



**FRANKLIN PLANNING & COMMUNITY  
DEVELOPMENT**

355 EAST CENTRAL STREET, ROOM 120  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907

**MEMORANDUM**

**DATE:** September 7, 2021  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 27 Forge Parkway – Loading Docks  
Site Plan Modification - Endorsement

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**General:**

1. Applicant has submitted plans for endorsement for the Limited Site Plan Modification for 27 Forge Parkway.
2. Mike Maglio and Matt Crowley have confirmed they are satisfied with the stormwater management proposed.

DPCD has no further comments.

# THERMO FISHER SCIENTIFIC, INC.

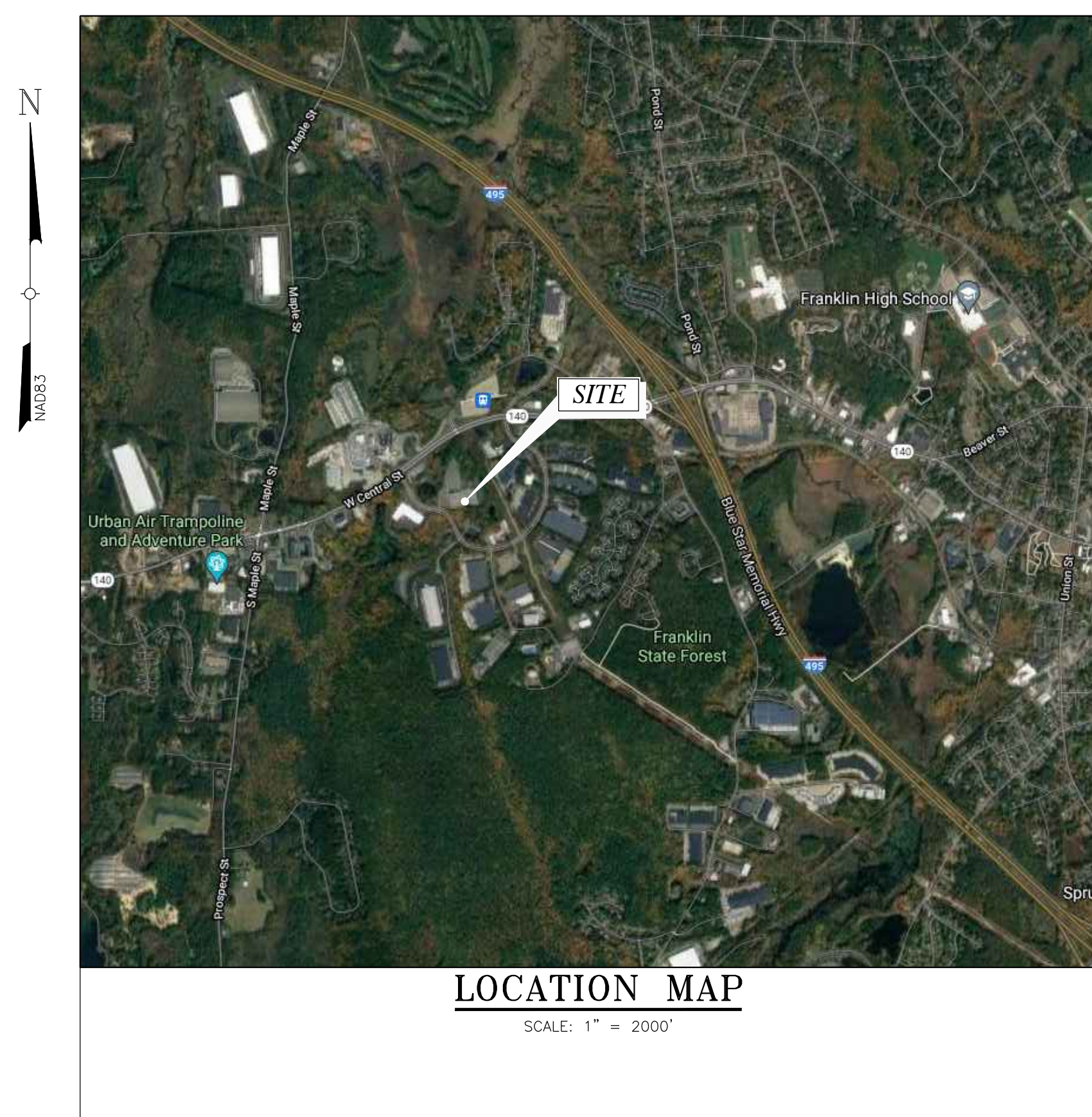
## SITE PLAN MODIFICATION 27 FORGE PARKWAY FRANKLIN, MASSACHUSETTS

### REQUEST FOR DETERMINATION

REQUEST FOR DETERMINATION FOR PARKING FROM SECTION 185-21A (4)  
REQUEST FOR DETERMINATION FOR PARKING FROM SECTION 185-21B (3)  
REQUEST FOR DETERMINATION FOR PARKING FROM SECTION 185-21C (6)

### NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF FRANKLIN STANDARDS.
- THE SITE SHALL CONFORM TO ALL RULES AND REGULATIONS AND APPROVALS FROM THE BOARD OF HEALTH, DESIGN REVIEW COMMISSION, DPW, POLICE, AND FIRE DEPARTMENTS.
- ALL PARKING STRIPING SHALL BE PAINTED WITH WHITE ACRYLIC PAINT
- PROPERTY IS CURRENTLY ZONED INDUSTRIAL.
- A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON SITE.
- IF ANY DEBRIS IS CARRIED ONTO ANY PUBLIC WAY, THE OWNER/APPLICANT AND HIS ASSIGNS SHALL BE RESPONSIBLE FOR ALL CLEANUP ON THE ROADWAY. ALL CLEANUPS SHALL OCCUR WITHIN 24 HOURS AFTER FIRST WRITTEN NOTIFICATION.
- THE BUILDING OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.
- THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE OF THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION.
- SEE CERTIFICATE OF VOTE DATED OCTOBER 27, 2008 BY THE FRANKLIN BOARD TO APPROVE WITH CONDITIONS A LIMITED SITE PLAN MODIFICATION FOR PARKING DETERMINATION.
- SEE ABBREVIATED NOTICE OF RESOURCE AREA DELINEATION DATED JANUARY 27, 2009 PREPARED BY BEALS ASSOCIATES, INC. 98 NORTH WASHINGTON ST., BOSTON, MA.
- SEE ORDER OF RESOURCE AREA DELINEATION NO. CE 159-980.
- WETLANDS WERE FLAGGED BY GODDARD CONSULTING IN AUGUST 2018 AND LOCATIONS REVISED IN FEBRUARY 2019. BY GUERRIERE AND HALNON, INC.
- SEE CERTIFICATE OF VOTE GRANTED BY THE FRANKLIN PLANNING BOARD DATED, JULY 14, 2009.
- THIS SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE, SEE FIRM NUMBER 25021C0304E EFFECTIVE DATE JULY 17, 2012.
- THIS SITE IS NOT LOCATED WITHIN A WATER RESOURCE DISTRICT.
- THIS SITE IS NOT LOCATED WITHIN THE NATURAL HERITAGE ENDANGERED PROTECTION ZONE
- PLANS BASED ON A SURVEY PERFORMED BY TECTONIC ENGINEERING DATED 04/26/21.



SHT. NO.	DESCRIPTION
T-1	TITLE SHEET, DRAWING INDEX, LOCATION MAP
C-1	OVERALL SITE PLAN
C-2	ENLARGED SITE PLANS
C-3	OVERALL DRAINAGE & GRADING PLANS
C-4	ENLARGED DRAINAGE & GRADING PLAN
C-5	EROSION & SEDIMENT CONTROL
C-6	DETAILS
C-7	DETAILS
C-8	CERTIFICATE OF VOTE

### NOTES

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"WARNING" EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND / OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS. CALL "DIG SAFE" 1-888-DIG-SAFE. (1-888-344-7233). EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

### PROJECT DATA

SITE ADDRESS: 27 FORGE PARKWAY  
FRANKLIN, MA 02308

ZONING: INDUSTRIAL ZONE

OWNER(S)/APPLICANT:

27 FORGE PARKWAY LLC  
27 FORGE PARKWAY  
FRANKLIN, MA 02038  
A.M. 272 LOTS 13 & 14  
A.M. 275 LOTS 13 & 21  
CERTIFICATE NO. 177794

DATE:	DATE:
APPROVED DATE:	FRANKLIN PLANNING BOARD
SIGNATURE DATE:	BEING A MAJORITY

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Rev	Date	Revision	Approved	DRAWING CONTROL		
0	06/15/21	ISSUED		Designed by: N/A	Drawn by: Grant Bogue	Checked by: JMP
1	7/6/21	PER COMMENTS		Purpose	Released by	Date
2	8/27/21	PER COMMENTS		<input type="radio"/> For Comment		
3	8/30/21	PER COMMENTS		<input type="radio"/> For Approval		
				<input type="radio"/> For Bid		
				<input type="radio"/> For Construction		

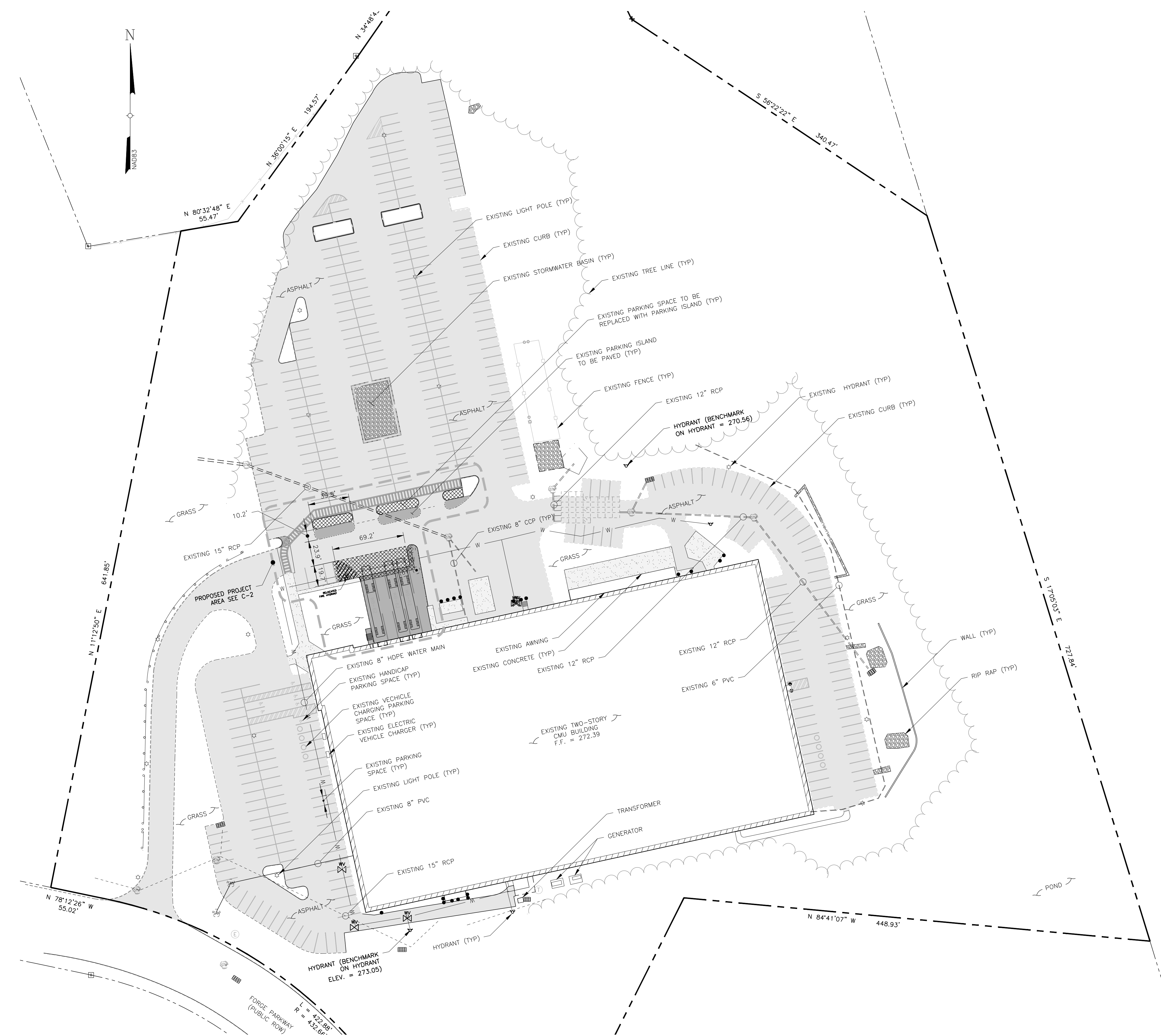
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### TITLE SHEET

THERMOFISHER  
27 FORGE PARKWAY  
TOWN OF FRANKLIN  
COUNTY OF NORFOLK, MASSACHUSETTS

Date 04/28/2021	Work Order	Drawing No. T1	Rev 2
Scale NTS	10734.THERMOFISHER		



### PARKING NOTES

TOTAL BUILDING AREA = 110,000.0± SF  
 OFFICE SPACE (1) SPACE PER 250 SF  
 MANUFACTURING (1) SPACE PER 400 SF  
 LABORATORY (1) SPACE PER 400 SF  
 WAREHOUSE (1) SPACE PER 1,000 SF

DESIGNATION	AREA	PER SF	SPACES REQUIRED
OFFICE	65,143 SF	/250	261
MANUFACTURING	30,022 SF	/400	76
LABORATORY	3,985 SF	/400	10
MANUFACTURING	30,022 SF	/1000	11
TOTAL PARKING SPACES REQUIRED			358
EXISTING PARKING SPACES			400
SPACES REMOVED FOR PAVING & PEDESTRIAN WALKWAYS			18
TOTAL PARKING SPACES PROVIDED			382
*EXISTING HANDICAP PARKING SPACES = 6			
*EXISTING VEHICLE CHARGING SPACE = 9			
(INCLUDED IN TOTAL PARKING COUNT)			

### BULK TABLE

INDUSTRIAL  
 FRANKLIN ZONING BYLAW SECTION 185  
 ATTACHMENT 9; LAST AMENDED 11-16-2016  
 BY AMENDMENT 16-771

	REQUIRED	EXISTING	PROPOSED
OFFICE	65,143 SF	40,000 SF	811,378 SF
MANUFACTURING	30,022 SF	175'	608.25'
LABORATORY	3,985 SF	200'	1,038±'
MANUFACTURING	30,022 SF	157.5'	603±

MINIMUM YARDS	REQUIRED	EXISTING	PROPOSED
FRONT	40'	98.2'	98.2'
SIDE	30' <sup>5</sup>	51.7'	51.7'
REAR	30' <sup>5</sup>	367.5'	367.5'

% OF LOT UPLAND COVERED BY:  
 STRUCTURES 70 13.5% 13.5%  
 STRUCTURE & PAVING 80 32.5% 36.7%

<sup>5</sup>INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE, WHEN ABUTTING A RESIDENTIAL DISTRICT OF USE.  
 SEE APPROVED SITE PLAN DATED MAY 11, 2009; REVISED TO JULY 14, 2009 FOR THERMO FISHER SCIENTIFIC, INC. SITE PLAN MODIFICATION 27 FORGE PARKWAY FRANKLIN, MASSACHUSETTS, BY GUERRIERE & HALNON, INC.

PROPOSED BUILDING COVERAGE FOR THIS PROJECT:	00.0 SF
PROPOSED PVMT/CONC WITH THIS PROJECT:	4,837.8 SF
EXISTING PVMT/CONC TO BE REMOVED FOR THIS PROJECT:	988.9 SF
NET DISTURBANCE AREA FOR THIS PROJECT:	5,826.7 SF

### LEGEND

	PROPERTY LINE		BOLLARD
	ADJOINING PROPERTY LINE		CATCH BASIN
	EASEMENT LINE		MANHOLE (STORM)
	CHAIN LINK FENCE		MANHOLE (SAN. SEWER)
	STOCKADE FENCE		WATER VALVE
	CURB LINE		HYDRANT
	EDGE OF CONCRETE		LIGHT POST
	EDGE OF GRAVEL		WATER MAIN
	EDGE OF PAVEMENT		TREE LINE
	GUIDE RAIL		BUILDING OUTLINE
	PAVEMENT STRIPING		
	STORM SEWER		

### OVERALL SITE PLAN

SCALE: 1" = 50'

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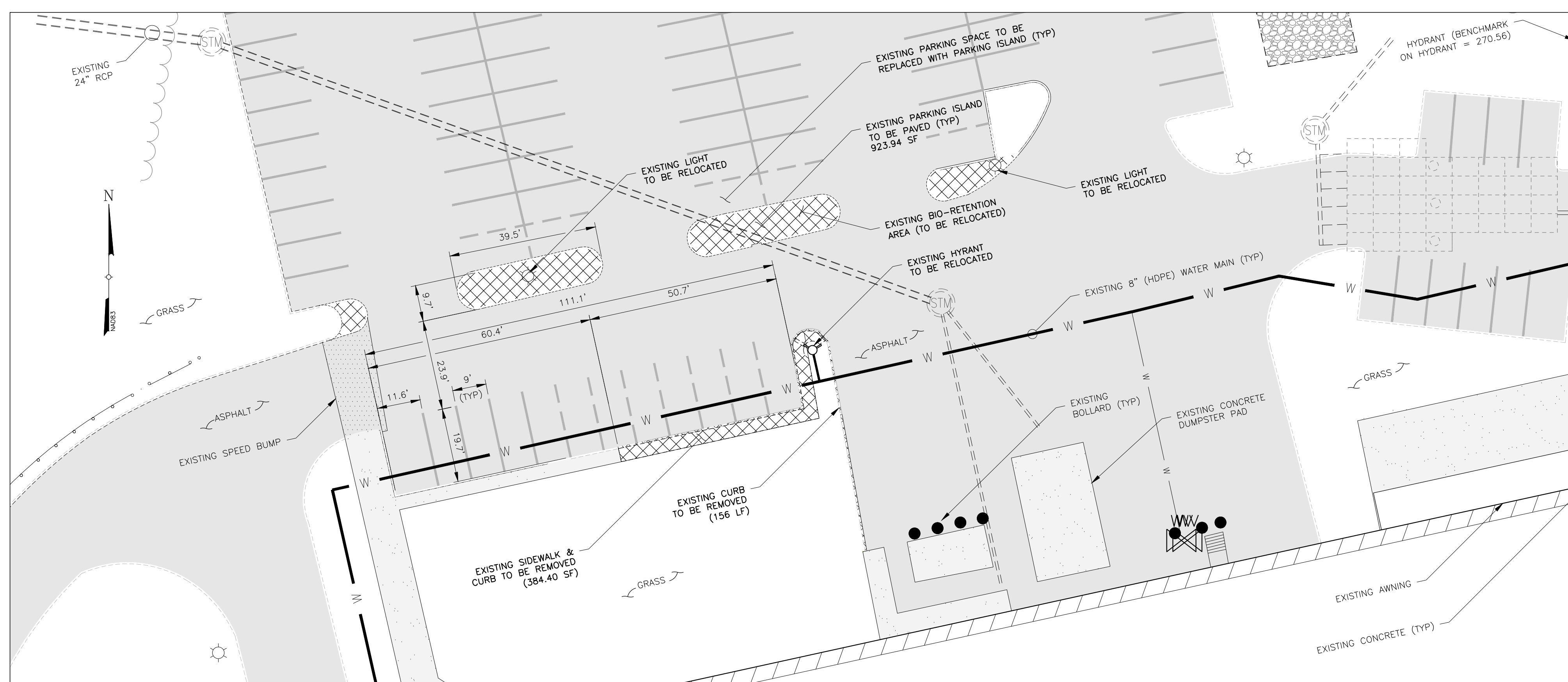
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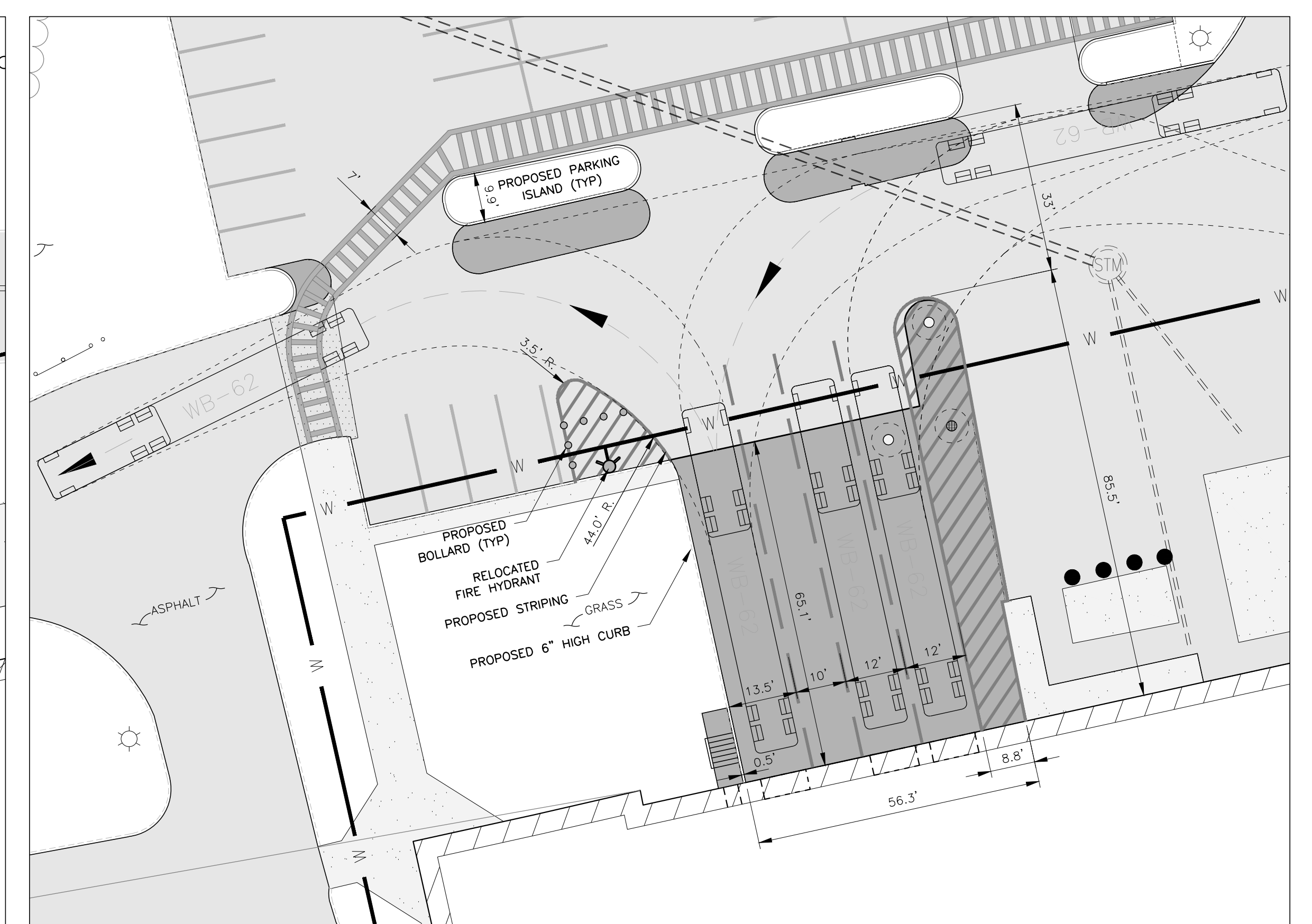
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OVERALL SITE PLAN			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date 04/26/2021	Work Order 10734.THERMOFISHER	Drawing No. C1	Rev 2
Scale 1" = 50'			



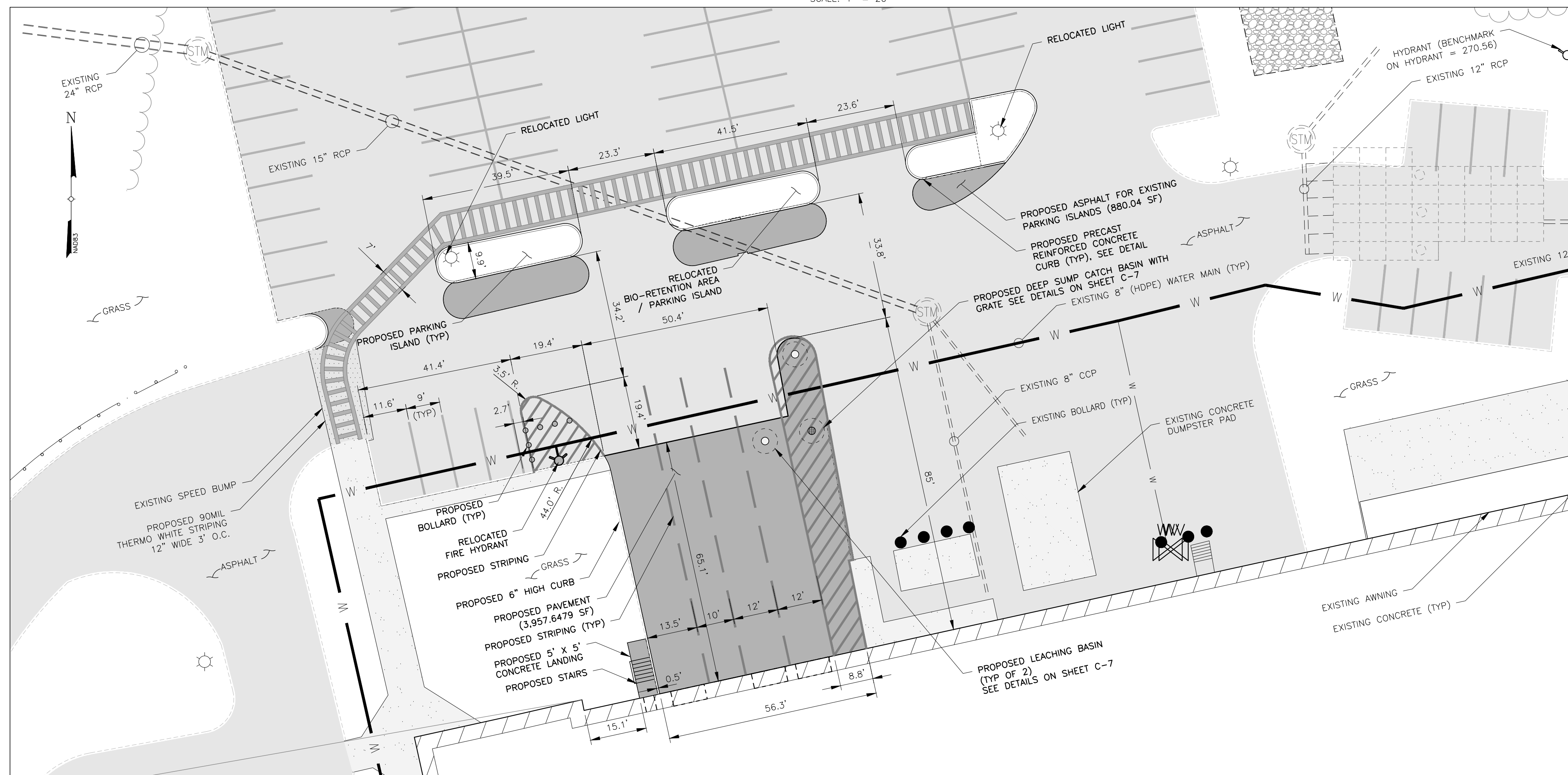
**EXISTING ENLARGED SITE PLAN**

SCALE: 1" = 20'



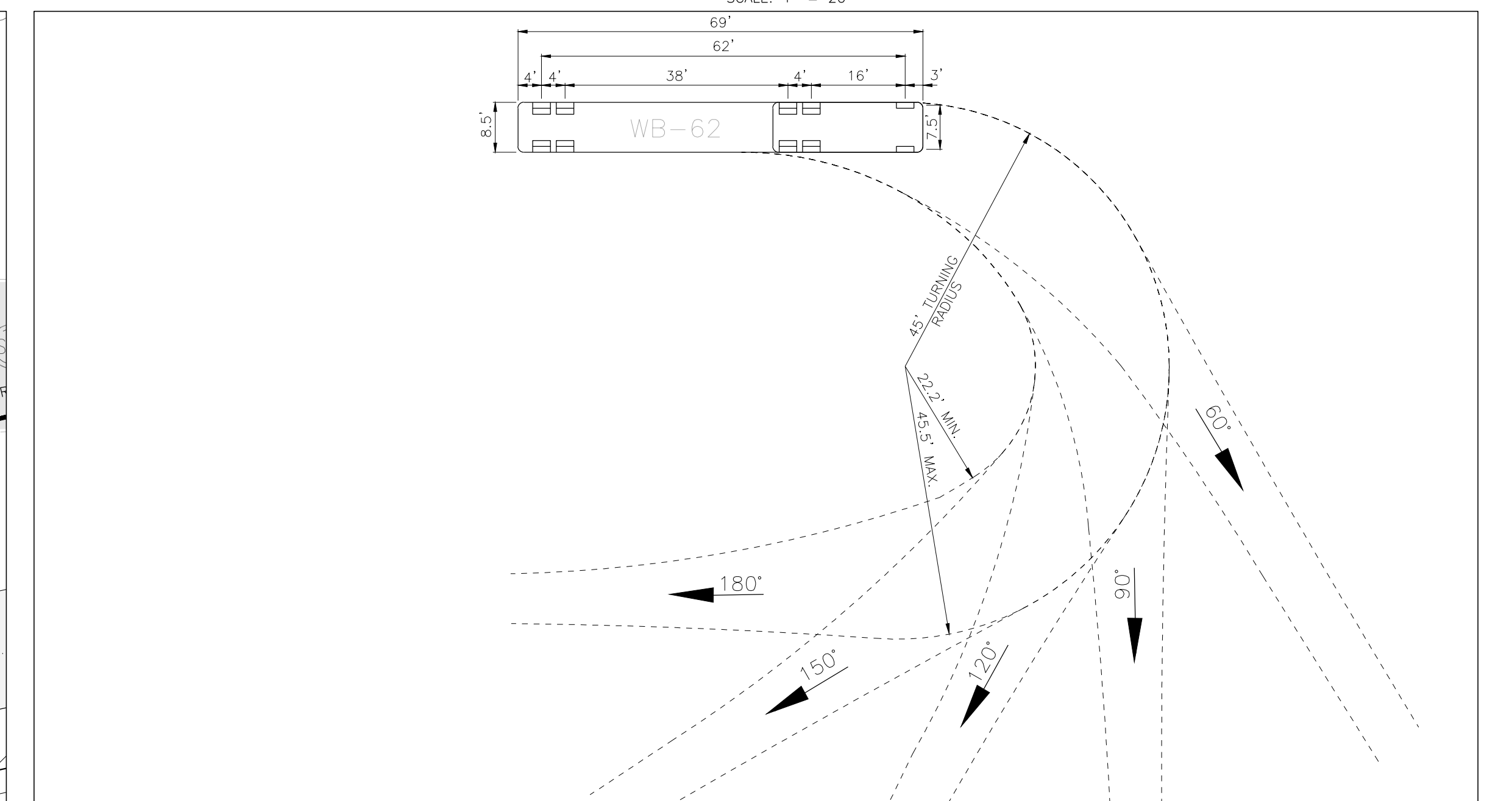
**TRUCK MANEUVERING PLAN**

SCALE: 1" = 20'



**PROPOSED ENLARGED SITE PLAN**

SCALE: 1" = 20'



**DESIGN VEHICLE DETAIL**

NTS

**LEGEND**

---	PROPERTY LINE	---	EDGE OF PAVEMENT	●	BOLLARD
- - -	ADJOINING PROPERTY LINE	---	GUIDE RAIL	■	CATCH BASIN
- · - · -	EASEMENT LINE	---	PAVEMENT STRIPING	⊙	MANHOLE (STORM)
— · — · —	CHAIN LINK FENCE	---	STORM SEWER	⊙	MANHOLE (SAN. SEWER)
— · — · —	STOCKADE FENCE	---	WATER MAIN	⊙	WATER VALVE
— · — · —	CURB LINE	---	TREE LINE	⊙	HYDRANT
---	EDGE OF CONCRETE	---	BUILDING OUTLINE	☆	LIGHT POST
---	EDGE OF GRAVEL				

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ENLARGED SITE PLANS			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date 04/28/2021	Work Order 10734.THERMOFISHER	Drawing No. C2	Rev 2
Scale 1" = 20'			



LEGEND	
	PROPERTY LINE
	ADJOINING PROPERTY LINE
	EASEMENT LINE
	CHAIN LINK FENCE
	STOCKADE FENCE
	CURB LINE
	EDGE OF CONCRETE
	EDGE OF GRAVEL
	EDGE OF PAVEMENT
	GUIDE RAIL
	PAVEMENT STRIPING
	STORM SEWER
	WATER MAIN
	TREE LINE
	BUILDING OUTLINE
	BOLLARD
	CATCH BASIN
	MANHOLE (STORM)
	MANHOLE (SAN. SEWER)
	WATER VALVE
	HYDRANT
	LIGHT POST
	FLOW ARROW
	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	EXISTING ASPHALT
	PROPOSED ASPHALT

**OVERALL DRAINAGE & GRADING PLAN**  
SCALE: 1" = 50'

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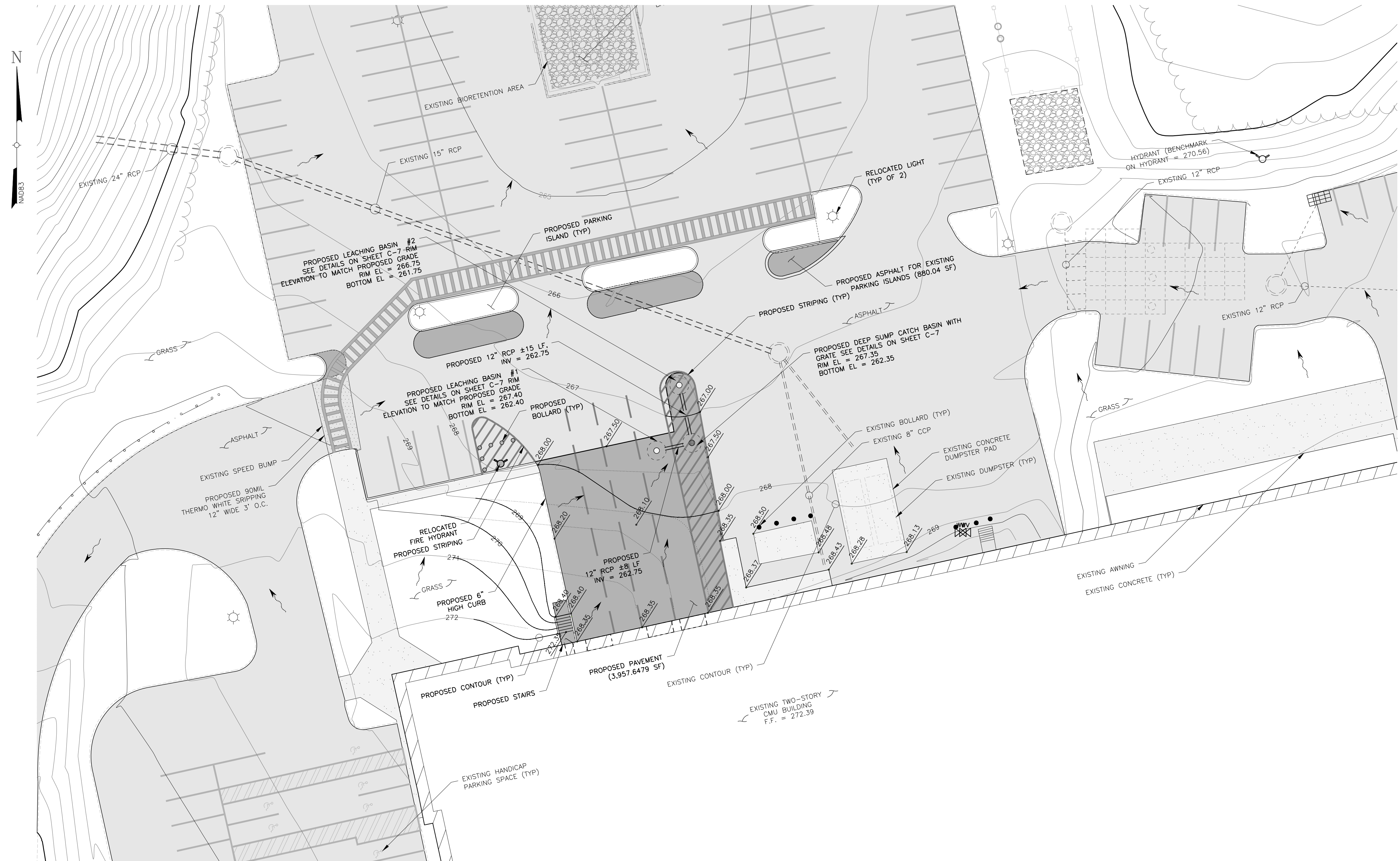
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OVERALL DRAINAGE & GRADING PLAN			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date 04/26/2021	Work Order 10734.THERMOFISHER	Drawing No. C3	Rev 2
Scale 1" = 50'			



LEGEND	
	PROPERTY LINE
	ADJOINING PROPERTY LINE
	EASEMENT LINE
	CHAIN LINK FENCE
	STOCKADE FENCE
	CURB LINE
	EDGE OF CONCRETE
	EDGE OF GRAVEL
	EDGE OF PAVEMENT
	GUIDE RAIL
	PAVEMENT STRIPING
	STORM SEWER
	WATER MAIN
	TREE LINE
	BUILDING OUTLINE
	BOLLARD
	CATCH BASIN
	MANHOLE (STORM)
	MANHOLE (SAN. SEWER)
	WATER VALVE
	HYDRANT
	LIGHT POST
	FLOW ARROW
	PROPOSED CONTOUR
	CONTOUR TO BE REMOVED
	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	EXISTING ASPHALT
	PROPOSED ASPHALT
	PROPOSED SPOT GRADE

**PROPOSED ENLARGED DRAINAGE & GRADING PLAN**  
SCALE: 1" = 20'

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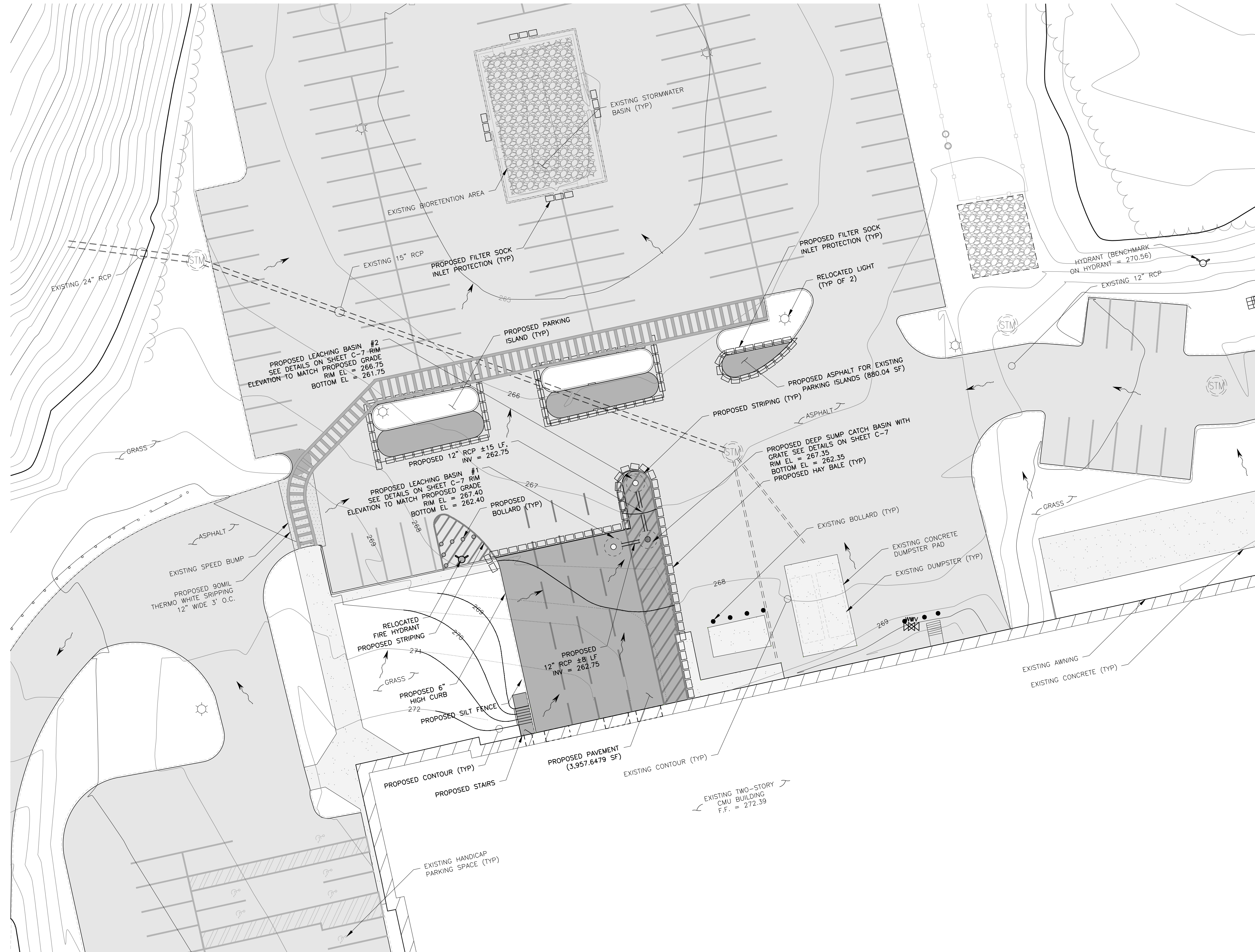
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ENLARGED DRAINAGE & GRADING PLAN			
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Scale 1" = 20'			



LEGEND	
	PROPERTY LINE
	ADJOINING PROPERTY LINE
	EASEMENT LINE
	CHAIN LINK FENCE
	STOCKADE FENCE
	CURB LINE
	EDGE OF CONCRETE
	EDGE OF GRAVEL
	EDGE OF PAVEMENT
	GUIDE RAIL
	PAVEMENT STRIPING
	STORM SEWER
	WATER MAIN
	TREE LINE
	BUILDING OUTLINE
	BOLLARD
	CATCH BASIN
	MANHOLE (STORM)
	MANHOLE (SAN. SEWER)
	WATER VALVE
	HYDRANT
	LIGHT POST
	FLOW ARROW
	PROPOSED CONTOUR
	CONTOUR TO BE REMOVED
	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	EXISTING ASPHALT
	PROPOSED ASPHALT

**PROPOSED EROSION & SEDIMENT CONTROL PLAN**

SCALE: 1" = 20'

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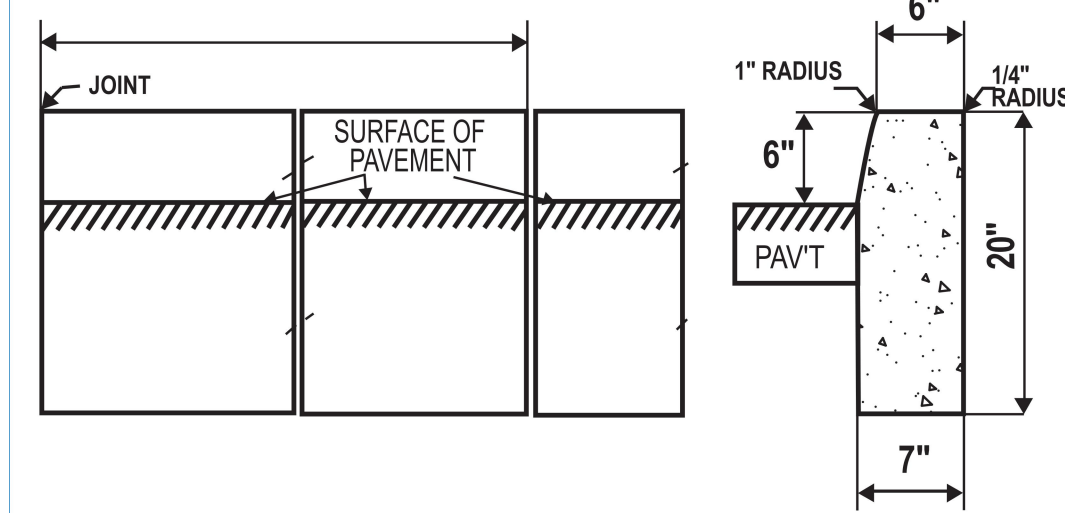
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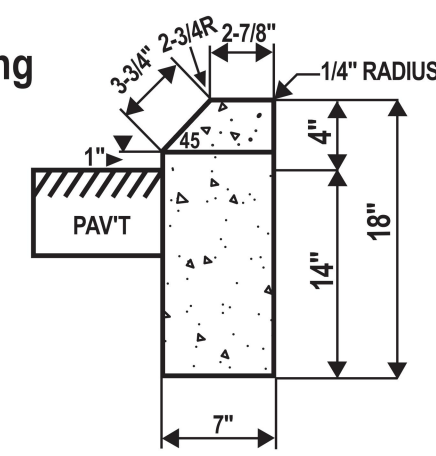
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PROPOSED EROSION & SEDIMENT CONTROL PLAN			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date	Work Order	Drawing No.	Rev
04/26/2021			
Scale 1" = 20'	10734.THERMOFISHER	C5	2

### Concrete Curbing

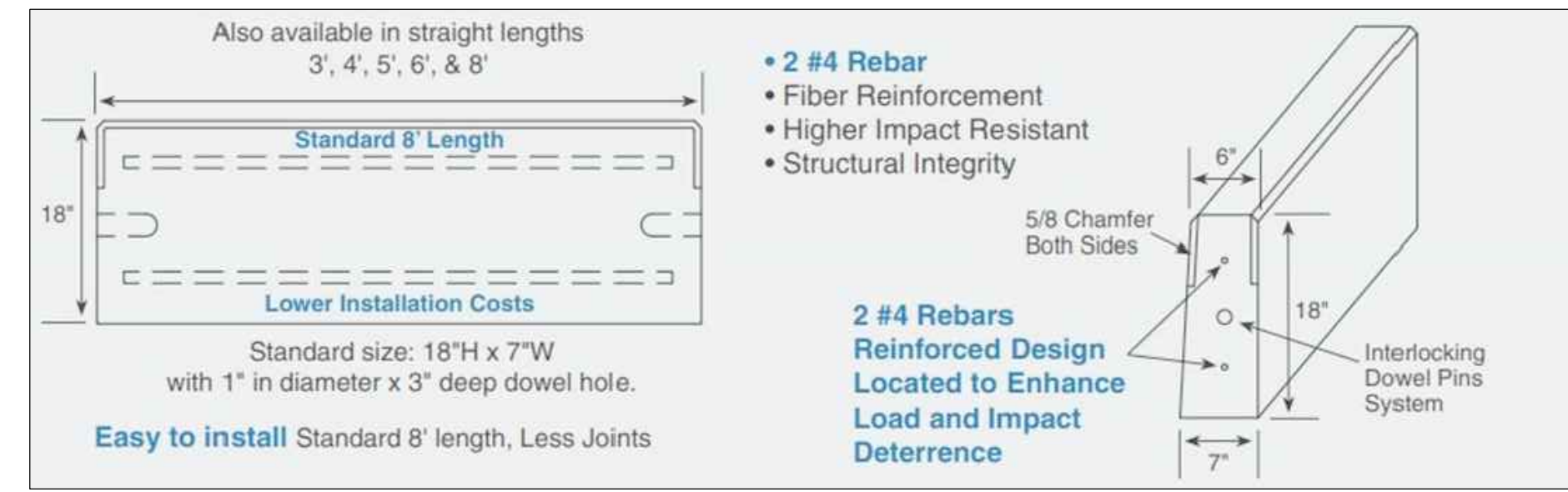


### Also Available: Concrete Park Curbing

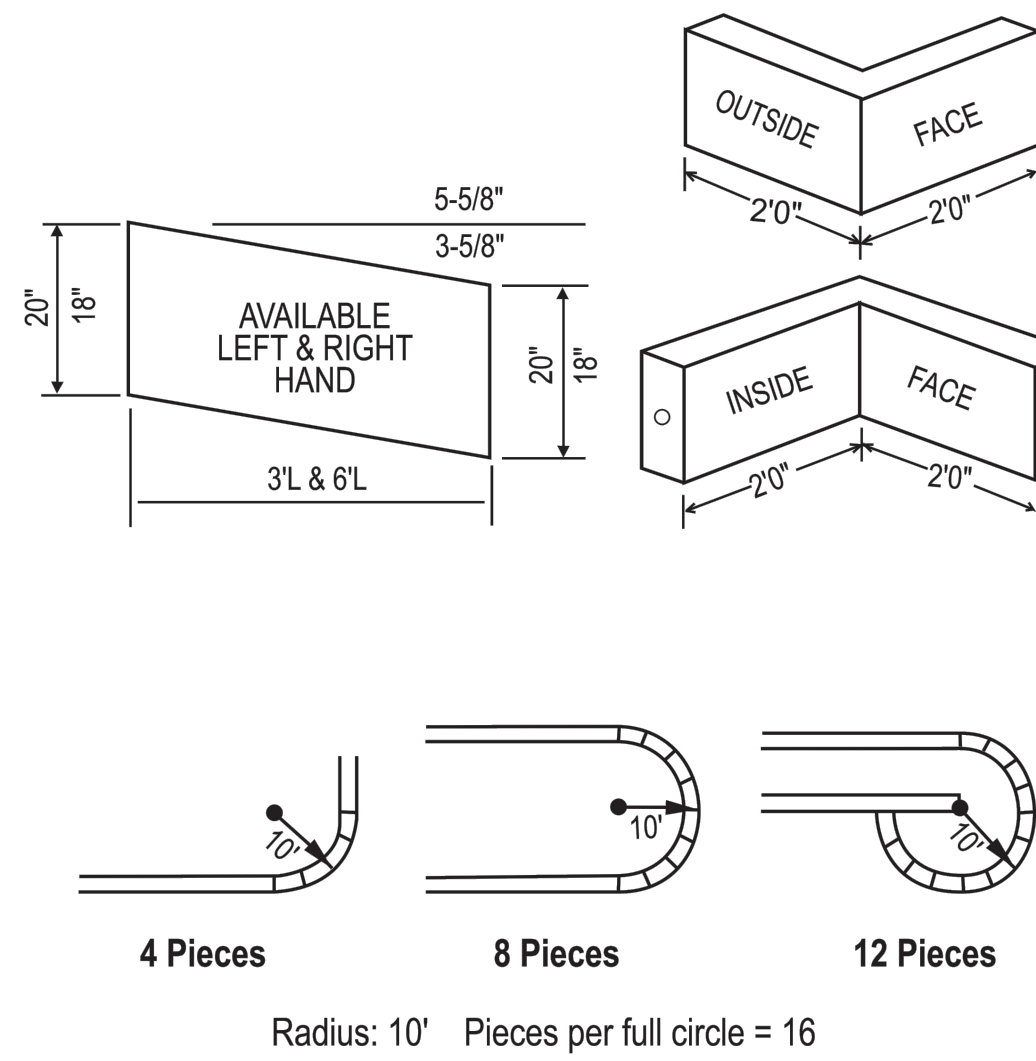
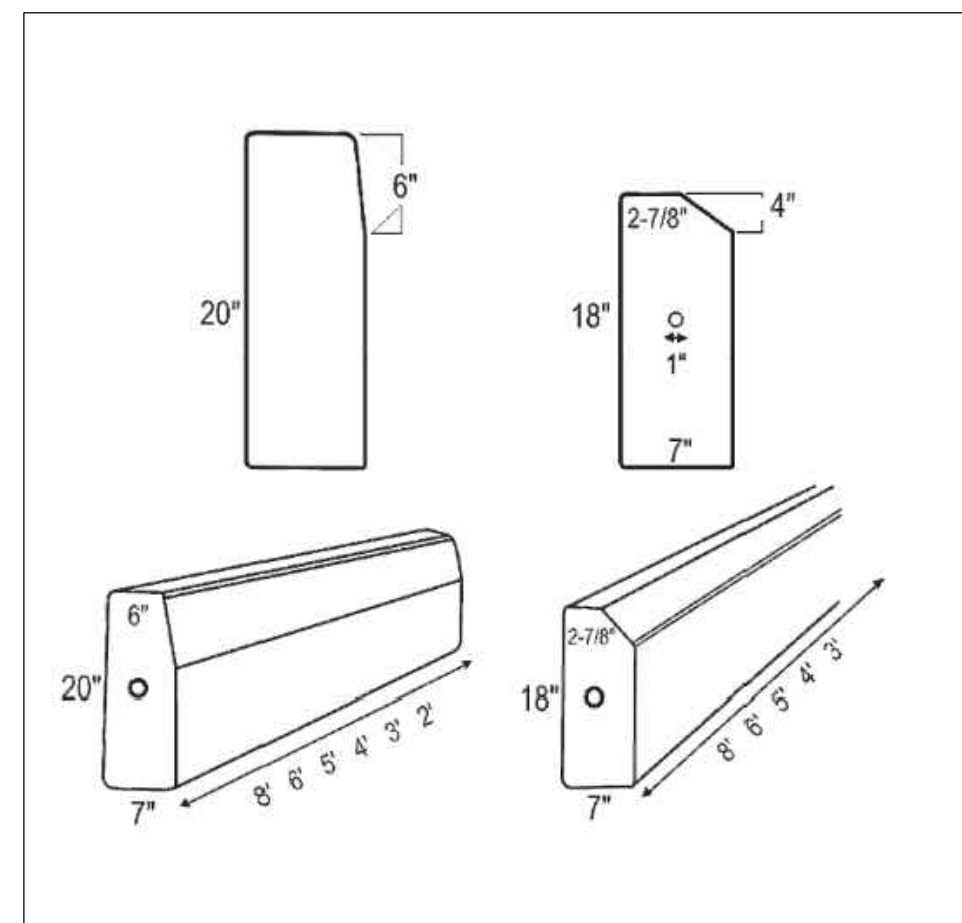


### Specifications

1. Concrete strength 5,000 psi
2. Weight 135 lbs./LF
3. 5 - 7% air entrainment
4. Manufactured to Connecticut D.O.T specifications
5. 2x6" LG #5 Rebar - Connecting Pins

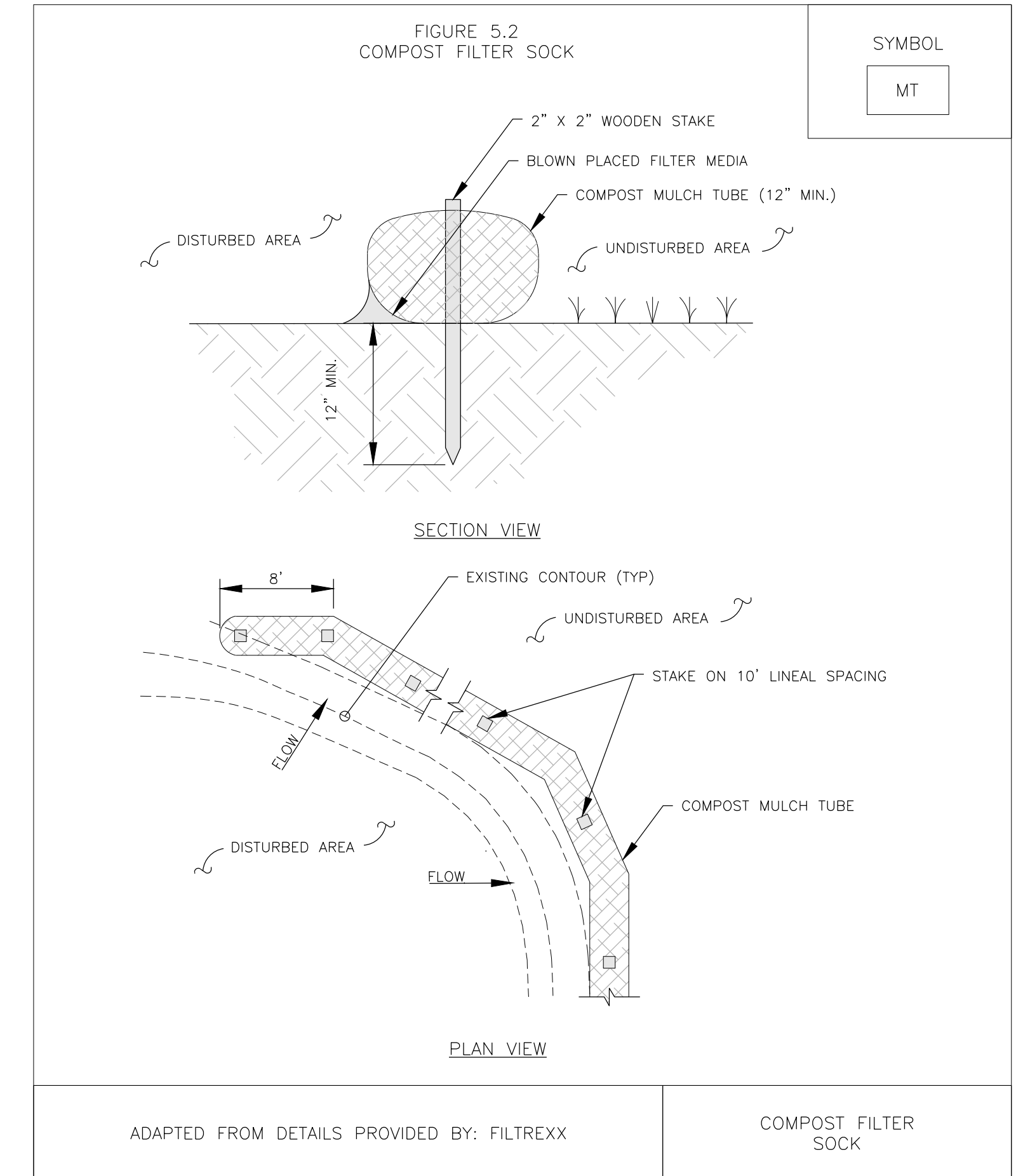


CURB REINFORCEMENT DETAILS  
NTS



### PRE-CAST CONCRETE CURBING DETAILS

NTS

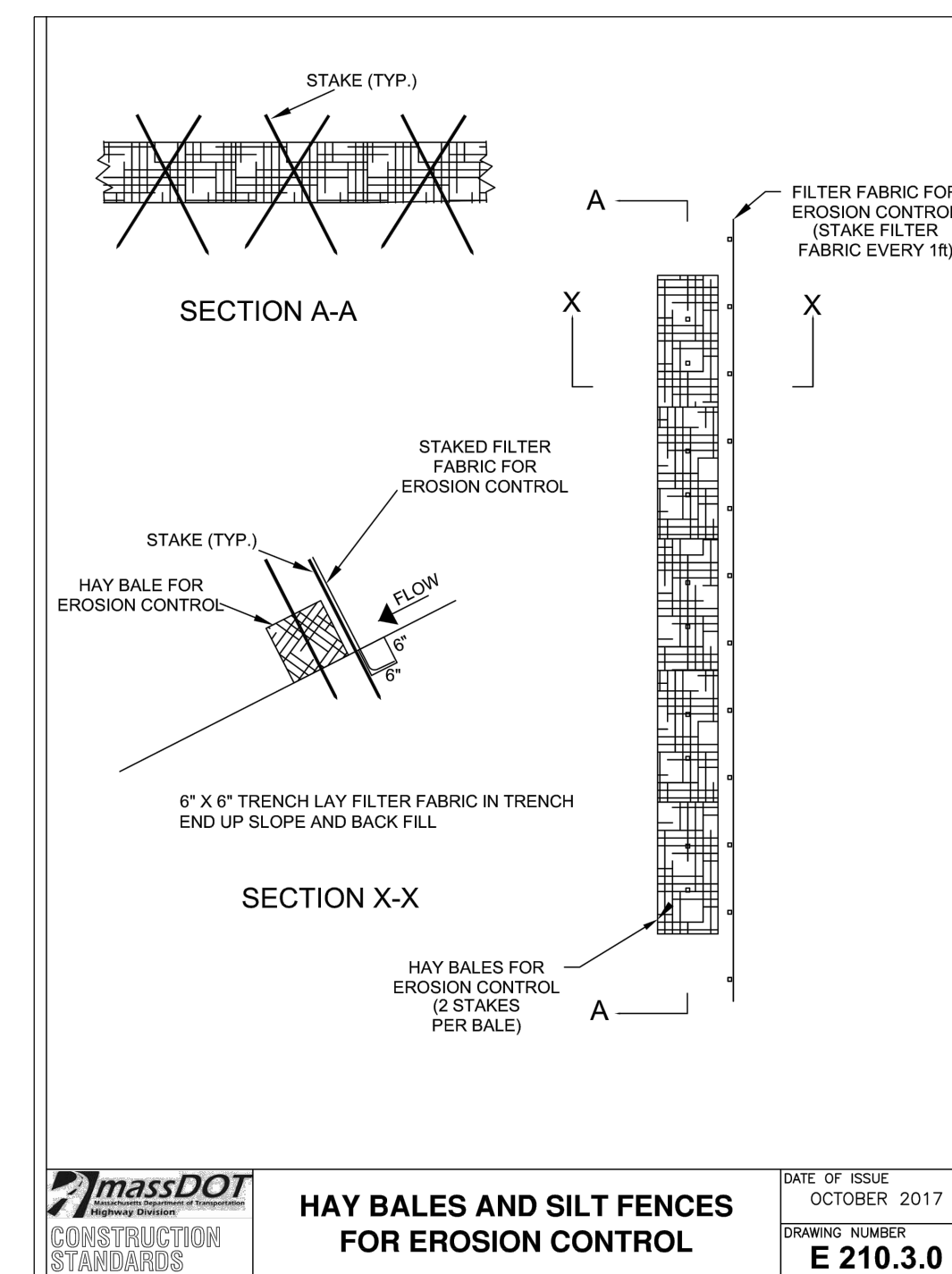


ADAPTED FROM DETAILS PROVIDED BY: FILTREXX

COMPOST FILTER SOCK

### FILTER SOCK DETAIL

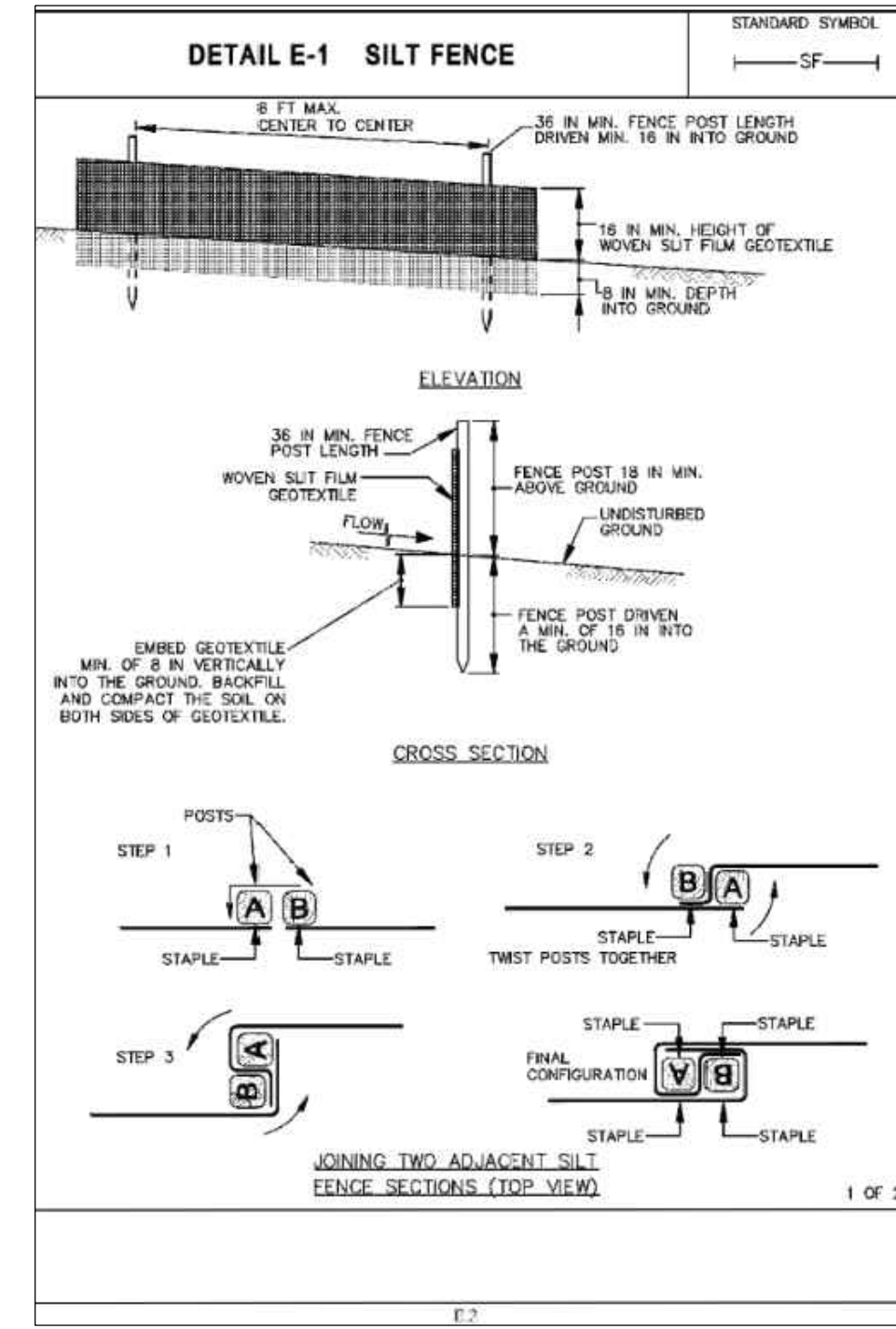
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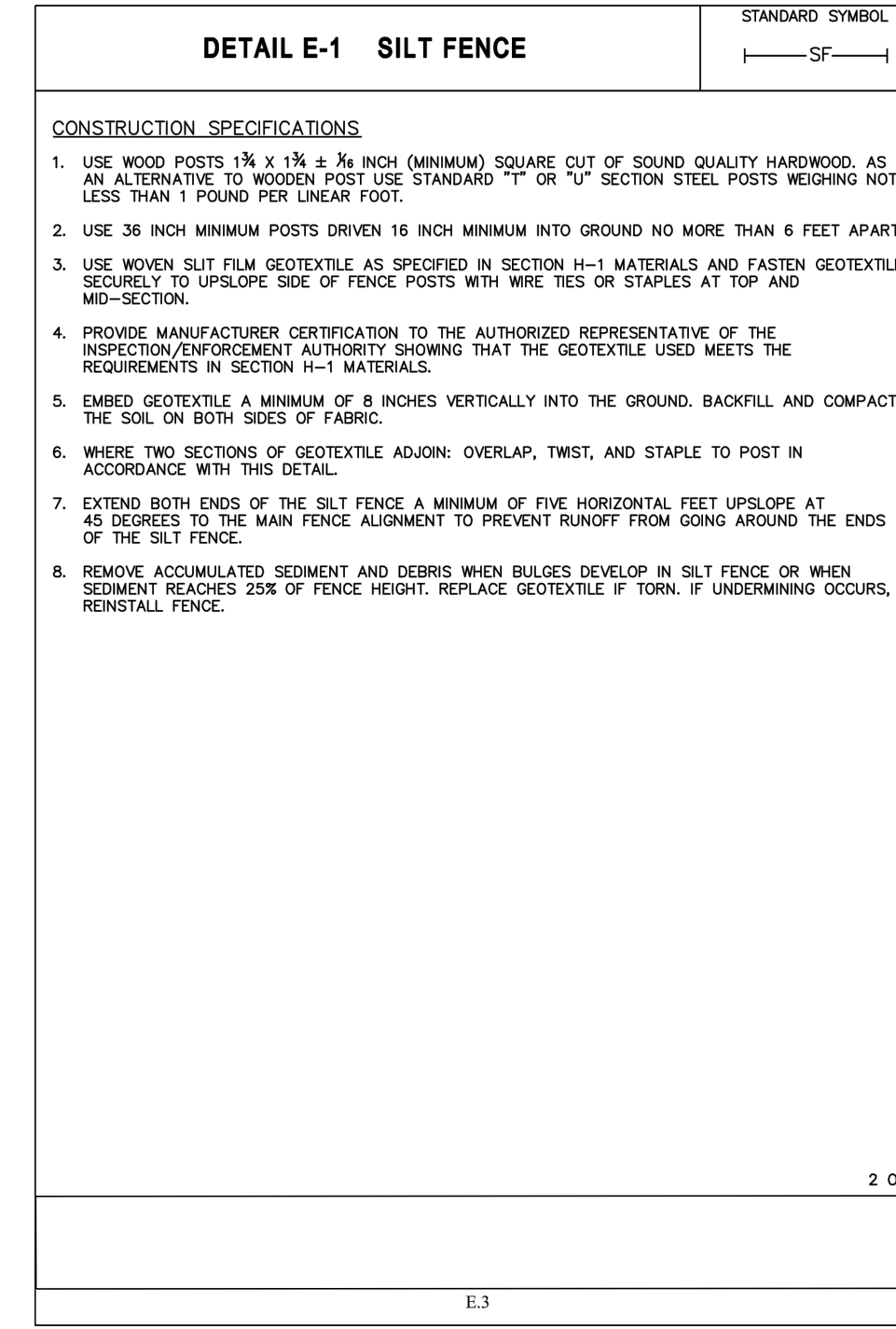
HAY BALE DETAIL  
NTS

E-1 STANDARDS AND SPECIFICATIONS		
FOR SILT FENCE		
<b>Definition</b>		
A temporary barrier of woven geotextile used to intercept, retain, and filter surface runoff from disturbed areas.		
<b>Purpose</b>		
To intercept sediment-laden sheet flow runoff allowing the deposition of sediment transported from upslope. Silt fence is not to be used as a velocity check in swales or placed where it will intercept concentrated flow.		
<b>Conditions Where Practice Applies</b>		
Silt fence is limited to intercepting sheet flow runoff from small disturbed areas. The use of silt fence is based on slope length and steepness of the contributing drainage area.		
<b>Design Criteria</b>		
Table E.1: Silt Fence Design Constraints		
Average Slope Steepness	Maximum Slope Length	Maximum Silt Fence Length
Flatter than 50:1 (<2%)	125 feet	Unlimited
50:1 to 10:1 (2.10-1%)	100 feet	1,000 feet
<10:1 to 5:1 (-10-20%)	100 feet	750 feet
<5:1 (>20%)	40 feet	250 feet
* Maximum slope length is unlimited on Hydrologic Soil Group (HSG) "A" soils.		
1. The use of silt fence must conform to the design constraints listed in Table E.1 above.		
2. The area downgrade of the silt fence must be undisturbed ground.		
3. Silt fence is to be placed on the contour.		
4. Silt fence should be used with caution in areas where rocky soils may prevent trenching.		
5. Extend both ends of the silt fence a minimum five (5) feet horizontally upslope at 45 degrees to the main fence alignment to prevent runoff from going around the ends of the silt fence.		
<b>Maintenance</b>		
Accumulated sediment and debris must be removed when bulges develop in the silt fence or when sediment reaches 25 percent of the fence height. The geotextile must be replaced if torn. If undermining occurs, reinstall fence.		

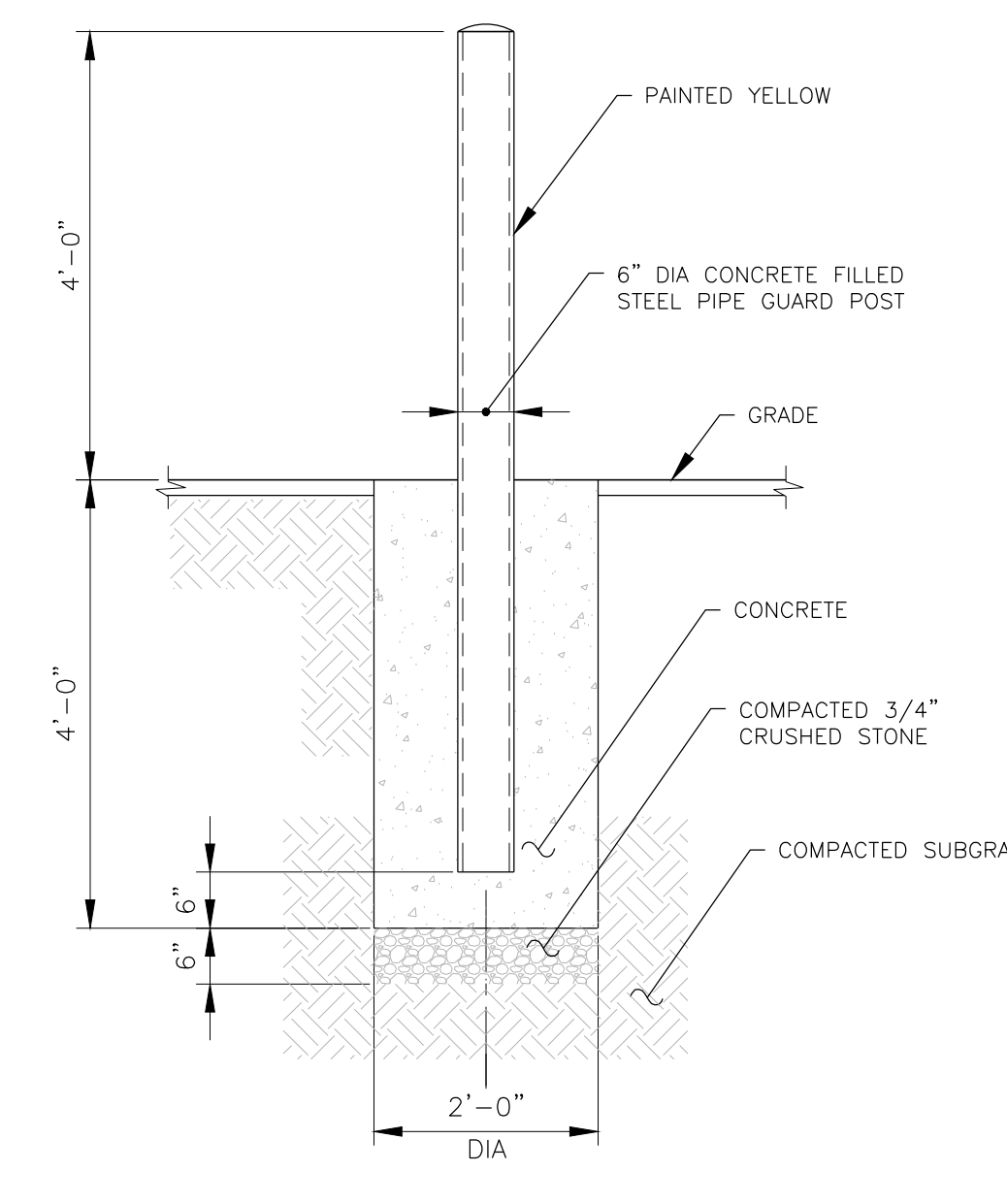
E.1



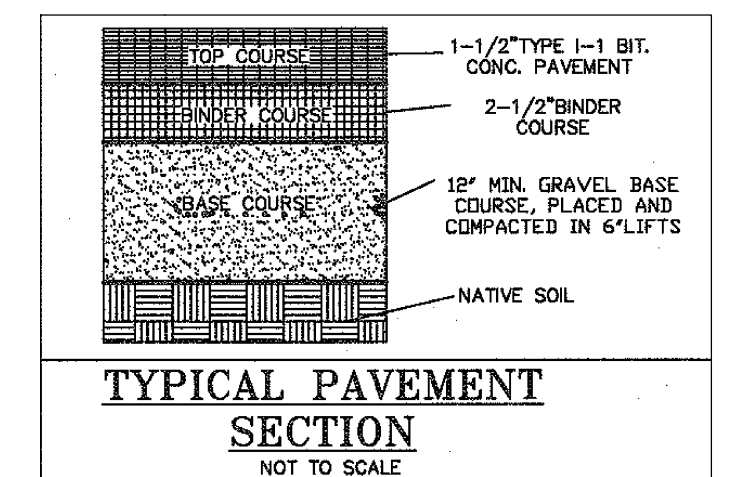
SILT FENCE DETAIL  
NTS



E.3



BOLLARD DETAIL  
NTS



PAVEMENT DETAIL  
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ORIGINAL SIZE IN INCHES

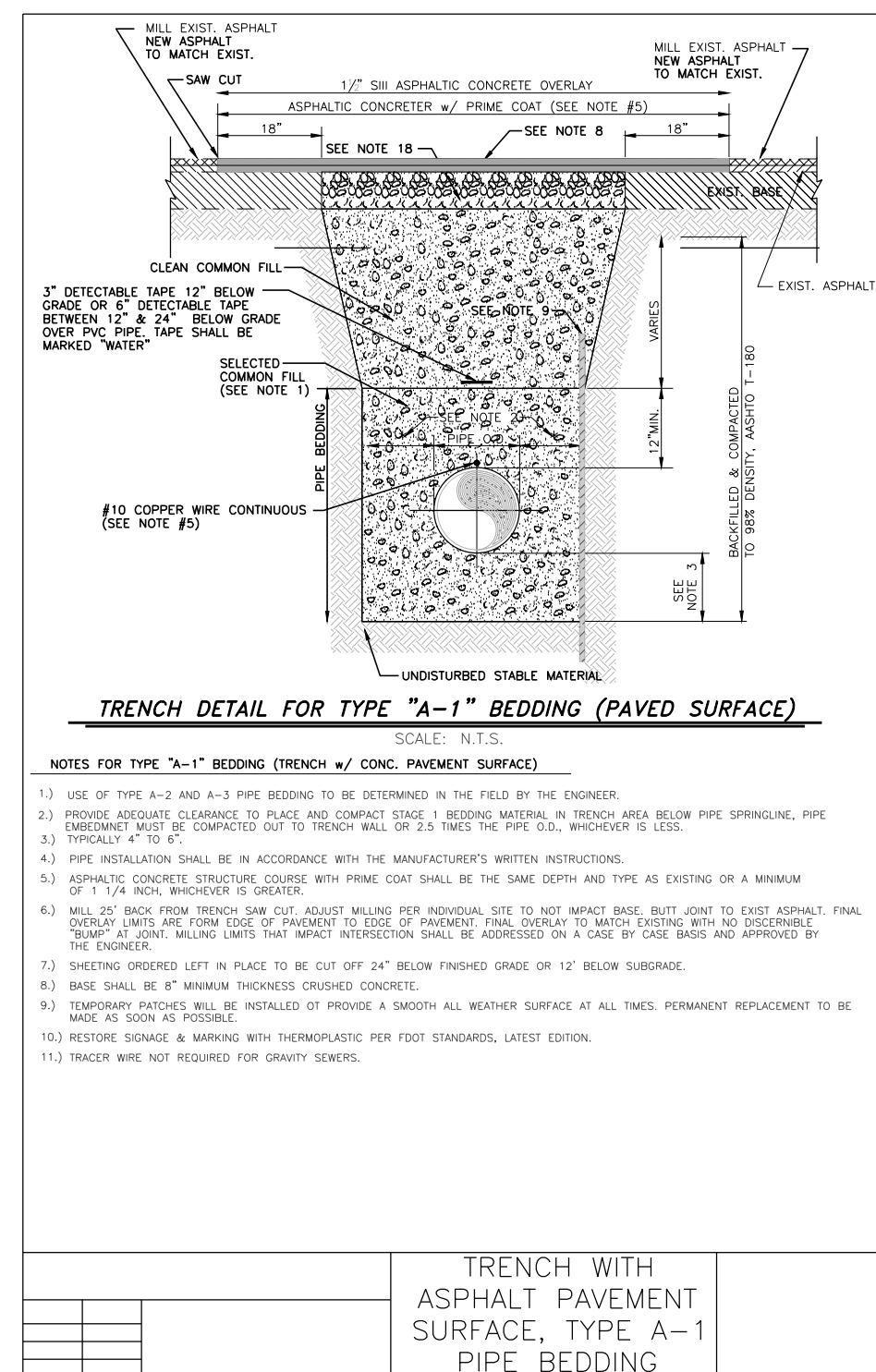
Rev	Date	Revision	Approved
0	06/15/21	ISSUED	
1	7/6/2021	PER COMMENTS	
2	8/27/2021	PER COMMENTS	

DRAWING CONTROL		
Designed by:	Drawn by:	Checked by:
N/A	Grant Bogue	JMP
Purpose	Released by	Date
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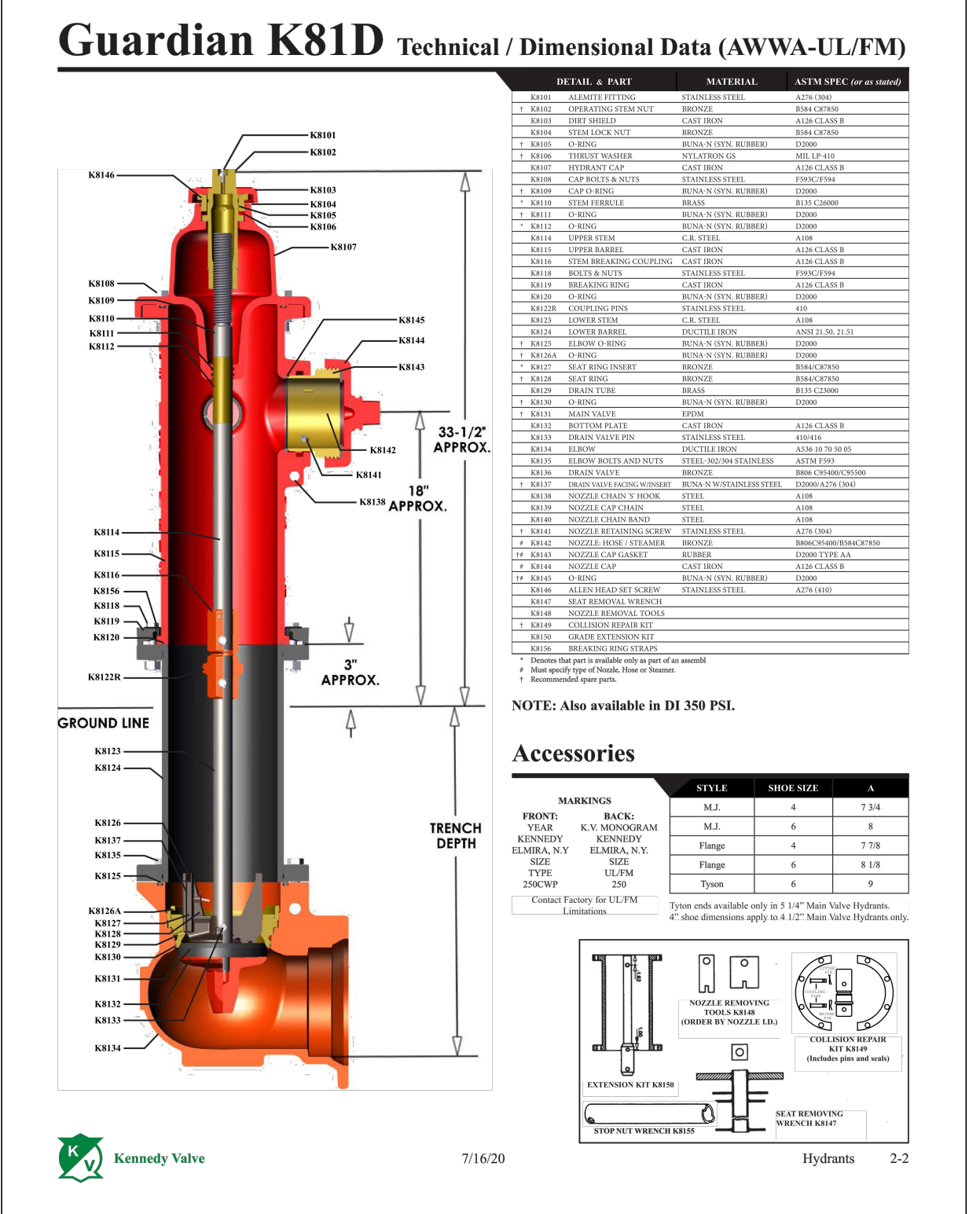
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DETAILS			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date 04/26/2021	Work Order 10734.THERMOFISHER	Drawing No. C6	Rev 2
Scale 1" = 20'			

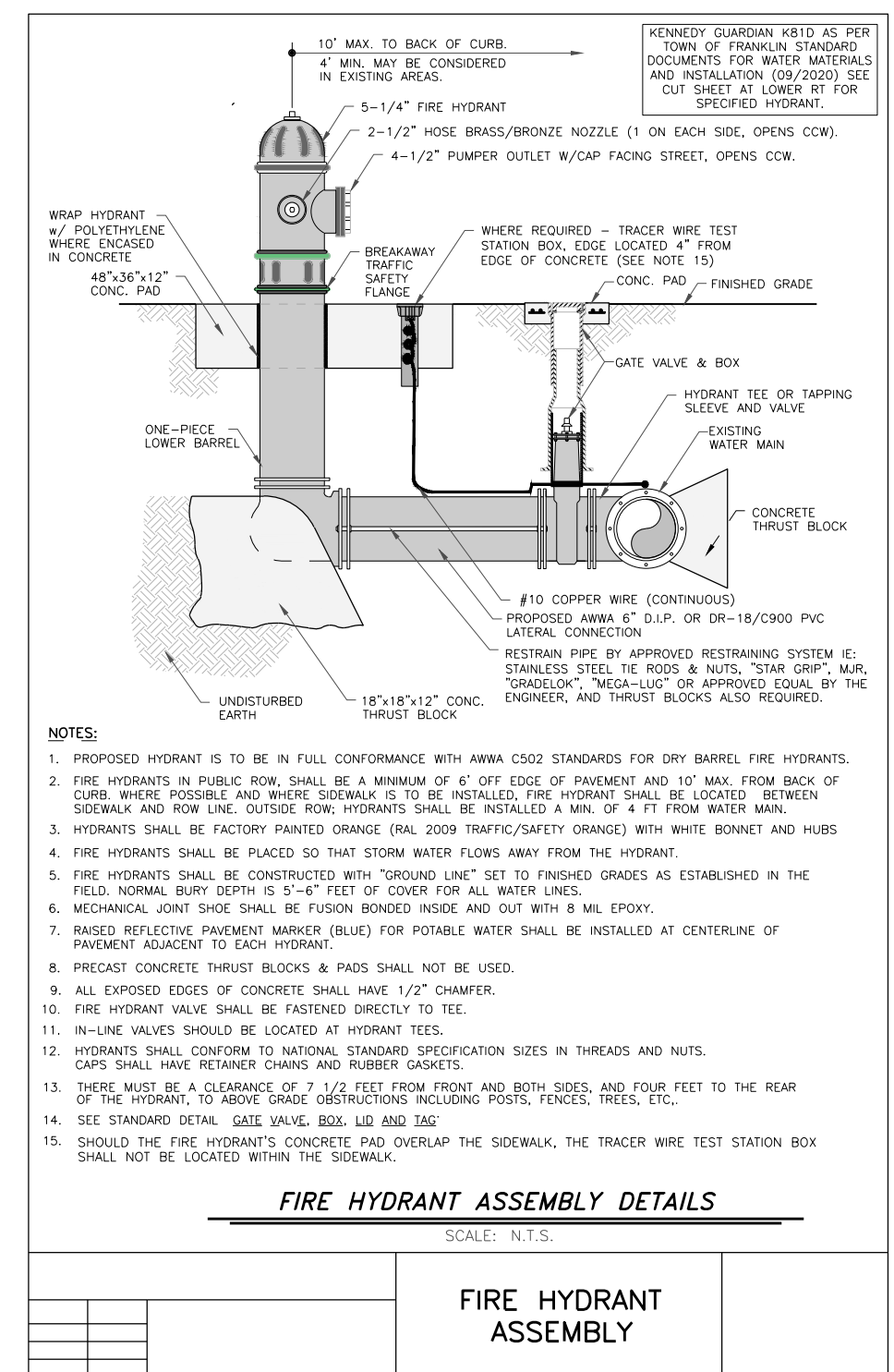




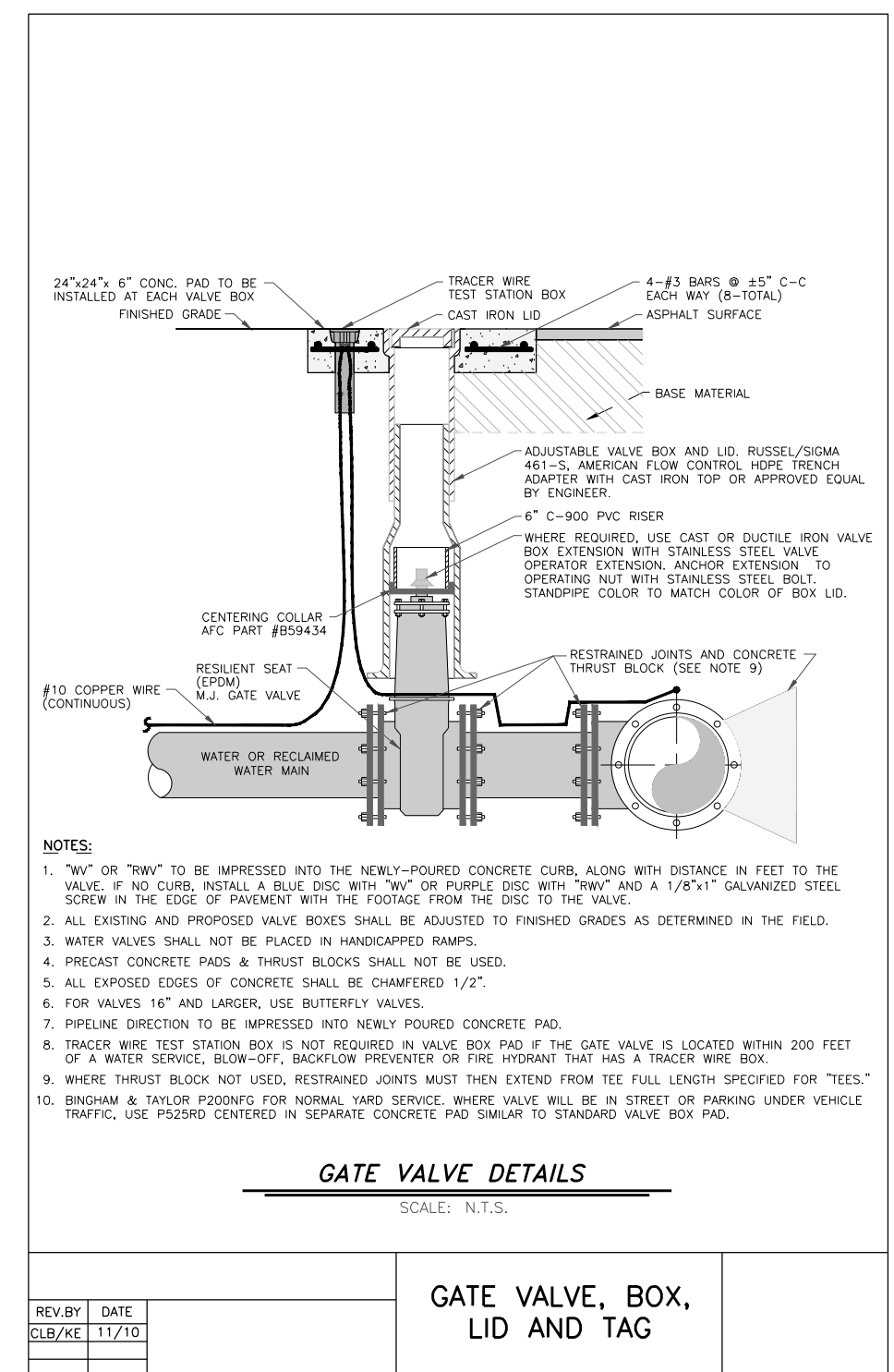
**TRENCH DETAIL**  
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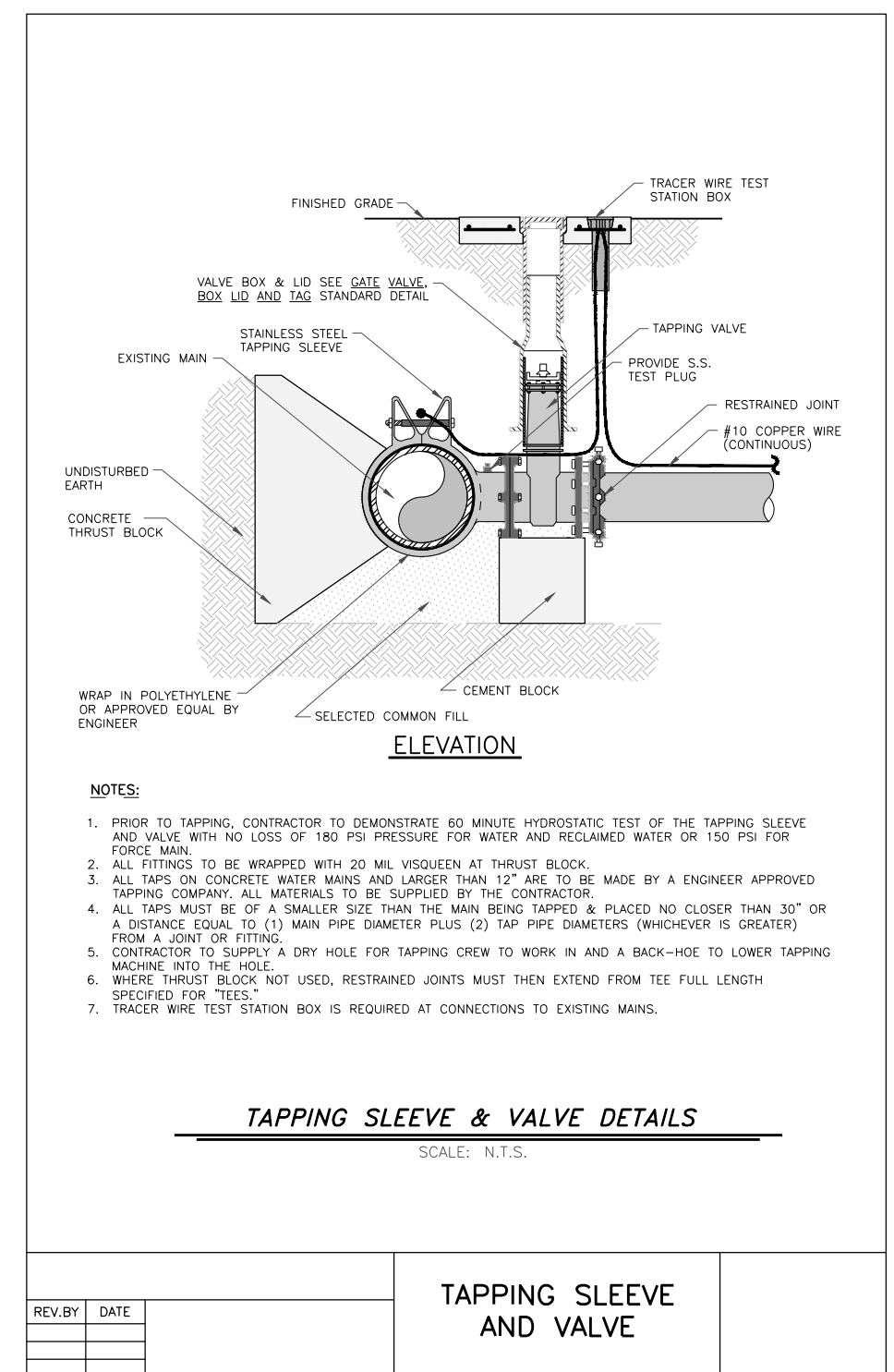
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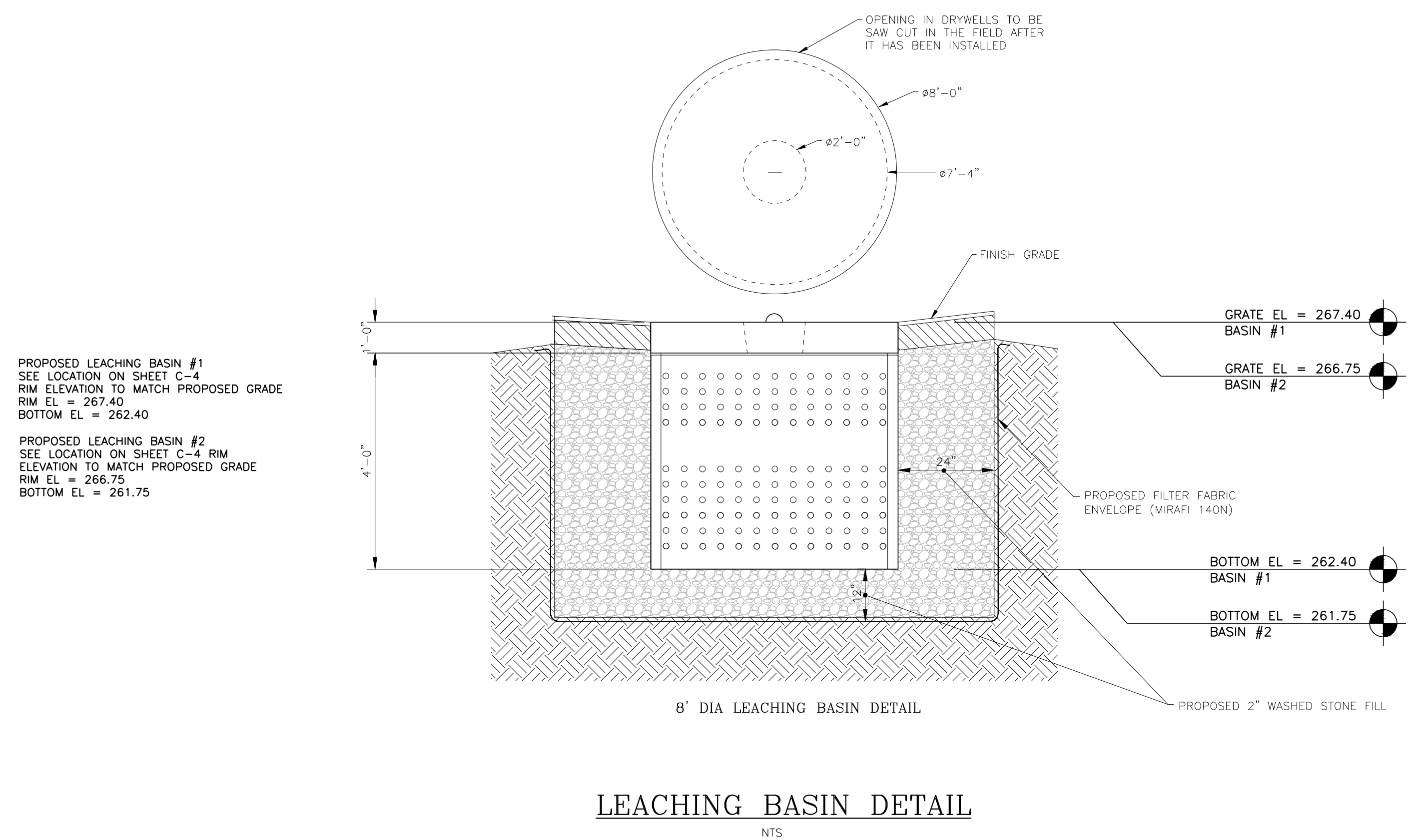
**FIRE HYDRANT DETAIL**  
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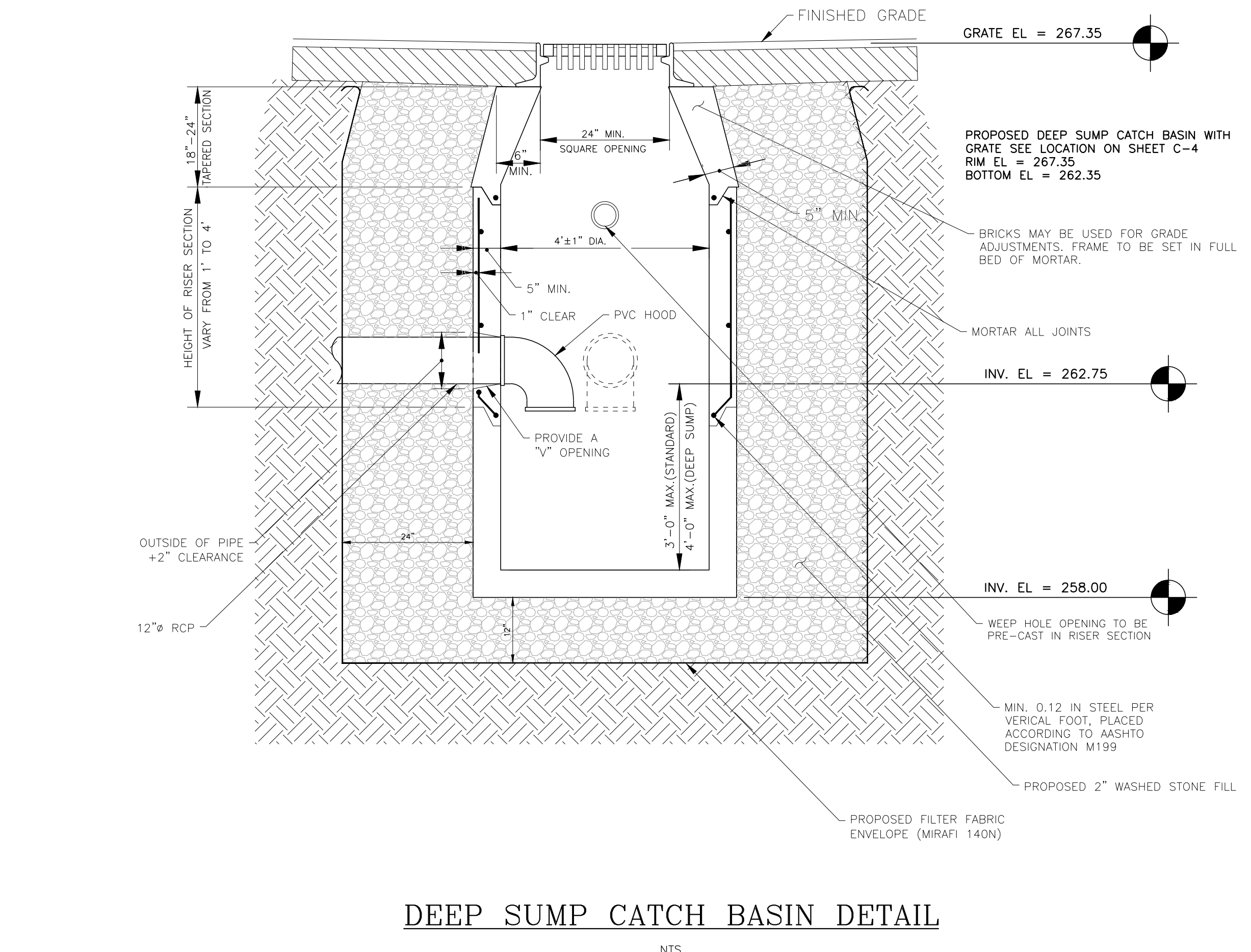
**GATE VALVE DETAIL**  
NTS



**TAPPING SLEEVE & VALVE DETAIL**  
NTS



**LEACHING BASIN DETAIL**  
NTS



**DEEP SUMP CATCH BASIN DETAIL**  
NTS

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2	8/27/2021	PER COMMENTS

Approved	Designed by	Drawn by	Checked by
	N/A	Grant Bogue	JMP

Purpose	Released by	Date
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DETAILS			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date	Work Order	Drawing No.	Rev
04/26/2021	10734.THERMOFISHER	C7	2

Tel: (508) 520-4907

Fax: (508) 520-4906



TOWN OF FRANKLIN  
TOWN CLERK  
2021 AUG 11 P 1:43  
RECEIVED

August 10, 2021

Nancy Danello, Town Clerk  
Town of Franklin  
355 East Central Street  
Franklin, MA 02038

**CERTIFICATE OF VOTE**  
**Limited Site Plan Modification**  
**Loading Dock**  
**27 Forge Parkway**

Site Plan: "Thermo Fisher Site Plan Modification"

Owner: James Libby (Thermo Fisher)  
27 Forge Parkway  
Franklin, MA 02038

Applicant: Andrew Boynton (PIDC)  
25 Birch Street,  
Milford, MA 01757

Prepared By: Tectonic, 1279 Route 300, Newburgh, New York, 12550  
Surveyor/ Engineer:

Dated: 04/28/2021  
Property Location: 27 Forge Parkway  
Map 275, Lot 101

Dear Mrs. Danello:

Please be advised that at its meeting on Monday, August 9, 2021 the Planning Board voted (4-0), upon motion duly made and seconded to **APPROVE, with conditions**, the above referenced Limited Site Plan for a change to the loading dock area. The Conditions of Approval are listed on page 2-3, attached hereto. **Both the Certificate of Vote as well as the conditions of approval shall be referenced on the site plan.**

Sincerely,  
  
Anthony Padula, Chairman  
Franklin Planning Board

Tel: (508) 520-4907

Fax: (508) 520-4906

**CERTIFICATE OF VOTE**  
**Limited Site Plan Modification**  
**Loading Dock**  
**27 Forge Parkway**

- The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
- Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form II). Said inspection is further outlined in condition #1.
- No alteration of these plans shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
- All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
- Prior to the endorsement of the site plan, the following shall be done:
  - The owner/applicant shall make a notation on the plan that references the conditions and dates of this Certificate of Vote.
  - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
  - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
  - The owner/applicant shall submit a minimum of six copies of the approved version of the plan.
- All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the approved plan have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.
- Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
- The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.
- Maintenance and repair of the parking area, water supply system, sewer pipes, electric distribution system, and stormwater system shall be the responsibility of the owner/applicant and shall never be the

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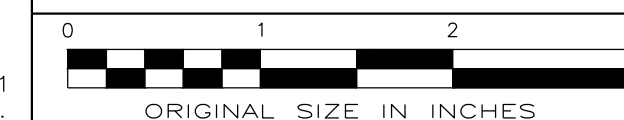
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responsibility of the Town and the Town shall never be required to perform any service, repair or maintenance with respect to said areas, or any of the aforementioned systems within the subject property. The Town will never be required to provide snow plowing or trash pickup, with respect to the subject property.

- Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Inspector.
- Prior to endorsement, the Site Plans shall be reviewed and agreed upon by the town Engineer and BETA.

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**CERTIFICATE OF VOTE**  
**THERMOFISHER**  
**27 FORGE PARKWAY**  
**TOWN OF FRANKLIN**  
**COUNTY OF NORFOLK, MASSACHUSETTS**

Date 04/28/2021	Work Order	Drawing No. C8	Rev 2
Scale 1" = 20'	10734.THERMOFISHER		