



TOWN OF FRANKLIN - SITE OBSERVATION REPORT

27 Forge Parkway Redevelopment

Report No.:	4831 100 - 05	Date:	November 15, 2023	Arrive:	3:15 PM
Observer:	Matt Crowley, PE	Weather:	Clear, ~50°	Leave:	3:45 AM

Applicant: **PIDC Construction** Contractor:

Items Observed: **Conformance Observation – Submitted in conjunction with Applicant’s request for acceptance of Form H – Certificate of Completion**

OBSERVATIONS

Observation Requested By: Bento Castro – PIDC Construction

Met/walked site with: N/A

Current Activity on Site: No current activity

Observed Construction: BETA arrived on site to perform a construction observation in conjunction with the Applicant’s request for acceptance of Form H – Certificate of Completion. The required Form H and as-built plan, revised to October 26, 2022, were provided via email. BETA previously reviewed the site on May 3, 2022, noting several outstanding issues that were discussed with the Board. BETA walked the site and confirmed it to be constructed in general conformance with the Approved Plans and approved site modifications with the following notations:

- The provided as-built plan has been stamped by a Massachusetts Registered PE
- The small relocated bioretention area has been regraded to accept runoff from the parking area.
- The proposed crosswalk has been restriped to white, as required.

Site Photos



Completed loading dock area



Restriped crosswalk



Restriped crosswalk

Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: November 28, 2023
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 27 Forge Parwkay
Final Form H

General

1. The applicant has submitted a Final Form H and Engineer's Certificate of Completion and a final as-built plan.
2. BETA has provided an onsite report with pictures verifying the site work is complete.

Planning Board should vote on the Final Form H acceptance.

THERMO FISHER SCIENTIFIC, INC.

SITE PLAN MODIFICATION 27 FORGE PARKWAY FRANKLIN, MASSACHUSETTS

REQUEST FOR DETERMINATION

REQUEST FOR DETERMINATION FOR PARKING FROM SECTION 185-21A (4)
REQUEST FOR DETERMINATION FOR PARKING FROM SECTION 185-21B (3)
REQUEST FOR DETERMINATION FOR PARKING FROM SECTION 185-21C (6)

NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF FRANKLIN STANDARDS.
- THE SITE SHALL CONFORM TO ALL RULES AND REGULATIONS AND APPROVALS FROM THE BOARD OF HEALTH, DESIGN REVIEW COMMISSION, DPW, POLICE, AND FIRE DEPARTMENTS.
- ALL PARKING STRIPING SHALL BE PAINTED WITH WHITE ACRYLIC PAINT
- PROPERTY IS CURRENTLY ZONED INDUSTRIAL.
- A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON SITE.
- IF ANY DEBRIS IS CARRIED ONTO ANY PUBLIC WAY, THE OWNER/APPLICANT AND HIS ASSIGNS SHALL BE RESPONSIBLE FOR ALL CLEANUP ON THE ROADWAY. ALL CLEANUPS SHALL OCCUR WITHIN 24 HOURS AFTER FIRST WRITTEN NOTIFICATION.
- THE BUILDING OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.
- THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE OF THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION.
- SEE CERTIFICATE OF VOTE DATED OCTOBER 27, 2008 BY THE FRANKLIN BOARD TO APPROVE WITH CONDITIONS A LIMITED SITE PLAN MODIFICATION FOR PARKING DETERMINATION.
- SEE ABBREVIATED NOTICE OF RESOURCE AREA DELINEATION DATED JANUARY 27, 2009 PREPARED BY BEALS ASSOCIATES, INC. 98 NORTH WASHINGTON ST., BOSTON, MA.
- SEE ORDER OF RESOURCE AREA DELINEATION NO. CE 159-980.
- WETLANDS WERE FLAGGED BY GODDARD CONSULTING IN AUGUST 2018 AND LOCATIONS REVISED IN FEBRUARY 2019. BY GUERRIERE AND HALNON, INC.
- SEE CERTIFICATE OF VOTE GRANTED BY THE FRANKLIN PLANNING BOARD DATED, JULY 14, 2009.
- THIS SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE, SEE FIRM NUMBER 25021C0304E EFFECTIVE DATE JULY 17, 2012.
- THIS SITE IS NOT LOCATED WITHIN A WATER RESOURCE DISTRICT.
- THIS SITE IS NOT LOCATED WITHIN THE NATURAL HERITAGE ENDANGERED PROTECTION ZONE
- PLANS BASED ON A SURVEY PERFORMED BY TECTONIC ENGINEERING DATED 04/26/21.



SHT. NO.	DESCRIPTION
T-1	TITLE SHEET, DRAWING INDEX, LOCATION MAP
C-1	OVERALL SITE PLAN
C-2	ENLARGED SITE PLANS
C-3	OVERALL DRAINAGE & GRADING PLANS
C-4	ENLARGED DRAINAGE & GRADING PLAN
C-5	DETAILS
C-6	CERTIFICATE OF VOTE

NOTES

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"WARNING" EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND / OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS. CALL "DIG SAFE" 1-888-DIG-SAFE. (1-888-344-7233). EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

PROJECT DATA

SITE ADDRESS: 27 FORGE PARKWAY
FRANKLIN, MA 02308

ZONING: INDUSTRIAL ZONE

OWNER(S)/APPLICANT:

27 FORGE PARKWAY LLC
27 FORGE PARKWAY
FRANKLIN, MA 02038
A.M. 272 LOTS 13 & 14
A.M. 275 LOTS 13 & 21
CERTIFICATE NO. 177794

DATE:	DATE:
APPROVED DATE:	FRANKLIN PLANNING BOARD
SIGNATURE DATE:	BEING A MAJORITY

UNAUTHORIZED ALTERATION OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF MASSACHUSETTS STATE LAW.

COPIES OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL EMBOSSED SEAL OR ORIGINAL STAMP IN BLUE OR RED INK OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL NOT BE CONSIDERED VALID COPIES.



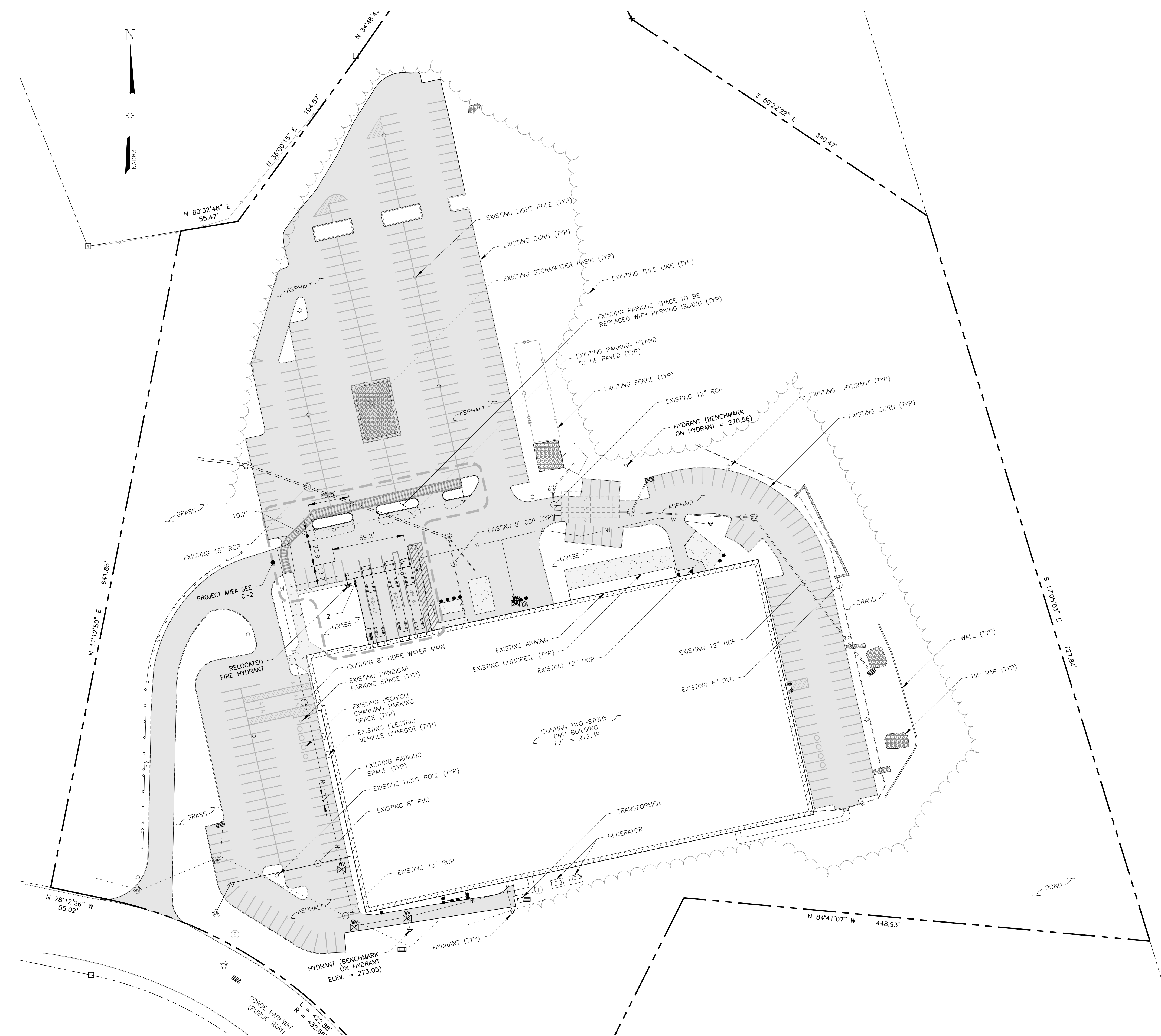
Rev	Date	Revision	Approved	DESIGNED BY	DRAWN BY	CHECKED BY
2	8/27/21	PER COMMENTS		N/A	Grant Bogue	JMP
3	8/30/21	PER COMMENTS				
4	01/19/22	AS-BUILT				
5	02/03/22	PER COMMENTS				
6	02/15/22	PER COMMENTS				
7	10/26/22	PER COMMENTS				

Tectonic
PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
Tectonic Engineering & Surveying Consultants P.C.
70 Pleasant Hill Road Phone: (845) 534-5959
P.O. Box 37 (800) 829-6531
Mountairville, NY 10953 www.tectonicengineering.com



TITLE SHEET			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date	Work Order	Drawing No.	Rev
08/22/2022			
Scale	10734.THERMOFISHER	T1	7

THIS DOCUMENT IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. MODIFICATION, ALTERATION, REVISION, DUPLICATION, OR USE WITHOUT THE CONSENT OF TECTONIC ENGINEERING, P.C. IS PROHIBITED. COPYRIGHT 2022 TECTONIC ENGINEERING, P.C. ALL RIGHTS RESERVED.



PARKING NOTES

TOTAL BUILDING AREA = 110,000.0± SF
 OFFICE SPACE (1) SPACE PER 250 SF
 MANUFACTURING (1) SPACE PER 400 SF
 LABORATORY (1) SPACE PER 400 SF
 WAREHOUSE (1) SPACE PER 1,000 SF

DESIGNATION	AREA	PER SF	SPACES REQUIRED
OFFICE	65,143 SF	/250	261
MANUFACTURING	30,022 SF	/400	76
LABORATORY	3,985 SF	/400	10
MANUFACTURING	30,022 SF	/1000	11
TOTAL PARKING SPACES REQUIRED			358
EXISTING PARKING SPACES			400
SPACES REMOVED FOR PAVING & PEDESTRIAN WALKWAYS			18
TOTAL PARKING SPACES PROVIDED			382

*EXISTING HANDICAP PARKING SPACES = 6
 *EXISTING VEHICLE CHARGING SPACE = 9
 (INCLUDED IN TOTAL PARKING COUNT)

BULK TABLE

INDUSTRIAL
 FRANKLIN ZONING BYLAW SECTION 185
 ATTACHMENT 9; LAST AMENDED 11-16-2016
 BY AMENDMENT 16-771

	REQUIRED	EXISTING	PROPOSED
OFFICE	65,143 SF	40,000 SF	811,378 SF
MANUFACTURING	30,022 SF	175'	608.25'
LABORATORY	3,985 SF	200'	1,038±'
MANUFACTURING	30,022 SF	157.5'	603±

MINIMUM YARDS
 FRONT 40' 98.2' 98.2'
 SIDE 30'⁵ 51.7' 51.7'
 REAR 30'⁵ 367.5' 367.5'

% OF LOT UPLAND COVERED BY:
 STRUCTURES 70 13.5% 13.5%
 STRUCTURE & PAVING 80 32.5% 36.7%

⁵ INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE, WHEN ABUTTING A RESIDENTIAL DISTRICT OF USE.

SEE APPROVED SITE PLAN DATED MAY 11, 2009, REVISED TO JULY 14, 2009 FOR THERMO FISHER SCIENTIFIC, INC. SITE PLAN MODIFICATION 27 FORGE PARKWAY FRANKLIN, MASSACHUSETTS, BY GUERRIERE & HALNON, INC.

BUILDING COVERAGE FOR THIS PROJECT:	00.0 SF
PVMT/CONC WITH THIS PROJECT:	4,837.8 SF
EXISTING PVMT/CONC TO BE REMOVED FOR THIS PROJECT:	988.9 SF
NET DISTURBANCE AREA FOR THIS PROJECT:	5,826.7 SF

LEGEND

---	PROPERTY LINE	•	BOLLARD
- - -	ADJOINING PROPERTY LINE	■	CATCH BASIN
- · - · -	EASEMENT LINE	⊗	MANHOLE (STORM)
- x - x -	CHAIN LINK FENCE	⊗	MANHOLE (SAN. SEWER)
- o - o -	STOCKADE FENCE	⊗	WATER VALVE
---	CURB LINE	⊗	HYDRANT
---	EDGE OF CONCRETE	⊗	LIGHT POST
---	EDGE OF GRAVEL	⊗	WATER MAIN
---	EDGE OF PAVEMENT	⊗	TREE LINE
---	GUIDE RAIL	⊗	BUILDING OUTLINE
---	PAVEMENT STRIPING		
---	STORM SEWER		

OVERALL SITE PLAN

SCALE: 1" = 50'

UNAUTHORIZED ALTERATION OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF MASSACHUSETTS STATE LAW.

COPIES OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL EMBOSSED SEAL OR ORIGINAL STAMP IN BLUE OR RED INK OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL NOT BE CONSIDERED VALID COPIES.

THIS DOCUMENT IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. MODIFICATION, ALTERATION, REVISION, DUPLICATION, OR USE WITHOUT THE CONSENT OF TECTONIC ENGINEERING, P.C. IS PROHIBITED. COPYRIGHT 2022, TECTONIC ENGINEERING, P.C. ALL RIGHTS RESERVED.

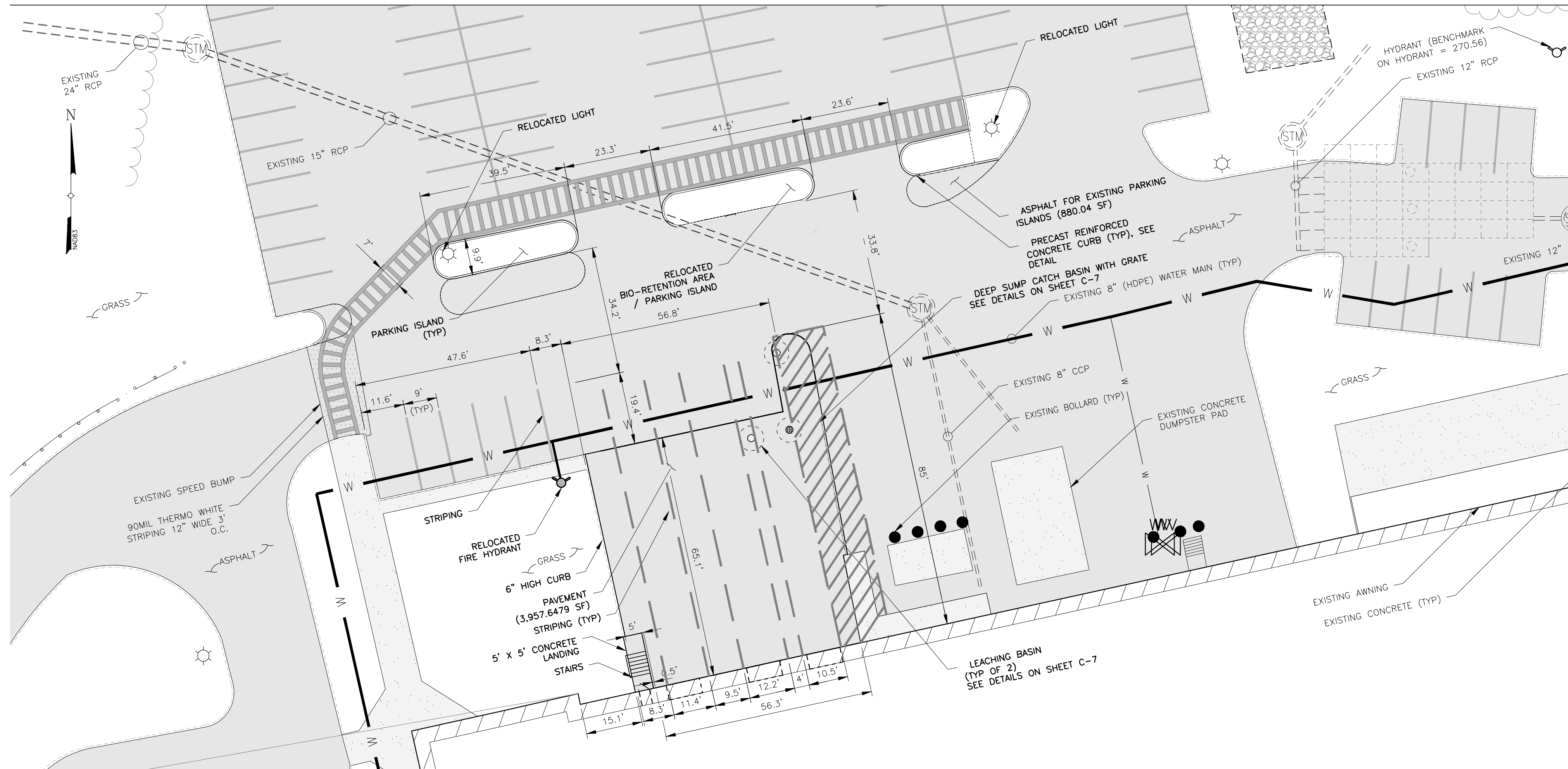
Rev	Date	Comments	Revision	Approved
2	8/27/21	PER COMMENTS		
3	8/30/21	PER COMMENTS		
4	01/19/22	AS-BUILT		
5	02/03/22	PER COMMENTS		
6	02/15/22	PER COMMENTS		
7	10/26/22	PER COMMENTS		

DRAWING CONTROL			
Designed by:	Drawn by:	Checked by:	Approved
N/A	Grant Bogue	JMP	
Purpose	Released by	Date	
For Comment			
For Approval			
For Bid			
For Construction			

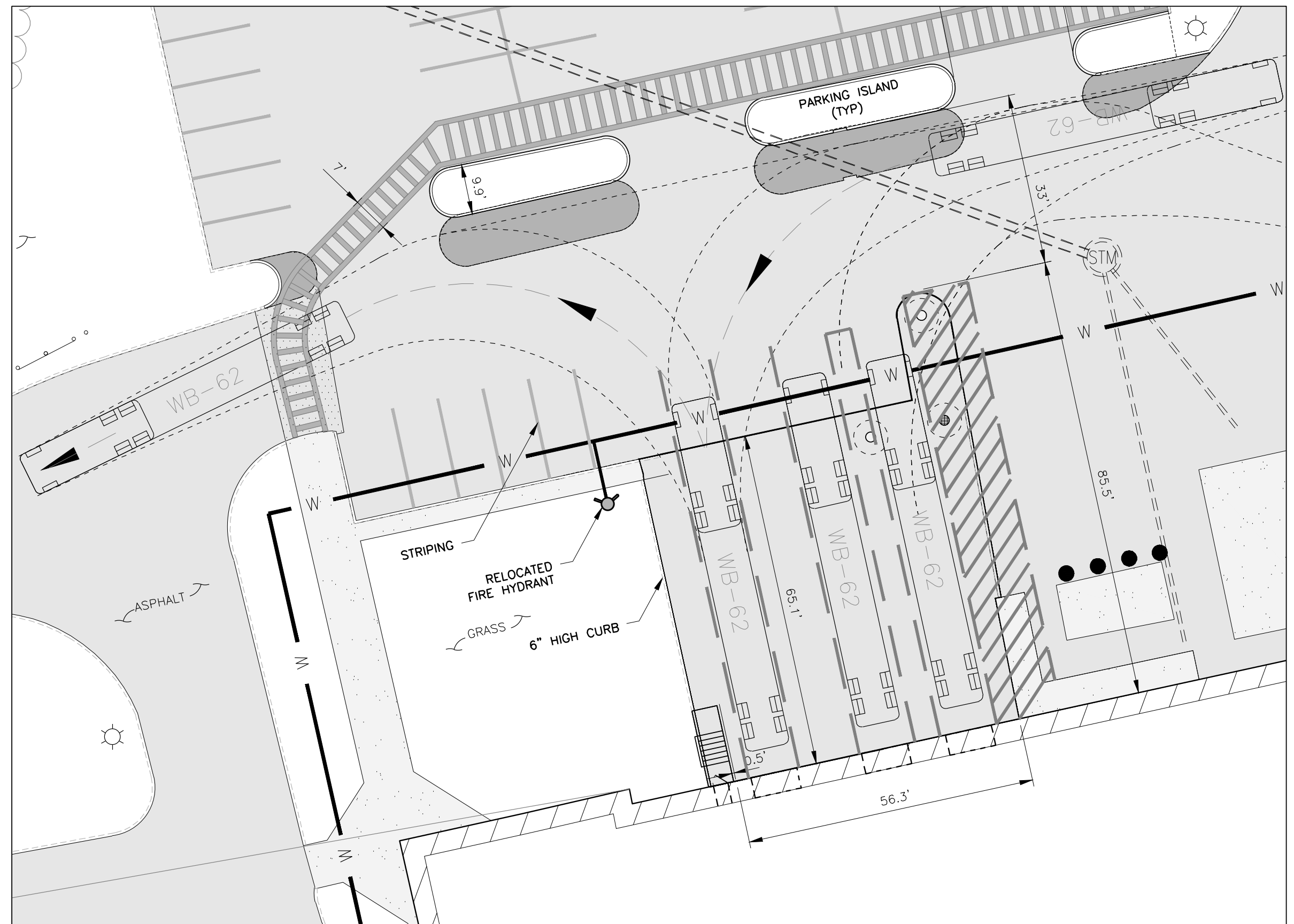
Tectonic
 PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
 Tectonic Engineering & Surveying Consultants P.C.
 70 Pleasant Hill Road Phone: (845) 534-5959
 P.O. Box 37 Phone: (800) 829-6531
 Mountairville, NY 10953 www.tectonicengineering.com



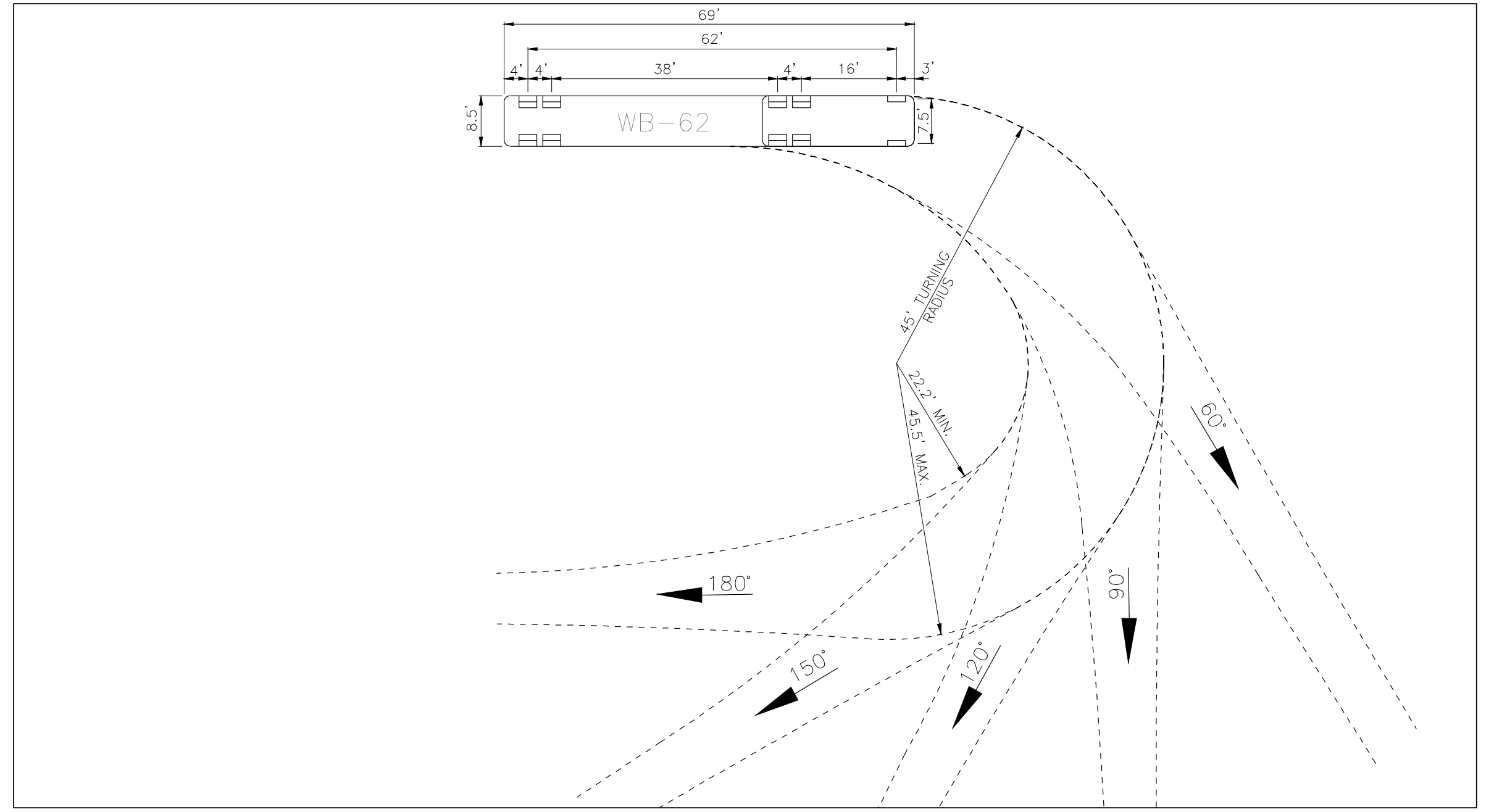
OVERALL SITE PLAN			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date: 08/22/2022	Work Order:	Drawing No.:	Rev:
Scale: 1" = 50'	10734.THERMOFISHER	C1	7



ENLARGED SITE PLAN
SCALE: 1" = 20'



TRUCK MANEUVERING PLAN
SCALE: 1" = 20'



DESIGN VEHICLE DETAIL
NTS

LEGEND

— — — — —	PROPERTY LINE	— — — — —	EDGE OF PAVEMENT	•	BOLLARD
- - - - -	ADJOINING PROPERTY LINE	— — — — —	GUIDE RAIL	■	CATCH BASIN
- · - · -	EASEMENT LINE	— — — — —	PAVEMENT STRIPING	⊗	MANHOLE (STORM)
— x — x —	CHAIN LINK FENCE	— — — — —	STORM SEWER	⊗	MANHOLE (SAN. SEWER)
— o — o —	STOCKADE FENCE	— — — — —	WATER MAIN	⊗	WATER VALVE
— — — — —	CURB LINE	— — — — —	TREE LINE	⊗	HYDRANT
— — — — —	EDGE OF CONCRETE	— — — — —	BUILDING OUTLINE	☆	LIGHT POST
— · — · —	EDGE OF GRAVEL				

AS-BUILT LEGEND

ELEV. = 267.35	ELEVATION
267.35	AS-BUILT ELEVATION
✕	NOT INSTALLED

UNAUTHORIZED ALTERATION OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF MASSACHUSETTS STATE LAW.		Rev	Date	PER COMMENTS	Revision	Approved	DRAWING CONTROL		
2	8/27/21	PER COMMENTS					Designed by: N/A	Drawn by: Grant Bogue	Checked by: JMP
3	8/30/21	PER COMMENTS					Purpose:	Released by:	Date:
4	01/19/22	AS-BUILT					For Comment		
5	02/03/22	PER COMMENTS					For Approval		
6	02/15/22	PER COMMENTS					For Bid		
7	10/26/22	PER COMMENTS					For Construction		

THIS DOCUMENT IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. MODIFICATION, ALTERATION, REVISION, DUPLICATION, OR USE WITHOUT THE CONSENT OF TECTONIC ENGINEERING, P.C. IS PROHIBITED. COPYRIGHT 2022 TECTONIC ENGINEERING, P.C. ALL RIGHTS RESERVED.



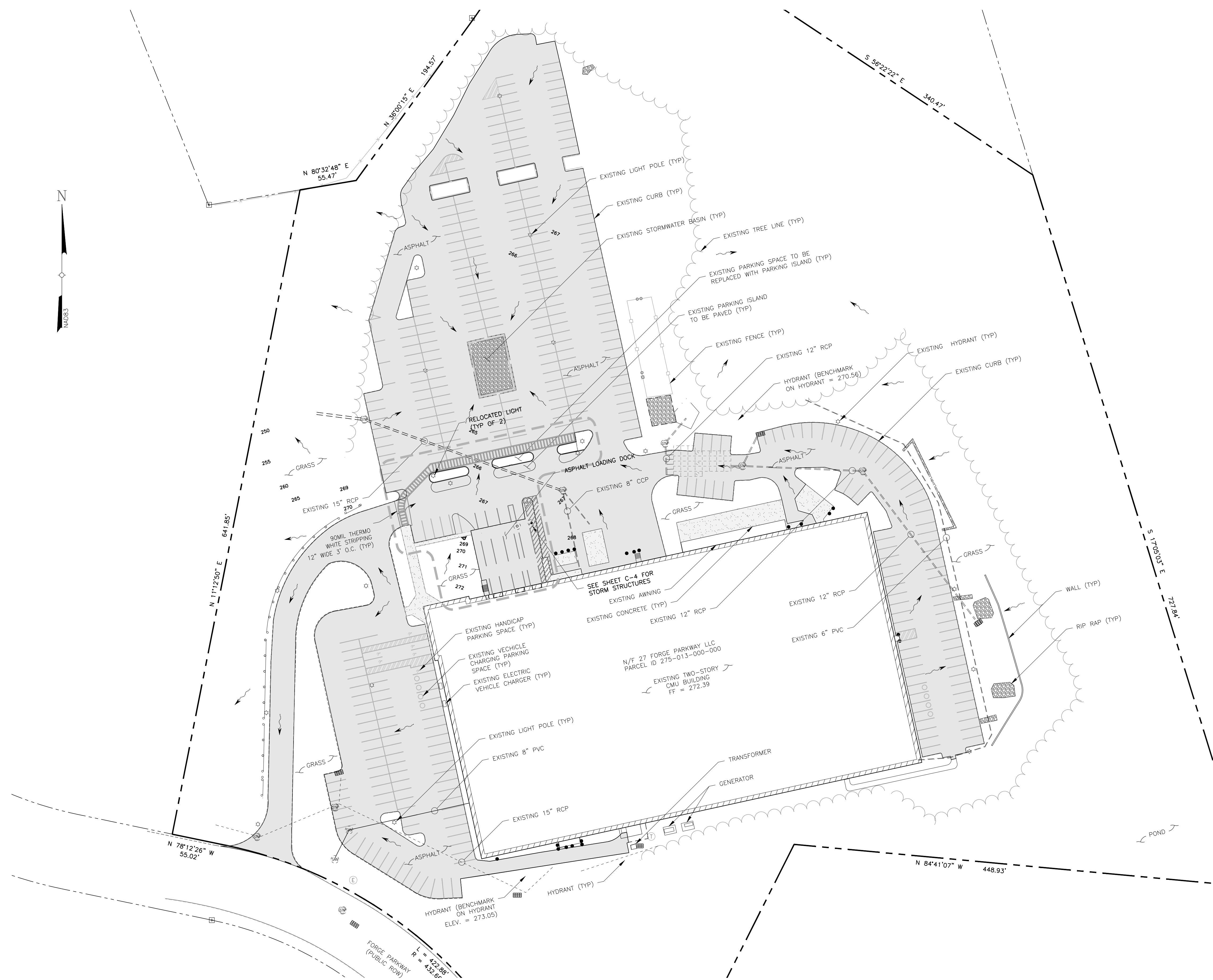
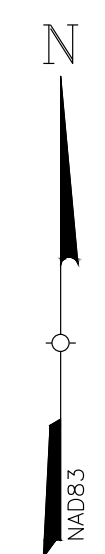
Tectonic
PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
Tectonic Engineering & Surveying Consultants P.C.
70 Pleasant Hill Road Phone: (845) 534-5959
P.O. Box 37 (800) 829-6531
Mountainville, NY 10953 www.tectonicengineering.com



ENLARGED SITE PLANS

**THERMOFISHER
27 FORGE PARKWAY
TOWN OF FRANKLIN
COUNTY OF NORFOLK, MASSACHUSETTS**

Date: 08/22/2022	Work Order:	Drawing No.:	Rev:
Scale: 1" = 20'	10734.THERMOFISHER	C2	7



AS-BUILT LEGEND

ELEV. = ~~267.35~~
267.35

ELEVATION AS-BUILT ELEVATION
NOT INSTALLED

LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EASEMENT LINE
- CHAIN LINK FENCE
- STOCKADE FENCE
- CURB LINE
- EDGE OF CONCRETE
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- GUIDE RAIL
- PAVEMENT STRIPING
- STORM SEWER
- WATER MAIN
- TREE LINE
- BUILDING OUTLINE
- BOLLARD
- CATCH BASIN
- MANHOLE (STORM)
- MANHOLE (SAN. SEWER)
- WATER VALVE
- HYDRANT
- LIGHT POST
- FLOW ARROW
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- EXISTING ASPHALT
- ASPHALT

OVERALL DRAINAGE & GRADING PLAN
SCALE: 1" = 50'

UNAUTHORIZED ALTERATION OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF MASSACHUSETTS STATE LAW.

COPIES OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL EMBOSSED SEAL OR ORIGINAL STAMP IN BLUE OR RED INK OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL NOT BE CONSIDERED VALID COPIES.

Rev	Date	Revision	Approved
2	8/27/21	PER COMMENTS	
3	8/30/21	PER COMMENTS	
4	01/19/22	AS-BUILT	
5	02/03/22	PER COMMENTS	
6	02/15/22	PER COMMENTS	
7	10/26/22	PER COMMENTS	

DRAWING CONTROL			
Designed by:	Drawn by:	Checked by:	
N/A	Grant Bogue	JMP	
Purpose	Released by	Date	
For Comment			
For Approval			
For Bid			
For Construction			

Tectonic Engineering & Surveying Consultants P.C.
70 Pleasant Hill Road Phone: (845) 534-5959
P.O. Box 37 (800) 829-6531
Mountainville, NY 10953 www.tectonicengineering.com

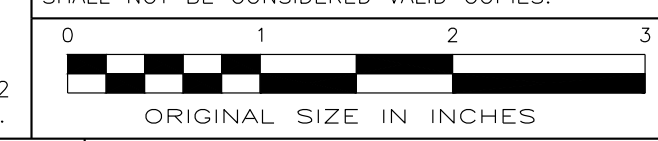


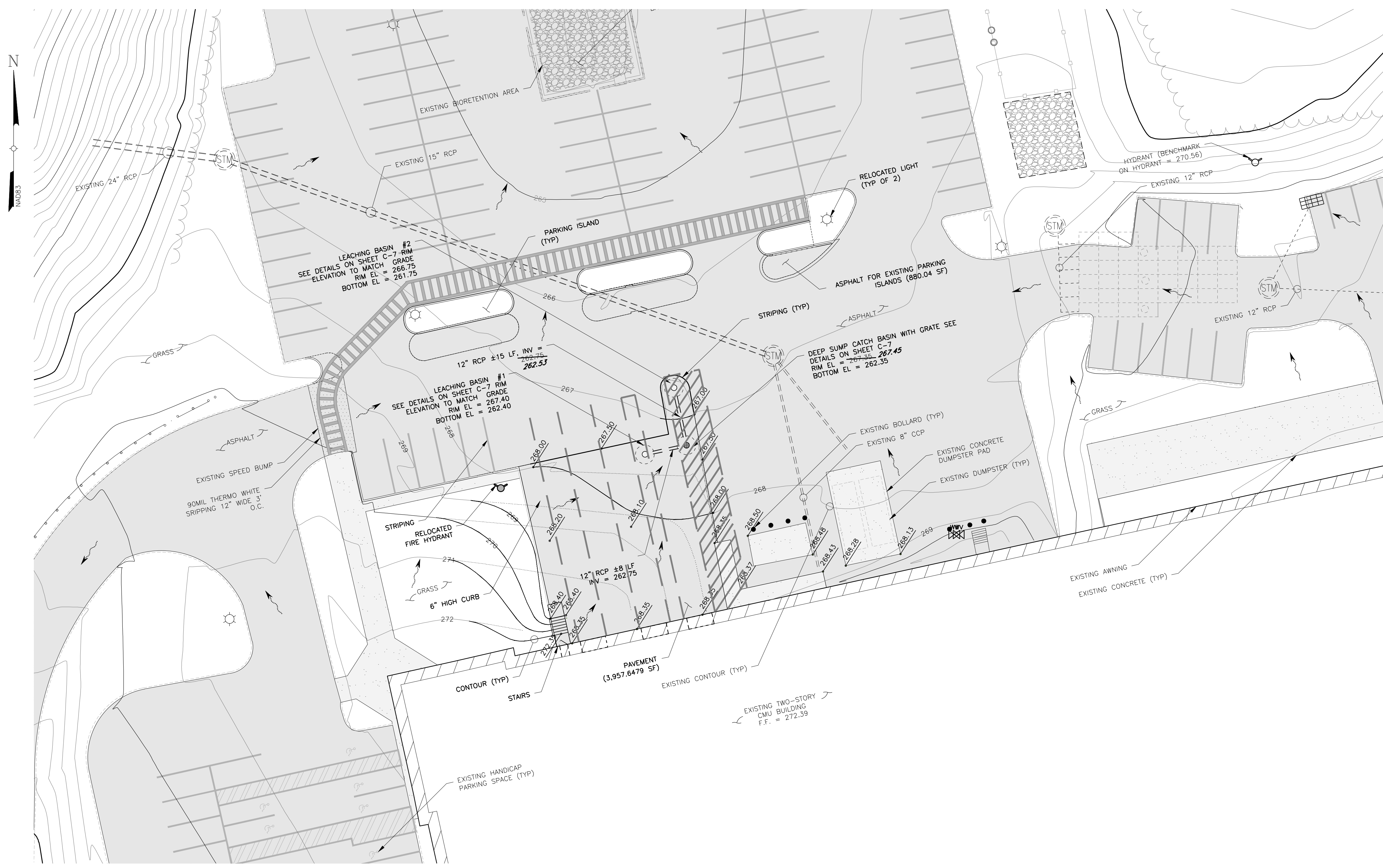
OVERALL DRAINAGE & GRADING PLAN

THERMOFISHER
27 FORGE PARKWAY
TOWN OF FRANKLIN
COUNTY OF NORFOLK, MASSACHUSETTS

Date: 08/22/2022	Work Order:	Drawing No.:	Rev:
Scale: 1" = 50'	10734.THERMOFISHER	C3	7

THIS DOCUMENT IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. MODIFICATION, ALTERATION, REVISION, DUPLICATION, OR USE WITHOUT THE CONSENT OF TECTONIC ENGINEERING, P.C. IS PROHIBITED. COPYRIGHT 2022, TECTONIC ENGINEERING, P.C. ALL RIGHTS RESERVED.





LEGEND	
	PROPERTY LINE
	ADJOINING PROPERTY LINE
	EASEMENT LINE
	CHAIN LINK FENCE
	STOCKADE FENCE
	CURB LINE
	EDGE OF CONCRETE
	EDGE OF GRAVEL
	EDGE OF PAVEMENT
	GUIDE RAIL
	PAVEMENT STRIPING
	STORM SEWER
	WATER MAIN
	TREE LINE
	BUILDING OUTLINE
	BOLLARD
	CATCH BASIN
	MANHOLE (STORM)
	MANHOLE (SAN. SEWER)
	WATER VALVE
	HYDRANT
	LIGHT POST
	FLOW ARROW
	CONTOUR
	CONTOUR TO BE REMOVED
	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	EXISTING ASPHALT
	ASPHALT
	SPOT GRADE

ENLARGED DRAINAGE & GRADING PLAN

SCALE: 1" = 20'

INV = ~~262.75~~
262.53

THIS DOCUMENT IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. MODIFICATION, ALTERATION, REVISION, DUPLICATION, OR USE WITHOUT THE CONSENT OF TECTONIC ENGINEERING, P.C. IS PROHIBITED. COPYRIGHT 2022 TECTONIC ENGINEERING, P.C. ALL RIGHTS RESERVED.

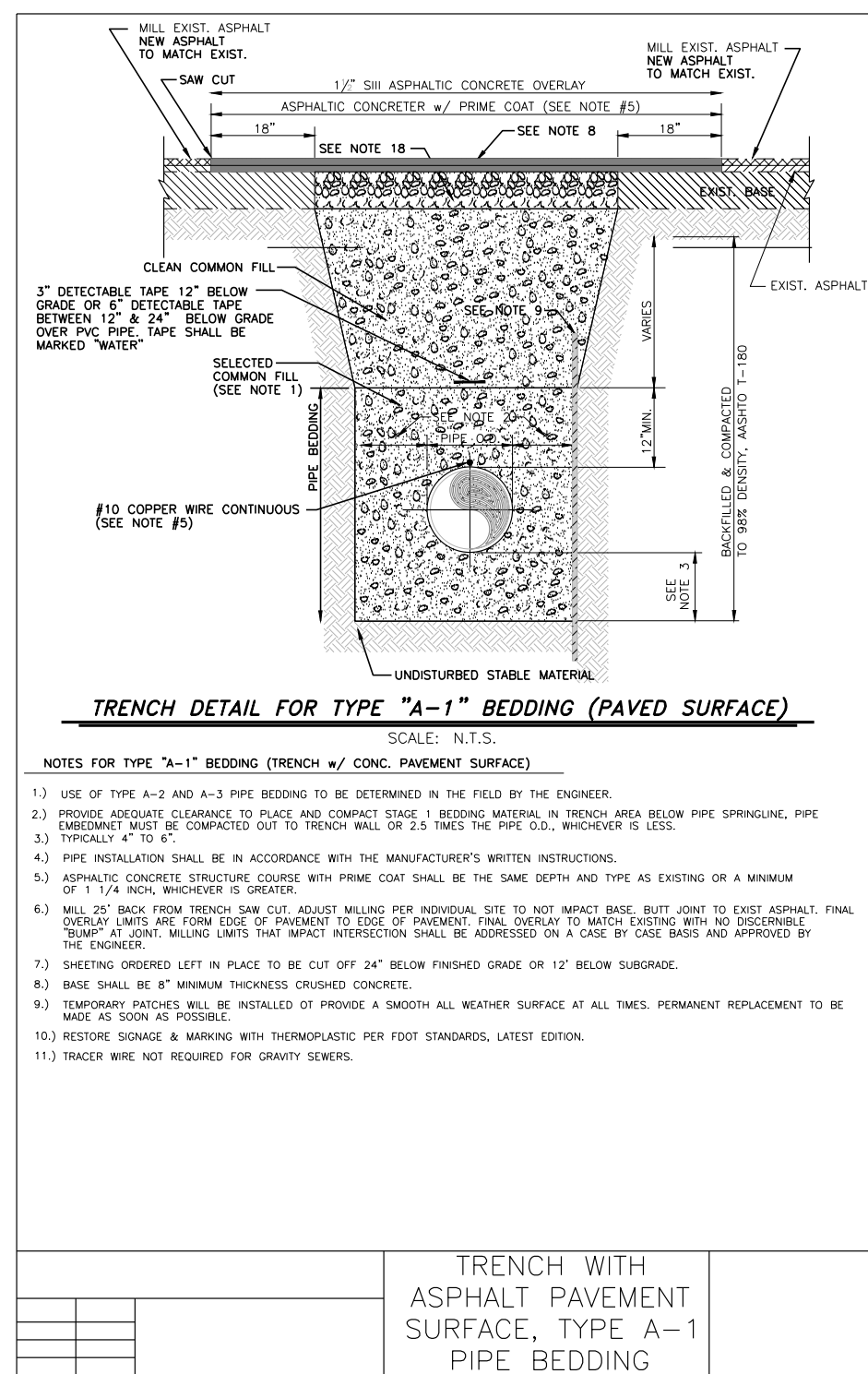
Rev	Date	Revision
2	8/27/21	PER COMMENTS
3	8/30/21	PER COMMENTS
4	01/19/22	AS-BUILT
5	02/03/22	PER COMMENTS
6	02/15/22	PER COMMENTS
7	10/26/22	PER COMMENTS

UNAUTHORIZED ALTERATION OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF MASSACHUSETTS STATE LAW.	Approved	DRAWING CONTROL		
COPIES OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL EMBOSSED SEAL OR ORIGINAL STAMP IN BLUE OR RED INK OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL NOT BE CONSIDERED VALID COPIES.		Designed by:	Drawn by:	Checked by:
		N/A	Grant Bogue	JMP
		Purpose:	Released by:	Date:
		<input type="radio"/> For Comment		
		<input type="radio"/> For Approval		
		<input type="radio"/> For Bid		
		<input type="radio"/> For Construction		

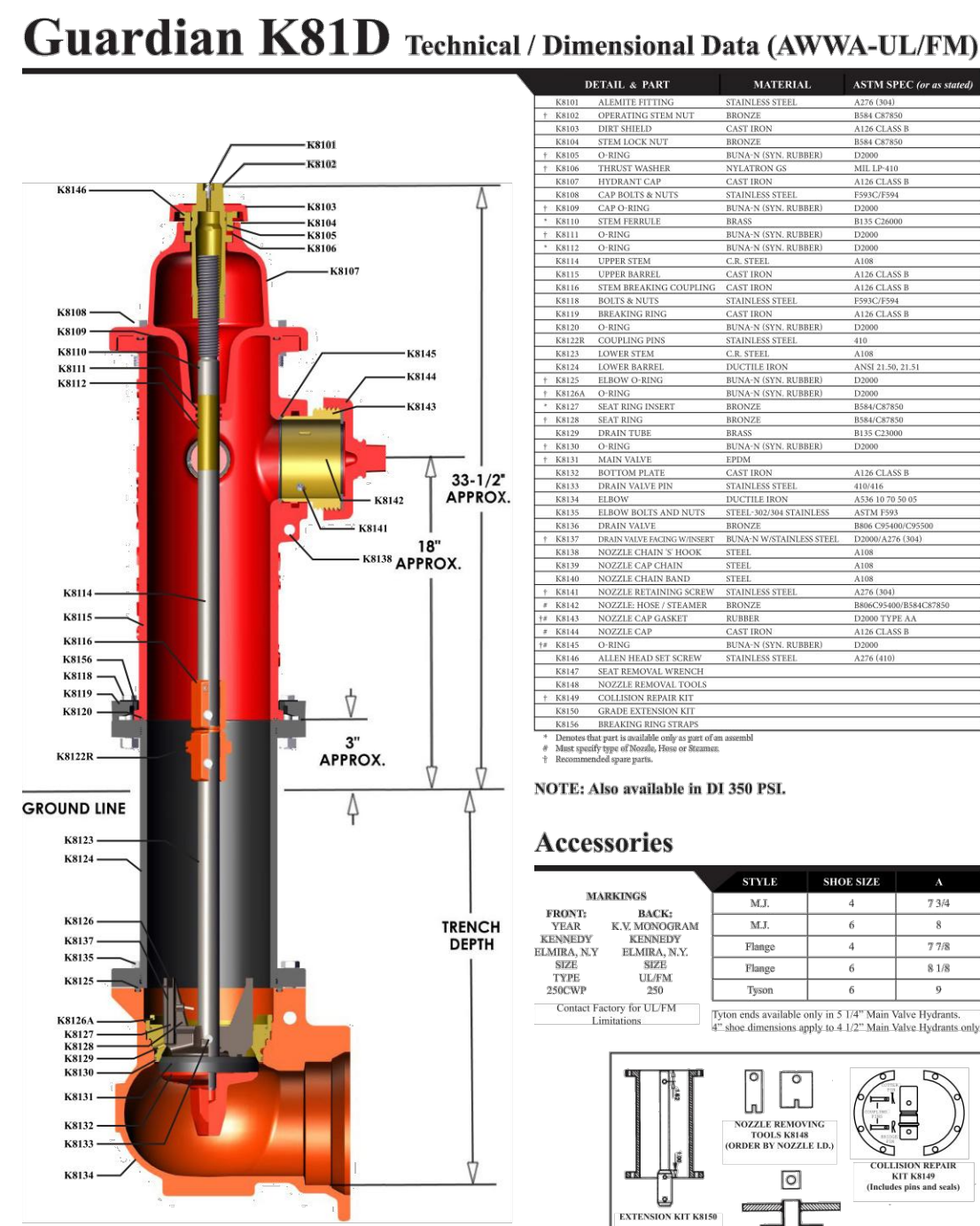
Tectonic
PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
Tectonic Engineering & Surveying Consultants P.C.
70 Pleasant Hill Road Phone: (845) 534-5959
P.O. Box 37 (800) 829-6531
Mountainville, NY 10953 www.tectoniceengineering.com



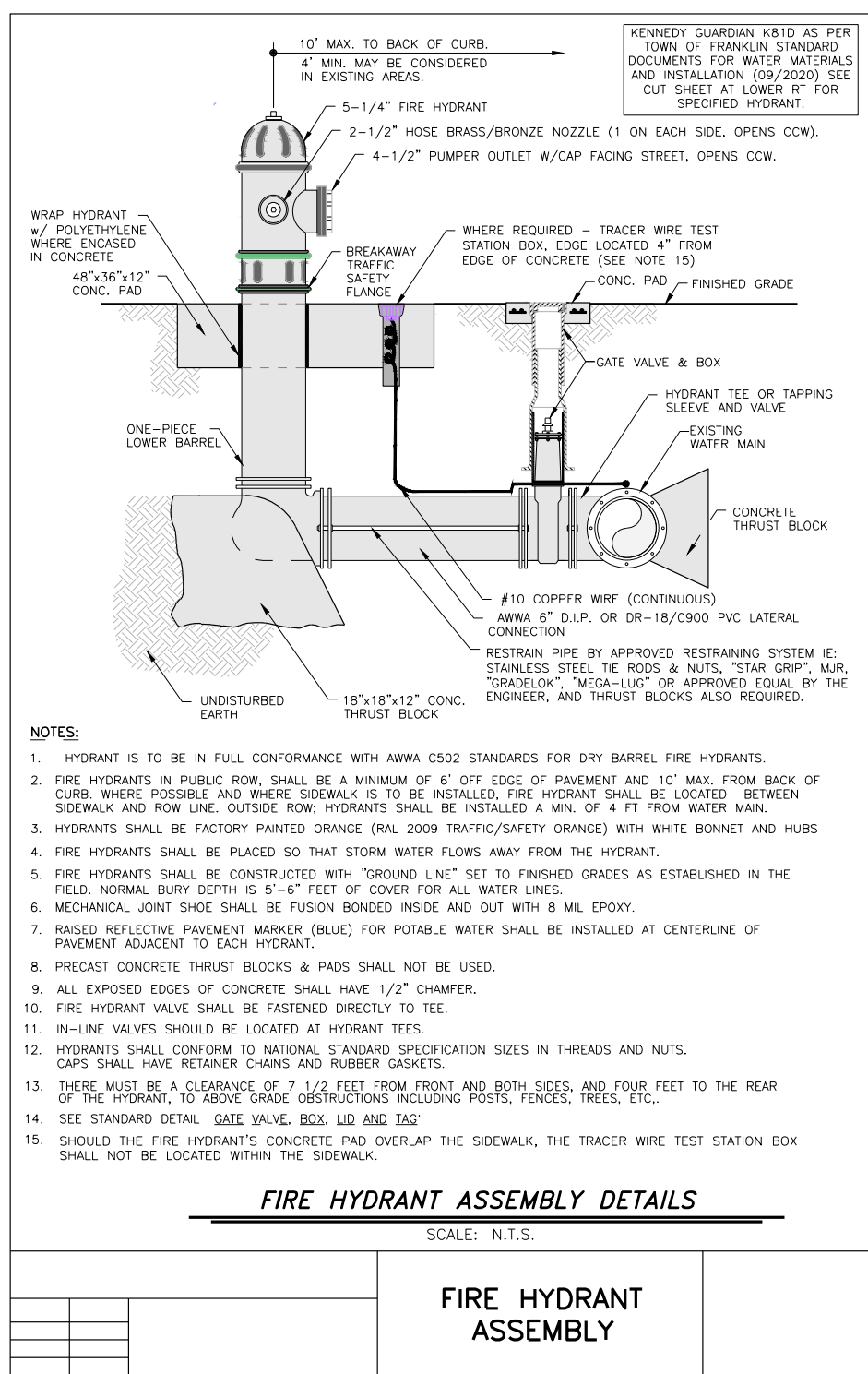
ENLARGED DRAINAGE & GRADING PLAN			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date: 08/22/2022	Work Order: 10734.THERMOFISHER	Drawing No.: C4	Rev: 7



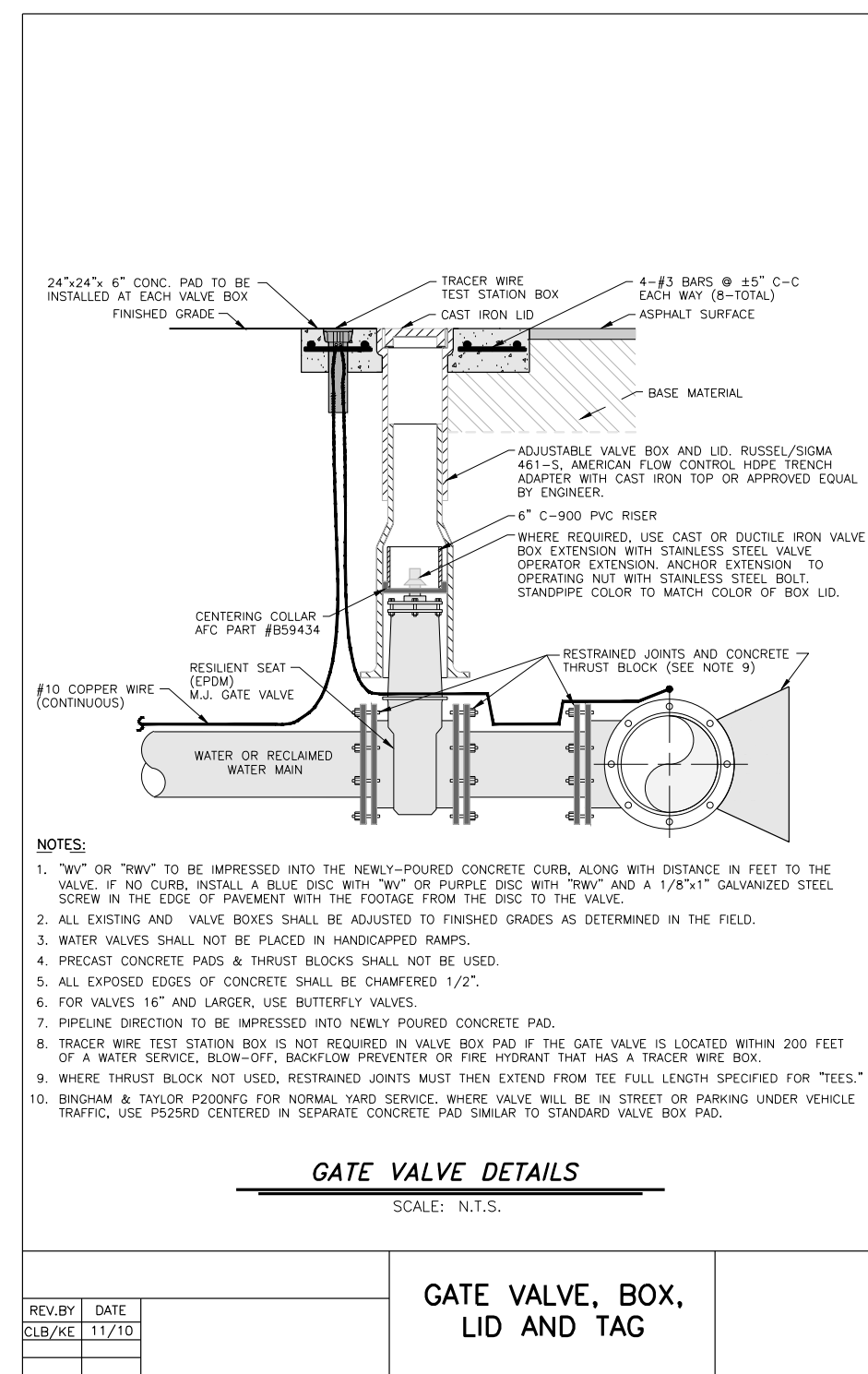
TRENCH DETAIL
NTS



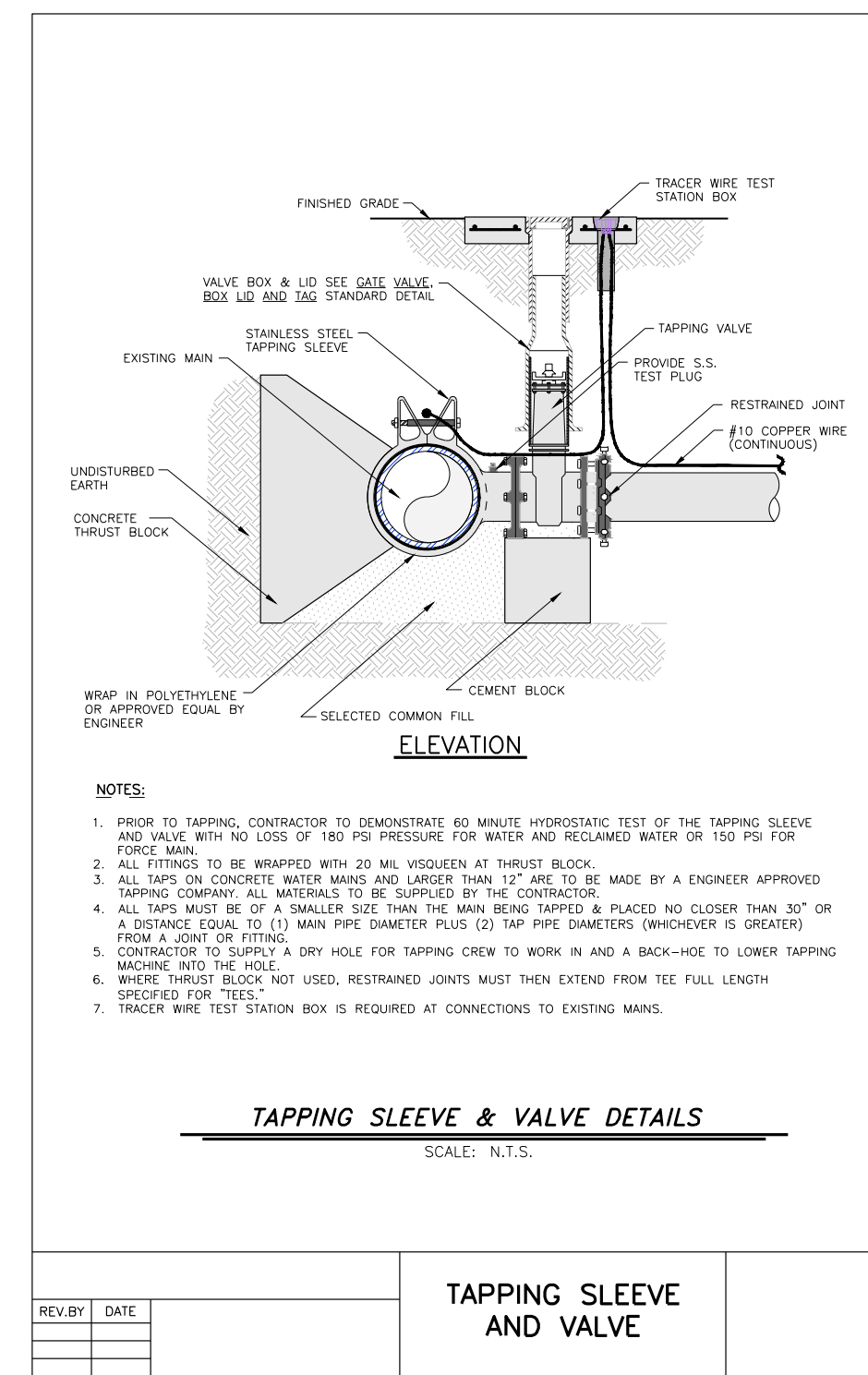
FIRE HYDRANT DETAIL
NTS



FIRE HYDRANT DETAIL
NTS



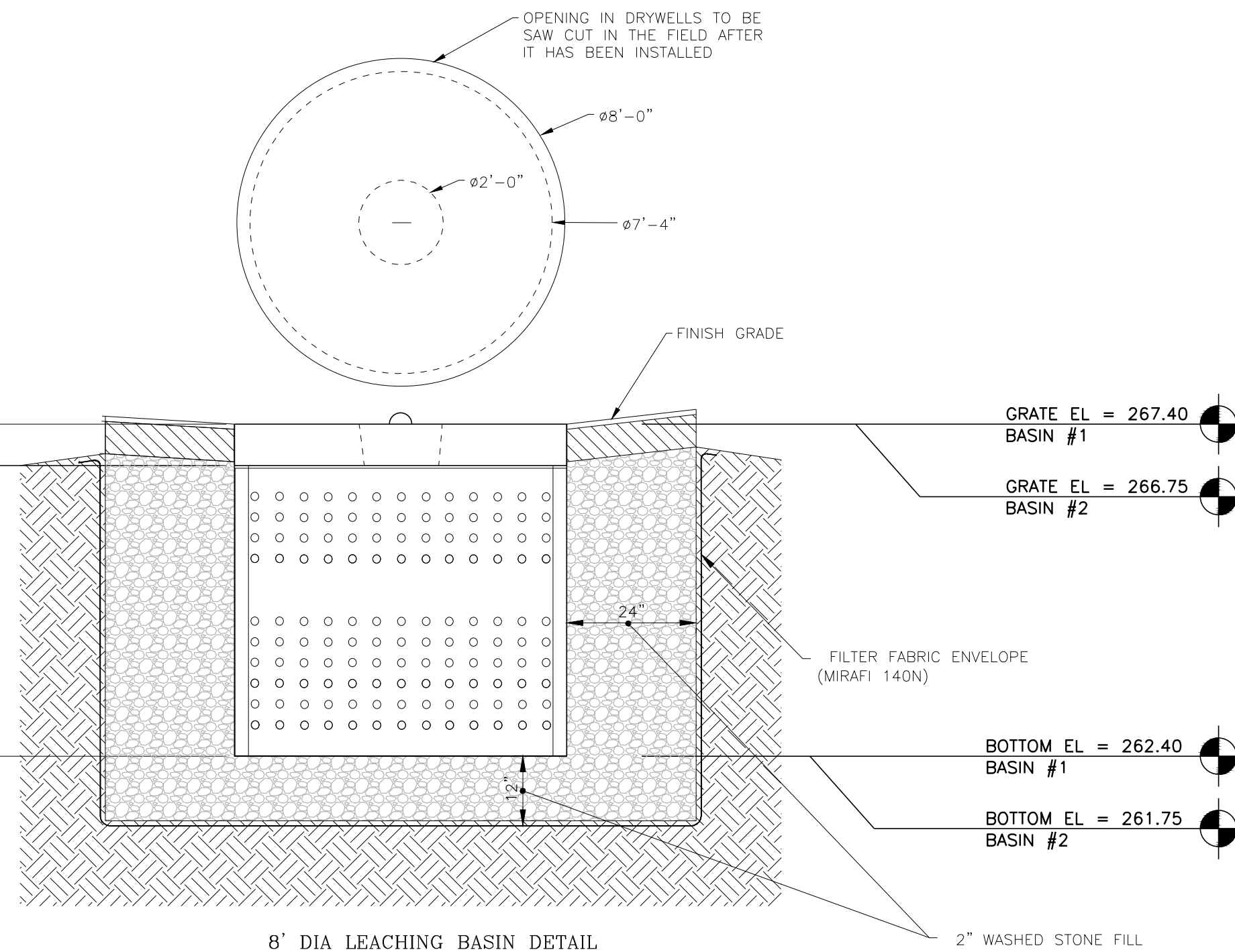
GATE VALVE DETAIL
NTS



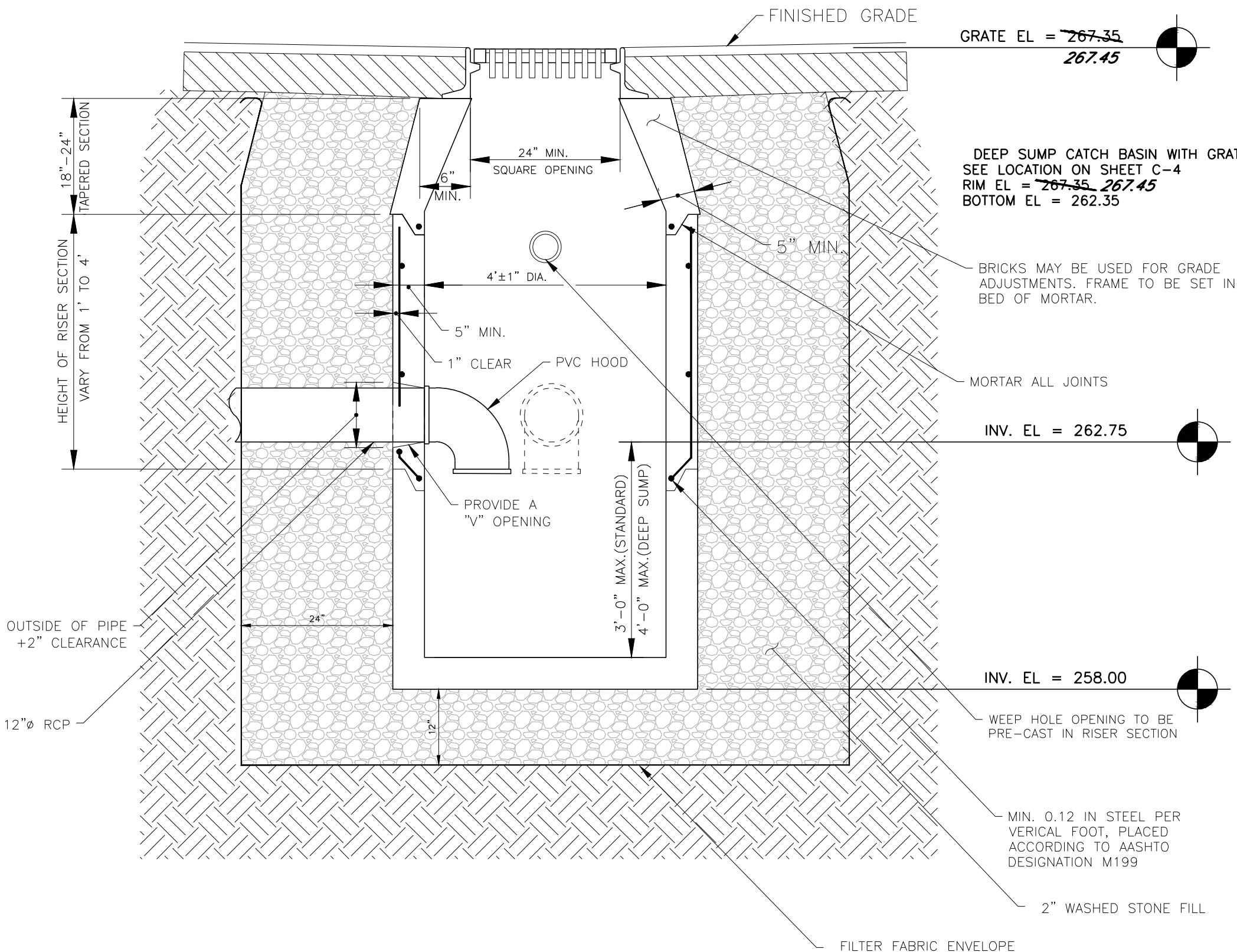
TAPPING SLEEVE & VALVE DETAIL
NTS

LEACHING BASIN #1
SEE LOCATION ON SHEET C-4
RIM ELEVATION TO MATCH GRADE
RIM EL = 267.40
BOTTOM EL = 262.40

LEACHING BASIN #2
SEE LOCATION ON SHEET C-4
RIM ELEVATION TO MATCH GRADE
RIM EL = 266.75
BOTTOM EL = 261.75



LEACHING BASIN DETAIL
NTS



DEEP SUMP CATCH BASIN DETAIL
NTS

AS-BUILT LEGEND	
INV = 267.75 262.53	ELEVATION AS-BUILT ELEVATION
✕	NOT INSTALLED

Rev	Date	Comments	Revision	Approved	Designed by	Drawn by	Checked by
2	8/27/21	PER COMMENTS			N/A	Grant Bogue	JMP
3	8/30/21	PER COMMENTS					
4	01/19/22	AS-BUILT					
5	02/03/22	PER COMMENTS					
6	02/15/22	PER COMMENTS					
7	10/26/22	PER COMMENTS					

DRAWING CONTROL			
Purpose	Released by	Date	
<input type="radio"/> For Comment			
<input type="radio"/> For Approval			
<input type="radio"/> For Bid			
<input type="radio"/> For Construction			

Tectonic
PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
Tectonic Engineering & Surveying Consultants P.C.
70 Pleasant Hill Road Phone: (845) 534-5959
P.O. Box 37 (800) 829-6531
Mountaintown, NY 10953 www.tectonicengineering.com



DETAILS			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date: 08/22/2022	Work Order: 10734.THERMOFISHER	Drawing No.: C5	Rev: 7
Scale: 1" = 20'			

THIS DOCUMENT IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. MODIFICATION, ALTERATION, REVISION, DUPLICATION, OR USE WITHOUT THE CONSENT OF TECTONIC ENGINEERING, P.C. IS PROHIBITED. COPYRIGHT 2022, TECTONIC ENGINEERING, P.C. ALL RIGHTS RESERVED.



Tel: (508) 520-4907

Fax: (508) 520 4906



August 10, 2021

Nancy Danello, Town Clerk
Town of Franklin
355 East Central Street
Franklin, MA 02038

CERTIFICATE OF VOTE
Limited Site Plan Modification
Loading Dock
27 Forge Parkway

Site Plan: "Thermo Fisher Site Plan Modification"

Owner: James Libby (Thermo Fisher)
27 Forge Parkway
Franklin, MA 02038

Applicant: Andrew Boynton (PIDC)
25 Birch Street,
Milford, MA 01757

Prepared By: Tectonic, 1279 Route 300, Newburgh, New York, 12550
Surveyor/ Engineer:

Dated: 04/28/2021
Property Location: 27 Forge Parkway
Map 275, Lot 101

Dear Mrs. Danello:

Please be advised that at its meeting on Monday, August 9, 2021 the Planning Board voted (4-0), upon motion duly made and seconded to **APPROVE, with conditions**, the above referenced Limited Site Plan for a change to the loading dock area. The Conditions of Approval are listed on page 2-3, attached hereto. **Both the Certificate of Vote as well as the conditions of approval shall be referenced on the site plan.**

Sincerely,

Anthony Padula, Chairman
Franklin Planning Board

Tel: (508) 520-4907

Fax: (508) 520 4906

CERTIFICATE OF VOTE
Limited Site Plan Modification
Loading Dock
27 Forge Parkway

- The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
- Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form II). Said inspection is further outlined in condition #1.
- No alteration of these plans shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
- All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
- Prior to the endorsement of the site plan, the following shall be done:
 - The owner/applicant shall make a notation on the plan that references the conditions and dates of this Certificate of Vote.
 - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
 - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
 - The owner/applicant shall submit a minimum of six copies of the approved version of the plan.
- All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the approved plan have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.
- Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
- The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.
- Maintenance and repair of the parking area, water supply system, sewer pipes, electric distribution system, and stormwater system shall be the responsibility of the owner/applicant and shall never be the

Tel: (508) 520-4907

Fax: (508) 520 4906

responsibility of the Town and the Town shall never be required to perform any service, repair or maintenance with respect to said areas, or any of the aforementioned systems within the subject property. The Town will never be required to provide snow plowing or trash pickup, with respect to the subject property.

- Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Inspector.
- Prior to endorsement, the Site Plans shall be reviewed and agreed upon by the town Engineer and BETA.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF MASSACHUSETTS STATE LAW.

COPIES OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL EMBOSSED SEAL OR ORIGINAL STAMP IN BLUE OR RED INK OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL NOT BE CONSIDERED VALID COPIES.



THIS DOCUMENT IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. MODIFICATION, ALTERATION, REVISION, DUPLICATION, OR USE WITHOUT THE CONSENT OF TECTONIC ENGINEERING, P.C. IS PROHIBITED. COPYRIGHT 2022, TECTONIC ENGINEERING, P.C. ALL RIGHTS RESERVED.

Rev	Date	Revision	Approved
2	8/27/21	PER COMMENTS	
3	8/30/21	PER COMMENTS	
4	01/19/22	AS-BUILT	
5	02/03/22	PER COMMENTS	
6	02/15/22	PER COMMENTS	
7	10/26/22	PER COMMENTS	

DRAWING CONTROL			
Designed by:	Drawn by:	Checked by:	
N/A	Grant Bogue	JMP	
Purpose	Released by	Date	
<input type="radio"/> For Comment			
<input type="radio"/> For Approval			
<input type="radio"/> For Bid			
<input type="radio"/> For Construction			

Tectonic
PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
Tectonic Engineering & Surveying Consultants P.C.
70 Pleasant Hill Road Phone: (845) 534-5959
P.O. Box 37 (800) 829-6531
Mountairville, NY 10953 www.tectonicengineering.com



CERTIFICATE OF VOTE			
THERMOFISHER 27 FORGE PARKWAY TOWN OF FRANKLIN COUNTY OF NORFOLK, MASSACHUSETTS			
Date 08/23/2022	Work Order 10734.THERMOFISHER	Drawing No. C6	Rev 7
Scale 1" = 20'			

SITE PLAN OF LAND

FORM H
ENGINEER'S CERTIFICATE OF COMPLETION
(to be executed by developer's engineer)

Site Plan known as Thermofisher Site Plan Modification

I hereby certify that all improvements required for the above referenced site plan have been completed in all respects in accordance with the Town of Franklin zoning requirements and the approved plans entitled Thermofisher Site Plan Modification prepared by Tectonic and dated April 28, 20 21, as approved by the said Planning Board on August 10, 2021.

Signed this 13th day of April, 20 22

By [Signature] Reg. C.E.



State of New York
Albany County

COMMONWEALTH OF MASSACHUSETTS

_____, SS.

4/13, 20 22

On this 13th day of April, 2022, before me, the undersigned notary public, personally appeared Steven Matthews (name of engineer), proved to me through satisfactory evidence of identification, which were _____ to be the person whose name is signed on the preceding document in my presence.

Jean Marie Frawley
(Official signature and seal of notary)

Notary Public:

My Commission Expires: 5/23/26

Jean Marie Frawley
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01FR5028031
Qualified in Rensselaer County
Commission Expires May 23, 2026