

EXISTING CONDITIONS



9 LEWIS ST EXISTING BUILDING



240 EAST CENTRAL EXISTING BUILDING

PROPOSED DESIGN



PROPOSED DESIGN



**PROJECT OVERVIEW**

**TRADITIONAL & NEW MULTIFAMILY BUILDING**

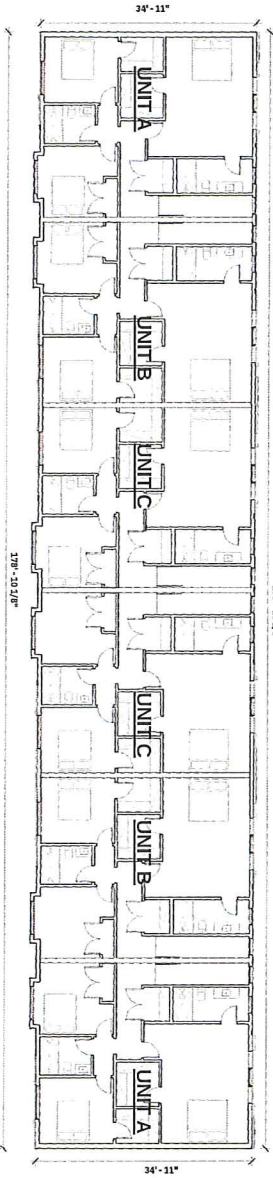
<b>LOCATION</b>	East Central Street, Franklin, MA 02038
<b>PROPERTY TYPE</b>	MULTIFAMILY
<b>TOTAL UNITS</b>	14
<b>SUBJECT PARCEL SIZE</b>	34,567.31 SF
<b>LAND AREA RATIO TO NUMBER OF UNITS</b>	2469



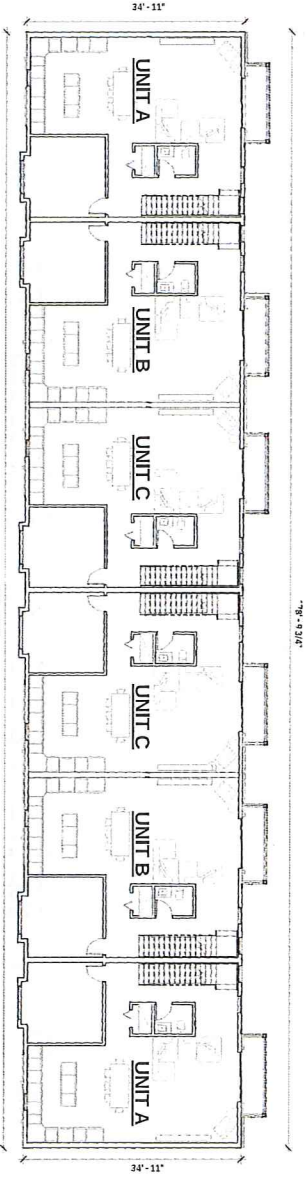
**PROPOSED PLANS**

TYPICAL TOWNHOUSE UNIT AREA (SIMILAR UNITS ON BUILDING B)

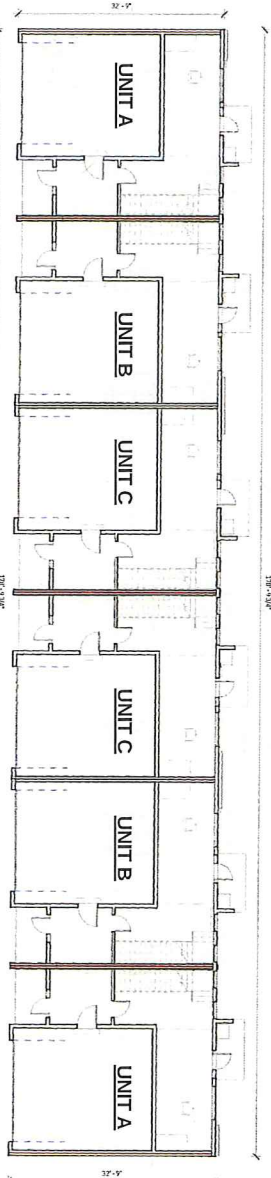
UNIT A 2,932 SF    UNIT B 2,932 SF    UNIT C 2,932 SF



SECOND FLOOR



FIRST FLOOR



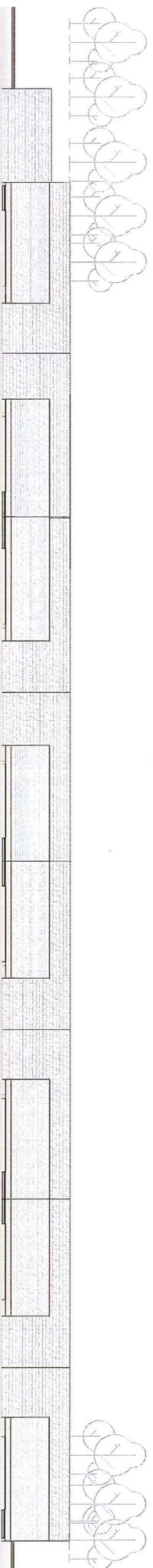
BASEMENT

PROPOSED ELEVATIONS

9 LEWIS STREET VIEW



240 EAST CENTRAL SIDE VIEW



PROPOSED DESIGN









May 2, 2024

Mr. Gregory Rondeau, Chairman  
355 East Central Street  
Franklin, MA 02038

**Re: Nylah Crossing LLC, 240 East Central Street & 9 Lewis Street  
Site Plan Peer Review**

Dear Mr. Rondeau:

BETA Group, Inc. is pleased to provide engineering peer review services for the proposed project entitled "**Site Plan Review 240 East Central Street & 9 Lewis Street**" located at 240 East Central Street in Franklin, Massachusetts. This letter is provided to outline BETA's findings, comments, and recommendations.

### **Basis of Review**

The following documents were received by BETA and will form the basis of the review:

- Plans (13 sheets) entitled: "**Site Plan Review, 240 East Central Street & 9 Lewis Street**", dated March 13, 2024, prepared by MP Design Consultants Inc. of Southborough, MA stamped by Carlos Ferrera, MA PE #4143.
- Stormwater Management Report prepared for Nylah Crossing LLC dated March 13, 2024, prepared by MP Design Consultants Inc. of Southborough, MA stamped by Carlos Ferreira, MA PE #41426.
- Site Plan Review Application, including:
  - Form P – 240 East Central Street
  - Form P – 9 Lewis Street
  - Certificate of Ownership

Review by BETA included the above items along with the following, as applicable:

- Site Visit
- **Zoning Chapter 185 From the Code of the Town of Franklin**, current through July 2021
- **Zoning Map of the Town of Franklin, Massachusetts**, attested to October 7, 2020
- **Stormwater Management Chapter 153 From the Code of the Town of Franklin**, Adopted May 2, 2007
- **Subdivision Regulations Chapter 300 From the Code of the Town of Franklin**, current through March 8, 2021
- **Wetlands Protection Chapter 181 From the Code of the Town of Franklin**, dated August 20, 1997
- **Town of Franklin Best Development Practices Guidebook**, dated September 2016

## 1.0 SITE AND PROJECT DESCRIPTION

The project site includes two lots identified as Assessors Map 285 Parcels 66 and 68, with a total area of 34,500± square feet located at 240 East Central Street and 9 Lewis Street in the Town of Franklin (the "Site"). The Site is located within the Commercial 1 zoning district. The adjacent lot to the west is Taj Estates, a recently permitted multi-family housing development at 230 East Central Street. The 2 single family dwellings to the east along Lewis Street are also located in the Commercial 1 zoning district. The lots to the south are in the Single-Family IV zoning district with a single-family dwelling at 29 Lewis Street located just off the southeast corner of the parcel. The Site is located within the limits of the Water Resource District.

The existing Site is the location of two single-family residential dwellings at 240 East Central Street and 9 Lewis Street. The 240 East Central property was formerly used as a daycare facility. The proposed development is to combine the lots and raze the existing structures to construct two buildings, Building "A" and Building "B" located on the eastern and western sides of the Site, respectively. Building A will be a multi-story, mixed-use structure with a footprint area of 5,940± sq. ft. that will provide 6 housing units. Building B will be a multi-story, mixed-use structure with a footprint area of 8,326± sq. ft. that will provide 8 housing units and 406 square feet of commercial use on the first floor.

Access to the Site is proposed via a new one-way driveway beginning at East Central Street at the north side of the Site, continuing south between the two buildings, then ending at Lewis Street in the southeast corner of the Site. Associated Site features include curbing, sidewalk, landscaping, parking areas, residential garages, fencing, and utilities (water, sanitary sewer, gas, electric). Stormwater management is proposed via a new closed drainage system consisting of catch basins and manholes which will convey stormwater runoff to one large subsurface infiltration system and four smaller subsurface infiltration systems.

No wetland resource areas are located within or in the vicinity of the Site. The Site is not located in a FEMA mapped 100-year floodplain or an NHESP-mapped estimated habitat of rare or endangered species. The project is in the Water Resource District which is the Zone II of a public water supply well. NRCS soil maps indicate that underlying soils are Sudbury fine sandy loam with a hydrologic soil group rating (HSGR) of B (moderate infiltration potential) or urban land with no assigned HSGR.

## 2.0 WAIVERS

No waiver requests are noted in the submission.

## 3.0 GENERAL REVIEW COMMENTS

G1. *Provide information on the existing sewer easement located along the southern side of the Site. Confirm that proposed site features, including drainage, gas, and water utilities as well as paving and the southwestern building corner, can be constructed within this easement.*

## 4.0 TOWN OF FRANKLIN ZONING REQUIREMENTS

The project is subject to the Town of Franklin zoning regulations outlined under Chapter 185. Review comments related to the zoning bylaw are provided in the following sections.

The project proposes a Mixed Use consisting of commercial and residential uses and is located within the Commercial I (CI) district. Both proposed buildings have greater than 3 housing units.

Multifamily or apartment residential uses with four or more housing units are permitted in the CI district subject to the requirement that lot area must be at least 25% greater than that required for a single family dwelling and no more than one dwelling unit per 2,250 Sq. Ft. of lot area is permitted. The project will meet both of these requirements.

Certain types of commercial uses are allowed in the CI district; several categories of commercial uses are not allowed or require a special permit.

Z1. *Clarify the nature of the proposed commercial uses and confirm it will be a permitted uses.*

#### **SCHEDULE OF LOT, AREA, FRONTAGE, YARD AND HEIGHT REQUIREMENTS (§185 ATTACHMENT 9)**

The project will comply with dimensional requirements for lot area, frontage, lot width, lot depth front yard, building height, building coverage, and maximum impervious coverage.

Additional requirements are in place for required side yard. Per §185 Attachment 9, Note 14, the 10-foot side setback is required on one side of the lot; if lot abuts a residential district, a 20-foot setback is required on the abutting side. The lot abuts a residential district to the south only. Ten-foot and 25-foot side yards are provided on the shared lot lines with #244 East Central Street. A 6.16' setback is provided along the westerly property line.

Z2. *BETA defers to the zoning compliance officer to determine if a 20-foot setback is required along the westerly property line.*

#### **PARKING, LOADING AND DRIVEWAY REQUIREMENTS (§185-21)**

Refer to Traffic Assessment section below.

#### **SIDEWALKS (§185-28) AND CURBING (§185-29)**

The project is located within the Commercial I zoning district and is thus subject to §185-28. An existing sidewalk is present along East Central Street and the project proposes to reconstruct the portions of the sidewalk that will be impacted by the new driveway entrance. No sidewalk is proposed along Lewis Street.

Proposed curbing includes vertical granite curb at the East Central Street driveway entrance, Cape Cod Berm along Lewis Street, and precast concrete curb around parking areas and along sidewalks within the Site.

Z3. *Depict existing and proposed sidewalk width on the plans. The sidewalk along the frontage must be at least 6 feet in width. BETA defers to the Town if a smaller width may be appropriate to match the existing sidewalk, if needed (§185-28).*

Z4. *BETA defers to the Planning Board to confirm the installation of sidewalks on Lewis Street is not useful (§185-28).*

Z5. *BETA defers to the Town whether vertical granite curb should be provided at the Lewis Street driveway egress (§185-29) and notes that the existing edge treatment along the roadway is Cape Cod berm.*

#### **SITE PLAN AND DESIGN REVIEW (§185-31)**

The project has been submitted for Site Plan Review and is required to conform to the requirements of this section. The submission is in compliance with this section except as noted below:

- Z6. *Provide note that all plantings shall come from the Best Development Practices Guidebook (§185-31.C.(3).(k)).*
- Z7. *Indicate if site lighting is proposed and provide photometric plan if applicable (§185-31.C.(3).(l)).*
- Z8. *Provide sight line information at exit to Lewis Street (§185-31.C.(3).(t)).*

#### **LANDSCAPING AND SCREENING (§185-35)**

Refer to Landscape and Grading section below.

#### **WATER RESOURCES DISTRICT (§185-40)**

The Site is located within the Town of Franklin Water Resources District and a Zone II Wellhead Protection Area. The project does not include any use that would be prohibited in this district. Refer to the Stormwater Management section below relating to proposed artificial recharge for impervious areas.

#### **INCLUSIONARY ZONING (§185-51)**

The project proposes a multifamily development with 10 or more housing units and is therefore required to address affordable housing requirements (§185-51.C.(1)).

- Z9. *Provide information on compliance with the required number of inclusionary units per (§185-31.C.(F)).*

### **5.0 TRAFFIC ASSESSMENT AND IMPACT**

The Applicant provided has not provided a traffic impact report or traffic study. The project is anticipated to generate an increase in daily trips compared to existing conditions due to the proposed multifamily housing and commercial uses.

#### **GENERAL TRAFFIC COMMENTS**

- T1. *The Planning Board should discuss whether a Traffic Impact Analysis is warranted for this project.*
- T2. *Provide detail for typical pavement cross section with proposed materials and thickness of each pavement/subbase layer.*

#### **SITE ACCESS AND CIRCULATION**

Access to the Site is proposed via a new curb cut and driveway entrance connecting to East Central Street in the north. The existing residential driveway in this area will be removed. The proposed entrance will connect to a one-way driveway continuing south through the Site and then east towards Lewis Street. A new driveway egress is proposed connecting to Lewis Street in the southeast corner of the Site.

The proposed driveway will connect to a small parking area in the northwest as well as a series of residential garages for the western building. A sidewalk is proposed along the east side of the driveway and will connect to the sidewalk along East Central Street.

Access to residential garages for the eastern building will be provided via four new residential driveways connecting directly to Lewis Street to the east. The existing residential driveway along Lewis Street will be removed.

- T3. *Confirm that the proposed configuration has been reviewed by the Town Fire Department.*
- T4. *Provide details and grading for residential driveways. BETA notes that the “residential driveway” detail provided is for driveways with a grass strip and sidewalk that does not seem applicable to the Site.*
- T5. *Confirm there is adequate maneuvering space for vehicles to exit the garages (20’ driveway aisle) and adequate turning radius for the largest vehicle anticipated on site, such as a waste collection or delivery.*
- T6. *Depict existing sidewalk and Lewis Street edge of pavement on the plans.*
- T7. *Proposed curb ramp types should be designated on the plans.*

**PARKING AND LOADING**

Required parking is defined by §185-21.B of the Town Zoning Bylaw. The proposed development includes residential and nonresidential uses in the Commercial I zoning district. Required parking is calculated as follows:

Use Designation	Criteria	# of Units / Building Area	Required Parking
Residential	1.5 spaces per residential unit	14 units	21 Spaces
Nonresidential	1 Space per 500 Sq. Ft. of gross floor area	406 Sq. Ft.	1 Spaces
Total			22 Spaces

The project proposes three (3) outdoor parking spaces and fourteen (14) garages. Based on the parking requirement table provided by the Applicant, each garage is intended to provide two parking spaces for a total of twenty-eight (28) residential parking spaces required.,

One (1) of the outdoor parking spaces is designed to be van accessible in accordance with 521 CMR 23.2.1

The one-way driveway is a minimum of 20-feet wide, increased to 30’± adjacent to the outdoor parking area. Commercial parking spaces are 9 feet wide; and 19 feet long. Residential driveways and garages are designated as 20.7’ wide for driveways serving single units and 41.4’ wide for driveways serving multiple units.

- T8. *Indicate location of door for commercial area and confirm there is adequate space for opening and maneuvering in accordance with applicable ADA regulations.*

**6.0 SIGNAGE AND LIGHTING**

The project proposes two “visitor parking” signs at the northwest parking area. The project also proposes one accessible parking sign, a “one-way” sign, and a “do not enter” sign. All signs are anticipated to be appropriate for their use.

- SL1. *Provide detail for “visitor parking” sign. Provide detail or MUTCD reference for other proposed signs.*
- SL2. *Evaluate the placement of the “do not enter” sign and requirement for “one-way” signs per the MUTCD.*

There is no indication in the planset that lighting is provided. The Illuminating Engineers Society of North America (IESNA) recommends the following illuminance for parking lots:

Level	Horizontal Illuminance (Min)	Vertical Illuminance (Min.)	Uniformity Ratio (Max/Min)
Basic Maintained Illuminance	0.2	0.1	20/1
Enhanced Security Illuminance	0.5	0.25	15/1

SL3. *Clarify if site lighting is proposed. BETA recommends that lighting be provided to promote visitor and resident safety.*

## 7.0 UTILITIES

Proposed utilities depicted on the plans include domestic water, fire service, sanitary sewer, electric service, and gas service.

Domestic water is proposed via new 2" copper type K and fire service is provided via new 4" CLDI. These services will connect to the existing main at East Central Street for Building "B" or the existing main at Lewis Street for Building "A". Additionally, new hydrants are proposed in the northeast and southeast corners of the Site.

Sanitary sewer service is proposed via new 6" PVC service. This service will connect to the existing main along the southern portion of the Site for Building "B" or the existing main at Lewis Street for Building "A".

Natural gas is proposed via a new service which will connect both buildings to the existing service at Lewis Street.

Electric service is proposed via new overhead line which will connect the Building "B" to an existing utility pole along East Central Street and Building "A" to an existing utility pole along Lewis Street.

- U1. *BETA defers to the preference of the Board on providing overhead or underground electric services.*
- U2. *Review design of southern drainage system. Two catch basins are proposed to be located directly over an existing sewer line to remain. This will impact the ability to repair or replace the sewer line in the future and there may direct conflict or adverse impacts from loading on the sewer line. Confirm legal right to place these structures within the easement.*
- U3. *Provide detail for fire hydrant and associated gate valve.*
- U4. *Evaluate layout of fire protection service and route directly to sprinkler room, if required.*
- U5. *Confirm legal right to place a portion of the overhead electric line within the boundaries of the abutting property to the west.*

## 8.0 LANDSCAPE TREATMENT & GRADING

A landscaping plan has been provided depicting 75 shrub plantings and 2 tree plantings. Landscaping is generally proposed along the sidewalk, at the eastern driveways, and north of the outdoor parking area.

The project is not required to provide screening under §185-35.

Information on proposed seed mix for landscaping areas has not been provided.

LA1. *Confirm that proposed tree will not conflict with new overhead electric line.*

LA2. *Indicate treatment of existing trees along Lewis Street and depict location on the plans.*

LA3. *Review grading in the northwest parking area. Based on the proposed spot grades and CB rim elevation this area is virtually flat and ponding/icing may result.*

LA4. *Indicate if any dumpsters or waster collection and disposal measures are proposed.*

## **9.0 STORMWATER MANAGEMENT**

The proposed stormwater management design consists of five subsurface infiltration systems located throughout the Site. The largest system is located beneath the central driveway and four smaller systems are proposed on the eastern side of the Site. Stormwater runoff will be conveyed to the systems via a closed drainage system consisting of catch basins, manholes, “pretreatment” manholes, and roof leaders. The proposed design will rout stormwater runoff from Building B, a portion of Building A, and the central driveway to the larger system and stormwater runoff from the remainder of Building A and the residential driveways to the smaller systems. No means of conveying overflow has been incorporated into the system and thus in the event of overflow it is expected that the catch basins will surcharge and flood the immediate vicinity.

### **GENERAL**

SW1. *Confirm that DMH-2 is properly sized to allow 4 pipe connections at the proposed pipe angles. A larger diameter structure may be required.*

### **STORMWATER MANAGEMENT REGULATIONS (CHAPTER 153)**

The project proposes to disturb less than one acre within the Town of Franklin. It is therefore not subject to the Town of Franklin Stormwater Management Regulations.

### **MASSDEP REPORTABLE RELEASES**

The MassDEP Waste Site / Reportable Release database identifies the abutting lot 244 East Central Street as the location of a reportable release under Release Tracking Number (RTN) 2-0016890. This MassDEP listed site adjoins the 240 East Central Street property. Available documentation indicates that the release originated from a crack in a copper line for an above-ground storage tank (AST) resulting in a release of #2 heating oil resulting in soil and groundwater impacts including the presence of light non-aqueous phase liquid (LNAPL) free project layer. Immediate Response Actions were conducted to remove impacted soil from the basement and install a polyethylene barrier around the release area. Further response actions included additional soil removal and subsurface investigations. The RTN has since been closed.

SW2. *Available documentation indicates a release of fuel oil on the abutting property that has impacted soil and groundwater. Recommend the Applicant have a qualified environmental professional evaluate if the infiltration basin could potentially exacerbate site conditions related to this release per stormwater Standard 3.*

### **MASSDEP STORMWATER STANDARDS**

The project proposes to disturb less than one acre of land within the Town of Franklin and is not in proximity to wetland resources. Therefore, the project is only subject to Chapter 153 and the

Massachusetts Stormwater Standards to the extent requested by the Board (185-31.C.(3)(m)). The following sections are provided for the Boards consideration. BETA notes that the Applicant has documented compliance with the MA Stormwater Standards in the Stormwater Management Report.

**LOW IMPACT DEVELOPMENT (LID) TECHNIQUES**

Proposed LID measures include no disturbance to any wetland resource area.

**NO UNTREATED STORMWATER (STANDARD NUMBER 1):** *No new stormwater conveyances (e.g., outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.* The project does not propose any new discharges to wetlands - **complies with standard.**

SW3. *Indicate anticipated route for stormwater in the event of system overflow.*

**POST-DEVELOPMENT PEAK DISCHARGE RATES (STANDARD NUMBER 2):** *Stormwater management systems must be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.* The project proposes to mitigate increases to runoff rates with the use of subsurface infiltration systems. Calculations indicate a decrease in peak discharge rate and peak runoff volume to all points of analysis.

SW4. *Separate DP-1 into two analysis points: one for the East Central Street drainage system and one for the abutting property to the west.*

SW5. *Clarify routing for systems 1P and 12P. The model shows primary discharge through a 12" orifice to DP-3 and DP-2, respectively, but no orifices are depicted on the plans.*

SW6. *Review northern subcatchment boundary for P-2. It appears that the catchment area for CB-1 has been attributed to P-1, but this catch basin drains to the subsurface infiltration system.*

SW7. *Provide spot grades at the residential driveway entrances to confirm whether offsite roadway flow will reach the proposed stormwater management system.*

SW8. *Review HydroCAD model for subcatchment P-2:*

- a. *Confirm areas attributed to grass and paved parking.*
- b. *Revise time of concentration calculation to reflect the post-development site layout.*

**RECHARGE TO GROUNDWATER (STANDARD NUMBER 3):** *Loss of annual recharge to groundwater should be minimized through the use of infiltration measures to maximum extent practicable.*

NRCS soil maps indicate that soils are Sudbury fine sandy loam with a hydrologic soil group rating (HSGR) of B (moderate infiltration potential) or urban land with no assigned HSGR. The Applicant has conducted two soil tests at the Site indicating the subsurface soils are predominantly loamy sand over fine sand. Groundwater was not detected in test pits to the bottom depth of 8' below grade.

Groundwater recharge is proposed via five new subsurface infiltration systems. The project is expected to provide a recharge volume in excess of what is required. Calculations have been provided indicating all BMPs will drawdown within 72 hours.

SW9. *Conduct test pits in the vicinity of the eastern subsurface systems to confirm suitability of this area for infiltration.*



- SW10. *Revise system bottoms for subsurface infiltration systems to provide at least 2' separation to groundwater. Test Pits 1 and 2 were completed to a depth of 8' below grade, or approximate elevation 275', while the system bottom elevation is 276.48'. As groundwater was not encountered, elevation 275' should be assumed to be the estimated seasonal high groundwater elevation. It is BETA's understanding that groundwater was encountered several feet below the system bottom on the adjacent 230 East Central Site during construction.*
- SW11. *Provide required mounding analysis where infiltration BMPs have less than 4 feet of separation to estimated seasonal high groundwater.*
- SW12. *A setback of at least 10 feet from property lines and buildings for all SCMs is typically required per (MA Handbook V1C1 Pg 8). Coordinate with the DPW to determine if any impacts to the roadway subgrade will result from installation of the subsurface systems.*
- SW13. *Confirm that the infiltration of stormwater in close proximity to building foundations will not impair the stability of the proposed buildings or #244 East Central Street. Consider providing an impermeable liner between the proposed infiltration system and the #244 property if necessary.*

**TOTAL SUSPENDED SOLIDS (STANDARD NUMBER 4):** *For new development, stormwater management systems must be designed to remove 80% of the annual load of Total Suspended Solids (TSS).*

The project includes the following treatment trains:

Treatment Train	SCM 1	SCM 2	Infiltration BMP	TSS Removal %
A	Deep Sump Catch Basin	"Pretreatment Manhole"	Subsurface Infiltration System	80%
B	Deep Sump Catch Basin	None	Subsurface Infiltration System	80%

The project has been designed to provide at least 80% TSS removal for treated impervious areas. The proposed infiltration BMP has been sized to treat the required 1-inch water quality volume.

Per Standard 6, the project is required to provide at least 44% TSS removal as pretreatment. Pretreatment for the large system is provided via deep-sump catch basins and deep-sump manholes identified as "pretreatment manholes." Pretreatment for the smaller systems is provided via deep-sump catch basins and isolator row.

A Long Term Pollution Prevention Plan is included in the O&M Plan.

- SW14. *Provide required 44% pretreatment for infiltration structures. Per V1C1 Page 11 of the MA Stormwater Handbook, the 25% TSS removal for deep-sump catch basins is provided only if the structure is off-line. The pretreatment manholes are in-line and therefore do not provide any additional pretreatment. Additionally, no secondary pretreatment SCM has been provided for the eastern subsurface infiltration systems.*
- SW15. *Clarify is additional pretreatment is to be provided within the Chambermaxx retention system with the "containment row" options.*
- SW16. *Remove pretreatment devices from TSS worksheet for total TSS; the 80% TSS provided by the subsurface system is inclusive of required pretreatment.*

**HIGHER POTENTIAL POLLUTANT LOADS (STANDARD NUMBER 5):** *Stormwater discharges from Land Uses with Higher Potential Pollutant Loads (LUHPPLs) require the use of specific stormwater management BMPs.*

The project includes residential and commercial uses which are not typically considered LUHPPLs – **standard not applicable.**

**CRITICAL AREAS (STANDARD NUMBER 6):** *Stormwater discharges to critical areas must utilize certain stormwater management BMPs approved for critical areas.*

A portion of the site is located within a MassDEP mapped wellhead protection area – Zone II which is a critical area. The project is required to treat the 1-inch water quality volume and provide at least 44% pretreatment for infiltration SCMs. Subsurface structures are considered suitable SCMs for use in Zone II wellhead protection areas.

**REDEVELOPMENT (STANDARD NUMBER 7):** *Redevelopment of previously developed sites must meet the Stormwater Management Standards to the maximum extent practicable.*

The project does not qualify as a redevelopment – **standard not applicable.**

**EROSION AND SEDIMENT CONTROLS (STANDARD NUMBER 8):** *Erosion and sediment controls must be implemented to prevent impacts during construction or land disturbance activities. As the project proposes to disturb less than one acre of land, it will not be required to file a Notice of Intent with EPA nor develop a Stormwater Pollution Prevention Plan (SWPPP). An erosion control plan has been provided showing inlet protection, linear sedimentation control (compost filter sock), and designated stockpile locations with perimeter controls. A basic construction sequence is outlined on the plans.*

SW17. *Provide callout for the two stone hatched areas on Sheet C-101, presumed to be anti-tracking pads. Provide detail as applicable.*

SW18. *Clarify proposed construction sequence as it relates to construction entrance location during demolition. The northern anti-tracking pad overlaps with the existing northern building.*

SW19. *Clearly indicate inlet protection will be provided at all new catch basins until the Site is fully stabilized. In coordination with the DPW provide inlet protection at existing catch basins adjacent to the site on East Central Street and Lewis Street.*

**OPERATIONS/MAINTENANCE PLAN (STANDARD NUMBER 9):** *A Long-Term Operation and Maintenance Plan shall be developed and implemented to ensure that stormwater management systems function as designed. A Stormwater Operation and Maintenance Manual was provided with the Stormwater Management Report.*

SW20. *Provide map, drawn to scale, that shows the location of all stormwater BMPs in each treatment train and snow storage areas.*

SW21. *Provide approximate annual maintenance budget.*

SW22. *Provide signature of owner on the O&M Plan.*

**ILLICIT DISCHARGES (STANDARD NUMBER 10):** *All illicit discharges to the stormwater management system are prohibited. A signed Illicit Discharge Compliance Statement was provided with the submission.*

240 East Central Street

May 2, 2024

Page 11 of 11

If we can be of any further assistance regarding this matter, please contact us at our office.

Very truly yours,  
BETA Group, Inc.



Stephen Borgatti, PE, MENG  
Senior Project Engineer



Matthew J. Crowley, PE  
Senior Project Manager

# Town of Franklin

355 East Central Street  
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907  
www.franklinma.gov

## DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

### MEMORANDUM

**DATE:** May 1, 2024  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 240 East Central St  
Site Plan

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The DPCD has reviewed the above referenced Site Plan application for the Monday, May 6, 2024 Planning Board meeting and offers the following commentary:

**General:**

1. The site is located at 240 East Central St and 9 Lewis Street in the Commercial I Zoning District.
2. The project site on East Central Street includes an existing building with a detached garage and driveway, additionally the same features are present on the lot with frontage on Lewis Street. The projects subject parcel is created by 240 East Central Street and 9 Lewis Street parcels with an approximate 34,567 Square Feet combined.
3. The Applicant is proposing to construct 14 new townhomes and 1 Commercial space, with 1 unit being affordable, to meet our inclusionary by-law.
4. Letters will be submitted from BETA, Fire and DPW.

Overview:

1. Commercial space is proposed to be 400 sq/ft. Recommend increasing the space as was required by previous projects.
2. Applicant has filed with Design Review and renderings are included in the packet.
3. Landscaping plan should include additional plantings for the 240 East Central St.
4. Applicant needs to submit a lighting plan.

FORM P

APPLICATION FOR APPROVAL OF A SITE PLAN

TOWN OF FRANKLIN  
TOWN CLERK

To the Franklin Planning Board:

2024 MAR 26 A 11: 00

The undersigned, herewith, submits the accompanying Site Plan entitled  
"NYLAH CROSSING LLC SITE PLAN" for approval under the provisions of the Zoning By-  
Laws of the Town of Franklin covering Site Plans.

RECEIVED

- Name of Applicant: SANIYYAH CROSSING LLC  
Address of Applicant: 95 EAST MAIN ST WESTBORO MA 01581  
Phone No.: (508)9621928 Email: MOHJUDDIN21@YAHOO.COM
  - Name of Owner (if not the Applicant): \_\_\_\_\_  
Address of Owner: \_\_\_\_\_  
Phone No.: \_\_\_\_\_ Email: \_\_\_\_\_
  - Name of Engineer: MP DESIGN CONSULTANTS INC.  
Address of Engineer: 118 TURNPIKE ROAD #200 SOUTHBORO MA 01772  
Phone No.: (508)3317261 Email: CARLOS.FERREIRA@MPDCONSULTANTS.COM
  - Deed of Property recorded with Norfolk Registry of Deeds in  
Book 35352, Page 133, (or Certificate of Title No. \_\_\_\_\_)  
41210 310
  - Location and Description of Property:  
9 LEWIS STREET
- Square Footage of Building(s) \_\_\_\_\_  
Assessor's Map 285 Lot 068  
285 066
- Purpose of Site Plan: CONSTRUCTION OF 14  
TOWNHOUSE UNITS
  - List of Waivers Requested (if any): Attach Form R for each waiver

Mirajuddin Ahmed  
Signature of Applicant

CARLOS FERREIRA MP DESIGN CONSULTANTS  
Print Name of Applicant

Mirajuddin Ahmed  
Signature of Owner

MIRAJUDDIN AHMED  
Print Name of Owner

CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Title of Plan: SANIYYAH CROSSING LLC

Date of Plan: 3/13/2024 Assessor's Information: 285/068 - 285/066

Prepared by: MP DESIGN CONSULTANTS INC

Type of Plan: 81-P; Prelim.; Def.; Site Plan

SECTION B:

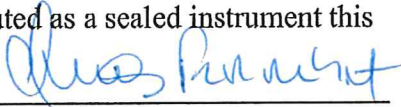
Name of Record Owner(s): SANIYYAH CROSSING LLC

Address of Record Owner(s): 95 EAST MAIN ST  
WEST BORO MA 01581



\*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):

\*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation:

\*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation:

Executed as a sealed instrument this  
  
Signature of Applicant

day of 20  
CARLOS FERRERA MP DESIGN CONSULTANT  
Print name of Applicant

  
Signature of Owner  


MYRAJUDIN AHMED.  
Print name of Owner

\_\_\_\_\_ ss.

20\_\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, before me, the undersigned notary public, personally appeared \_\_\_\_\_ (*name of Applicant*), proved to me through satisfactory evidence of identification, which were \_\_\_\_\_ to be the person whose name is signed on the preceding document in my presence.

\_\_\_\_\_  
(*Official signature and seal of notary*)

Notary Public:

My Commission Expires: \_\_\_\_\_

FORM P

TOWN OF FRANKLIN  
TOWN CLERK

APPLICATION FOR APPROVAL OF A SITE PLAN

2024 MAR 26 A 11: 00

To the Franklin Planning Board:

RECEIVED

The undersigned, herewith, submits the accompanying Site Plan entitled "NYLAH CROSSING LLC" for approval under the provisions of the Zoning By-Laws of the Town of Franklin covering Site Plans.

- Name of Applicant: NYLAH CROSSING LLC c/c MOHIUDDIN AHMED  
 Address of Applicant: 95 EAST MAIN ST - WINTHROP MA 01581  
 Phone No.: (508) 962 1928 Email: MOHIUDDIN21@YAHOO.COM
- Name of Owner (if not the Applicant): \_\_\_\_\_  
 Address of Owner: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Email: \_\_\_\_\_
- Name of Engineer: MP DESIGN CONSULTANTS INC  
 Address of Engineer: 118 TURNPIKE RD # 200 SOUTHBORO MA 01772  
 Phone No.: (508) 331 7261 Email: CARLOS.FERRER@MPDCONSULTANTS.COM
- Deed of Property recorded with Norfolk Registry of Deeds in Book 35 352, Page 133, (or Certificate of Title No. \_\_\_\_\_)  
41210 310
- Location and Description of Property:  
240 EAST MAIN ST / ~~A LEWIS STREET~~
- Square Footage of Building(s) \_\_\_\_\_  
 Assessor's Map 285 Lot 068  
285 066
- Purpose of Site Plan: CONSTRUCTION OF 14 UNITS  
TOWN HOUSE
- List of Waivers Requested (if any): Attach Form R for each waiver

Mohiuddin Ahmed  
Signature of Applicant

CARLOS FERRER MP DESIGN CONSULTANTS  
Print Name of Applicant

Mohiuddin Ahmed  
Signature of Owner

MIRAJUDDIN AHMED  
Print Name of Owner



CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Title of Plan: NYLAH CROSSING LLC

Date of Plan: 03/13/2024 Assessor's Information: 285/068 - 285/066

Prepared by: MP DESIGN CONSULTANTS INC.

Type of Plan: 81-P; Prelim.; Def.; Site Plan

SECTION B:

Name of Record Owner(s): NYLAH CROSSING LLC

Address of Record Owner(s): 95 EAST MAIN ST.  
WEST BORO MA 01581

\*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):  
\_\_\_\_\_

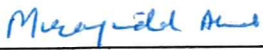
\*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation: \_\_\_\_\_

\*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation: \_\_\_\_\_

Executed as a sealed instrument this 26 day of MARCH 2024

  
Signature of Applicant

CARLOS FERRERA MP DESIGN CONSULTANT.  
Print name of Applicant

  
Signature of Owner

MIRATUDDIN AHMED  
Print name of Owner

Middlesex ss.

20 24

On this 25 day of March 2024, before me, the undersigned notary public, personally appeared Mohiuddin Ahmed (name of Applicant), proved to me through satisfactory evidence of identification, which were MADL to be the person whose name is signed on the preceding document in my presence.



(Official signature and seal of notary)

Notary Public:

My Commission Expires: 3/29/30



MASSACHUSETTS STATE EXCISE TAX

Norfolk Registry of Deeds

Date: 07-07-2023 @ 09:00am

Ctl#: 44 Doc# 42780

Fee: \$3,192.00 Cons: \$700,000.00

N O T

A N

O F F I C I A L

C O P Y

O F F I C I A L

C O P Y

**QUITCLAIM DEED**

9 Lewis Street Franklin, MA

**I, Doris K. Madden, Trustee of the Doris K. Madden Living Trust u/d/t dated August 4th, 2017 recorded with the Norfolk Registry of Deeds at Book 35352, Page 131 of Franklin, Norfolk County, Massachusetts**

for consideration paid, and in full consideration of Seven Hundred Thousand (\$700,000.00) Dollars,

Grant to Saniyyah Crossing, LLC, a Massachusetts Limited Liability Company with a principle place of business of 95 East Main Street, St. 100, Westborough, MA, Worcester County, Massachusetts

**With quitclaim covenants,**

The land in Franklin, with the buildings thereon, situated on the westerly side of Lewis Street bounded and described as follows:

Beginning at the northeasterly corner of the granted premises on the Westerly side of Lewis Street; thence running

N. 72 degrees W. Sixty (60) feet on land now or formerly of Nardi to land now or formerly of Corbin; thence

S. 3 degrees 0' W. two hundred (200) feet to a corner; thence

S. 72 degrees 5' E. Sixty (60) feet on land formerly of one Leach to said Lewis Street; thence

N. 3 degrees 0' E. two hundred (200) feet on said Lewis Street to point of beginning.

Excepting that portion of said premises which are conveyed to Duilio Nardi et ux by deed dated April 23, 1940, recorded with Norfolk Registry of Deeds, Book 2277, Page 354

ALSO granting a certain triangular parcel of land on the westerly side of Lewis Street in said Franklin, described as follows:

Beginning at a point on Lewis Street and thence

NORTHERLY: Along the westerly line of Lewis Street, three (3) feet to a point; thence

WESTERLY: on Nardi land to a point; thence by an acute angle along the original southerly line described in deed to Nardi at the point of beginning.

Subject to and with the benefit of all rights, restrictions and easements of record, insofar as same may now be in force and applicable.

All rights of homestead and other interests are hereby released by the Grantor, and Grantor hereby state under the pains and penalties of perjury there are no other persons entitled to the protection of the Homestead Act.

Property address: 9 Lewis Street, Franklin Massachusetts 02038

For title, see deed dated August 4<sup>th</sup>, 2017 and recorded with Norfolk County Registry of Deeds in Book 35352, Page 133.

N O T  
A N  
O F F I C I A L

N O T  
A N  
O F F I C I A L

Witness my hand and seal, this 5<sup>th</sup> day of July, 2023. <sup>COPY</sup>

Doris K. Madden, Trustee  
**Doris K. Madden, Trustee of the Doris K. Madden Living Trust**

Commonwealth of Massachusetts

Norfolk, SS

On this 5<sup>th</sup> day of July, 2023, before me, the undersigned notary public, personally appeared **Doris K. Madden, Trustee of the Doris K. Madden Living Trust**, proved to me through satisfactory evidence of identification, which was a Massachusetts' driver's license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he/she signed it voluntarily for its stated purpose as **Trustee of the Doris K. Madden Living Trust**.

[Signature]  
Notary Public  
My commission expires:



N O T  
A N  
O F F I C I A L  
C O P Y

N O T  
A N  
O F F I C I A L  
C O P Y

### QUITCLAIM DEED

I, **Lorraine Rovani**, being unmarried, of Franklin, Norfolk County, Massachusetts

for consideration paid, and in full consideration of Seven Hundred Fifty Thousand (\$750,000.00) Dollars,

Grant to **Nylah Crossing LLC**, a Massachusetts Limited Liability Company with a principle place of business located at 95 East Main Street, Ste. 100, Westborough, MA 01581.

With quitclaim covenants,

The land in Franklin, Norfolk County, Massachusetts with the buildings thereon, situated on the southerly side of East Central Street and bounded and described as follows:

Beginning on the Southerly side of said East Central Street on the Easterly side of land now or formerly of Albertin M. Hills and running

S. 3° 25' W. three hundred thirty (330) feet on land now or formerly of said Albertin M. Hills; thence running

S. 72° 25' E. sixty-six (66) feet on land now or formerly of Edmund Hartshorn; thence running

N. 3° 25' E. three hundred thirty (330) feet on land now or formerly of said Hartshorn to said street; thence running

MASSACHUSETTS STATE EXCISE TAX  
Norfolk Registry of Deeds  
Date: 05-24-2023 @ 11:37am  
Ctl#: 248 Doc#: 31020  
Fee: \$3,420.00 Cons: \$750,000.00

WILLIAM P. O'DONNELL, REGISTER  
NORFOLK COUNTY REGISTRY OF DEEDS  
RECEIVED & RECORDED ELECTRONICALLY

240 EAST CENTRAL ST, FRANKLIN, MA

Westerly on said street, sixty-six (66) feet to first mentioned bound and point of beginning.

All of said distance <sup>N O T</sup> being <sub>A N</sub> more or less.

<sup>N O T</sup>  
<sub>A N</sub>

Subject to taking <sup>O F F I C I A L</sup> by <sub>C O P Y</sub> County of Norfolk for <sup>O F F I C I A L</sup> highway <sub>C O P Y</sub> purposes.

Subject to and with the benefit of all rights, restrictions and easements of record, insofar as same may now be in force and applicable.

All rights of homestead and other interests are hereby released by the Grantor, and Grantor hereby state under the pains and penalties of perjury there are no other persons entitled to the protection of the Homestead Act.

Marc D. Rovani passed away on July 7<sup>th</sup>, 2017.

For title, see deed dated June 2<sup>nd</sup>, 1982 and recorded with Norfolk County Registry of Deeds in Book 6009, Page 246.

N O T  
A N  
O F F I C I A L  
C O P Y

N O T  
A N  
O F F I C I A L  
C O P Y

Witness my hand and seal, this 23 day of May, 2023

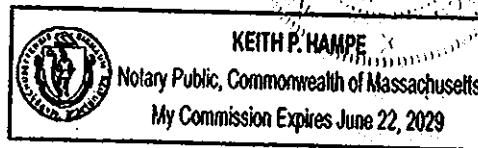
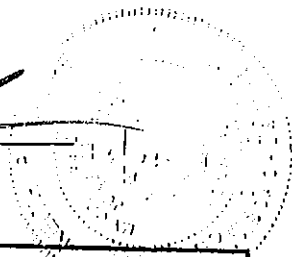
Lorraine Rovani  
Lorraine Rovani

Commonwealth of Massachusetts

Norfolk, SS

On this 23 day of May, 2023, before me, the undersigned notary public, personally appeared **Lorraine Rovani**, proved to me through satisfactory evidence of identification, which was a Massachusetts' driver's license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose.

[Signature]  
Notary Public  
My commission expires:





# Town of Franklin

355 East Central Street  
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907  
www.franklinma.gov

## PLANNING BOARD

The following notice will be published in the Milford Daily Newspaper once on Monday, April 22, 2024 and again on April 29, 2024

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### FRANKLIN PLANNING BOARD PUBLIC HEARING NOTICE

In accordance with the Town of Franklin Zoning By-Laws, the Franklin Planning Board will hold a public hearing at the Town Hall (and can also be attended remotely) on **Monday, May 6, 2024 at 7:00 PM** in the Town Council Chambers of the Franklin Municipal Building, 355 East Central Street, for a Site Plan application titled “Nylah Crossing LLC Site Plan” prepared by MP Design Consultants Inc., Southborough, MA and submitted to the Department of Planning & Community Development on March 26, 2024, by Nylah Crossing LLC and Saniyyah Crossing LLC, Westborough, MA.

The property is located in the Commercial I Zoning District (Assessors Map 285 Lot 068 and Lot 066) at 240 East Central Street and 9 Lewis Street. The applicant is proposing to construct fourteen (14) new townhouse units.

**Please note: This will be your only written notice of this public hearing. Should the Planning Board vote to continue this Public Hearing, the date and time will be posted on the Planning Board’s website under Agendas.**

Please contact the Department of Planning & Community Development at (508) 520-4907 if you require further information or if you need to make arrangements to provide translation services for the hearing impaired, or for persons with language barriers.

Copies of the plan and supporting documentation may be reviewed in the Department of Planning & Community Development during regular office hours.

Greg Rondeau, Chairman

205 EAST CENTRAL ST REALT  
37 EAST CENTRAL ST  
FRANKLIN, MA 02038

HAJJAR CHARLES C TR  
RTC FOUR REALTY TRUST  
30 ADAMS ST  
MILTON, MA 02186

MARTEL LAUREN M  
MCLAUGHLIN TIMOTHY S JR  
40 HILL AVE UT A  
FRANKLIN, MA 02038

ARGARD SHEILA A  
8 LEDGE ST  
FRANKLIN, MA 02038

HALLIGAN PROPERTIES LLC  
1 NEWELL DR  
FRANKLIN, MA 02038

MARTINS MARCO A  
MARTINS SEBASTIANA F  
15 LEDGE ST  
FRANKLIN, MA 02038

BOWEN INVESTMENT INC  
C/O HONEY DEW ASSOCIATES  
78 KENWOOD ST STE 1B  
CRANSTON, RI 02907

HILL AVE CONDOMINIUMS  
C/O FRAME GARY E  
40 HILL AVE UT A  
FRANKLIN, MA 02038

MCKINNON JOSEPH H  
MACNEIL EMILY R  
29 HILL AV  
FRANKLIN, MA 02038

DENNETT SHAWN P & JOHANNA  
DENNETT LIVING TRUST  
85 HILL AV  
FRANKLIN, MA 02038

JAJ REALTY LLC  
5 MACARTHUR RD  
FRANKLIN, MA 02038

METRANO KENNETH A  
39 LEWIS ST  
FRANKLIN, MA 02038

DOOLEY ADAM T  
LAWRENCE JENNIFER  
216 EAST CENTRAL ST  
FRANKLIN, MA 02038

JOES KWIK MARTS MA LLC  
PO BOX 385  
ALLENTOWN, PA 18105

MORRIS DAVID A & ESTHER A  
MORRIS LIVING TRUST  
210 EAST CENTRAL ST  
FRANKLIN, MA 02038

FERRAZ REALTY LLC  
375 MAPLE ST  
BELLINGHAM, MA 02019

JT BUILDING & DEVELOPMENT  
2 MILL ST  
FRANKLIN, MA 02038

NOLL BRADEN  
17 UNCAS AV  
FRANKLIN, MA 02038

FRANKLIN SHOPPERS FAIR  
C/O JOHN ALEVIZOS  
396 WASHINGTON ST,#325  
WELLESLEY, MA 02481

LACHANCE ANITA G  
51 LEWIS ST  
FRANKLIN, MA 02038

NYLAH CROSSING LLC  
95 EAST MAIN ST STE 100  
WESTBOROUGH, MA 01581

FRASER, ROBERT B TR CURRI  
C/O CVS# 00929 STO ACCTG  
1 CVS DRIVE, MC 2820  
WOONSOCKET, RI 02895

LINCOURT STEVEN P  
LINCOURT DEBORAH A  
42 LEWIS ST  
FRANKLIN, MA 02038

PADULA-ONEILL DIANE M TR  
247 EAST CENTRAL ST REALT  
23 SPRUCE POND RD  
FRANKLIN, MA 02038

GARD AMANDA  
38 HILL AVE, UT B  
FRANKLIN, MA 02038

MALLA SEETHARAM  
VILLURI KALYANI  
7751 HUNTERS RUN DR  
GERMANTOWN, TN 38138

S & D DEVELOPMENT LLC  
P.O. BOX 367  
WRENTHAM, MA 02093

GIANNOULIS GEORGE & KOULA  
GIANNOULIS FAMILY REALTY  
46 LEWIS ST  
FRANKLIN, MA 02038

MARCHAND THOMAS H  
29 LEWIS ST  
FRANKLIN, MA 02038

SANIYYAH CROSSING LLC  
95 EAST MAIN STREET - STE 100  
WESTBOROUGH, MA 01581-1414

SMITH SCOTT A  
39 HILL AVE  
FRANKLIN, MA 02038

TAJ ESTATES OF FRANKLIN I  
95 EAST MAIN ST - SUITE 100  
WESTBOROUGH, MA 01581

TAYAL CHITIZ  
TAYAL SHWETA  
7 LEDGE ST  
FRANKLIN, MA 02038

UNCAS AVE CONDOMINIUMS  
C/O KIZIK RICHARD M  
17 UNCAS AVE UNIT 17  
FRANKLIN, MA 02038

WALKER, WILLIAM J JR TR  
PATRICIA B MAXWELL REVO T  
1 SADDLE RIDGE WAY  
NORFOLK, MA 02056