

NOTICE OF INTENT

**Limited Site Plan
230 Grove Street
Franklin, MA**

**The Franklin Wetlands Protection By-Law
Franklin Town Code Section 181**

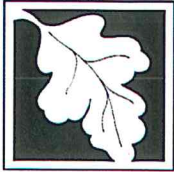
PREPARED FOR

**ISAR, LLC
3 Madison Street
Plainville, Massachusetts 02762**

PREPARED BY

**UNITED CONSULTANTS, INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093**

August 25, 2023



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Franklin
City/Town

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

- 1. Project Location (**Note:** electronic filers will click on button to locate project site):

230 Grove Street	Franklin	02038
a. Street Address	b. City/Town	
Latitude and Longitude:	42.06294	71.42805
	d. Latitude	
311	003	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

- 2. Applicant:

ISAR, LLC		
c. Organization	b. Last Name	
3 Madison Street		
d. Street Address		
Plainville	MA	02762
e. City/Town	f. State	g. Zip Code
1-508-962-0868	rpacellajr@rmpacella.com	
h. Phone Number	i. Fax Number	j. Email Address

- 3. Property owner (required if different from applicant): Check if more than one owner

Same as Applicant

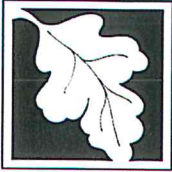
a. First Name	b. Last Name	
c. Organization		
d. Street Address		
e. City/Town	f. State	g. Zip Code
h. Phone Number	i. Fax Number	j. Email address

- 4. Representative (if any):

Richard	Goodreau	
a. First Name	b. Last Name	
United Consultants, Inc.		
c. Company		
850 Franklin Street Sutie 11D		
d. Street Address		
Wrentham	MA	02093
e. City/Town	f. State	g. Zip Code
1-508-384-6560	1-508-384-6566	rick@uci850.com
h. Phone Number	i. Fax Number	j. Email address

- 5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

500	237.50	262.50
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:

Stormwater outlet pipe installation in the outer riparian zone in an area where a swale had existed.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Norfolk
 a. County

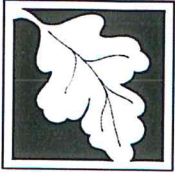
38158
 c. Book

561
 d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____
f. <input checked="" type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland _____	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: 33,500+/- square feet

4. Proposed alteration of the Riverfront Area:

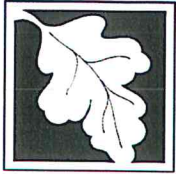
531 a. total square feet 0 b. square feet within 100 ft. 531 c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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Franklin

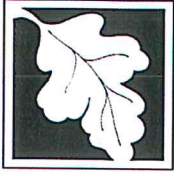
City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet _____	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW _____	b. square feet of Salt Marsh _____
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings _____	b. number of replacement stream crossings _____



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- 1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
 1 Rabbit Hill Road
 Westborough, MA 01581

2023 _____
 b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

- 1. Percentage/acreage of property to be altered:

(a) within wetland Resource Area _____
 percentage/acreage

(b) outside Resource Area _____
 percentage/acreage

- 2. Assessor's Map or right-of-way plan of site

- 2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

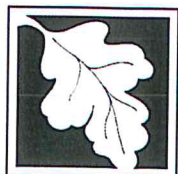
(a) Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and *mail to NHESP* at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site

- (e) Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

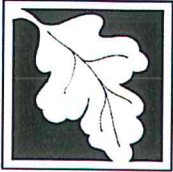
Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).


Massachusetts Department of Environmental Protection

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C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC _____
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Limited Site Plan - 230 Grove Street

a. Plan Title

United Consultants, Inc.

b. Prepared By

June 28, 2023

d. Final Revision Date

Carlos A. Quintal

c. Signed and Stamped by

1" = 30'

e. Scale

f. Additional Plan or Document Title

g. Date

- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

38339
2. Municipal Check Number

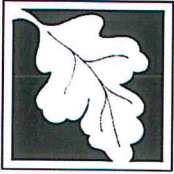
8/29/23
3. Check date

38333
4. State Check Number

8/29/23
5. Check date

R. M. Pacella, Inc.
6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant [Handwritten Signature]

2. Date August 29, 2023

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any) [Handwritten Signature]

6. Date 8/29/2023

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



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Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

230 Grove Street
 a. Street Address Franklin
 b. City/Town
 30333
 237.50
 c. Check number d. Fee amount

2. Applicant Mailing Address:

a. First Name ISAR, LLC b. Last Name
 c. Organization
 3 Madison Street
 d. Mailing Address
 Plainville MA 02762
 e. City/Town f. State g. Zip Code
 1-508-962-0868
 h. Phone Number i. Fax Number
 rpacellajr@rmpacella.com
 j. Email Address

3. Property Owner (if different):

Same as Applicant
 a. First Name b. Last Name
 c. Organization
 d. Mailing Address
 e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

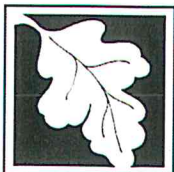
Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



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 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 2.j	1		500.00

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	500.00
	a. Total Fee from Step 5
State share of filing Fee:	237.50
	b. 1/2 Total Fee less \$12.50
City/Town share of filling Fee:	262.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and a copy of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



Site Evaluation & Wetland delineation

April 17, 2023

**230 Grove Street
Franklin, Massachusetts**

Prepared for

**United Consultants, Inc.
850 Franklin Street
Wrentham, MA 02093**

Prepared by

Applied Ecological Sciences

P.O. Box 184
Norfolk, MA 02056
(508) 528-2866
(508) 740-0438 cell
email: rwaldron@earthlink.net

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**Site Evaluation and Wetland Delineation
230 Grove Street
Franklin, Massachusetts**

Introduction

A site evaluation was conducted at the above referenced property on November 19, 2022. Wetland resource areas protectable under the *Massachusetts Wetlands Protection Act* (M.G.L. c. 131, s. 40), the implementing *Regulations* (310 CMR 10.00), and the Town of Franklin *Wetlands Protection Bylaw* (Chapter 181) and *Conservation Rules and Regulations* were identified and characterized. The upland/wetland boundary to Bordering Vegetated Wetland (BVW) and the top of Inland Bank to *Mine Brook* was delineated in the field with red and blue flagging tape respectively. Resulting data describing the floristic, edaphic, and topographic characteristics of the property has been utilized in the preparation of this *Site Evaluation Report*. The following narrative provides a general site description, resource area delineation methodology, and wetland resource descriptions.

General Site Description

The subject property encompasses commercial landscape supply company located easterly of Grove Street in Franklin, Massachusetts. Topography of the site is generally flat. Commercial buildings and material storage areas occupy most of the property. Commercial development abuts the site to the north and east. The *Southern New England Turnpike Trail* abuts the site to the south.

Soils

Soils underlying the site consist of somewhat excessively drained Merrimac (MmB, 254B) fine sandy loam, 3% to 8% slopes and excessively drained Hinckley (HfC, 245C), 8% to 15% slopes (USDA SCS 1989, Map #36, www.nesoil.com).

Wetland Delineation Methodology

The extent of vegetated wetland was determined through observations of the existing plant communities while verifying wetland hydrology through interpretation of soil characteristics and other indications of surface hydrology. Soils were analyzed for texture and color to determine soil morphology in accordance with the most up to date standards. Evidence of surface hydrology was determined through visual inspection of existing site conditions including typical indicators such as water marks, drift-lines, water-stained leaves, sediment deposits, and drainage patterns.

Wetland Resource Description

Wetland resources located on the site include Riverfront Area. Field delineated wetland resources includes Bordering Vegetated Wetland (BVW) and Inland Bank.

Bordering Vegetated Wetland (BVW)

Seasonally saturated to seasonally flooded Forested Swamp is located opposite the site westerly of Grove Street. Topography within the BVW is generally flat with distinct pit and mound micro-topography, leaf staining, and surface water evident throughout. A moderately dense canopy of Red Maple (*Acer rubrum*) and Slippery Elm (*Ulmus rubra*) dominates vegetation within the wetland. The woody understory is comprised of saplings from the canopy, Highbush Blueberry (*Vaccinium corymbosum*), Winterberry (*Ilex verticillata*), Ironwood (*Carpinus caroliniana*), Poison Ivy, Silky Dogwood (*Cornus amomum*), and Riverbank Grape (*Vitis riparia*). Ground cover species include seedlings from the canopy and understory, Cinnamon Fern (*Osmunda cinnamomea*), Sensitive Fern (*Onoclea sensibilis*), Skunk Cabbage (*Symplocarpus foetidus*), Sphagnum Moss (*Sphagnum* spp.), Royal Fern (*Osmunda regalis*), Tall Meadow-Rue (*Thalictrum polygomum*), and various sedges (*Carex* spp.), grasses (Family *Poaceae* spp.), and Golden Rods (*Solidago* spp.)

The upland/wetland boundary to BVW is delineated in the field with AES flagging stations #1 through #1 through #8.

Inland Bank

Inland Bank delineated in the field is associated with *Mine Brook*. The brook flows southerly through the wetland located across the street from the site. A well-defined channel approximately five to eight feet wide and one to two feet deep characterizes the brook. The Inland Bank is approximately one to two feet high, well defined, and vegetated with wetland plant species. Approximately two to four inches of moderately flowing surface water was observed within the channel at the time of the evaluation.

The top of Inland Bank was delineated in the field with AES flagging stations B1 through B12.

Riverfront Area

Riverfront Area located on the site is associated with *Mine Brook*. The western portion of the site is located within the Riverfront Area.

FEMA Floodplain Designation

Based on the *Federal Emergency Management Agency Flood Insurance Rate Map* for the Town of Franklin, Massachusetts, (Map No. 25021C0308E), the site is located within Zone X (non-shaded), *Areas determined to be outside the 0.2% annual chance.*

NHESP Estimated & Priority Habitat

According to the *Massachusetts Natural Heritage and Endangered Species Program* habitat map, the site is not located within an Estimated Habitat of Rare Wildlife or a Priority Habitat of Rare Species.

Water Supply Protection Areas

According to the Massachusetts Geographic Information Systems *Water Supply Protection Areas Map*, the site is located within a Zone II groundwater recharge area but not within an Interim Wellhead Protection Area (IWPA).

Outstanding Resource Water (ORW)

According to the Massachusetts Geographic Information Systems *Outstanding Resource Waters Map*, the site is not located within a contributing watershed to an ORW.

Buffer Zone

Buffer Zone, as defined at 310 CMR 10.04, means:

The area of land extending 100 feet horizontally outward from the boundary of any area specified in 310 CMR 10.02(1)(a).

Under Section XVI of the Town of Franklin *Conservation Rules and Regulations*, **Buffer Zone Protections**:

Currently as established by precedent, the Franklin Conservation Commission (Commission) has instituted a 25-Foot no disturb buffer zone from the defined/delineated resource area.

Under Section XVI A: **0 to 25-Foot Buffer Zone Resource Area**:

1. *An applicant shall demonstrate that no work/disturbance including grading activities is proposed within the 25-foot buffer zone resource area.*

Under Section XVI B: 25 to 50-Foot Buffer Zone Resource Area:

- 1. Any applicant proposing a project within the 25 to 50-foot buffer zone resource area shall indicate that there are no structures including, but not limited to, concrete, stone, or other impervious foundations and/or slabs for construction purposes that for all intents and purposes would significantly increase runoff. Alteration within the 25 to 50-foot buffer zone resource area is limited to grading, tree clearing, storm water management components, lawns, gardens, and other low impact uses as determined by the Commission or as otherwise approved by the Commission by the variance procedures set forth under Section XVII of these regulations.*
- 2. Areas disturbed prior to June 29, 2006: When there is a pre-existing disturbance (disturbed as part of a previously record Certificate of Compliance or was disturbed prior to the enactment of the Wetlands Protection Act and the Franklin Wetlands Protection Bylaw), and the work proposed is entirely within the previously disturbed area, the applicant may propose impervious surfaces such as pools, buildings, porches, and sheds within the 25 to 50-foot buffer zone resource area. The Commission shall evaluate the proposed uses based upon the demonstration by the applicant that the functions and characteristics of the resource area will not be adversely affected.*

Under Section XVI C: 50 to 100-Foot Buffer Zone Resource Area:

Alterations including structures are allowed in the 50-100-foot buffer zone resource area. The Commission may require additional mitigation offsets when the slope within the buffer zone is steeper than 10%. Additionally, mitigation offsets may be required by the Commission when the applicant proposes that more than 30% of the 50-100-foot buffer zone resource area is proposed to be impervious surface. Mitigation offsets may include, but is not limited to, plantings, conversion of impervious to pervious surfaces, and other practices consistent with the Town of Franklin Best Development Practice Handbook.

The Western portion of the property is contained within the regulatory Buffer Zone.

References

Federal Emergency Management Agency, FEMA Map Service Center, www.fema.gov.

Massachusetts Geographic Information Systems, www.massgis.ma.state.us.

Natural Resources Conservation Service, www.nesoil.com, websoilsurvey.nrcs.usda.gov.

United States Department of Agriculture, Soil Conservation Service, 1989. *Soil Survey of Norfolk and Suffolk Counties, Massachusetts*.

Appendix A
DEP Bordering Vegetated Wetland (310 CMR 10.55)
Delineation Field Data Forms

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: _____ Prepared by: Applied Ecological Sciences (AES) Project location: 230 Grove Street Franklin, MA DEP File #: _____

- Check all that apply:
- Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
 - Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
 - Method other than dominance test used (attach additional information)
- DP-1 @ AES #6**

Section I. Vegetation	Observation Plot Number: <u>DP-1 UPL</u>	Transect Number: <u>1</u>	Date of Delineation: <u>11/19/2022</u>	
A. Sample Layer and Plant Species (by common/scientific name)	B. Percent Cover (or dominance ratio)	C. Percent Dominance	D. Dominant Plant (yes or no)	E. Wetland Indicator Category
Trees				
Red Maple (<i>Acer rubrum</i>)	10.5	50%	yes	FAC*
Northern White Cedar (<i>Thuja occidentalis</i>)	10.5	50%	yes	FACW*
TOTAL COVER = 21.0				
Woody Vines:				
Riverbank Grape (<i>Vitis riparia</i>)	20.5	25%	yes	FACW*
Oriental Bittersweet (<i>Celastrus orbiculatus</i>)	63.0	75%	yes	NA
TOTAL COVER = 83.5				
Saplings				
Glossy Buckthorn (<i>Frangula alnus</i>)	63.0	100%	yes	FAC*
TOTAL COVER = 63.0				
Shrubs				
Multiflora Rose (<i>Rosa multiflora</i>)	63.0	33%	yes	FACU
Highbush Blueberry (<i>Vaccinium corymbosum</i>)	63.0	33%	yes	FACW*
Glossy Buckthorn (<i>Frangula alnus</i>)	63.0	33%	yes	FAC*
TOTAL COVER = 189.0				
Ground Cover				
Cinnamon Fern (<i>Osmunda cinnamomea</i>)	63.0	100%	yes	FACW*
TOTAL COVER = 63.0				

Vegetation conclusion:
 Number of dominant wetland indicator plants: **7** Number of dominant non-wetland indicator plants: **1**
 Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? **Yes**

Section II. Indicators of Hydrology
Hydric Soil Interpretation

DP-1 UPL

1. Soil Survey (www.nesoil.com)

Is there a published soil survey for this site? Yes

title/date: Soil Survey of Norfolk & Suffolk Counties, Massachusetts, 1989.

map number: 36

soil type mapped: Merrimac (MmB, 254B), SED, fsl, 3% to 8% slopes.

hydric soil inclusions: None

Are field observations consistent with soil survey? Yes

Remarks:

2. Soil Description

Horizon	Depth	Matrix color	Redoximorphic features
A	0"-12"	10YR 3/1 fsl	
Bw1	12"-18"+	10YR 5/6 fsl	

Other indicators of Hydrology: (check all that apply)

- Site inundated:
- Depth to free water in observation hole:
- Depth to soil saturation in observation hole:
- Water marks:
- Drift lines:
- Sediment deposits:
- Drainage patterns in BVW:
- Oxidized rhizospheres:
- Water-stained leaves:
- Recorded data (stream, lake, or tidal gauge; aerial photo; other)
- Other:

Vegetation and Hydrology Conclusion:

	yes	no
Number of wetland indicator plants greater than or equal to non-wetland indicator plants?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wetland hydrology present?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
hydric soil present?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
other indicators of hydrology present?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sample location is in a BVW	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Remarks:

3. Other: Sunny, dry

Conclusion: Is soil hydric? No

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: _____ Prepared by: Applied Ecological Sciences (AES) Project location: 230 Grove Street Franklin, MA DEP File #: _____

- Check all that apply:
- Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
 - Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
 - Method other than dominance test used (attach additional information) DP-2 @ AES #6

Section I. Vegetation Observation Plot Number: DP-2 WET Transect Number: 1 Date of Delineation: 11/19/2022

A. Sample Layer and Plant Species (by common/scientific name)	B. Percent Cover (or dominance ratio)	C. Percent Dominance	D. Dominant Plant (yes or no)	E. Wetland Indicator Category
Trees				
Red Maple (<i>Acer rubrum</i>)	63.0	86%	yes	FAC*
Northern White Cedar (<i>Thuja occidentalis</i>)	10.5	14%	no	FACW*
TOTAL COVER = 73.5				
Woody Vines:				
Riverbank Grape (<i>Vitis riparia</i>)	20.5	50%	yes	FACW*
Oriental Bittersweet (<i>Celastrus orbiculatus</i>)	20.5	50%	yes	NA
TOTAL COVER = 41.0				
Saplings				
Glossy Buckthorn (<i>Frangula alnus</i>)	63.0	100%	yes	FAC*
TOTAL COVER = 63.0				
Shrubs				
Multiflora Rose (<i>Rosa multiflora</i>)	38.0	31%	yes	FACU
Highbush Blueberry (<i>Vaccinium corymbosum</i>)	20.5	17%	no	FACW*
Glossy Buckthorn (<i>Frangula alnus</i>)	63.0	52%	yes	FAC*
TOTAL COVER = 121.5				

Ground Cover
Absent

TOTAL COVER = 0.0

Vegetation conclusion:
 Number of dominant wetland indicator plants: **6** Number of dominant non-wetland indicator plants: **1**
 Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? **Yes**

Section II. Indicators of Hydrology
Hydric Soil Interpretation

DP-2 WET

1. Soil Survey (www.nesoil.com)

Is there a published soil survey for this site? Yes

title/date: Soil Survey of Norfolk & Suffolk Counties, Massachusetts, 1989.

map number: 36

soil type mapped: Whitman (WhA, 73A), VPD, fsl, 0%- 3% slopes.

hydric soil inclusions: Ridgebury, Scarboro, Swansea

Are field observations consistent with soil survey? Yes

Remarks:

2. Soil Description

Horizon	Depth	Matrix color	Redoximorphic features
A	0"- 12"	10YR 3/1 fsl	10YR 4/1 m/2/f (>20%)
Bg	12"- 16"	10YR 4/1 fsl	

Remarks:

3. Other: Sunny, dry

Conclusion: Is soil hydric? Yes

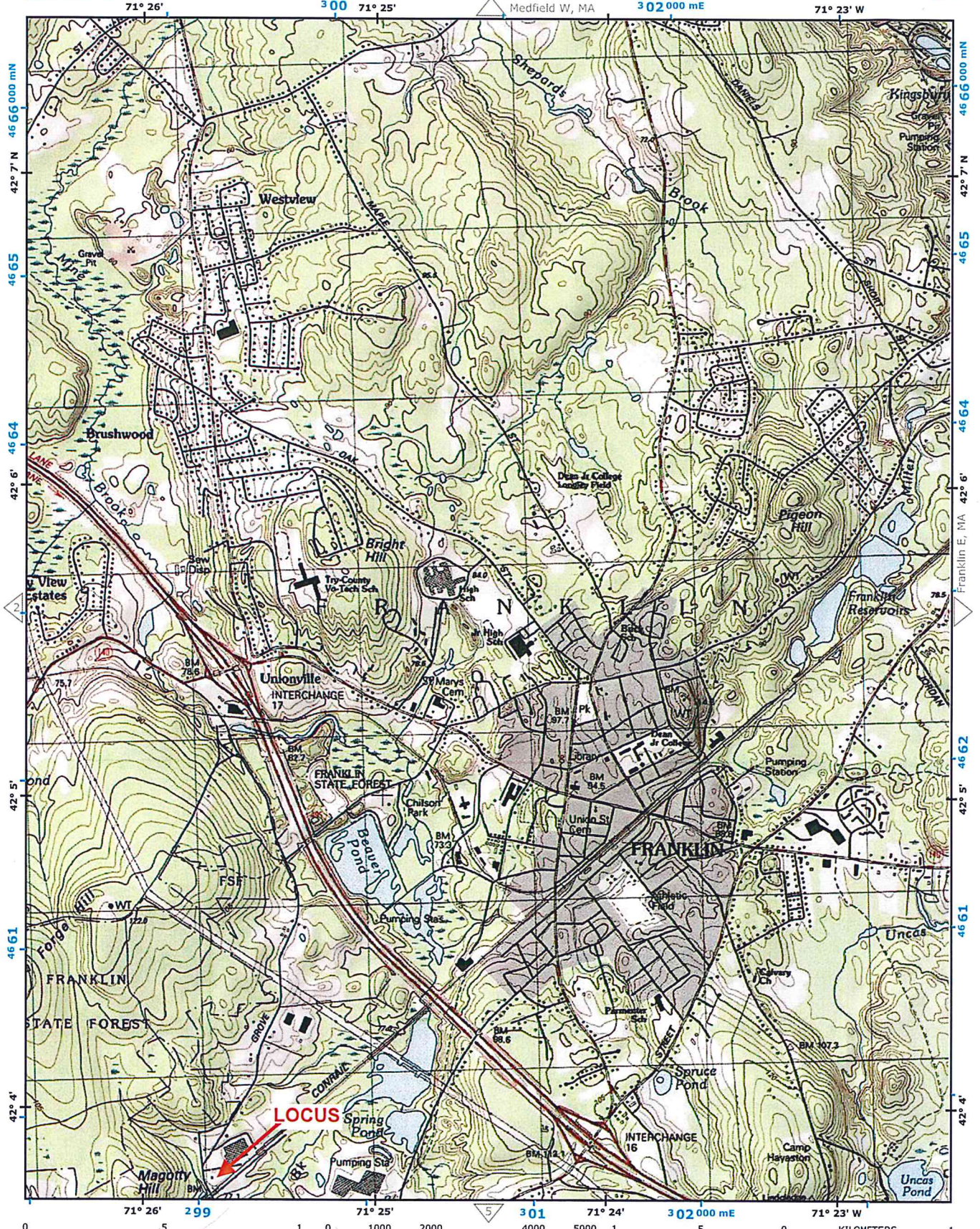
Other indicators of Hydrology: (check all that apply)

- Site inundated:
- Depth to free water in observation hole:
- Depth to soil saturation in observation hole: **Surface**
- Water marks:
- Drift lines:
- Sediment deposits:
- Drainage patterns in BVW:
- Oxidized rhizospheres:
- Water-stained leaves: **Faint**
- Recorded data (stream, lake, or tidal gauge; aerial photo; other)
- Other:

Vegetation and Hydrology Conclusion:

	yes	no
Number of wetland indicator plants greater than or equal to non-wetland indicator plants?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wetland hydrology present?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
hydric soil present?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
other indicators of hydrology present?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sample location is in a BVW	<input checked="" type="checkbox"/>	<input type="checkbox"/>

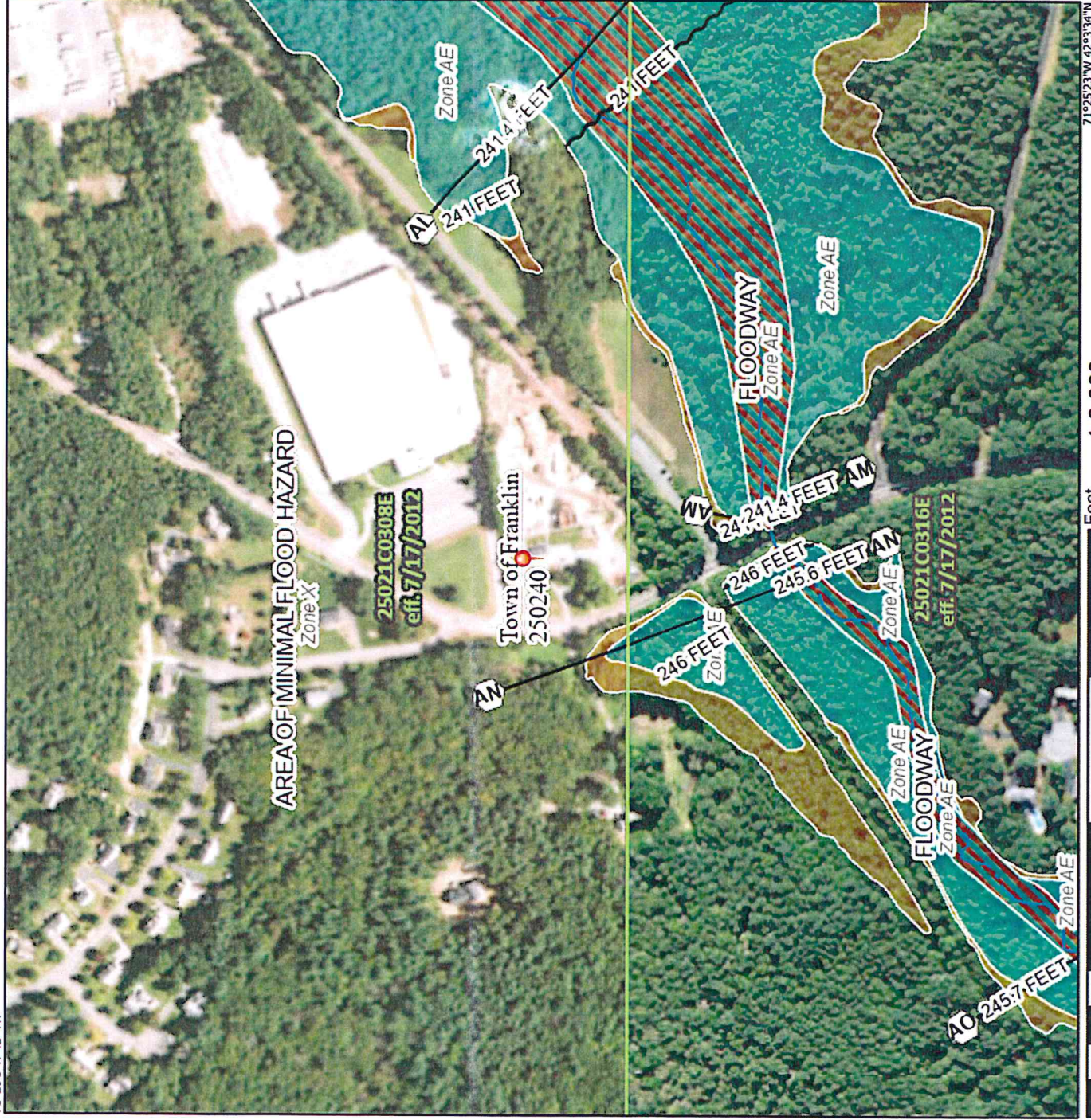
Appendix B
U.S.G.S. Topographic Map
FEMA Map



National Flood Hazard Layer FIRMette



71°26'1"W 42°4'N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

71°25'23"W 42°3'34"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE THIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard. Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile. Zone X
	Future Conditions 1% Annual Chance Flood Hazard. Zone X
	Area with Reduced Flood Risk due to Levee. See Notes. Zone X
	Area with Flood Risk due to Levee. Zone D
OTHER AREAS	NO SCREEN
	Area of Minimal Flood Hazard. Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard. Zone D
GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
OTHER FEATURES	Cross Sections with 1% Annual Chance Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
MAP PANELS	Digital Data Available
	No Digital Data Available
	Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 11/13/2022 at 2:43 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

230 Grove Street



NHESP Priority Habitats of Rare Species



NHESP Estimated Habitats of Rare Wildlife



NHESP Certified Vernal Pools



Potential Vernal Pools



Property Tax Parcels

United Consultants, Inc.

850 Franklin Street Suite 11D
Wrentham, MA 02093
508-384-6560 FAX 508-384-6566

230 Grove Street

Project Narrative

Project Narrative / Mitigation Plan

The proposed project consists of the redevelopment of an existing landscape and construction material business. Additional landscape and construction material storage bins will be added along with an additional stormwater infiltration system. The existing stormwater system had an overflow to a swale which was directed to a riprap area. The swale has been filled in and a pipe has been installed and the riprap area has been reconstructed.

An existing swale was filled in and a drainage pipe was installed as well as the existing riprap area being reconstructed. A portion of the pipe as well as the reconstructed riprap area are located within the riverfront area. A disturbance of 531 sq. ft. is proposed as part of the project. A stormwater infiltration system is proposed for the site. This will provide additional stormwater infiltration and reduce the rate and volume of stormwater leaving the site.

The proposed project is not anticipated to adversely impact the riverfront area. This is based on the above described site improvements.

The project is scheduled to be completed within three to six months after all necessary permits are obtained.

United Consultants, Inc.

850 Franklin Street Suite 11D
Wrentham, MA 02093
508-384-6560 FAX 508-384-6566

August 25, 2023

Town of Franklin Conservation Commission
355 East Central Street
Franklin, Massachusetts 02038

RE 230 Grove Street Limited Site Plan – Functions and Characteristics Assessment

Dear Commission Members,

The proposed project consists of the redevelopment of an existing landscape and construction material business. Additional landscape and construction material storage bins will be added along with an additional stormwater infiltration system. The existing stormwater system had an overflow to a swale which was directed to a riprap area. The swale has been filled in and a pipe has been installed and the rip rap area has been reconstructed.

The following is a functions and characteristics assessment of the proposed project in accordance with the Town of Franklin Conservation Commission Wetlands Protection Bylaw.

1. Public water supply.

The development portion of the site is approximately 980 feet from the nearest public well. The site is not located within the 400' zone I to the well. The project consists of additional landscape and construction material storage bins will be added along with an additional stormwater infiltration system. The existing stormwater system had an overflow to a swale which was directed to a riprap area. The swale has been filled in and a pipe has been installed and the rip rap area has been reconstructed. The building is connected to Septic System. Based on the above no adverse impact to public water supplies is anticipated.

2. Private water supply.

The abutting developed properties are supplied with town water. Additional groundwater recharge is being proposed. Based on the connection to the Town Water system no adverse impact is anticipated.

3. Ground water.

The existing stormwater infiltration system will be cleaned and a proposed stormwater infiltration system has been added to increase groundwater recharge. The existing building is connected to an existing septic system and to Town Water. Blasting is not anticipated. No impact to groundwater is anticipated.

4. Flood Control.

The developed portion of the site is not located within the 100-year flood plain. Based on this the project should not impact the flood plain.

5. Erosion and Sedimentation Control.

The swale area had a pipe added and the rip rap was re-constructed. This work has been completed. The proposed work is not located within wetland jurisdictional area and will have minimal disturbance area. No erosion control measures are proposed.

6. Storm Damage Prevention.

The installation of the additional recharge system shall reduce the site runoff rate and volume. No adverse impacts are anticipated.

7. Water Quality.

The installation of the additional recharge system shall reduce the site runoff rate and volume and provide for additional groundwater recharge. Based on the above there will not be any adverse impact.

8. Water Pollution Control.

The relatively small size of the project as well as the fact that there is not any filling of bordering or isolated vegetated wetlands proposed, should minimize the effects on water pollution control. The installation of the additional recharge system shall reduce the site runoff rate and volume and provide for additional groundwater recharge. Based on the above there will not be any adverse impact.

9. Fisheries.

The relatively small size of the project as well as the fact that there is not any filling of bordering or isolated vegetated wetlands proposed, should minimize the effects on fisheries. The installation of the additional recharge system shall reduce the site runoff rate and volume and provide for additional groundwater recharge. Based on the above there will not be any adverse impact.

10. Shellfish.

Not applicable.

11. Wildlife Habitat.

The work is proposed within a previously disturbed area. Based on the above there will not be any adverse impact.

12. Rare Species Habitat Including Rare Plant Species.

The project is not located within a rare species habitat as shown on the Natural Heritage data layer on the MASSGIS website.

13. Agriculture.

There are not any current agricultural uses located on the property.

14. Aquaculture.

There are not any current aquaculture uses located on the property.

15. Recreation.

The project is located on private property. The proposed work will not impact the public's recreational opportunities.

United Consultants, Inc.

850 Franklin Street Suite 11D
Wrentham, MA 02093
508-384-6560 FAX 508-384-6566

August 25, 2023

Town of Franklin Conservation Commission
355 East Central Street
Franklin, Massachusetts 02038

RE: # 230 Grove Street – Alternatives Analysis

Dear Commission Members,

The proposed project consists of the redevelopment of an existing landscape and construction material business. Additional landscape and construction material storage bins will be added along with an additional stormwater infiltration system. The existing stormwater system had an overflow to a swale which was directed to a riprap area. The swale has been filled in and a pipe has been installed and the riprap area has been reconstructed.

An existing swale was filled in and a drainage pipe was installed as well as the existing riprap area being reconstructed. A portion of the pipe as well as the reconstructed riprap area are located within the riverfront area. A disturbance of 531 sq. ft. is proposed as part of the project. A stormwater infiltration system is proposed for the site. This will provide additional stormwater infiltration and reduce the rate and volume of stormwater leaving the site.

As required by the Franklin Wetland Protection Regulations and 310 CMR 10.58 (4), an alternatives analysis is required if the project includes disturbance within the riverfront area.

We have prepared the following alternatives analysis based on the pavement within the 0 – 50' buffer zone:

1. The swale could be re-constructed and a portion of the pipe removed.
2. The site could be left as is.

Town of Franklin Conservation Commission

RESOURCE AREA IMPACT SUMMARY FORM

**The Franklin Wetlands Protection Bylaw
Franklin Town Code Section 181**

Resource Area	Alteration Proposed	Mitigation Proposed
Bordering Vegetated Wetland (SF)	0	
Bank (LF)	0	
Land Under Water Bodies (SF)	0	
Isolated Wetland (SF)	0	
Vernal Pool (SF)	0	
Buffer Zone (SF)	0	
Riverfront (SF)	531	
100-Year Floodplain (CF)	0	
(SF) = Square Feet (LF) = Linear Feet (CF) = Cubic Feet Flood Storage		

Roads	_____ linear feet x \$2.00	= _____
*Drainage Structures	<u>1</u> X \$10.00 each	= <u>10</u>
Wetland Resource Area Disturbed	<u>531</u> square feet x \$0.50	= <u>265.50</u>
Buildings	_____ X \$125 each	= _____
All Accessory Improvements		\$100.00 = _____

2. REQUEST FOR DETERMINATION (RDA) \$100.00

3. MINOR BUFFER ZONE ACTIVITY (MBZA) \$50.00

4. ABBREVIATED NOTICE OF RESOURCE AREA DETERMINATION (ANRAD)

\$0.50/foot/resource area: = _____

5. OTHER PERMITS/SERVICES

Order of Conditions Extension	\$50.00	_____
Certificate of Compliance Request	\$50.00	_____
Certificate Re-Inspection	\$50.00	_____
Status Letter for Financial Institution	\$100.00	_____
Permit Amendment	\$100.00	_____

6. FILING FEE CALCULATION

Town Share of State Fees (See NOI Wetland Fee Transmittal Form) \$ 262.50

Local Filing Fee Calculated Above \$ 875.50

TOTAL Due Town of Franklin (Check No.1) \$ 1,138.00

State Share of Filing Fee (See NOI Wetland Fee Transmittal Form)

TOTAL Due DEP (Check No. 2) \$ 237.50

7. ADVERTISING FEE (Check No. 3) **TBD**

The fee will be the exact amount the newspaper charges for that specific advertisement. Once the advertisement is placed with the paper, by the Conservation Commission, the applicant will be notified of the cost and will be expected to submit a check for that exact amount, payable to the Town of Franklin, to the Conservation Department prior to the first hearing.

*Drainage structures: catch basins, manholes, leaching basins, gutter inlet or any other man-made structure (other than a pipe) for purposes of controlling drainage.

Town of Franklin – Board of Assessors
355 East Central Street
Franklin, MA 02038
Tel # 508-520-4920
Fax # 508-520-4923



Abutters List Request Form

Please Note: A \$25.00 fee per list is required to process your request. Payment is due at the time of submission of this form. Please allow 10 days from the date of both payment and submission of the form for the Assessors office to complete processing your request. (Revised 1-1-22)

Date of Request 8/28/23

Assessors Parcel ID # (12 digits) 311 - 003 - 000 - 000

Property Street Address 230 Grove Street

Distance Required From Parcel # listed above (Circle One): 500 **300** 100
(Note: if a distance is not circled, we cannot process your request)

Property Owner ISAR LLC

Property Owner's Mailing Address 3 Madison Street

Town/City Plainville State MA Zip Code 02762

Property Owner's Telephone # _____ - _____ - _____

Requestor's Name (if different from Owner) United Consultants Inc. (Joanna)

Requestor's Address 850 Franklin St Wrentham MA

Requestor's Telephone # 508 - 384 - 6560
Joanne@UCi850.com

Office Use Only: Date Fee Paid 8/28/23 Paid in Cash \$ _____

Paid by Check \$ 25.00 Check # 7352 Town Receipt # 30146

Please Circle One:

- Administration
- Conservation**
- Planning
- Zoning Board of Appeals



230 GROVE ST - 300' ABUTTERS

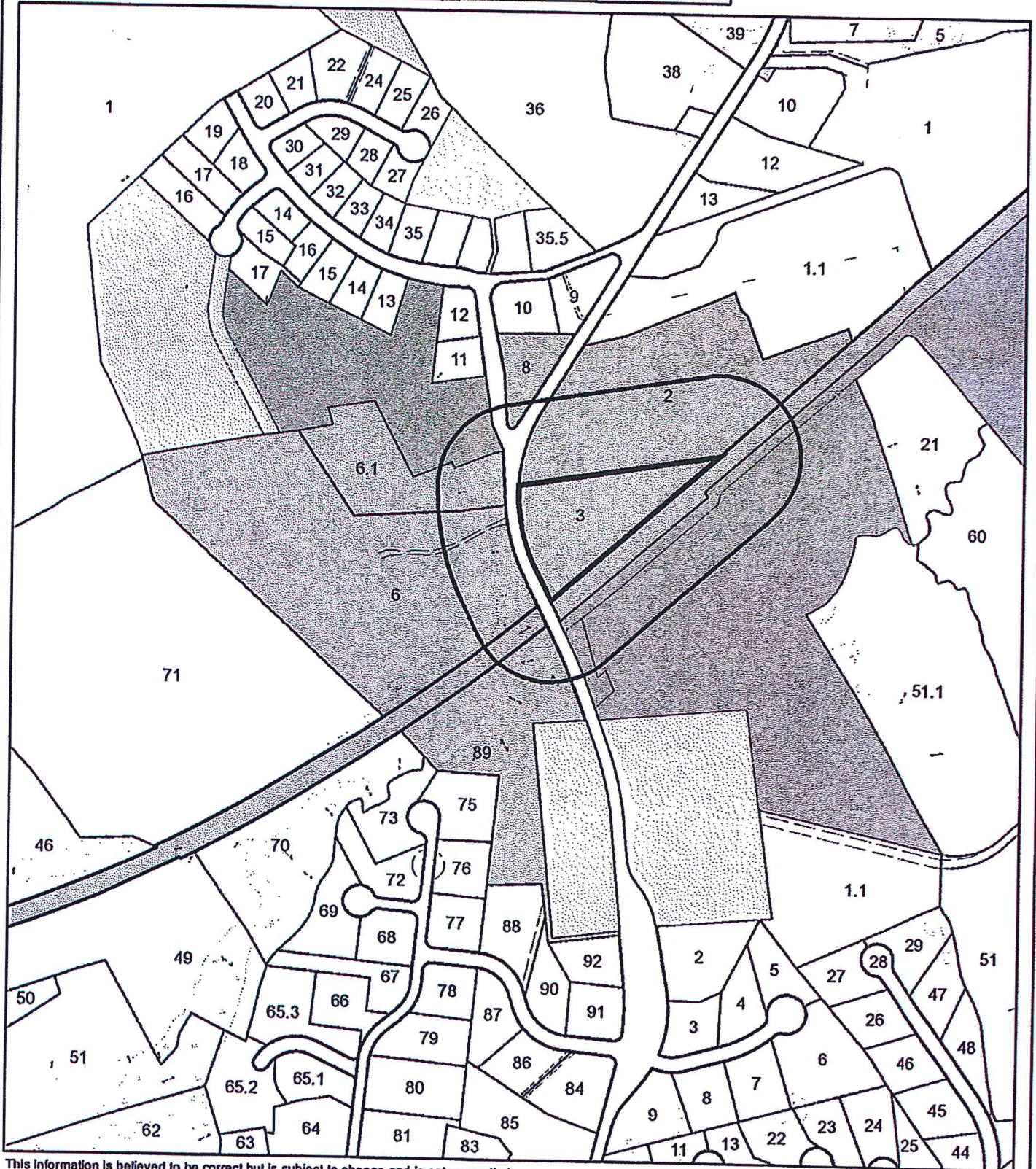
Franklin, MA



August 28, 2023

1 inch = 500 Feet

www.cai-tech.com



This information is believed to be correct but is subject to change and is not warranted.



300 foot Abutters List Report

Franklin, MA
August 28, 2023

Subject Property:

Parcel Number: 311-003-000
CAMA Number: 311-003-000-000
Property Address: 230 GROVE ST

Mailing Address: ISAR LLC
3 MADISON STREET
PLAINVILLE, MA 02762

Abutters:

Parcel Number: 295-014-000
CAMA Number: 295-014-000-000
Property Address: CONRAIL

Mailing Address: NEW YORK CENTRAL LINES LLC C/O
CSX TRANSPORTATION TAX
DEPARTMENT
500 WATER ST (C 910)
JACKSONVILLE, FL 32202

Parcel Number: 311-002-000
CAMA Number: 311-002-000-000
Property Address: 210 GROVE ST

Mailing Address: 83 GF210 OWNER LLC
7121 FAIRWAY DRIVE - STE 410
PALM BEACH GARDENS, FL 33418

Parcel Number: 311-003-000
CAMA Number: 311-003-000-000
Property Address: 230 GROVE ST

Mailing Address: ISAR LLC
3 MADISON STREET
PLAINVILLE, MA 02762

Parcel Number: 311-004-000
CAMA Number: 311-004-000-000
Property Address: GROVE ST

Mailing Address: FRANKLIN TOWN OF
355 EAST CENTRAL ST
FRANKLIN, MA 02038

Parcel Number: 311-005-000
CAMA Number: 311-005-000-000
Property Address: 350 GROVE ST

Mailing Address: FRANKLIN TOWN OF
355 EAST CENTRAL ST
FRANKLIN, MA 02038

Parcel Number: 311-006-000
CAMA Number: 311-006-000-000
Property Address: 235 GROVE ST

Mailing Address: ROSSETTI STEVEN J & DALE M, TRS
CEDAR HILL FARM REALTY TRUST
235 GROVE ST
FRANKLIN, MA 02038

Parcel Number: 311-006-001
CAMA Number: 311-006-001-000
Property Address: 231 GROVE ST

Mailing Address: ROSSETTI WILLIAM J
231 GROVE ST
FRANKLIN, MA 02038

Parcel Number: 311-008-000
CAMA Number: 311-008-000-000
Property Address: 30 OLD GROVE ST

Mailing Address: PALEOLOGOS ANDREW A
PALEOLOGOS SHANNON P
30 OLD GROVE ST
FRANKLIN, MA 02038

Parcel Number: 311-018-000
CAMA Number: 311-018-000-000
Property Address: OLD GROVE ST

Mailing Address: FRANKLIN TOWN OF
355 EAST CENTRAL STREET
FRANKLIN, MA 02038

Parcel Number: 312-021-000
CAMA Number: 312-021-000-000
Property Address: 340 GROVE ST

Mailing Address: FRANKLIN TOWN OF
355 EAST CENTRAL STREET
FRANKLIN, MA 02038



www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.

8/28/2023

Page 1 of 2



300 foot Abutters List Report

Franklin, MA
August 28, 2023

Subject Property:

Parcel Number: 311-003-000
CAMA Number: 311-003-000-000
Property Address: 230 GROVE ST

Mailing Address: ISAR LLC
3 MADISON STREET
PLAINVILLE, MA 02762

Abutters:

Parcel Number: 295-014-000
CAMA Number: 295-014-000-000
Property Address: CONRAIL

Mailing Address: NEW YORK CENTRAL LINES LLC C/O
CSX TRANSPORTATION TAX
DEPARTMENT
500 WATER ST (C 910)
JACKSONVILLE, FL 32202

Parcel Number: 311-002-000
CAMA Number: 311-002-000-000
Property Address: 210 GROVE ST

Mailing Address: 83 GF210 OWNER LLC
7121 FAIRWAY DRIVE - STE 410
PALM BEACH GARDENS, FL 33418

Parcel Number: 311-003-000
CAMA Number: 311-003-000-000
Property Address: 230 GROVE ST

Mailing Address: ISAR LLC
3 MADISON STREET
PLAINVILLE, MA 02762

Parcel Number: 311-004-000
CAMA Number: 311-004-000-000
Property Address: GROVE ST

Mailing Address: FRANKLIN TOWN OF
355 EAST CENTRAL ST
FRANKLIN, MA 02038

Parcel Number: 311-005-000
CAMA Number: 311-005-000-000
Property Address: 350 GROVE ST

Mailing Address: FRANKLIN TOWN OF
355 EAST CENTRAL ST
FRANKLIN, MA 02038

Parcel Number: 311-006-000
CAMA Number: 311-006-000-000
Property Address: 235 GROVE ST

Mailing Address: ROSSETTI STEVEN J & DALE M, TRS
CEDAR HILL FARM REALTY TRUST
235 GROVE ST
FRANKLIN, MA 02038

Parcel Number: 311-006-001
CAMA Number: 311-006-001-000
Property Address: 231 GROVE ST

Mailing Address: ROSSETTI WILLIAM J
231 GROVE ST
FRANKLIN, MA 02038

Parcel Number: 311-008-000
CAMA Number: 311-008-000-000
Property Address: 30 OLD GROVE ST

Mailing Address: PALEOLOGOS ANDREW A
PALEOLOGOS SHANNON P
30 OLD GROVE ST
FRANKLIN, MA 02038

Parcel Number: 311-018-000
CAMA Number: 311-018-000-000
Property Address: OLD GROVE ST

Mailing Address: FRANKLIN TOWN OF
355 EAST CENTRAL STREET
FRANKLIN, MA 02038

Parcel Number: 312-021-000
CAMA Number: 312-021-000-000
Property Address: 340 GROVE ST

Mailing Address: FRANKLIN TOWN OF
355 EAST CENTRAL STREET
FRANKLIN, MA 02038



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8/28/2023

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300 foot Abutters List Report

Franklin, MA
August 28, 2023

Parcel Number: 322-089-000
CAMA Number: 322-089-000-000
Property Address: 9 TOBACCO RD

Mailing Address: YOUNG CHARLES P YOUNG HEATHER
K
9 TOBACCO RD
FRANKLIN, MA 02038

Parcel Number: 323-048-000
CAMA Number: 323-048-000-000
Property Address: GROVE ST

Mailing Address: COMMONWEALTH OF
MASSACHUSETTS DIVISION OF STATE
PARKS AND RE
251 CAUSEWAY STREET - SUITE 600
BOSTON, MA 02114-2104



www.cai-tech.com

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8/28/2023

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300 foot Abutters List Report

Franklin, MA
August 28, 2023

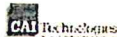
Parcel Number: 322-089-000
CAMA Number: 322-089-000-000
Property Address: 9 TOBACCO RD

Mailing Address: YOUNG CHARLES P YOUNG HEATHER
K
9 TOBACCO RD
FRANKLIN, MA 02038

Parcel Number: 323-048-000
CAMA Number: 323-048-000-000
Property Address: GROVE ST

Mailing Address: COMMONWEALTH OF
MASSACHUSETTS DIVISION OF STATE
PARKS AND RE
251 CAUSEWAY STREET - SUITE 600
BOSTON, MA 02114-2104

Kevin M. Doyle, 8-28-23



www.cai-tech.com

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8/28/2023

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Abutters List Report - Franklin, MA

83 GF210 OWNER LLC
7121 FAIRWAY DRIVE - STE 410
PALM BEACH GARDENS, FL 33418

COMMONWEALTH OF
MASSACHUSETTS
DIVISION OF STATE PARKS A
251 CAUSEWAY STREET - SUITE
600
BOSTON, MA 02114-2104

FRANKLIN TOWN OF
355 EAST CENTRAL ST
FRANKLIN, MA 02038

FRANKLIN TOWN OF
355 EAST CENTRAL STREET
FRANKLIN, MA 02038

ISAR LLC
3 MADISON STREET
PLAINVILLE, MA 02762

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CEDAR HILL FARM REALTY TR
235 GROVE ST
FRANKLIN, MA 02038

ROSSETTI WILLIAM J
231 GROVE ST
FRANKLIN, MA 02038

YOUNG CHARLES P
YOUNG HEATHER K
9 TOBACCO RD
FRANKLIN, MA 02038



3 MADISON STREET
PLAINVILLE, MA 02762
508-695-5100

MIDDLESEX BANK
53-7122/2113

38339

CHECK NO.

38333

*****TWO HUNDRED THIRTY SEVEN DOLLARS AND 50 CENTS*****

DATE

AMOUNT

08/29/2023

*****\$237.50

PAY
TO THE
ORDER
OF

COMMONWEALTH OF MASS
MA DEPT OF REV/CSE
BOSTON MA 02205-5140


AUTHORIZED SIGNATURE



⑈038333⑈ ⑆211371227⑆ 166863277⑈

THE REVERSE SIDE OF THIS DOCUMENT INCLUDES MICROPRINTED ENDORSEMENT LINES AND ARTIFICIAL WATERMARK - HOLD AT AN ANGLE TO VIEW



3 MADISON STREET
PLAINVILLE, MA 02762
508-695-5100

MIDDLESEX BANK
53-7122/2113

38339

CHECK NO.

38339

*****1,138 DOLLARS AND 00 CENTS*****

DATE

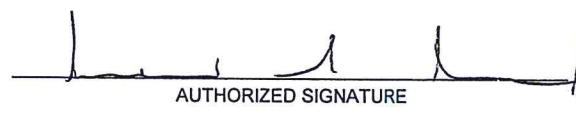
AMOUNT

08/29/2023

*****\$1,138.00

PAY
TO THE
ORDER
OF

TOWN OF FRANKLIN
~~FRANKLIN POLICE DEPARTMENT~~
911 PANTHER WAY
FRANKLIN MA 02038


AUTHORIZED SIGNATURE



⑈038339⑈ ⑆211371227⑆ 166863277⑈

THIS DOCUMENT IS PRINTED ON TONER ADHESION PAPER

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Town of Franklin Conservation Commission

NOTIFICATION TO ABUTTERS

Under the Massachusetts Wetlands Protection Act And The Franklin Wetlands Protection Bylaw

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following proposed project:

ISAR, LLC has filed a Notice of Intent with the Franklin Conservation Commission for the Limited Site Plan – 230 Grove Street on August 31, 2023, under the Wetlands Protection Act (M.G.L c.131 §40).

Copies of the Notice of Intent may be examined during regular office hours at United Consultants, Inc. – 850 Franklin Street Suite 11D Wrentham, MA 02093

Copies may also be examined by contacting the Franklin Conservation Department located at 355 East Central Street, Franklin, MA, (508) 520-4929.

Notice of the public hearing including the date, time, and place will be published at least five (5) days in advance in the Milford Daily News.

Notice of the public hearing including the date, time, and place will be posted in the Franklin Town Hall at least forty eight (48) hours in advance of the public hearing.

The public hearing will be held on Thursday, September 21, 2023, at 7:00 pm at the Town Council Chambers, located on the Second Floor of the Municipal Building on 355 East Central Street. The meeting is also available via Zoom, and can be accessed through the Conservation Commission agenda for that night, which will be posted on the Town's website 48 hours prior to the meeting. Please call the Conservation Department at (508) 520-4929 if you have any questions.

You may also contact the Massachusetts Department of Environmental Protection, Central Regional Office, Worcester, MA at (508) 792-7650.

Town of Franklin Conservation Commission

AFFIDAVIT OF SERVICE

Under the Massachusetts Wetlands Protection Act

(To be submitted to the Massachusetts Department of Environmental Protection and the Franklin Conservation Commission when filing a Notice of Intent)

I, Joanne Raposo hereby certify under the pains and penalties of perjury that on August 31, 2023, I gave Notification to Abutters in compliance with second paragraph of Massachusetts General Laws Chapter 131, Section 40 in connection with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands Protection Act by ISAR, LLC with the Franklin Conservation Commission on August 31, 2023 for property located on 230 Grove Street Map 311 Parcel 003, Franklin, MA.

The Notification to Abutters form and list of the abutters to whom it was given and their addresses are attached to the Affidavit of Service.

 _____
Signature

8/31/23
_____ Date

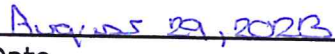
Town of Franklin Conservation Commission

PROPERTY ACCESS SIGNATURE FORM

I hereby request that the Franklin Conservation Commission review this NOI/RDA/ANRAD application. I (we) grant authority to the Franklin Conservation Commission members and agents to go onto my (our) property solely for purposes directly related to the inspection and approval of this application and for follow-up compliance with the permit conditions.



Signature of Property Owner



Date

Town of Franklin Conservation Commission

APPLICATION PROCESS SIGNATURE FORM

There are three different applications that can be submitted to undertake work in a jurisdictional area: a Notice of Intent (NOI), a Request for Determination (RDA) and a Minor Buffer Zone Activity (MBZA). All three applications have different criteria for submission and approval and the NOI and RDA are governed by both the state law and the local bylaw. The MBZA is issued under the local bylaw only.

When a potential applicant requests advice from the Conservation Agent on which application to file, the opinion of the Agent is based on the information given by the potential applicant and any other information available to the Agent, e.g. the town's GIS system. The Agent has no legal right to go onto private property at any time until after an application is filed or permission of the property owner is given.

It is important that all applicants understand that after an application is filed, additional information may come to light e.g. via a field inspection or a review of the application, that may impact the scope of the submitted application and the approval process. **Therefore, it is the ultimate responsibility of the applicant to decide which application to file.**

In light of the above, please sign below indicating an understanding of this policy and submit it with the application.



Signature of Property Owner



Date