

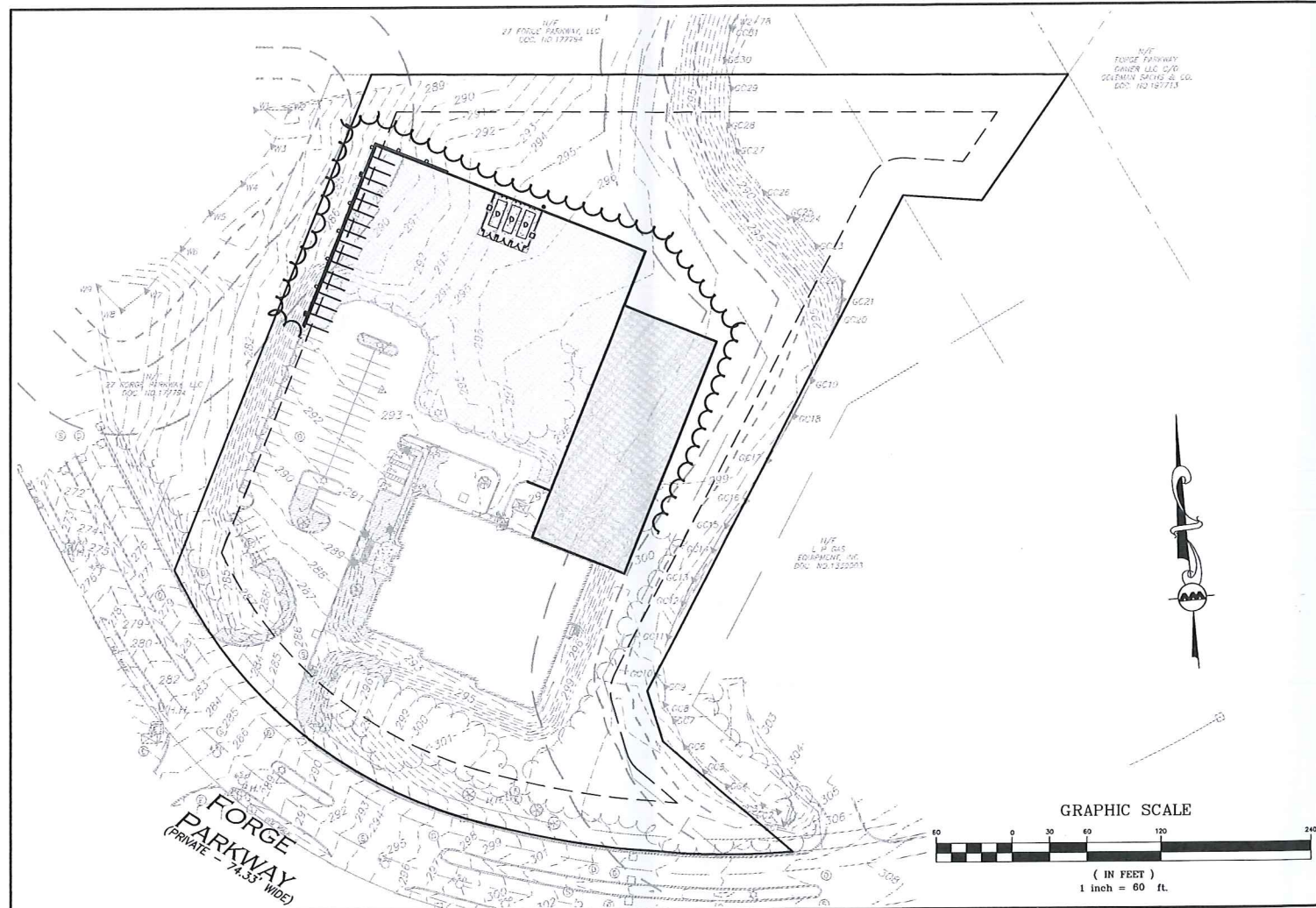
LOCUS MAP
NOT TO SCALE

SITE DEVELOPMENT PLANS FOR 25 FORGE PARKWAY FRANKLIN, MA 02038 TAX MAP 275, LOT 14

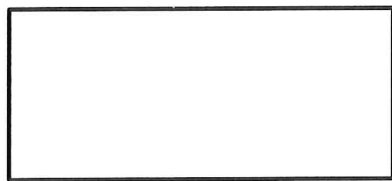
APPLICANT/OWNER:
TMC HOLDINGS & DEVELOPMENT 2, LLC
25 FORGE PARKWAY
FRANKLIN, MA 02038

CIVIL ENGINEER:
ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103

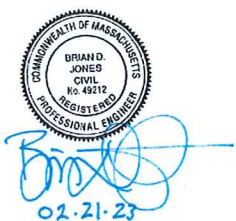
SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
WOBURN, MA 01801



| LIST OF DRAWINGS | | | |
|-------------------------|-----------|----------|------------|
| DRAWING TITLE | SHEET NO. | ISSUED | REVISION 1 |
| EXISTING CONDITIONS | V-101 | 02-21-23 | - |
| SITE PREPARATION PLAN | C-101 | 02-21-23 | - |
| LAYOUT & MATERIALS PLAN | C-102 | 02-21-23 | - |
| GRADING & DRAINAGE PLAN | C-103 | 02-21-23 | - |
| LIGHTING PLAN | C-104 | 02-21-23 | - |
| DETAILS | C-501 | 02-21-23 | - |
| DETAILS | C-502 | 02-21-23 | - |
| DETAILS | C-503 | 02-21-23 | - |



TOWN OF FRANKLIN APPROVAL STAMP



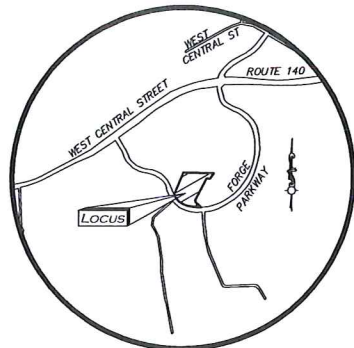
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PREPARED BY:

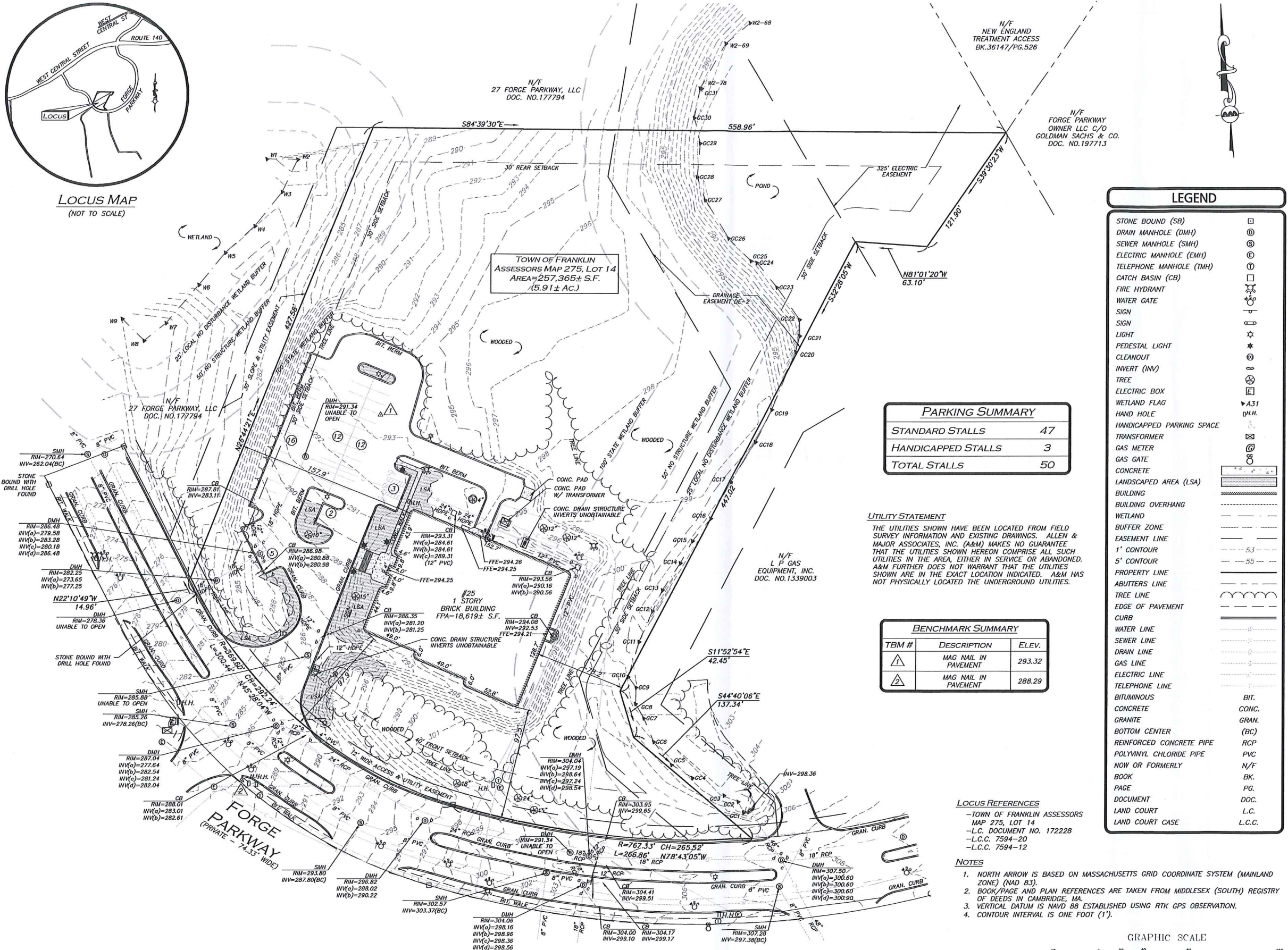
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civil engineering • land surveying
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www.allenmajor.com
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ISSUED FOR INITIAL REVIEW: FEBRUARY 21, 2023



LOCUS MAP
(NOT TO SCALE)



| PARKING SUMMARY | |
|--------------------|----|
| STANDARD STALLS | 47 |
| HANDICAPPED STALLS | 3 |
| TOTAL STALLS | 50 |

UTILITY STATEMENT
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

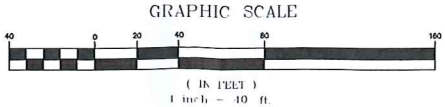
| BENCHMARK SUMMARY | | |
|-------------------|----------------------|--------|
| TBM # | DESCRIPTION | ELEV. |
| 1 | MAG NAIL IN PAVEMENT | 293.32 |
| 2 | MAG NAIL IN PAVEMENT | 288.29 |

LOCUS REFERENCES
-TOWN OF FRANKLIN ASSESSORS MAP 275, LOT 14
-L.C. DOCUMENT NO. 172228
-L.C.C. 7594-20
-L.C.C. 7594-12

- NOTES**
- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
 - BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
 - VERTICAL DATUM IS NAVD 88 ESTABLISHED USING RTK GPS OBSERVATION.
 - CONTOUR INTERVAL IS ONE FOOT (1').

LEGEND

- STONE BOUND (SB) [Symbol]
- DRAIN MANHOLE (DMH) [Symbol]
- SEWER MANHOLE (SMH) [Symbol]
- ELECTRIC MANHOLE (EMH) [Symbol]
- TELEPHONE MANHOLE (TMH) [Symbol]
- CATCH BASIN (CB) [Symbol]
- FIRE HYDRANT [Symbol]
- WATER GATE [Symbol]
- SIGN [Symbol]
- SIGN [Symbol]
- LIGHT [Symbol]
- PEDESTAL LIGHT [Symbol]
- CLEANOUT [Symbol]
- INVERT (INV) [Symbol]
- TREE [Symbol]
- ELECTRIC BOX [Symbol]
- WETLAND FLAG [Symbol]
- HAND HOLE [Symbol]
- HANDICAPPED PARKING SPACE [Symbol]
- TRANSFORMER [Symbol]
- GAS METER [Symbol]
- GAS GATE [Symbol]
- CONCRETE [Symbol]
- LANDSCAPED AREA (LSA) [Symbol]
- BUILDING [Symbol]
- BUILDING OVERHANG [Symbol]
- WETLAND [Symbol]
- BUFFER ZONE [Symbol]
- EASEMENT LINE [Symbol]
- 1' CONTOUR [Symbol]
- 5' CONTOUR [Symbol]
- PROPERTY LINE [Symbol]
- ABUTTERS LINE [Symbol]
- TREE LINE [Symbol]
- EDGE OF PAVEMENT [Symbol]
- CURB [Symbol]
- WATER LINE [Symbol]
- SEWER LINE [Symbol]
- DRAIN LINE [Symbol]
- GAS LINE [Symbol]
- ELECTRIC LINE [Symbol]
- TELEPHONE LINE [Symbol]
- BITUMINOUS [Symbol]
- CONCRETE [Symbol]
- GRANITE [Symbol]
- BOTTOM CENTER [Symbol]
- REINFORCED CONCRETE PIPE [Symbol]
- POLYVINYL CHLORIDE PIPE [Symbol]
- NOW OR FORMERLY [Symbol]
- BOOK [Symbol]
- PAGE [Symbol]
- DOCUMENT [Symbol]
- LAND COURT [Symbol]
- LAND COURT CASE [Symbol]



WE HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN APRIL 1, 2021 AND FEBRUARY 15, 2023.

FEB. 16, 2023
PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

APPLICANT/OWNER:
GREEN SITE SERVICES GROUP
24 WILLIAM WAY
BELLINGHAM, MA 02019

PROJECT:
25 FORGE PARKWAY
FRANKLIN, MA

PROJECT NO. 2712-02 DATE: 2/15/23

SCALE: 1" = 40' DWG. NAME: S-2712-02-EC

DRAFTED BY: AJR CHECKED BY: NIL



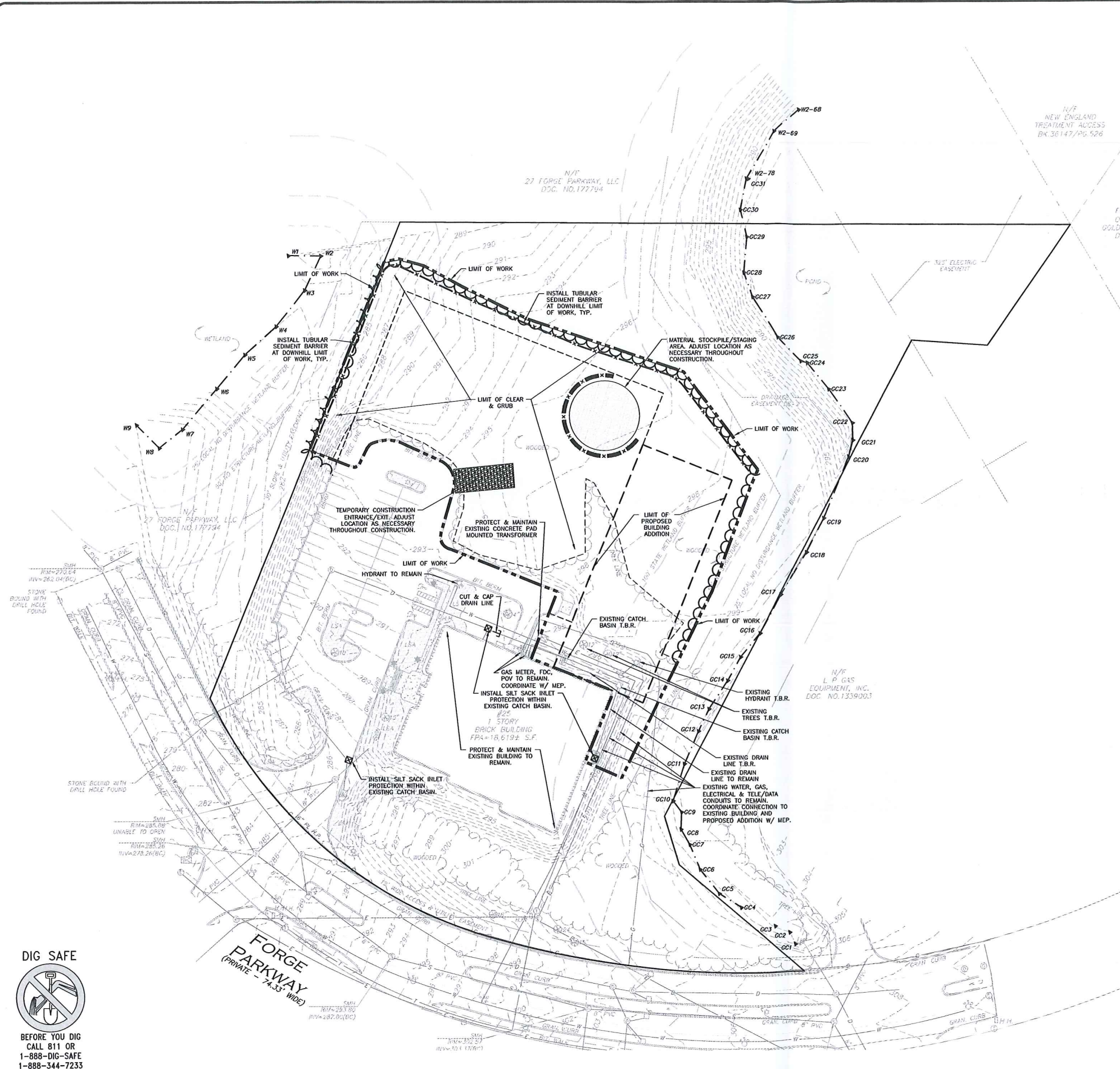
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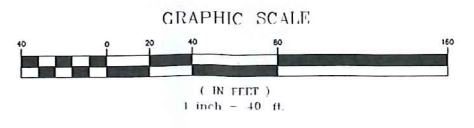
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DRAWING TITLE: EXISTING CONDITIONS SHEET NO. V-101

R:\PROJECTS\2712-02A\CIVIL DRAWINGS\CURRENT\C-2712-02A_SITE-PREP.DWG



- NOTES:**
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
 - THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
 - EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. IF IT ADDITIONAL MEASURES ARE NECESSARY DURING CONSTRUCTION THEY SHALL BE INSTALLED IMMEDIATELY AND WITHOUT DELAY. SEE DETAIL SHEET C-501 FOR ADDITIONAL INFORMATION.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

APPLICANT/OWNER:
TMC HOLDINGS & DEVELOPMENT 2, LLC
 24 WILLIAM WAY
 BELLINGHAM, MA 02019

PROJECT:
25 FORGE PARKWAY
 FRANKLIN, MA

PROJECT NO. 2712-02A DATE: 02-21-23

SCALE: 1" = 40' DWG. NAME: C-2712-02A

DESIGNED BY: SM/JRG CHECKED BY: BDJ



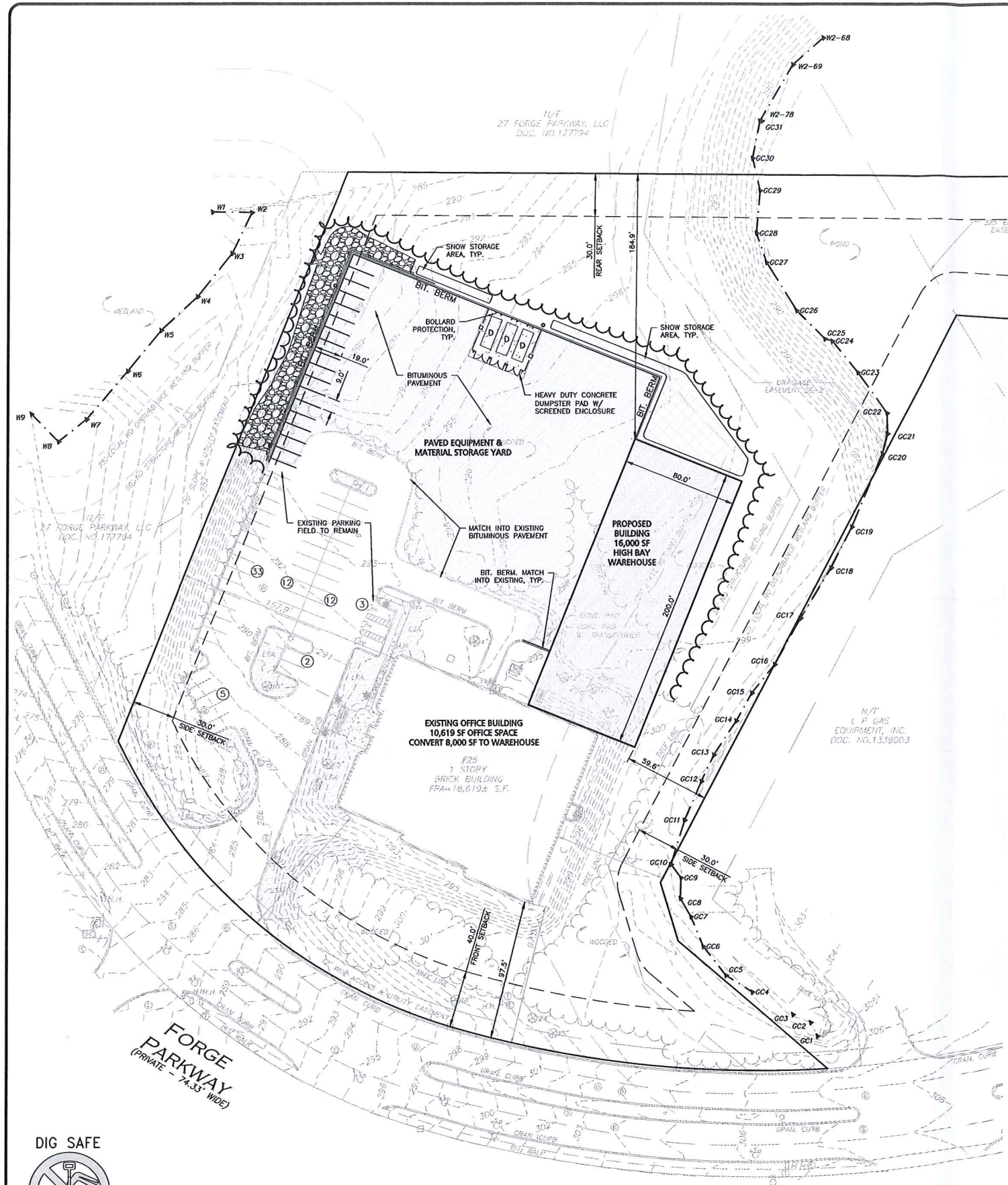
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DRAWING TITLE: **SITE PREPARATION PLAN** SHEET No. **C-101**

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OFF-STREET PARKING AND LOADING SUMMARY TABLE

| | | |
|--|-----------|-----------------------|
| USE: EXISTING OFFICE BUILDING: 10,619 SF | REQUIRED | |
| 1 SPACES PER 250 SQUARE FEET | 42 | PARKING SPACES |
| 10,619 SF / 250 = 42 SPACES | | |
| USE: WAREHOUSE: 24,000 SQUARE FEET (16,000 + 8,000 FROM EX. BLDG.) | | |
| 1 SPACE REQUIRED PER 1,000 SQUARE FEET | 24 | PARKING SPACES |
| 24,000 SF / 1,000 = 24 SPACES | | |
| TOTAL REQUIRED PARKING = | 66 | PARKING SPACES |
| ACCESSIBLE PARKING SPACE REQUIREMENT: FOR 51 TO 75 SPACES, 3 SHALL BE ACCESSIBLE, 1 SHALL BE VAN ACCESSIBLE) | 3 | ADA SPACES |
| TOTAL PARKING PROVIDED: 67 PARKING SPACES | | |
| STANDARD | 64 | |
| ACCESSIBLE | 3 | |

TABLE NOTES:
1. PROPOSED PARKING SPACES SHALL BE A MINIMUM OF 9 FEET IN WIDTH AND 19 FEET IN DEPTH FOR 90° PARKING.

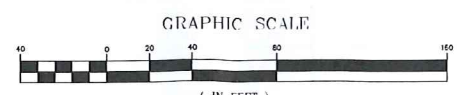
TOWN OF FRANKLIN INDUSTRIAL (I) DISTRICT

| ITEM | REQUIRED | PROPOSED |
|-----------------------------|------------|------------|
| MINIMUM LOT AREA | 40,000 SF | 257,365 SF |
| MINIMUM CONTINUOUS FRONTAGE | 175 FEET | 582 FEET |
| MINIMUM LOT DEPTH | 200 FEET | 619 FEET |
| MINIMUM LOT WIDTH | 157.5 FEET | 196 FEET |
| MINIMUM FRONT SETBACK | 40 FEET | 97.5 FEET |
| MINIMUM SIDE SETBACK | 30 FEET | 59.6 FEET |
| MINIMUM REAR SETBACK | 30 FEET | 184.9 FEET |
| MAXIMUM BUILDING STORIES | 3 | 1 |
| MAXIMUM BUILDING HEIGHT | N/A | 28 FEET |
| MAXIMUM STRUCTURE COVERAGE | 70% | 13.5% |
| MAXIMUM IMPERVIOUS COVERAGE | 80% | 39.2% |

LEGEND

| | |
|---------------------|--------|
| PROPERTY LINE | --- |
| BOLLARD | • |
| BUILDING | ▭ |
| CURB | — |
| PARKING STRIPING | ▭ < 9° |
| HEAVY DUTY CONCRETE | ▭ |
| BITUMINOUS PAVEMENT | ▭ |
| SNOW STORAGE | ▭ |
| STEEL GUARDRAIL | ▭ |
| WOOD FENCE | ▭ |
| SETBACK LINE | --- |
| SAW-CUT LINE | --- |
| PARKING COUNT | ⓪ |
| RIPRAP | ▭ |
| TREE LINE | ▭ |

- NOTES:**
- ALL CURB RADI SHALL BE 3' UNLESS OTHERWISE NOTED.
 - PARKING DIMENSIONS ARE TAKEN FROM THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF FRANKLIN, MADOT, MADEP, MUTCD, AND AASHTO.
 - WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
 - EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE TOWN OF FRANKLIN, MA AND OTHER SOURCES.
 - THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE TOWN OF FRANKLIN, MA DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.
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1-888-344-7233



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

APPLICANT/OWNER:
TMC HOLDINGS & DEVELOPMENT 2, LLC
24 WILLIAM WAY
BELLINGHAM, MA 02019

PROJECT:
25 FORGE PARKWAY
FRANKLIN, MA

| | | | |
|--------------|----------|-------------|-----------|
| PROJECT NO. | 2712-02A | DATE: | 02-21-23 |
| SCALE: | 1" = 40' | DWG. NAME: | C2712-02A |
| DESIGNED BY: | SM/JRG | CHECKED BY: | BDJ |

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
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| | |
|-------------------------|-----------|
| DRAWING TITLE: | SHEET No. |
| LAYOUT & MATERIALS PLAN | C-102 |

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LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - DOUBLE GRATE
- OUTLET CONTROL
- FLARED END SECTION
- DRAIN LINE
- RIPRAP
- 5' CONTOUR
- 1' CONTOUR
- SPOT GRADE
- INFILTRATION SYSTEM
- INFILTRATION CHAMBER
- ISOLATOR ROW
- FLOW DIRECTION



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

APPLICANT/OWNER:
TMC HOLDINGS & DEVELOPMENT 2, LLC
 24 WILLIAM WAY
 BELLINGHAM, MA 02019

PROJECT:
25 FORGE PARKWAY
 FRANKLIN, MA

PROJECT NO. 2712-02A DATE: 02-21-23

SCALE: 1" = 40' DWG. NAME: C-2712-02A

DESIGNED BY: SM/JRG CHECKED BY: BDJ

PREPARED BY:

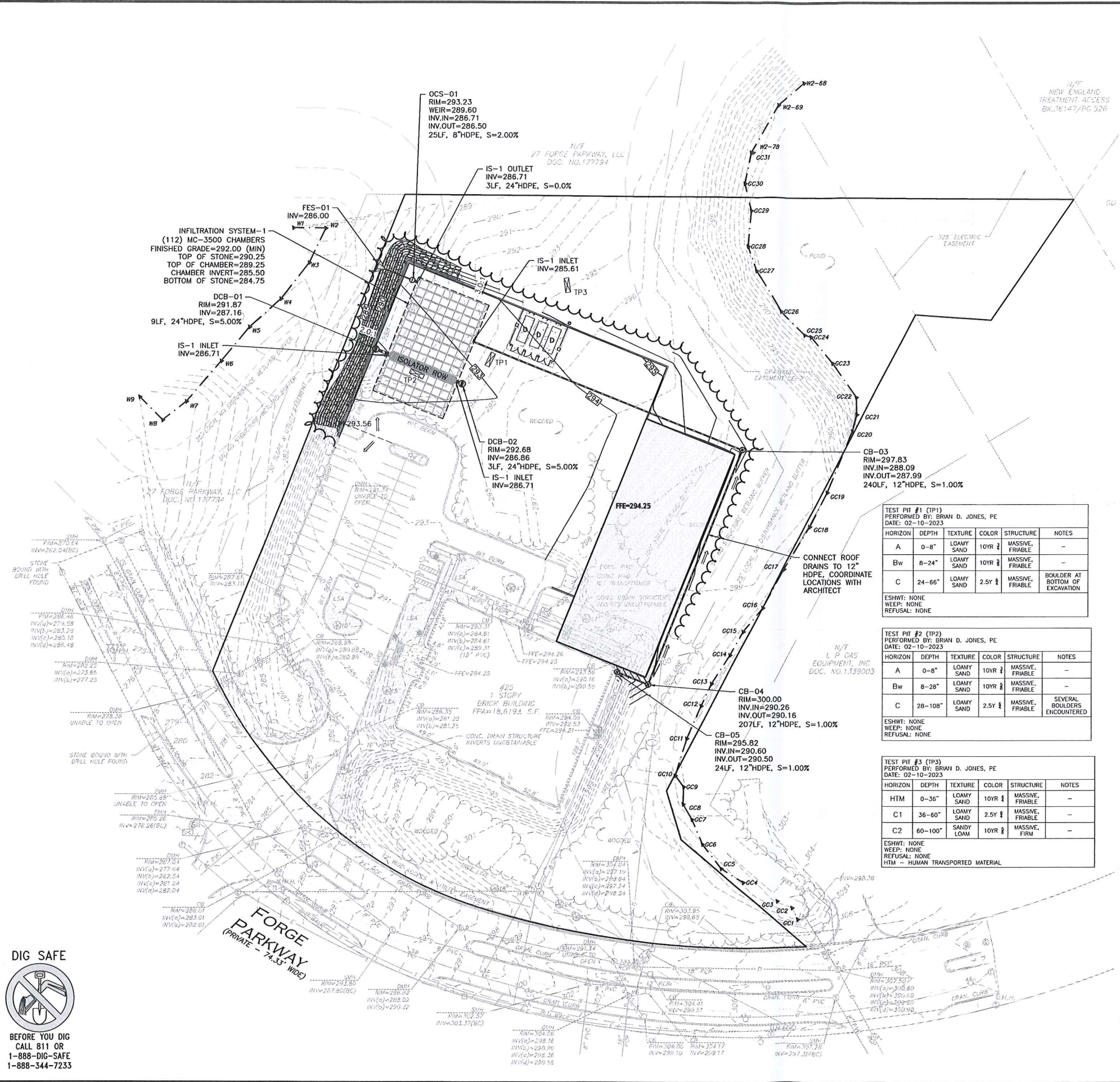
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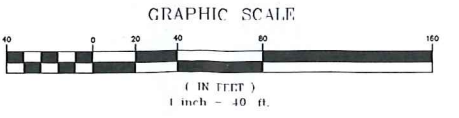
DRAWING TITLE: **GRADING & DRAINAGE PLAN** SHEET No. **C-103**

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NOTES:

- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE TOWN OF FRANKLIN, MA AND OTHER SOURCES.
- VERTICAL DATUM IS NAVD88. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PIPE DIMENSIONS ARE MEASURED FROM THE CENTER OF THE STRUCTURE.
- ROOF DRAIN LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM DRAIN MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS, H-20 MINIMUM.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



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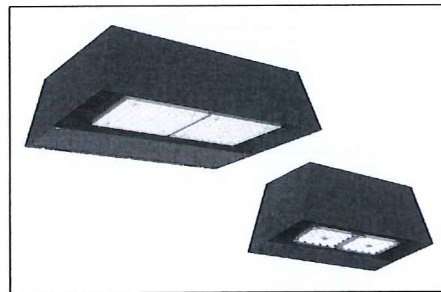
R:\PROJECTS\2712-02A\CIVIL DRAWINGS\CURRENT\C-2712-02A-GRADING & DRAINAGE.DWG

| LIGHTING LEVEL SUMMARY | | | | | | |
|------------------------|-------|---------|-----|-----|---------|---------|
| AREA | UNITS | AVERAGE | MAX | MIN | AVG/MIN | MAX/MIN |
| PAVEMENT AREA | Fc | 0.18 | 3.4 | 0.0 | N.A. | N.A. |

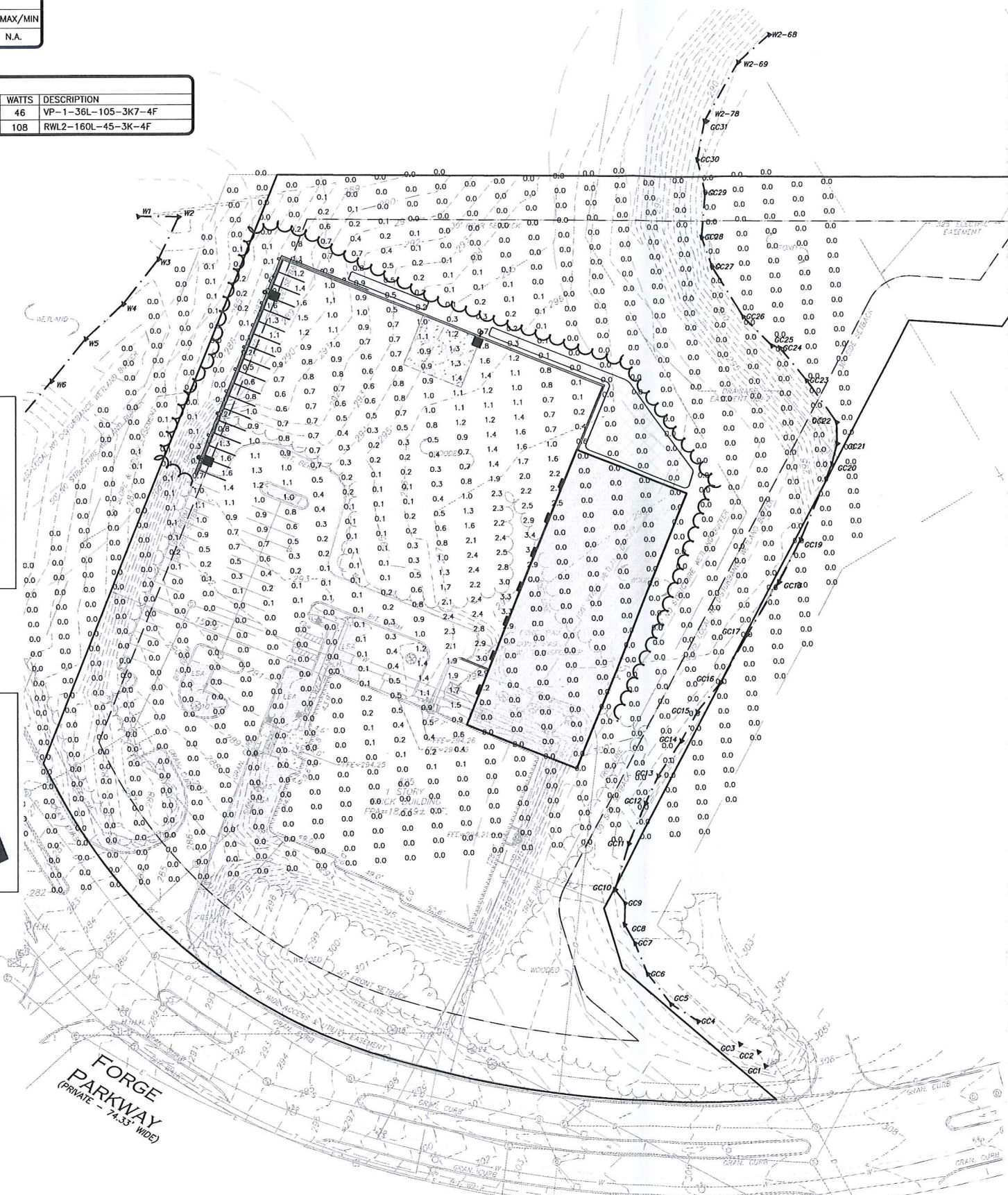
| LUMINAIRE SCHEDULE | | | | | | | |
|--------------------|-----|-------|--------------------|--------|--------|-------|---------------------|
| SYMBOL | QTY | LABEL | ARRANGEMENT | HEIGHT | LUMENS | WATTS | DESCRIPTION |
| ■ | 7 | W1 | WALL PACK | 25' | 5778 | 46 | VP-1-36L-105-3K7-4F |
| □ | 3 | SA | SINGLE, POLE MOUNT | 30' | 11027 | 108 | RWL2-160L-45-3K-4F |



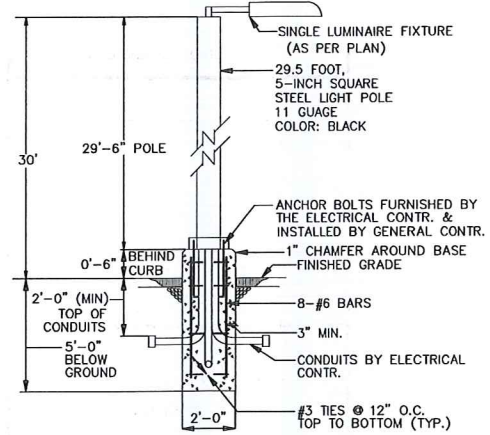
POLE LIGHT FIXTURE (LED)
HUBBELL LIGHTING INC. - RATIO SERIES



WALL PACK LIGHT FIXTURE (LED)
HUBBELL LIGHTING INC. - RATIO WALL

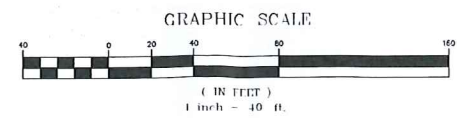


| LEGEND | |
|--|---------------------|
| SINGLE POLE LIGHT | □ |
| WALL PACK LIGHT | ■ |
| LIGHTING LEVELS GIVEN IN FOOT-CANDLES | 0.0 0.1 0.2 0.4 0.6 |



LIGHT POLE & BASE DETAIL
NOT TO SCALE

- NOTES:**
- LIGHTING VENDOR CONTACT INFORMATION:
CHRIS PECHALK
SWANEY LIGHTING, INC.
PHONE: 603-380-3400
E-MAIL: CHRIS@SWANEYLIGHTING.COM
 - LIGHTS WITHIN THE PARKING AREAS AND ACCESS DRIVES SHALL OPERATE ON A PHOTO-CELL & PROGRAMMABLE TIMER.
 - CONTROLS FOR ALL EXTERIOR LIGHTING BY BUILDING CONTRACTOR.
 - WIRING OF BUILDING MOUNTED FIXTURES BY BUILDING CONTRACTOR.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



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1-888-DIG-SAFE
1-888-344-7233



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| | | |
| | | |

APPLICANT/OWNER:
TMC HOLDINGS & DEVELOPMENT 2, LLC
24 WILLIAM WAY
BELLINGHAM, MA 02019

PROJECT:
25 FORGE PARKWAY
FRANKLIN, MA

PROJECT NO. 2712-02A DATE: 02-21-23

SCALE: 1" = 40' DWG. NAME: C-2712-02A

DESIGNED BY: SM/JRG CHECKED BY: BDJ

PREPARED BY:

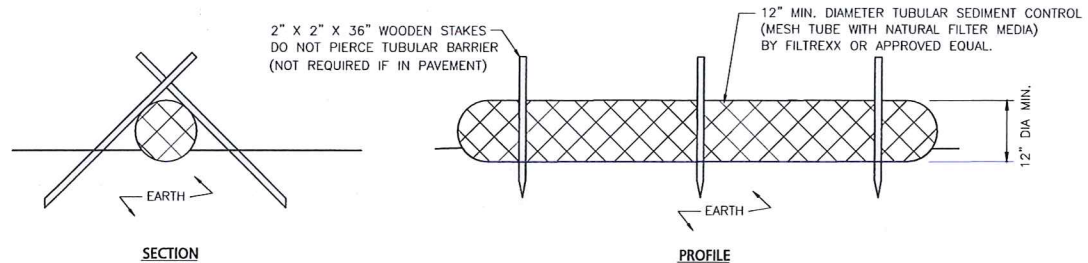
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DRAWING TITLE: LIGHTING PLAN SHEET No. C-104

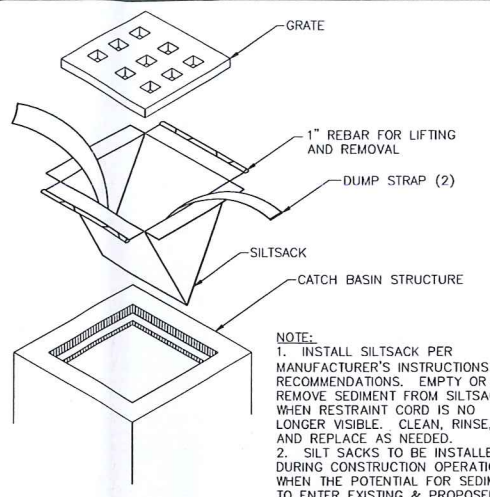
R:\PROJECTS\2712-02A\CIVIL\DRAWINGS\CURRENT\C-2712-02A_LIGHTING.DWG



NOTES:

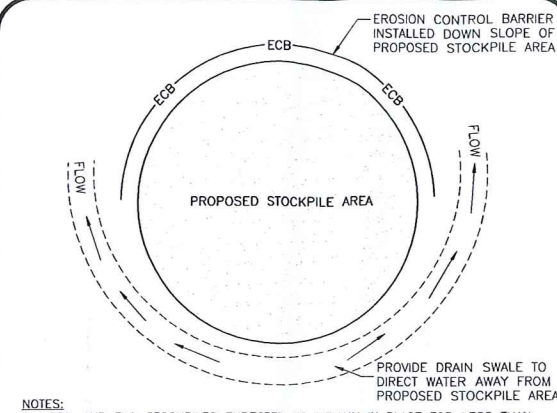
1. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
2. INSTALL WOODEN STAKES IN A CRISS-CROSS PATTERN EVERY 8' ON CENTER.
3. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
4. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
5. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
6. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE **1**



NOTE:
1. INSTALL SILTSACK PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. EMPTY OR REMOVE SEDIMENT FROM SILTSACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE, AND REPLACE AS NEEDED.
2. SILT SACKS TO BE INSTALLED DURING CONSTRUCTION OPERATIONS WHEN THE POTENTIAL FOR SEDIMENT TO ENTER EXISTING & PROPOSED BASINS EXISTS.

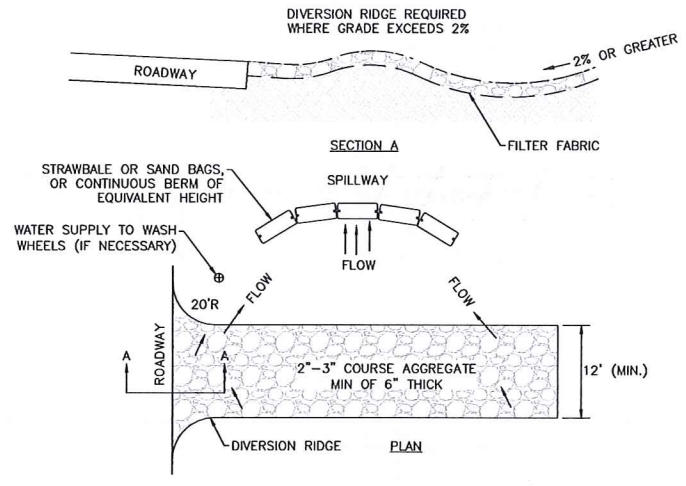
CATCH BASIN FILTER INLET DETAIL
NOT TO SCALE **2**



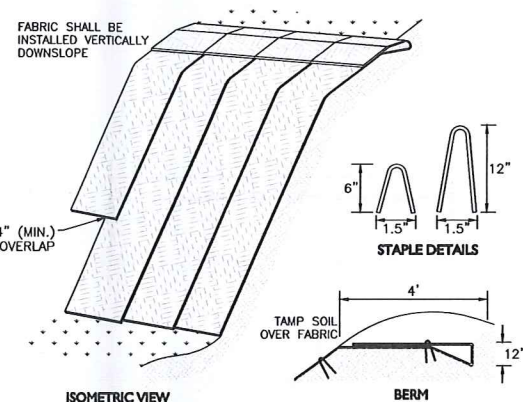
NOTE:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100LB/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH STRAW MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION DETAIL
NOT TO SCALE **3**

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. USE SANDBAGS, STRAW BALES, OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

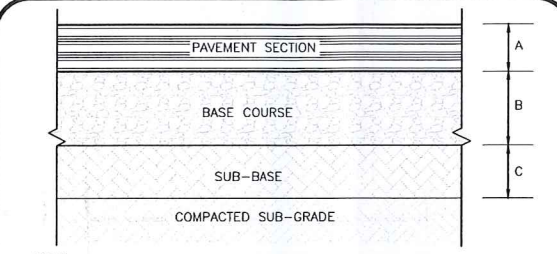


TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE **4**



NOTE:
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. FABRIC SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING FABRIC.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
4. CHOOSE MATERIAL BASED ON SLOPE, SOILS, AND APPLICATION.

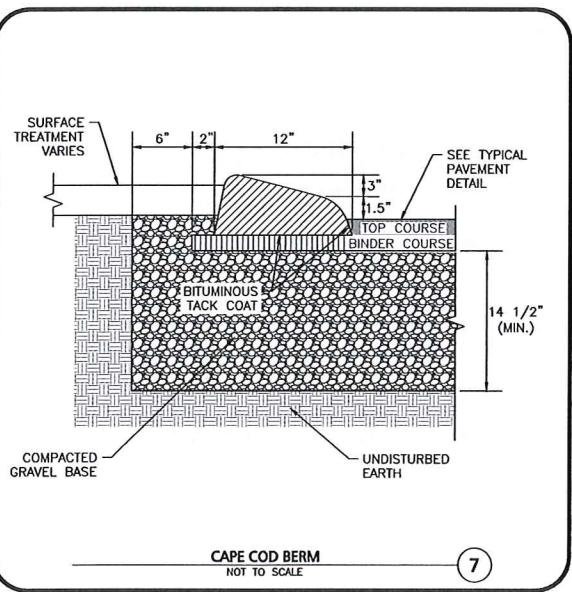
EROSION CONTROL FABRIC
NOT TO SCALE **5**



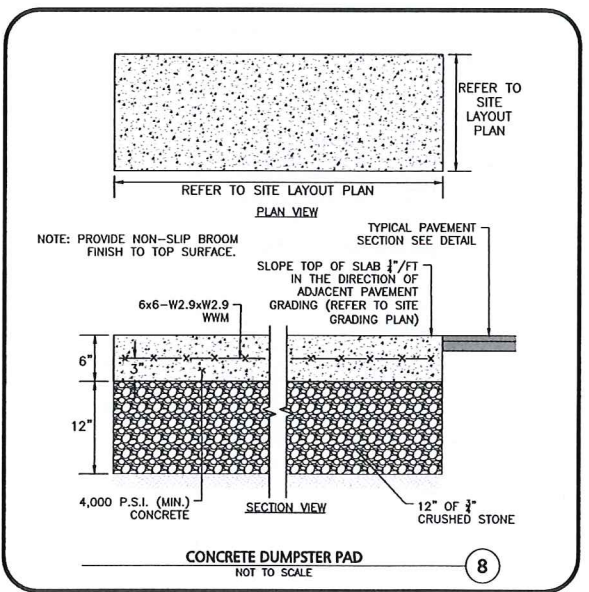
- NOTES:
1. PAVEMENT SECTION, BASE COURSE, AND SUBGRADE SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IN THE ABSENCE OF A GEOTECHNICAL ENGINEER'S RECOMMENDATION, THE MATERIALS AND THICKNESS SHALL BE AS SHOWN HEREON.
 2. SUBGRADE SHALL BE COMPACTED TO 95% OF PROCTOR
 3. EXISTING SUBSURFACE SOILS SHALL BE PROOF-ROLLED.
 4. CLEANLY SAW CUT EXISTING PAVEMENT AND ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND PROPOSED PAVEMENT.

MATERIALS AND THICKNESSES:
A = 1.5" ASPHALT CONCRETE - SURFACE COURSE (M3.11.0, TABLE A, TOP COURSE)
2.5" ASPHALT CONCRETE - BINDER COURSE (M3.11.0, TABLE A, BINDER COURSE)
B = 6" PROCESSED GRAVEL BASE (MHD M2.01.7)
C = 12" BANK RUN GRAVEL MHD M1.03.0 TYPE B)

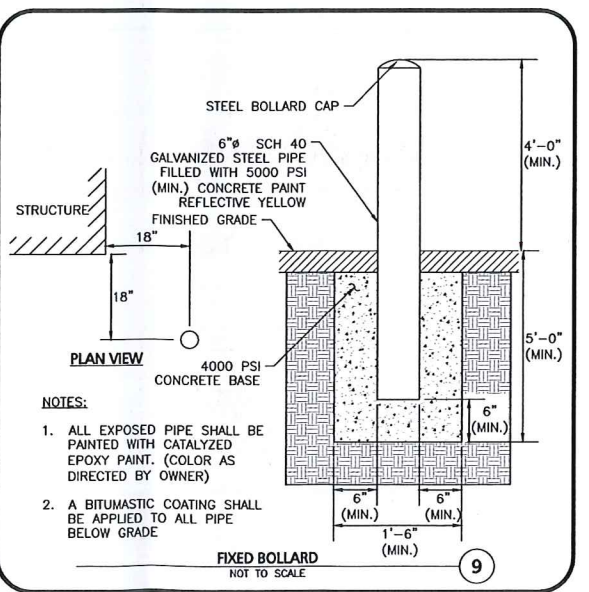
ASPHALT PAVEMENT SECTION
NOT TO SCALE **6**



CAPE COD BERM
NOT TO SCALE **7**

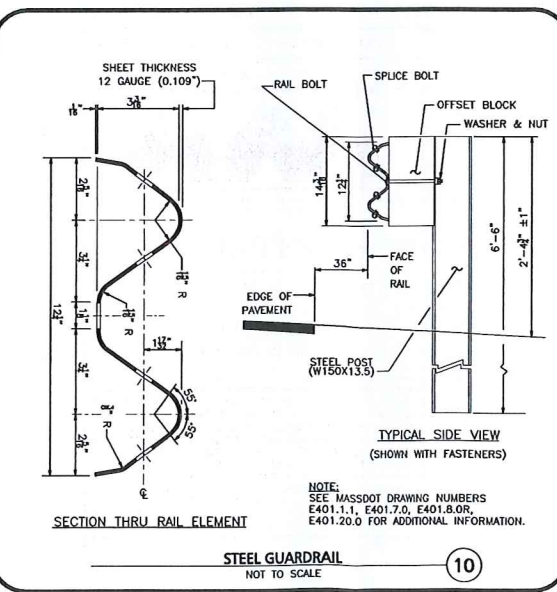


CONCRETE DUMPSTER PAD
NOT TO SCALE **8**



- NOTES:
1. ALL EXPOSED PIPE SHALL BE PAINTED WITH CATALYZED EPOXY PAINT. (COLOR AS DIRECTED BY OWNER)
 2. A BITUMASTIC COATING SHALL BE APPLIED TO ALL PIPE BELOW GRADE

FIXED BOLLARD
NOT TO SCALE **9**



STEEL GUARDRAIL
NOT TO SCALE **10**



Brian D. Jones
02-21-23

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
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APPLICANT/OWNER:
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BELLINGHAM, MA 02019

PROJECT:
25 FORGE PARKWAY
FRANKLIN, MA

PROJECT NO. 2712-02A DATE: 02-21-23

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DESIGNED BY: SM/JRG CHECKED BY: BDJ

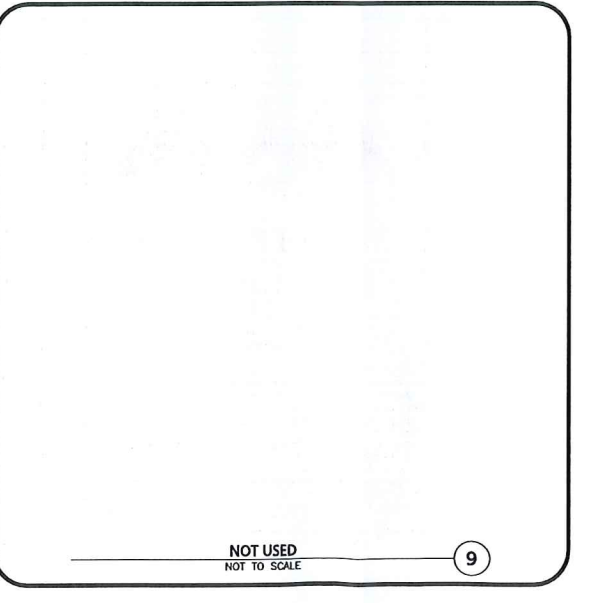
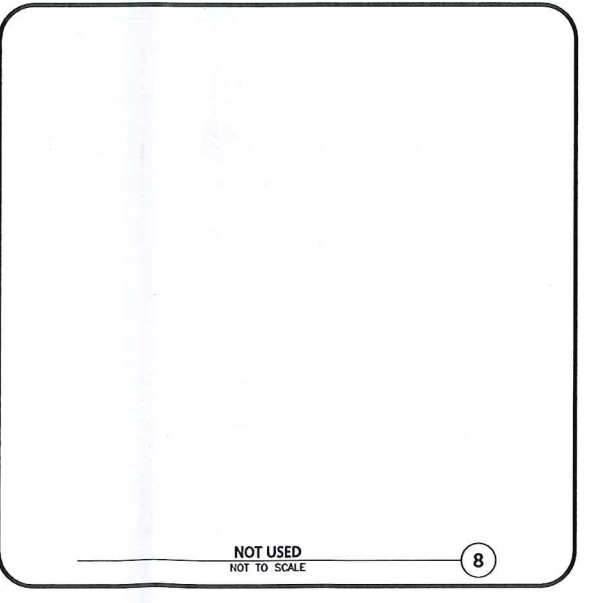
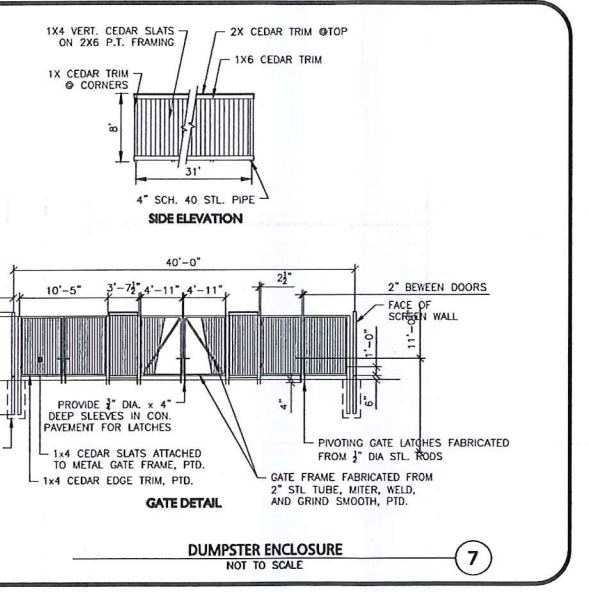
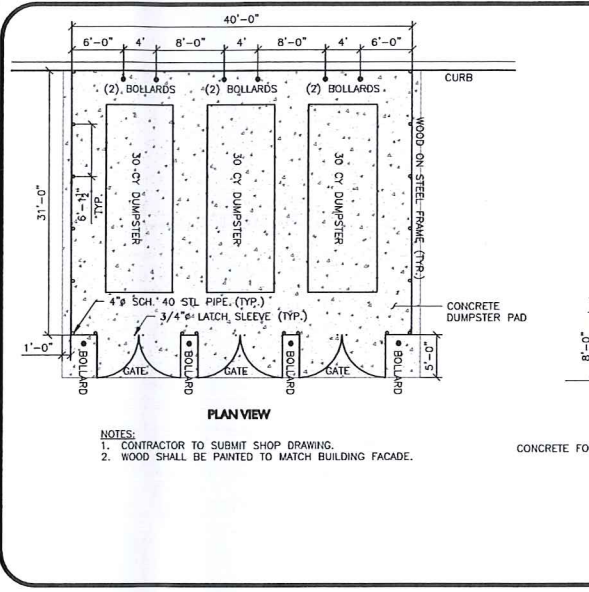
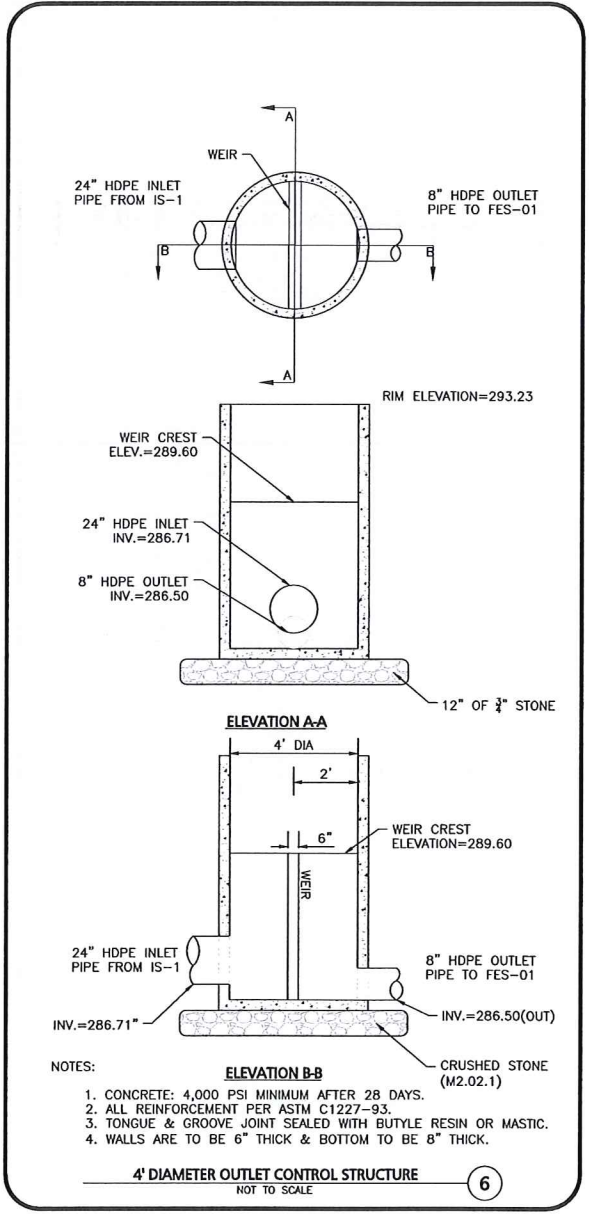
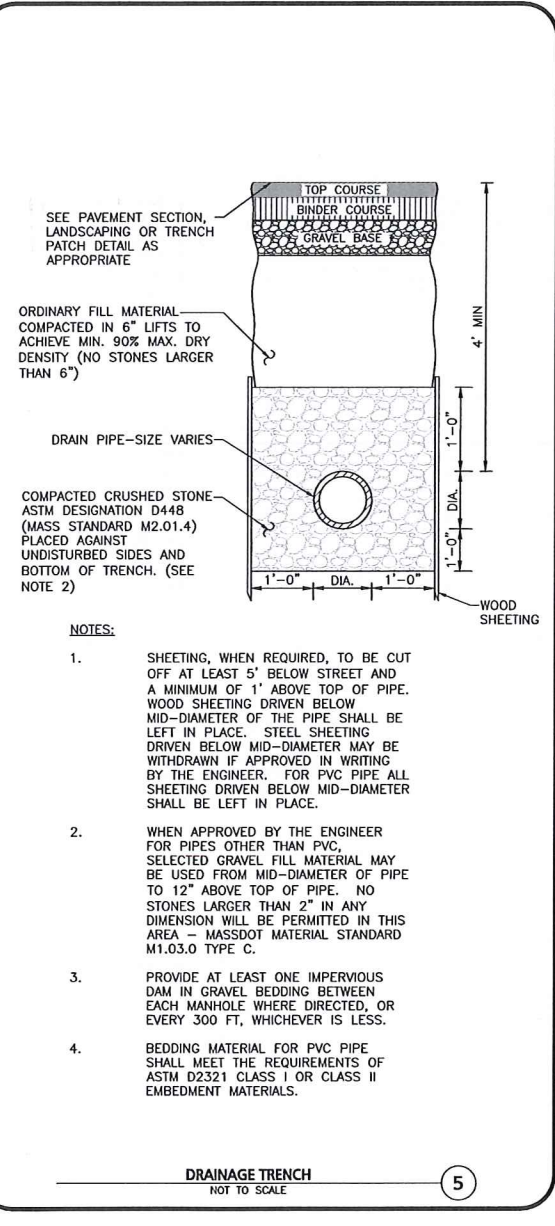
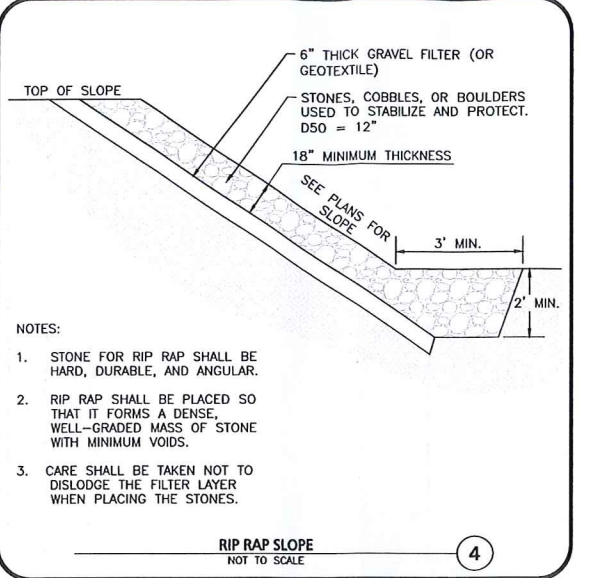
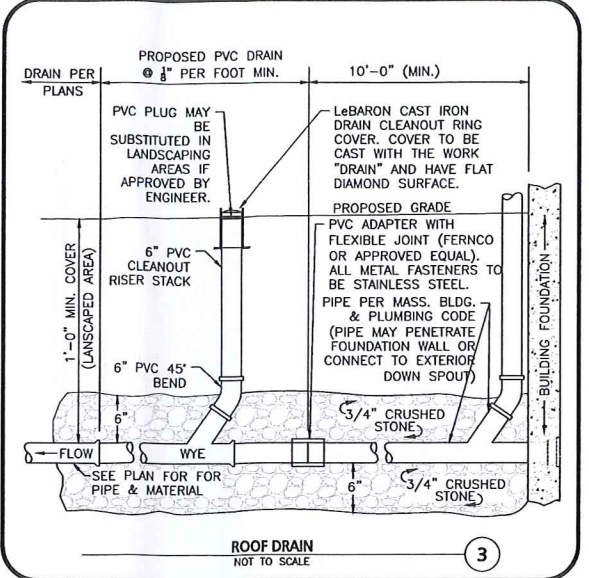
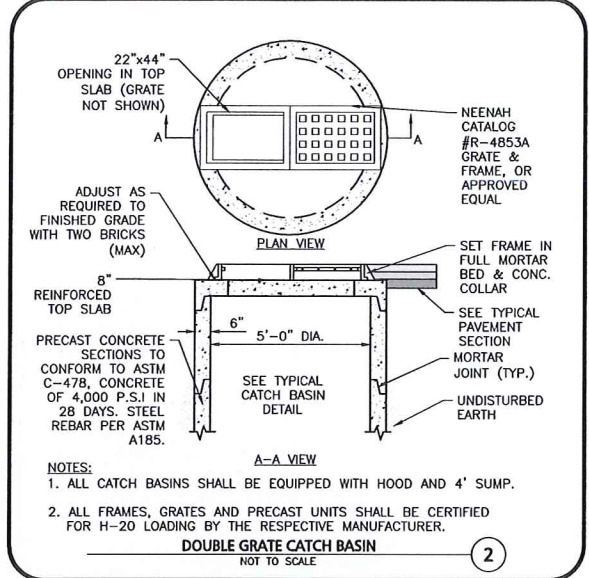
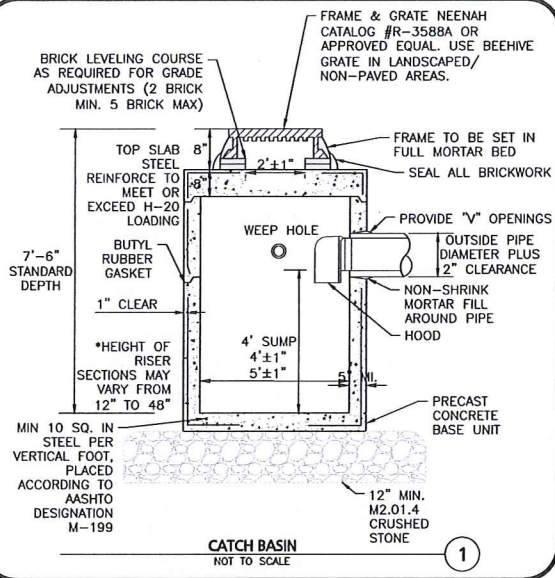
PREPARED BY:

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DRAWING TITLE: **DETAILS** SHEET NO. **C-501**



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
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| | | |
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| | | |

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PROJECT:
25 FORGE PARKWAY
FRANKLIN, MA

PROJECT NO. 2712-02A DATE: 02-21-23

SCALE: AS SHOWN DWG. NAME: C-2712-02A

DESIGNED BY: SM/JRG CHECKED BY: BDJ

PREPARED BY:

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