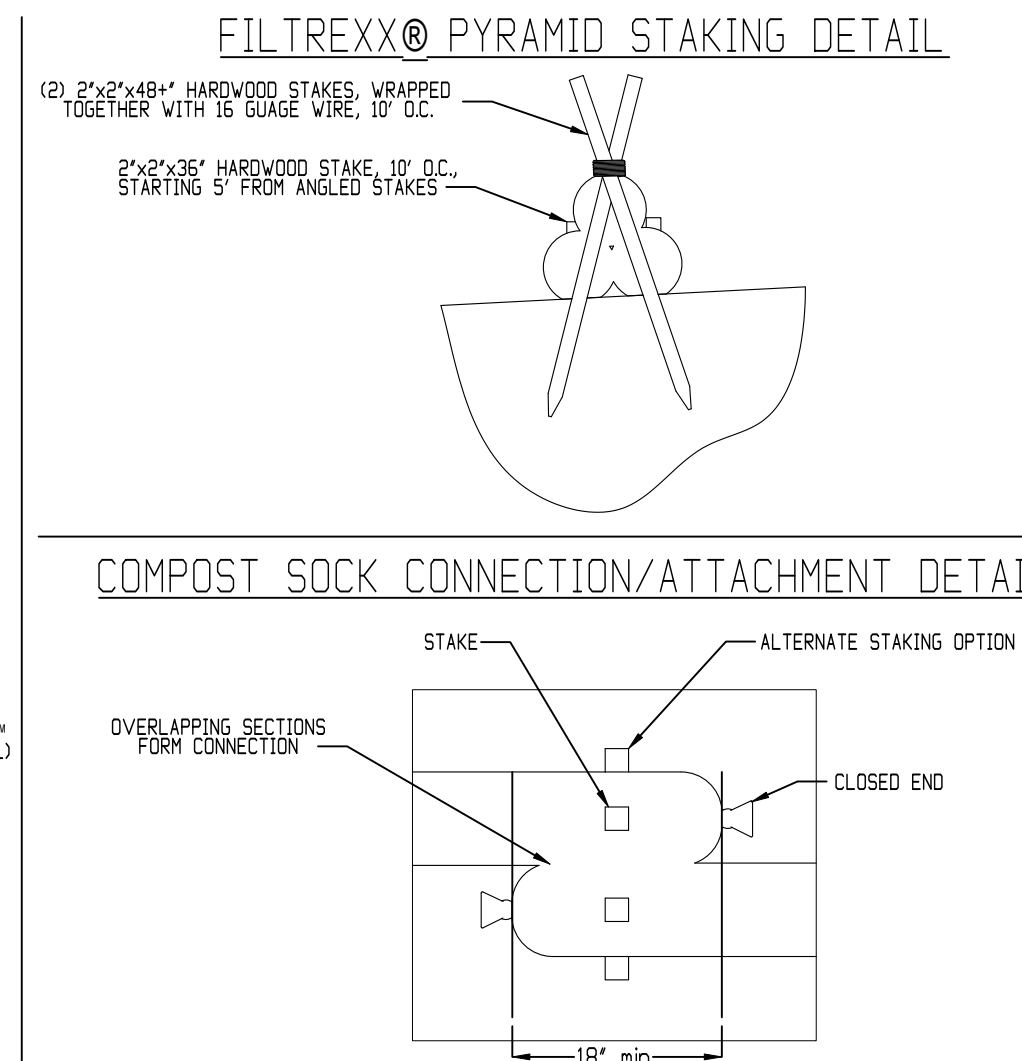
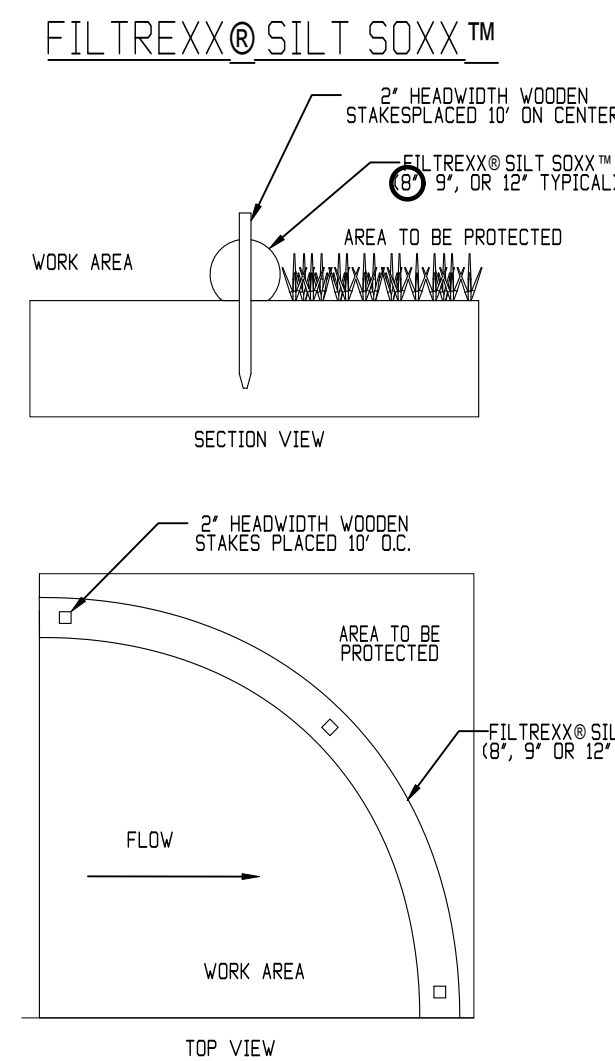
SEDIMENT & EROSION CONTROL PLAN

Scale: 1 in = 20 feet



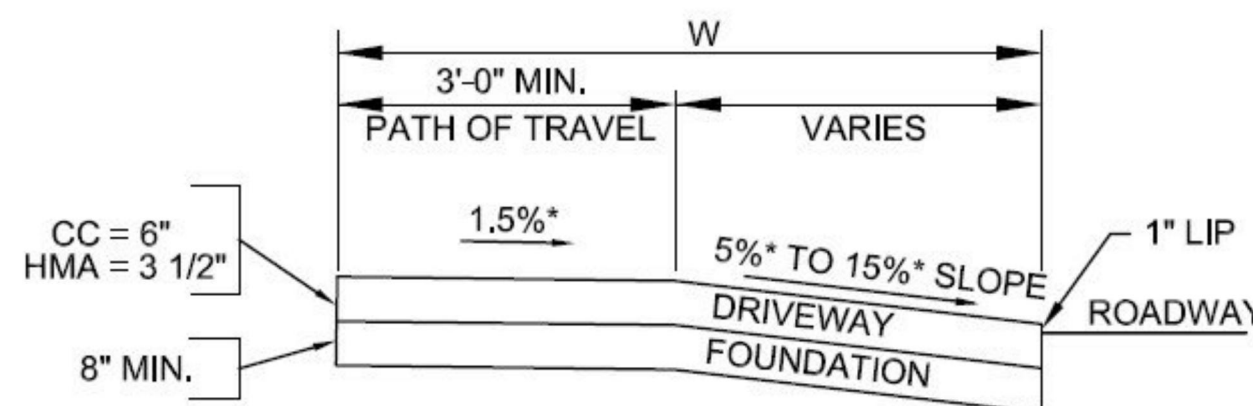
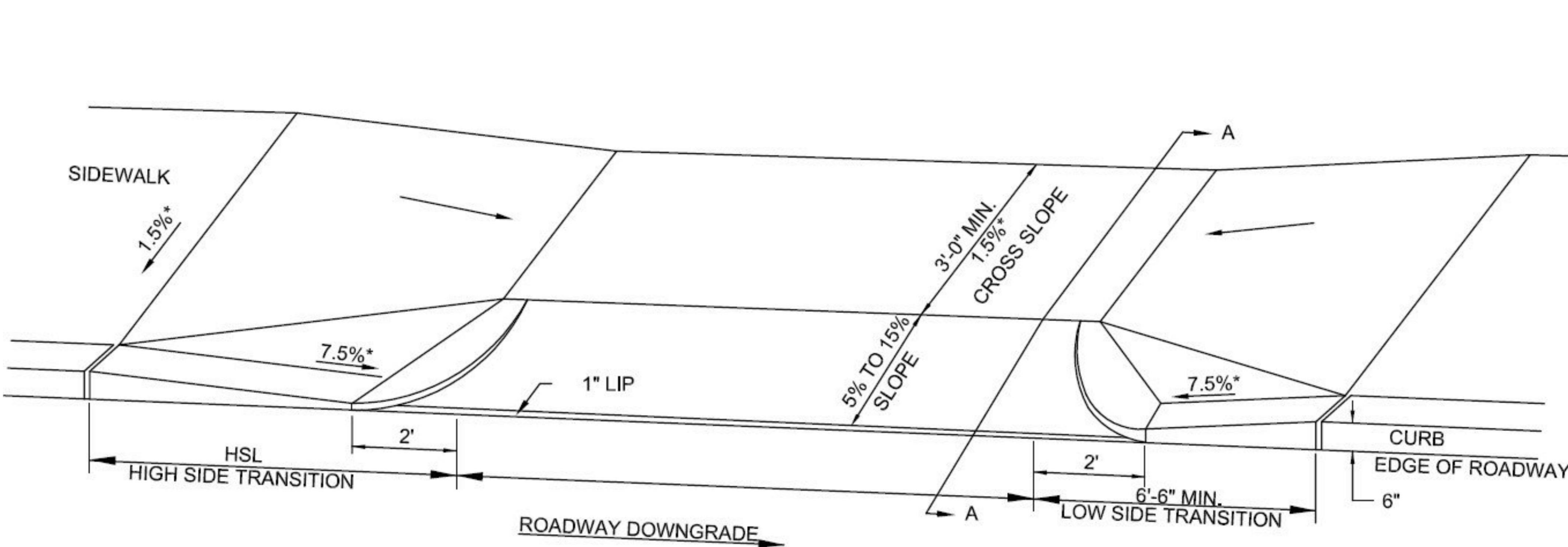
EROSION & SEDIMENT CONTROL NOTES:

- The contractor and all sub-contractors are to be made aware that this project is subject to the requirements of the Franklin Best Development Practices Guidebook.
- Sediment barrier shall be Siltsoxx® by Filtrexx or approved equal.
- The contractor shall install UltraTech 2217 Ultra-Drain Guard® or approved equal in all catch basin/drain grates within and adjacent to the limit of work. Drain guards shall be inspected and maintained according to manufacturer's specifications.
- Anti-tracking pad at construction entrance shall be constructed with 2' stone MADOT M2.01.1 or approved equal underlain by MIRAFL 140N filter fabric or approved equal.
- Sediment barriers are to be installed where shown on this plan. The contractor is responsible for the proper maintenance of the sediment barriers and to identify and correct all sources of erosion.
- Extra sediment barrier materials are to be stored on site in order to quickly repair erosion prone areas. Periodic maintenance of the erosion control structures is required in order to insure the proper protection of the resource areas.
- Rough grading and pavement construction are to be confined to areas as shown on these plans. Any stockpiled material that is subject to erosion shall be protected at its base on the down-slope side with a silt fence.
- Temporary stabilization of disturbed areas is required to limit erosion toward abutting properties and public ways. All graded slopes are to be stabilized on a daily basis with special care taken to avoid routing rainfall through gullies toward the resource areas. Areas of erosion are to be repaired on a daily basis.
- The contractor shall increase inspections and carefully monitor construction impacts during adverse weather conditions or periods of high groundwater. Inspection is required after more than 1/2" of rainfall in 24 hours.
- All graded areas are to be loamed and seeded as soon as possible in order to insure the rapid stabilization of the erosion prone areas. A grass seed mixture of 20% Red Top, 60% Chewings Fescue and 20% Kentucky Bluegrass is recommended.
- The sediment barriers shall remain in place until all upgradient areas have been stabilized.



NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. SILT SOXX™ FILL TO MEET APPLICATION REQUIREMENTS.

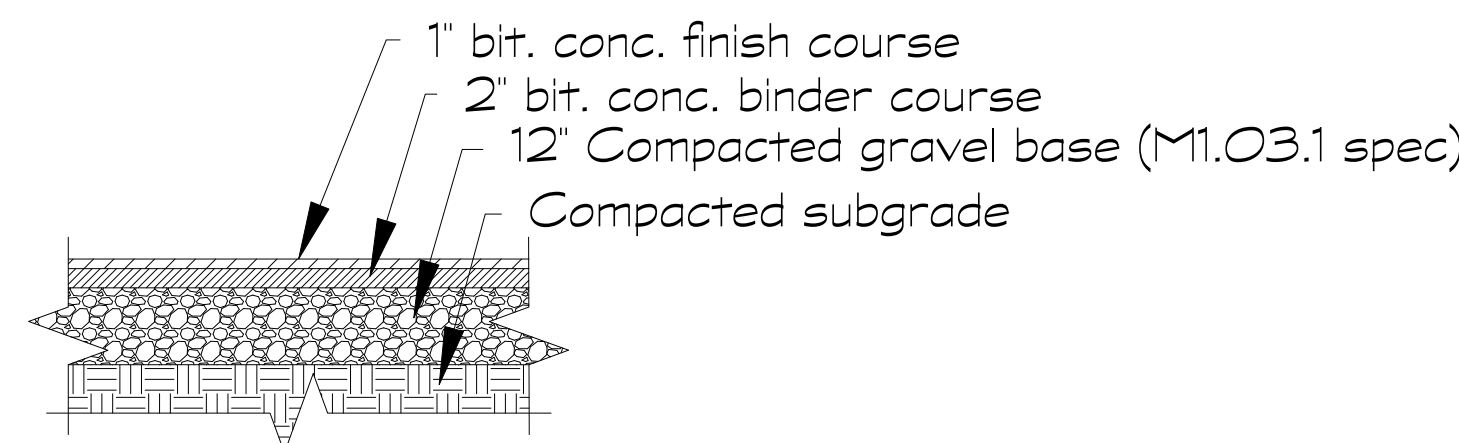
SiltSoxx™ for Sediment Control on Pavement



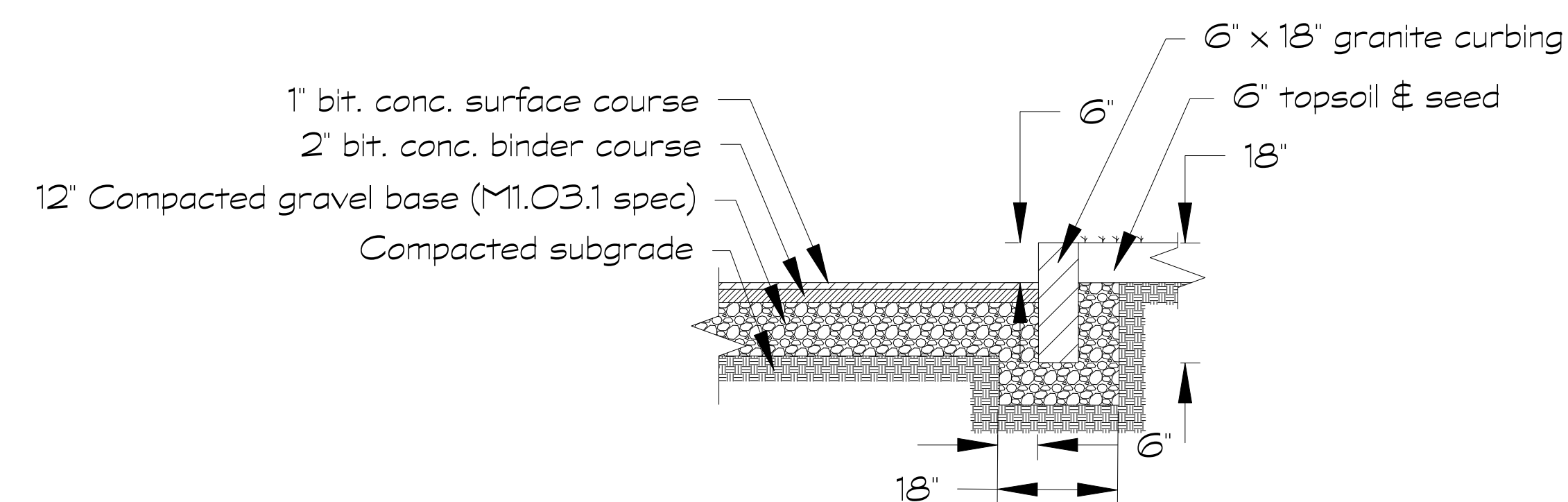
LEGEND

- HSL = HIGH SIDE TRANSITION LENGTH. SEE E 107.9.0
- W = SIDEWALK WIDTH
- * = TOLERANCE FOR CONSTRUCTION ±0.5%
- CC = CEMENT CONCRETE
- HMA = HOT MIX ASPHALT

MADOT E107.8.0 SIDEWALK THROUGH DRIVEWAY DETAIL



PAVEMENT DETAIL



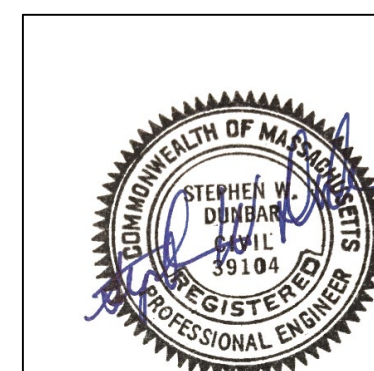
GRANITE CURB DETAIL

NOTES

- Vertical granite curbing shall be type W4 (Massachusetts Department of Public Works Specification M9.04.1) vertical granite, four-foot-minimum lengths, finished side facing the traveled way, with a reveal of six inches, installed in accordance with the specifications of the Massachusetts Department of Public Works (Section 501).
- Placement and compaction of materials shall meet Town of Franklin Construction Standards 300-10 F.(2) through (4) for pavement and 300-13 A.(2) for sidewalks.



12" x 18" MUTCD R7-8
NTS



REVISIONS	
1	5/9/24 Added anti-tracking pad and proposed material storage areas based on comments on the 3/15 submission.

PREPARED BY:

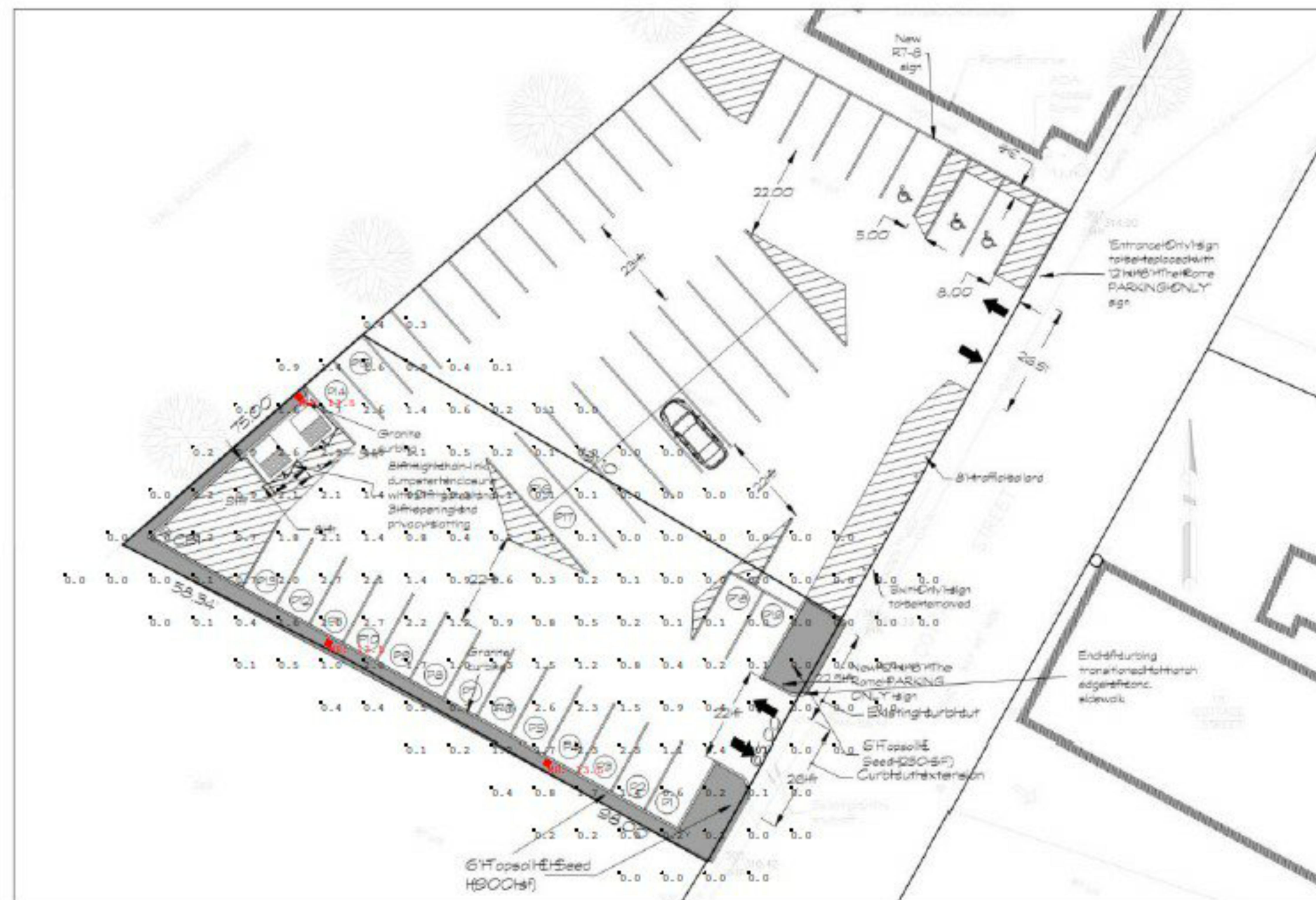
 stevedunbar@dunbarem.com (774) 737-4301

SED. & EROSION CONTROL & DETAILS
 PROPOSED PARKING LOT
 19 Cottage Street
 FOR
 James A. Galace/Abbruzzi Realty Trust
 55 Court Street
 Franklin, MA 02038

DATE: March 15, 2024
 DRAWN BY: S. Dunbar
 PLAN NO: 24-03

NOTES

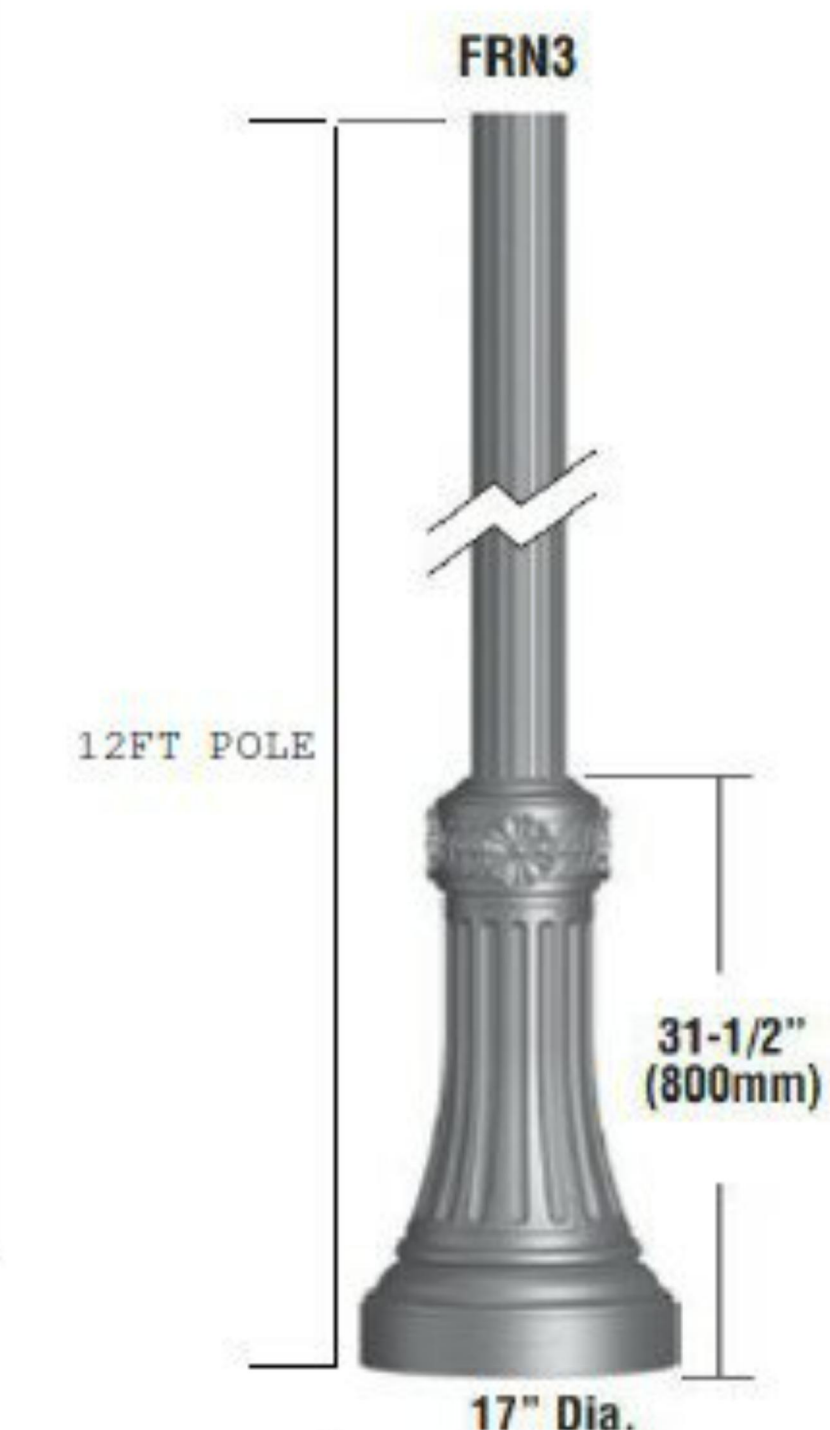
- Contractor shall provide 120V/15A service from existing power pole on Cottage Street to secure underground meter box then to 3 light poles via 2" conduit buried a minimum of 24 inches and marked with underground detectable/metal core tape.
- Light post to be installed on concrete pedestal with anchor bolts according to manufacturer's recommendations.



Lexington (LXM4)

Have questions? Call us at (800) 436-7800

PRODUCT DIMENSIONS



EXPOSURE
LIGHTING — CONTROLS — ELECTRICAL

Comments	
Date	
#	
Revisions	
Drawn By: CL	
Checked By:	
Date: 5/9/2024	
Scale: NTS	

Colace Rome Parking Lot
Franklin, MA

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	[MANUFAC]
☐	3	Luminaire and Pole	Single	Luminaire: LXM4 PT FT LED 5L 50 UNV BRZ IMSBT1 IL / Pole: 4FRN3 (mat1) 12' 4N BRZ	0.900	3987	39	117	LSI INDUSTRIES, INC.

Ching Ling
Exposure Lighting
cling@exposure2lighting.com
(401)523-9623

PHOTOMETRIC PLAN
NTS

REVISIONS		
1	5/9/24	New pkg layout Lots 217 & 17; Luminaire height changed to 13.5 ft.

PREPARED BY:
Dunbar
ENGINEERING & MANAGEMENT
stevedunbar@dunbare.com (774) 737-4301

PHOTOMETRIC PLAN
PROPOSED PARKING LOT
19 Cottage Street
FOR
James A. Colace/Abbruzzi Realty Trust
55 Court Street
Franklin, MA 02038

DATE: March 15, 2024
DRAWN BY: S. Dunbar
PLAN NO: 24-04

