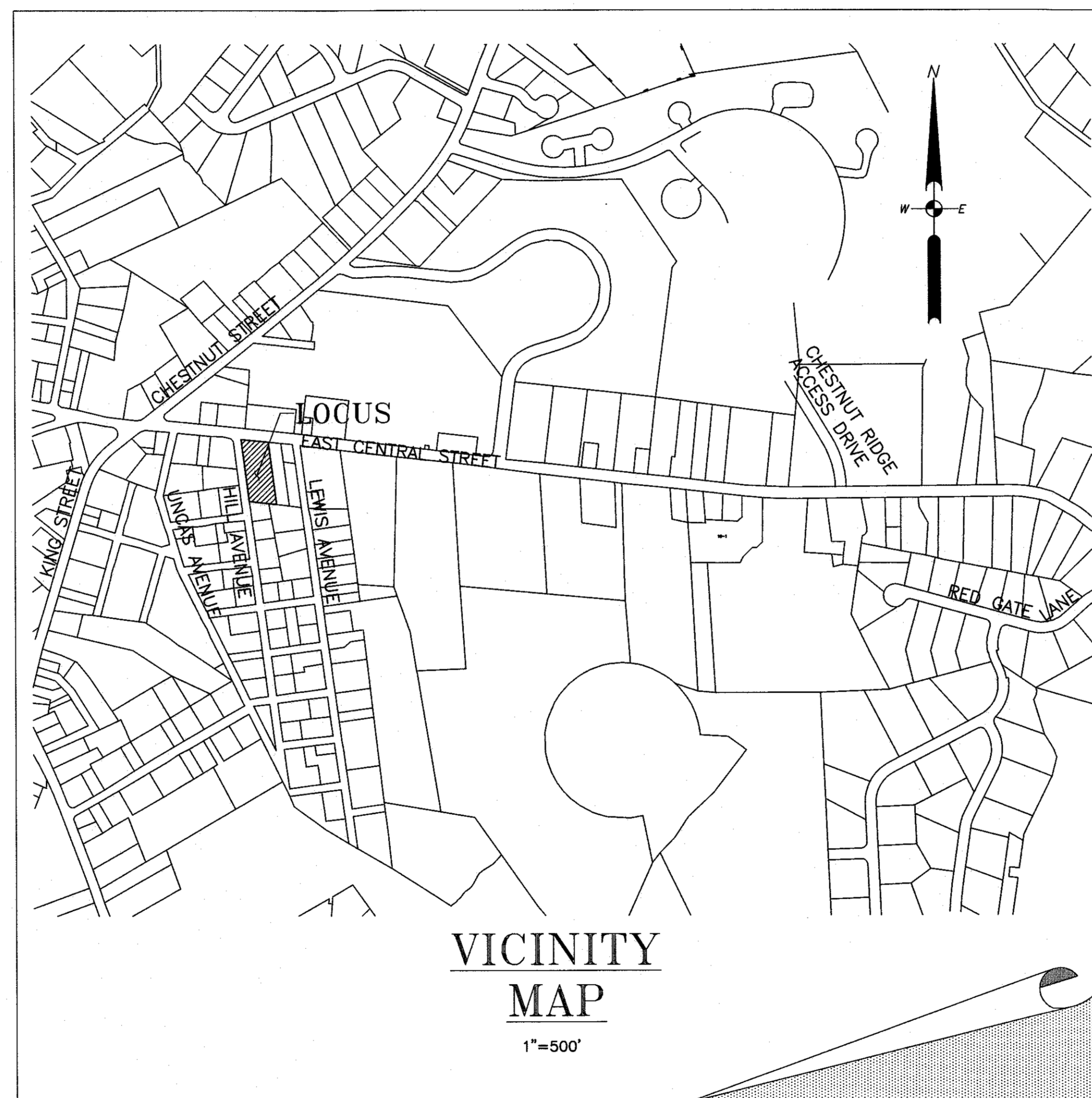


# TAJ ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS

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### PURPOSE OF PLAN

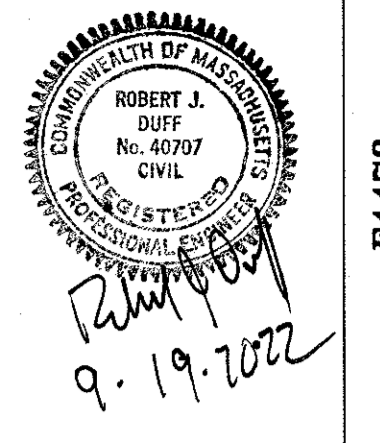
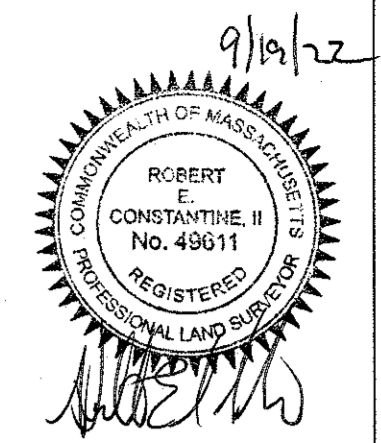
1. SITE PLAN AND SPECIAL PERMIT APPROVAL TO CONSTRUCT A MULTIFAMILY BUILDING WITH IN THE COMMERCIAL I ZONING DISTRICT.

### CERTIFICATE OF VOTE NOTE

SEE CERTIFICATE OF VOTE FROM THE FRANKLIN PLANNING BOARD VOTING TO APPROVE WITH CONDITIONS ON MONDAY AUGUST 8, 2022 FOR A PLAN ENTITLED "TAJ ESTATES OF FRANKLIN, SITE PLAN AND SPECIAL PERMIT, 230 EAST CENTRAL STREET FRANKLIN, MA", PLAN DATED NOVEMBER 11, 2021 BY GUERRIERE & HALNON, INC., SEE SHEET 1A.

#### NOTE:

- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE ON SITE.



F4478

APPROVED DATE:

FRANKLIN PLANNING BOARD

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
BEING A MAJORITY

#### LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. DURING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

#### OWNER

TAJ ESTATES OF FRANKLIN II, LLC  
95 EAST MAIN STREET, SUITE 100  
WESTBOROUGH, MA. 01581

DEED BOOK 40009 PAGE 445  
ASSESSORS MAP 285 LOT 069

#### APPLICANT

TAJ ESTATES OF FRANKLIN II, LLC  
MOHIUDDIN AHMED, MANAGER  
95 EAST MAIN STREET, SUITE 100  
WESTBOROUGH, MA. 01581

## TAJ ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS

### COVER SHEET

NOVEMBER 11, 2021

DATE	REVISION DESCRIPTION
01/17/22	TOWN COMMENTS - REV1
01/28/22	TOWN COMMENTS - REV2
02/17/22	TOWN COMMENTS - REV3
04/12/22	ADDED RET. WALL - REV4
05/31/22	TOWN COMMENTS - REV5
7/14/22	TOWN COMMENTS - REV6
9/12/22	ENDORSEMENT PLAN SET

**Guerriere & Halnion, Inc.**  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com

**Town of Franklin**  
355 East Central Street  
Franklin, Massachusetts 01917-1323  
Phone: (508) 253-9097  
FAX: (508) 253-9098  
TOWN CLERK  
PLANNING BOARD  
NOV 18 A 8 22  
RECEIVED  
August 17, 2021  
Nancy Daouli, Town Clerk  
Town of Franklin  
355 East Central Street  
Franklin, MA 02038

**CERTIFICATE OF VOTE**  
**SPECIAL PERMIT SITE PLAN**  
230 East Central Street

**Applicant:** Mohiuddin Ahmed  
95 Main Street #100  
Westborough, MA 01581

**Owner:** TAJ Estates of Franklin II, LLC  
95 Main Street #100  
Westborough, MA 01581

**Prepared By:** Guerriere & Halnon, Inc., Franklin, MA  
November 11, 2021  
Plan Date: 230 East Central Street  
Property Location: Map 285 Lot 069

**Dear Mrs. Daouli:**  
Please be advised that at its meeting on Monday, August 8, 2021 the Planning Board upon motion duly made and seconded, voted (3-2) to Approve the Special Permit and Site Plan at 230 East Central Street for 1385 Attachment 7, 6.1: Multifamily in Commercial 1 Zoning District. The project is approved by simple majority under Chapter 40A, Section 9 of the MGL. The Project Description, Public Hearing Presentation, Findings of Fact, Conditions and the Decision, are listed on pages 2-10, attached hereto.

Sincerely,  
*Jenny Daouli*  
Gregory Rondeau, Chairman  
Franklin Planning Board

**A True Copy of the Record**  
ATTEST: *Jenny Daouli*  
Town Clerk, Franklin, MA

cc: Owner/Applicant/Applicant's Engineer/  
Building Commissioner/DPW/Engineering/BETA Group, Inc.

**PROJECT DESCRIPTION**  
**SPECIAL PERMIT SITE PLAN**  
230 East Central Street

The existing site consists of a single parcel of land within the Commercial 1 Zoning District and with the Water Resource District. The parcel currently contains a single family residential structure built in 1950. The applicant proposes to construct a 14,212 sq. ft. three (3) story building, with forty-one (41) single bedroom residential units, a site driveway and parking area for tenants. The Site Plan includes landscaping, municipal utilities, fire hydrant, street lighting, and other items. The final Site Plan included 33 residential units and 2 commercial spaces.

**PUBLIC HEARING**  
**SPECIAL PERMIT SITE PLAN**  
230 East Central Street

A proper and complete notice of the December 6, 2021 public hearing was posted in the Franklin Municipal Building and in the appropriate local newspaper in accordance with the Franklin Zoning Code and Massachusetts General Laws. A proper and complete notice was also sent to all persons and parties required by law to receive such notice. The Planning Board convened to hold public hearing on January 18, 2022, January 24, 2022, February 7, 2022, February 24, 2022, March 24, 2022, April 25, 2022, May 23, 2022, June 6, 2022, June 27, 2022, and July 25, 2022.

Incorporated as part of the record is the following:  
The Planning Board reviewed (1) the applicant's detailed written application including answers to Special Permit Findings (A) through (G), and (2) comments and review letters from various Town Departments, including but not limited to, Department of Planning & Community Development, Department of Public Works/Engineering and Franklin Fire Department. The Planning Board also reviewed engineering reports from their peer review Consultant.  
The Planning Board upon motion duly made and seconded, voted (5-0) to close the public hearing on July 25, 2022 for the Site Plan and Special Permit for 1385 Attachment 7, 6.1: Multifamily in Commercial 1 Zoning District.

**PRESENTATION**  
**SPECIAL PERMIT SITE PLAN**  
230 East Central Street

Mr. Richard Conetta, attorney on behalf of the applicant TAJ Estates of Franklin II, LLC, and Mr. Amanda Cavaliere of Guerriere & Halnon, Inc. addressed the Planning Board. Mr. Conetta acted as principal of TAJ Estates was in the audience. He stated the property is about one (1) acre located within the Commercial 1 zoning district. Currently, the property has a single-family residence on it that is approximately 1,500 sq. ft. The applicant is requesting a Special Permit to allow multifamily housing in the commercial district. The proposed redevelopment is the construction of a three-story, 14,200 sq. ft. commercial mixed-use residential building containing 41 single-bedroom apartment style residential units with 900 sq. ft. commercial space located on the first floor front portion of the building. He stated that in order to do this, they need to seek approval including a Special Permit to allow multi-family housing in the commercial district. They would also need an associated site plan approval. They have identified no wetlands in the project. Mr. Cavaliere responded that as this property is located in the Commercial 1 zoning district, a Special Permit is needed. They are requesting a waiver for one parking space per unit as opposed to 1.5 spaces as required

in zoning. They have three visitor spaces in the back. The project will be serviced by Town water and sewer. There is an infiltration system in the parking lot.

Mr. Crowley stated that BETA anticipates submitting their final review tomorrow. Mr. Gray James of BETA stated that Ms. Love and Mr. Maglio covered the major items. He has the same issues with the infiltration system as noted by Mr. Maglio. He discussed the possible impact on the sewer line and recommended Mr. Maglio comment on that. He stated that they are making a 18 ft. cut on Hill Avenue which is a shallow bedrock area which may require blasting to get in the foundation. He recommended the applicant do test pits to determine if blasting will be needed. He commented that there are no trees proposed around the parking lot. He agreed with Ms. Love that there is not enough parking.

Planning Board members made comments. In response, Ms. Cavaliere reviewed the provided parking schedule. She stated that she would include the number of spaces required if the waiver were not granted. She reviewed the landscape plan and stated that she will show signage on the plan. She stated renderings would be provided with the submittal. Ms. Wierling suggested a traffic study be provided as there is a lot going on in that area already, and this is proposed for 41 units. Ms. Crowley stated that BETA could look at that. Mr. Williams noted that this development would be more than 5 miles from the main station. She agreed that there is not enough parking, and this is an extremely dense project. Chair Rondeau asked about the underground retention system and the proximity to the Town easement. He noted his concern about traffic. He agreed it is a fairly dense project. He suggested the applicant look at the parking spaces, screening, lighting, and fire department access around the site.

Ms. Cavaliere reviewed the revised site plan. She stated that the most significant change is the reduction in building size. Originally, it was proposed to be approximately 14,000 sq. ft. that has been reduced by approximately 2,000 sq. ft. As well, the number of units has been reduced from 41 to 35 one-bedroom units. She reviewed the updated parking. She stated that they are proposing 36 parking spaces for the units, two office spaces, three visitor spaces, and three handicap spaces. She stated that the total number of spaces required is 55; they are proposing 41. She stated that all work has been removed from the sewer easement. She reviewed the revised landscape plan. Ms. Williams stated that she agreed Franklin needs one-bedroom units, however, she thinks that the number of parking spaces is insufficient even if they have 12 spaces per unit. With 44 spaces there is not enough parking. Ms. Wierling stated that she does not disagree that it should be given a good look; however, the density may be a little too dense. It is a wedge between some single-family homes, and there is a lot of impervious. She recommended looking at a few less units. She noted the location of the dumpster as it affects residential.

Planner, Amy Love stated that at the rest of the building there are two parking spaces on the right of way, the applicant will require a waiver for those parking spaces. She stated that the applicant has provided 31 parking spaces; however, only 11 meet the zoning requirements. The applicant will require a waiver for parking spaces 7 spaces do not meet the required width. The building and parking area is at 78.8 percent impervious so 80 percent is permitted. The applicant is providing documentation on the ownership of Hill Avenue. She stated that the question is who owns the street and the applicant allowed to work in the right of way.

The Planning Board held several additional Public Hearings to discuss the density of the project, the issue with the well being constructed and how it will impact the abutting property. The Applicant provided explanation and responses, but to the satisfaction of the Board. The Board continued to discuss the lowering of the amount of the units, additional parking spaces and concerns about encroachment onto the abutting properties. Many members of the public attended and discussed their concerns with the project, being traffic, safety and the size of the project.

**ENDINGS OF FACTS**  
**SPECIAL PERMIT SITE PLAN**  
230 East Central Street

**Decision**  
**SPECIAL PERMIT SITE PLAN**  
230 East Central Street

Special Permit: (1) 1385 Attachment 7, 6.1: Multifamily in Commercial 1 Zoning District.

(a) Proposed project address or is consistent with neighborhood or Town need.  
Gregory Rondeau YES Jennifer Williams YES  
Rick Power YES Beth Wierling NO  
William David YES

(b) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.  
Gregory Rondeau YES Jennifer Williams NO  
Rick Power YES Beth Wierling YES  
William David YES

(c) Public roads, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.  
Gregory Rondeau YES Jennifer Williams NO  
Rick Power YES Beth Wierling NO  
William David YES

The Applicant at the last public hearing provided the necessary amount of parking spaces to be 50 with 33 residential units and 2 commercial spaces on the lot. Along with the site changes proposed, the Applicant also indicated they would be agreeable to 10% of the units being affordable, under the State guidelines. The Planning Board discussed conditions to be added to the decision pertaining to the affordable units, encroachment on Hill Ave and fencing on the east side of the property. The affordable units would need to be demarcated for the property to be acceptable.

After a complete presentation and discussion of the project, Planning Board members closed the Public Hearing on July 25, 2022.

(d) Neighborhood character and social structure will not be negatively impacted.  
Gregory Rondeau YES Jennifer Williams YES  
Rick Power YES Beth Wierling NO  
William David YES

(e) Project will not destroy or cause substantial damage to any environmentally-significant natural resources, habitat, or features or, if it will, proposed mitigation, remediation, replication or compensatory measures are adequate.  
Gregory Rondeau YES Jennifer Williams YES  
Rick Power YES Beth Wierling YES  
William David YES

**APPROVED DATE:**  
FRANKLIN PLANNING BOARD  
BEING A MAJORITY

LEGAL NOTES  
UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER  
TAJ ESTATES OF FRANKLIN II, LLC  
95 EAST MAIN STREET, SUITE 100  
WESTBOROUGH, MA. 01581

DEED BOOK 4009 PAGE 445  
ASSESSORS MAP 285 LOT 069

APPLICANT  
TAJ ESTATES OF FRANKLIN II, LLC  
MOHIUDDIN AHMED, MANAGER  
95 EAST MAIN STREET, SUITE 100  
WESTBOROUGH, MA. 01581

**CERTIFICATE OF VOTE**  
NOVEMBER 11, 2021

(f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.  
Gregory Rondeau YES Jennifer Williams NO  
Rick Power YES Beth Wierling NO  
William David YES

Ms. Williams stated no, because she believes that a significant bulk of the proposed project will deprive neighbors of light as well as contribute to noise in the area.  
Beth Wierling voted no, because it is unclear if the constructibility of the retaining wall structures shown on the western side of the plan could be completed without excessive noise or vibrations which will impact the abutting. There are outstanding peer review comments including the request for soil logs to test at locations to verify MF Engineering and Design results that remain outstanding that would contribute to understanding constructibility of the retaining wall and any noise or vibrations that might impact the neighbors.

(g) Water consumption and sewer, taking into consideration normal and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.  
Gregory Rondeau YES Jennifer Williams YES  
Rick Power YES Beth Wierling YES  
William David YES

The proposed use will not have adverse effects which overwhelm the beneficial effects on either the neighborhood or the Town, in view of the particular characteristics of the use and of the proposal in relation to that site.  
Gregory Rondeau YES Jennifer Williams NO  
Rick Power YES Beth Wierling NO  
William David YES

Ms. Williams stated no, because she does not believe that the most criteria (F) for all of the reasons given so far. Ultimately the project is far too dense for the site in which it is being proposed, which the benefits do not outweigh the negative in this case.  
Beth Wierling voted no, for all of the reasons she previously stated. In addition, she believes the particular characteristics of the site being only one acre, and the proposed to construct thirty-three units of multi-family housing creating a density of thirty-three units/acre, along with the associated parking, lighting, and site infrastructure needed to support thirty-three units of multi-family housing will have an adverse effect which will overwhelm its beneficial effects on both the neighborhood and the town.

Based upon the information submitted during the public hearings, Planning Board's specific findings, the Planning Board specifically determined that allowing this Site Plan and Special Permit 1385 Attachment 7, 6.1: Multifamily in Commercial 1 Zoning District, will not have adverse effects which overwhelm its beneficial effects on either the neighborhood or the Town, in view of the particular characteristics of the site and of the proposal in relation to that site.

Accordingly, at the Planning Board meeting on August 8, 2021 the Planning Board, upon motion duly made and seconded, voted (3-2) to Approve the applicant's request to allow the Site Plan and Special Permit at 230 East Central Street, under Chapter 40A, Section 9 of the MGL.

The following members of the Planning Board were present at the hearing and voted as follows:  
Gregory Rondeau YES Jennifer Williams NO  
Rick Power YES Beth Wierling NO  
William David YES

At the Planning Board meeting on August 16, 2022 upon motion duly made and seconded, voted (5-0) to Approve Special Conditions, Waiver and Standard Conditions, which are all listed below. Also, at the Planning Board meeting on August 16, 2022 the Planning Board, upon motion duly made and seconded, voted (5-0) that the conditions be attached to the original decision and recorded at the Registry of Deeds.

Any person aggrieved by the above decision of the Franklin Planning Board may file an appeal pursuant to Massachusetts General Laws Chapter 40A, Section 17. Such appeal must be filed within twenty (20) days after the filing of the notice of the Board's decision with the Town Clerk.

This Certificate of Vote shall become effective only upon the recording of a copy certified by the Town Clerk with the Norfolk County Registry of Deeds. A copy of the recorded Certificate of Vote shall be submitted to the Board within thirty (30) days of recording.

**STANDARD CONDITIONS OF APPROVAL**  
230 East Central Street

1. This Special Permit shall not be construed to run with the land and shall run with the Site Plan as authorized by the Planning Board. A new Special Permit shall be required from the Planning Board if any major change of use or major change to the site plan is proposed.

2. This Special Permit shall lapse if substantial use or construction has not begun, except for good cause, within twenty-four (24) months of approval, unless the Board grants an extension.

No Final Certificate of Occupancy shall be issued until all requirements of the Special Permit have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements and received approval by the Planning Board. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #4.

3. Construction or operations under this Special Permit shall conform to any subsequent amendment of the Town of Franklin Zoning Bylaw (1385) unless the use or construction is commenced within a period of six (6) months after the issuance of this Special Permit and, in cases involving operation, unless such construction is continued through to completion as continuously and expeditiously as is reasonable.

4. The Planning Board will provide consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.

5. Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form 11). Said inspection is further outlined in condition #4.

6. No alteration of the Special Permit and the plans associated with it shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.

7. All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.

8. Prior to the endorsement of the site plan, the following shall be done:  
• The owner/applicant shall make a notation on the site plan that references the Special Permit and the conditions and date of this Certificate of Vote.  
• A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or all disturbance commencing on the site.  
• All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.  
• The owner/applicant shall submit a minimum of six copies of the approved version of the plan.

9. Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and its agents shall be responsible for all cleanup of the roadway. All cleanup shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designer. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.

10. The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.

11. Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Inspector.

12. Any signage requires the Applicant to file with the Design Review Commission.

13. The Certificate of Vote is to be added to the plan.

14. Prior to the endorsement, the following is required:  
• Soil logs and test pit locations be shown on the revised plans from M.F. Engineering & Design to verify results, for the missing well.  
• The Appendix is not specifically noted in the O&M plan. The long term Operation and Maintenance plan should be a stand-alone document. Therefore, Appendix 11 should be directly incorporated into the plan and reference. Along with the sample inspection for and a plan of the BMPs.  
• The manifold level be raised to Elevation 278.95. This would provide an additional 12" of sediment storage in the separator row and further prevent the long-term viability of the system. If any disturbance is shown on Hill Ave, then the Applicant is to submit an alternative plan to the Planning Board that shows no disturbance on Hill Ave.

**Waiver**  
**SPECIAL PERMIT SITE PLAN**  
230 East Central Street

1. 1385-21.C.4) - No screening will be provided along the Hill Ave right-of-way

**SPECIAL CONDITIONS OF APPROVAL**  
230 East Central Street

1. The Applicant must meet the requirements under MGL Chapter 184, Affordable Housing Ordinance, providing a deed restriction on the property for the 10% affordable units, in perpetuity. This must be completed prior to commencement of construction and pre-construction meeting. If this condition is not met, then the Special Permit fails to comply with Chapter 40A, Section 9 and the project would require a Super Majority vote for approval.

2. Bollards will be installed to the fence posts connected to the parking spaces along the east side of the property, in front of the fence on the 230 East Central Street property.

3. A Limited Site Plan is required prior to occupancy of the two Commercial spaces within the building.

4. The Applicant will contribute \$5,000 towards a future "traffic signal study" for the intersection at West Central Street and King Street, funds are to be submitted to the Town prior to the building permit.

5. Test holes should be conducted directly in the area of the proposed infiltration structure, prior to commencement of construction.

6. Commercial space will not be used as a housing office.

7. There will be no disturbance to Hill Ave.

8. Prior to issuance of a Building Permit and start of any site work, property lines shall be staked and reviewed by DPW and Public Works Inspector.

**Waiver**  
**SPECIAL PERMIT SITE PLAN**  
230 East Central Street

1. 1385-21.C.4) - No screening will be provided along the Hill Ave right-of-way

**A True Copy of the Record**  
ATTEST: *Jenny Daouli*  
Town Clerk, Franklin, MA

**TAJ ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT**  
230 EAST CENTRAL STREET  
FRANKLIN MASSACHUSETTS

**CERTIFICATE OF VOTE**  
NOVEMBER 11, 2021

DATE	REVISION DESCRIPTION
01/17/22	TOWN COMMENTS - REV1
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04/12/22	ADDED RET. WALL - REV4
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FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com

SHEET **1A OF 12** JOB NO. **F4478**

**NOTES**

- THIS LAND IS ZONED COMMERCIAL I.
- THIS SITE IS NOT LOCATED FLOOD HAZARD ZONE PER FEMA FLOOD MAP 25021C0309E, EFFECTIVE DATE 7/17/2012.
- NO WETLANDS HAVE BEEN IDENTIFIED.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
- REFER TO FRANKLIN ASSESSORS MAP 285 PARCELS 69.
- THIS SITE IS LOCATED IN A WATER RESOURCE DISTRICT.
- ALL REFERENCED DEEDS ARE ON RECORD AT THE NORFOLK COUNTY REGISTRY OF DEEDS.
- THIS SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM AREA.

**LEGEND**

**COMMERCIAL I<sup>7</sup>**  
 FRANKLIN ZONING BYLAW SECTION 185  
 ATTACHMENT 9; LAST AMENDED  
 03-13-2019 BY AMENDMENT 19-831

MINIMUM LOT AREA 5,000 SF  
 MINIMUM LOT FRONTAGE 50'  
 MINIMUM LOT DEPTH 45'  
 MINIMUM LOT WIDTH 3 STORIES/40'<sup>15</sup>  
 BLDG HEIGHT 3 STORIES/40'<sup>15</sup>

MINIMUM YARDS  
 FRONT 20'<sup>14</sup>  
 SIDE 10'<sup>14</sup>  
 REAR 15'

% OF LOT UPLAND COVERED BY:  
 STRUCTURES 80  
 STRUCTURES+PAVING 90\*\*

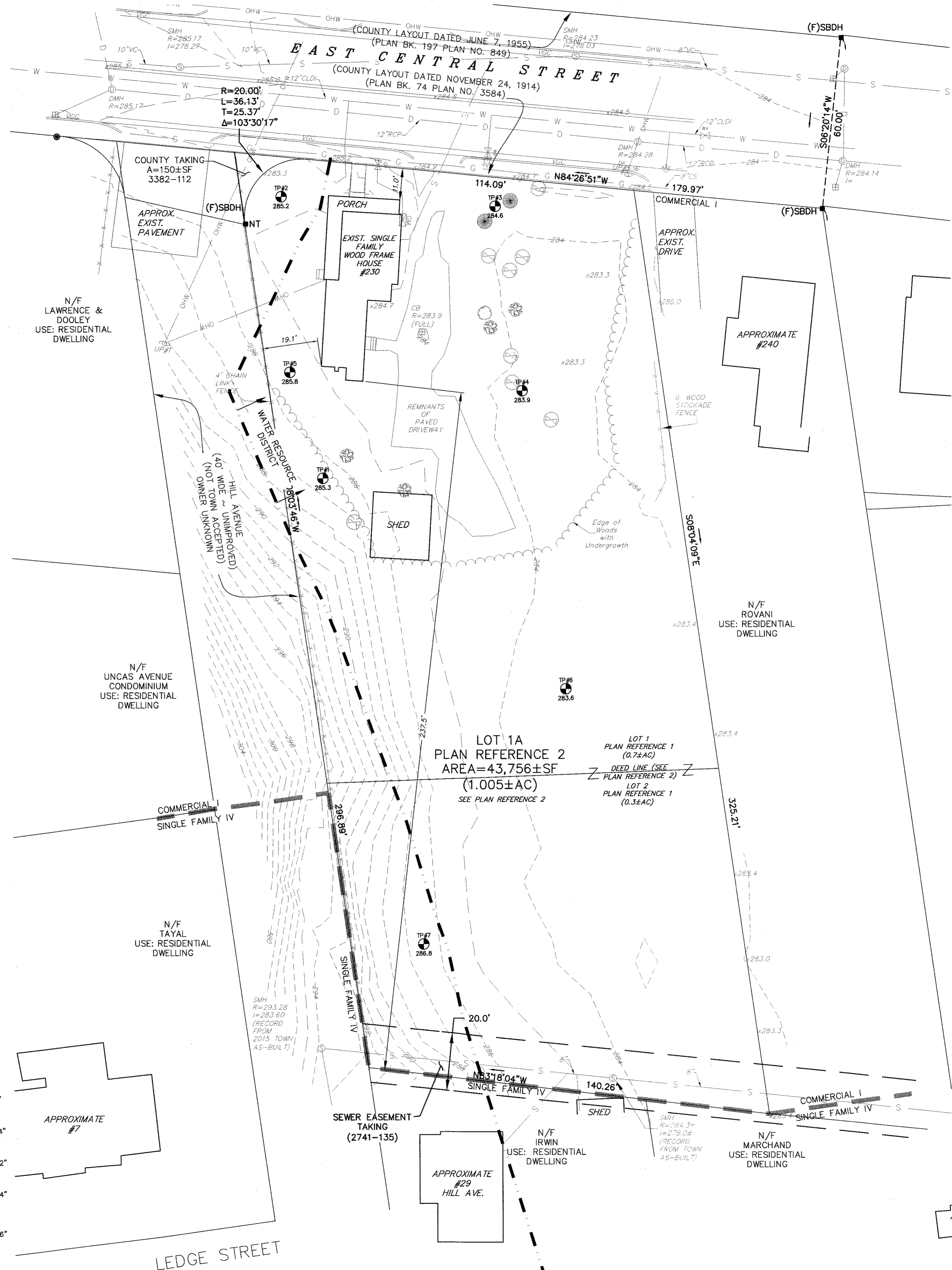
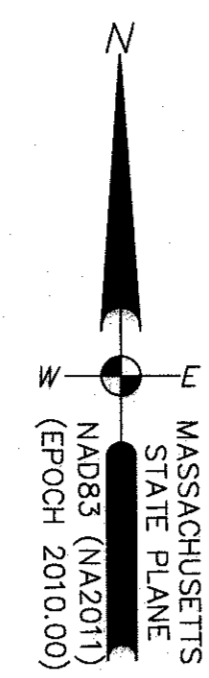
<sup>1</sup>BUT NO NEW STRUCTURES SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN THAT EXISTING ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.  
<sup>7</sup>PERMITTED RESIDENTIAL USES MUST OBSERVE REQUIREMENTS OF THE GENERAL RESIDENTIAL V DISTRICT FOR RESIDENTIAL USE BUILDINGS ONLY. MIXED USE BUILDINGS ARE EXEMPT FROM THIS REQUIREMENT.  
<sup>14</sup>THE 10 FT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT A 20 FT SETBACK IS REQUIRED ON THE ADJUTING SIDE.  
<sup>15</sup>BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY SPECIAL PERMIT FROM THE PLANNING BOARD.  
 \*\*NON-RESIDENTIAL IMPERVIOUS COVERAGE SHALL NOT EXCEED 80% IN A WATER RESOURCE DISTRICT

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS METER		PROP. STREET LIGHTING
	GAS SHUT OFF VALVE		SPOT ELEVATION
	WATER VALVE		RIPRAP
	WATER SHUT OFF VALVE		
	FIRE HYDRANT		

- PLAN REFERENCES:**
- PLAN NO. 393-1997, PL. BK. 448
  - SEE ANR PLAN ENTITLED "PLAN OF LAND 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS," DATED APRIL 30, 2018, PREPARED BY GUERRIERE & HALNON, INC. PLANNING BOARD ENDORSED MAY 7, 2018 ON WHICH THE INTERIOR DEED LINE IS DEPICTED AS "TO BE REMOVED."

DEEP TESTS TAKEN 11/14/17 BY DN PERC. TESTS TAKEN 11/14/17 BY DN  
 SOIL EVALUATOR DON NIELSEN SOIL EVALUATOR DON NIELSEN

285.3 DTH#1	285.2 DTH#2	284.6 DTH#3	283.9 DTH#4	285.5 DTH#5	283.6 DTH#6	286.8 DTH#7
Ap L 0"-12"	Ap L 0"-24"	Ap L 0"-18"	Ap L 0"-18"	Ap L 0"-10"	Ap L 0"-12"	Ap L 0"-12"
Bw L.S. 7.5Y5/4 12"-36"	Bw L.S. 7.5Y5/4 24"-42"	Bw L.S. 18"-32"	Bw L.S. 18"-30"	Bw L.S. 10"-32"	Bw L.S. 12"-24"	Bw L.S. 12"-24"
C1 M.S. 10YR 36"-60"	C1 F.S. 10YR5/6 42"-84"	C1 S.L. 32"-84"	C1 S.L. 30"-42"	C1 L.S. 32"-48"	C1 L.S. 24"-48"	C1 L.S. 32"-42"
C2 M.S. 10YR4/4 60"-96"	C2 M.S. 10YR5/3 84"-156"	C2 M./F.S. 10YR5/3 84"-144"	C2 F.S. 10YR5/6 42"-60"	C2 F./M.S. 10YR5/6 48"-60"	C2 F./M.S. 10YR5/6 48"-120"	C2 F./M.S. 10YR5/6 42"-84"
NO G.W. NO MOTILES		NO G.W. MOTILES 32"-54"		C3 M.S. 10YR5/3 60"-136"	C3 M.S. 10YR5/3 60"-96"	C3 M.S. 10YR5/3 84"-96"
NO G.W. NO MOTILES		NO G.W. MOTILES 32"-54"		C3 M.S. 10YR5/3 SOME STONES 277.8	C3 M.S. 10YR5/3 SOME STONES 273.6	C3 M.S. 10YR5/3 SOME STONES 278.8



APPROVED DATE:  
 FRANKLIN PLANNING BOARD  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 BEING A MAJORITY

**LEGAL NOTES**

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**OWNER**  
 TAJ ESTATES OF FRANKLIN II, LLC  
 95 EAST MAIN STREET, SUITE 100  
 WESTBOROUGH, MA. 01581

**DEED BOOK 40009 PAGE 445  
 ASSESSORS MAP 285 LOT 069**

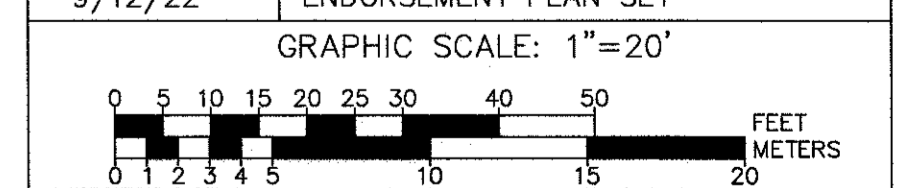
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 MOHIUDDIN AHMED, MANAGER  
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 WESTBOROUGH, MA. 01581

**TAJ ESTATES OF FRANKLIN II  
 SITE PLAN & SPECIAL PERMIT  
 230 EAST CENTRAL STREET  
 FRANKLIN MASSACHUSETTS**

**EXISTING CONDITIONS**

**NOVEMBER 11, 2021**

DATE	REVISION DESCRIPTION
01/17/22	TOWN COMMENTS - REV1
01/28/22	TOWN COMMENTS - REV2
02/17/22	TOWN COMMENTS - REV3
04/12/22	ADDED RET. WALL - REV4
05/31/22	TOWN COMMENTS - REV5
7/14/22	TOWN COMMENTS - REV6
9/12/22	ENDORSEMENT PLAN SET



**Guerriere & Halnon, Inc.**  
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 FRANKLIN, MA 02038 FX. (508) 528-7921  
 www.gandhengineering.com

**GENERAL EROSION CONTROL AND CONSTRUCTION NOTES**

- THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
- INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
- MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
- ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
- THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
- SEDIMENT BUILD UP BEHIND FILTERMITS SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
- CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
- THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
- THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED SHALL BE DISPOSED OF.
- BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN.
- TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
- STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
- ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEED AS SOON AS WEATHER CONDITIONS ALLOW.
- THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE (FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
- ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
- ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
- EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED.

**INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE**

- INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT.
- TEMPORARY STONE (3/4" - 1 1/2") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING PAVEMENT. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PUBLIC WAYS.
- RAZE THE EXISTING BUILDINGS, PAVEMENT, WALKWAYS, ETC CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED.
- STOCKPILE LOAM, OR REMOVE LOAM.
- INSTALL PIPES FOR DRAINAGE SYSTEMS. INSTALL DRAINAGE SYSTEM.
- BRING SITE TO SUB-GRADE.
- ALL SLOPES ALONG THE PROPERTY LINES SHALL BE MULCHED TEMPORARILY, IF DISTURBED.
- ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVICE.
- ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE.
- THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
- THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION PROPER FILTER FABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
- ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
- SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
- CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY BASIN, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
- KEEP SITE SWEEPED AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.

**LEGEND**

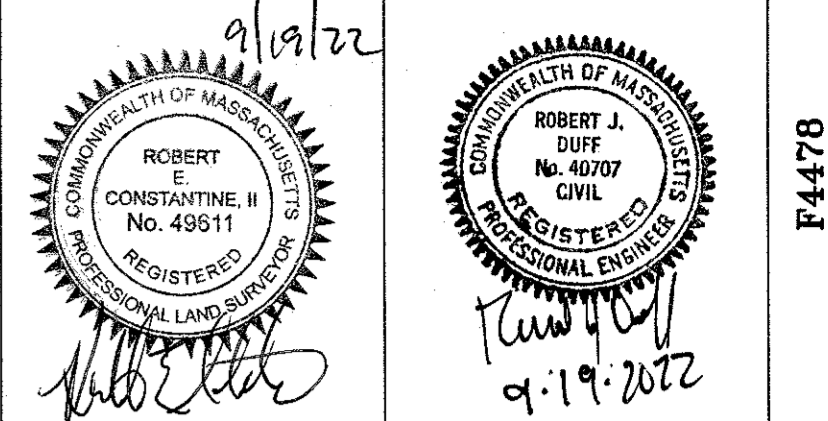
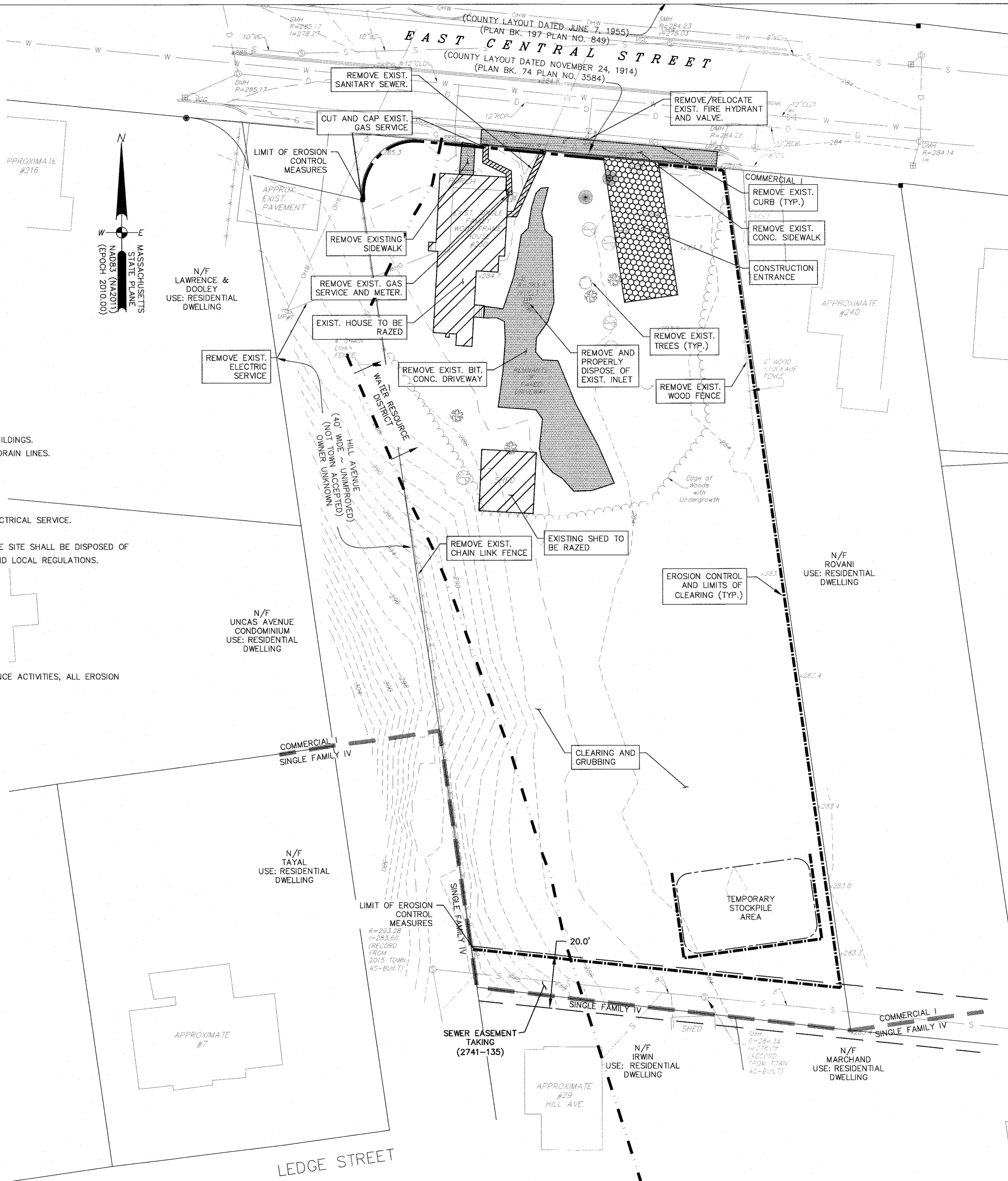
☐	CATCH BASIN	☆	LIGHT POLE
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⊙	WATER VALVE	⊙	RIPRAP
⊙	WATER SHUT OFF VALVE		
⊙	FIRE HYDRANT		
---	000	---	EXISTING CONTOUR
---	D	---	EXISTING DRAIN LINE
---	W	---	EXISTING WATER LINE
---	G	---	EXISTING GAS LINE
---	S	---	EXISTING SEWER LINE

**DEMOLITION NOTE:**

- RAZE AND REMOVE ALL EXISTING PAVEMENT AND BUILDINGS.
- REMOVE ALL EXISTING DRAINAGE STRUCTURES AND DRAIN LINES.
- REMOVE EXISTING GAS METER
- REMOVE AND RELOCATE EXISTING HYDRANT.
- REMOVE ALL EXISTING LIGHTING
- CAP EXISTING WATER SERVICE.
- COORDINATE WITH NATIONAL GRID TO RELOCATE ELECTRICAL SERVICE.
- CAP AND REMOVE EXISTING SEWER SERVICE.
- ALL DEMOLITION DEBRIS THAT IS REMOVED FROM THE SITE SHALL BE DISPOSED OF PROPERLY PER ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.

**NOTE:**

- PRIOR TO CONSTRUCTION AND ANY LAND DISTURBANCE ACTIVITIES, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED.



APPROVED DATE:  
FRANKLIN PLANNING BOARD  
BEING A MAJORITY

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**OWNER**  
TAJ ESTATES OF FRANKLIN II, LLC  
95 EAST MAIN STREET, SUITE 100  
WESTBOROUGH, MA. 01581

**DEED BOOK 40009 PAGE 445  
ASSESSORS MAP 285 LOT 069**

**APPLICANT**  
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MOHUDDIN AHMED, MANAGER  
95 EAST MAIN STREET, SUITE 100  
WESTBOROUGH, MA. 01581

**TAJ ESTATES OF FRANKLIN II  
SITE PLAN & SPECIAL PERMIT  
230 EAST CENTRAL STREET  
FRANKLIN MASSACHUSETTS  
DEMOLITION & EROSION  
CONTROL PLAN**

**NOVEMBER 11, 2021**

DATE	REVISION DESCRIPTION
01/17/22	TOWN COMMENTS - REV1
01/28/22	TOWN COMMENTS - REV2
02/17/22	TOWN COMMENTS - REV3
04/12/22	ADDED RET. WALL - REV4
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7/14/22	TOWN COMMENTS - REV6
9/12/22	ENDORSEMENT PLAN SET

GRAPHIC SCALE: 1"=20'  
0 5 10 15 20 25 30 40 50 FEET  
0 1 2 3 4 5 10 15 20 METERS

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NOTES:

1. ALL SIGNAGE AND STRIPING TO CONFORM TO LATEST "MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES".
2. THE FIRE PROTECTION ENGINEER WILL PROVIDE PLANS AND CALCULATIONS FOR FIRE PROTECTION SYSTEM.
3. ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
4. THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED OUT ONTO THE PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.
5. NO UTILITY COMPONENTS SHALL BE INSTALLED ON THE BUILDING ROOF OR AROUND THE EXTERIOR OF THE BUILDING.

**ZONING DISTRICT  
COMMERCIAL I**

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	5,000 SF	43,756±SF (1.005±AC)	43,756±SF (1.005±AC)
MIN. LOT FRONTAGE	50 FT	114.09 FT	114.09 FT
MIN. LOT DEPTH	50 FT	323.31 FT	323.31 FT
MIN. LOT WIDTH	45 FT	135.60 FT	135.60 FT
BLDG HEIGHT	3 STORIES/40 FT <sup>15</sup>	2 STY	3 STY, 40FT.
MAX. % OF LOT UPDAND COVERED BY:			
STRUCTURES	80	1,742±SF (3.5%)	13,079±SF (29.9%)
STRUCTURES & PAVING	90*	3,930±SF (7.9%)	31,570±SF (72.2%)

TOTAL AREA WITHIN THE WATER RESOURCE DISTRICT:	REQUIRED	EXISTING	PROPOSED
WATER RESOURCE DISTRICT AREA: 38,590±SF	>80	3,930±SF (7.9%)	30,183±SF (78.2%)

**MIN. YARD SETBACKS**

	REQUIRED	EXISTING	PROPOSED
FRONT	20 FT <sup>1</sup>	11.0 FT	18.9 FT
SIDE	10 FT <sup>14</sup>	19.1 FT	10.8/55.8 FT
REAR	15 FT	237.6 FT	90.0 FT

<sup>1</sup>BUT NO NEW STRUCTURES SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN THAT EXISTING ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.

<sup>7</sup>PERMITTED RESIDENTIAL USES MUST OBSERVE REQUIREMENTS OF THE GENERAL RESIDENTIAL V DISTRICT FOR RESIDENTIAL USE BUILDINGS ONLY. MIXED USE BUILDINGS ARE EXEMPT FROM THIS REQUIREMENT.

<sup>14</sup>THE 10 FT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT A 20 FT SETBACK IS REQUIRED ON THE ABUTTING SIDE.

<sup>15</sup>BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY SPECIAL PERMIT FROM THE PLANNING BOARD.

\*NON-RESIDENTIAL IMPERVIOUS COVERAGE SHALL NOT EXCEED 80% IN A WATER RESOURCE DISTRICT

**COMMERCIAL I**

185 ATTACHMENT 7-(3) - NO MORE THAN ONE DWELLING UNIT PER 1,000 SF OF LOT AREA MAY BE PERMITTED.

DWELLING/UNIT = 1 BEDROOM

43,756/1,000 SF (UNIT) = 43

ALLOWED BY SPECIAL PERMIT - 43 UNITS

PROPOSED - 33 UNITS

(31) ONE BEDROOM UNITS

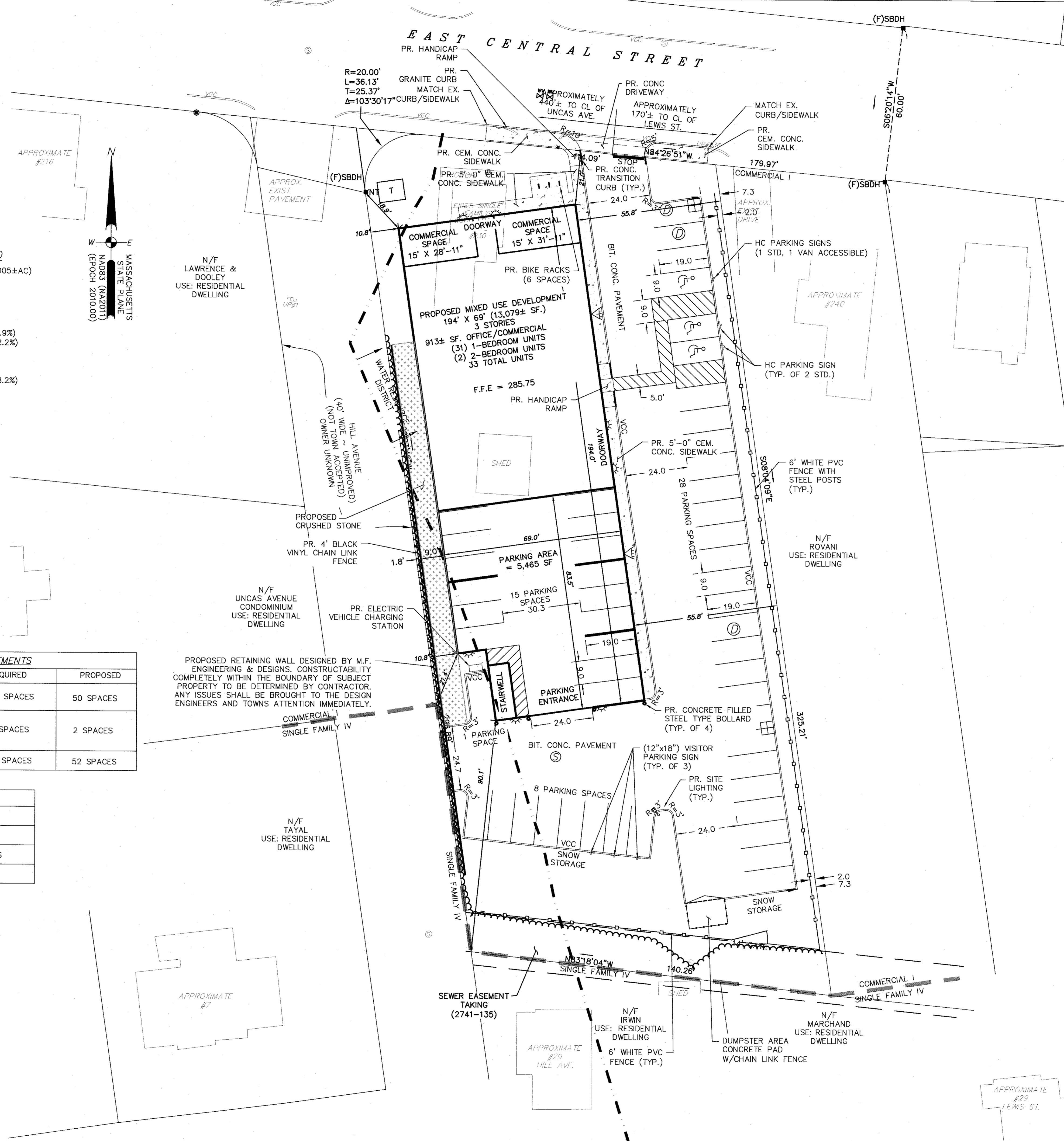
(2) TWO BEDROOM UNITS

PARKING REQUIREMENTS		
	REQUIRED	PROPOSED
RESIDENTIAL UNIT PARKING 1.5 SPACES PER UNIT (33 UNITS)	50 SPACES	50 SPACES
OFFICE PARKING 1 SPACE PER 500 SF. (TOTAL OFFICE SPACE = 913± SF.)	2 SPACES	2 SPACES
TOTAL SPACES	52 SPACES	52 SPACES

DESIGNATED PARKING	
VISITOR PARKING	3 SPACES
HANDICAP PARKING	3 SPACES
STANDARD PARKING	45 SPACES
ELECTRIC VEHICLE PARKING	1 SPACE

**LEGEND**

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS METER		PROP. STREET LIGHTING
	GAS SHUT OFF VALVE		SPOT ELEVATION
	WATER VALVE		RIPRAP
	WATER SHUT OFF VALVE		PVC FENCE
	FIRE HYDRANT		VCC - VERTICAL CONCRETE CURB
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		
	EXISTING GAS LINE		
	EXISTING SEWER LINE		



9/19/22

ROBERT J. DUFF  
No. 48819  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF MASSACHUSETTS

9.19.2022

APPROVED DATE: \_\_\_\_\_

FRANKLIN PLANNING BOARD

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

BEING A MAJORITY

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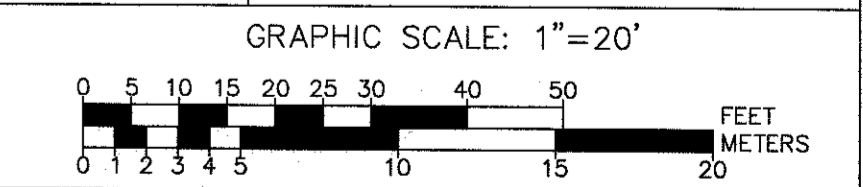
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**TAJ ESTATES OF FRANKLIN II  
SITE PLAN & SPECIAL PERMIT  
230 EAST CENTRAL STREET  
FRANKLIN MASSACHUSETTS**

**SITE PLAN**

NOVEMBER 11, 2021

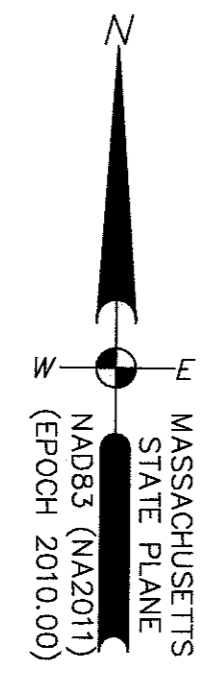
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EAST CENTRAL STREET



N/F LAWRENCE & DOOLEY  
USE: RESIDENTIAL DWELLING

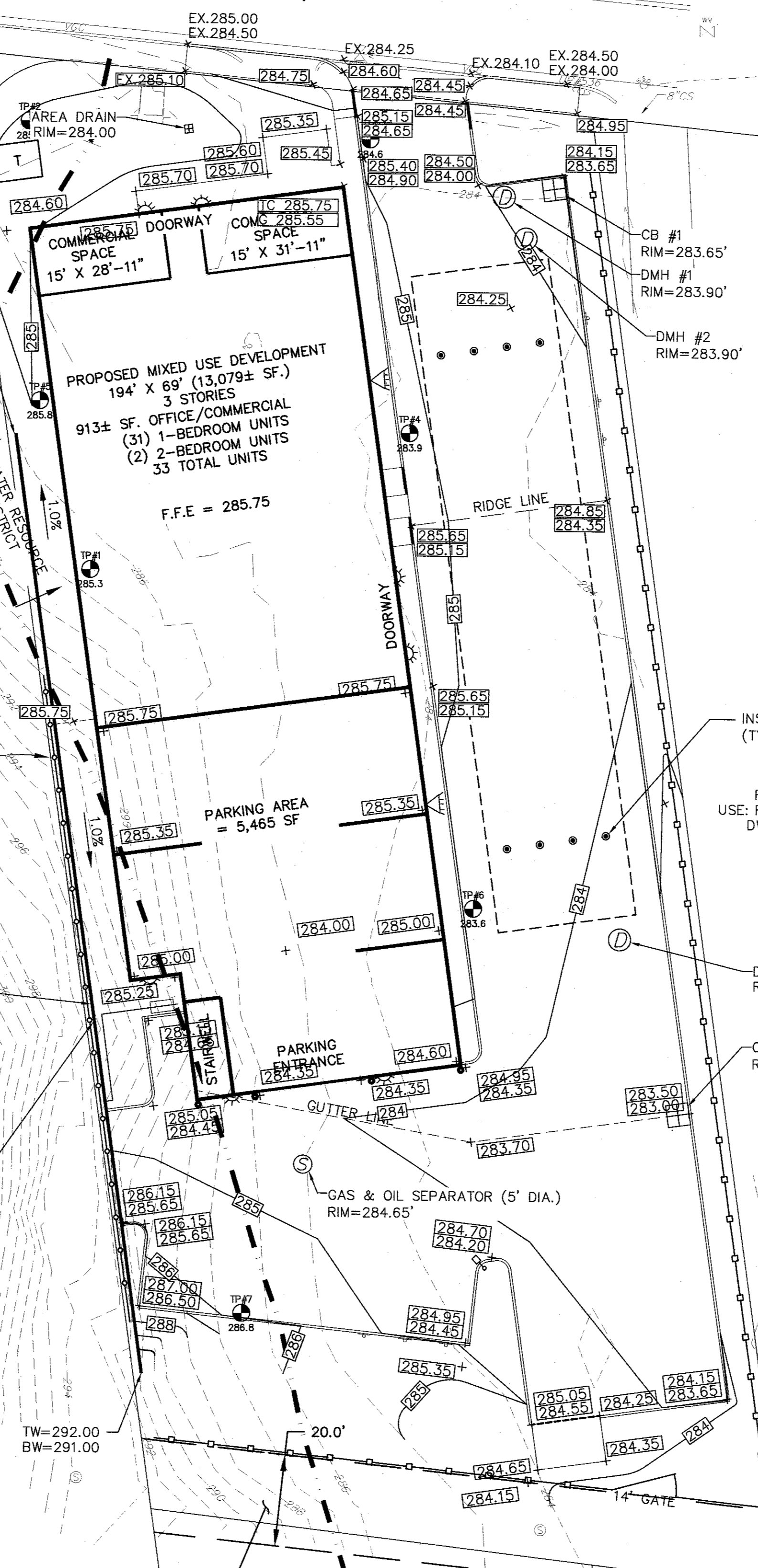
N/F UNCAS AVENUE CONDOMINIUM  
USE: RESIDENTIAL DWELLING

PROPOSED RETAINING WALL DESIGNED BY M.F. ENGINEERING & DESIGNS. CONSTRUCTIBILITY COMPLETELY WITHIN THE BOUNDARY OF SUBJECT PROPERTY TO BE DETERMINED BY CONTRACTOR. ANY ISSUES SHALL BE BROUGHT TO THE DESIGN ENGINEERS AND TOWNS ATTENTION IMMEDIATELY.

N/F TAYAL  
USE: RESIDENTIAL DWELLING

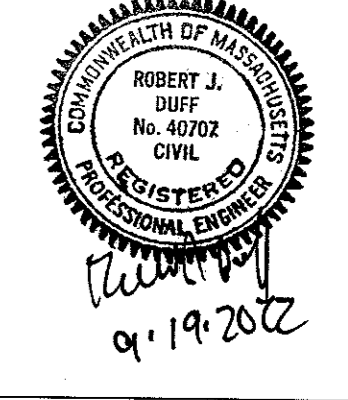
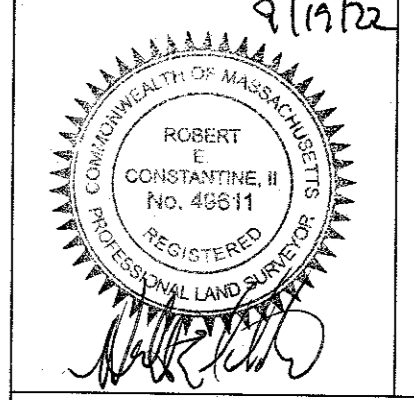
N/F IRWIN  
USE: RESIDENTIAL DWELLING

N/F MARCHAND  
USE: RESIDENTIAL DWELLING



LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS METER		PROP. STREET LIGHTING
	GAS SHUT OFF VALVE		SPOT ELEVATION
	WATER VALVE		RIPRAP
	WATER SHUT OFF VALVE		PVC FENCE
	FIRE HYDRANT		VCC - VERTICAL CONCRETE CURB
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		
	EXISTING GAS LINE		
	EXISTING SEWER LINE		



P4478

APPROVED DATE:  
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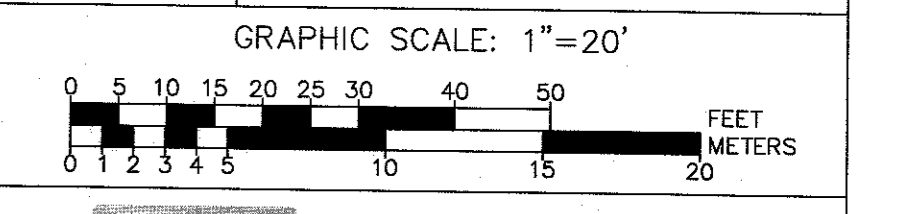
OWNER  
TAJ ESTATES OF FRANKLIN II, LLC  
95 EAST MAIN STREET, SUITE 100  
WESTBOROUGH, MA. 01581  
DEED BOOK 40009 PAGE 445  
ASSESSORS MAP 285 LOT 069  
APPLICANT  
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MOHIUDDIN AHMED, MANAGER  
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WESTBOROUGH, MA. 01581

TAJ ESTATES OF FRANKLIN II  
SITE PLAN & SPECIAL PERMIT  
230 EAST CENTRAL STREET  
FRANKLIN MASSACHUSETTS

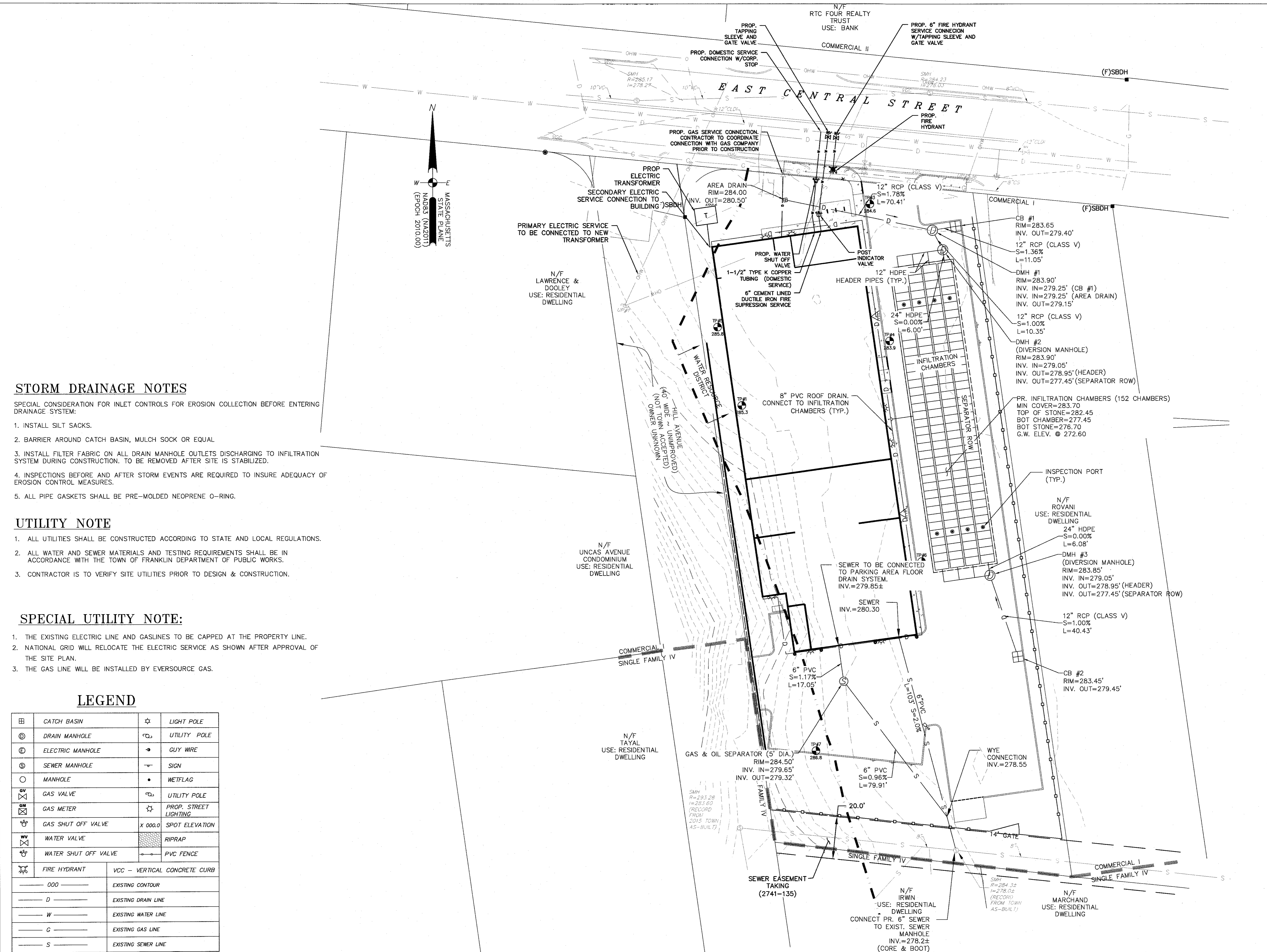
GRADING PLAN

NOVEMBER 11, 2021

DATE	REVISION DESCRIPTION
01/17/22	TOWN COMMENTS - REV1
01/28/22	TOWN COMMENTS - REV2
02/17/22	TOWN COMMENTS - REV3
04/12/22	ADDED RET. WALL - REV4
05/31/22	TOWN COMMENTS - REV5
7/14/22	TOWN COMMENTS - REV6
9/12/22	ENDORSEMENT PLAN SET



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**STORM DRAINAGE NOTES**

SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:

1. INSTALL SILT SACKS.
2. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL
3. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM DURING CONSTRUCTION. TO BE REMOVED AFTER SITE IS STABILIZED.
4. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
5. ALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING.

**UTILITY NOTE**

1. ALL UTILITIES SHALL BE CONSTRUCTED ACCORDING TO STATE AND LOCAL REGULATIONS.
2. ALL WATER AND SEWER MATERIALS AND TESTING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE TOWN OF FRANKLIN DEPARTMENT OF PUBLIC WORKS.
3. CONTRACTOR IS TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.

**SPECIAL UTILITY NOTE:**

1. THE EXISTING ELECTRIC LINE AND GASLINES TO BE CAPPED AT THE PROPERTY LINE.
2. NATIONAL GRID WILL RELOCATE THE ELECTRIC SERVICE AS SHOWN AFTER APPROVAL OF THE SITE PLAN.
3. THE GAS LINE WILL BE INSTALLED BY EVERSOURCE GAS.

**LEGEND**

⊞	CATCH BASIN	☆	LIGHT POLE
⊙	DRAIN MANHOLE	⊙	UTILITY POLE
⊕	ELECTRIC MANHOLE	•	GUY WIRE
⊗	SEWER MANHOLE	—	SIGN
○	MANHOLE	•	WETFLAG
⊗	GAS VALVE	⊙	UTILITY POLE
⊗	GAS METER	☆	PROP. STREET LIGHTING
⊗	GAS SHUT OFF VALVE	X 000.0	SPOT ELEVATION
⊗	WATER VALVE	⊞	RIPRAP
⊗	WATER SHUT OFF VALVE	—	PVC FENCE
⊗	FIRE HYDRANT	VCC	VERTICAL CONCRETE CURB
— 000 —	EXISTING CONTOUR		
— D —	EXISTING DRAIN LINE		
— W —	EXISTING WATER LINE		
— G —	EXISTING GAS LINE		
— S —	EXISTING SEWER LINE		

ROBERT J. DUFF  
No. 40707  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF MASSACHUSETTS

F4478

APPROVED DATE: \_\_\_\_\_

FRANKLIN PLANNING BOARD

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BEING A MAJORITY

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TAJ ESTATES OF FRANKLIN II, LLC  
95 EAST MAIN STREET, SUITE 100  
WESTBOROUGH, MA. 01581

DEED BOOK 40009 PAGE 445  
ASSESSORS MAP 285 LOT 069

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APPLICANT

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WESTBOROUGH, MA. 01581

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**TAJ ESTATES OF FRANKLIN II  
SITE PLAN & SPECIAL PERMIT  
230 EAST CENTRAL STREET  
FRANKLIN MASSACHUSETTS**

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**UTILITY PLAN**

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**NOVEMBER 11, 2021**

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7/14/22	TOWN COMMENTS - REV6
9/12/22	ENDORSEMENT PLAN SET

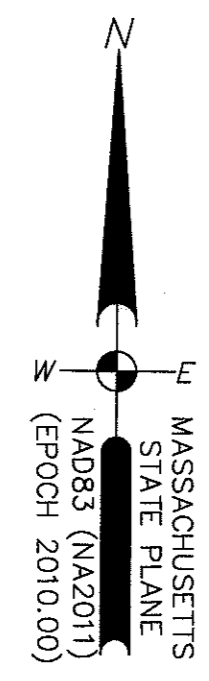
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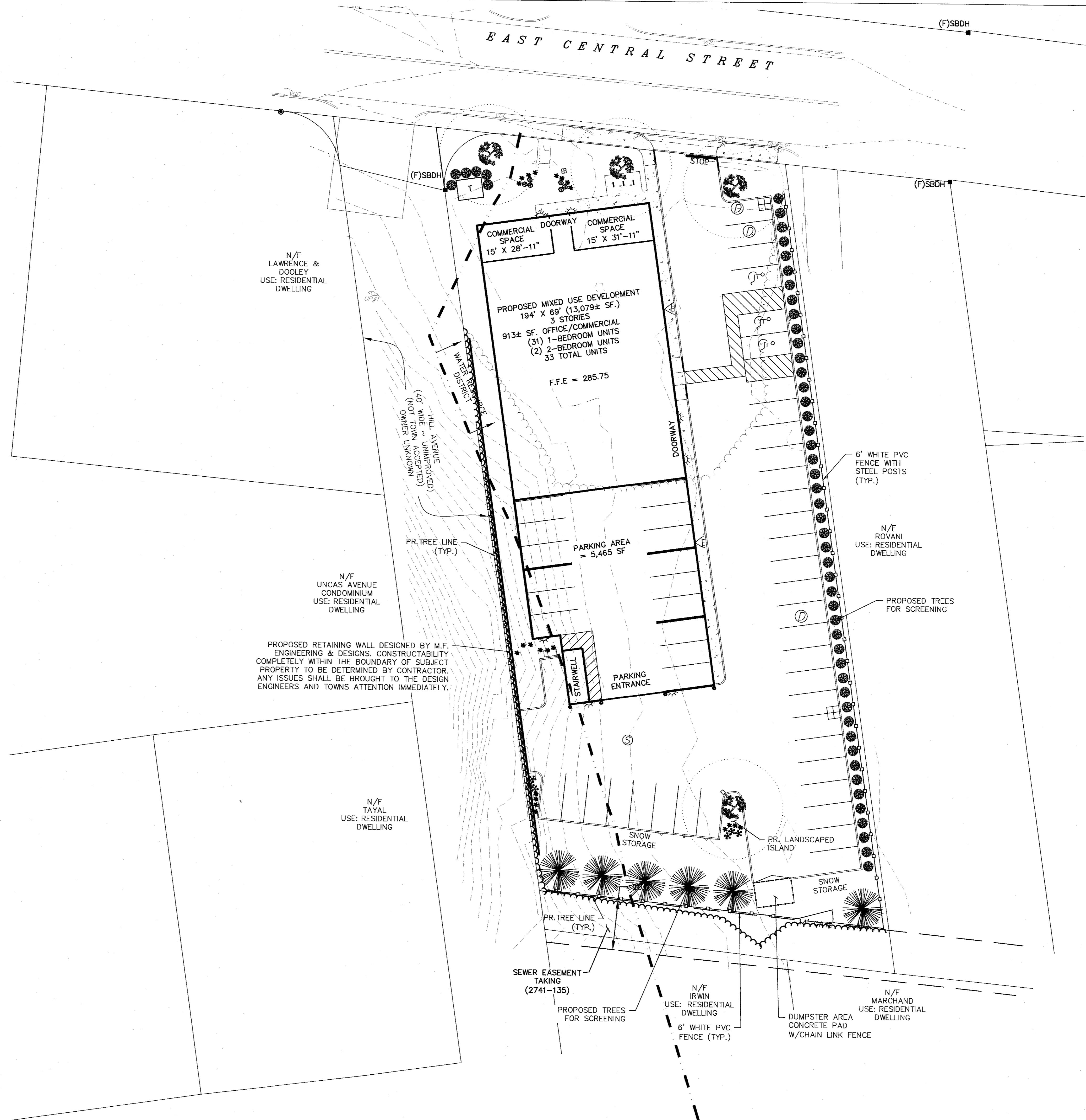
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SHEET **6 OF 12** JOB NO. **F4478**



PLANTING LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	RED MAPLE ACER RUBRUM MATURE HEIGHT= 40±" DIA.=40±"	4' MIN. 2.5" CAL.	4
	JUNIPER PLUMROSA COMPACTA	3 GAL.	22
	HERMOCADIS DAYLILIES	2 GAL.	6
	RHODODENDRON RHODODENDRON-KEISKEI	3 GAL.	6
	PYRAMIDAL ARBORVITAE THUJA OCCIDENTALIS PYRAMIDALIS MATURE HEIGHT TO 25±" DIA.=4±"	3 GAL.	53
	GREEN GIANT ARBORVITAE THUJA STANDISHII X Plicata MATURE HEIGHT TO 60" DIA. TO 20"	4' MIN. 2.5" CAL.	6

LEGEND			
	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS METER		PROP. STREET LIGHTING
	GAS SHUT OFF VALVE		SPOT ELEVATION
	WATER VALVE		RIPRAP
	WATER SHUT OFF VALVE		PVC FENCE
	FIRE HYDRANT		VCC - VERTICAL CONCRETE CURB
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		
	EXISTING GAS LINE		
	EXISTING SEWER LINE		



9/19/22

ROBERT J. DUFF  
No. 49611  
REGISTERED PROFESSIONAL ENGINEER

9-19-2022

ROBERT J. DUFF  
No. 49611  
REGISTERED PROFESSIONAL ENGINEER

F4478

APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD

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BEING A MAJORITY

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DEED BOOK 40009 PAGE 445  
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SITE PLAN & SPECIAL PERMIT  
230 EAST CENTRAL STREET  
FRANKLIN MASSACHUSETTS**

**LANDSCAPING PLAN**

**NOVEMBER 11, 2021**

DATE	REVISION DESCRIPTION
01/17/22	TOWN COMMENTS - REV1
01/28/22	TOWN COMMENTS - REV2
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05/31/22	TOWN COMMENTS - REV5
7/14/22	TOWN COMMENTS - REV6
9/12/22	ENDORSEMENT PLAN SET

GRAPHIC SCALE: 1"=20'

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FRANKLIN, MA 02038 FX. (508) 528-7921  
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THIS PHOTOMETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED UTILIZING INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND THE SOFTWARE PACKAGE SIMPLY OUTDOOR. ITS VALUES SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERIFIED BY THE LUMIN MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINATION VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAMP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN SPECIFICALLY NOTED HEREON.

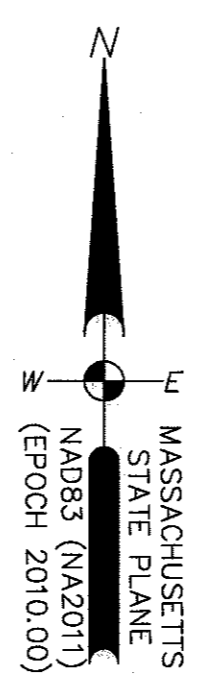
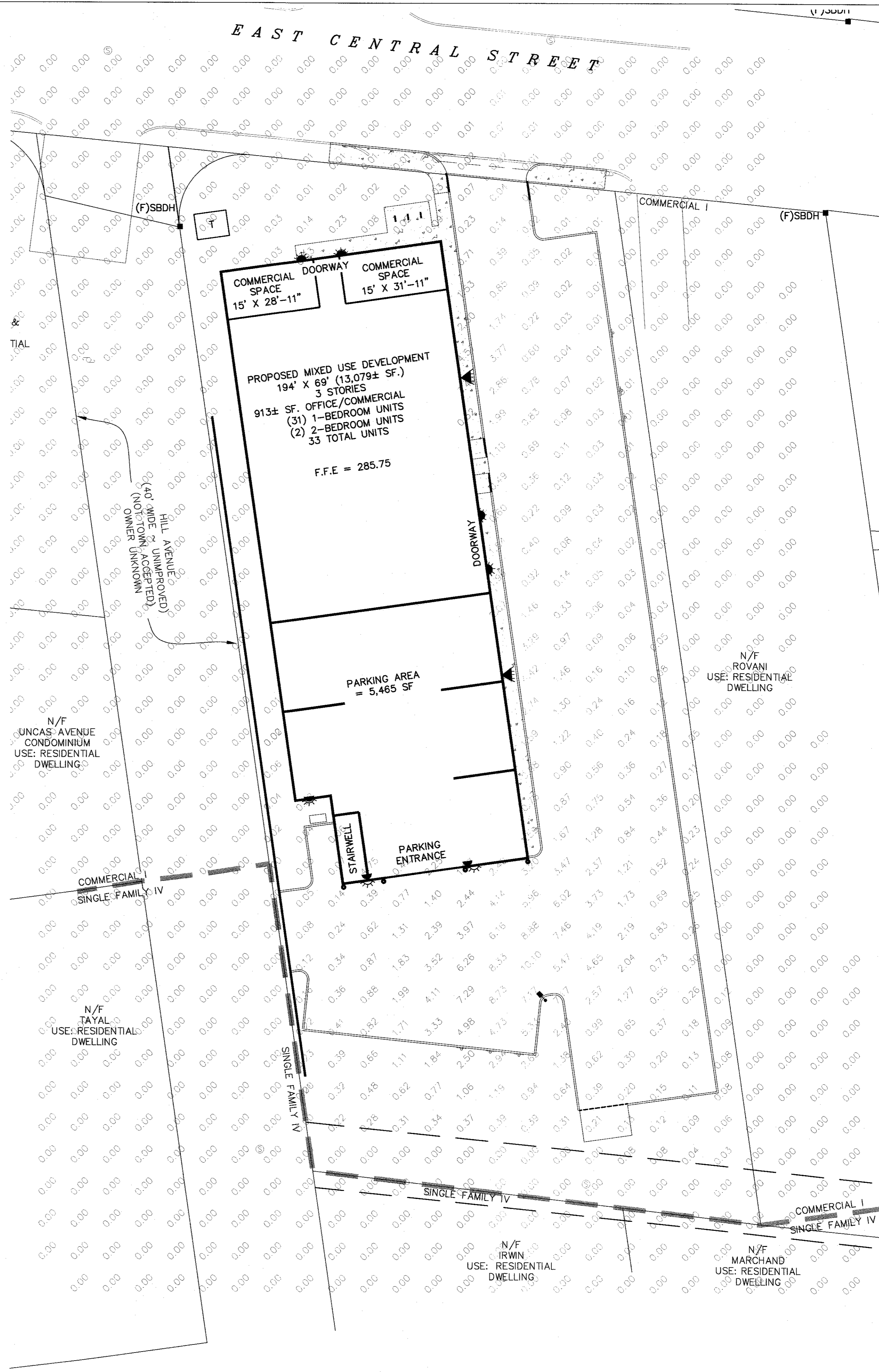
GERRIERE & HALNON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS WHICH MAY OCCUR AFTER INSTALLATION.

**LIGHT LEGEND**

- PEDESTRIAN LIGHTING—LITHONIA LIGHTING MODEL OLLWD—LED WALL CYLINDER LIGHT MOUNTING HEIGHT 6.5'
- SECURITY LIGHTING—LITHONIA LIGHTING MODEL WSR LED ARCHITECTURAL WALL SCONCE MOUNTING HEIGHT 9.5'
- PARKING LIGHTING—LITHONIA LIGHTING MODEL ESX1 LED AREA LUMINAIRE MOUNTING HEIGHT 20'

**LEGEND**

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
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	FIRE HYDRANT		VCC - VERTICAL CONCRETE CURB
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		
	EXISTING GAS LINE		
	EXISTING SEWER LINE		



### D-Series Size 1 LED Wall Luminaire

**Specifications Luminaire**

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		

**Back Box (BBW, E20WC)**

Width:	13-3/4" (34.9 cm)	Weight:	5 lbs (2.3 kg)
Depth:	4" (102 mm)	Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		

**Introduction**

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

### ESX1 LED Area Luminaire

**Specifications**

EPA	0.40 ft <sup>2</sup> (0.04 m <sup>2</sup> )
Length:	19.9" (50.5 cm)
Width:	12" (30.5 cm)
Height:	2.9" (7.4 cm)
Weight:	11.2 lbs (5.1 kg)

**Introduction**

The ESX LED area luminaire provides the combination of best product, best price and best delivery. ESX is ideal for one-for-one replacement of HID area lighting and provides up to 76% energy savings, long service life and fast payback.

The ESX1 delivers 8,000 to 25,000 lumens allowing it to replace 150W to 400W HID luminaires. All ESX luminaires feature adjustable light output, providing two light levels from one product, allowing greater flexibility in the field and on distributors' shelves.

All luminaires feature a reversible arm that allows for mounting on both round and square poles. Eight configurations of ESX1 luminaires are stocked in Acuity Brands distribution centers.

### PEDESTRIAN LIGHTING

**FEATURES & SPECIFICATIONS**

**OLLWD & OLLWU LED WALL CYLINDER LIGHT**

**Introduction**

The OLLWD and OLLWU LED wall cylinder lights are designed for use in a variety of applications, including pedestrian lighting, security lighting, and general area lighting. They feature a sleek, modern design and are engineered for long-lasting, energy-efficient performance.

The OLLWD and OLLWU LED wall cylinder lights are available in two sizes: 6.5" and 9.5". They are made of high-quality materials and are designed to withstand harsh weather conditions.

The OLLWD and OLLWU LED wall cylinder lights are easy to install and maintain. They feature a simple, modular design that allows for quick installation and replacement of the light source.

The OLLWD and OLLWU LED wall cylinder lights are a reliable, low-maintenance lighting solution for a wide range of applications.

9/19/22

11/19/2022

F4478

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DEED BOOK 40009 PAGE 445  
ASSESSORS MAP 285 LOT 069

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**PHOTOMETRIC PLAN**

**NOVEMBER 11, 2021**

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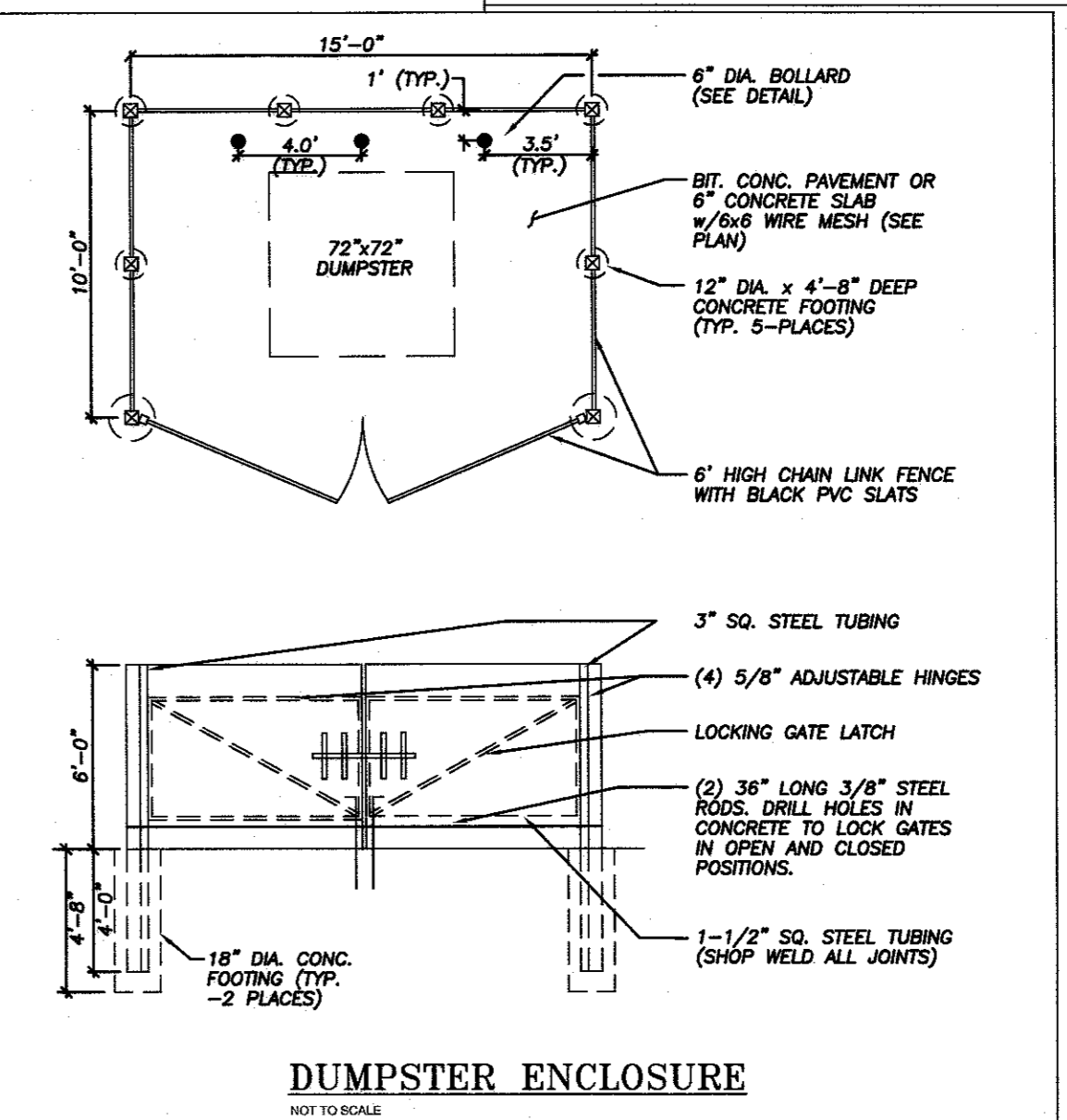
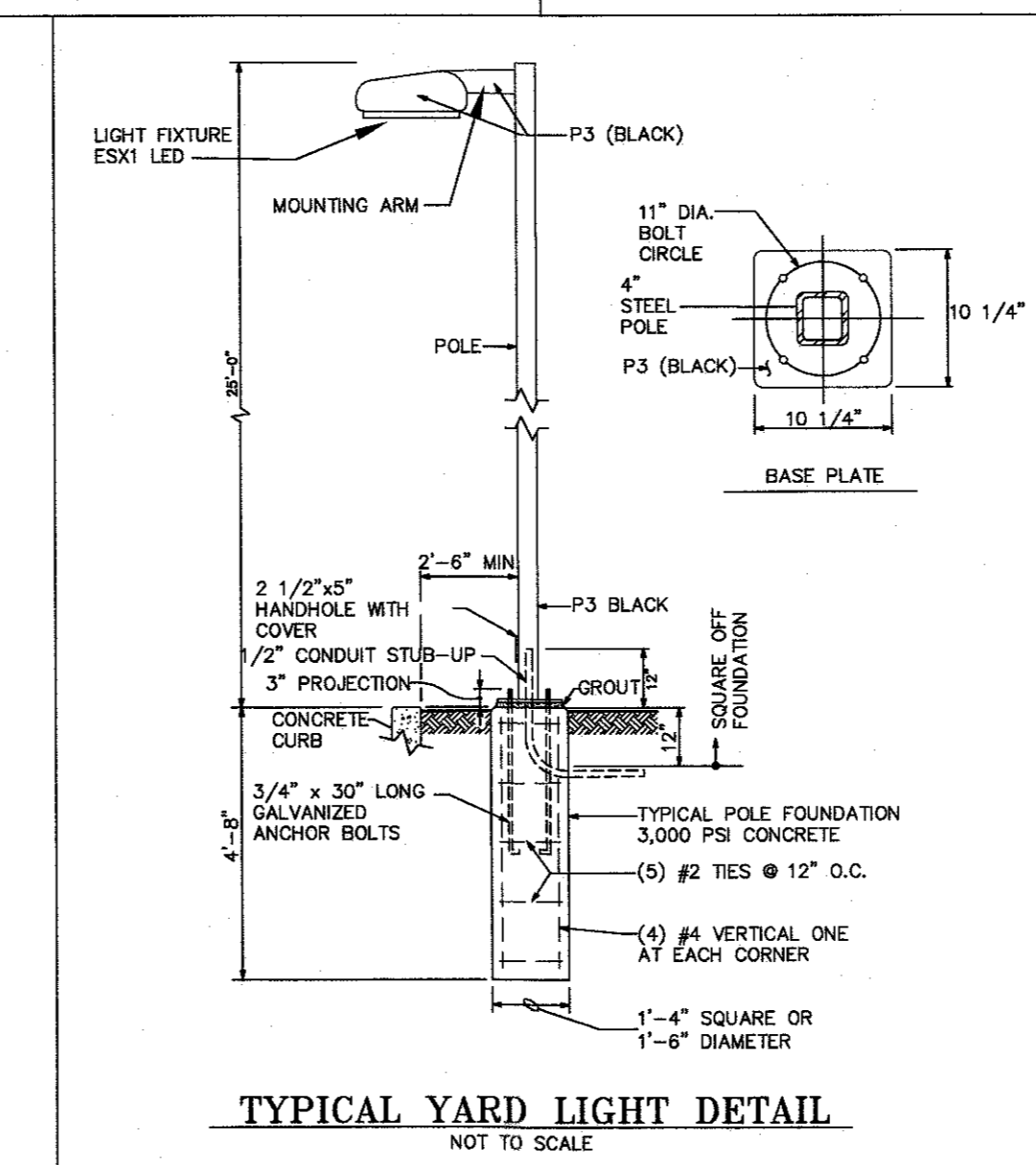
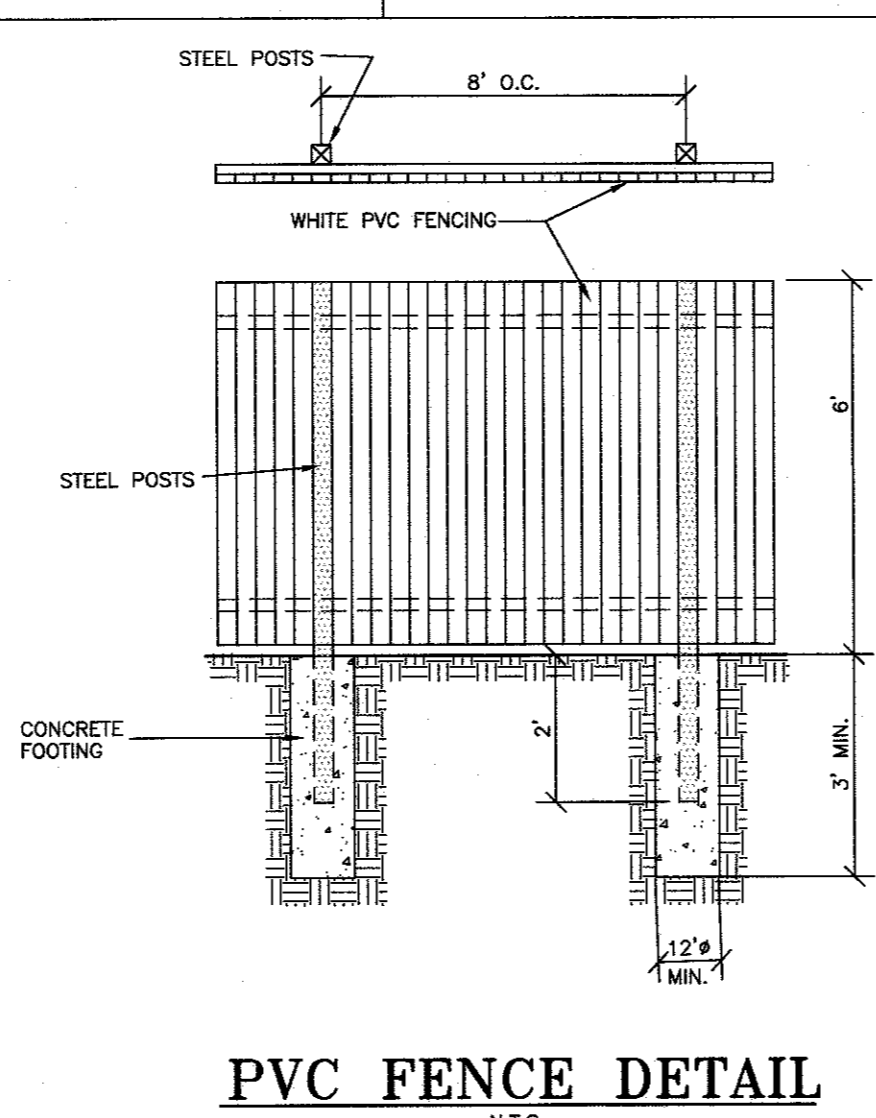
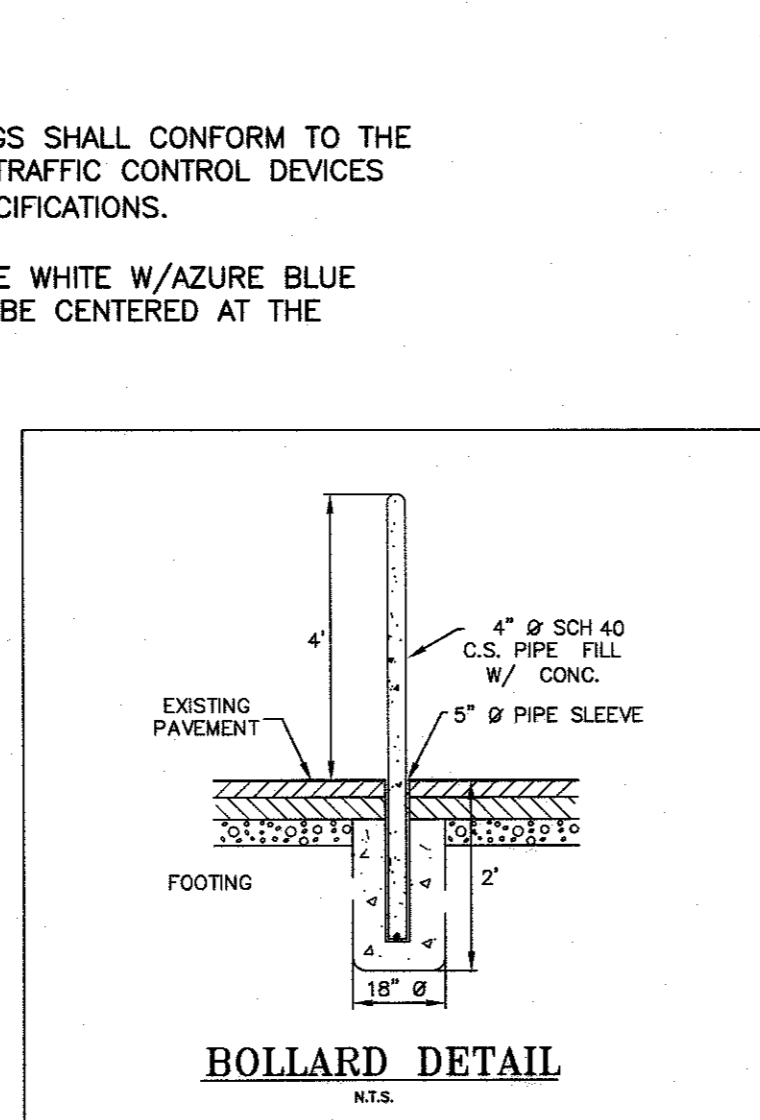
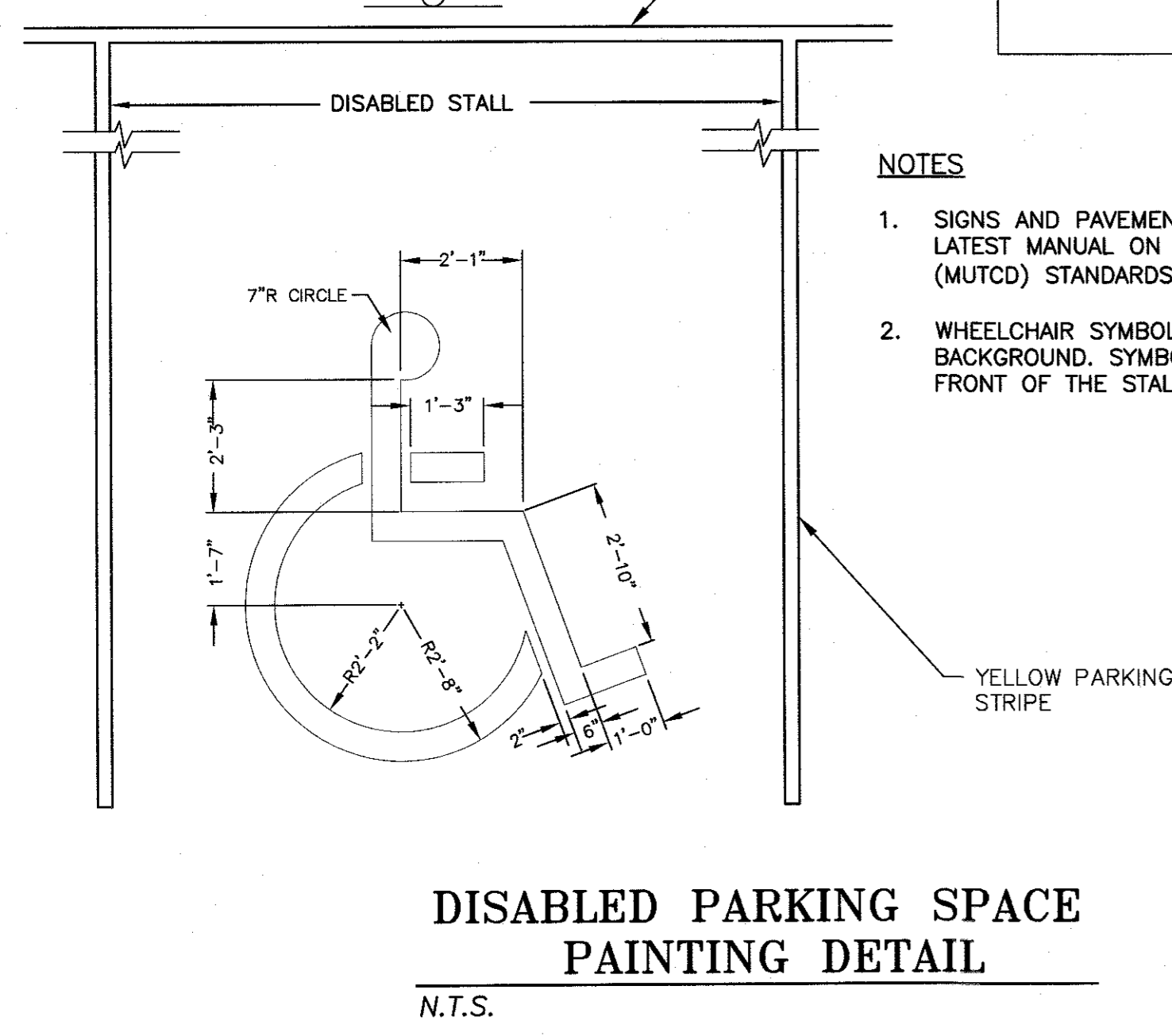
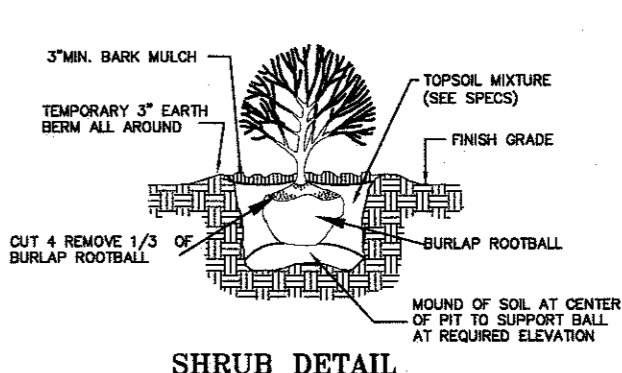
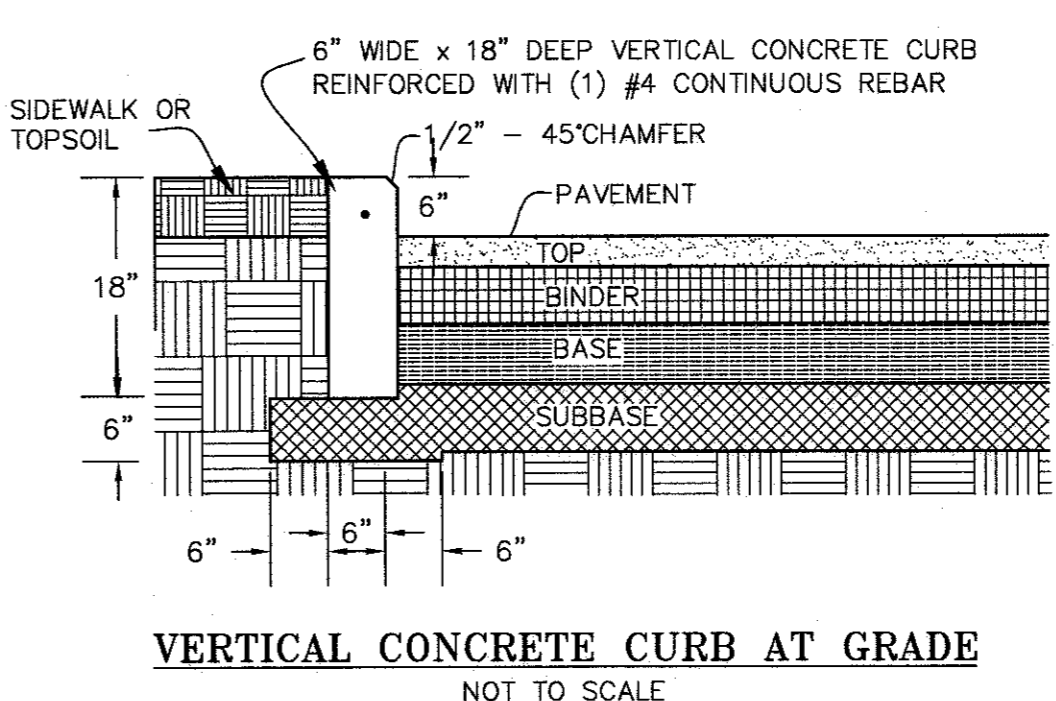
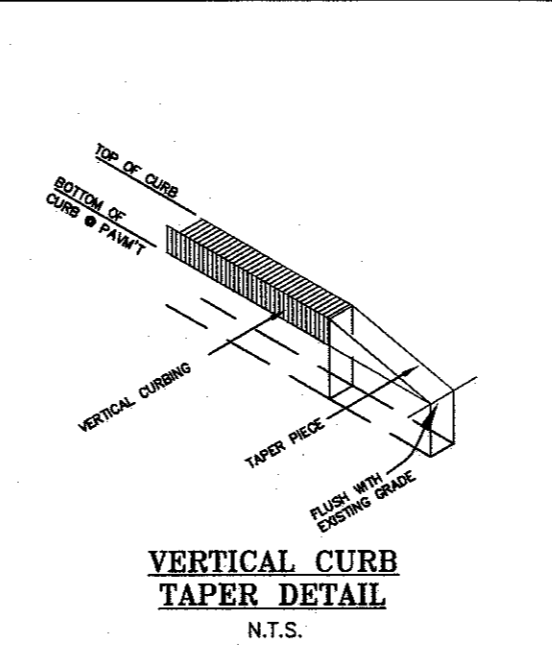
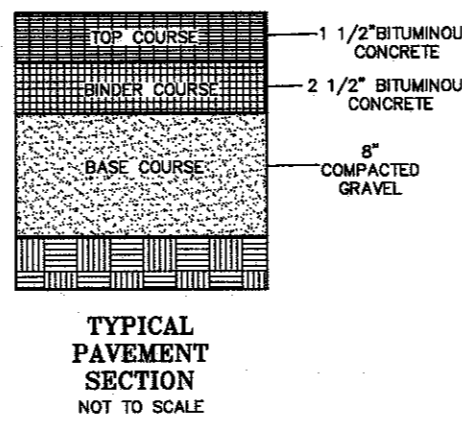
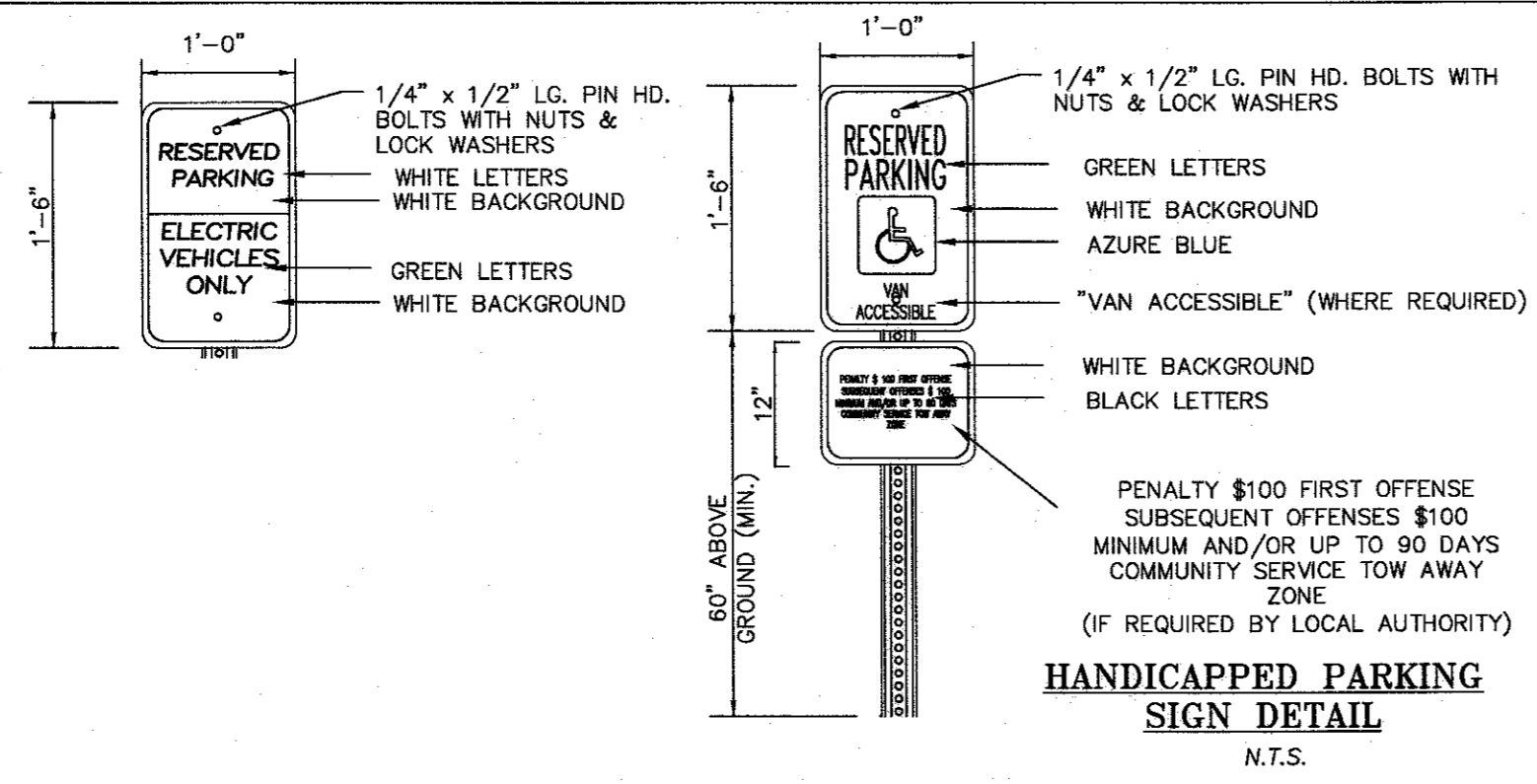
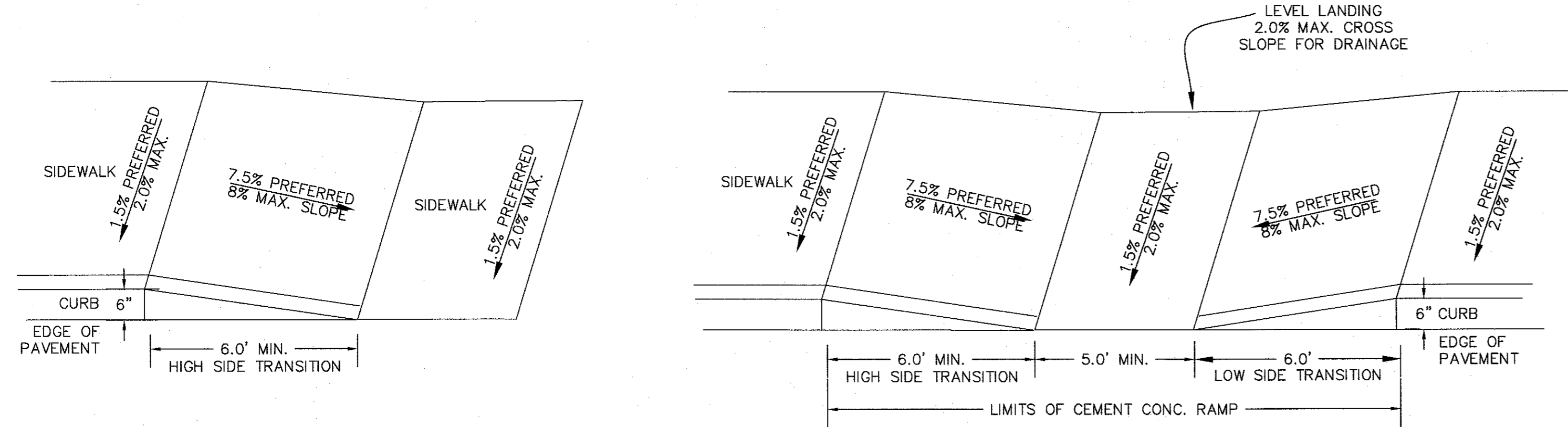
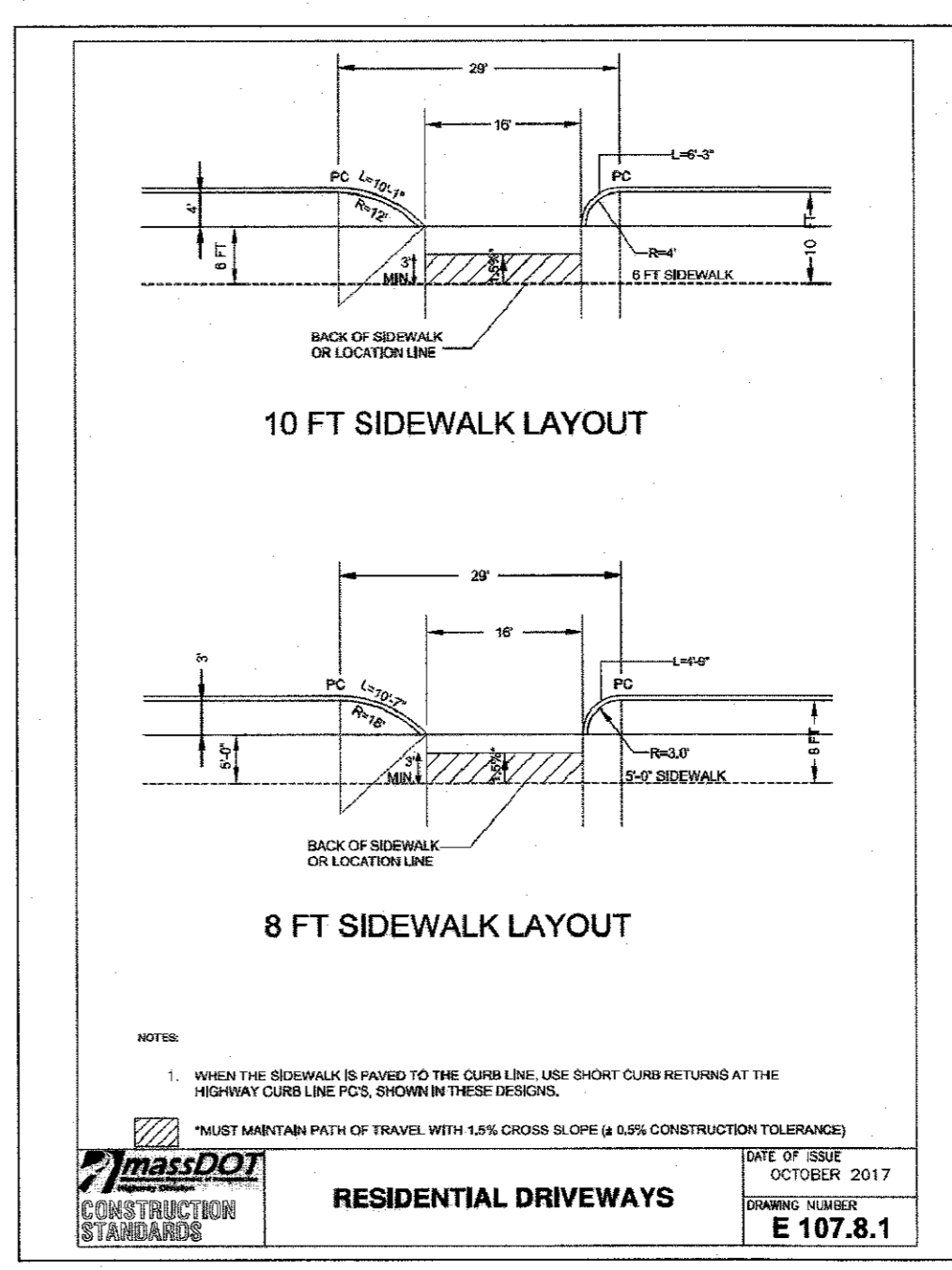
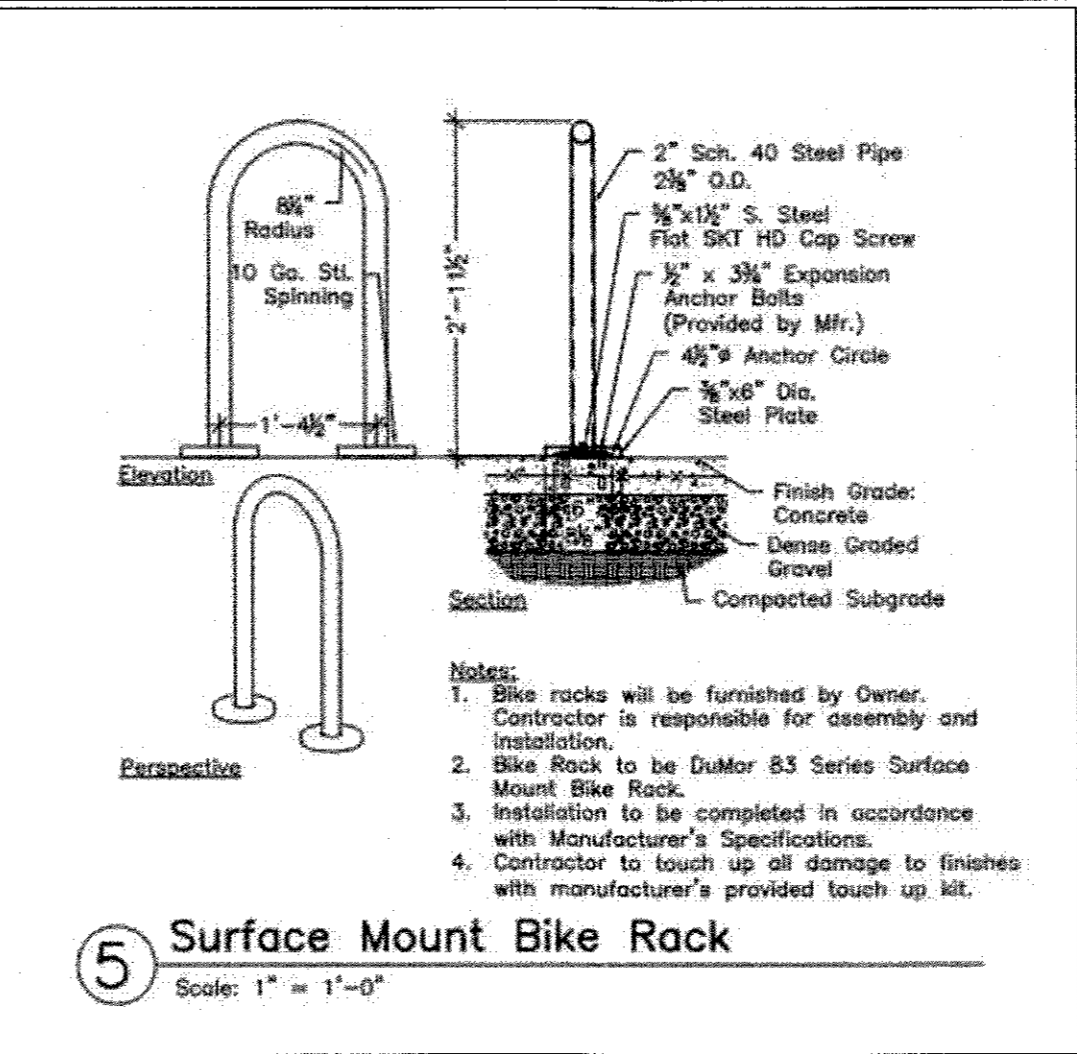
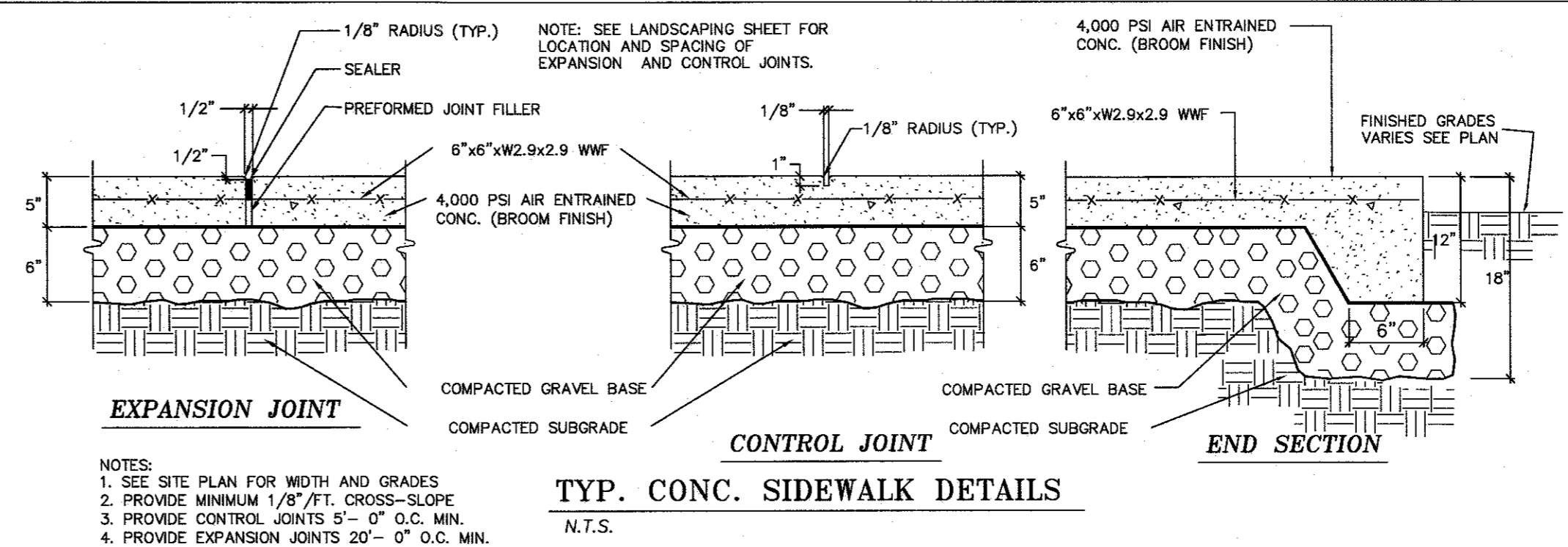
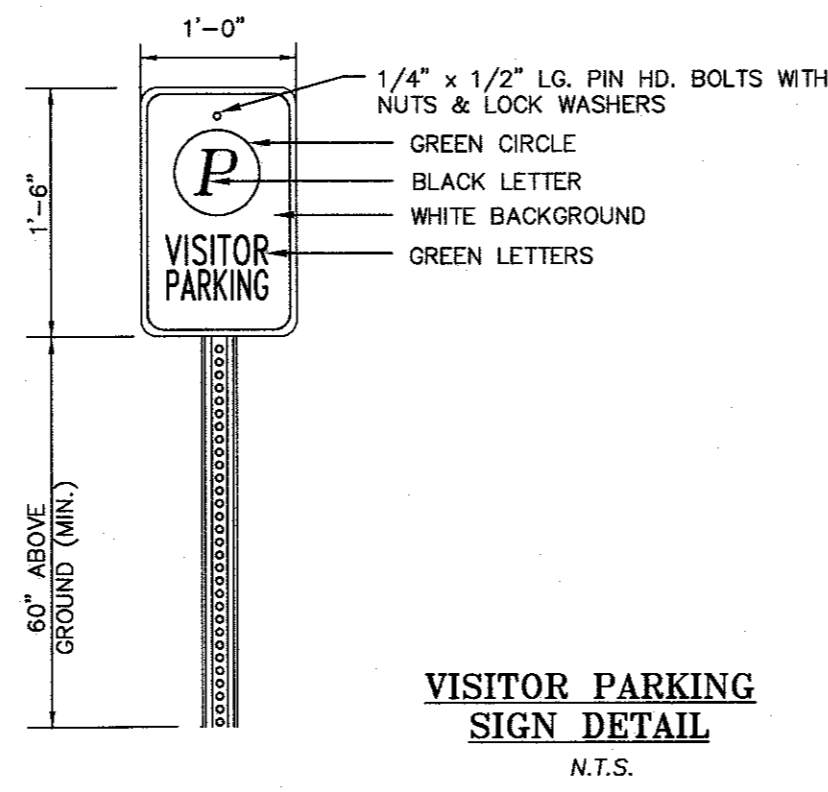
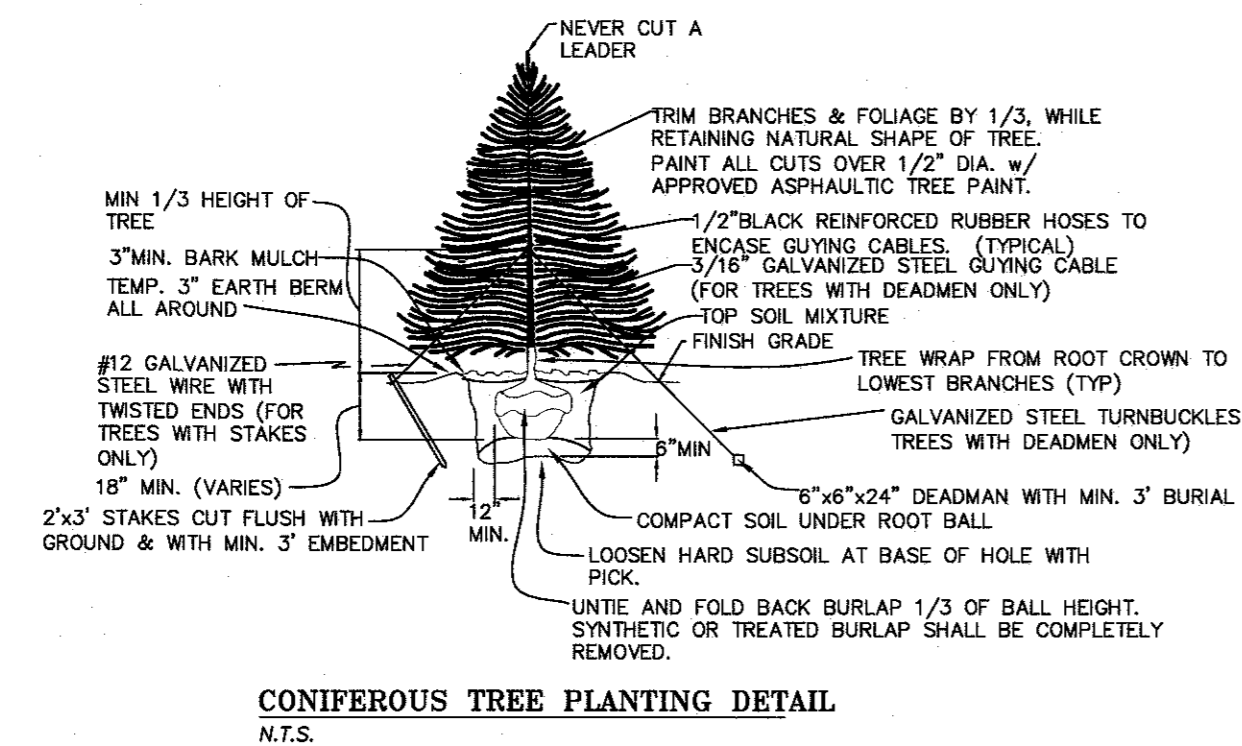
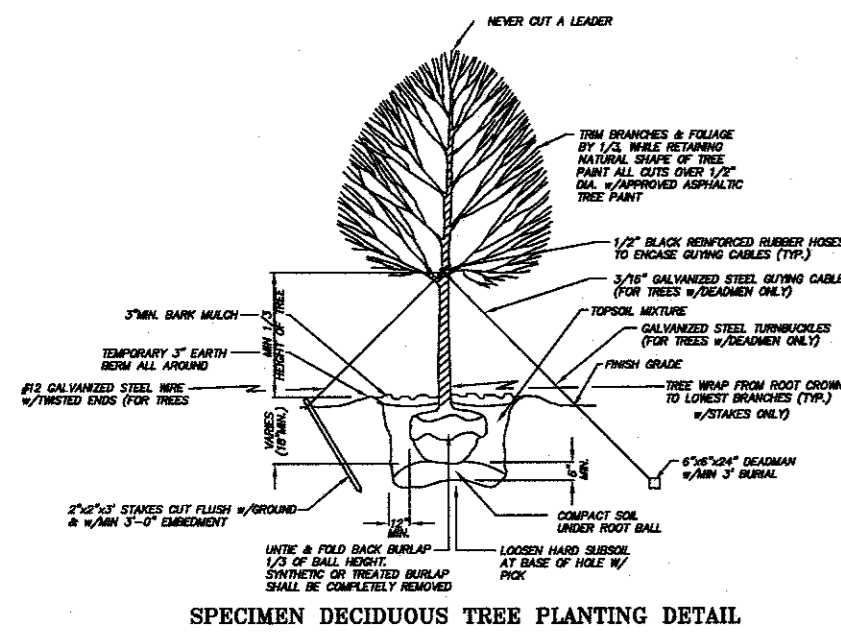
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SHEET **8 OF 12** JOB NO. **F4478**



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230 EAST CENTRAL STREET  
FRANKLIN MASSACHUSETTS**

**CONSTRUCTION DETAILS**  
**NOVEMBER 11, 2021**

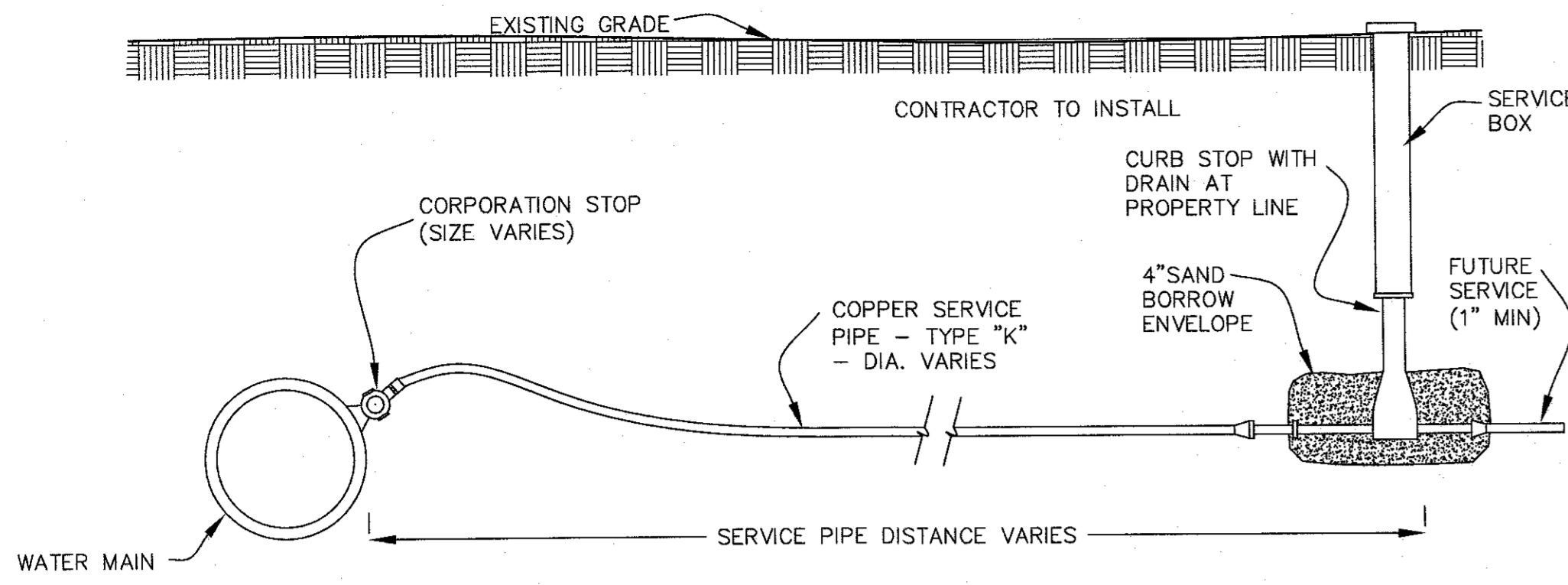
DATE	REVISION DESCRIPTION
01/17/22	TOWN COMMENTS - REV1
01/28/22	TOWN COMMENTS - REV2
02/17/22	TOWN COMMENTS - REV3
04/12/22	ADDED RET. WALL - REV4
05/31/22	TOWN COMMENTS - REV5
7/14/22	TOWN COMMENTS - REV6
9/12/22	ENDORSEMENT PLAN SET

**Guerriere & Halon, Inc.**  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com

SHEET **9 OF 12** JOB NO. **F4478**

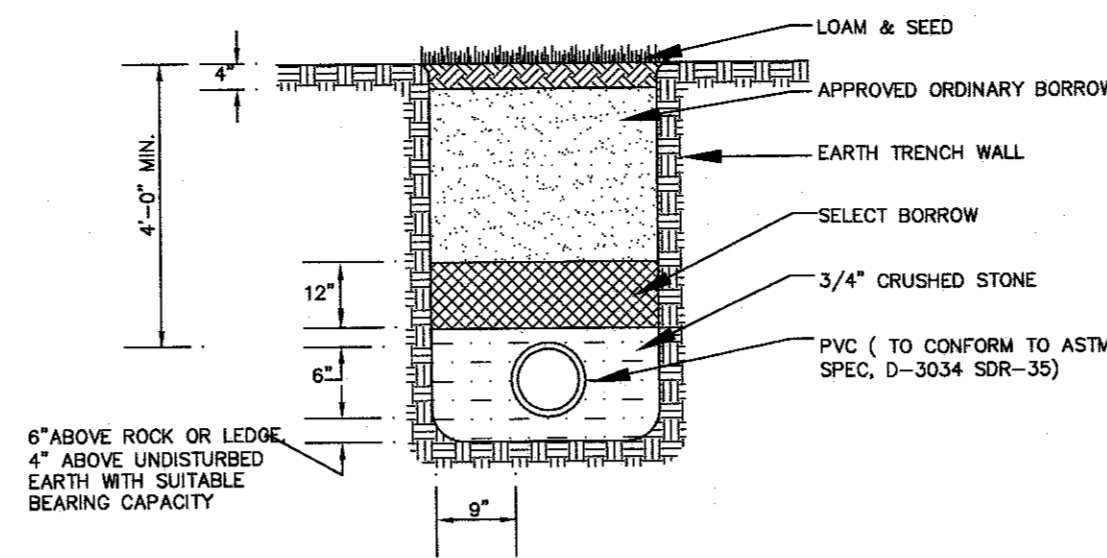


F4478

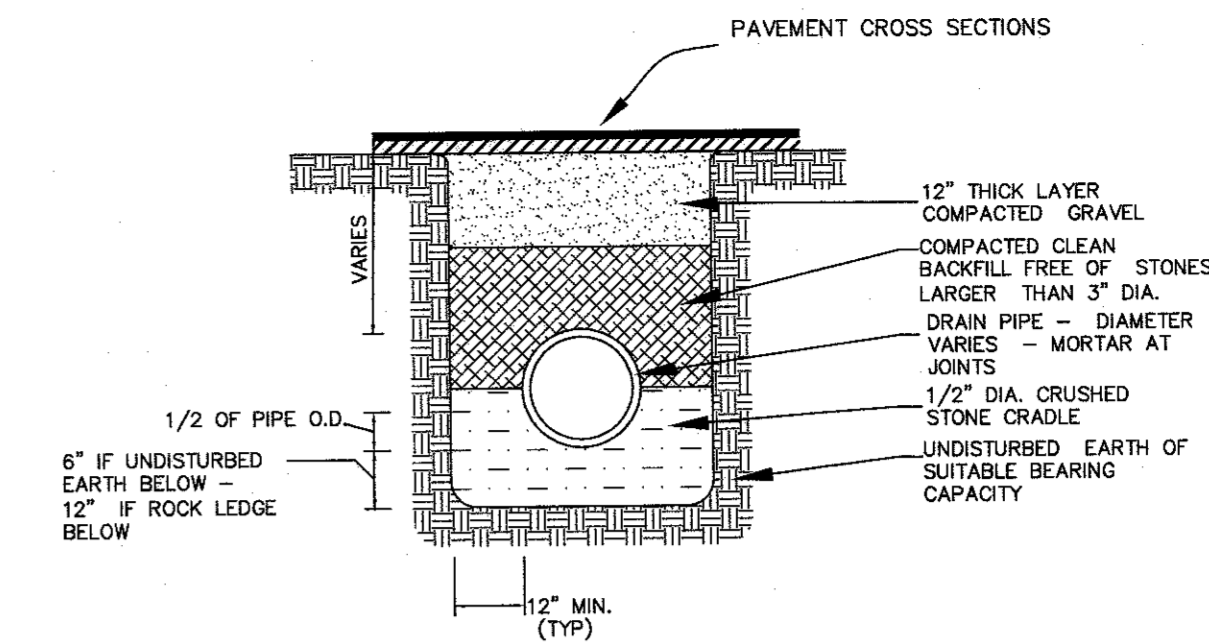


TYPICAL SERVICE CONNECTION NOT TO SCALE

- NOTE:**
- CORPORATION COCKS SHALL BE BRONZE AND SHALL BE THE APPROVED EQUAL OF MUELLER VALVE CO., DECATUR, ILL. OR FORD METER BOX CO., WABASH, IND., FOR COPPER SERVICE TUBE. END JOINTS SHALL BE COMPRESSION FITTINGS.
  - CURB STOPS SHALL BE BRONZE WITH A LAPPED GROUND KEY, AND SHALL BE THE APPROVED EQUAL OF MUELLER VALVE CO., DECATUR, ILL. OR FORD METER BOX CO., WABASH, IND. FOR COPPER TUBE SERVICE, COMPRESSION JOINT.



TYPICAL P.V.C. TRENCH SECTION NOT TO SCALE



TYPICAL RCP TRENCH SECTION NOT TO SCALE

APPROVED DATE: FRANKLIN PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIGSAFE{7233}.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

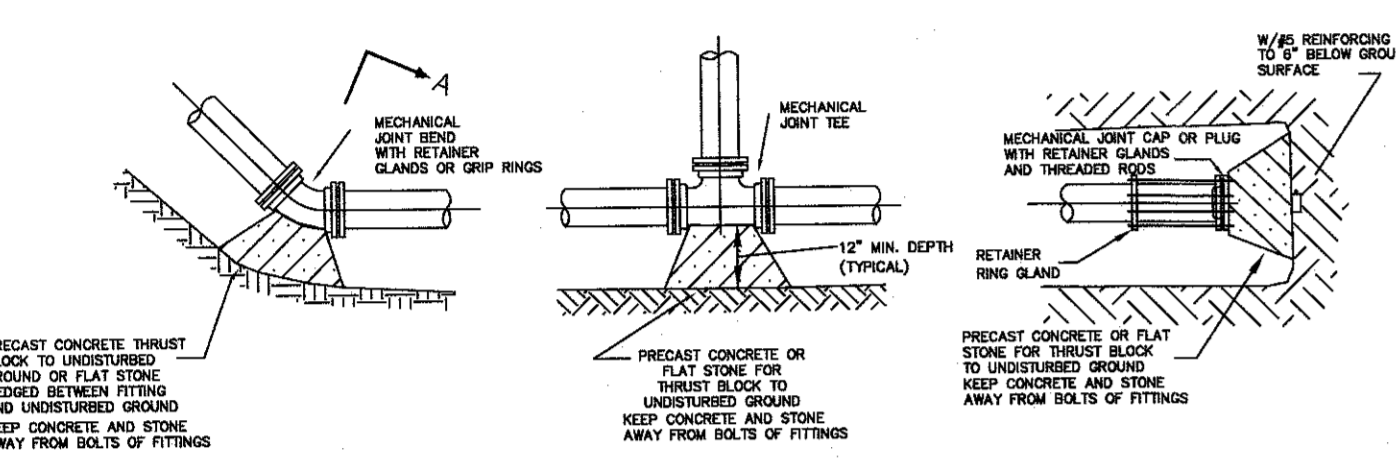
OWNER TAJ ESTATES OF FRANKLIN II, LLC 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581 DEED BOOK 40099 PAGE 445 ASSESSORS MAP 285 LOT 069 OWNER/APPLICANT MOHIUDDIN AHMED 95 MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

TAJ ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS

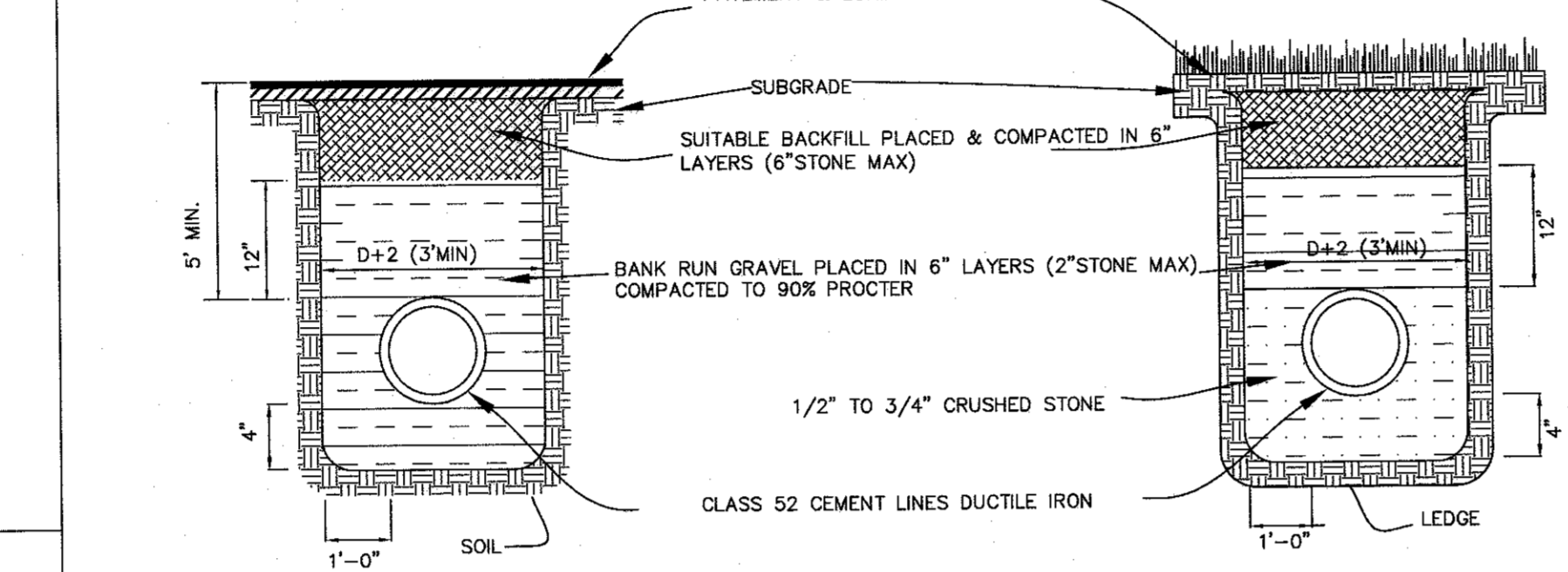
CONSTRUCTION DETAILS

NOVEMBER 11, 2021

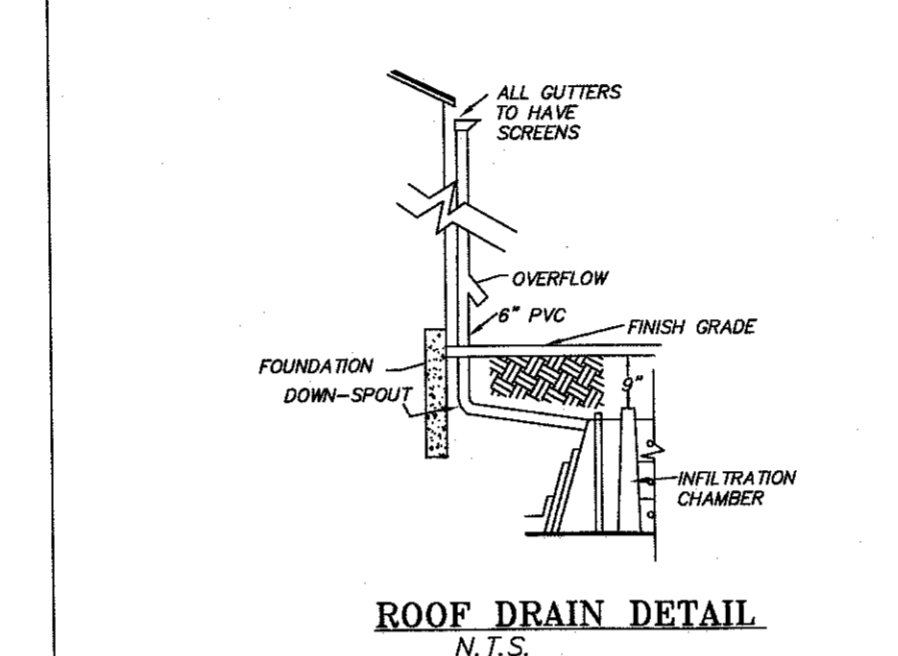
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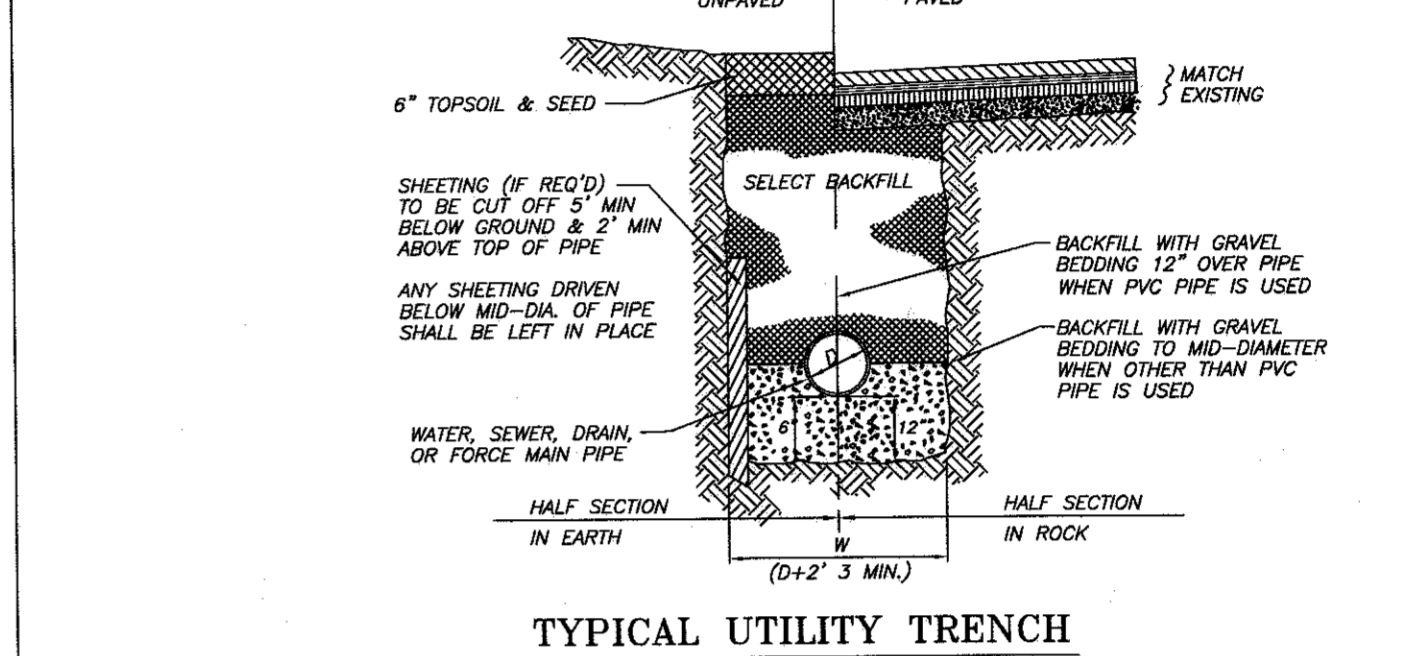
TYPICAL THRUST BLOCK DETAILS NOT TO SCALE



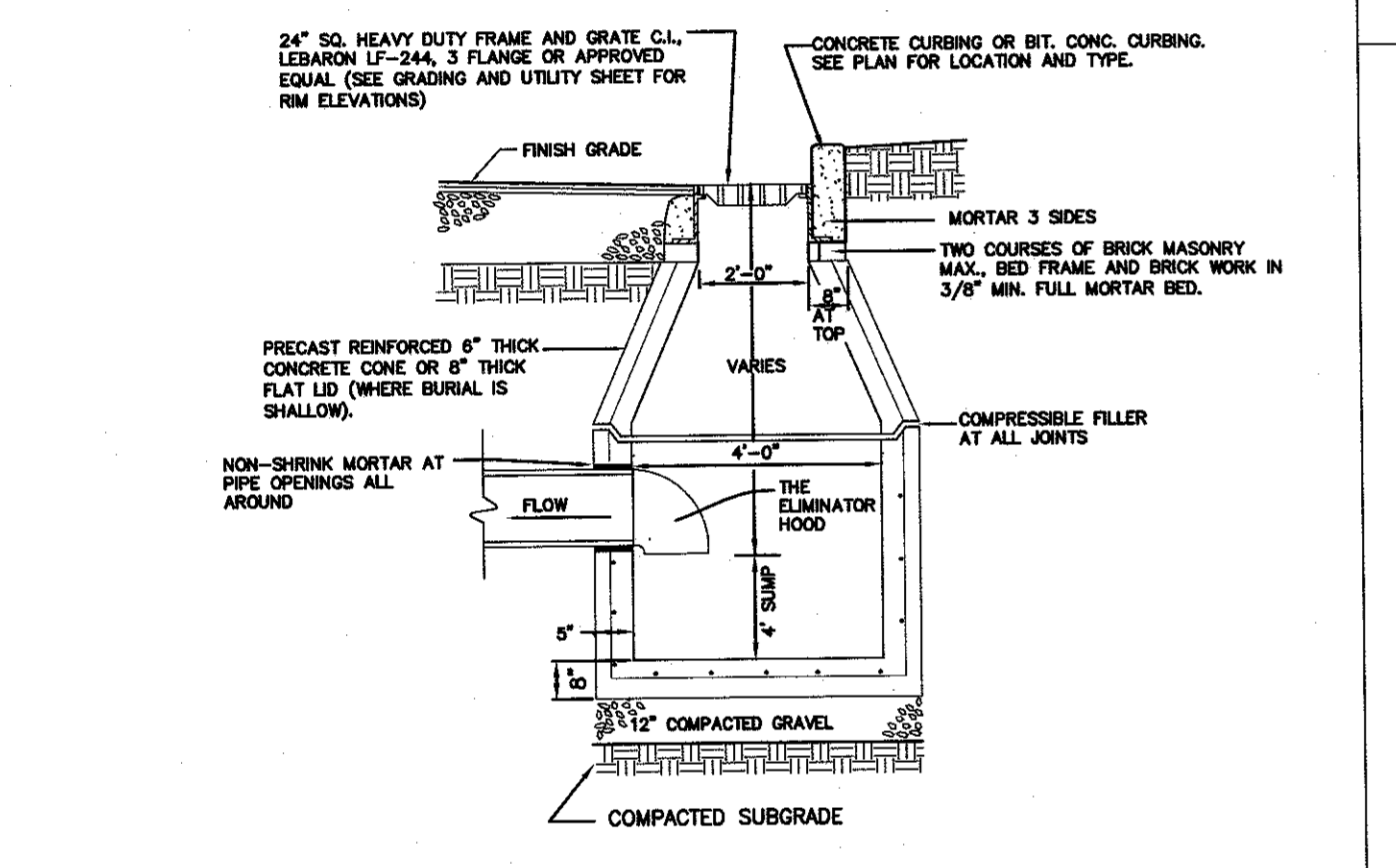
TYPICAL TRENCH SECTION FOR D.I. WATER MAIN (TYPE 5 BEDDING AWWAC-600)



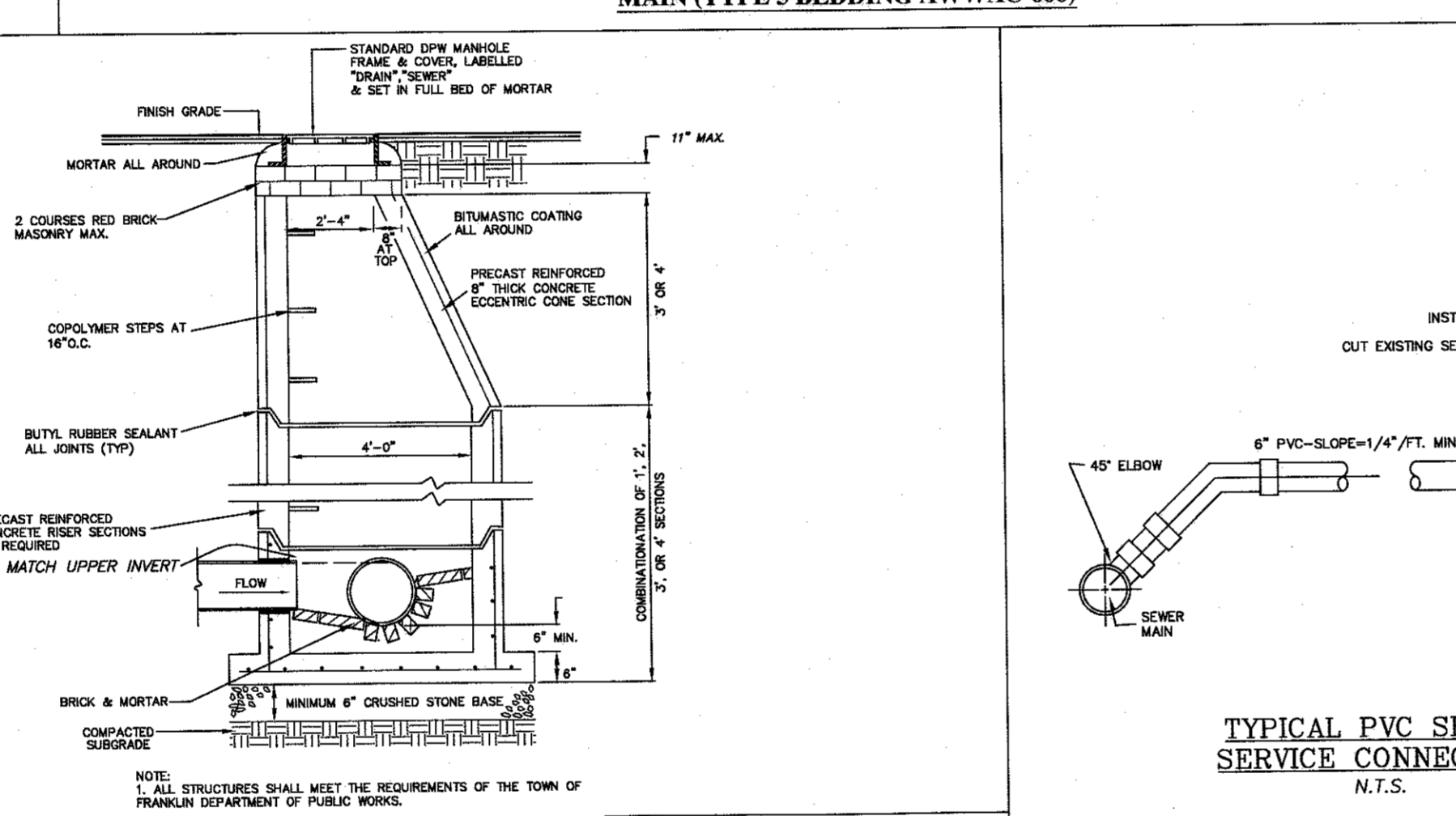
ROOF DRAIN DETAIL N.T.S.



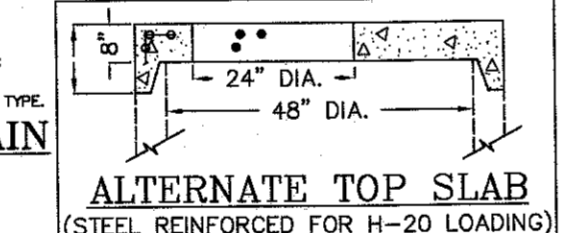
TYPICAL UTILITY TRENCH N.T.S.



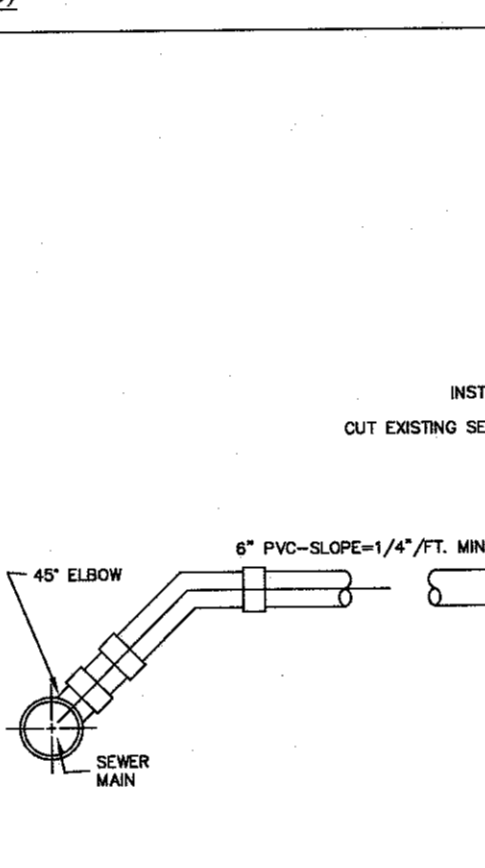
TYP. PRECAST CONCRETE CATCH BASIN DETAIL NOT TO SCALE



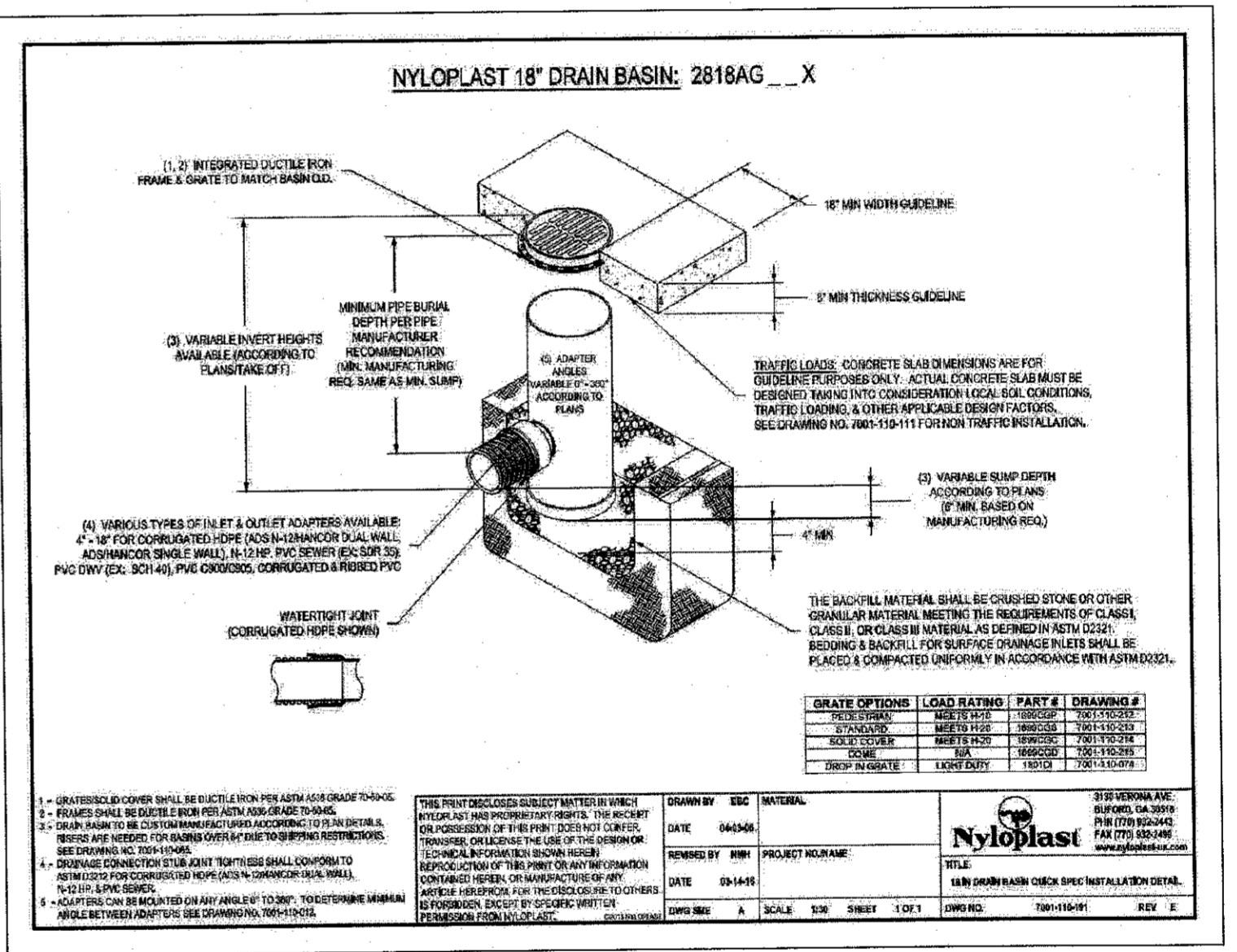
PRECAST CONCRETE DRAIN MANHOLE NOT TO SCALE



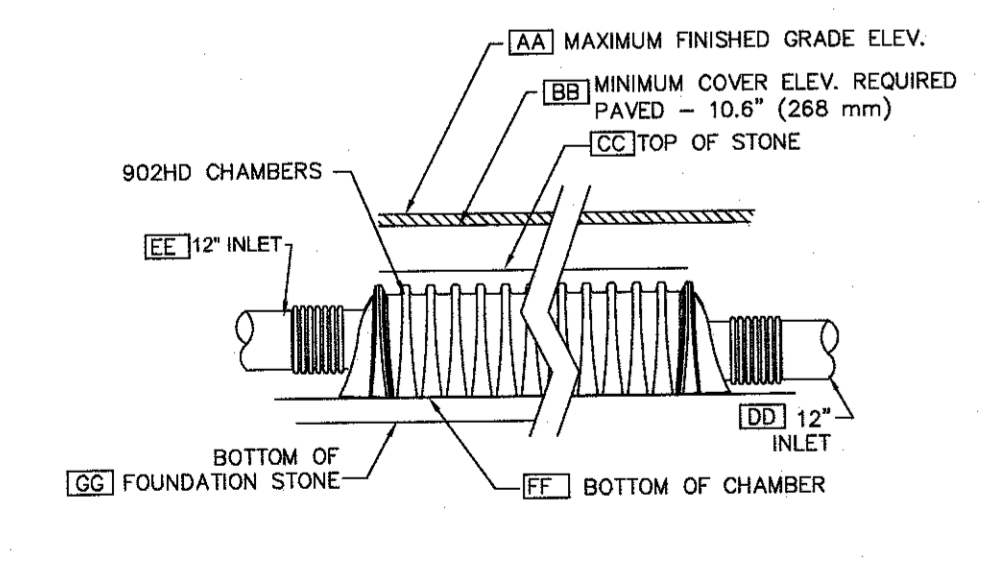
ALTERNATE TOP SLAB (STEEL REINFORCED FOR H-20 LOADING)



TYPICAL PVC SEWER SERVICE CONNECTION N.T.S.



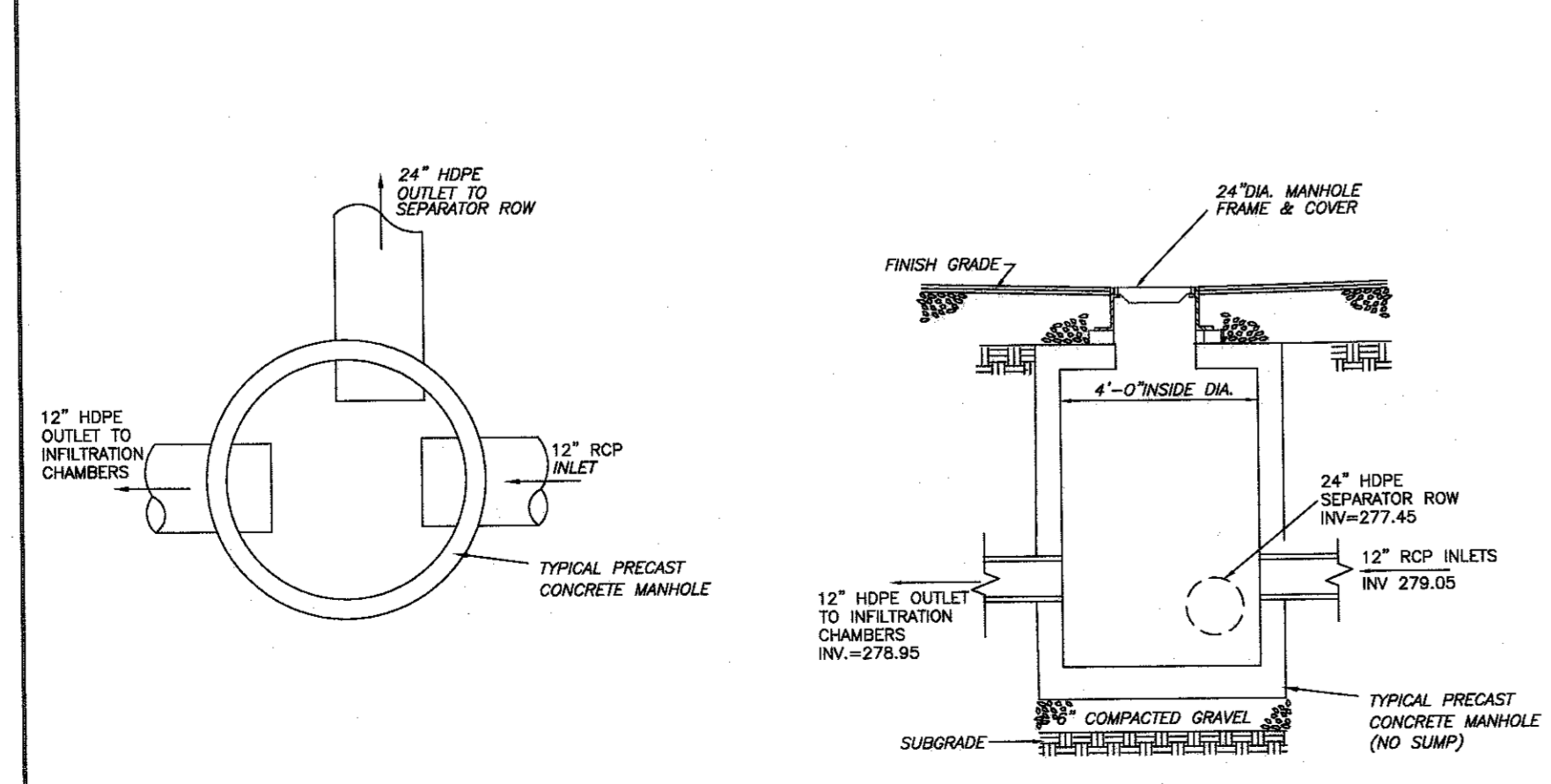
NYLOPLAST 18\"/>



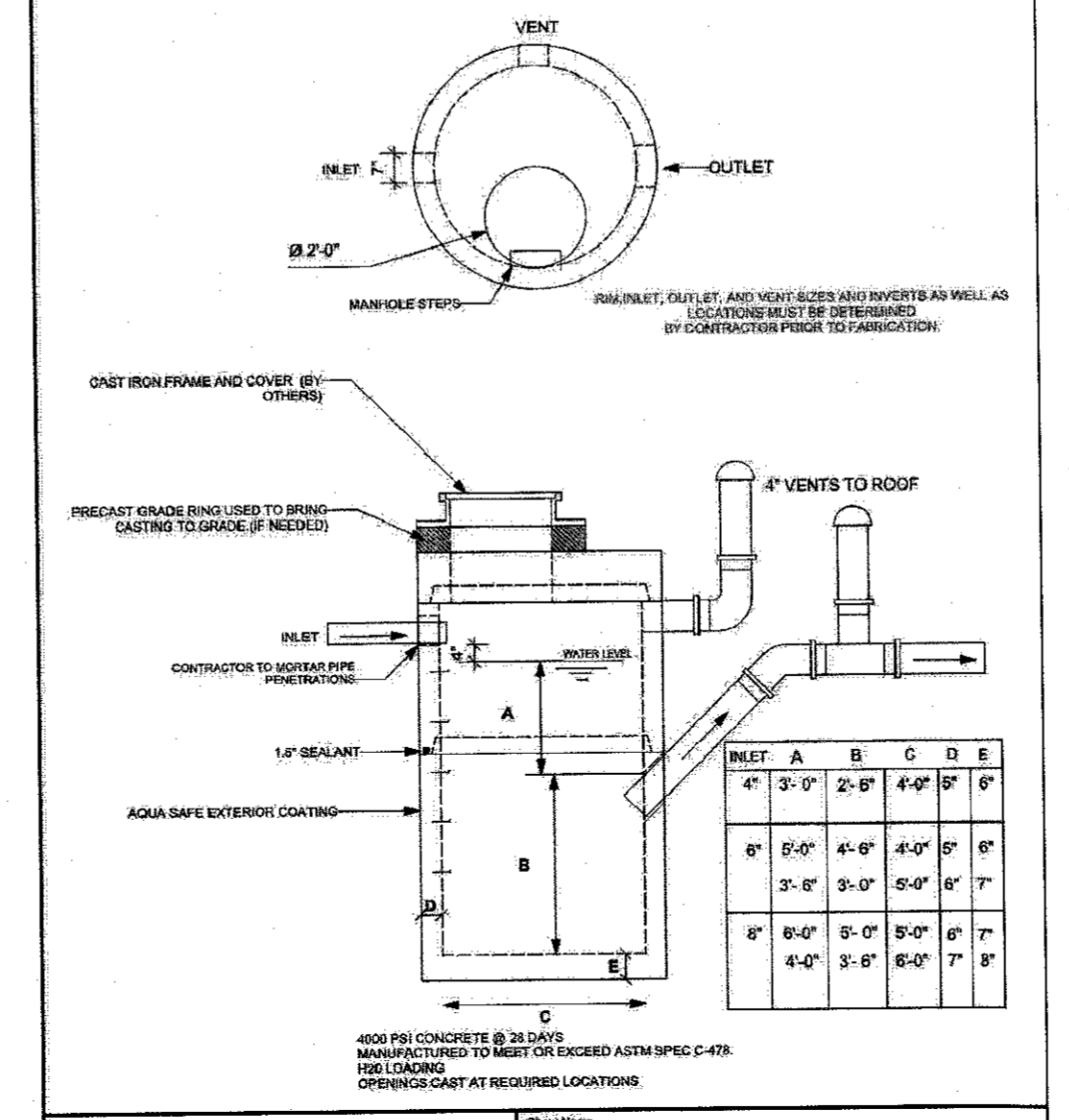
AA	MAXIMUM FINISHED GRADE ELEV.	285.05
BB	MINIMUM COVER ELEV. REQUIRED "PAVED" - 10.6\" (268 mm)	283.70
CC	TOP OF STONE	282.45
DD	12\" OUTLET	278.95
EE	12\" INLET	278.95
FF	BOTTOM OF CHAMBER	277.45
GG	BOTTOM OF FOUNDATION STONE	276.70
HH	ESTIMATED GROUNDWATER	N/A

- NOTES:**
- CHAMBERS ARE TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS, SEE STORMWATER REPORT FOR INSTALLATION INSTRUCTIONS AND DETAILS.
  - ISOLATOR ROW TO BE PROVIDED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

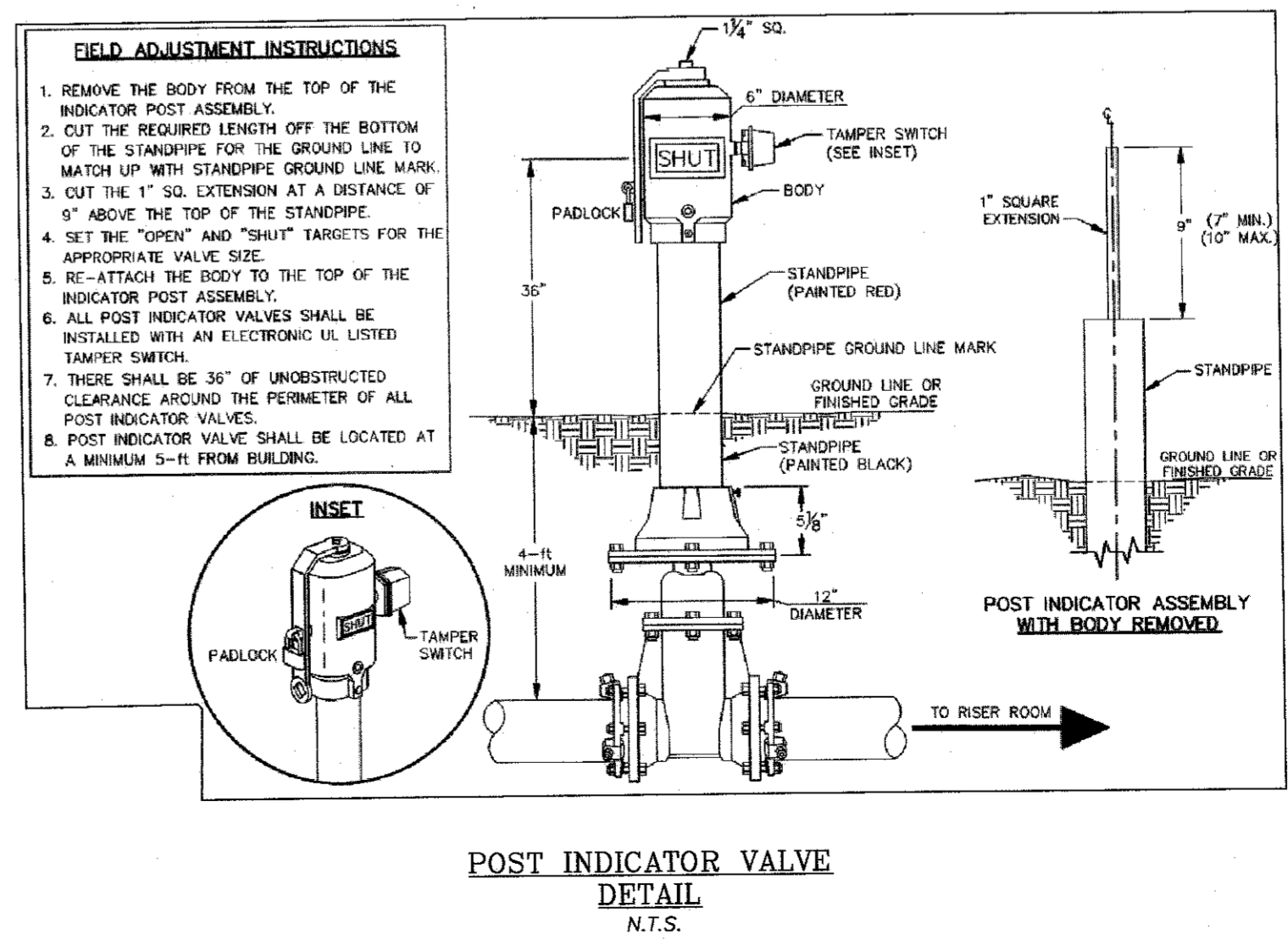
CULTEC 902HD CHAMBER SYSTEM ELEVATIONS NOT TO SCALE



DIVERSION MANHOLE (DMH#2 AND DMH#3) N.T.S.



MBO PRECAST, INC. 4 MARION DR. CARVER MA. 02330 PH: 508-866-6900 FAX: 508-866-5282 www.mbprecast.com



POST INDICATOR VALVE DETAIL N.T.S.



CULTEC RECHARGER 902HD® SPECIFICATIONS

GENERAL
CULTEC RECHARGER® 902HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

- 1. THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. OR CANADA BY CULTEC, INC. OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416).
2. THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". THE LOAD CONFIGURATION SHALL INCLUDE:
A. INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
B. MAXIMUM PERMANENT (50-YEAR) COVER LOAD
C. 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD

- END CAP PARAMETERS
1. THE CULTEC RECHARGER® 902HD END CAP (REFERRED TO AS END CAP) SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, INC. OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416).
2. THE END CAP SHALL BE TWIN-SHEET THERMOFORMED OF VIRGIN HIGH MOLECULAR WEIGHT POLYETHYLENE.
3. THE END CAP SHALL BE JOINED AT THE BEGINNING AND END OF EACH ROW OF CHAMBERS USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS.

CULTEC HVLV FC-48 FEED CONNECTOR PRODUCT SPECIFICATIONS

GENERAL
CULTEC HVLV FC-48 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER MODEL 902HD STORMWATER CHAMBERS.

FEED CONNECTOR PARAMETERS

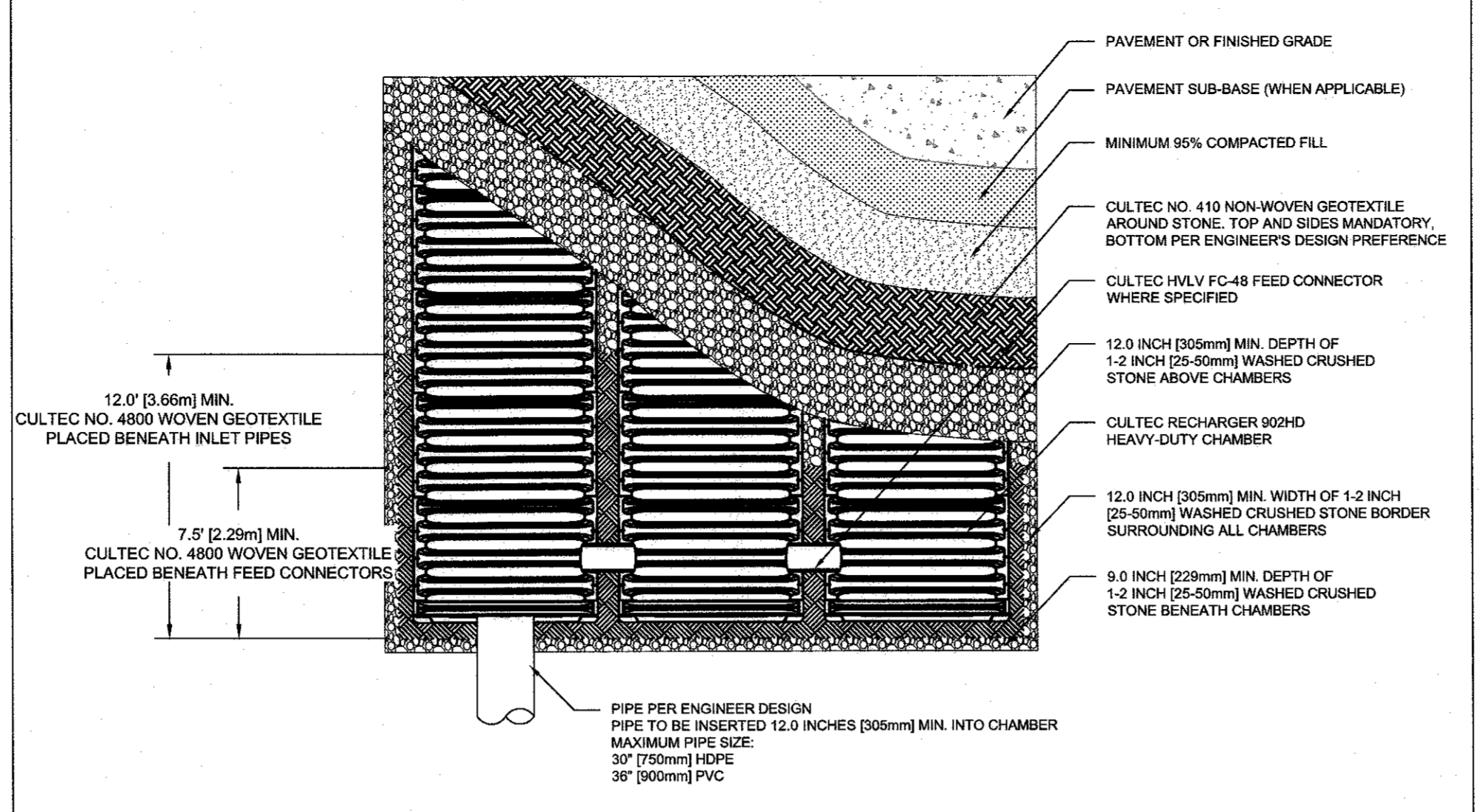
- 1. THE FEED CONNECTOR SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE FEED CONNECTOR SHALL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE).
3. THE FEED CONNECTOR SHALL BE ARCHED IN SHAPE.
4. THE FEED CONNECTOR SHALL BE OPEN-BOTTOMED.
5. THE NOMINAL DIMENSIONS OF THE CULTEC HVLV FC-48 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 18 INCHES (457 mm) WIDE AND 49 INCHES (1245 mm) LONG.

GEOTEXTILE PARAMETERS

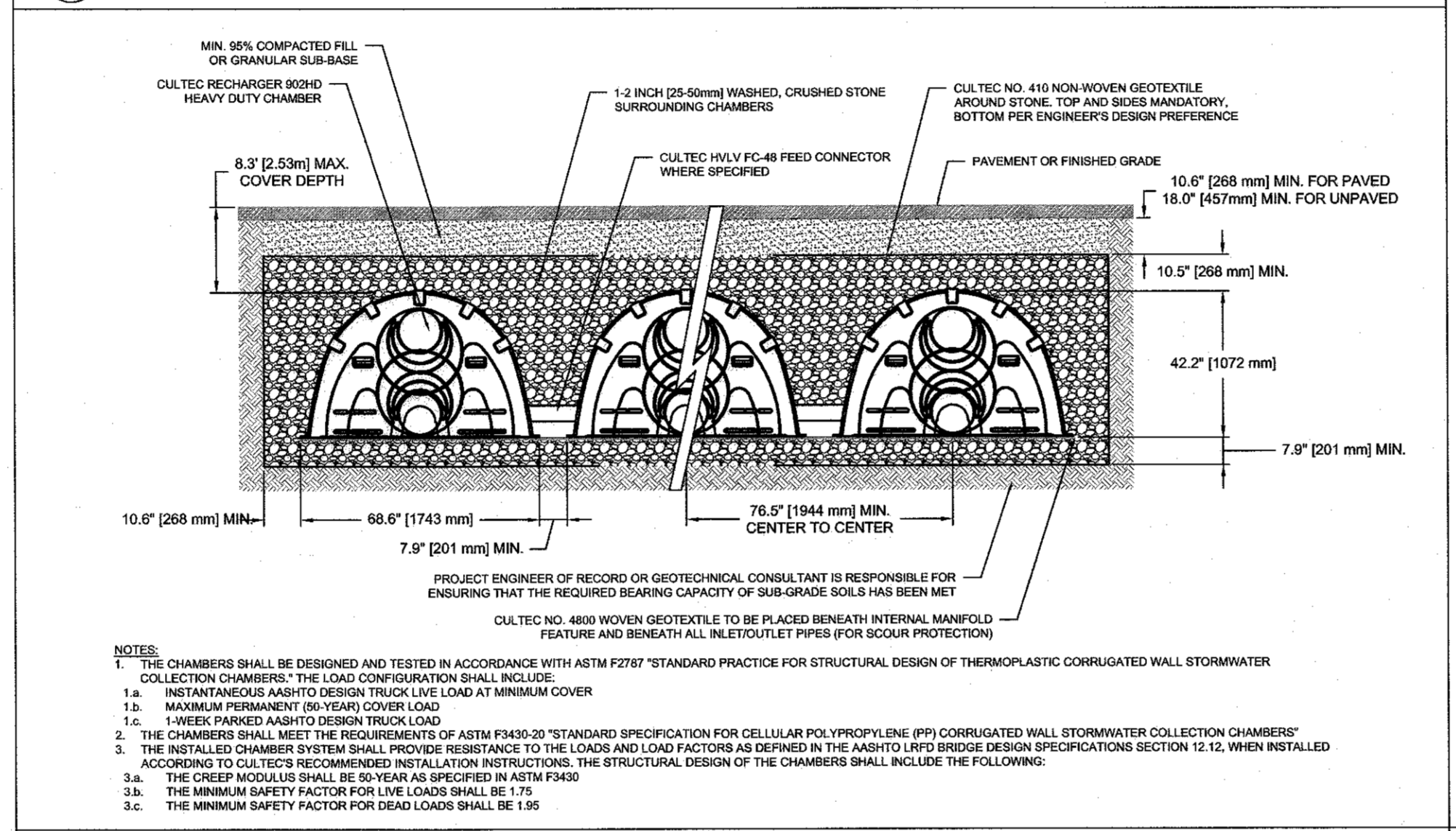
- 1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416 OR 1-800-428-5832)
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TYPICAL WEIGHT OF 4.5 OZS/YD (142 GM).
4. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (53 N) PER ASTM D4832 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK VALUE OF 50% PER ASTM D4832 TESTING METHOD.

CULTEC NO. 4800™ WOVEN GEOTEXTILE

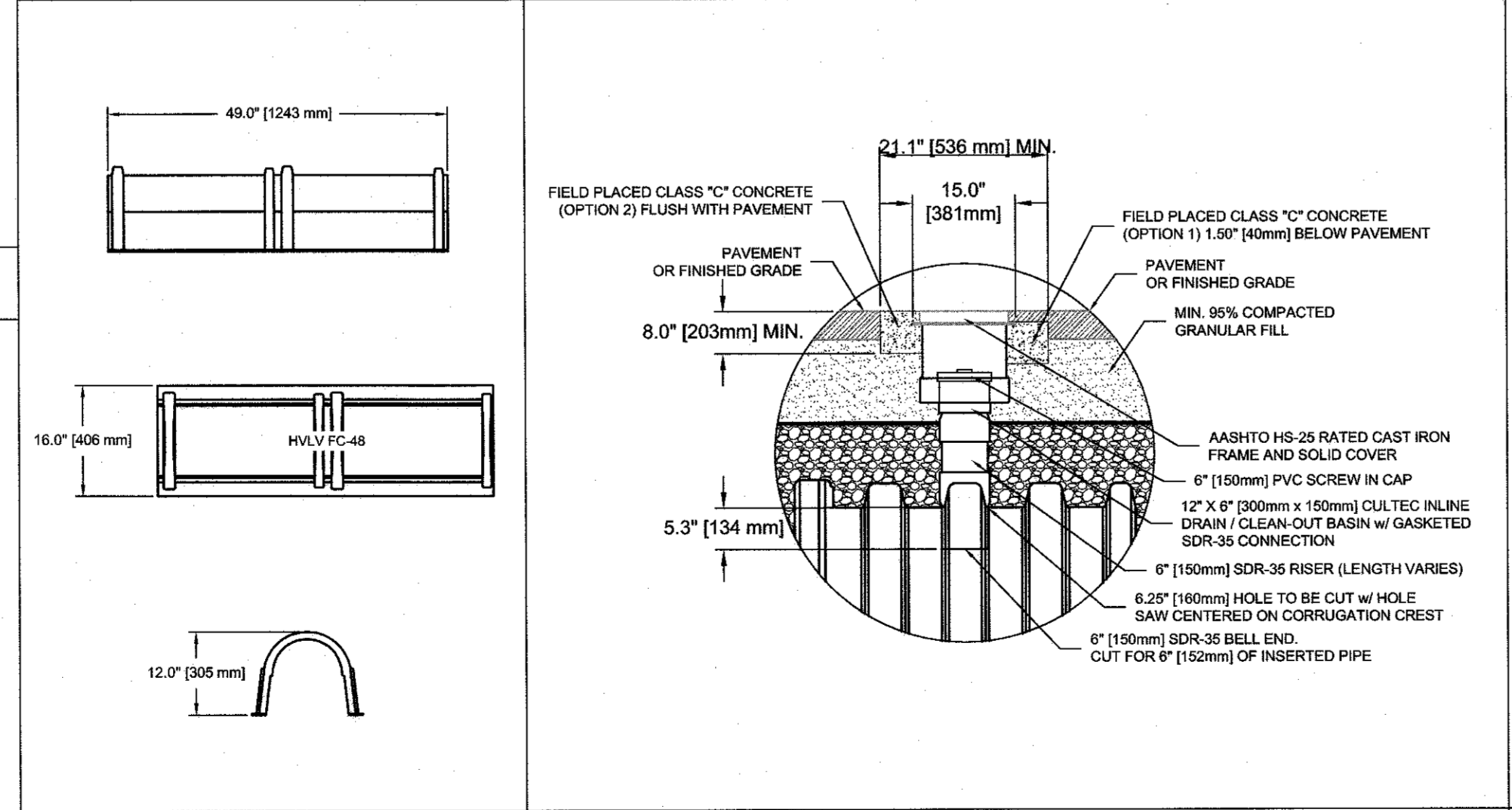
- 1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416 OR 1-800-428-5832)
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4832 TESTING METHOD.
4. THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK RESISTANCE OF 20 X 20% PER ASTM D4832 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X STRAIN OF 900 X 1,096 LBS/FT (14 X 16 KN/M) PER ASTM D4955 TESTING METHOD.
6. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 5% STRAIN OF 2,740 X 2, 740 LBS/FT (40 X 40 KN/M) PER ASTM D4955 TESTING METHOD.
7. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4955 TESTING METHOD.



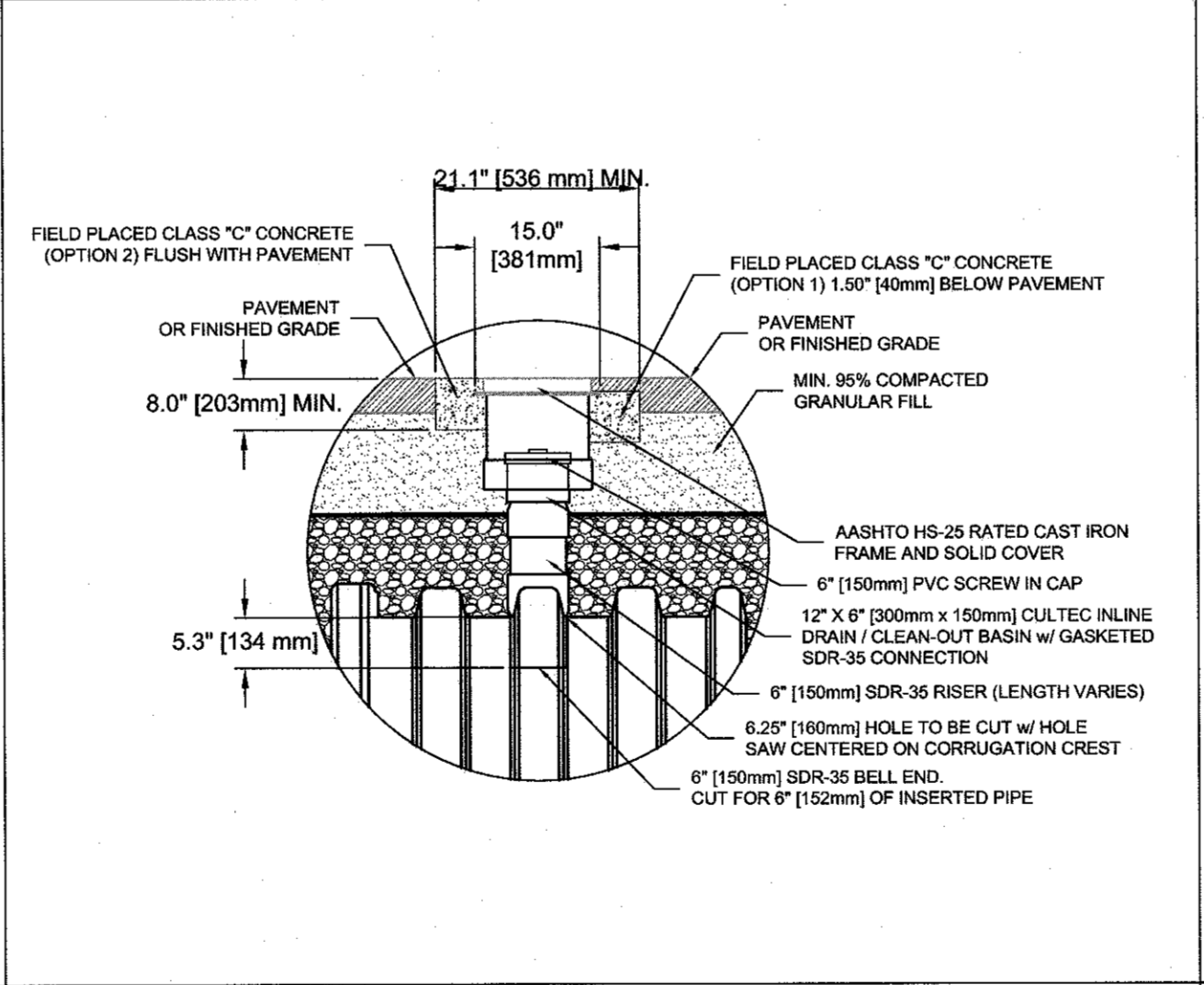
CULTEC RECHARGER 902HD HEAVY DUTY PLAN VIEW



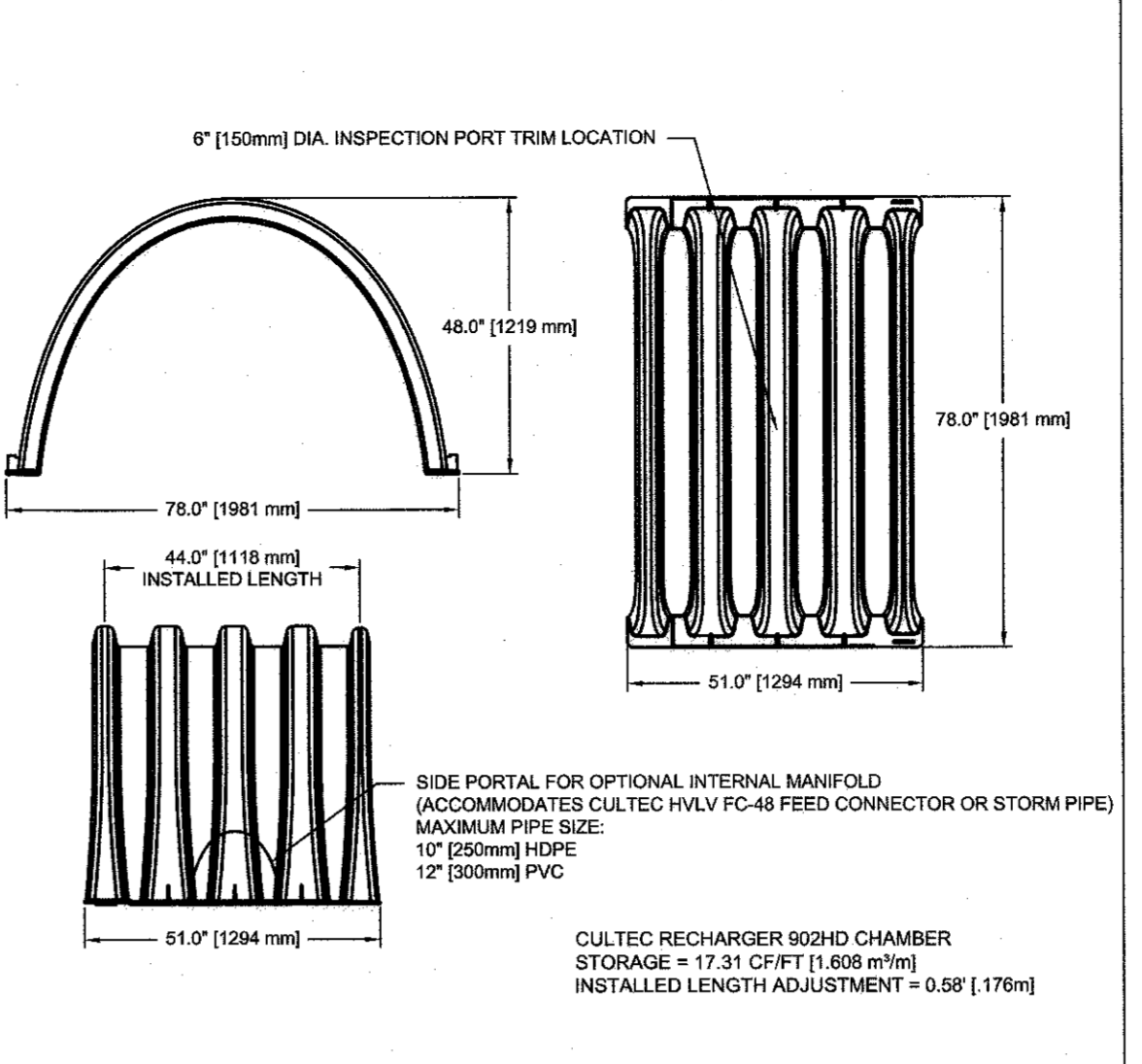
CULTEC RECHARGER 902HD HEAVY DUTY CROSS SECTION



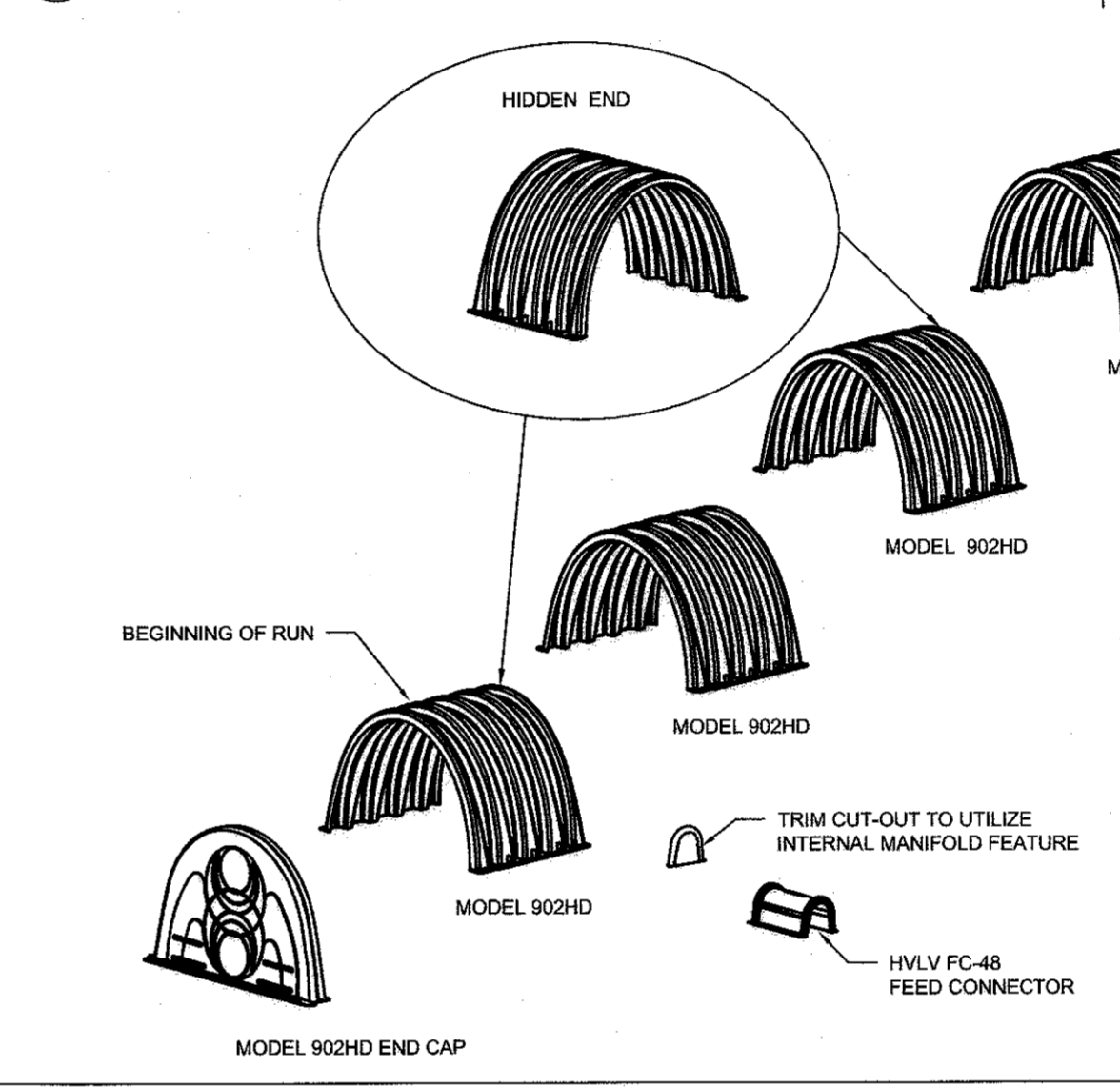
CULTEC HVLV FC-48 FEED CONNECTOR THREE VIEW



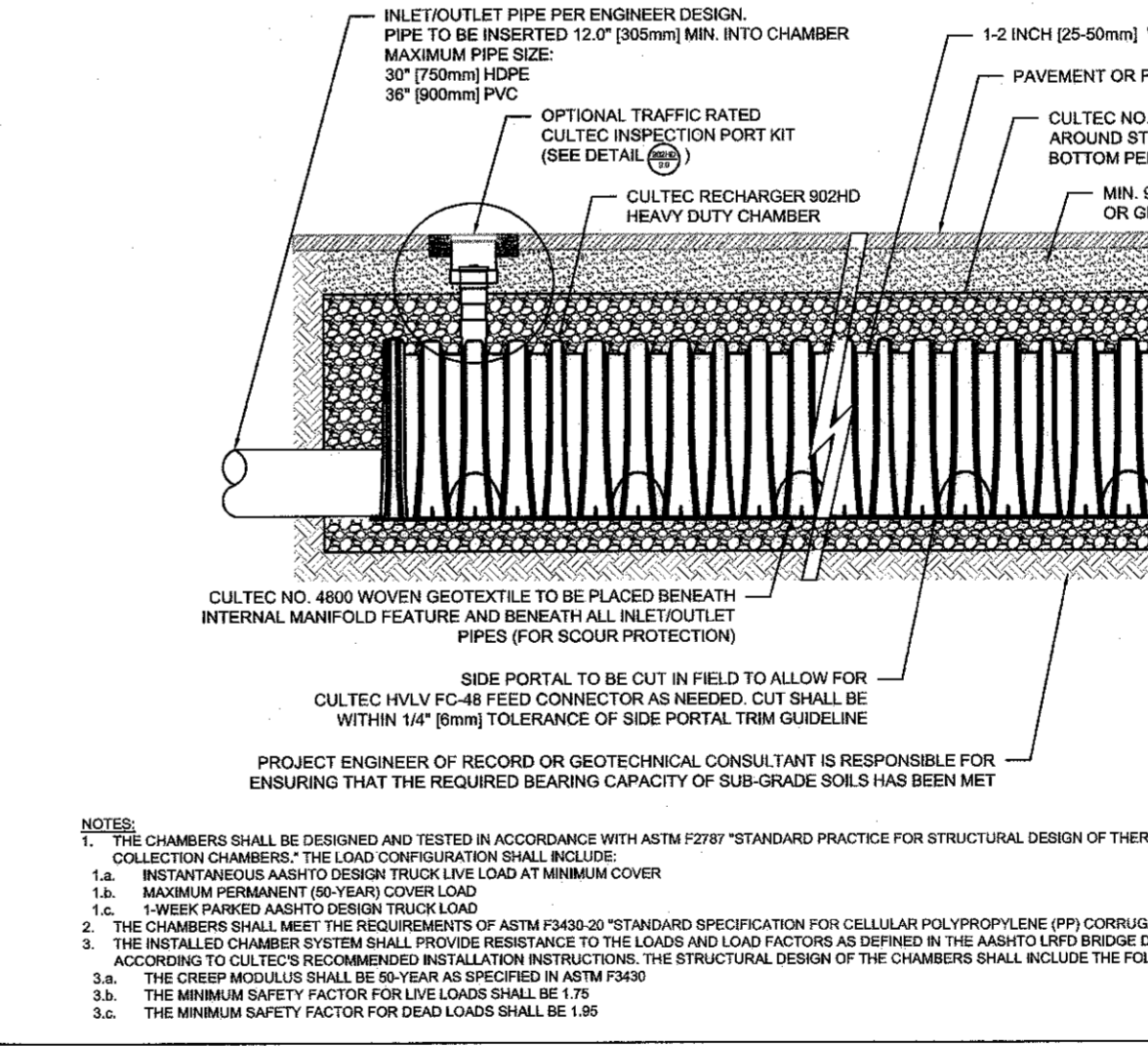
CULTEC INSPECTION PORT - ZOOM DETAIL



CULTEC RECHARGER 902HD HEAVY DUTY THREE VIEW



CULTEC RECHARGER 902HD HEAVY DUTY END CAP THREE VIEW

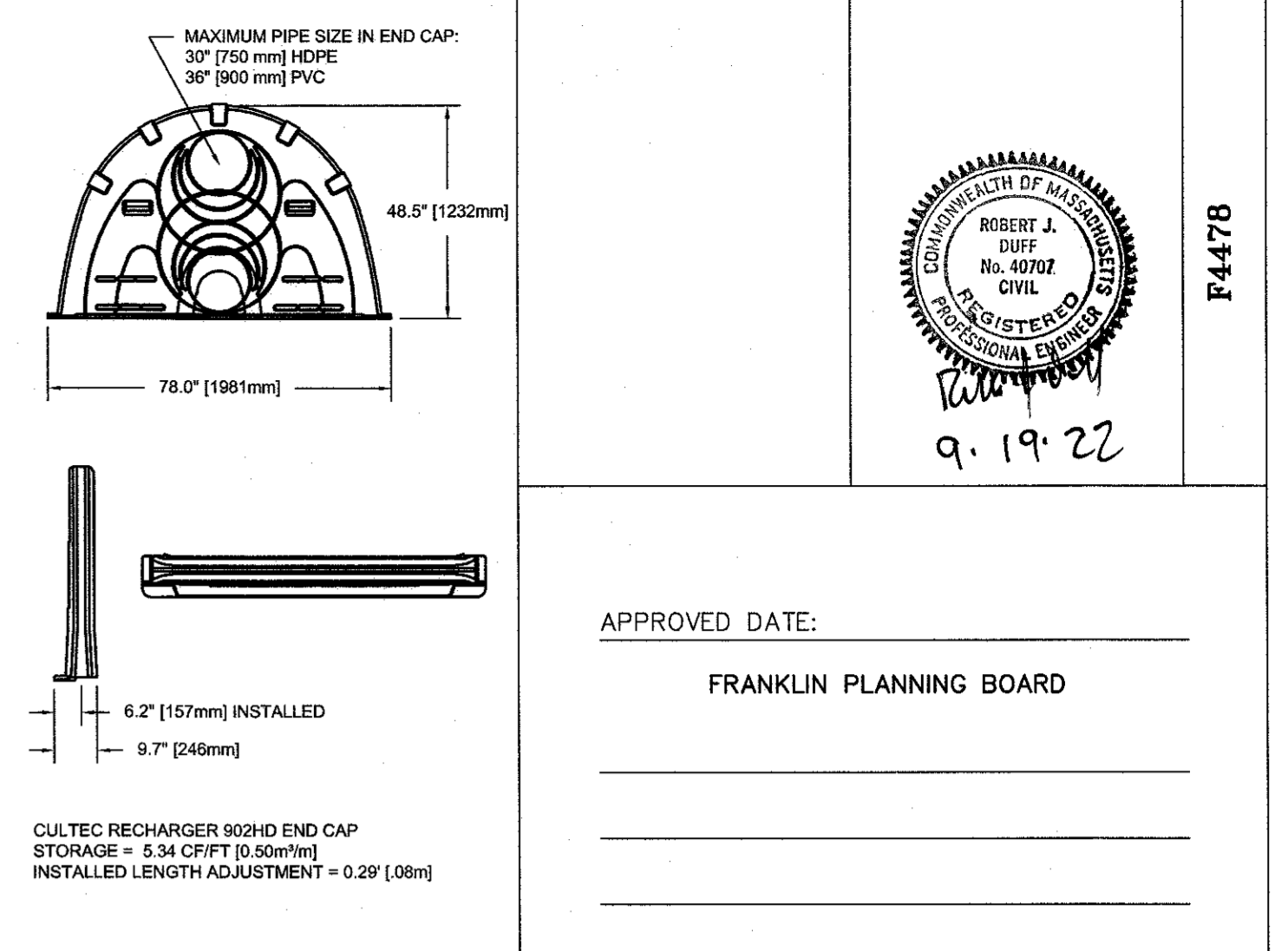


CULTEC RECHARGER 902HD HEAVY DUTY TYPICAL INTERLOCK

GENERAL NOTES

Table with 3 columns: PIPE, A, B. It lists various pipe diameters (6", 8", 10", 12", 15", 18", 24") and their corresponding dimensions for invert heights and cover depths.

CULTEC RECHARGER 902HD TYPICAL PIPE INVERTS



CULTEC RECHARGER 902HD END CAP STORAGE

APPROVED DATE:
FRANKLIN PLANNING BOARD
BEING A MAJORITY
LEGAL NOTES
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OWNER
TAJ ESTATES OF FRANKLIN II, LLC
95 EAST MAIN STREET, SUITE 100
WESTBOROUGH, MA. 01581
OWNER/APPLICANT
MOHUDDIN AHMED
95 MAIN STREET, SUITE 100
WESTBOROUGH, MA. 01581

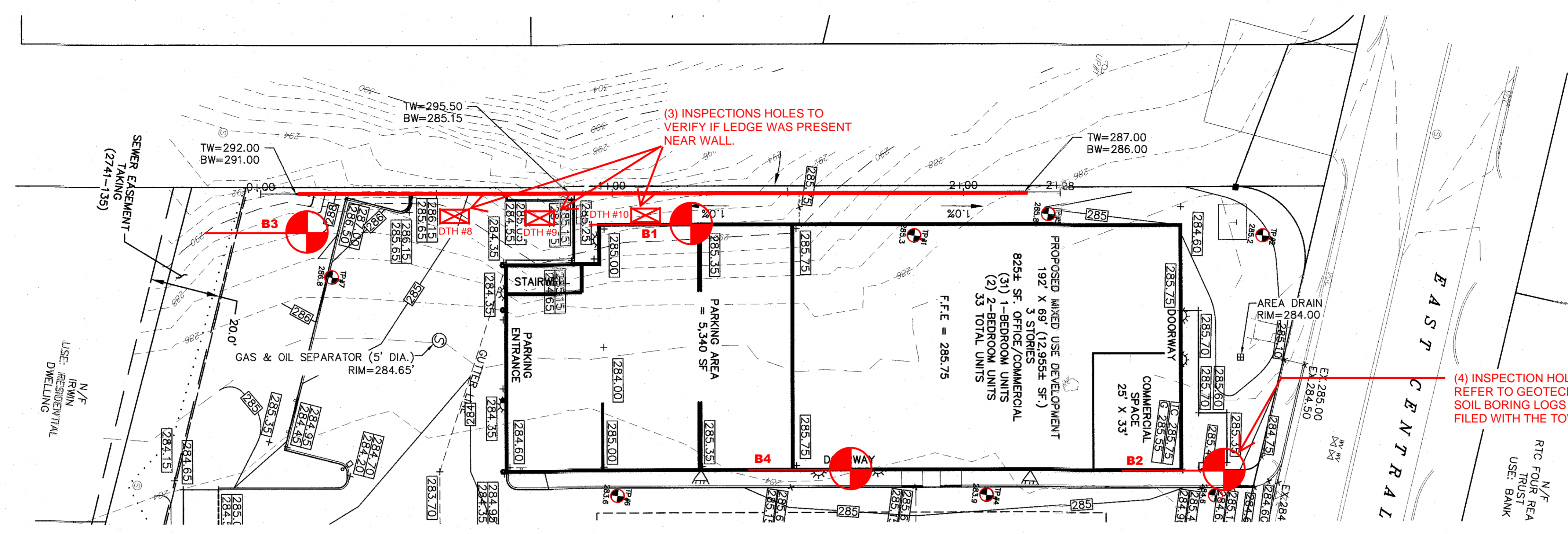
TAJ ESTATES OF FRANKLIN II
SITE PLAN & SPECIAL PERMIT
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FRANKLIN MASSACHUSETTS
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7/14/22 TOWN COMMENTS - REV6
9/12/22 ENDORSEMENT PLAN SET

CULTEC INTERNAL MANIFOLD - OPTIONAL INSPECTION PORT DETAIL

Professional Engineer Seal for Robert J. Duff, No. 40702, Civil, Registered Professional Engineer, State of Massachusetts, dated 9.19.22.

Guerriere & Halon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gondengineering.com





(4) INSPECTION HOLES COMPLETED BY LUNA ENGINEERING INC. REFER TO GEOTECHNICAL INVESTIGATION REPORT FOR SOIL BORING LOGS DATED JANUARY 18, 2023 FILED WITH THE TOWN OF FRANKLIN PLANNING BOARD.

DEEP TEST TAKEN MAY 23, 2022 BY CARLOS FERREIRA

DTH #8	DTH #9	DTH #10
Ap L 0'-4"	Ap L 0'-4"	Ap L 0'-4"
Bw L.S. 4'-18" 7.5Y5/4	Bw L.S. 4'-36" 7.5Y5/4	Bw L.S. 4'-24" 7.5Y5/4
C F.S. 18'-96" 10YR5/1 W/ COBBLE & STONES	C F.S. 36'-96" 10YR5/1 W/ COBBLE & STONES	C F.S. 24'-96" 10YR5/1 W/ COBBLE & STONES

DEEP TESTS TAKEN 11/14/17 BY DN PERC. TESTS TAKEN 11/14/17 BY DN  
SOIL EVALUATOR DON NIELSEN SOIL EVALUATOR DON NIELSEN

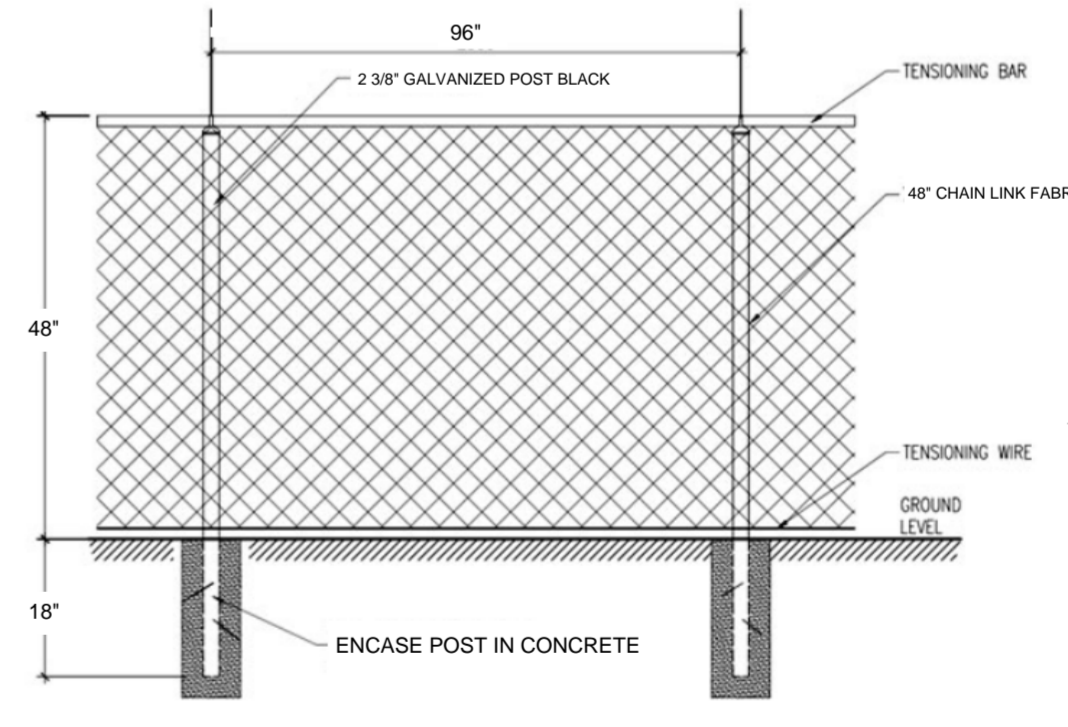
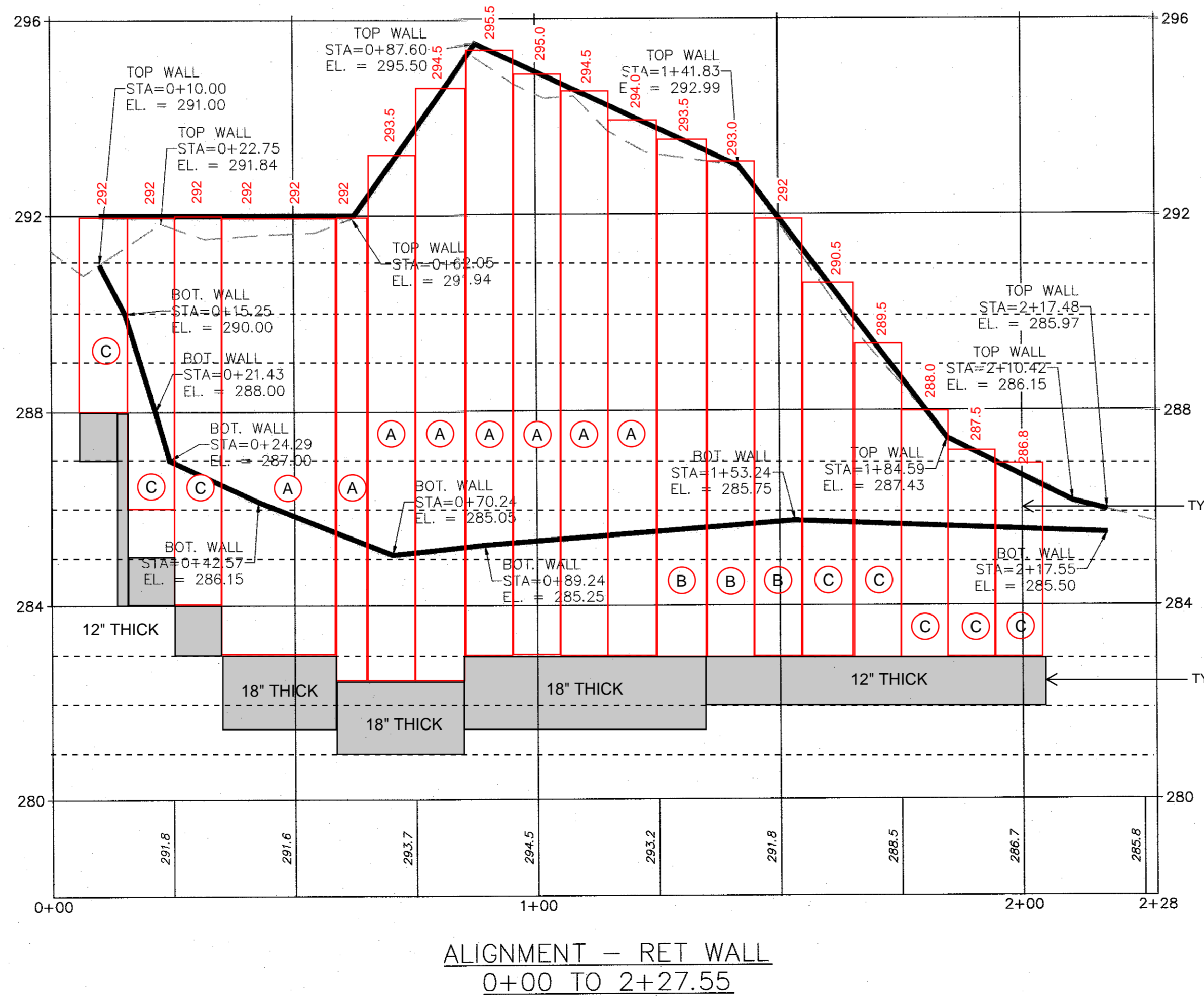
285.3 DTH#1	285.2 DTH#2	284.6 DTH#3	283.9 DTH#4	285.6 DTH#5	283.6 DTH#6	286.8 DTH#7
Ap L 0'-12"	Ap L 0'-24"	Ap L 0'-18"	Ap L 0'-18"	Ap L 0'-18"	Ap L 0'-10"	Ap L 0'-12"
Bw L.S. 12'-36" 7.5Y5/4	Bw L.S. 24'-42" 7.5Y5/4	Bw L.S. 18'-32" 7.5Y5/4	Bw L.S. 18'-30" 7.5Y5/4	Bw L.S. 18'-30" 7.5Y5/4	Bw L.S. 10'-32" 7.5Y5/4	Bw L.S. 12'-24" 7.5Y5/4
C1 M.S. 36'-60" 10YR	C1 F.S. 42'-84" 10YR5/6	C1 S.L. 32'-84" 10YR5/6	C1 S.L. 30'-42" 10YR5/6	C1 S.L. 32'-48" 10YR5/6	C1 S.L. 32'-48" 10YR5/6	C1 S.L. 24'-48" 10YR5/6
C2 M.S. 60'-96" 10YR4/4	C2 M.S. 84'-156" 10YR5/3	C2 M./F.S. 84'-144" 10YR5/3	C2 F.S. 42'-60" 10YR5/6	C2 F./M.S. 48'-60" 10YR5/6	C2 F./M.S. 48'-120" 10YR5/6	C2 F./M.S. 48'-120" 10YR5/6
NO G.W. NO MOTILES	NO G.W. NO MOTILES	NO G.W. MOTILES 32"-54"	C3 M./C.S. 60'-136" 10YR5/3 F.S. SOME STONES	C3 M.S. 60'-96" 10YR5/3 SOME STONES	C3 M.S. 120'-132" 10YR5/3 SOME STONES	C3 M.S. 84'-96" 10YR5/3 SOME STONES

**PLAN REFERENCES:**

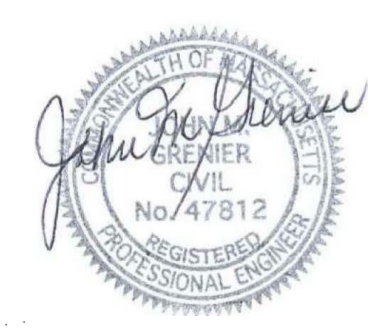
- PLAN NO. 393-1997, PL. BK. 448
- SEE ANR PLAN ENTITLED "PLAN OF LAND 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS," DATED APRIL 30, 2018, PREPARED BY GUERRIERE & HALNOR, INC. PLANNING BOARD ENDORSED MAY 7, 2018 ON WHICH THE INTERIOR DEED LINE IS DEPICTED AS "TO BE REMOVED."
- TAJ ESTATES OF FRANKLIN II, SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET, FRANKLIN MA. PREPARED BY GUERRIERE & HALNOR, INC. LAST REVISED 4/12/22

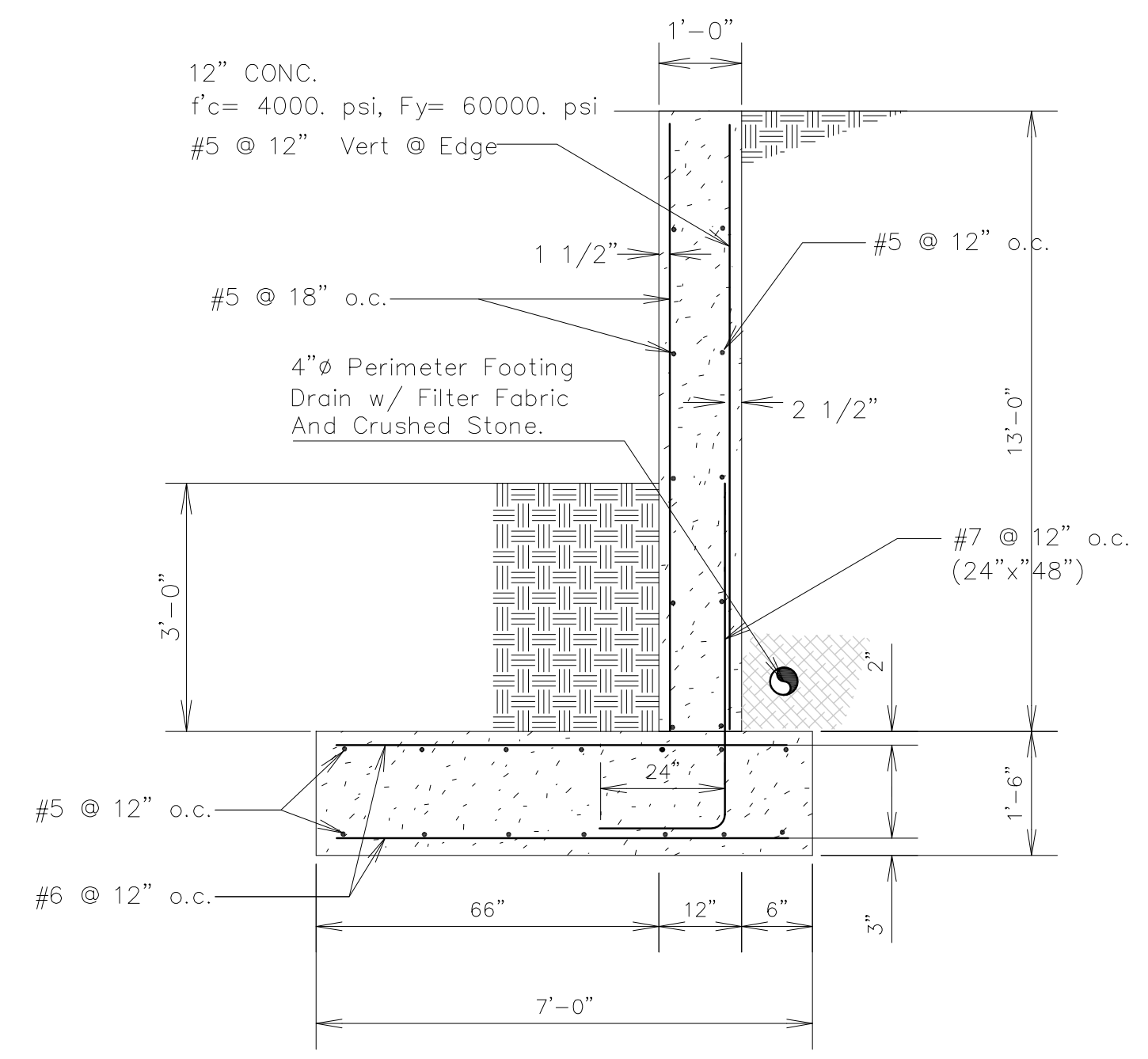
**LEGEND**

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS METER		PROP. STREET LIGHTING
	GAS SHUT OFF VALVE		SPOT ELEVATION
	WATER VALVE		RIPRAP
	WATER SHUT OFF VALVE		PVC FENCE
	FIRE HYDRANT		VCC - VERTICAL CONCRETE CURB
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		
	EXISTING GAS LINE		
	EXISTING SEWER LINE		

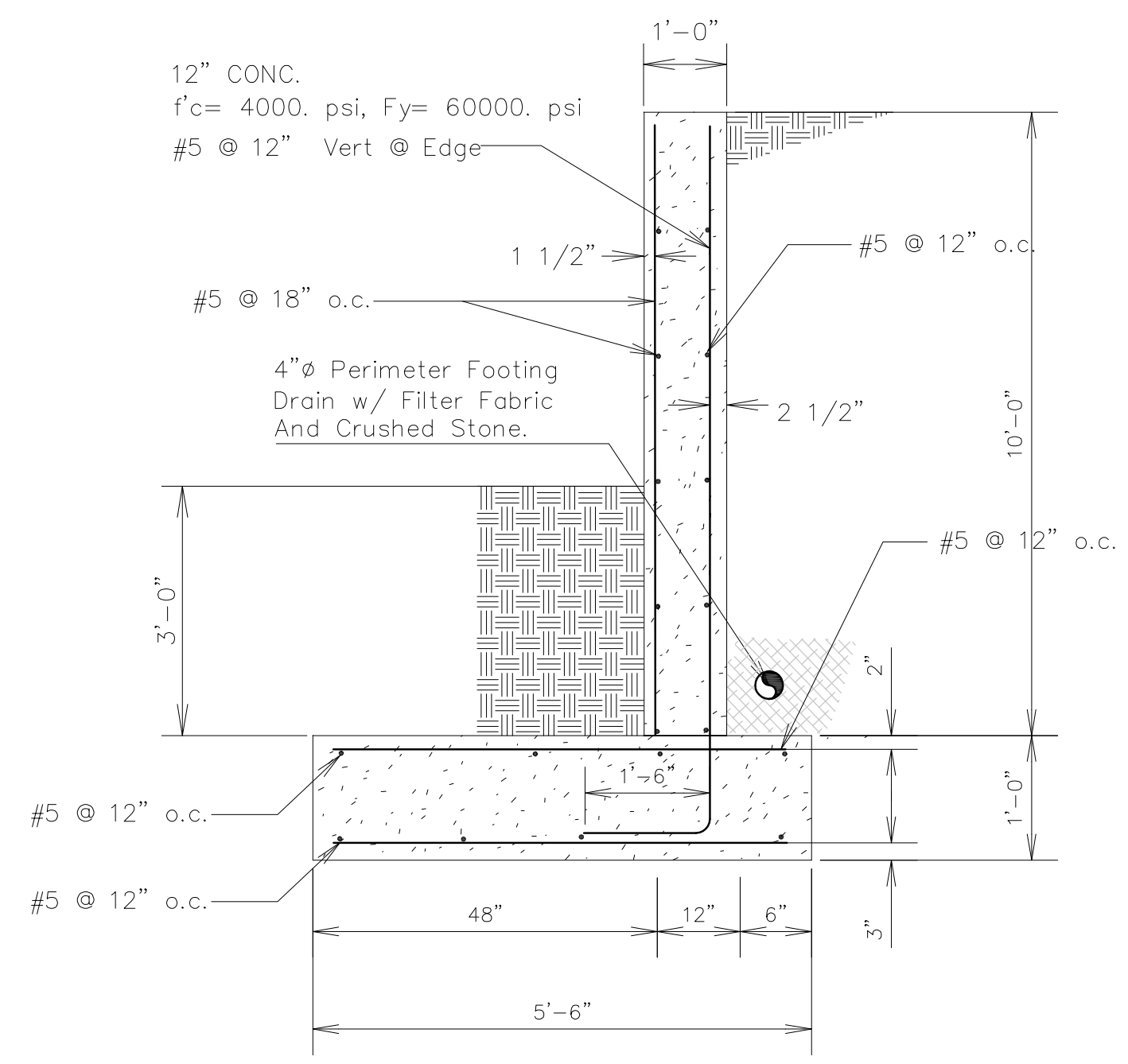


48" CHAIN LINK DETAIL

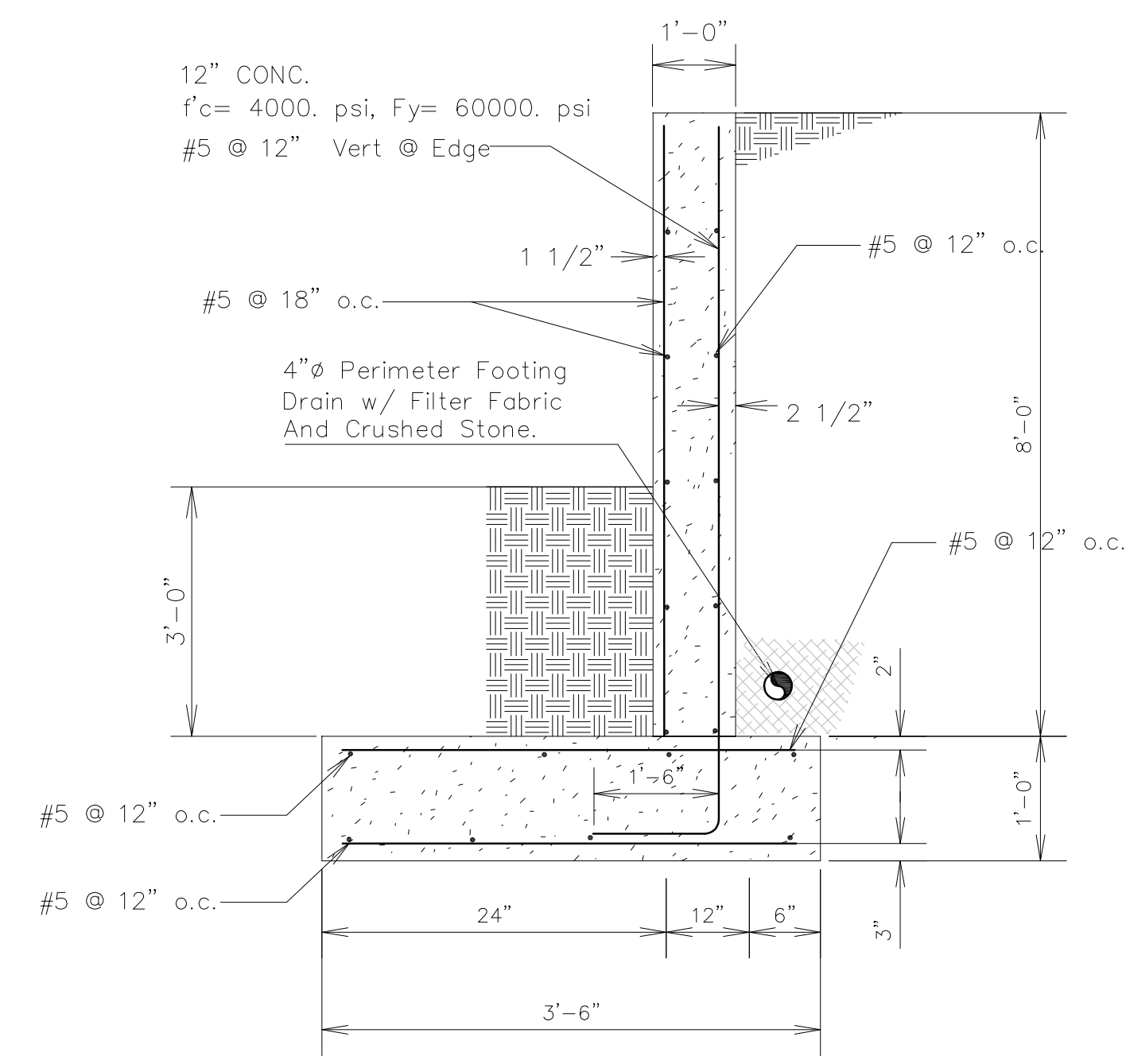




**RETAINING WALL**  
SECTION A  
Scale: not to scale



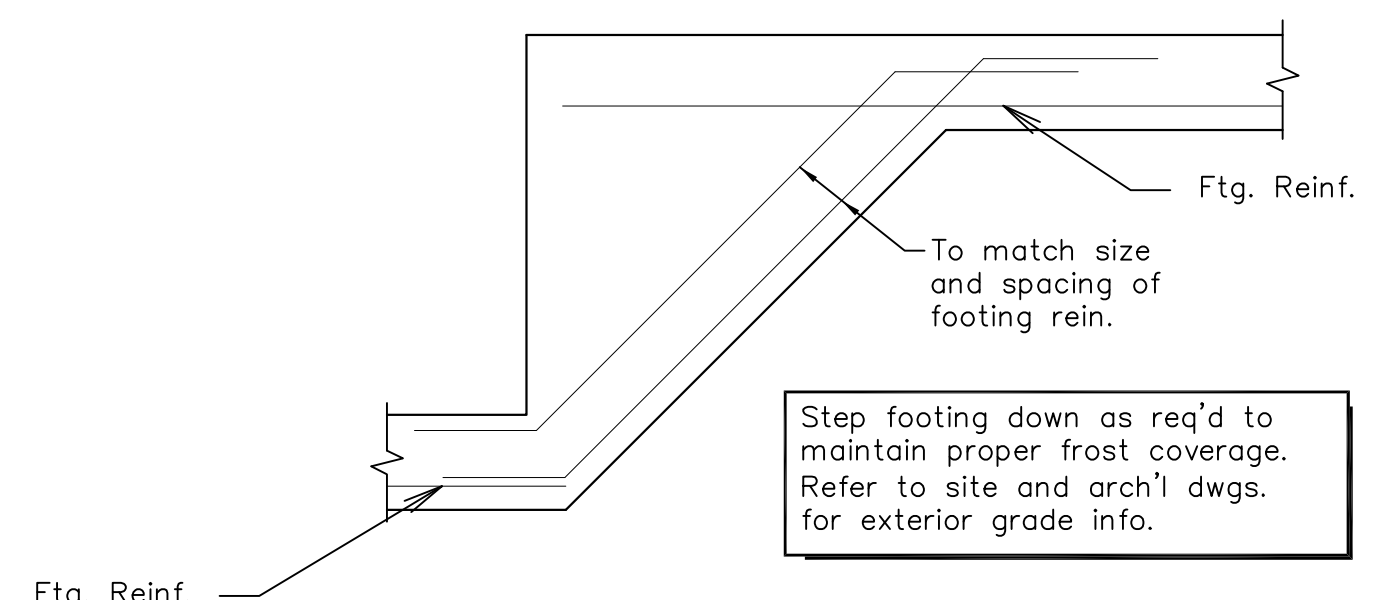
**RETAINING WALL**  
SECTION B  
Scale: not to scale



**RETAINING WALL**  
SECTION C  
Scale: not to scale

**REINFORCED CONCRETE:**

- All structural concrete shall be normal weight, stone aggregate concrete, and shall be proportioned, mixed and placed under the supervision of a control engineer in accordance with ACI 315, 318 and 301 standards, latest editions. Concrete shall develop the following 28 day strengths:
  - Concrete Flatwork exposed to weather: 4000 psi (6% air entrained)
  - Exterior: walls, footings, piers and slabs: 4000 psi (6% air entrained)
  - Slab on deck: 3500 psi (6% air entrained)
  - All other concrete: 3000 psi
- Reinforcing bars including stirrups shall conform to ASTM A615 with 60,000 psi yield strength with minimum anchorage and splice requirements for reinforcing in accordance with ACI 318, latest edition. Welded wire fabric shall conform to ASTM A185.
- Concrete walls shall be cast in alternate panels not exceeding 100 ft. in length. The use of pour strips at splices in horizontal reinforcing may be used to extend the length of pours.
- Slabs on grade shall be placed in accordance with the latest ACI recommendations.
- Slabs on grade shall be placed on a layer of well graded granular material compacted to 95% of maximum dry density.
- Provide concrete pads for mechanical equipment according to the requirements of the manufacturer and in accordance with the typical details, and mechanical drawings.
- Detailing of reinforcement shall be according to the latest edition of ACI 315 "Details and Detailing of Concrete Structures".
- Not all openings through concrete slabs and walls are shown on structural drawings. Openings indicated on the drawings or any additional openings or inserts required must be verified with respective trades before placement of concrete.
- See architectural drawings for finishes, depressions, reglets, notches, and other architectural features.
- Concrete exposed to the exterior shall be air entrained.
- Unless noted otherwise, provide the following clear cover for reinforcing steel:
  - Footings: 3"
  - Foundation Walls: 2"
  - Interior Slabs: 1"
  - Exterior Slabs: 2"
  - Columns, Piers or Pilasters: 1 1/2" to ties.
- All exposed concrete to be rubbed to a smooth finish.
- All Anchor Bolts shall be dryset (Set prior to placement) (wet setting is unacceptable).



**DETAIL - TYP. STEP FOOTING**  
Scale: 1/2" = 1'-0"

**INSTALLATION NOTES**

- STRIP VEGETATION AND ORGANIC SOIL FROM WALL AND GEOSYNTHETIC ALIGNMENT.
- BENCH CUT ALL EXCAVATED SLOPES.
- CONTRACTOR SHALL ENSURE TEMPORARY EXCAVATIONS ARE STABLE AND PROVIDE EXCAVATION SUPPORT IF NEEDED.
- DESIGN ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN PARAMETERS.
- LEVELING PAD SHALL CONSIST OF WELL GRADED ROAD BASE AGGREGATE, 3/4" CRUSHED, ANGULAR GRAVEL WITH SOME FINES
- DRAINAGE AGGREGATE SHALL CONSIST OF CLEAN ANGULAR GRAVEL, 3/4" DIAMETER WITH LESS THAN 5% FINES.
- DRAINAGE PIPE SHALL BE PERFORATED OR SLOTTED PVC OR CORRUGATED HDPE PIPE. REINFORCED BACKFILL SHALL BE FREE OF DEBRIS, ORGANIC SOIL, AND EXPANSIVE SOILS.
- COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY. (ASTM D-698) COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE SITE SOILS ENGINEER.
- COMPACTION WITHIN 3FT. OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT.
- CONTRACTOR SHALL SLOPE SITE GRADES TO DIRECT SURFACE RUNOFF AWAY FROM WALL AT END OF EACH DAY TO AVOID WATER DAMAGING THE WALL WHILE UNDER CONSTRUCTION.
- ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
- IF SITE AND SOIL CONDITIONS, WALL GEOMETRY, OR WALL LOADINGS ARE DIFFERENT THAN IN THE DRAWINGS AND THE DESIGN PARAMETERS, THE CONTRACTOR MUST CONTACT DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.

**DESIGN PARAMETERS AND PROVISIONS**

- THE DESIGN OF THE WALL SYSTEM ASSUMES THE FOLLOWING PARAMETERS:
 

SOIL CONDITIONS	FRICITION ANGLE	UNIT WEIGHT
REINFORCED BACKFILL	30	125 LBS/CU.FT.
RETAINED BACKFILL	32	125 LBS/CU.FT.
FOUNDATION SOIL	34	130 LBS/CU.FT.
- HYDROSTATIC LOADING = NONE  
SURCHARGE LOAD AT TOP OF WALL = 0 LBS/SQ.FT.  
ALLOWABLE BEARING CAPACITY = 4,000 LBS/SQ.FT.
- THE WALL DESIGN ENGINEER ASSUMES NO LIABILITY FOR INTERPRETATION OF SUBSURFACE CONDITIONS, SUITABILITY OF SOIL DESIGN PARAMETERS AND INTERPRETATIONS OF SUBSURFACE GROUNDWATER CONDITIONS.
- THE OWNER OR OWNER'S REPRESENTATIVE IS RESPONSIBLE FOR ENSURING THE CONDITIONS STATED ABOVE ARE ACCURATE PRIOR TO AND DURING CONSTRUCTION.
- THE OWNER OR OWNER'S REPRESENTATIVE IS RESPONSIBLE FOR ENSURING THE WALL DESIGN ENGINEER IS CONTACTED IF CONDITIONS VARY.