

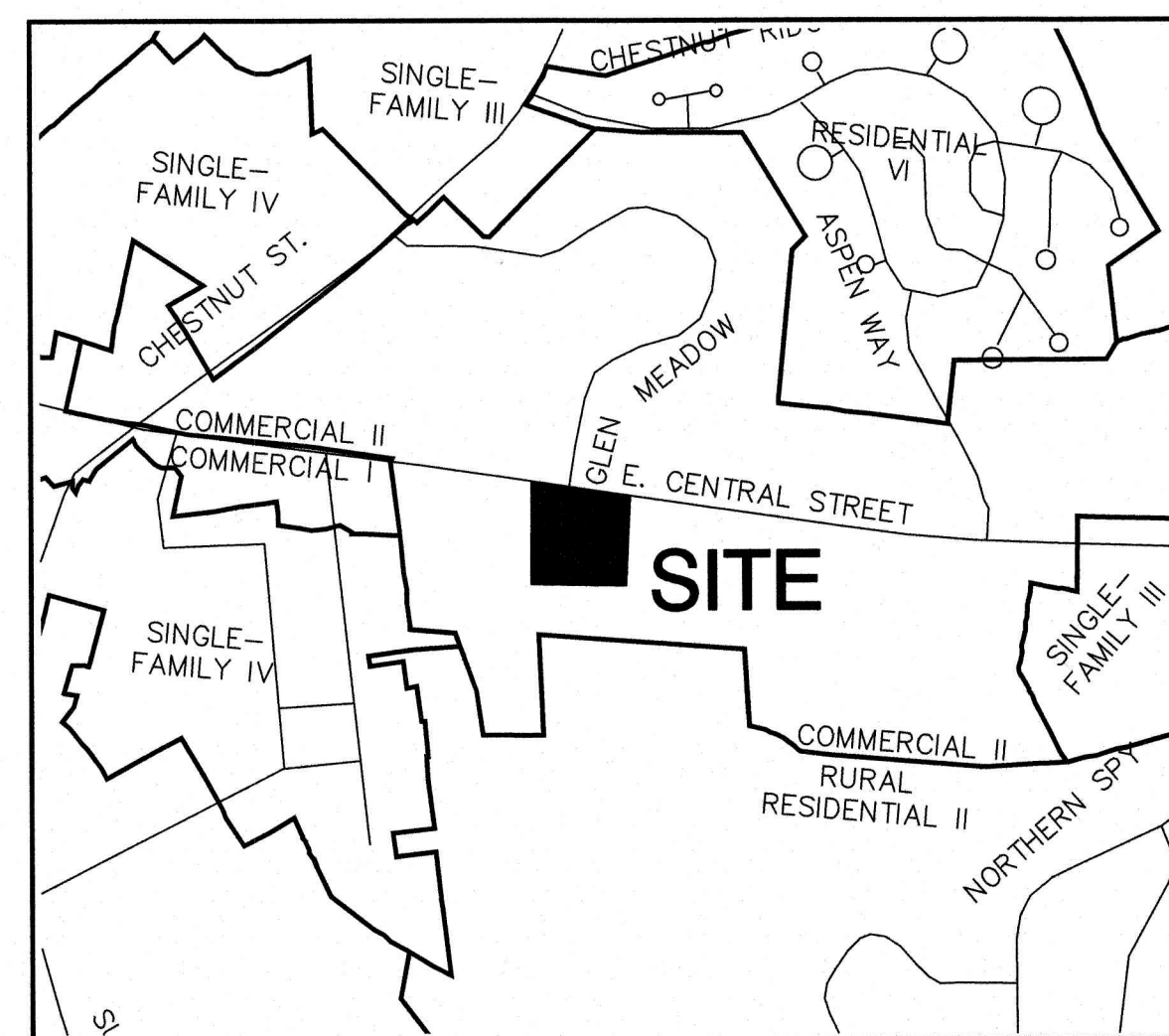
# PROPOSED DEVELOPMENT CENTRAL SQUARE TAX MAP 285 AND LOT NUMBER 009 340 EAST CENTRAL STREET, FRANKLIN, MA

## GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRAVITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/ WINGWALLS
---	---	CULVERT W/ FLARED END SECTION
---	---	CULVERT W/ STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	PATIO AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL

## SHEET INDEX

CS	COVER SHEET
C1	EXISTING CONDITIONS PLAN
C1-1	DEMOLITION PLAN
C2	SITE PLAN
C3	DRAINAGE PLAN
C3-1	GRADING PLAN
C4	UTILITY PLAN
L-01	LANDSCAPE PLAN
L2	LIGHTING PLAN
D1-D8	DETAIL SHEETS
E1-E2	EROSION AND SEDIMENT CONTROL DETAILS
A1-A2	COMMERCIAL BUILDING ELEVATIONS
T1 01	APARTMENT BUILDING RENDERINGS



LOCUS MAP  
SCALE 1" = 800'

## PERMITS

TYPE OF PERMIT	STATUS	TYPE OF PERMIT	STATUS
<b>MASSDOT DRIVEWAY PERMIT:</b> DISTRICT SIX 185 KNEELAND STREET BOSTON, MA 02111 (857) 368-6100 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED:  PERMIT NO.  DATED:  EXPIRATION:	<b>FRANKLIN SITE PLAN APPROVAL:</b> TOWN OF FRANKLIN PLANNING BOARD 355 EAST CENTRAL STREET FRANKLIN, MA (508) 520-4907 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED:  APPROVED:
<b>USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT,</b> NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION: EPA STORMWATER NOTICE PROCESSING CENTER MAIL CODE 4203M, US EPA 1200 PENNSYLVANIA AVENUE, NW WASHINGTON, DC 20460 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.			

**APPLICANT / DEVELOPER**  
340 EAST CENTRAL STREET LLC  
7 SWAIN DRIVE  
HAMPTON FALLS, NH 03844

**CIVIL ENGINEER**  
JONES & BEACH ENGINEERS, INC.  
85 PORTSMOUTH AVENUE  
PO BOX 219  
STRATHAM, NH 03885  
(603) 772-4746  
CONTACT: WAYNE MORRILL  
EMAIL: WMORRILL@JONESANDBEACH.COM

**LANDSCAPE ARCHITECT**  
TERRAIN PLANNING AND DESIGN LLC,  
311 KAST HILL ROAD  
HOPKINTON, NH 03229  
(603)491-2322  
CONTACT: ERIC BUCK

**TRAFFIC ENGINEER**  
VANASSE & ASSOCIATES, INC.  
10 N.E. BUSINESS CTR. DRIVE, SUITE 314  
ANDOVER, MA 01810-1066  
(978) 474-8800 X30  
CONTACT : JEFFREY DIRK

**SURVEYOR**  
GUERRIERE & HALNON, INC  
55 WEST CENTRAL DRIVE  
FRANKLIN, MA 02038  
(508) 528-3221

**ELECTRIC**  
NATIONAL GRID  
BAY STATE NORTH  
1101 TURNPIKE STREET  
NORTH ANDOVER, MA 01845  
(978) 725-2215  
CONTACT: STEVE HALL

**TOWN ENGINEER**  
MIKE MAGLIO, P.E.  
DPW ADMINISTRATION BUILDING  
257 FISHER STREET  
FRANKLIN, MA 02038  
(508) 520-4910

**WATER & SEWER DEPARTMENT**  
PUBLIC WORKS GARAGE  
25 PUBLIC WORKS WAY  
FRANKLIN, MA 02038  
(508) 520-4910  
CONTACT: LAURIE RUSZALA, P.E.

**POLICE DEPARTMENT**  
911 PANTHER WAY  
FRANKLIN, MA 02038  
(508) 528-1212  
CONTACT: CHIEF STEPHAN H. SEMERIJAN

**FIRE DEPARTMENT**  
FRANKLIN FIRE DEPARTMENT  
40 WEST CENTRAL STREET  
FRANKLIN, MA 02038  
(508) 528-2323  
CONTACT: CHIEF GARY B. MCCARRAHER

**PROJECT PARCEL**  
TOWN OF FRANKLIN, MA  
TAX MAP 285, LOT 009

**APPLICANT**  
340 EAST CENTRAL STREET LLC  
7 SWAIN DRIVE  
HAMPTON FALLS, NH 03844

**TOTAL LOT AREA**  
283,394± SQ. FT.  
6.50± ACRES

APPROVED - FRANKLIN, MA  
PLANNING BOARD

DATE:



REV.	DATE	REVISION	BY
1	07/31/20	REVISED PER REVIEW ENGINEER COMMENTS	EMP
0	05/06/20	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

## J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746  
FAX: 603-772-0227  
E-Mail: JBE@JONESANDBEACH.COM

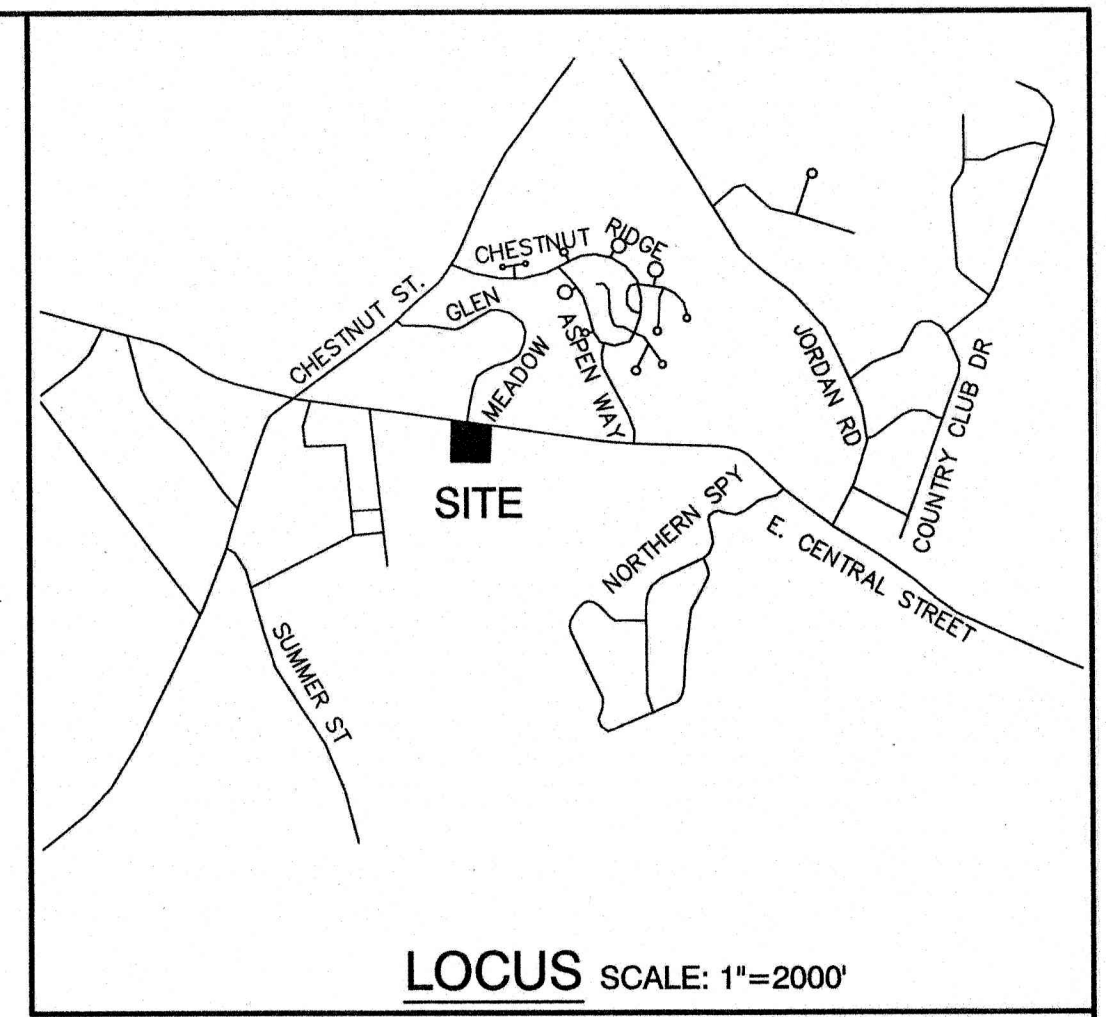
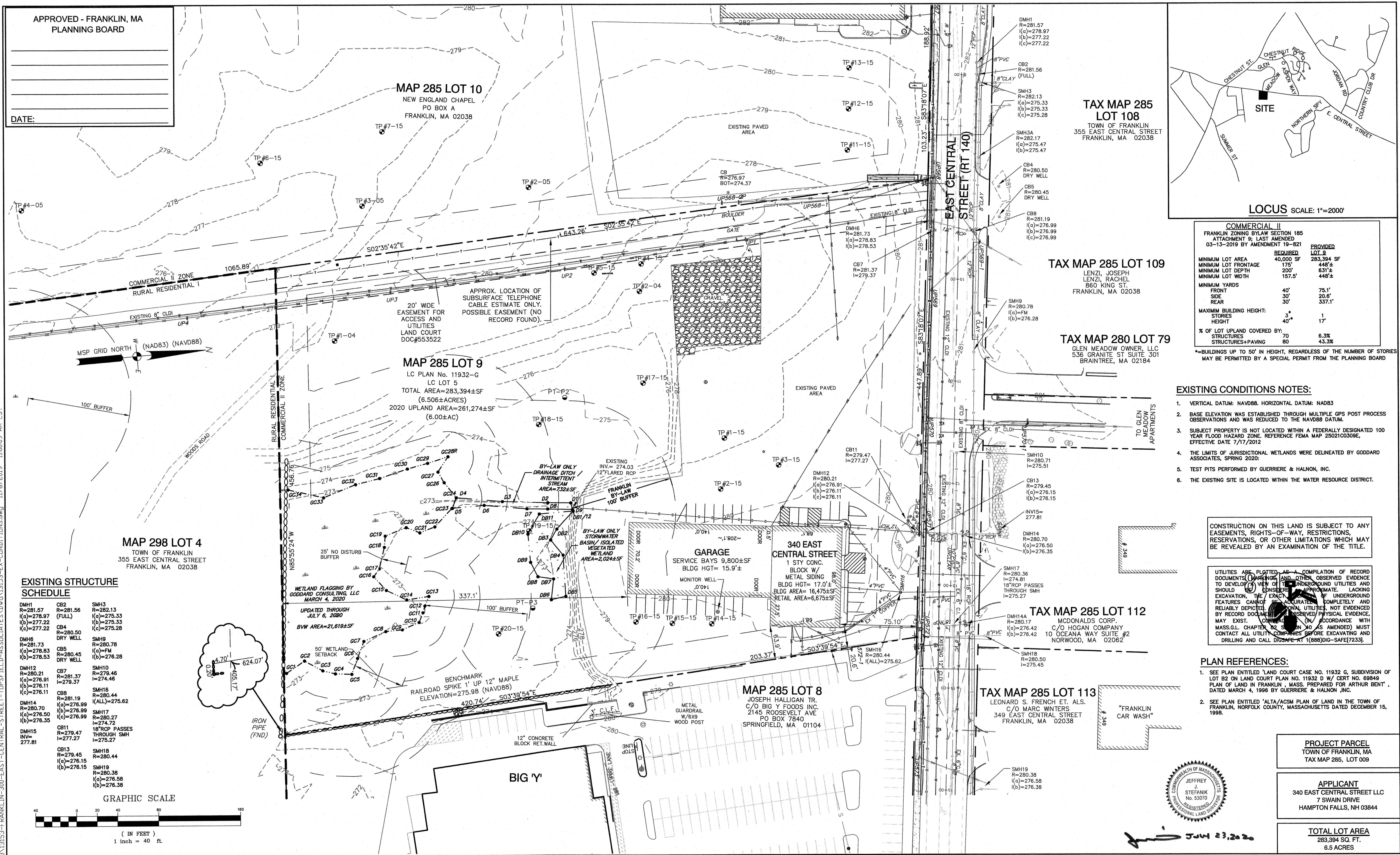
Plan Name:	<b>COVER SHEET</b>
Project:	PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA
Owner of Record:	340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

DRAWING No.	<b>CS</b>
SHEET 1 OF 19	JBE PROJECT NO. 13153



APPROVED - FRANKLIN, MA  
PLANNING BOARD

DATE:



**TAX MAP 285 LOT 108**  
TOWN OF FRANKLIN  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038

**TAX MAP 285 LOT 109**  
LENZI, JOSEPH  
LENZI, RACHEL  
860 KING ST.  
FRANKLIN, MA 02038

**TAX MAP 280 LOT 79**  
GLEN MEADOW OWNER, LLC  
536 GRANITE ST SUITE 301  
BRAINTREE, MA 02184

COMMERCIAL II		
FRANKLIN ZONING BYLAW SECTION 185		
ATTACHMENT 9; LAST AMENDED 03-13-2019 BY AMENDMENT 19-821		
	REQUIRED	PROVIDED
MINIMUM LOT AREA	40,000 SF	283,394 SF
MINIMUM LOT FRONTAGE	175'	448±
MINIMUM LOT DEPTH	200'	631±
MINIMUM LOT WIDTH	157.5'	448±
MINIMUM YARDS		
FRONT	40'	75.1'
REAR	30'	20.6'
MAXIMUM BUILDING HEIGHT:		
STORIES	3*	17
HEIGHT	40'	337.1'
% OF LOT UPLAND COVERED BY:		
STRUCTURES	70	6.3%
STRUCTURES+PAVING	80	43.3%

\*BUILDINGS UP TO 50' IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD

**EXISTING CONDITIONS NOTES:**

- VERTICAL DATUM: NAVD88. HORIZONTAL DATUM: NAD83
- BASE ELEVATION WAS ESTABLISHED THROUGH MULTIPLE GPS POST PROCESS OBSERVATIONS AND WAS REDUCED TO THE NAVD88 DATUM.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA MAP 25021C0309E, EFFECTIVE DATE 7/17/2012
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY GODDARD ASSOCIATES, SPRING 2020.
- TEST PITS PERFORMED BY GUERRIERE & HALNON, INC.
- THE EXISTING SITE IS LOCATED WITHIN THE WATER RESOURCE DISTRICT.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

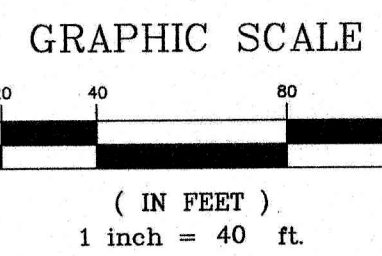
UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS (DRAWINGS, LAND, OTHER). OBSERVED EVIDENCE TO DEVELOP A VIEW OF UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED AN APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE DETERMINED COMPLETELY AND RELIABLY DEPENDING ON THE UTILITIES NOT EVIDENCED BY RECORD DOCUMENTS. OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTOR (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 § 10A (AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DISCONNECT AT (888)DIG-SAFE(7233).

**PLAN REFERENCES:**

- SEE PLAN ENTITLED "LAND COURT CASE NO. 11932 G, SUBDIVISION OF LOT B2 ON LAND COURT PLAN NO. 11932 D W/ CERT NO. 68849 PLAN OF LAND IN FRANKLIN, MASS. PREPARED FOR ARTHUR BENT", DATED MARCH 4, 1996 BY GUERRIERE & HALNON, INC.
- SEE PLAN ENTITLED "ALTA/ACSM PLAN OF LAND IN THE TOWN OF FRANKLIN, NORFOLK COUNTY, MASSACHUSETTS DATED DECEMBER 15, 1998."

**EXISTING STRUCTURE SCHEDULE**

DMH1 R=281.57 (a)=278.97 (b)=277.22 (c)=277.22	CB2 R=281.56 (FULL)	SMH3 R=282.13 (a)=275.33 (b)=275.33 (c)=275.28
DMH8 R=281.73 (a)=278.83 (b)=278.53	CB4 R=280.50 DRY WELL	SMH9 R=280.78 (a)=FM (b)=276.28
DMH12 R=280.21 (a)=276.91 (b)=276.11 (c)=276.11	CB5 R=280.45 DRY WELL	SMH10 R=279.46 I=274.46
DMH14 R=280.70 (a)=276.50 (b)=276.35	CB6 R=280.44 (a)=276.99 (b)=276.99	SMH16 R=280.44 (ALL)=275.62
DMH15 R=277.81	CB7 R=280.45 (a)=276.15 (b)=276.15	SMH17 R=280.27 (a)=274.72
	CB8 R=281.19 (a)=276.99 (b)=276.15	SMH18 R=280.44 (a)=276.58 (b)=276.38
	CB9 R=279.45 (a)=276.15 (b)=276.15	SMH19 R=280.39 (a)=276.58 (b)=276.38



**MAP 298 LOT 4**  
TOWN OF FRANKLIN  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038

**MAP 285 LOT 9**  
LC PLAN No. 11932-G  
LC LOT 5  
TOTAL AREA=283,394±SF  
(6.506±ACRES)  
2020 UPLAND AREA=261,274±SF  
(6.00±AC)

**MAP 285 LOT 10**  
NEW ENGLAND CHAPEL  
PO BOX A  
FRANKLIN, MA 02038

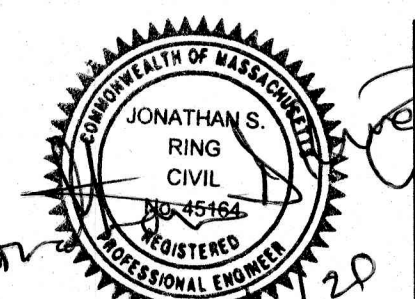
**MAP 285 LOT 8**  
JOSEPH HALLIGAN TR.  
C/O BIG Y FOODS INC.  
2145 ROOSEVELT AVE  
PO BOX 7840  
SPRINGFIELD, MA 01104

**TAX MAP 285 LOT 112**  
MCDONALDS CORP.  
C/O HOGAN COMPANY  
10 OCEANA WAY SUITE #2  
NORWOOD, MA 02062

**TAX MAP 285 LOT 113**  
LEONARD S. FRENCH ET. ALS.  
C/O MARC WINTERS  
349 EAST CENTRAL STREET  
FRANKLIN, MA 02038

F:\Land Projects\3\13153-FRANKLIN-300-EAST-CENTRAL-STREET-TOPSOFIELD-ASSOCIATES\DWG\13153-EX-CONDITIONS.dwg 11/6/2019 11:00:09 AM EST

Design: WGM	Draft: GPC	Date: 03/20/2020
Checked: WGM	Scale: AS-NOTED	Project No.: 13153
Drawing Name: 13153-EX-CONDITIONS.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE & G&H). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE OR G&H.		



REV.	DATE	REVISION	BY
1	07/16/20	REVISED PER FRANKLIN CONSERVATION COMMISSION	BWG
0	04/23/20	ISSUED FOR REVIEW	EMP



**Guerriere & Halnon, Inc.**  
Ph. (508) 528-3221 55 WEST CENTRAL STREET  
Fr. (508) 528-7921 FRANKLIN, MASS. 02038  
www.gandhengineering.com

Plan Name:	<b>EXISTING CONDITIONS PLAN</b>
Project:	<b>PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA</b>
Owner of Record:	<b>340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576</b>

DRAWING No.	<b>C1</b>
SHEET 2 OF 16 JBE PROJECT NO. 13153	

**PROJECT PARCEL**  
TOWN OF FRANKLIN, MA  
TAX MAP 285, LOT 009

**APPLICANT**  
CENTRAL SQUARE LLC  
7 SWAIN DRIVE  
HAMPTON FALLS, NH 03844

**TOTAL LOT AREA**  
283,394 SQ. FT.  
6.5 ACRES

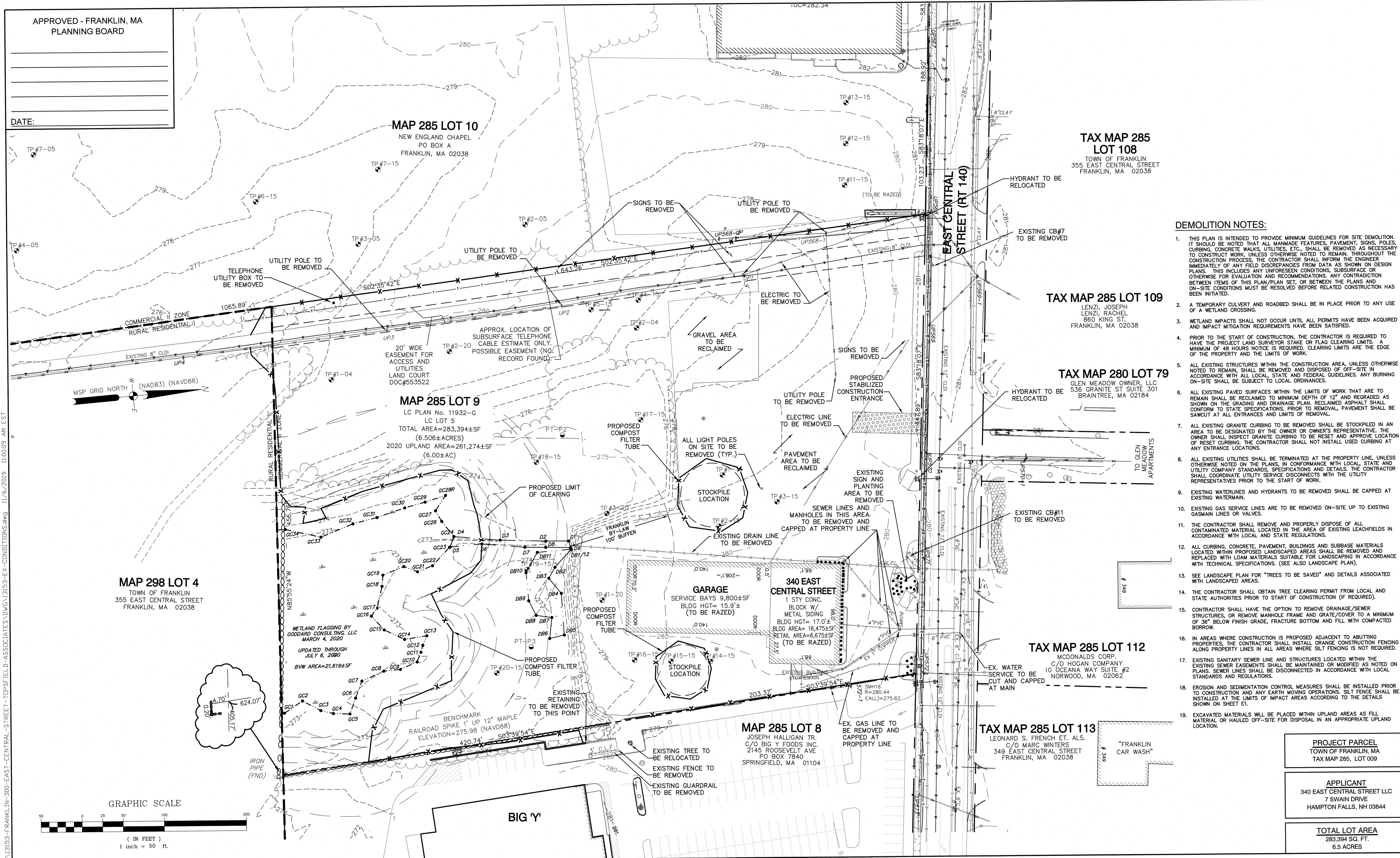


JUN 23, 2020



APPROVED - FRANKLIN, MA  
PLANNING BOARD

DATE:



- DEMOLITION NOTES:**
- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
  - A TEMPORARY CULVERT AND ROADBED SHALL BE IN PLACE PRIOR TO ANY USE OF A WETLAND CROSSING.
  - WETLAND IMPACTS SHALL NOT OCCUR UNTIL ALL PERMITS HAVE BEEN ACQUIRED AND IMPACT MITIGATION REQUIREMENTS HAVE BEEN SATISFIED.
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
  - ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
  - ALL EXISTING PAVED SURFACES WITHIN THE LIMITS OF WORK THAT ARE TO REMAIN SHALL BE RECLAIMED TO MINIMUM DEPTH OF 12" AND REGRADED AS SHOWN ON THE GRADING AND DRAINAGE PLAN. RECLAIMED ASPHALT SHALL CONFORM TO STATE SPECIFICATIONS. PRIOR TO REMOVAL, PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
  - ALL EXISTING GRANITE CURBING TO BE REMOVED SHALL BE STOCKPILED IN AN AREA TO BE DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE OWNER SHALL INSPECT GRANITE CURBING TO BE RESET AND APPROVE LOCATION OF RESET CURBING. THE CONTRACTOR SHALL NOT INSTALL USED CURBING AT ANY ENTRANCE LOCATIONS.
  - ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, UNLESS OTHERWISE NOTED ON THE PLANS, IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS, SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
  - EXISTING WATERLINES AND HYDRANTS TO BE REMOVED SHALL BE CAPPED AT EXISTING WATERMAIN.
  - EXISTING GAS SERVICE LINES ARE TO BE REMOVED ON-SITE UP TO EXISTING GASMAIN LINES OR VALVES.
  - THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONTAMINATED MATERIAL LOCATED IN THE AREA OF EXISTING LEACHFIELDS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
  - ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUBBASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS. (SEE ALSO LANDSCAPE PLAN).
  - SEE LANDSCAPE PLAN FOR "TREES TO BE SAVED" AND DETAILS ASSOCIATED WITH LANDSCAPED AREAS.
  - THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
  - CONTRACTOR SHALL HAVE THE OPTION TO REMOVE DRAINAGE/SEWER STRUCTURES, OR REMOVE MANHOLE FRAME AND GRATE/COVER TO A MINIMUM OF 36" BELOW FINISH GRADE, FRACTURE BOTTOM AND FILL WITH COMPACTED BORROW.
  - IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
  - EXISTING SANITARY SEWER LINE AND STRUCTURES LOCATED WITHIN THE EXISTING SEWER EASEMENTS SHALL BE MAINTAINED OR MODIFIED AS NOTED ON PLANS. SEWER LINES SHALL BE DISCONNECTED IN ACCORDANCE WITH LOCAL STANDARDS AND REGULATIONS.
  - EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
  - EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.

**MAP 298 LOT 4**  
TOWN OF FRANKLIN  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038

**MAP 285 LOT 10**  
NEW ENGLAND CHAPEL  
PO BOX A  
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LC PLAN No. 11932-G  
LC LOT 5  
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**MAP 285 LOT 8**  
JOSEPH HALLIGAN TR.  
C/O BIG Y FOODS INC.  
2145 ROOSEVELT AVE  
PO BOX 7840  
SPRINGFIELD, MA 01104

**TAX MAP 285 LOT 108**  
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355 EAST CENTRAL STREET  
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LENZI, JOSEPH  
LENZI, RACHEL  
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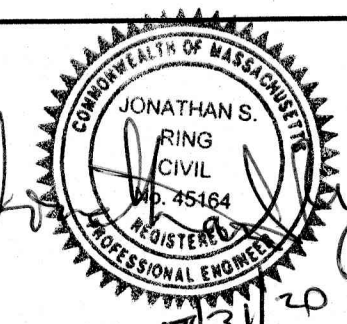
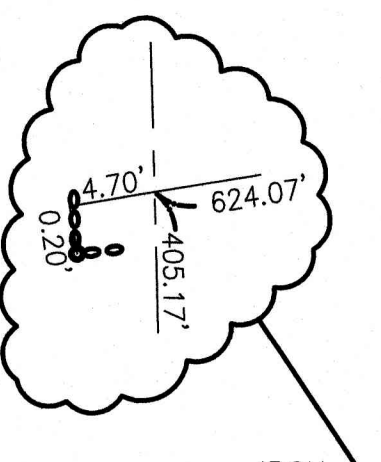
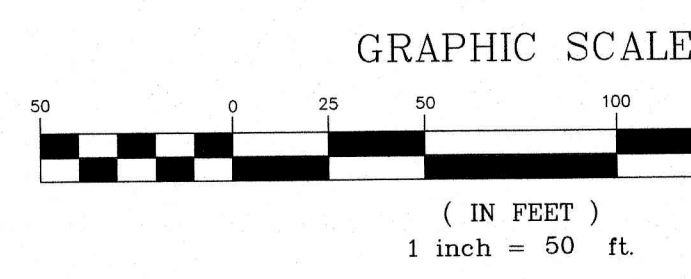
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**APPLICANT**  
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7 SWAIN DRIVE  
HAMPTON FALLS, NH 03844

**TOTAL LOT AREA**  
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1	07/16/20	REVISED PER FRANKLIN CONSERVATION COMMISSION	BWG
0	04/23/20	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03885

Civil Engineering Services

603-772-4748  
FAX: 603-772-0227  
E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	<b>DEMOLITION PLAN</b>
Project:	<b>PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA</b>
Owner of Record:	<b>340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576</b>

DRAWING No.

**C1-1**

SHEET 3 OF 19  
JBE PROJECT NO. 13153

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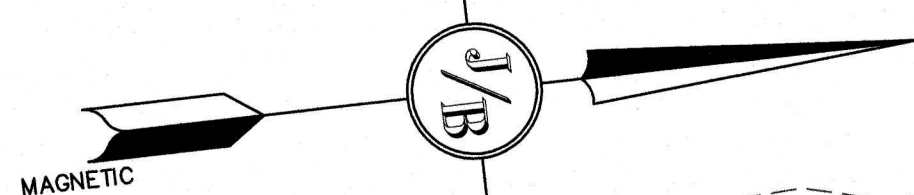






APPROVED - FRANKLIN, MA  
PLANNING BOARD

DATE:



**GRADING AND DRAINAGE NOTES:**

1. GRADING AND DRAINAGE NOTES ARE LOCATED ON SHEET CS-1.

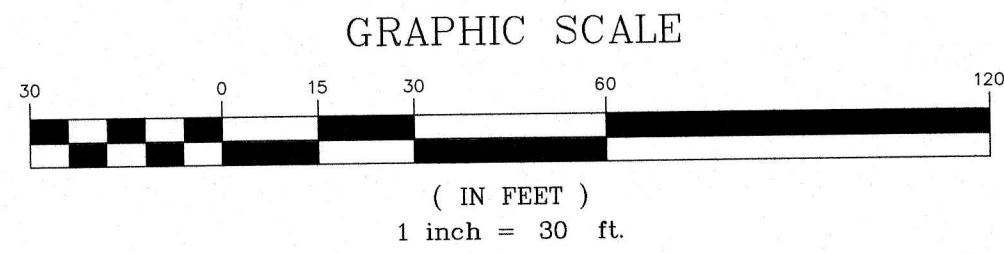
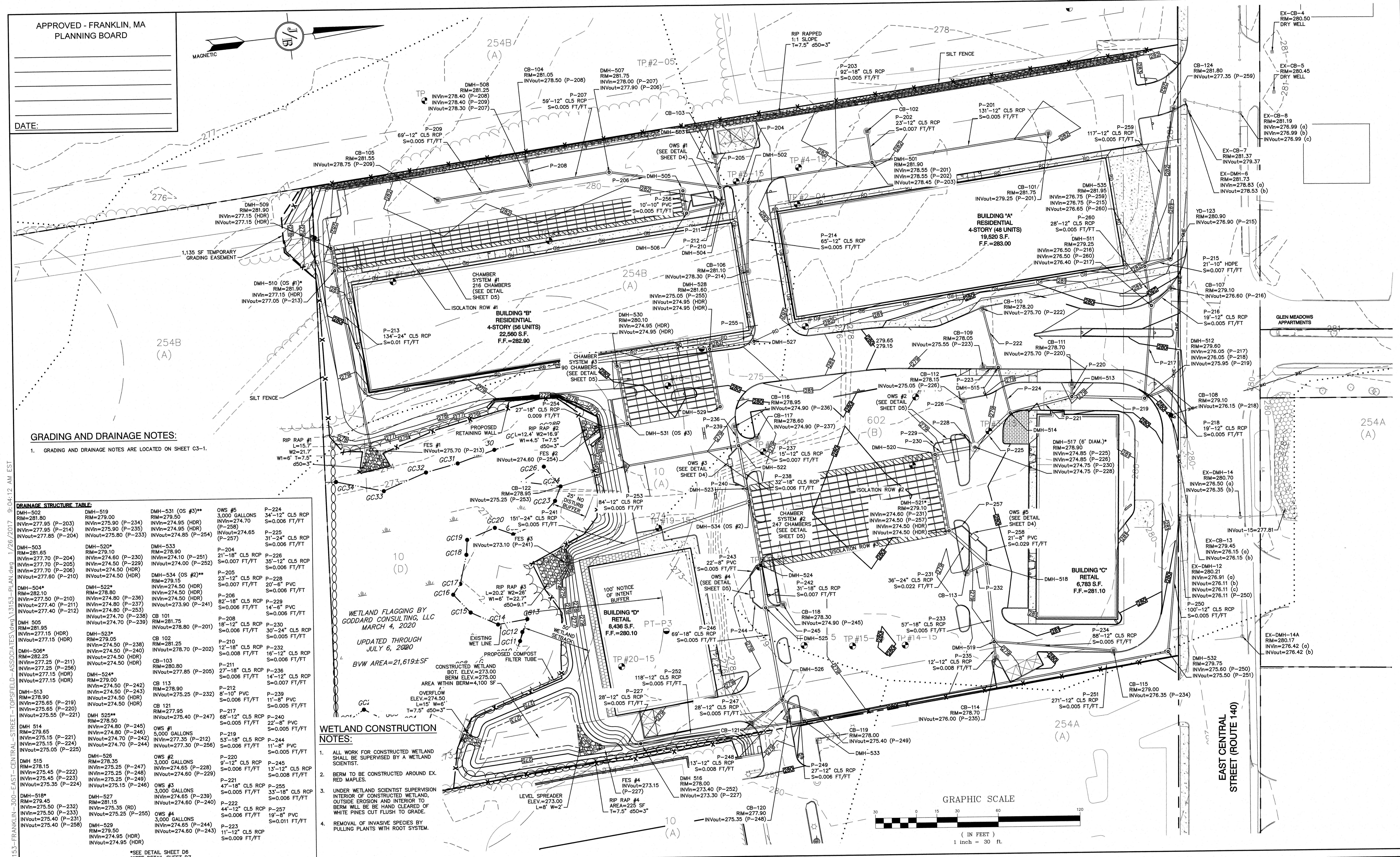
**DRAINAGE STRUCTURE TABLE:**

DMH-502 RIM=281.90 INVin=277.95 (P-203) INVout=277.95 (P-214) INVout=277.85 (P-204)	DMH-519 RIM=279.00 INVin=275.90 (P-234) INVout=275.90 (P-235) INVout=275.80 (P-233)	DMH-531 (OS #3)** RIM=279.50 INVin=274.95 (HDR) INVout=274.65 (P-254)	OWS #5 3,000 GALLONS RIM=278.00 INVin=274.95 (HDR) INVout=274.65 (P-254)	P-224 34'-12" CL5 RCP S=0.006 FT/FT
DMH-503 RIM=281.65 INVin=277.70 (P-204) INVout=277.70 (P-205) INVout=277.60 (P-210)	DMH-520* RIM=279.10 INVin=274.80 (P-230) INVout=274.50 (HDR) INVout=274.50 (HDR)	DMH-533 RIM=278.90 INVin=274.00 (P-251) INVout=274.00 (P-252)	P-204 21'-18" CL5 RCP S=0.007 FT/FT	P-226 35'-12" CL5 RCP S=0.006 FT/FT
DMH-504* RIM=282.10 INVin=277.50 (P-210) INVout=277.40 (P-211) INVout=277.40 (P-212)	DMH-522* RIM=278.80 INVin=274.80 (P-236) INVout=274.50 (HDR) INVout=274.50 (HDR)	DMH-534 (OS #2)** RIM=279.15 INVin=274.50 (HDR) INVout=273.90 (P-241)	P-205 23'-12" CL5 RCP S=0.007 FT/FT	P-228 20'-6" PVC S=0.006 FT/FT
DMH-505 RIM=281.95 INVin=277.15 (HDR) INVout=277.15 (HDR)	DMH-523* RIM=279.05 INVin=274.50 (P-238) INVout=274.50 (HDR)	CB-101 RIM=280.80 INVin=277.85 (P-205)	P-208 18'-12" CL5 RCP S=0.006 FT/FT	P-229 14'-6" PVC S=0.006 FT/FT
DMH-506* RIM=282.25 INVin=277.25 (P-211) INVout=277.25 (P-256) INVout=277.15 (HDR)	DMH-524* RIM=279.00 INVin=274.50 (P-242) INVout=274.50 (HDR)	CB-102 RIM=281.25 INVin=278.70 (P-202)	P-210 12'-18" CL5 RCP S=0.008 FT/FT	P-230 30'-24" CL5 RCP S=0.005 FT/FT
DMH-513 RIM=278.90 INVin=275.65 (P-219) INVout=275.65 (P-220) INVout=275.55 (P-221)	DMH-513 RIM=278.90 INVin=274.50 (HDR) INVout=274.50 (HDR)	CB-103 RIM=280.80 INVin=277.85 (P-205)	P-211 27'-18" CL5 RCP S=0.006 FT/FT	P-236 14'-12" CL5 RCP S=0.007 FT/FT
DMH-514 RIM=279.65 INVin=275.15 (P-221) INVout=275.15 (P-224) INVout=275.05 (P-225)	DMH-525** RIM=278.50 INVin=274.80 (P-245) INVout=274.50 (P-246) INVout=274.50 (P-244)	OWS #1 5,000 GALLONS RIM=277.35 (P-212) INVout=277.30 (P-256)	P-212 8'-10" PVC S=0.006 FT/FT	P-239 11'-8" PVC S=0.005 FT/FT
DMH-515 RIM=278.35 INVin=275.45 (P-222) INVout=275.45 (P-223) INVout=275.35 (P-224)	DMH-526 RIM=278.35 INVin=275.25 (P-247) INVout=275.25 (P-248) INVout=275.25 (P-249)	OWS #2 3,000 GALLONS RIM=274.60 (P-240)	P-213 9'-12" CL5 RCP S=0.006 FT/FT	P-240 33'-18" CL5 RCP S=0.006 FT/FT
DMH-516* RIM=278.45 INVin=275.50 (P-232) INVout=275.50 (P-233) INVout=275.40 (P-238)	DMH-527 RIM=281.15 INVin=275.35 (RD) INVout=275.25 (P-255)	OWS #3 3,000 GALLONS RIM=274.65 (P-244)	P-214 47'-18" CL5 RCP S=0.005 FT/FT	P-241 19'-8" PVC S=0.011 FT/FT
DMH-518 RIM=279.50 INVin=275.40 (P-235)	DMH-529 RIM=279.50 INVin=274.95 (HDR) INVout=274.95 (HDR)	OWS #4 3,000 GALLONS RIM=274.60 (P-243)	P-215 44'-12" CL5 RCP S=0.006 FT/FT	P-242 11'-12" CL5 RCP S=0.009 FT/FT

\*SEE DETAIL SHEET D4  
\*\*SEE DETAIL SHEET D7

**WETLAND CONSTRUCTION NOTES:**

- ALL WORK FOR CONSTRUCTED WETLAND SHALL BE SUPERVISED BY A WETLAND SCIENTIST.
- BERM TO BE CONSTRUCTED AROUND EX. RED MAPLES.
- UNDER WETLAND SCIENTIST SUPERVISION INTERIOR OF CONSTRUCTED WETLAND, OUTSIDE EROSION AND INTERIOR TO BERM WILL BE HAND CLEARED OF WHITE PINES CUT FLUSH TO GRADE.
- REMOVAL OF INVASIVE SPECIES BY PULLING PLANTS WITH ROOT SYSTEM.



Design: WGM	Draft: RMK	Date: 05/06/20
Checked: WGM	Scale: AS-NOTED	Project No.: 13153
Drawing Name: 13153-PLAN.dwg		

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REV.	DATE	REVISION	BY
1	07/31/20	REVISED PER REVIEW ENGINEER COMMENTS	EMP
0	05/06/20	ISSUED FOR REVIEW	EMP
			BY

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

Civil Engineering Services

85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03885

603-772-4746  
FAX: 603-772-0227  
E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	<b>DRAINAGE PLAN</b>
Project:	PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA
Owner of Record:	340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190578

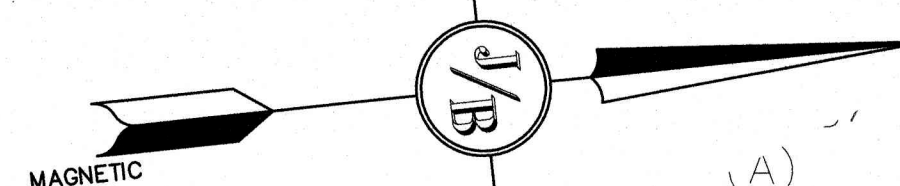
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**C3**

SHEET 5 OF 19  
JBE PROJECT NO. 13153



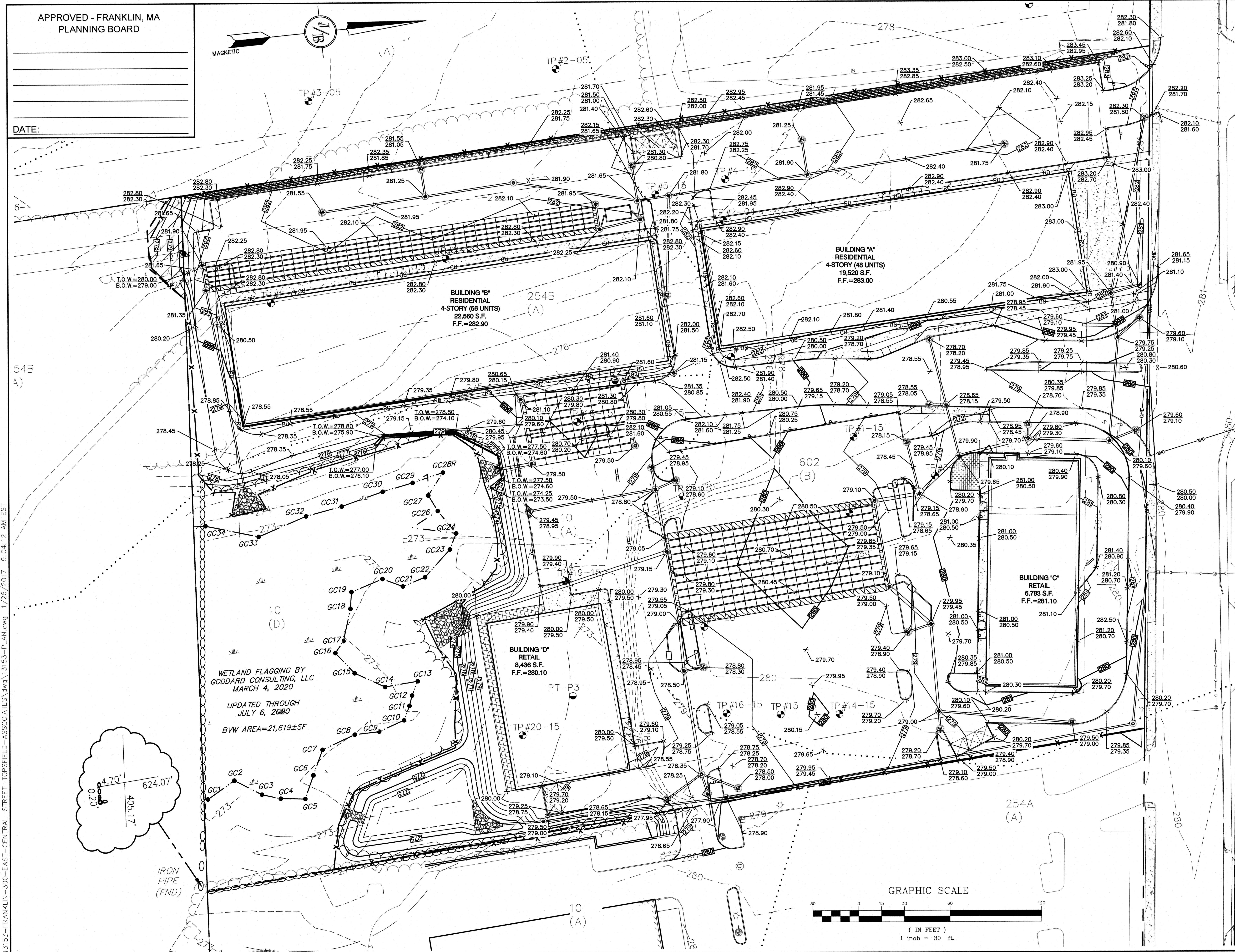
APPROVED - FRANKLIN, MA  
PLANNING BOARD



DATE:

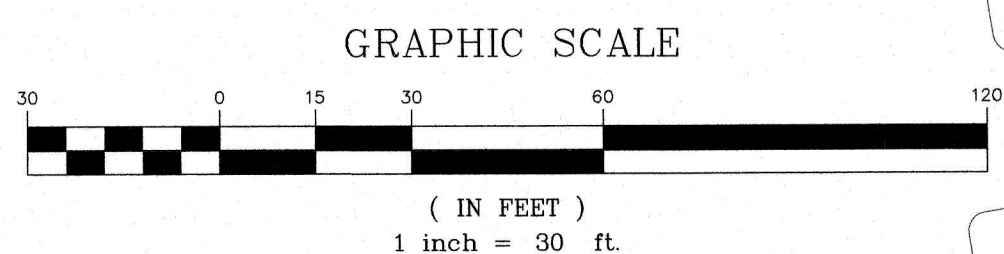
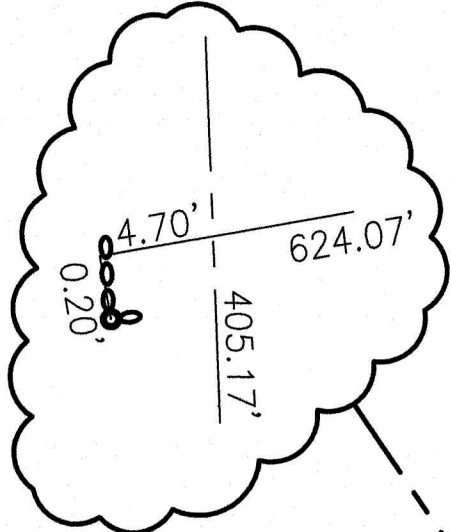
**GRADING AND DRAINAGE NOTES:**

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- ALL DRAINAGE STRUCTURES AND OUTFALLS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 4' DEEP SUMP WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEET C3 FOR DRAINAGE STRUCTURE SCHEDULE AND SHEETS D1-D3 FOR DRAINAGE DETAILS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE OTHER THAN ROOF DRAINS SHALL BE CLASS 3 REINFORCED CONCRETE WITH A MINIMUM COVER OF 42". CLASS 5 REINFORCED CONCRETE PIPE SHALL BE USED WHEN PIPE COVER IS LESS THAN 42".
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- BUILDING "A" AND BUILDING "B" ROOF DRAINS TO BE CONNECTED TO CHAMBER SYSTEM #3.
- INLET PROTECTION TO BE USED ON ALL CATCH BASINS UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES.
- PRIOR TO THE PLACEMENT OF ANY CONSTRUCTION FILL IN EXCESS OF 15 CUBIC YARDS INTO A ZONE II WATER RESOURCE DISTRICT, A CERTIFICATION SHALL BE PRESENTED TO THE BOARD OF APPEALS OR ITS DESIGNATED AGENT FROM A DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) LICENSED SITE PROFESSIONAL (LSP) THAT THE FILL MATERIAL DOES NOT EXCEED THE STANDARDS FOR AND HAZARDOUS MATERIAL SET FORTH IN THE MOST RECENTLY PUBLISHED MASS CONTINGENCY PLAN (MCP).
- ALL PLANTINGS TO BE USED ON SITE SHALL COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK.

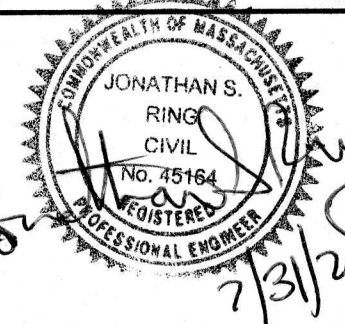


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WETLAND FLAGGING BY  
GODDARD CONSULTING, LLC  
MARCH 4, 2020  
UPDATED THROUGH  
JULY 6, 2020  
BVW AREA = 21,619 ± SF



Design: WGM	Draft: RMK	Date: 05/06/20
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0	05/06/20	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

Civil Engineering Services

85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03888

603-772-4746  
FAX: 603-772-0227  
E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	<b>GRADING PLAN</b>
Project:	<b>PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA</b>
Owner of Record:	340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

DRAWING No.

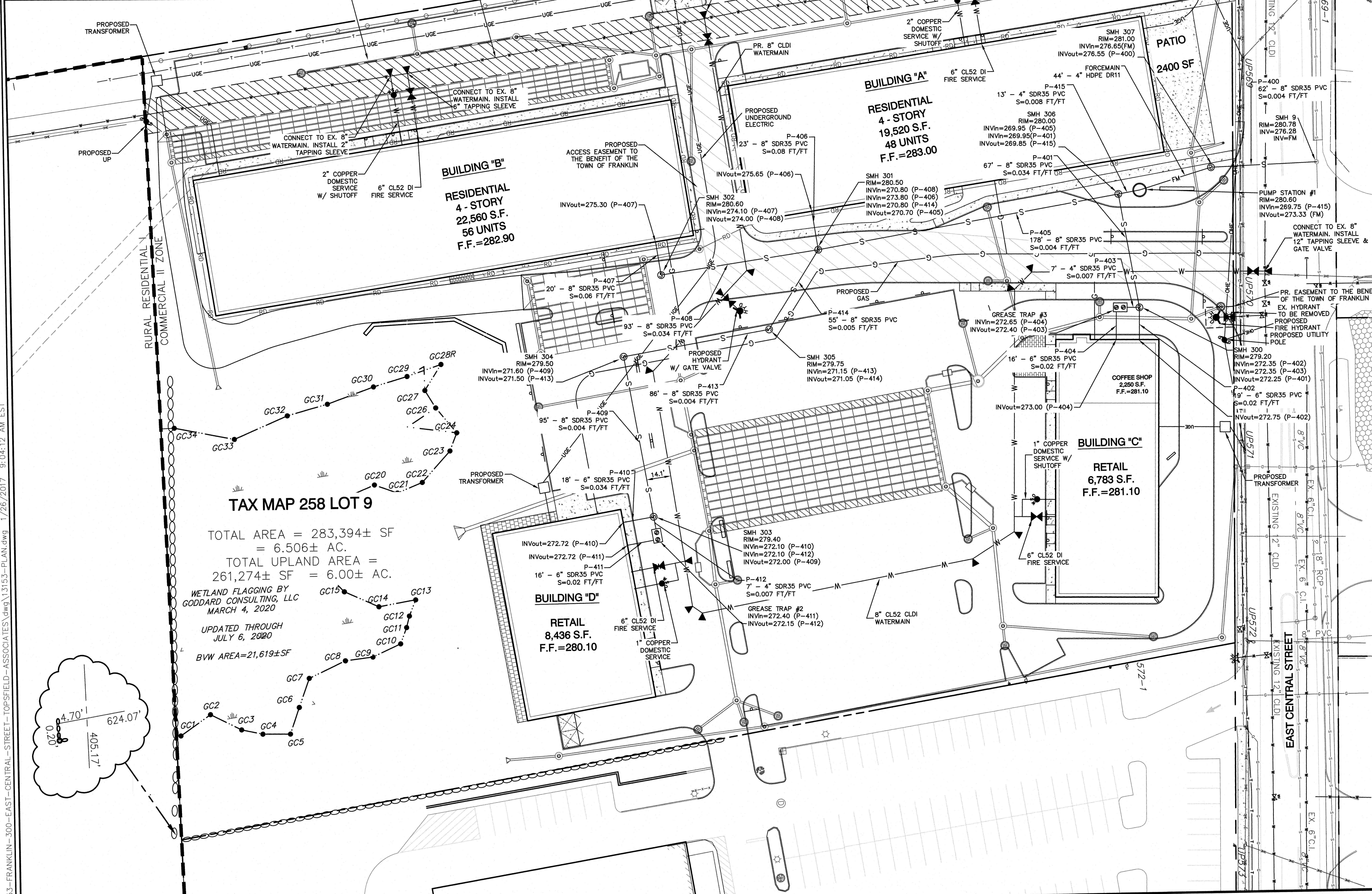
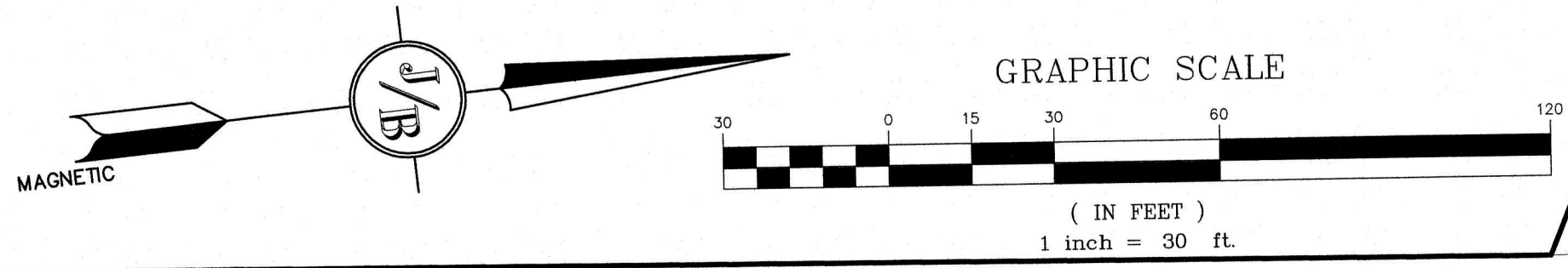
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SHEET 6 OF 19  
JBE PROJECT NO. 13153



APPROVED - FRANKLIN, MA  
PLANNING BOARD

DATE:



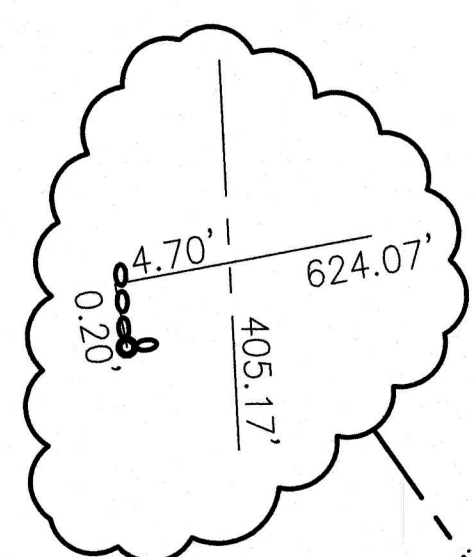
**TAX MAP 258 LOT 9**

TOTAL AREA = 283,394± SF  
= 6.506± AC.  
TOTAL UPLAND AREA =  
261,274± SF = 6.00± AC.

WETLAND FLAGGING BY  
GODDARD CONSULTING, LLC  
MARCH 4, 2020

UPDATED THROUGH  
JULY 6, 2020

BVW AREA=21,619±SF



**UTILITY NOTES:**

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND MASSDEP STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDINGS TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
- CONTRACTOR TO PROVIDE UNDERDRAIN, AS NECESSARY, AT DISCRETION OF THE PROJECT ENGINEER.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELVE AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELVE SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H2O LOADS.
- CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
- PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
- WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATER MAINS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATER MAINS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
- ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- IF THE BUILDING IS REQUIRED TO HAVE A SPRINKLER SYSTEM, A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- REFER TO FIRE PROTECTION SHEETS OF THE ARCHITECTURAL PLANS FOR LOCATION AND DETAIL OF FIRE LINE LEAD IN TO BUILDING.
- FIRE LINE SHALL BE STUBBED UP 1" ABOVE FINISH FLOOR ELEVATION IN SPRINKLER ROOM.
- AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 101 LIFE SAFETY CODE AFFA 1 AND LOCAL REGULATIONS. FIRE DEPARTMENT CONNECTION SHALL BE FIELD VERIFIED BY LOCAL FIRE DEPARTMENT TO ENSURE OPTIMUM PLACEMENT.
- THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
- ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
- ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO MASSDEP SEWER SYSTEM EXTENSION AND CONNECTION FORM, 314 CMR 7.00.
- SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
- SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF 10-FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED.
- SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY IS TO REMAIN PRIVATE, HOWEVER, THE TOWN RESERVES THE RIGHT TO ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE).
- ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT.
- THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE TOWN SEWER DEPARTMENT.
- THE CONTRACTOR SHALL MAINTAIN WATER SERVICE TO USERS AT ALL TIMES. REQUIREMENTS BY THE TOWN WATER DEPARTMENT REGARDING NOTIFICATION FOR INTERRUPTION OF SERVICE SHOULD BE INCLUDED (TYPICALLY 24 HOURS) AND ALLOWABLE INTERRUPTION DURATION, WATER TESTING AND DISINFECTION REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH TOWN AND MASSDEP REGULATIONS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- ALL WATER AND SEWER INSTALLATION ARE TO BE DONE IN ACCORDANCE WITH TOWN OF FRANKLIN REGULATIONS.
- MECHANICALS ON TOP OF THE COMMERCIAL BUILDINGS WILL BE SCREENED.
- ALL WATER AND SEWER UTILITY INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF FRANKLIN DEPARTMENT OF PUBLIC WORKS STANDARDS FOR SEWER AND WATER MATERIALS AND INSTALLATION.

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Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	<b>UTILITY PLAN</b>
Project:	PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA
Owner of Record:	340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

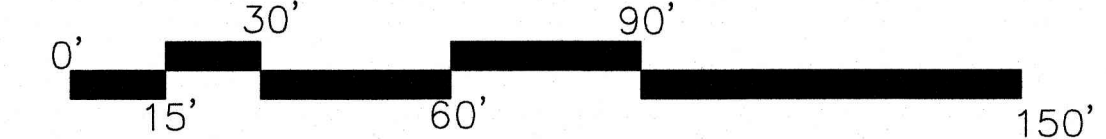
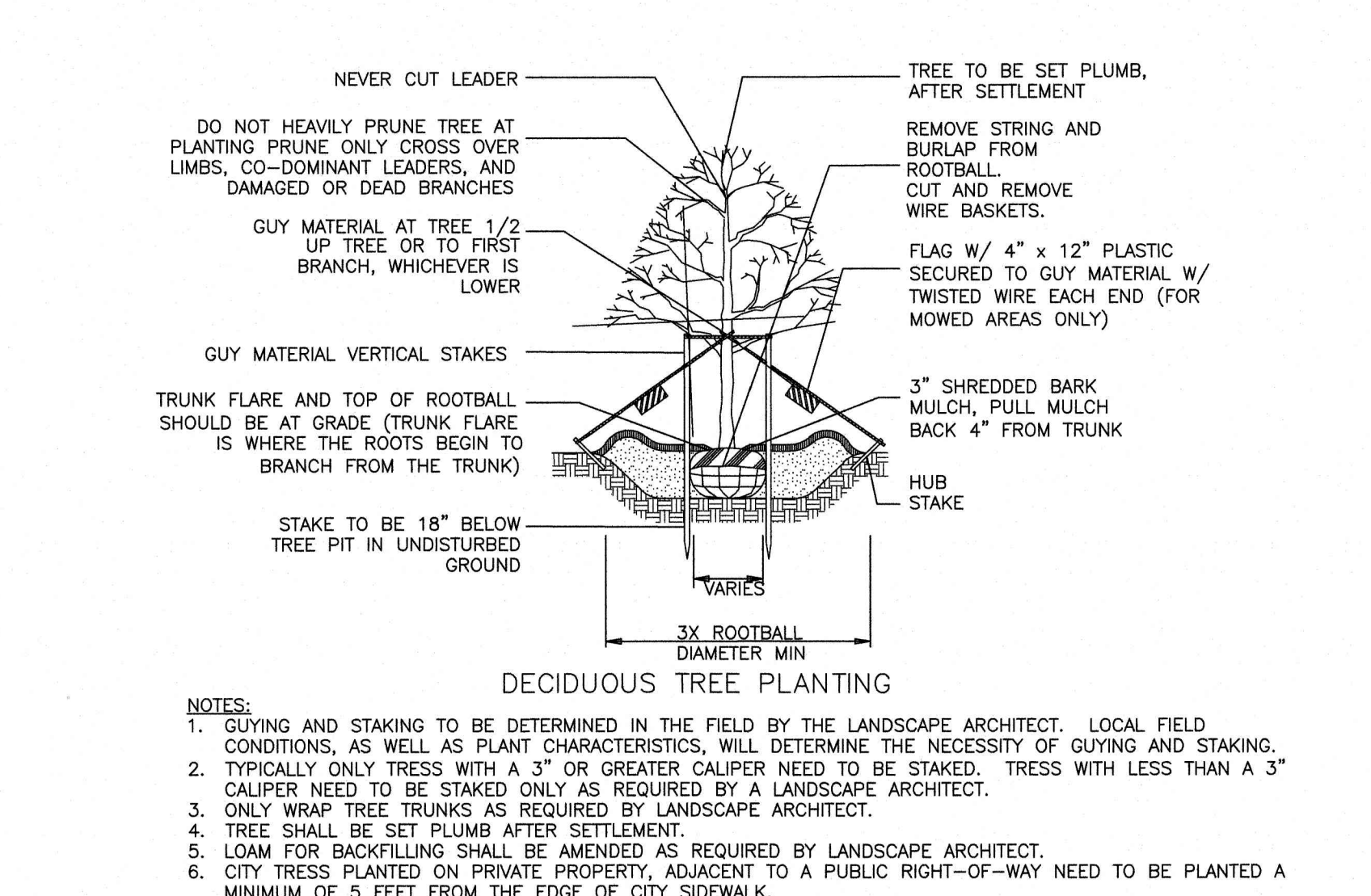
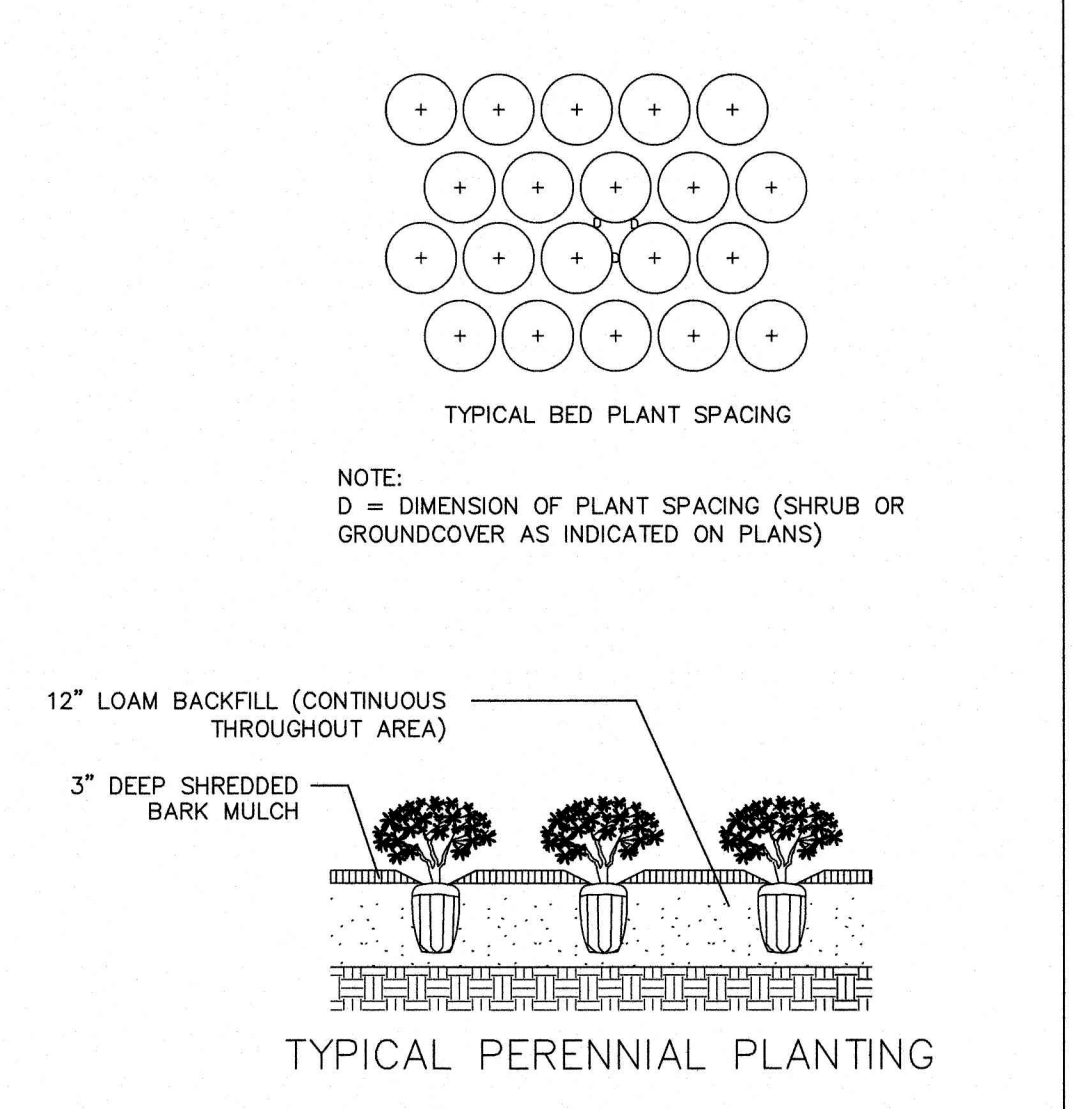
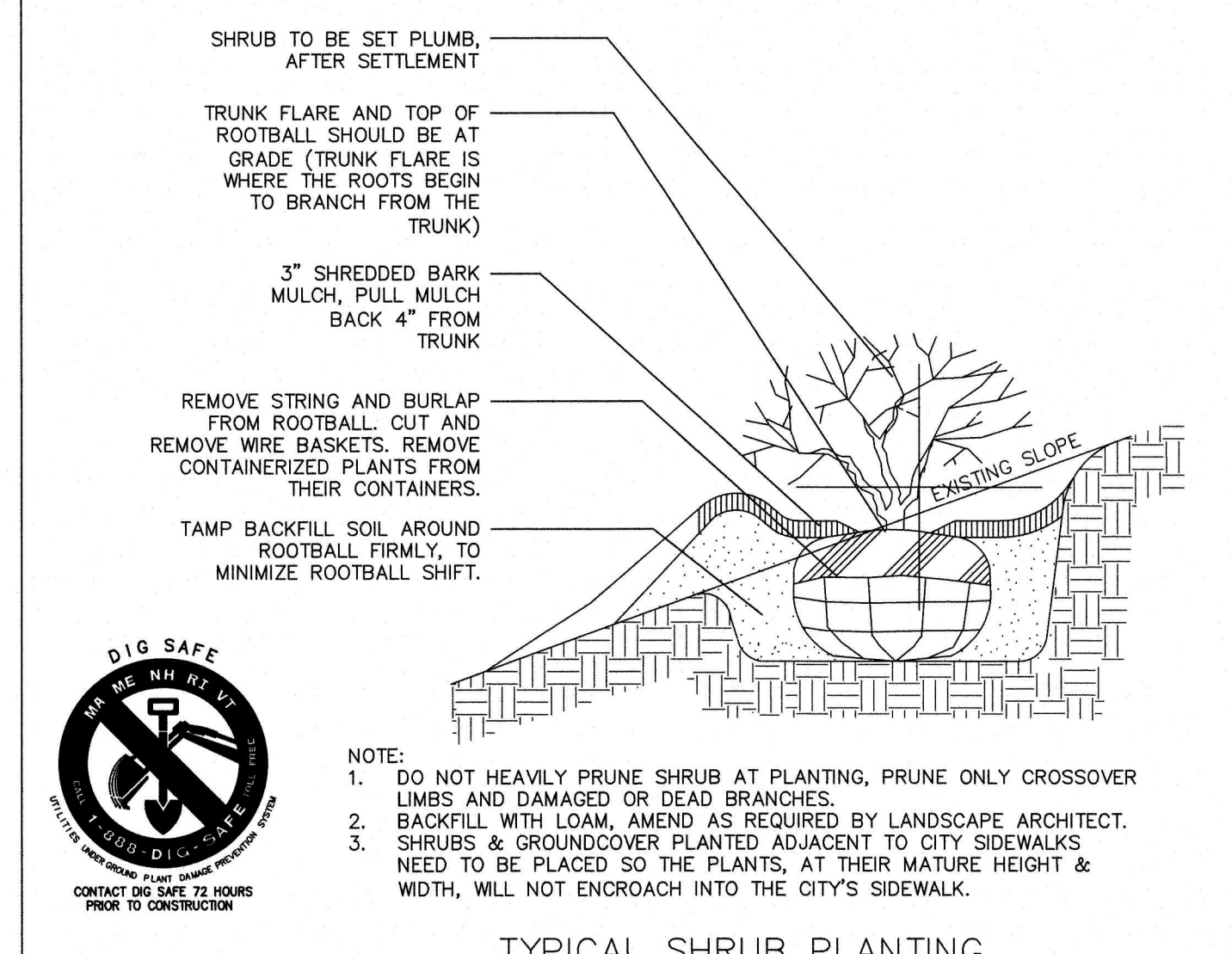
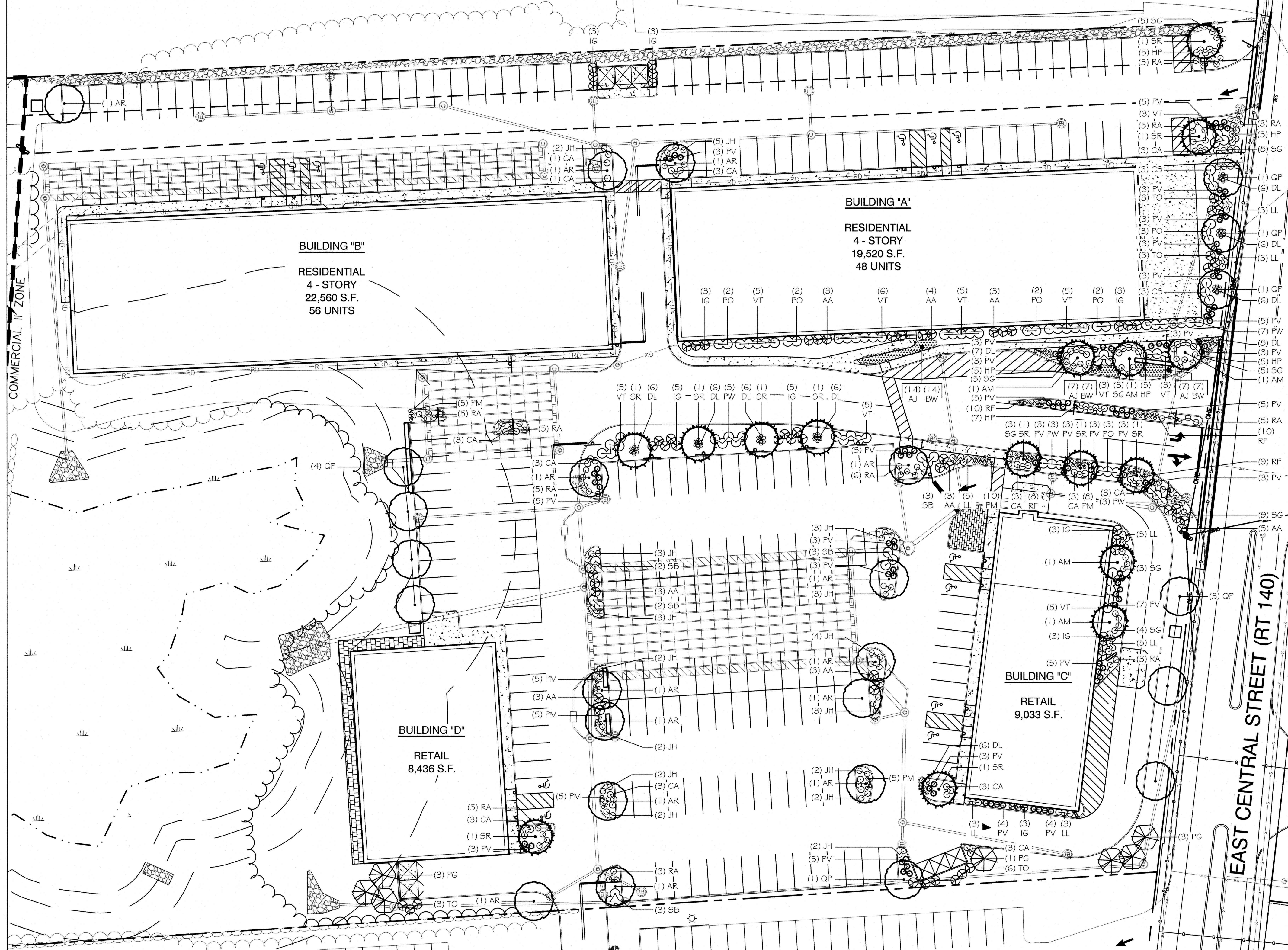
DRAWING No.  
**C4**  
SHEET 7 OF 19  
JBE PROJECT NO. 13153



- GENERAL NOTES:**
1. BASE PLAN DEVELOPED FROM INFORMATION PROVIDED BY JONES & BEACH ENGINEERS, INC., DRAWING TITLE, "SITE PLAN, PROPOSED CENTRAL SQUARE, 340 E CENTRAL STREET, FRANKLIN, MA" DATED 01-23-20.
  2. VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION. VERIFY FIELD CONDITIONS RELATING TO WORK TO BE INSTALLED. NOTIFY LANDSCAPE ARCHITECT OF ANY UNUSUAL OR DIFFICULT CONDITIONS IN A TIMELY FASHION PRIOR TO CONSTRUCTION CONCERNING THE CONDITION IN QUESTION.
  3. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF FRANKLIN AND STATE OF MASSACHUSETTS. NOTIFY APPROPRIATE AGENCIES AT LEAST 48 HOURS PRIOR TO PERFORMING THE WORK UNDER THEIR JURISDICTION.
  4. CONTRACTOR IS RESPONSIBLE FOR SECURING AND PAYING FOR ALL CONSTRUCTION PERMITS AND LICENSES REQUIRED TO COMPLETE SITE WORK. CONTRACTOR IS RESPONSIBLE FOR ALL APPROPRIATE INSPECTIONS OF HIS/HER WORK.
  5. ALL WORK SHALL BE OF WORKMANLIKE QUALITY AND IN CONFORMANCE WITH ALL APPLICABLE CODES. CONTRACTOR SHALL READ ALL ZONING AND ENVIRONMENTAL PERMITS WHICH PERTAIN TO THE PROJECT AND SHALL COMPLY WITH ALL THE CONDITIONS THEREIN.
  6. NOTIFY LANDSCAPE ARCHITECT AT LEAST 72 HOURS PRIOR TO ANY ROUTINE REQUIRED FIELD OBSERVATION. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF THE LAYOUT OF ALL IMPROVEMENTS PRIOR TO CONSTRUCTION.
  7. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE OR DISTURBANCE TO OTHER AREAS WHICH MAY OCCUR AS THE RESULT OF HIS/HER WORK, WHETHER WITHIN OR OUTSIDE OF THE CONTRACT LIMIT LINES.
  8. CONSTRUCTION SHALL FOLLOW THE SEQUENCES AND CONDITIONS ESTABLISHED IN THE SPECIFICATIONS AND PERMITS.
  9. IT IS INTENDED THAT THE WORK BE EXECUTED IN ACCORDANCE WITH THE BEST CUSTOMARY BUILDING PRACTICES. IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST-CLASS WORK OR IF ERRORS, CONFLICTS OR DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS, INFORM THE LANDSCAPE ARCHITECT IMMEDIATELY AND REQUEST INTERPRETATION BEFORE PROCEEDING WITH THE WORK.
  10. IF CONTRACTOR FAILS TO MAKE SUCH A STATEMENT AND REQUEST, NO EXCUSE WILL THEREAFTER BE ENTERTAINED, NOR ADDITIONAL EXPENSE BE ACCEPTED, FOR FAILURE TO CARRY OUT WORK IN A SATISFACTORY MANNER. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, CONTRACTOR IS DEEMED TO HAVE ESTIMATED ON THE MORE EXPENSIVE WAY OF DOING WORK UNLESS HIS/HE SHE SHALL HAVE OBTAINED A WRITTEN DECISION, BEFORE SUBMITTING HIS BID, AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
  11. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS AND EQUIPMENT STORED AT SITE.
  12. EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY WORK.
  13. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
  14. VISIBLE EXISTING CONDITIONS WHERE FIELD LOCATED, AND UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. SITE SUBCONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, DIMENSIONS, AND GRADES. PRIOR TO START OF ANY FOUNDATION OR UTILITY WORK.
  15. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
  16. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TERRAIN PLANNING & DESIGN LLC, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR, ENGINEER OR LANDSCAPE ARCHITECT HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
  17. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
  18. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT. TERRAIN PLANNING & DESIGN LLC ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OF RECORD.
  19. TERRAIN PLANNING & DESIGN LLC ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
  20. BASE PREPARATION UNDER ALL HARD SURFACES TO BE COMPACTED TO 98% STANDARD PROCTOR DENSITY.
  21. SITE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE PRIOR TO ANY EXCAVATION, 1-888-DIG-SAFE.

- PLANTING NOTES:**
1. CONTRACTOR SHALL OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PURCHASING AND/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
  2. CONSTRUCTION ACCESS WILL BE AS DIRECTED BY LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
  3. LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY LANDSCAPE ARCHITECT ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
  4. CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
  5. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE LANDSCAPE ARCHITECT. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY LANDSCAPE ARCHITECT.
  6. ALL BEDS TO BE MULCHED WITH 4" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.
  7. CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.
  8. THE MAJORITY OF PLANTINGS SHALL COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK.

Plant Schedule					
Botanical Name / Common Name	Size	Label	Quantity	Mature Height	
<b>Trees</b>					
<i>Acer rubrum</i> 'October Glory' / October Glory Red Maple	2-2.5" CAL.	AR	14	40-60'	
<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	2-2.5" CAL.	AM	5	20-30'	
<i>Picea glauca</i> / White Spruce	5-6" B&B	PG	7	40-60'	
<i>Quercus palustris</i> / Pin Oak	2-2.5" CAL.	QP	11	60'+	
<i>Syringa reticulata</i> / Japanese Lilac Tree	2-2.5" CAL.	SR	11	20-30'	
<i>Thuja occidentalis</i> 'Smaragd' / Emerald Green Arborvitae	4-5" B&B	TO	15	15-20'	
<b>Shrubs</b>					
<i>Azalea atlanticum</i> 'Marydel' / Marydel Azalea	#3 Gal.	AA	27	4-5'	
<i>Clethra alnifolia</i> 'Compacta' / Compact Summersweet	#3 Gal.	CA	35	3-4'	
<i>Cornus sericea</i> 'Arctic Fire' / Arctic Fire Red-Osier Dogwood	#5 Gal.	CS	6	5-6'	
<i>Hydrangea paniculata</i> 'Bobo' / Bobo Panicle Hydrangea	#3 Gal.	HP	32	2-3'	
<i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Panicle Hydrangea	#3 Gal.	LL	27	3-4'	
<i>Hydrangea paniculata</i> 'Pinky Winky' / Pinky Winky Panicle Hydrangea	#5 Gal.	PW	18	6-8'	
<i>Ilex glabra</i> 'Compacta' / Compact Inkberry	#5 Gal.	IG	31	5-6'	
<i>Physocarpus opulifolius</i> 'Amber Jubilee' / Amber Jubilee Ninebark	#5 Gal.	PO	14	5-6'	
<i>Spiraea bumalda</i> 'Anthony Waterer' / Anthony Waterer Spiraea	#3 Gal.	SB	13	3-4'	
<i>Spiraea bumalda</i> 'Goldflame' / Goldflame Spiraea	#3 Gal.	SG	40	2-3'	
<i>Viburnum trilobum</i> 'Compacta' / Compact American Cranberry Viburnum	#5 Gal.	VT	45	5-6'	
<b>Grasses</b>					
<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	#2 Gal.	PV	109	3-4'	
<b>Perennials</b>					
<i>Hemerocallis</i> 'Happy Returns' / Happy Returns Daylily	#1 Gal.	DL	63	18-24"	
<i>Hemerocallis</i> 'Pardon Me' / Pardon Me Daylily	#1 Gal.	PM	43	18-24"	
<i>Nepeta</i> 'Blue Wonder' / Blue Wonder Catmint	#1 Gal.	BW	28	12"	
<i>Rudbeckia fulgida</i> 'Goldsturm' / Goldsturm Black-Eyed Susan	#1 Gal.	RF	37	2'	
<i>Sedum spectabile</i> 'Autumn Joy' / Autumn Joy Stonecrop	#1 Gal.	AJ	28	18-24"	
<b>Groundcovers</b>					
<i>Juniperus horizontalis</i> 'Bar Harbor' / Bar Harbor Juniper	#1 Gal.	JH	40	6-12"	
<i>Rhus aromatica</i> 'Grow Low' / Grow Low Fragrant Sumac	#1 Gal.	RA	50	18-24"	



**terrain**  
planning & design llc

311 kast hill road  
hopkinton nh 03229  
603. 746. 3512  
terrainplanning.com

**PROPOSED  
CENTRAL SQUARE**

Site Location:  
340 E. Central Street  
Franklin, MA 02038  
Tax Map: 285  
Lot #: 9

Prepared For:  
Jones & Beach Engineering, Inc.  
85 Portsmouth Avenue  
Stratham, NH 03885

**LANDSCAPE  
PLAN**

DATE: 04-01-2020

SCALE: 1" = 30'

PROJECT #: 2016

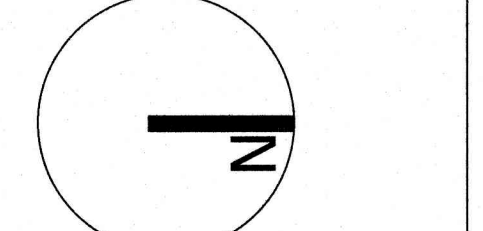
Drawn By: RNM

Checked By: ERB

REVISIONS:	DATE:
Revised per Client	06/10/2020
Revised per Client	06/22/2020
Revised per Client	07/30/2020

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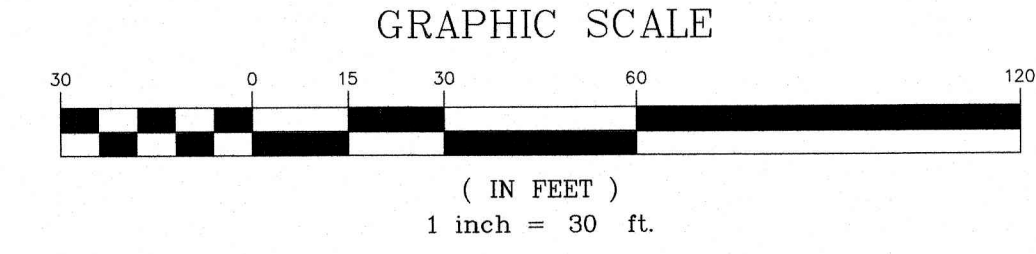
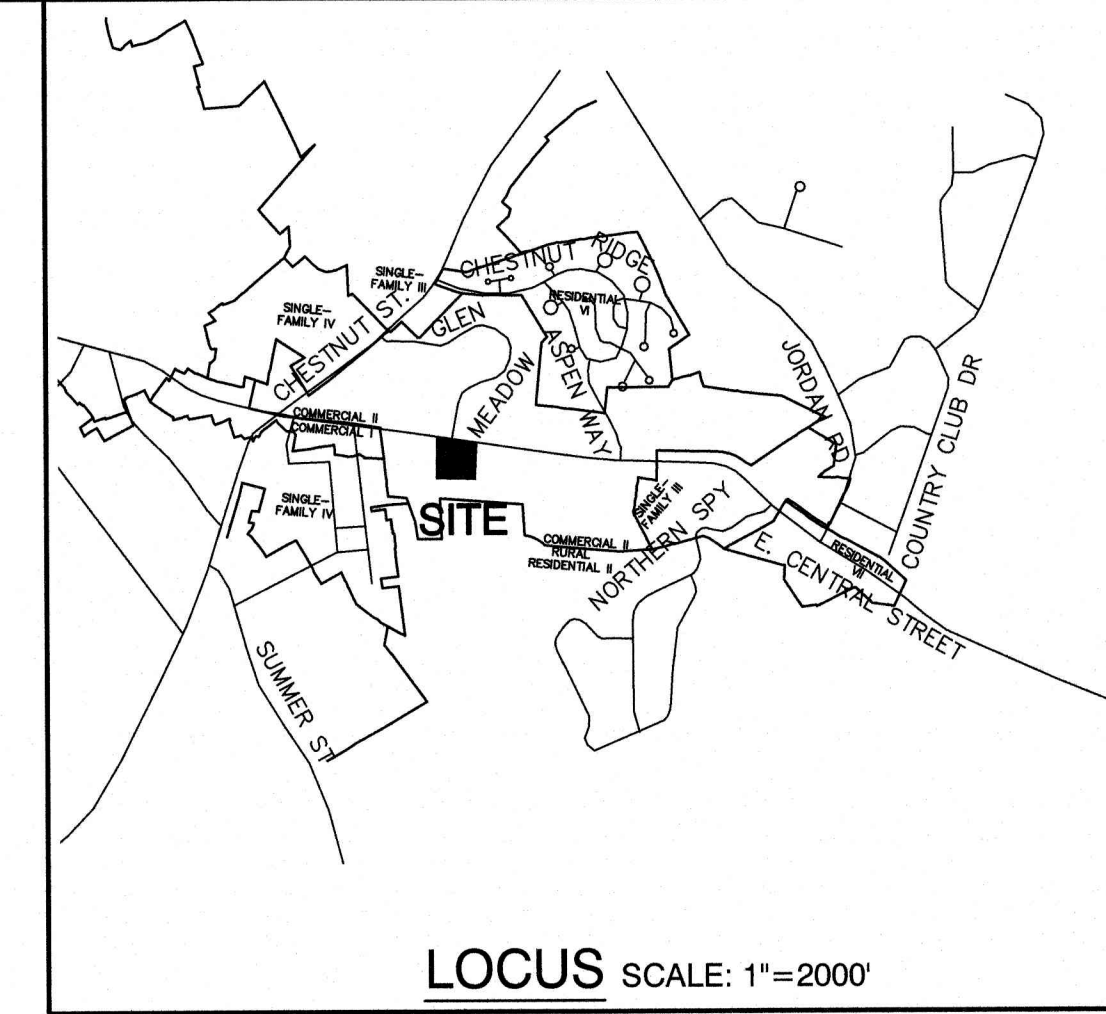
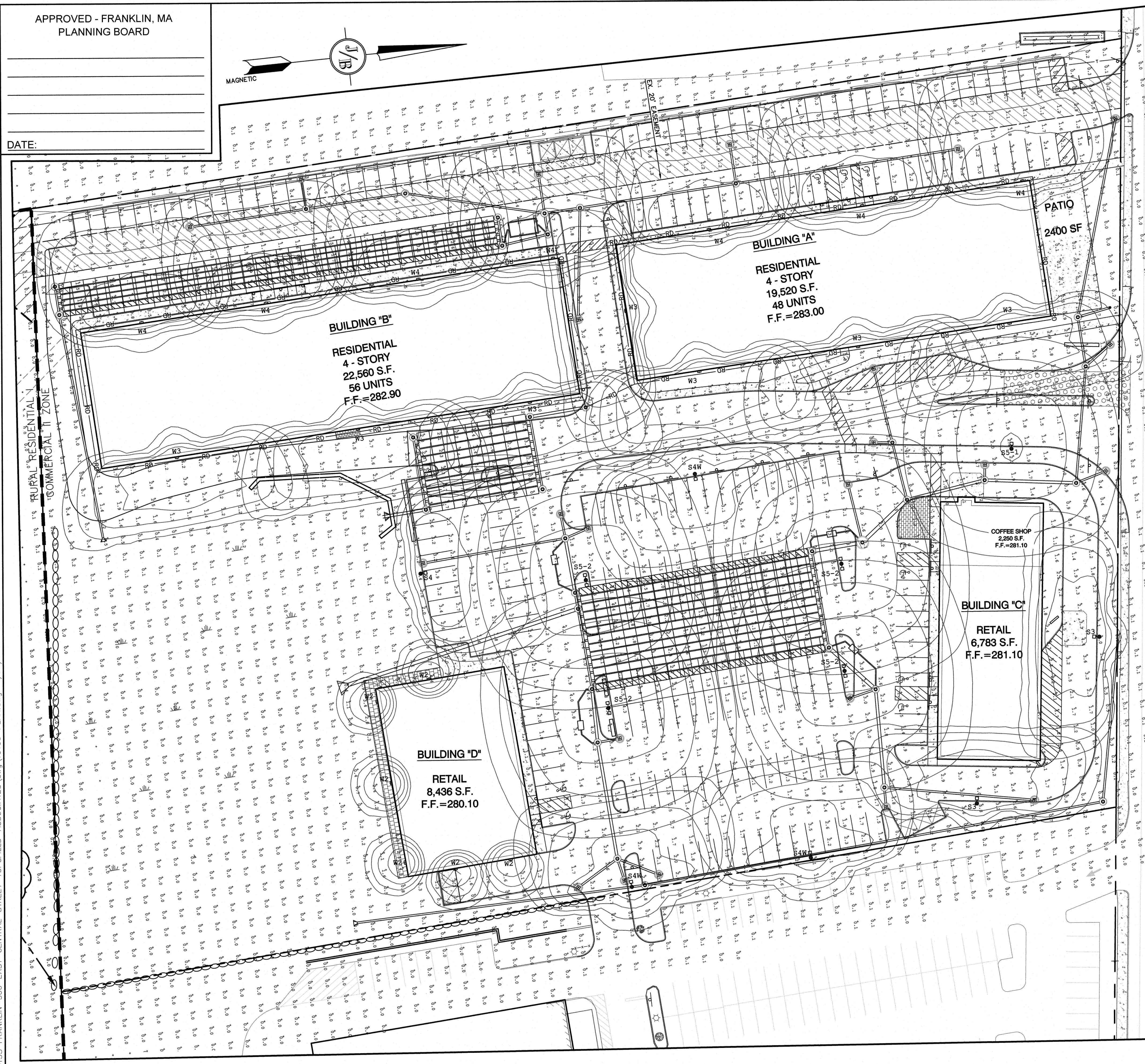
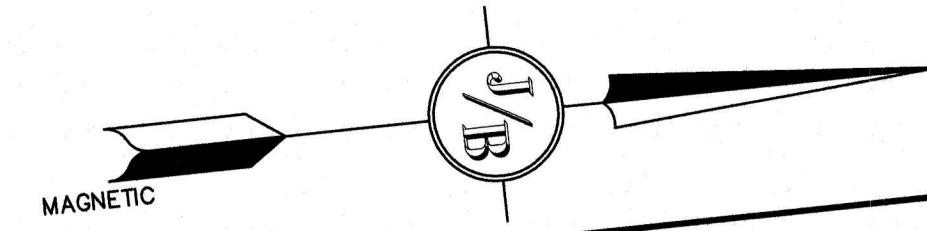
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APPROVED - FRANKLIN, MA  
PLANNING BOARD

DATE:



**LIGHTING AND ELECTRICAL NOTES:**

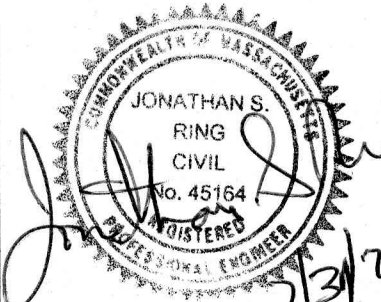
- SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
- CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO TOWN REGULATIONS.
- ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
- ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDELS.
- LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
- ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
- SEE DETAIL SHEET D3 FOR LIGHTING DETAILS.
- THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

StatArea 1 RESIDENTIAL PARKING LOTS Illuminance (Fc) Average = 1.54 Maximum = 4.1 Minimum = 0.3 Avg/Min Ratio = 5.13 Max/Min Ratio = 13.67	StatArea 2 RETAIL PARKING LOTS Illuminance (Fc) Average = 2.33 Maximum = 5.1 Minimum = 0.6 Avg/Min Ratio = 3.88 Max/Min Ratio = 8.50
StatArea 3 TRAVEL LANE OF RESIDENTIAL PARKING AREA Illuminance (Fc) Average = 1.43 Maximum = 2.5 Minimum = 0.8 Avg/Min Ratio = 1.79 Max/Min Ratio = 3.13	

Symbol	Qty	Label	Arrangement	Description
[Symbol]	2	S3	SINGLE	GLEON-AF-02-LED-E1-SL3/ SSS4A20SFN1 (20' AFG)
[Symbol]	1	S4	SINGLE	GLEON-AF-02-LED-E1-SL4/ SSS4A20SFN1 (20' AFG)
[Symbol]	3	S4W	SINGLE	GLEON-AF-02-LED-E1-T4W/ SSS4A20SFN1 (20' AFG)
[Symbol]	1	S5-1	SINGLE	GLEON-AF-02-LED-E1-5WQ/ SSS4A20SFN1 (20' AFG)
[Symbol]	4	S5-2	BACK-BACK	2-GLEON-AF-02-LED-E1-5WQ/ SSS4A20SFN2 (20' AFG)
[Symbol]	6	W2	SINGLE	XTOR16/ WAL MTD 12' AFG
[Symbol]	7	W3	SINGLE	GWC-AF-02-LED-E1-SL3/ WALL MTD 20' AFG
[Symbol]	7	W4	SINGLE	GWC-AF-02-LED-E1-SL4/ WALL MTD 20' AFG

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Design: WGM Draft: RMK Date: 05/06/20  
Checked: WGM Scale: AS-NOTED Project No.: 13153  
Drawing Name: 13153-PLAN.dwg  
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
1	07/31/20	REVISED PER REVIEW ENGINEER COMMENTS	EMP
0	05/06/20	ISSUED FOR REVIEW	EMP
			BY

Designed and Produced in NH

**J/B** Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **LIGHTING PLAN**

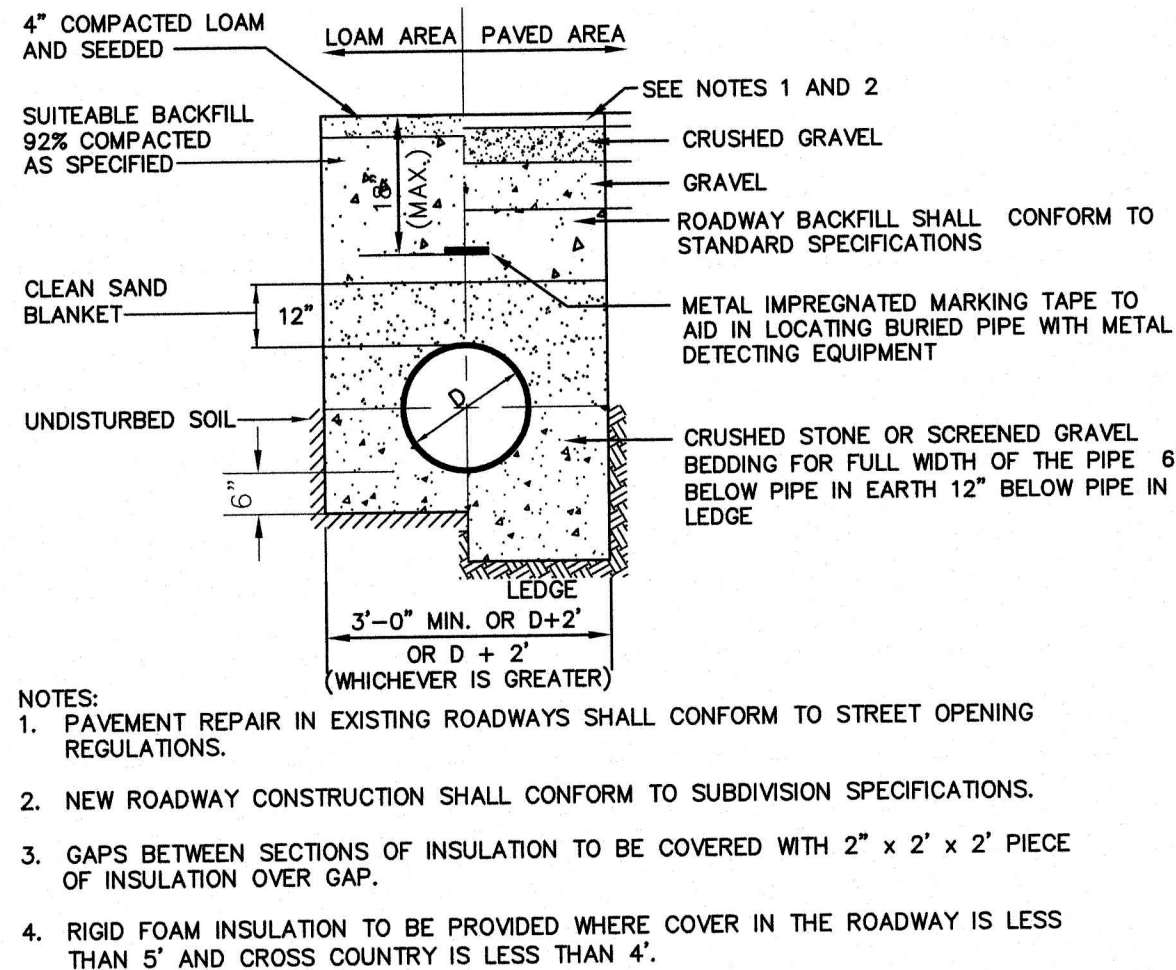
Project: **PROPOSED CENTRAL SQUARE  
340 E CENTRAL STREET, FRANKLIN, MA**

Owner of Record: 340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

DRAWING No. **L2**

SHEET 9 OF 19  
JBE PROJECT NO. 13153

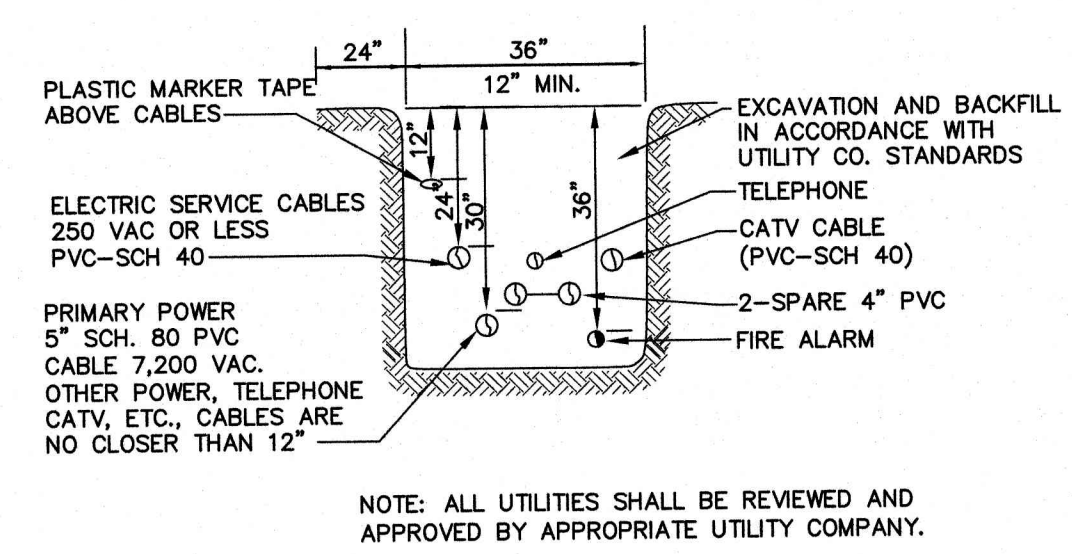




- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
  2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
  3. GAPS BETWEEN SECTIONS OF INSULATION TO BE COVERED WITH 2' x 2' x 2' PIECE OF INSULATION OVER GAP.
  4. RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 5' AND CROSS COUNTRY IS LESS THAN 4'.

**SEWER TRENCH**

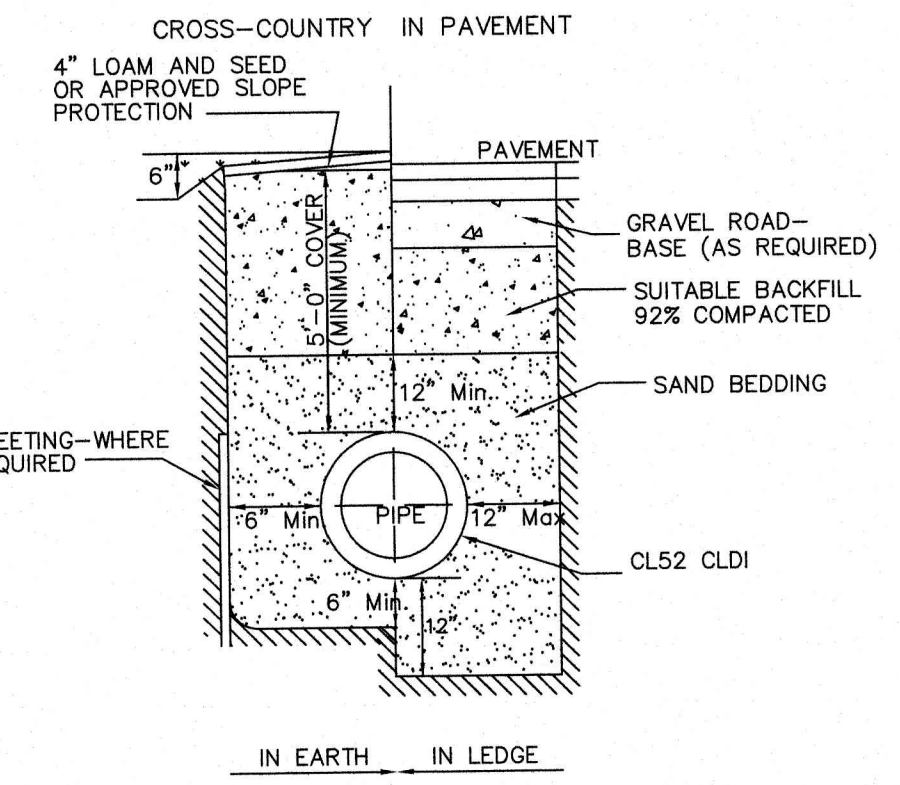
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NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

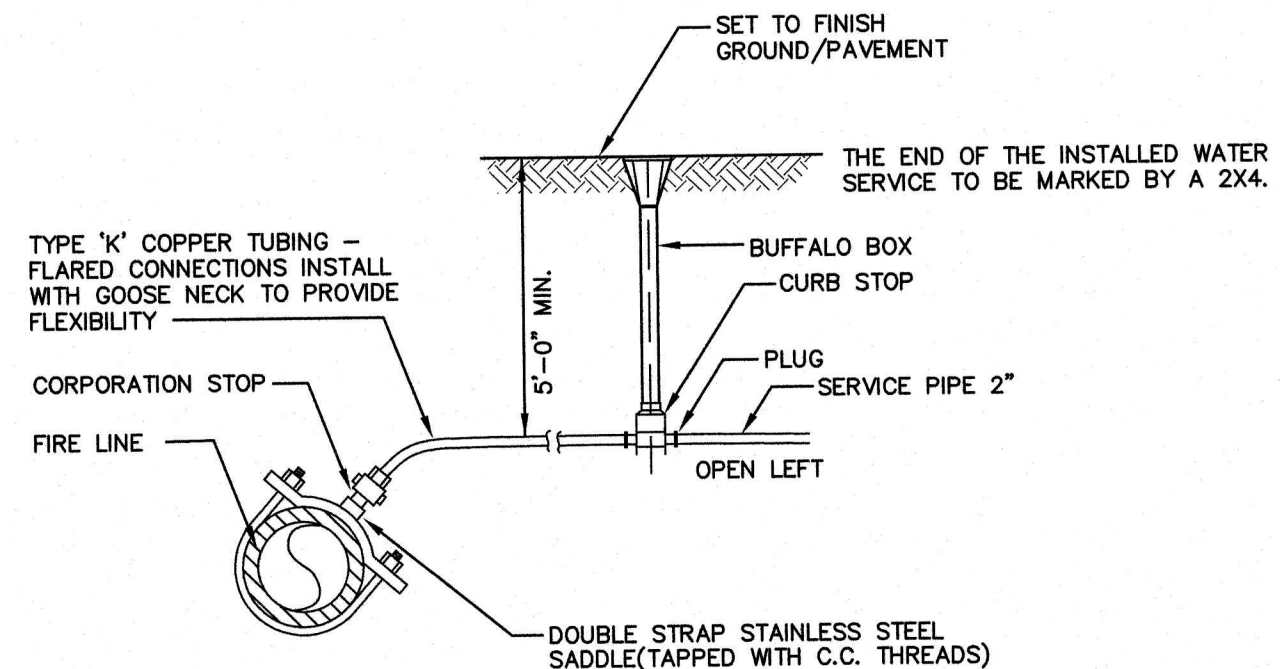
**UTILITY TRENCH DETAIL**

NOT TO SCALE



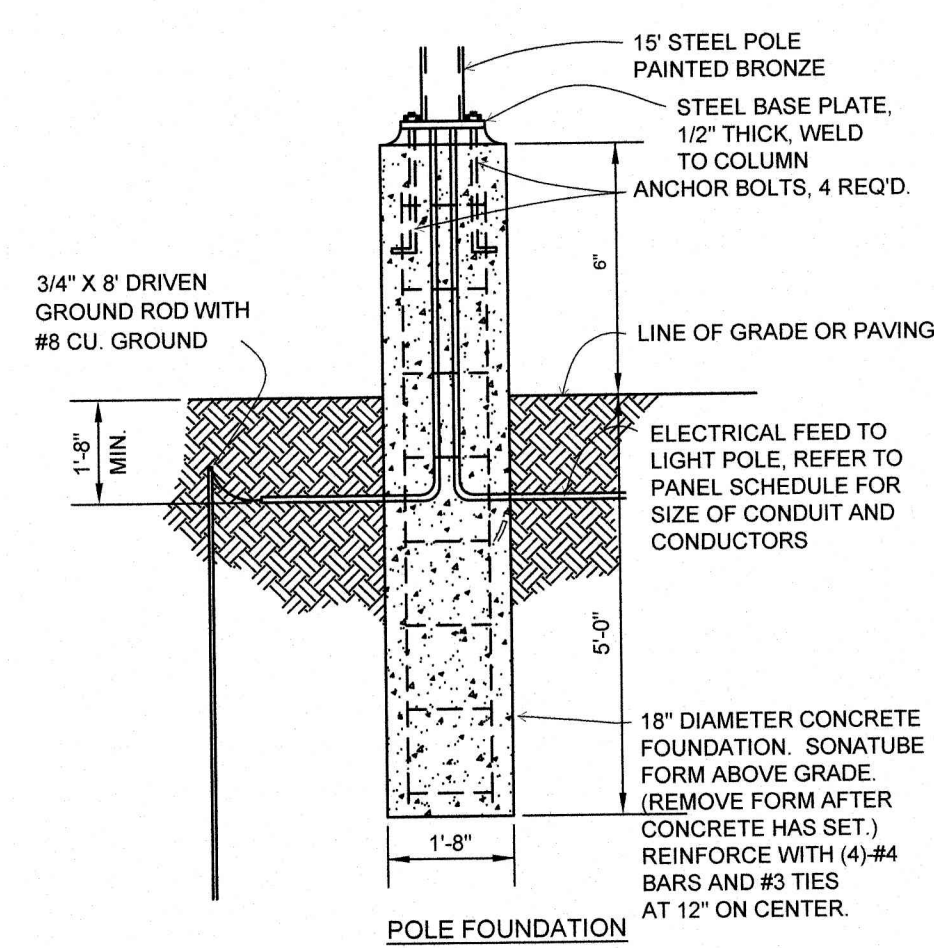
**WATER LINE TRENCH DETAIL (RETAIL FIRE LINE)**

NOT TO SCALE



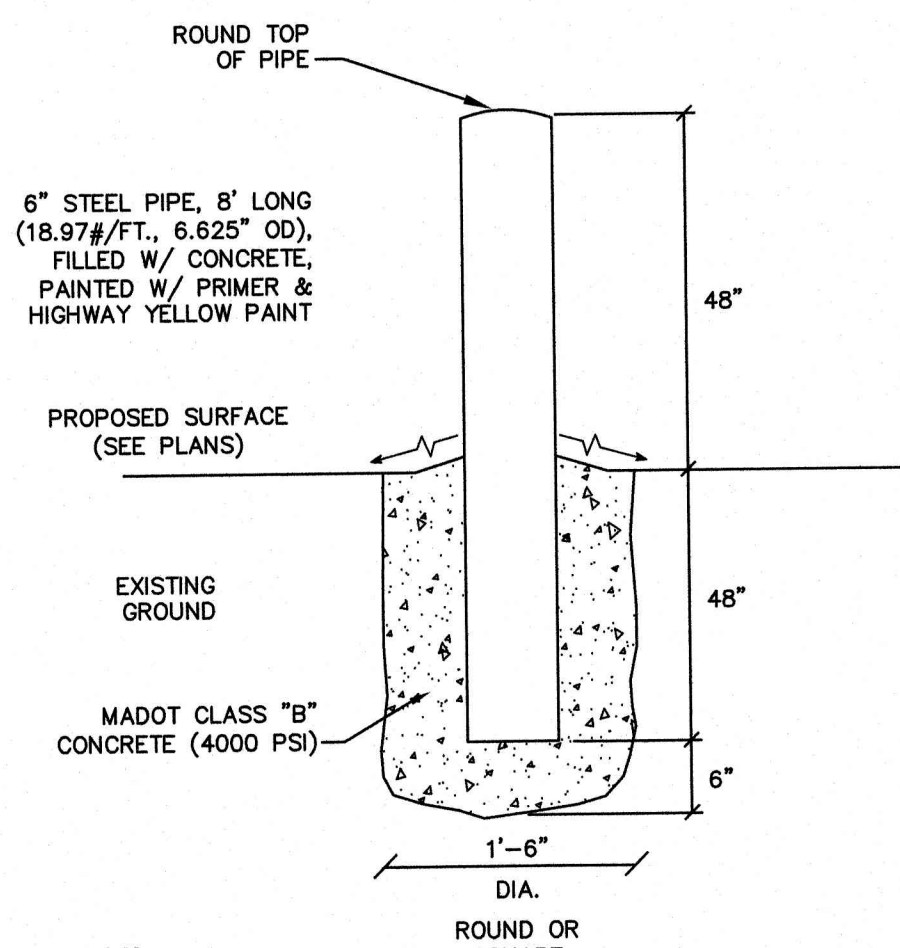
**WATER SERVICE CONNECTION (DOMESTIC)**

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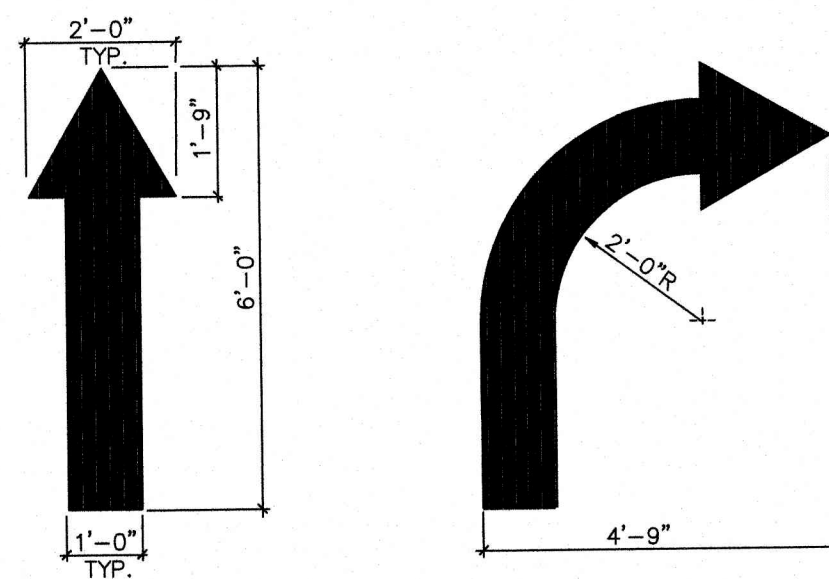
**PARKING LOT LIGHTPOLE BASE**

NOT TO SCALE



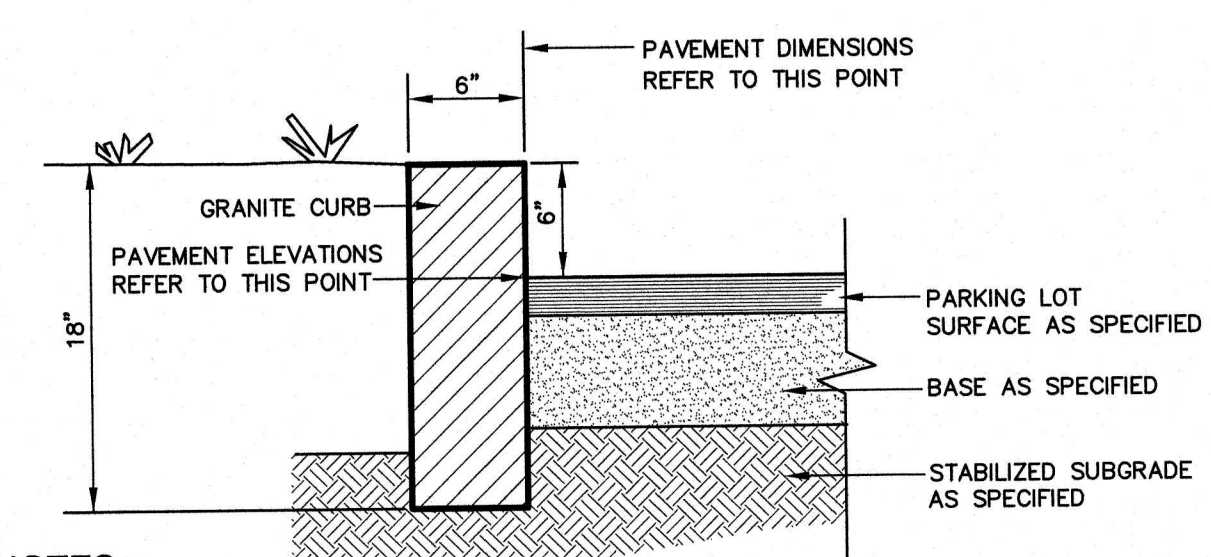
**BOLLARD DETAIL**

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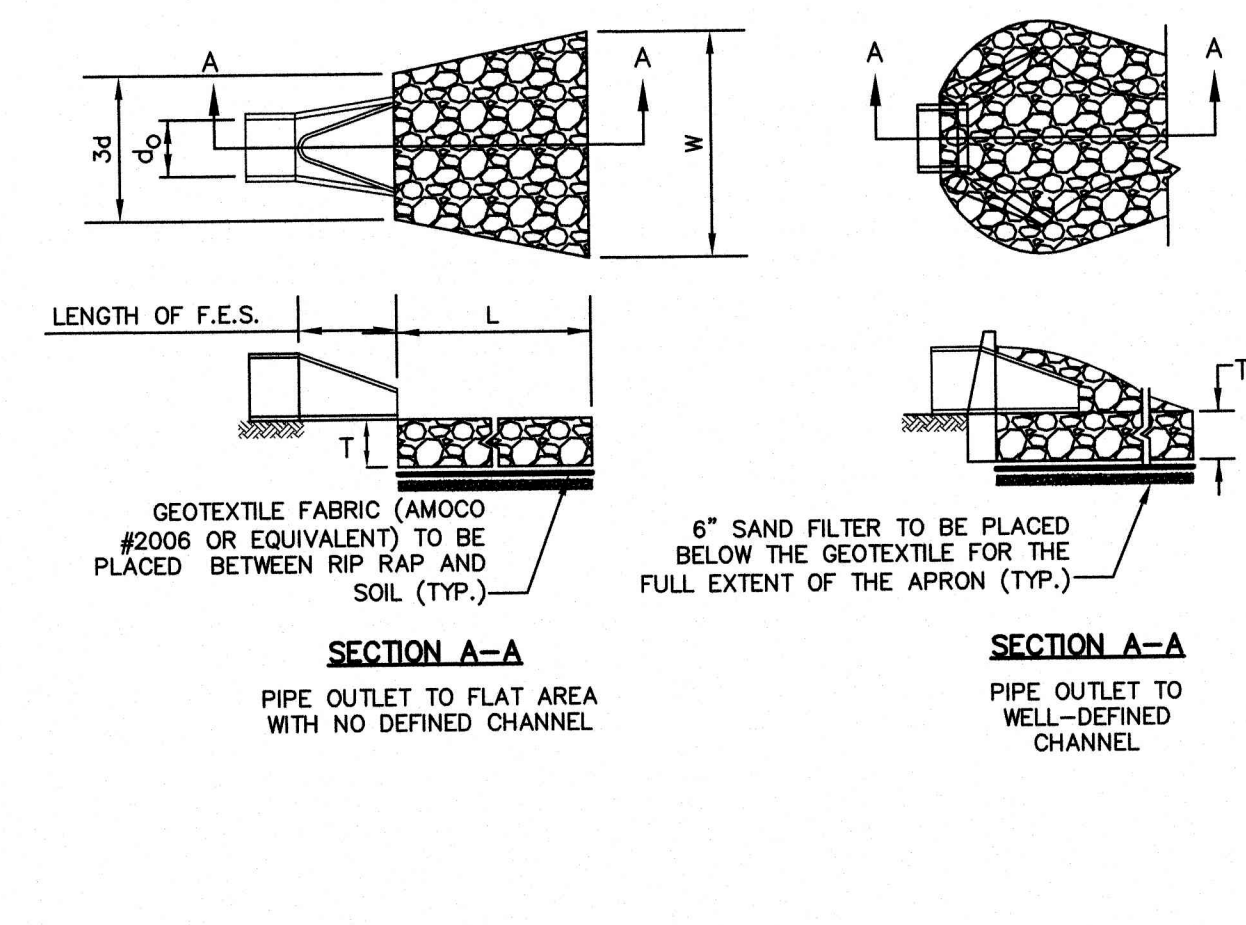
**PAINTED TRAFFIC ARROWS**

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**VERTICAL GRANITE CURB**

NOT TO SCALE



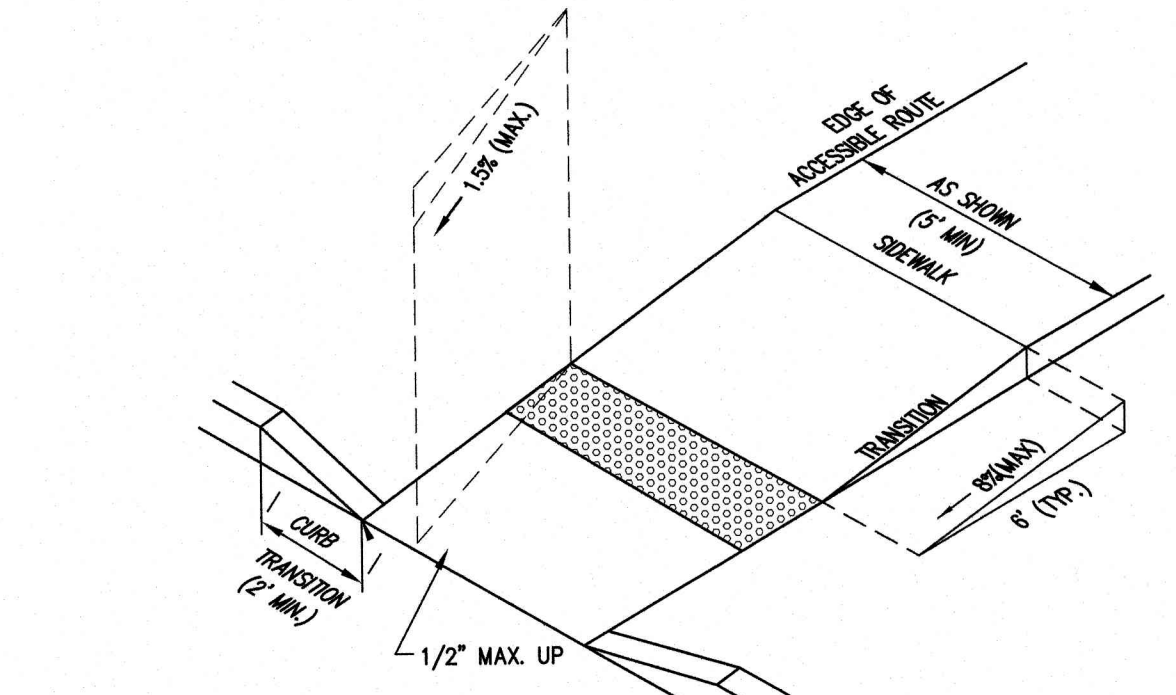
**RIP RAP OUTLET PROTECTION APRON**

NOT TO SCALE

- NOTES:
1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
  2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
  3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
  4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
  5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
  6. MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

**ACCESSIBLE CURB RAMP (TYPE 'B')**

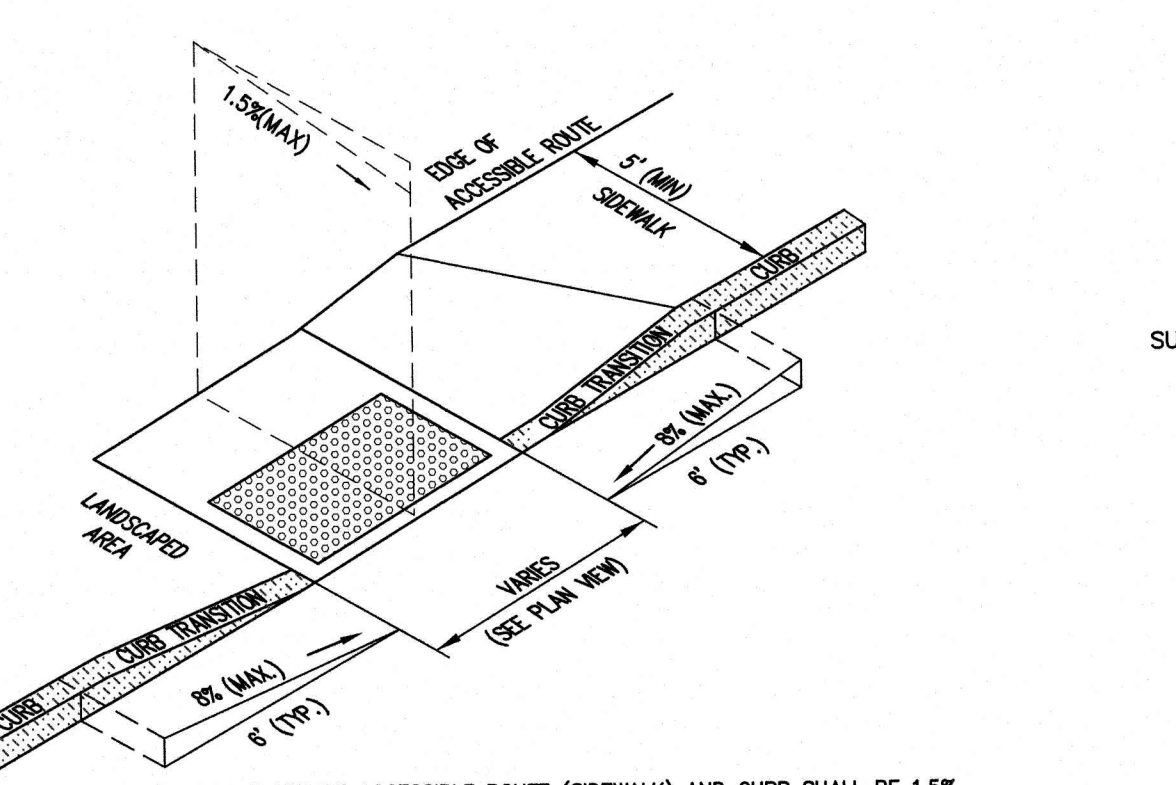
NOT TO SCALE



- NOTES:
1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 8%.
  4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.

**ACCESSIBLE CURB RAMP (TYPE 'A')**

NOT TO SCALE



- NOTES:
1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 8%.
  4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.

**ACCESSIBLE CURB RAMP (TYPE 'I')**

NOT TO SCALE

**TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES**

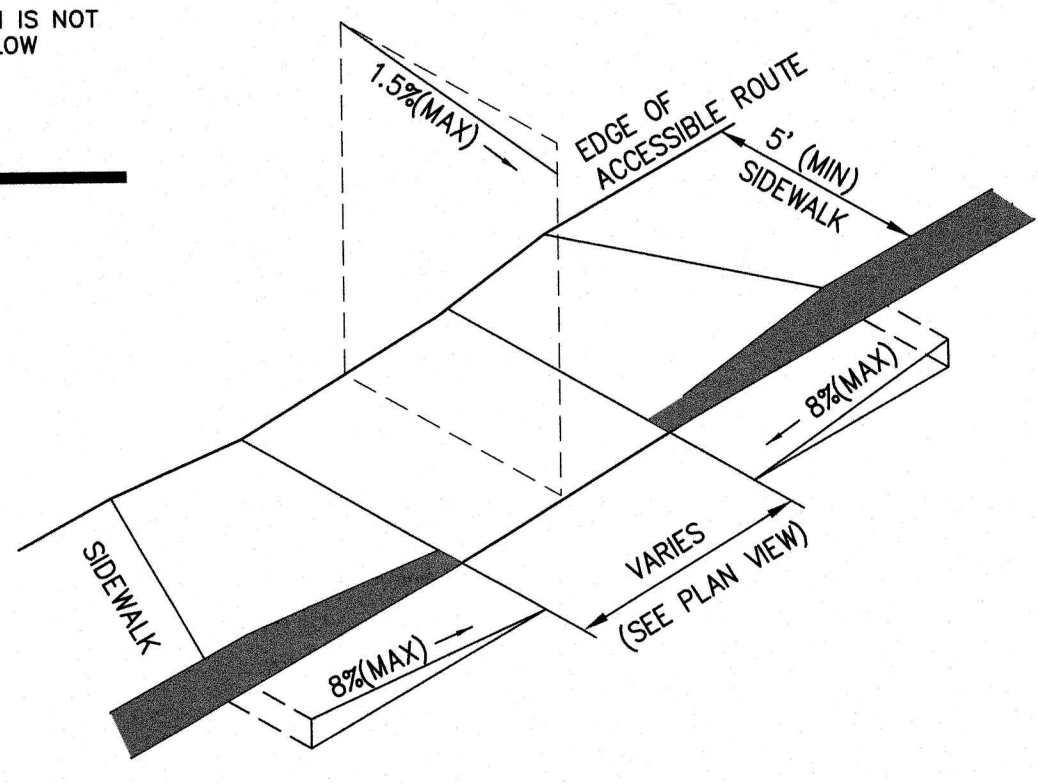
THICKNESS OF RIP RAP = 1.5 FEET

d50 SIZE=	0.50 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE		
100%	9	12
85%	8	11
50%	6	9
15%	2	3

**TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES**

THICKNESS OF RIP RAP = 3.0 FEET

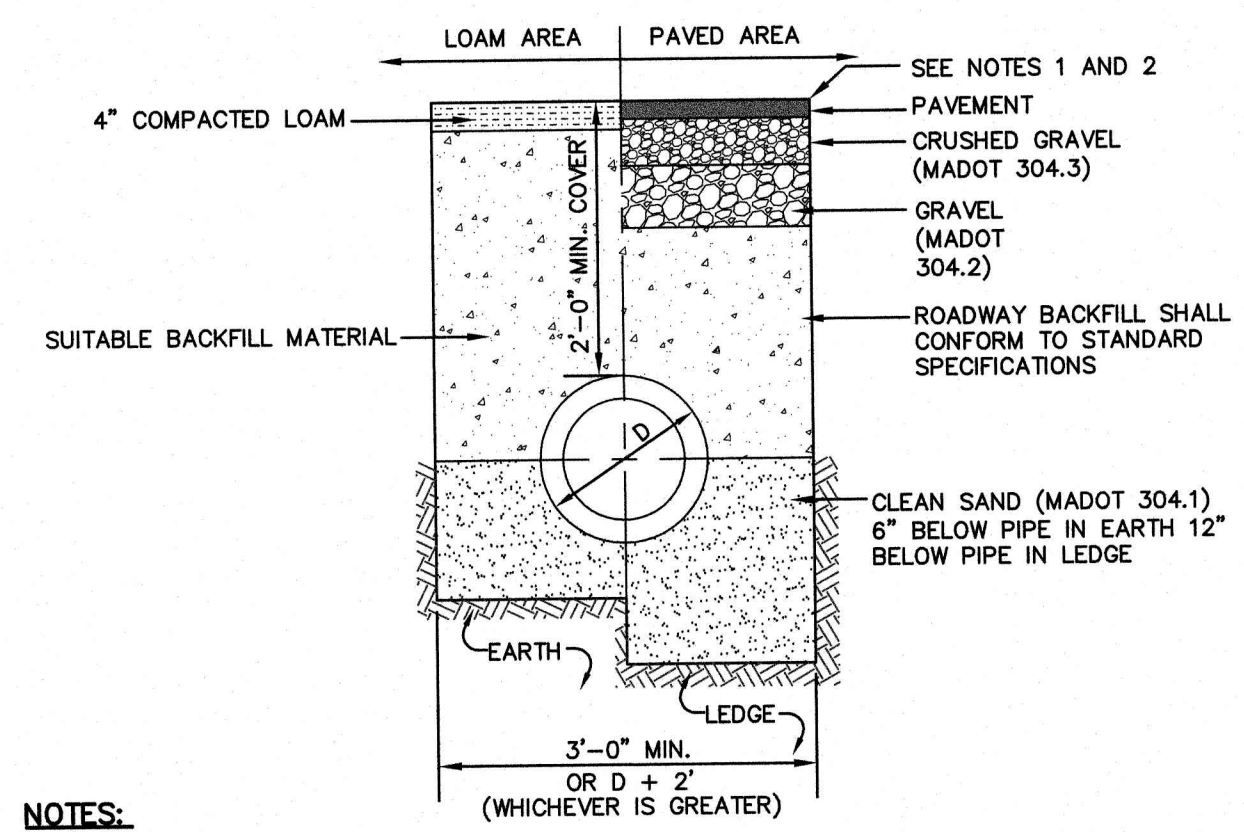
d50 SIZE=	0.50 FEET	12 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE		
100%	18	24
85%	16	22
50%	12	18
15%	4	6



- NOTES:
1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 8%.
  4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.

**ACCESSIBLE CURB RAMP (TYPE 'A')**

NOT TO SCALE



**DRAINAGE TRENCH**

NOT TO SCALE

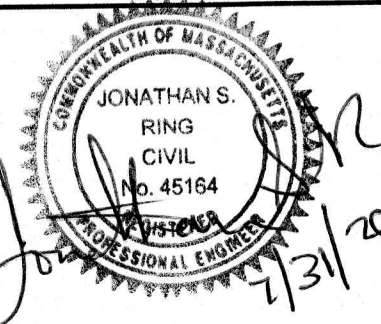
- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
  2. NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
  3. ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

APPROVED - FRANKLIN, MA  
PLANNING BOARD

DATE:

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Design: WGM	Draft: RMK	Date: 05/06/20
Checked: WGM	Scale: AS NOTED	Project No.: 13153
Drawing Name: 13153-PLAN.dwg		
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REV.	DATE	REVISION	BY
1	07/31/20	REVISED PER REVIEW ENGINEER COMMENTS	EMP
0	05/06/20	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

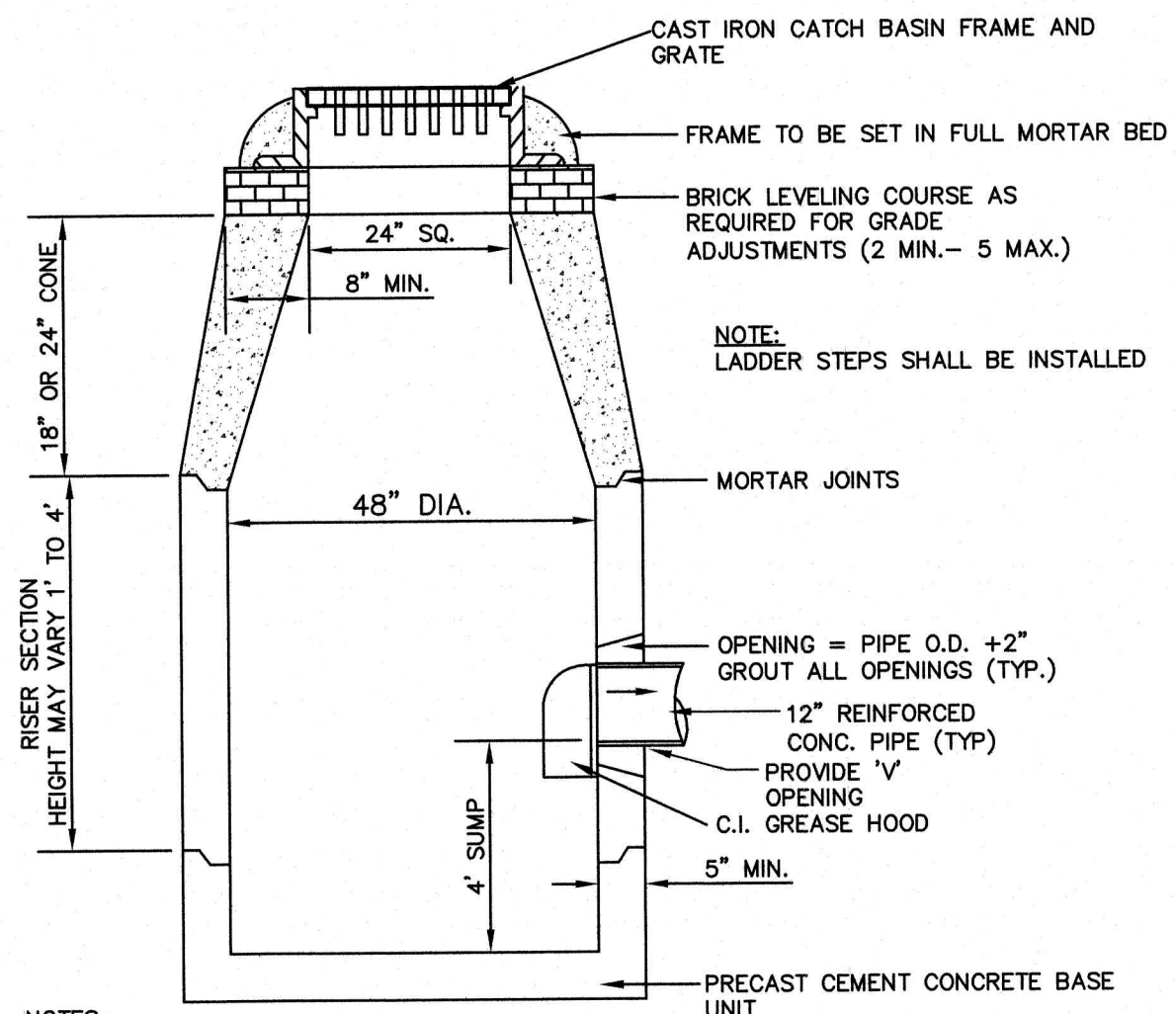
Plan Name:	<b>DETAIL SHEET</b>
Project:	PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA
Owner of Record:	340 EAST CENTRAL. EPK PROPERTIES, L.L.C. LAND COURT CERTIFICATE 190576

DRAWING No.

**D1**

SHEET 10 OF 19  
JBE PROJECT NO. 13153

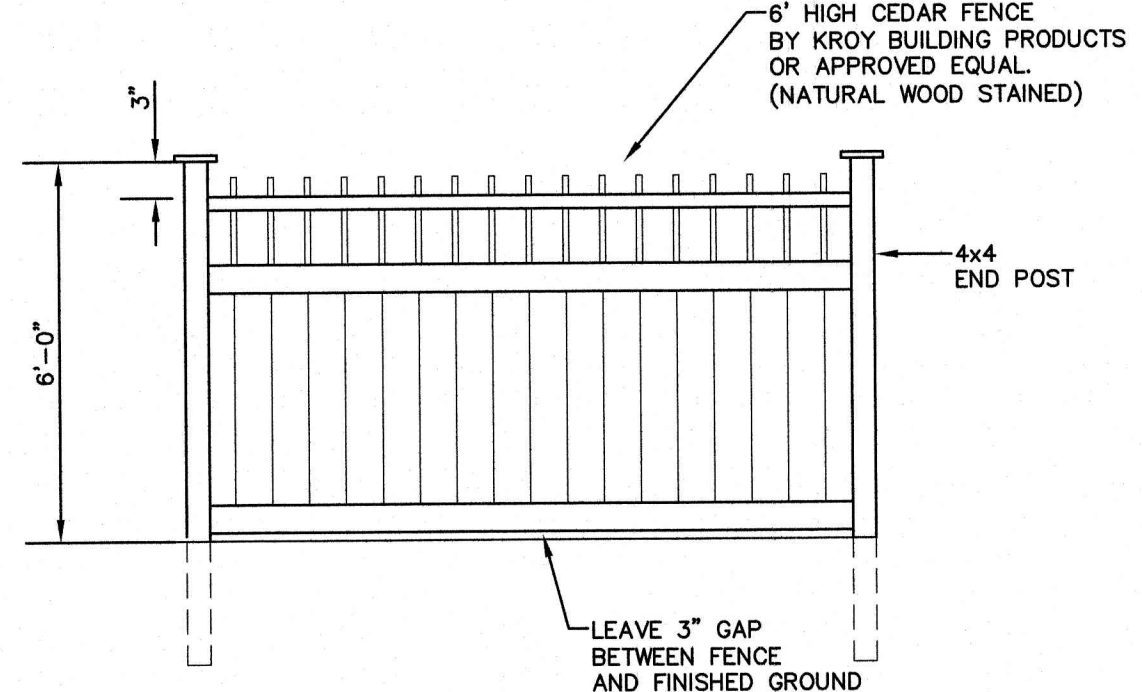




**NOTES:**  
 1. HOODS ARE NOT TO BE INSTALLED IN CATCH BASINS WITHIN THE STATE HIGHWAY LAYOUT.  
 2. MIN. 0.12 SQ. IN. STEEL PER VERTICAL FOOT, PLACED ACCORDING TO AASHTO DESIGNATION M-199.

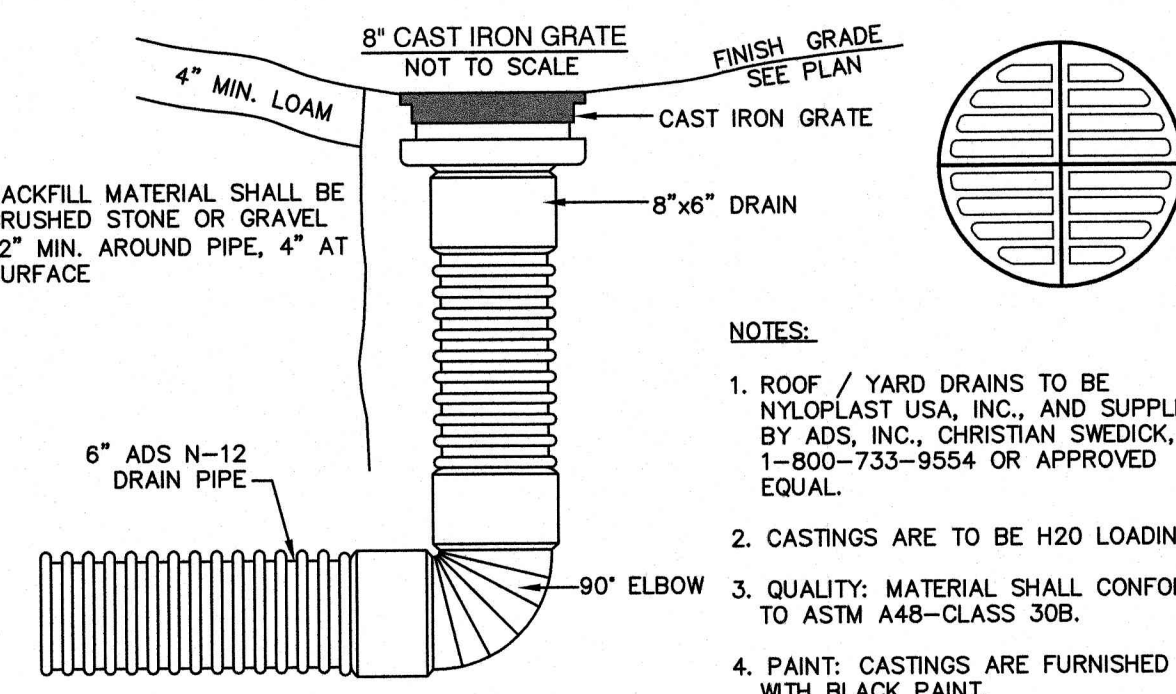
**CATCH BASIN (MA)**

NOT TO SCALE



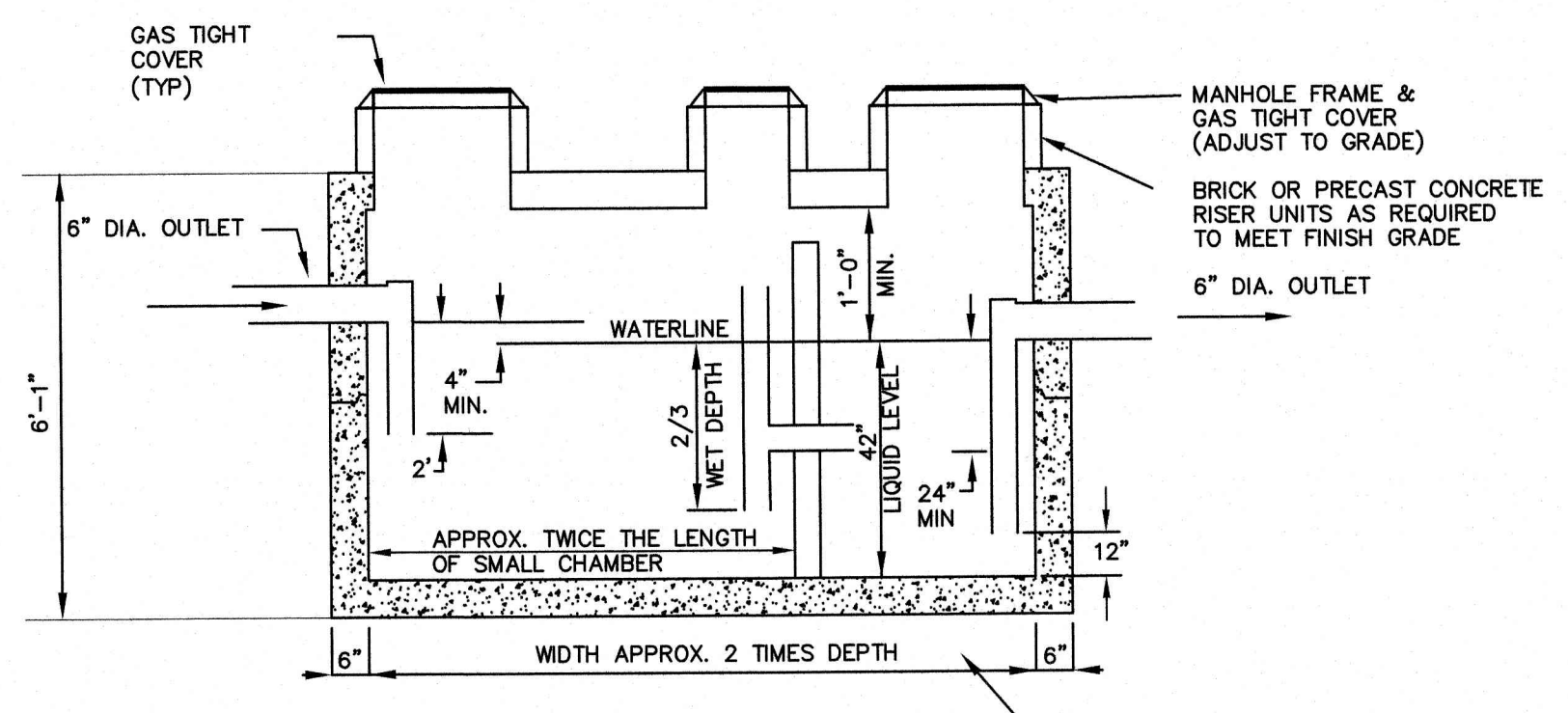
**RETAINING WALL FENCE (OPEN BALUSTER TOP)**

NOT TO SCALE



**ADS N-12 YARD DRAIN**

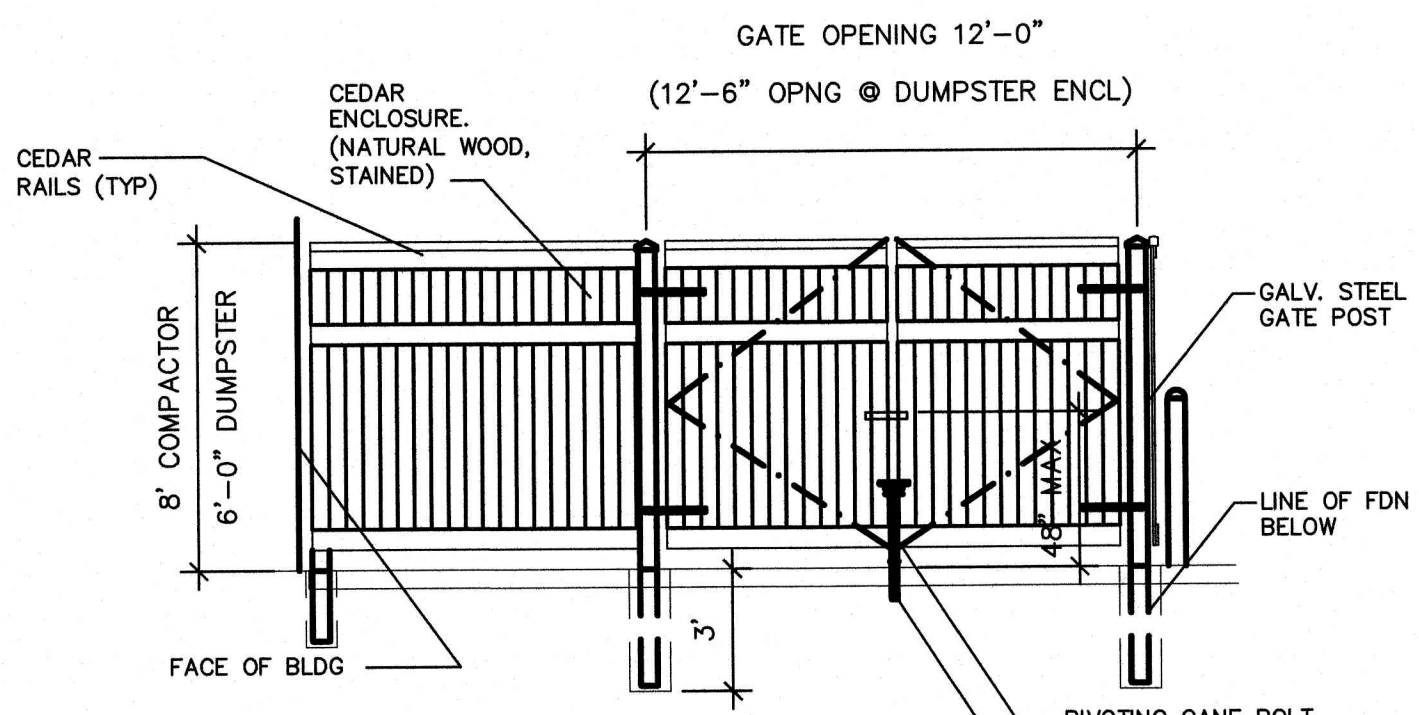
NOT TO SCALE



**DESIGN DATA & GENERAL NOTES:**  
 (1) CONCRETE STRENGTH 3,000 PSI MIN. STRENGTH @ 28 DAYS  
 (2) STEEL REINFORCEMENT - ASTM A-615 GRADE 60  
 (3) COVER TO STEEL - 1" MIN.  
 (4) TANKS ARE DESIGNED TO MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING  
 (5) EARTH COVER - 0 TO 4 FEET  
 (6) CONSTRUCTION JOINT - SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT  
 (7) CONSTRUCTION TO CONFORM WITH ASTM C1613

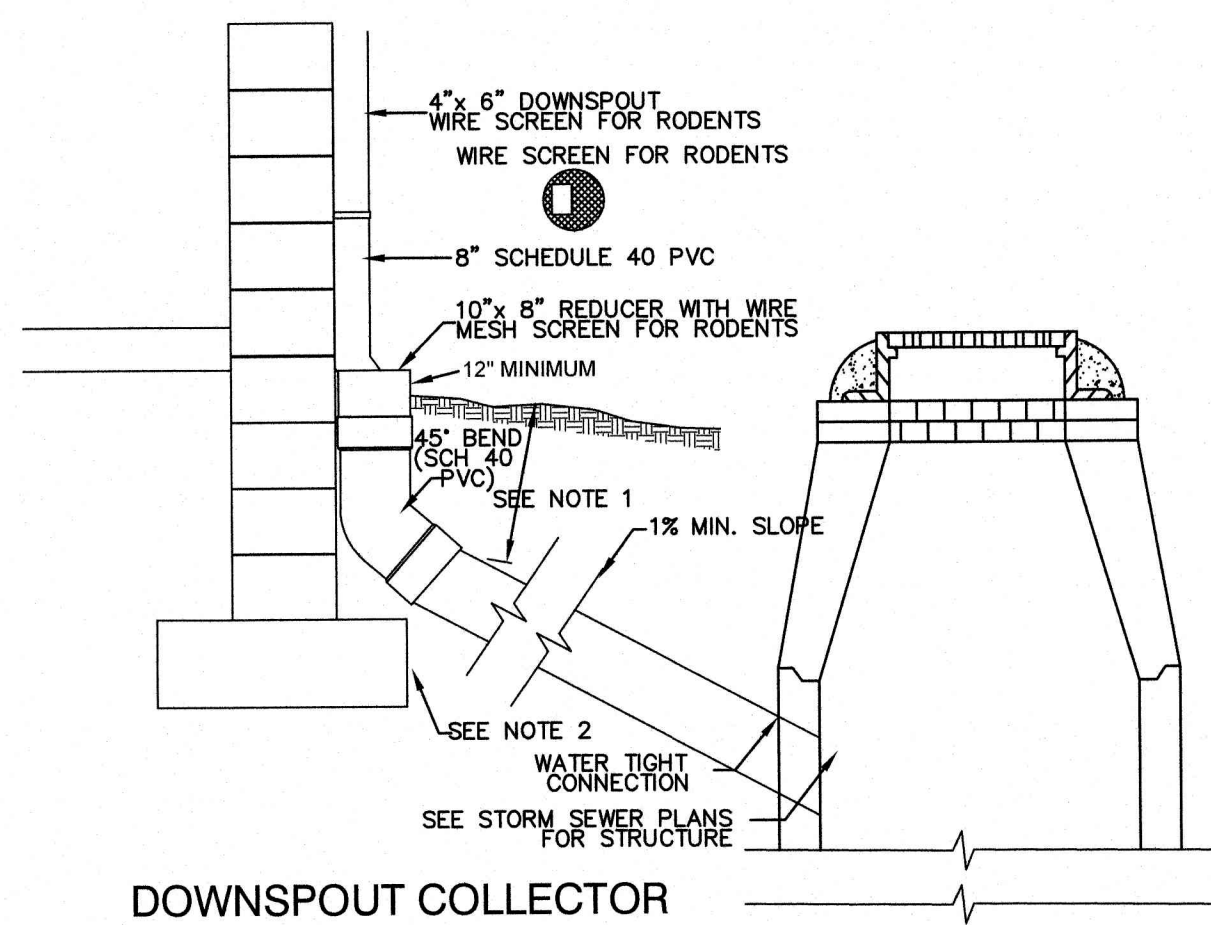
**1,500 GALLON GREASE TRAP (H-20)**

NOT TO SCALE



**GATE ELEVATION**

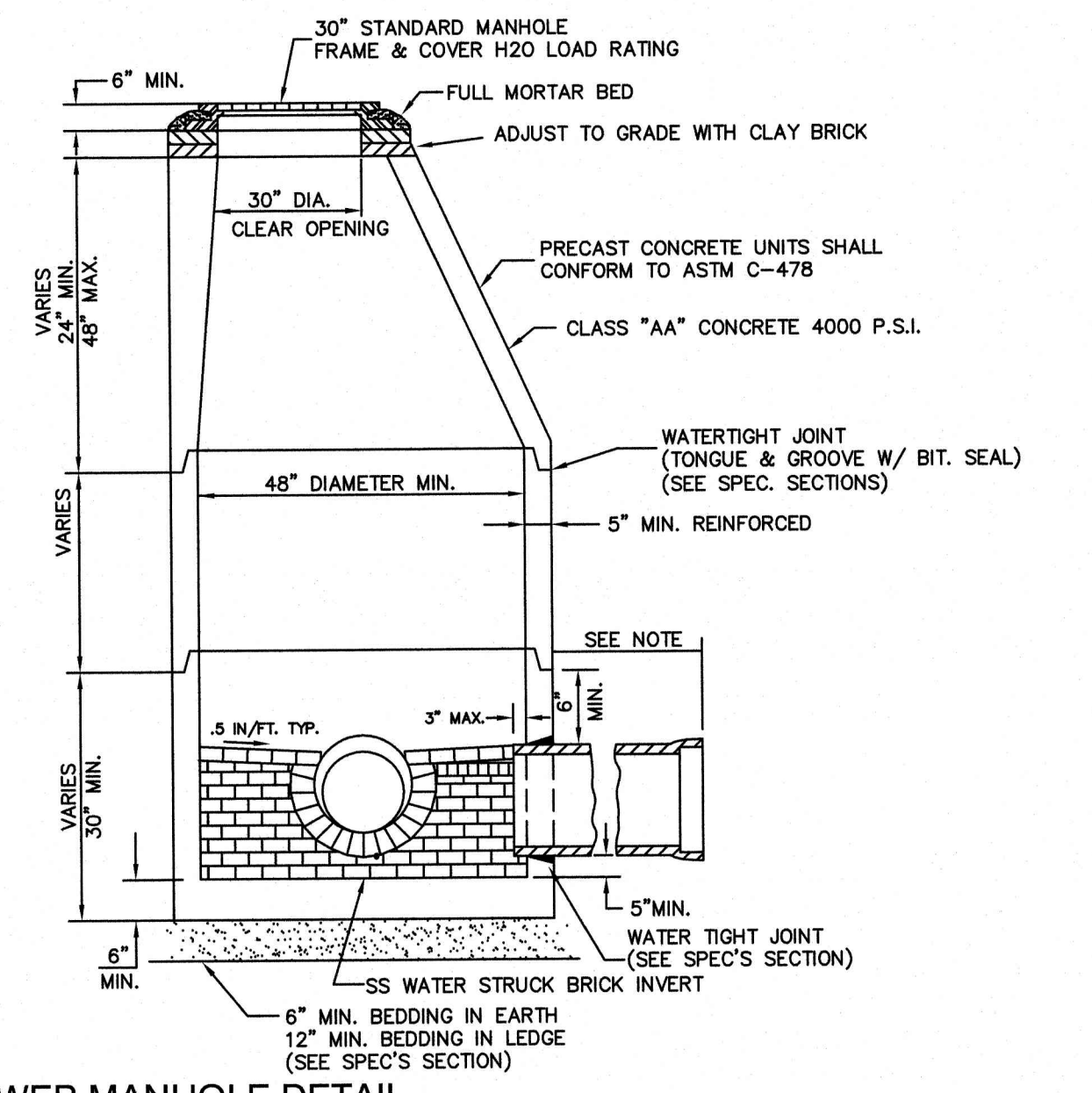
NOT TO SCALE



**DOWNSPOUT COLLECTOR**

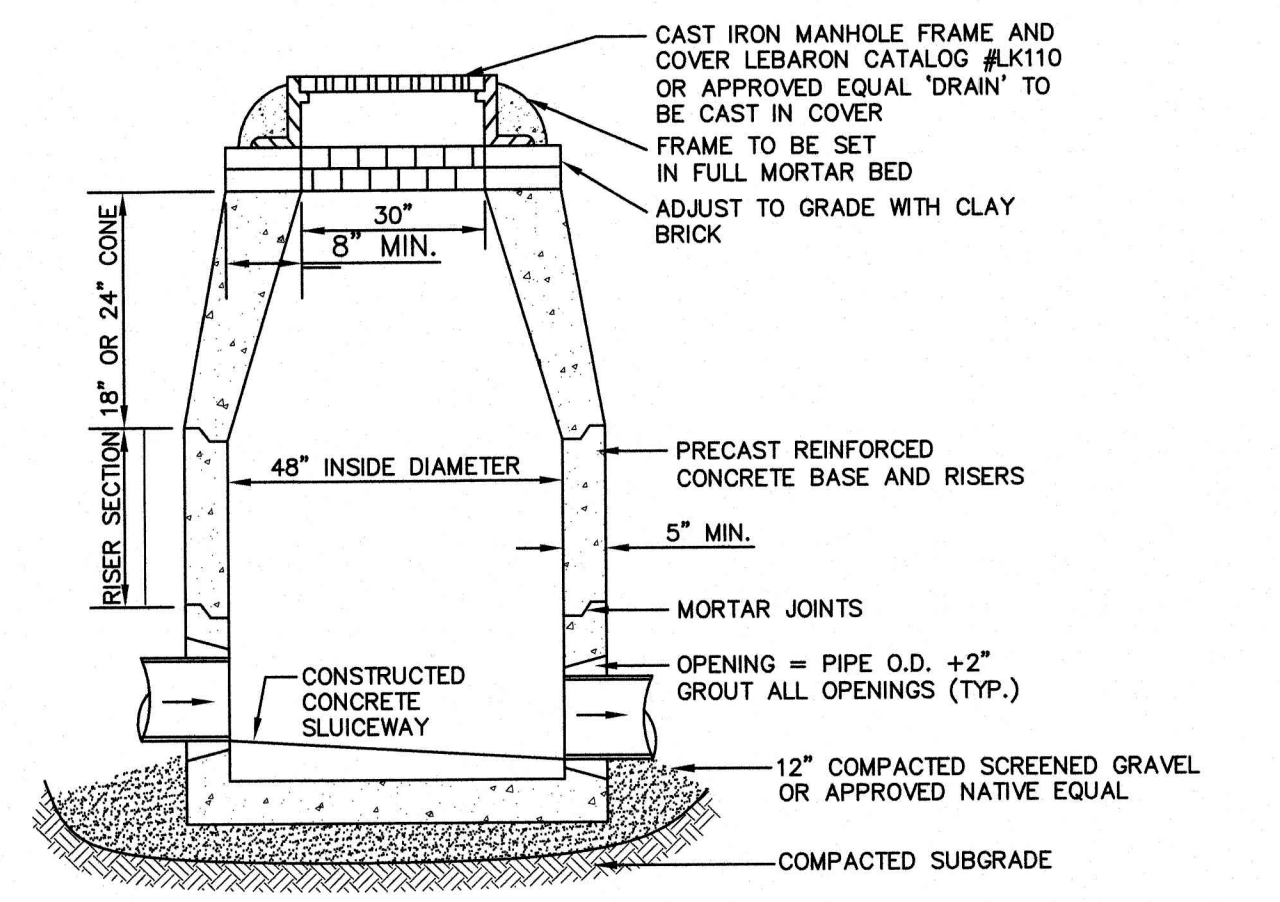
NOT TO SCALE

1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.  
 2. A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.  
 3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.



**SEWER MANHOLE DETAIL**

NOT TO SCALE



**DRAIN MANHOLE (MA)**

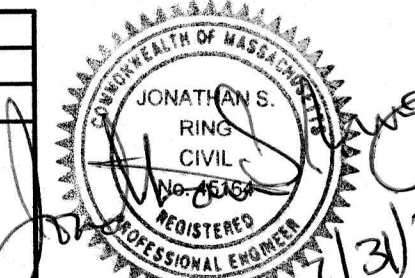
NOT TO SCALE

APPROVED - FRANKLIN, MA  
 PLANNING BOARD

DATE:

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Design: WGM Draft: RMK Date: 05/06/20  
 Checked: WGM Scale: AS NOTED Project No.: 131513  
 Drawing Name: 131513-PLAN.dwg  
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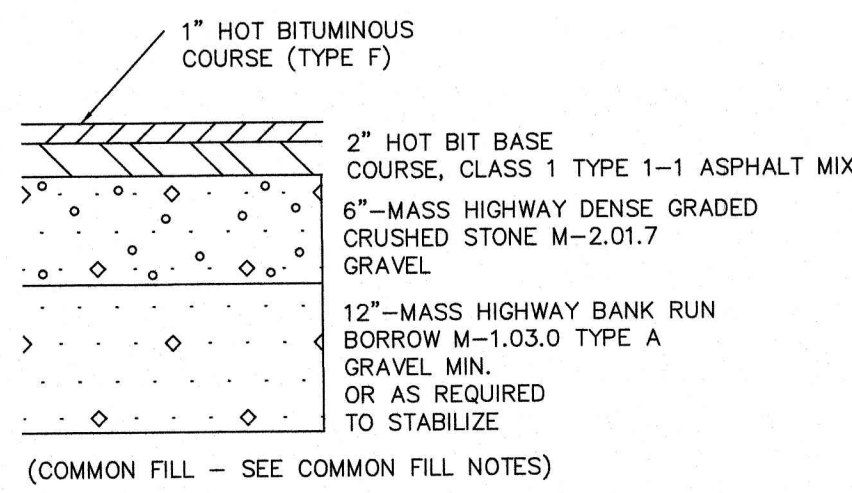
REV.	DATE	REVISION	BY
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			BY

Designed and Produced in NH  
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Plan Name:	<b>DETAIL SHEET</b>
Project:	<b>PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA</b>
Owner of Record:	340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

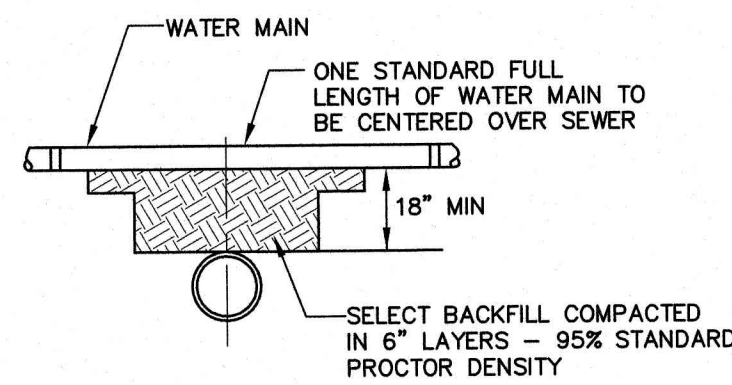
DRAWING No.  
**D2**  
 SHEET 11 OF 19  
 JBE PROJECT NO. 131513





**TYPICAL PAVEMENT SECTION**

NOT TO SCALE



**SEPARATION NOTES:**

1. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWERS. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
2. WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN PIPES. SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.

**TYPICAL WATER / SEWER SEPARATION**

NOT TO SCALE

**COMMON FILL**

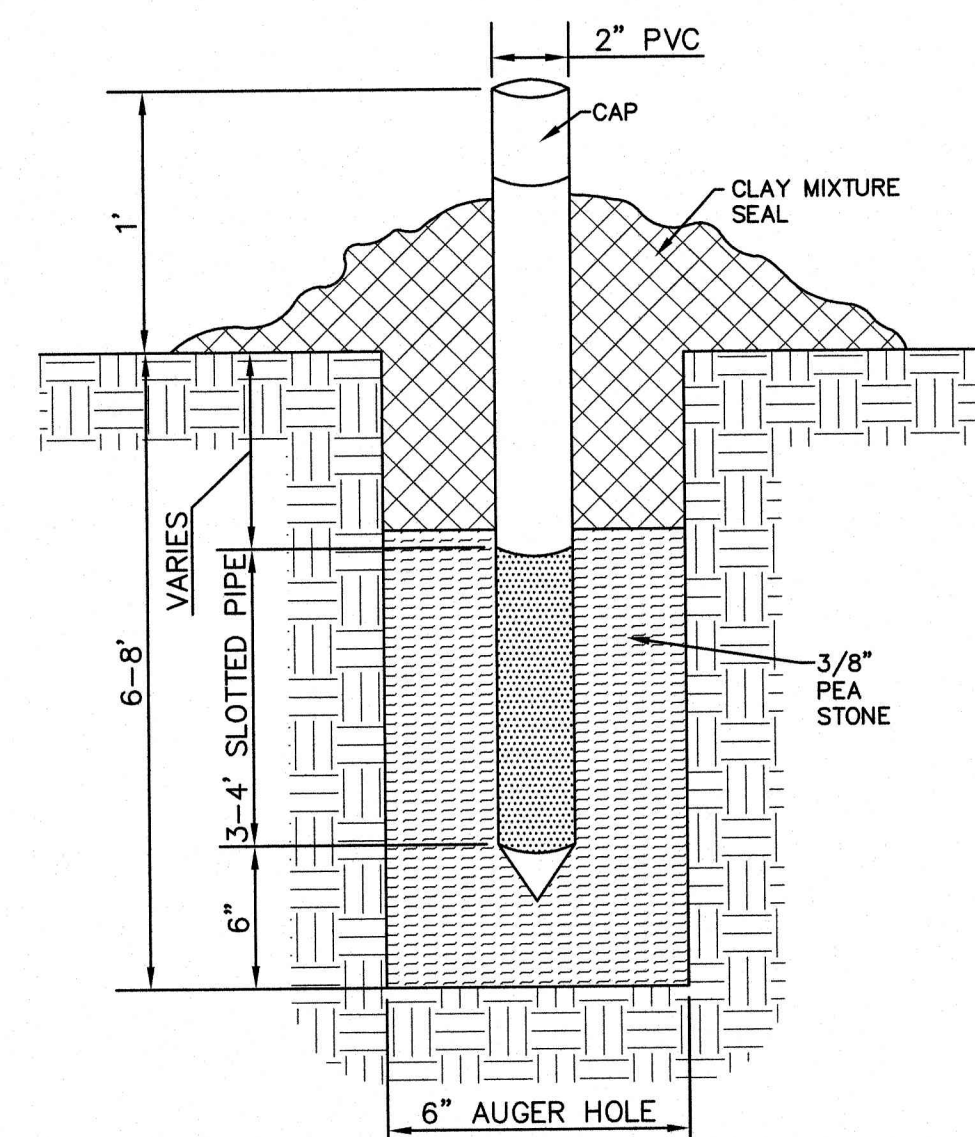
SIEVE SIZE	PERCENT PASSING BY WEIGHT
6-INCH	100
3/4-INCH	60-100
No. 4	20-85
No. 20	0-25

**NOTES:**

1. FOR USE AS COMMON/SUBGRADE FILL IN PARKING AREAS AND ROADWAY EMBANKMENTS.
2. FOR USE AS FOUNDATION WALL BACKFILL IF USED IN CONJUNCTION WITH A BOND BREAK AND SIZED/SCREENED TO 3-INCH MINUS.
3. PLACE IN LIFTS NOT EXCEEDING 12 INCHES.
4. MAXIMUM STONE SIZE SHOULD NOT EXCEED 1/2 THE ACTUAL LIFT THICKNESS.
5. COMPACT TO AT LEAST 92% RELATIVE COMPACTION PER ASTM D1557 WHEN PLACED AS SUBGRADE FILL IN PARKING AREAS OR ROADWAY EMBANKMENTS.
6. COMPACT TO AT LEAST 95% RELATIVE COMPACTION PER ASTM D1557 WHEN PLACED AS FOUNDATION WALL BACKFILL IN CONJUNCTION WITH A BOND BREAK.
7. COMPACTION EFFORTS SHOULD BE VERIFIED BY FIELD DENSITY TESTING.

**TYPICAL WATER / SEWER SEPARATION**

NOT TO SCALE



**SHALLOW MONITORING WELL DETAIL**

NOT TO SCALE

**McGraw-Edison**

Catalog #	Type
Project	Date
Comments	
Prepared by	

**DESCRIPTION**  
The Galleon™ Wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

**CONSTRUCTION**  
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP68 rated housing. Overall construction passes a 15G vibration test to ensure mechanical integrity. UL1812 (Type II) listing with the ULF option for inverted mount uplight housing with additional protections to maintain IP rating.

**OPTICS**  
Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (4, 2700 CCT and minimum 70 CRI) Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 800mA, 800mA, 800mA and 800mA drive currents.

**ELECTRICAL**  
LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surges. The Galleon Wall LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for 20°C ambient environments and occupancy sensor available.

**FINISH**  
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

**WARRANTY**  
Five-year warranty.

**WALL MOUNT LUMINAIRE**

**1-2 Light Squares**  
Solid State LED

**DESCRIPTION**  
The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for walls, surfaces, inverted mount for facade/deepness illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks last.

**CONSTRUCTION**  
Slim, low profile LED design with rugged one-piece, die-cast aluminum housing incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact resistant tempered glass and meets IESNA requirements for full outdoor compliance. Available in seven lumen packages, 5000K, 4000K and 3000K CCT.

**ELECTRICAL**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat readily away from the LED sources. 12W, 18W, 28W and 38W series operate in -40°C to 40°C ambient temperature. High ambient 50°C models available. Crosstour luminaires maintain greater than 85% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized application.

**FINISH**  
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed fit.

**WARRANTY**  
Five-year warranty.

**CERTIFICATION DATA**  
UL, ULX, Listed  
IEC62573 L80B Compliant  
IP68 Housing  
100-300V  
Design Lights Consortium® Qualified®

**ENERGY DATA**  
Electronic LED Driver  
+10 Power Factor  
+20% Total Harmonic Distortion  
120/277V 50/60Hz  
347V, 480V 60Hz  
50°C Max. Temperature  
80°C Max. Temperature  
90°C Max. Temperature (HA Option)

**SHIPPING DATA**  
Approximate Net Weight  
97 lbs. (12.2 kgs)

**DATE:** 10/14/2018  
September 17, 2018 2:30 PM

**McGraw-Edison**

Catalog #	Type
Project	Date
Comments	
Prepared by	

**DESCRIPTION**  
The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for walls, surfaces, inverted mount for facade/deepness illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks last.

**CONSTRUCTION**  
Slim, low profile LED design with rugged one-piece, die-cast aluminum housing incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact resistant tempered glass and meets IESNA requirements for full outdoor compliance. Available in seven lumen packages, 5000K, 4000K and 3000K CCT.

**ELECTRICAL**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat readily away from the LED sources. 12W, 18W, 28W and 38W series operate in -40°C to 40°C ambient temperature. High ambient 50°C models available. Crosstour luminaires maintain greater than 85% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized application.

**FINISH**  
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed fit.

**WARRANTY**  
Five-year warranty.

**CERTIFICATION DATA**  
UL, ULX, Listed  
IEC62573 L80B Compliant  
IP68 Housing  
100-300V  
Design Lights Consortium® Qualified®

**ENERGY DATA**  
Electronic LED Driver  
+10 Power Factor  
+20% Total Harmonic Distortion  
120/277V 50/60Hz  
347V, 480V 60Hz  
50°C Max. Temperature  
80°C Max. Temperature  
90°C Max. Temperature (HA Option)

**SHIPPING DATA**  
Approximate Net Weight  
97 lbs. (12.2 kgs)

**DATE:** 10/14/2018  
September 17, 2018 2:30 PM

**WALL MOUNT LUMINAIRE**

**1-2 Light Squares**  
Solid State LED

**DESCRIPTION**  
The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for walls, surfaces, inverted mount for facade/deepness illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks last.

**CONSTRUCTION**  
Slim, low profile LED design with rugged one-piece, die-cast aluminum housing incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact resistant tempered glass and meets IESNA requirements for full outdoor compliance. Available in seven lumen packages, 5000K, 4000K and 3000K CCT.

**ELECTRICAL**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat readily away from the LED sources. 12W, 18W, 28W and 38W series operate in -40°C to 40°C ambient temperature. High ambient 50°C models available. Crosstour luminaires maintain greater than 85% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized application.

**FINISH**  
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed fit.

**WARRANTY**  
Five-year warranty.

**CERTIFICATION DATA**  
UL, ULX, Listed  
IEC62573 L80B Compliant  
IP68 Housing  
100-300V  
Design Lights Consortium® Qualified®

**ENERGY DATA**  
Electronic LED Driver  
+10 Power Factor  
+20% Total Harmonic Distortion  
120/277V 50/60Hz  
347V, 480V 60Hz  
50°C Max. Temperature  
80°C Max. Temperature  
90°C Max. Temperature (HA Option)

**SHIPPING DATA**  
Approximate Net Weight  
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**DATE:** 10/14/2018  
September 17, 2018 2:30 PM

**McGraw-Edison**

Catalog #	Type
Project	Date
Comments	
Prepared by	

**SPECIFICATION FEATURES**

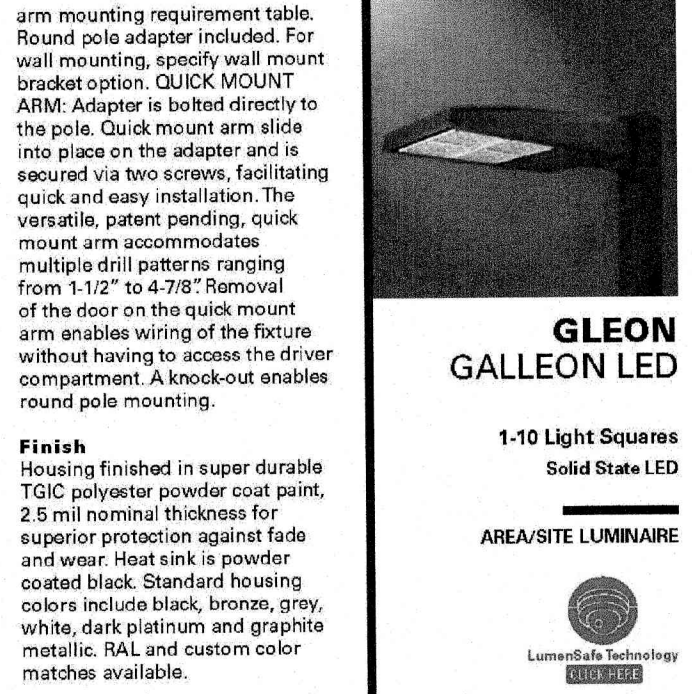
**CONSTRUCTION**  
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum and caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides sealability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.

**OPTICS**  
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (4, 2700 CCT to 70 CRI) Optional 3000K, 5000K and 6000K CCT.

**ELECTRICAL**  
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP68 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 800mA, 800mA and 1200mA drive currents (nominal).

**FINISH**  
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

**WARRANTY**  
Five-year warranty.



**GLEON GALLEON LED**

**1-10 Light Squares**  
Solid State LED

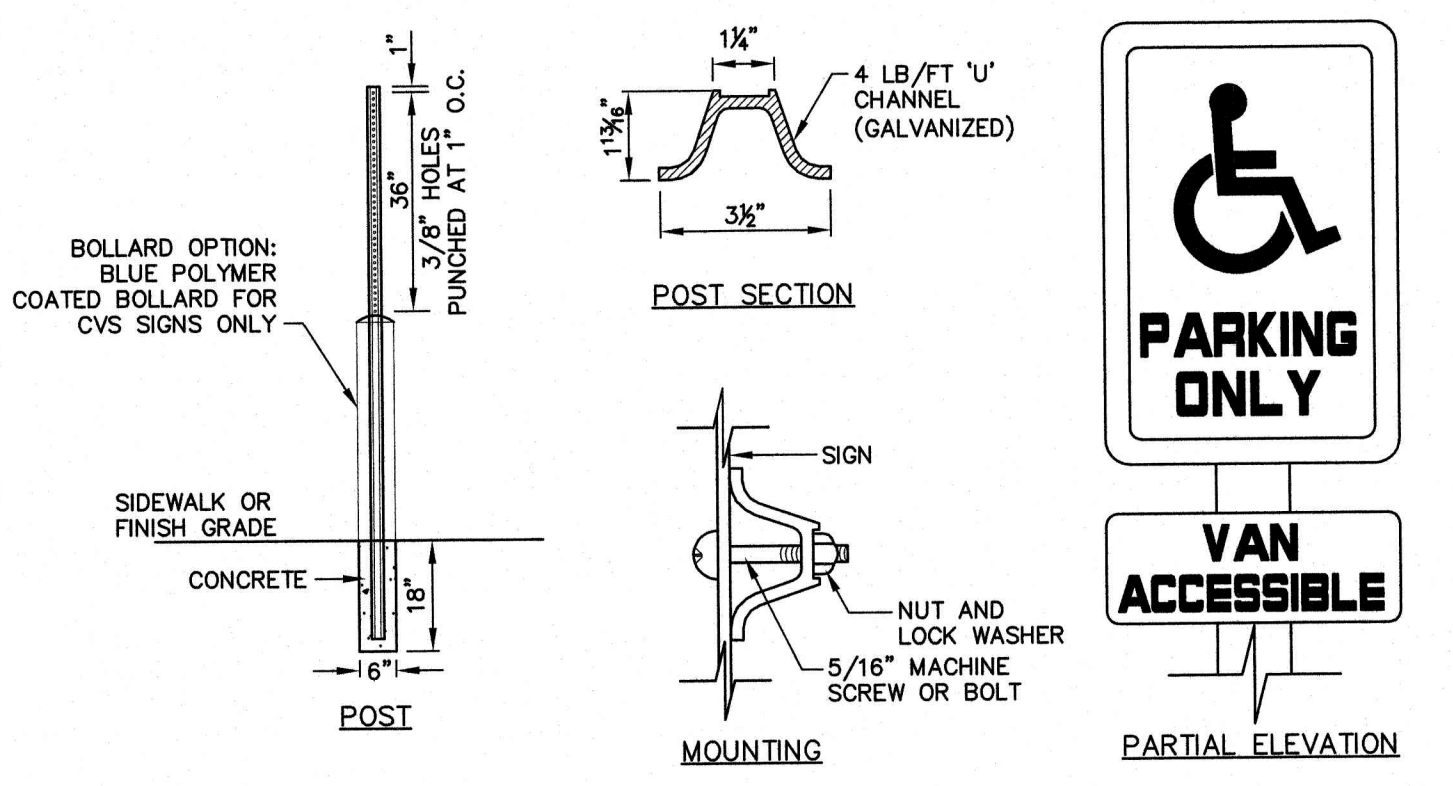
**AREA/SITE LUMINAIRE**

**CERTIFICATION DATA**  
UL, ULX, Listed  
IEC62573 L80B Compliant  
IP68 Housing  
100-300V  
Design Lights Consortium® Qualified®

**ENERGY DATA**  
Electronic LED Driver  
+10 Power Factor  
+20% Total Harmonic Distortion  
120/277V 50/60Hz  
347V, 480V 60Hz  
50°C Max. Temperature  
80°C Max. Temperature  
90°C Max. Temperature (HA Option)

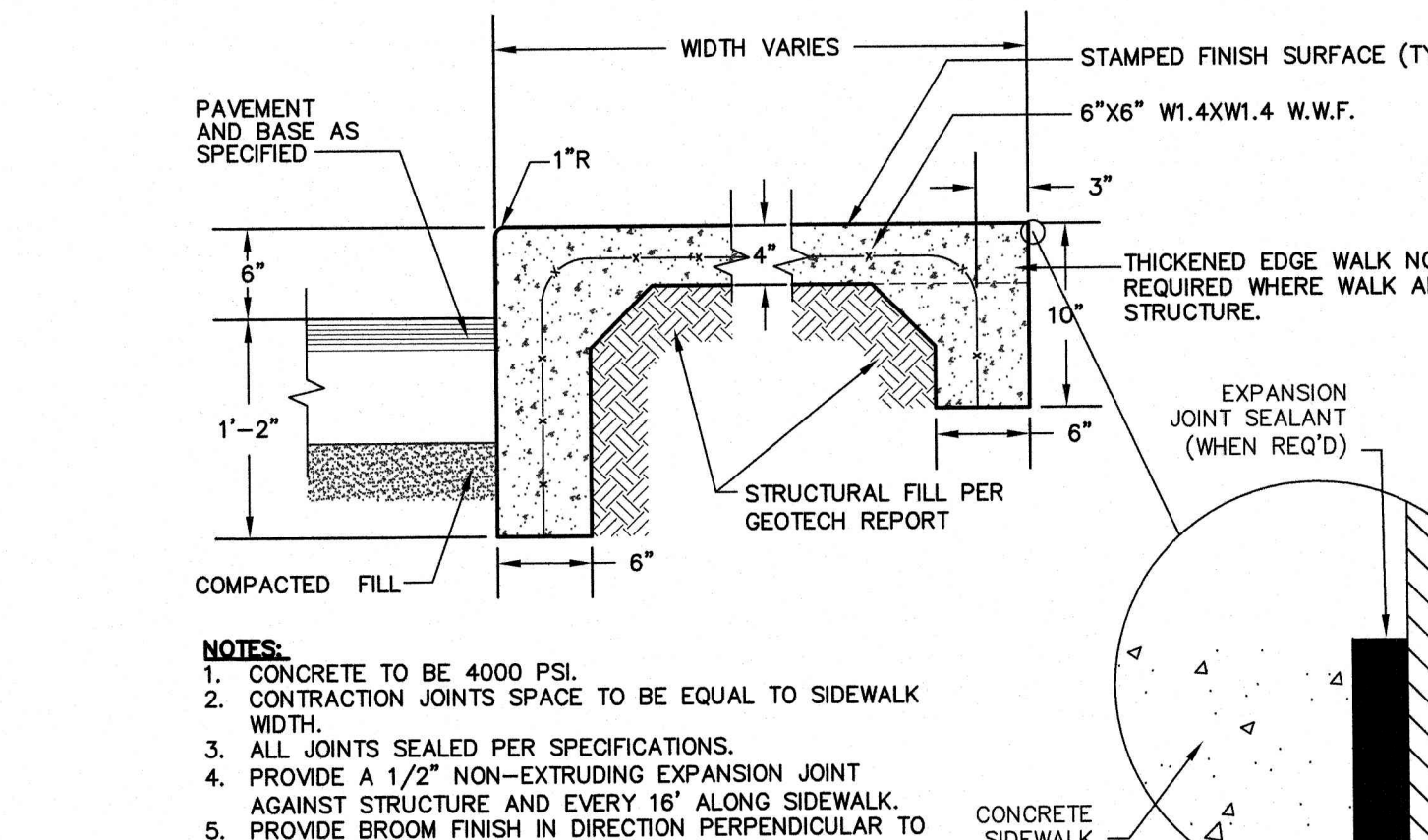
**SHIPPING DATA**  
Approximate Net Weight  
97 lbs. (12.2 kgs)

**DATE:** 10/14/2018  
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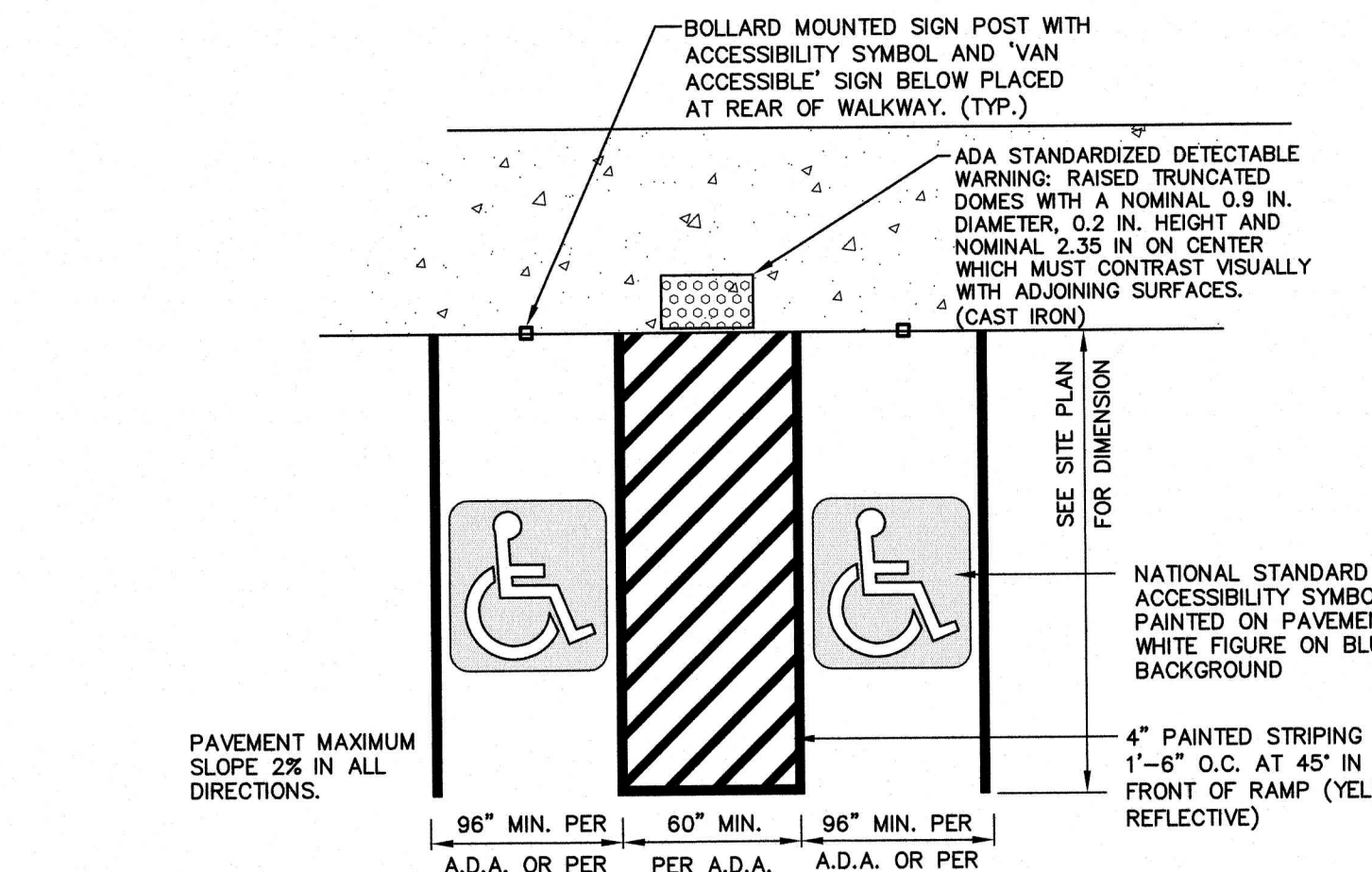
**HANDICAP SIGN DETAILS**

NOT TO SCALE



**MONOLITHIC CONCRETE SIDEWALK**

NOT TO SCALE



**HANDICAP PARKING LAYOUT**

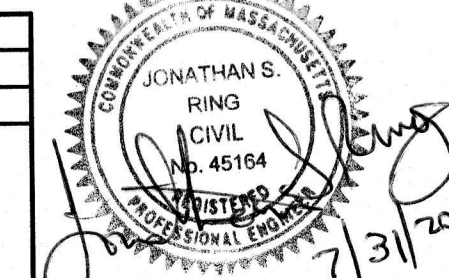
NOT TO SCALE

APPROVED - FRANKLIN, MA PLANNING BOARD

DATE:

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Design: WGM	Draft: RMK	Date: 05/06/20
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Drawing Name: 13153-PLAN.dwg		
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1	07/31/20	REVISED PER REVIEW ENGINEER COMMENTS	EMP
0	05/06/20	ISSUED FOR REVIEW	EMP
		REVISION	BY

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03885

Civil Engineering Services

603-772-4746  
603-772-0227  
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**

Project: **PROPOSED CENTRAL SQUARE**  
340 E CENTRAL STREET, FRANKLIN, MA

Owner of Record: 340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190578

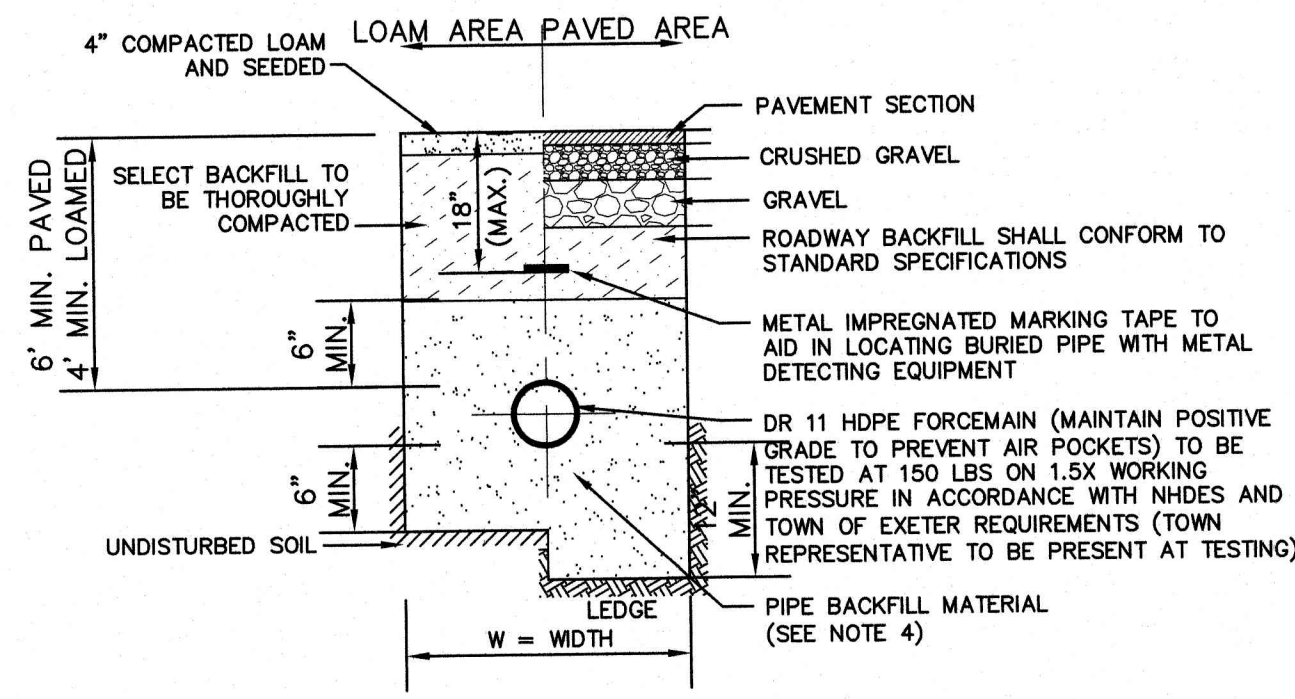
DRAWING No. **D3**

SHEET 12 OF 19  
JBE PROJECT NO. 13153



APPROVED - FRANKLIN, MA  
PLANNING BOARD

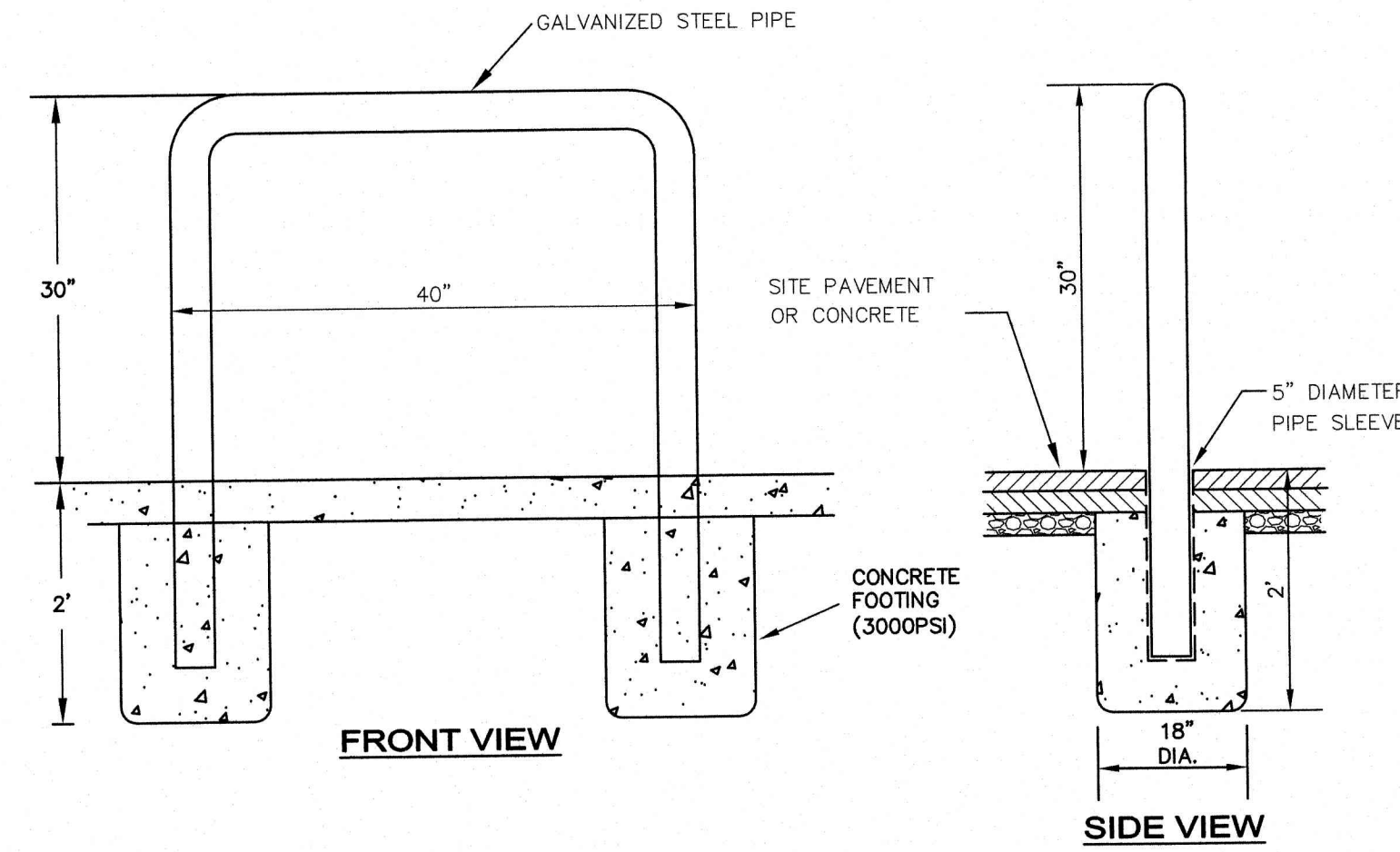
DATE:



- NOTES:
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
  - NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
  - W=MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" INCHES ABOVE THE PIPE. W SHALL BE NO MORE THAN 36"
  - SAND BEDDING AND BLANKET SHALL BE CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90-100% PASSES A 1/2" INCH SIEVE AND NO MORE THAN 15% WILL PASS A #200 SIEVE.

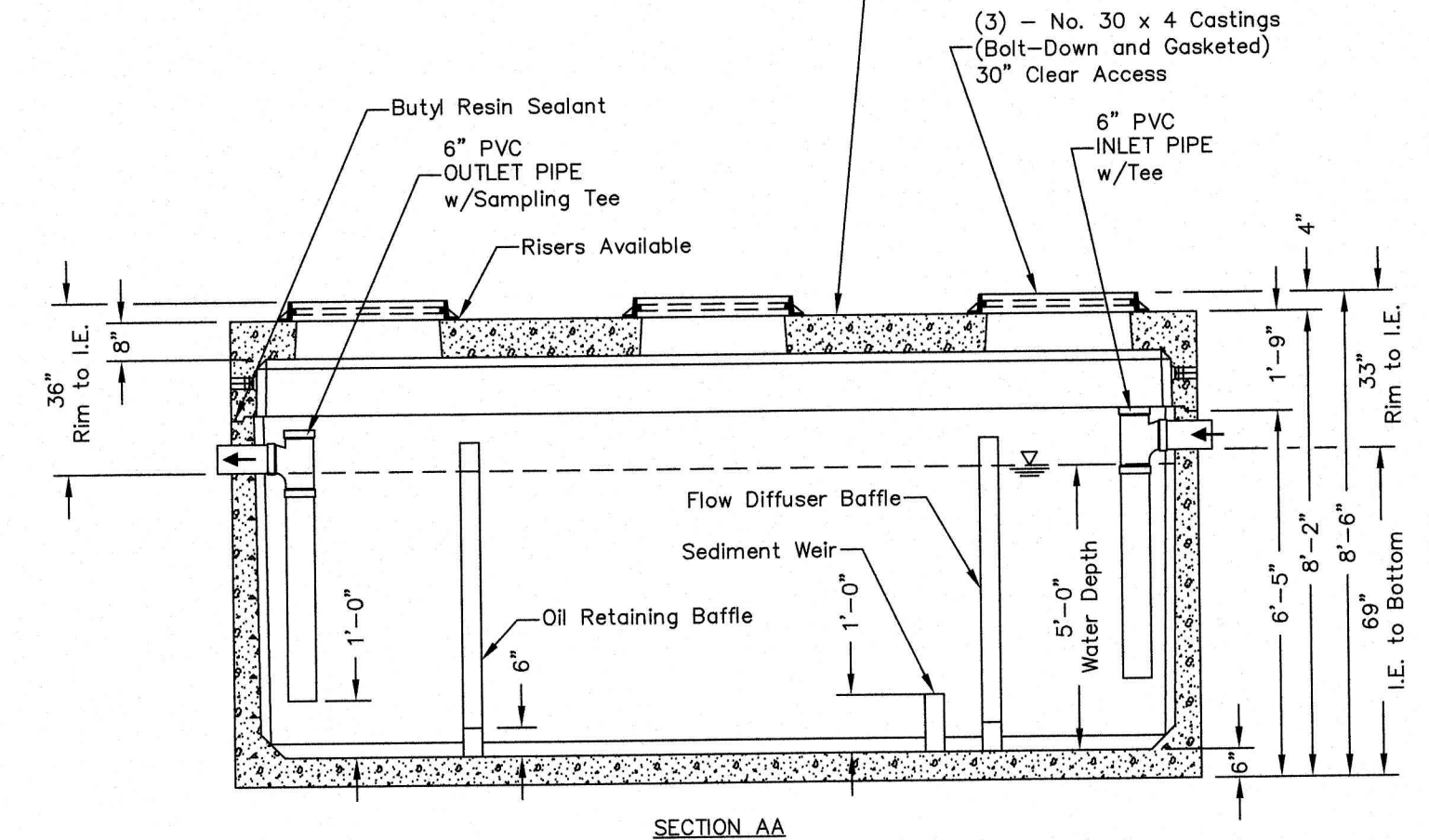
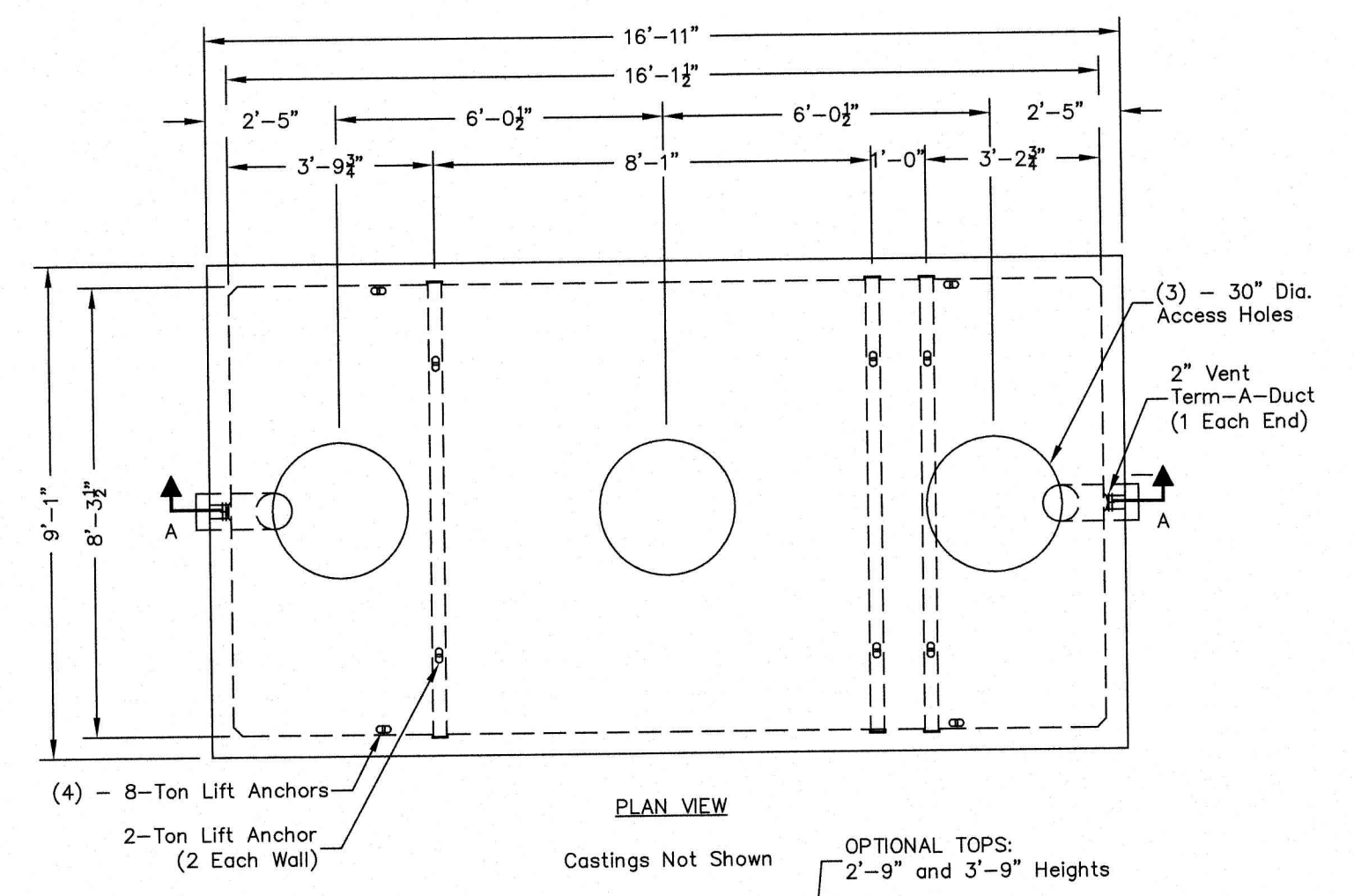
**FORCE MAIN SEWER TRENCH**

NOT TO SCALE



**U-SHAPED BOLLARD**

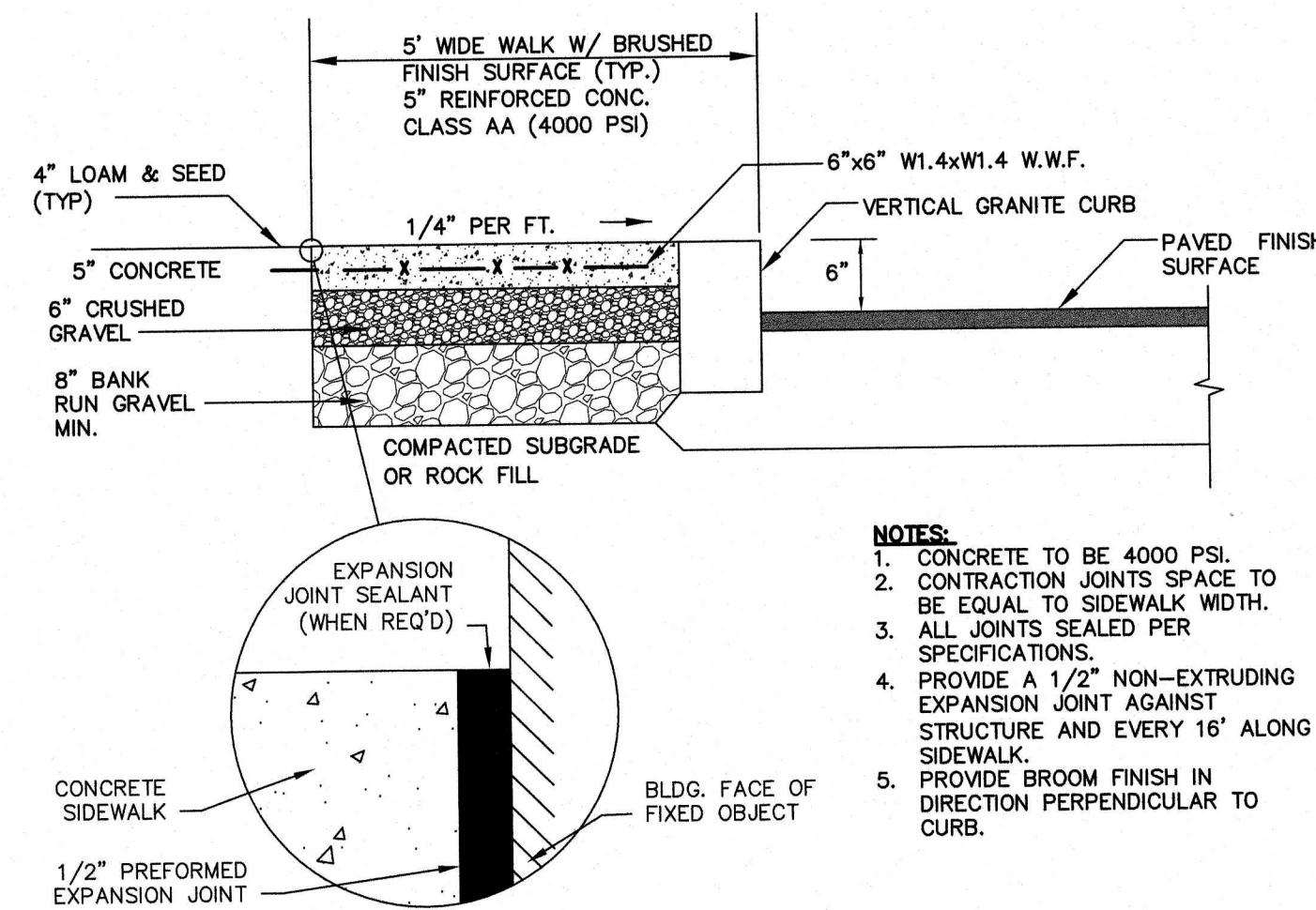
NOT TO SCALE



- Notes:
- Designed in accordance with ASTM C 890 for AASHTO HS20-44 vehicle loading
  - Flow Rate 333 GPM based on 15 min. retention time.
  - Manufacturer's recommendations:
- Ventilate each end to open atmosphere.
  - Prior to "Start Up" of System, fill with clean water to bottom of outlet pipe (approx. one foot deep). For best results, fill to flow line.
  - Follow Regular Inspection, Cleaning, & Maintenance Schedule (See Clean Out & Maintenance).

**5,000 GAL OIL / WATER SEPARATOR**

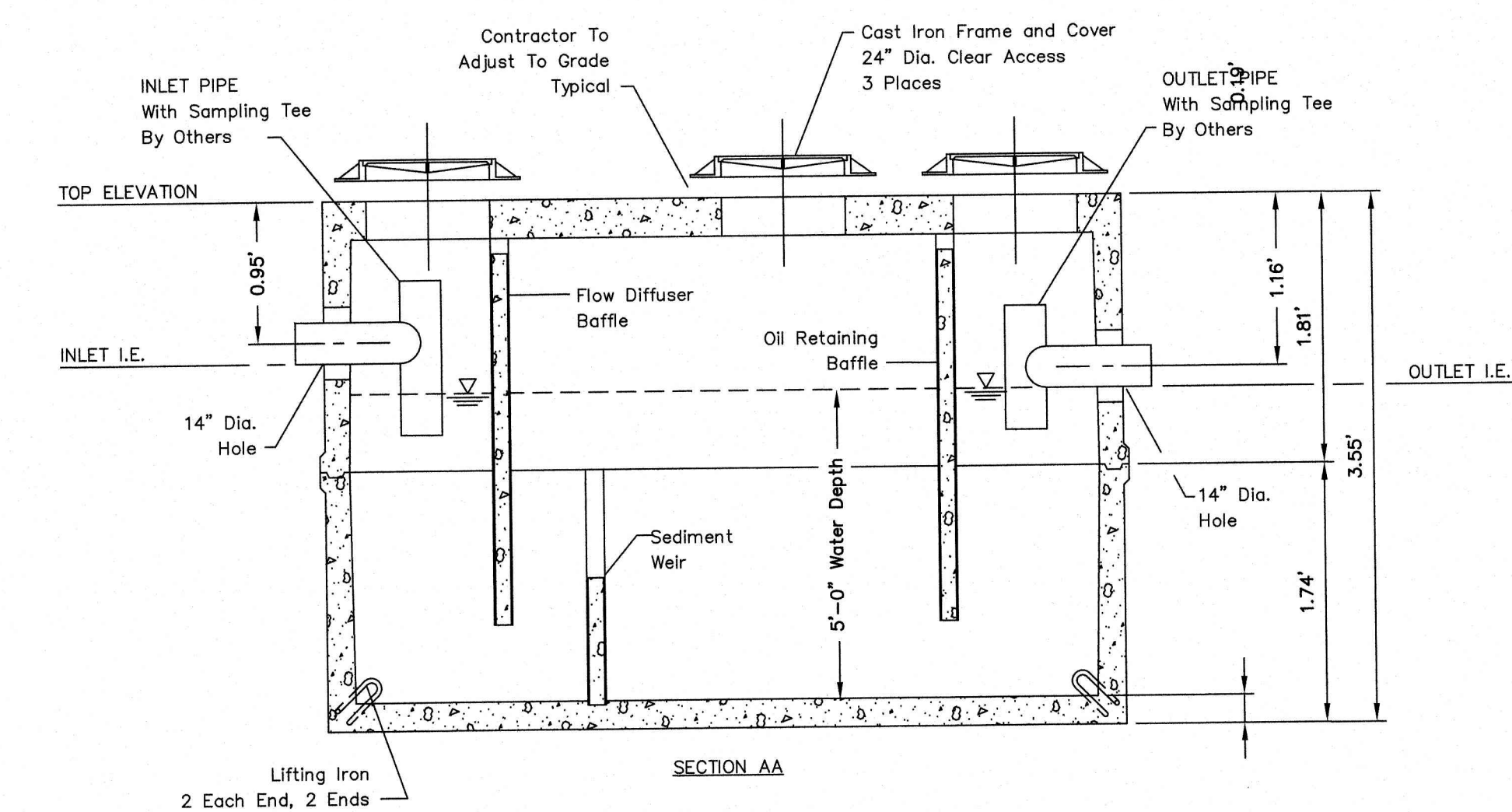
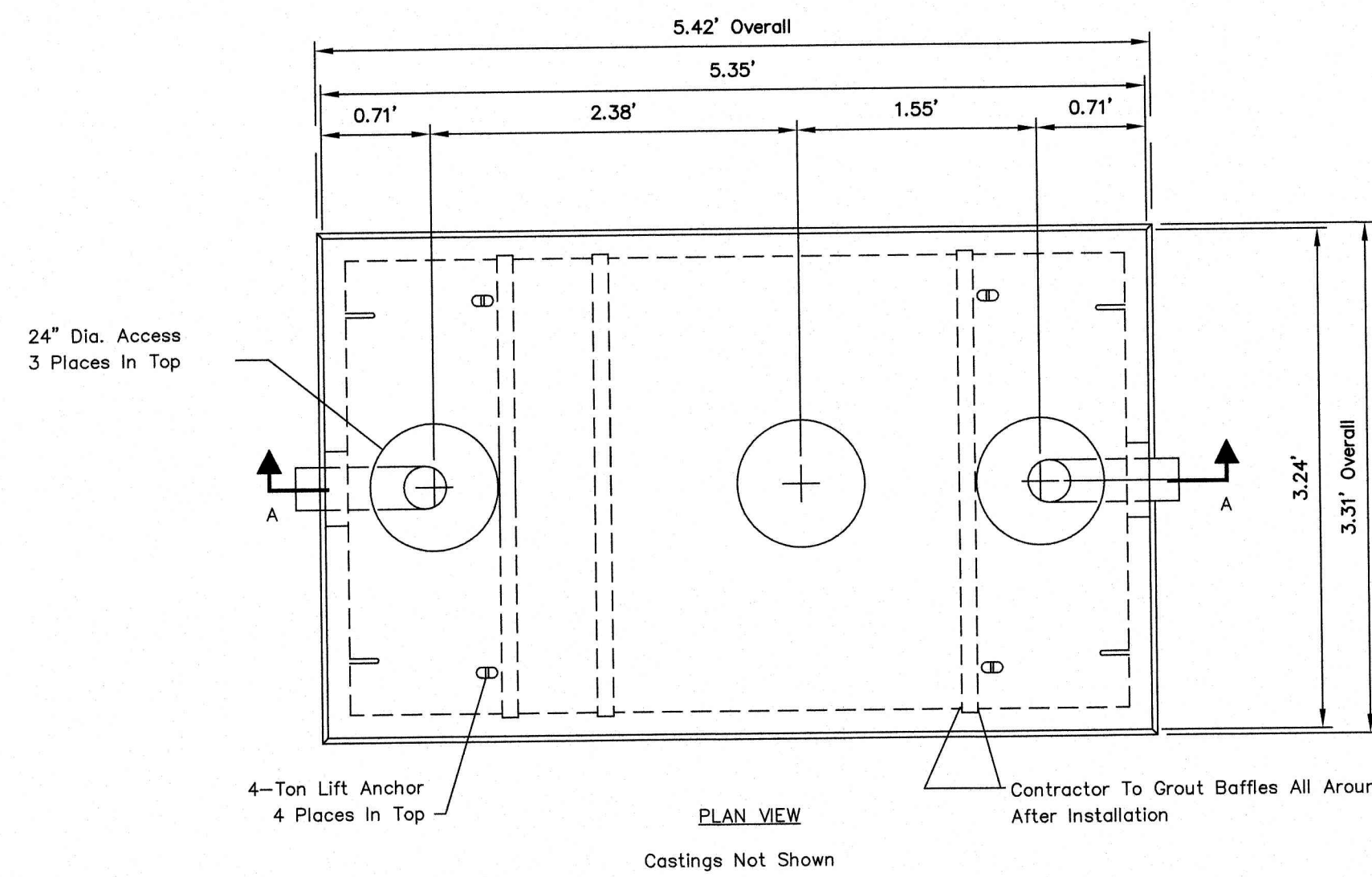
NOT TO SCALE



- NOTES:
- CONCRETE TO BE 4000 PSI.
  - CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH.
  - ALL JOINTS SEALED PER SPECIFICATIONS.
  - PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURE AND EVERY 16' ALONG SIDEWALK.
  - PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

**CONCRETE SIDEWALK W/ VERTICAL GRANITE CURB (ROADWAY)**

NOT TO SCALE



- STRUCTURAL NOTES:
- Concrete: 28 Day Compressive Strength  $f'_c = 7000$  psi
  - Rebar: ASTM A-615 Grade 60
  - Mesh: ASTM A-185 Grade 65
  - Design: ACI-318-05 Building Code  
ASTM C-890 "Minimum Structural Design Loading For Underground Precast Concrete Water and Wastewater Structures"
  - Loads: HS-20 Truck Wheel w/ 30% Impact Per AASHTO

- GENERAL NOTES:
- All Baffles and Weirs To Be Precast Concrete
  - Contractor to:  
Supply and Install All Piping & Sampling Tees  
Grout In All Pipes  
Fill With Clean Water Prior To "Start-Up" Of System  
Verify All Blockout Sizes and Locations

**3,000 GAL OIL / WATER SEPARATOR**

NOT TO SCALE

TRAFFIC CONTROL SCHEDULE						
SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1	STOP	30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R5-1	NO PARKING	30" 30"	RED / SILVER	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8	NO PARKING	12" 24"	BLUE & GREEN ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8A	NO PARKING	12" 6"	BLUE & GREEN ON WHITE	CHANNEL	5'-0"	REFLECTORIZED SIGN
RES-1	RESERVED PARKING ONLY BETWEEN SPOTS	12" 18"	BLACK / WHITE	FENCE	5'-0"	REFLECTORIZED SIGN
R6-2	ONE WAY	24" 30"	BLACK / WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R5-2A	NO TRUCKS	24" 24"	BLACK / WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN

SIGN LEGEND			
R1-1	STOP	R3-5R	ONLY
R3-2	NO LEFT TURN	R4-7	ONLY
R3-1	NO RIGHT TURN	R5-1	DO NOT ENTER
R3-7L	LEFT LANE MUST TURN LEFT	R6-1	ONE WAY
R4-4	BEGIN RIGHT TURN LANE YIELD TO BIKES		
R3-8b			ONLY

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Design: WGM Draft: RMK Date: 05/06/20  
Checked: WGM Scale: AS NOTED Project No.: 13153  
Drawing Name: 13153-PLAN.dwg

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REV.	DATE	REVISION	BY
1	07/31/20	REVISED PER REVIEW ENGINEER COMMENTS	EMP
0	05/06/20	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

603-772-4746  
FAX: 603-772-0227  
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**

Project: **PROPOSED CENTRAL SQUARE  
340 E CENTRAL STREET, FRANKLIN, MA**

Owner of Record: 340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

DRAWING No. **D4**

SHEET 13 OF 19  
JBE PROJECT NO. 13153



APPROVED - FRANKLIN, MA  
PLANNING BOARD

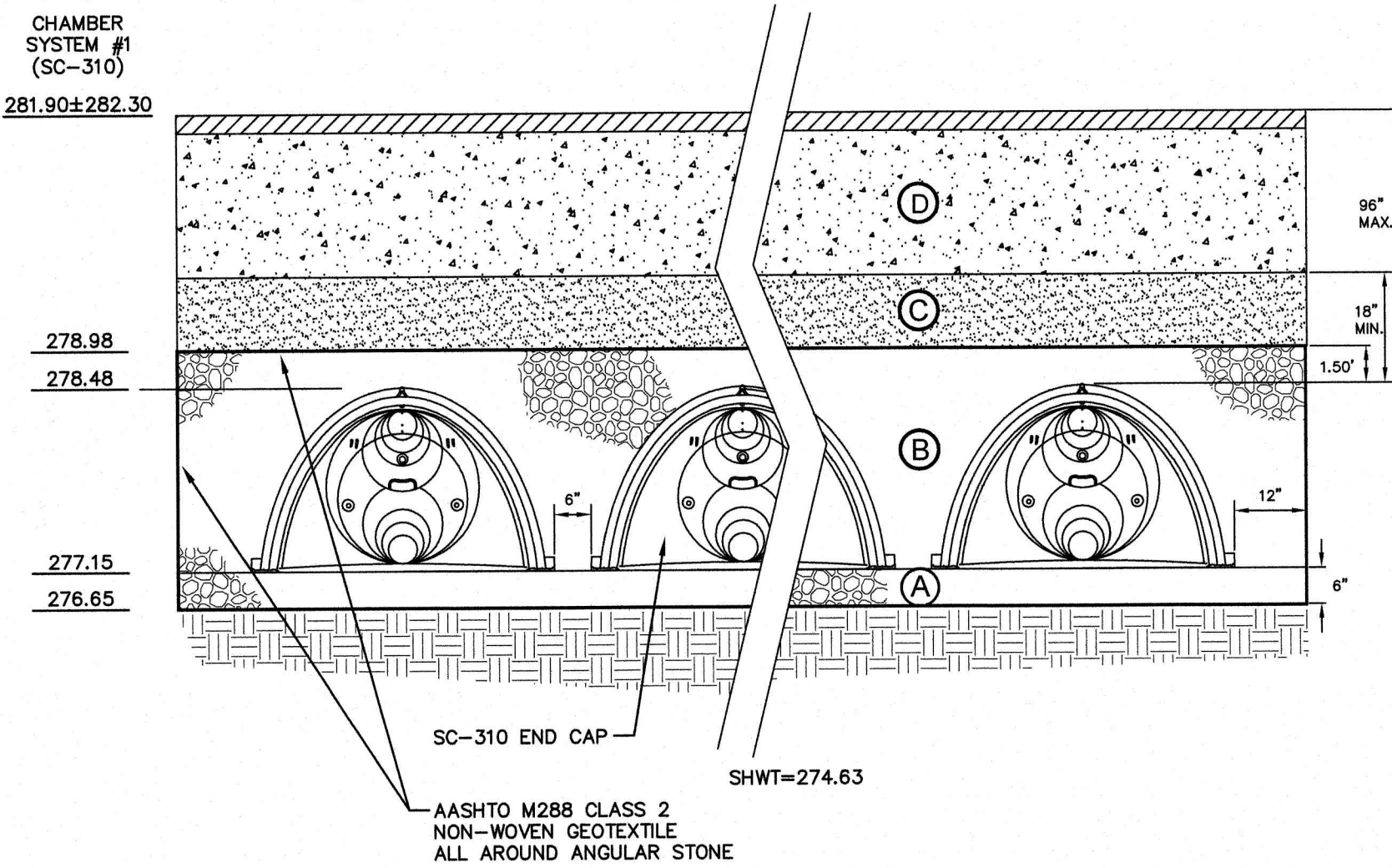
**ACCEPTABLE FILL MATERIALS  
STORMTECH SC-310 AND SC-740 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
(D) PAVEMENT SUBGRADE, DEPTH(S) PER SPECIFICATIONS	PAVEMENT SUBGRADE, MATERIALS PER SPECIFICATIONS	N/A	N/A	PREPARE PER SPECIFICATIONS AND PLANS. PAVED INSTALLATIONS HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
(C) FILL MATERIAL FROM 1.50' ABOVE CHAMBERS TO BOTTOM OF PAVEMENT SUBGRADE	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1 A-2 A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
(B) EMBEDMENT STONE SURROUNDING AND TO A 1.50' ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/2 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
(A) 6" FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/2 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.

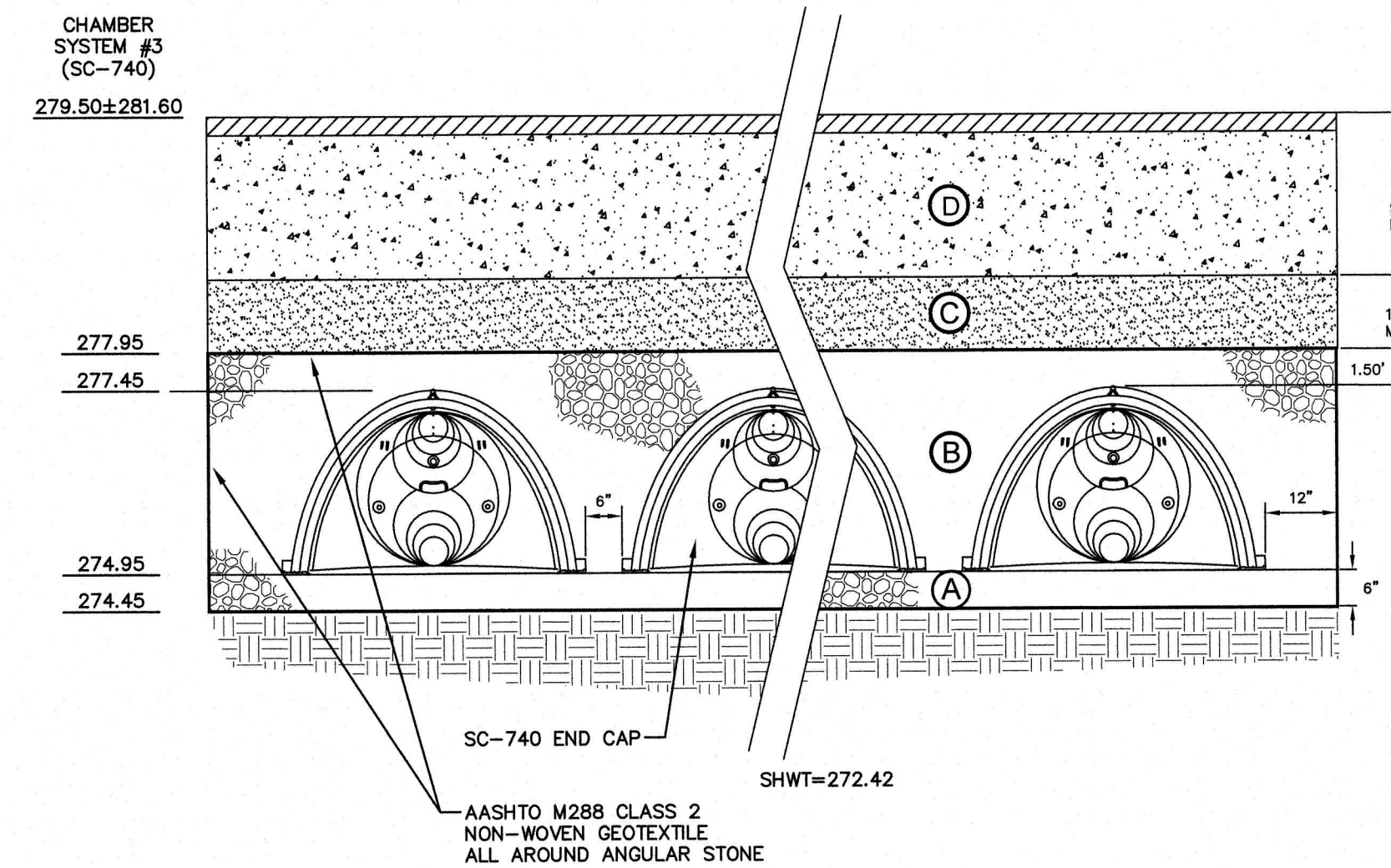
**NOTES:**

- SC-310 AND SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-310 AND SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



TYPICAL SC-310 CROSS-SECTION (CHAMBER SYSTEM #1)

NOT TO SCALE

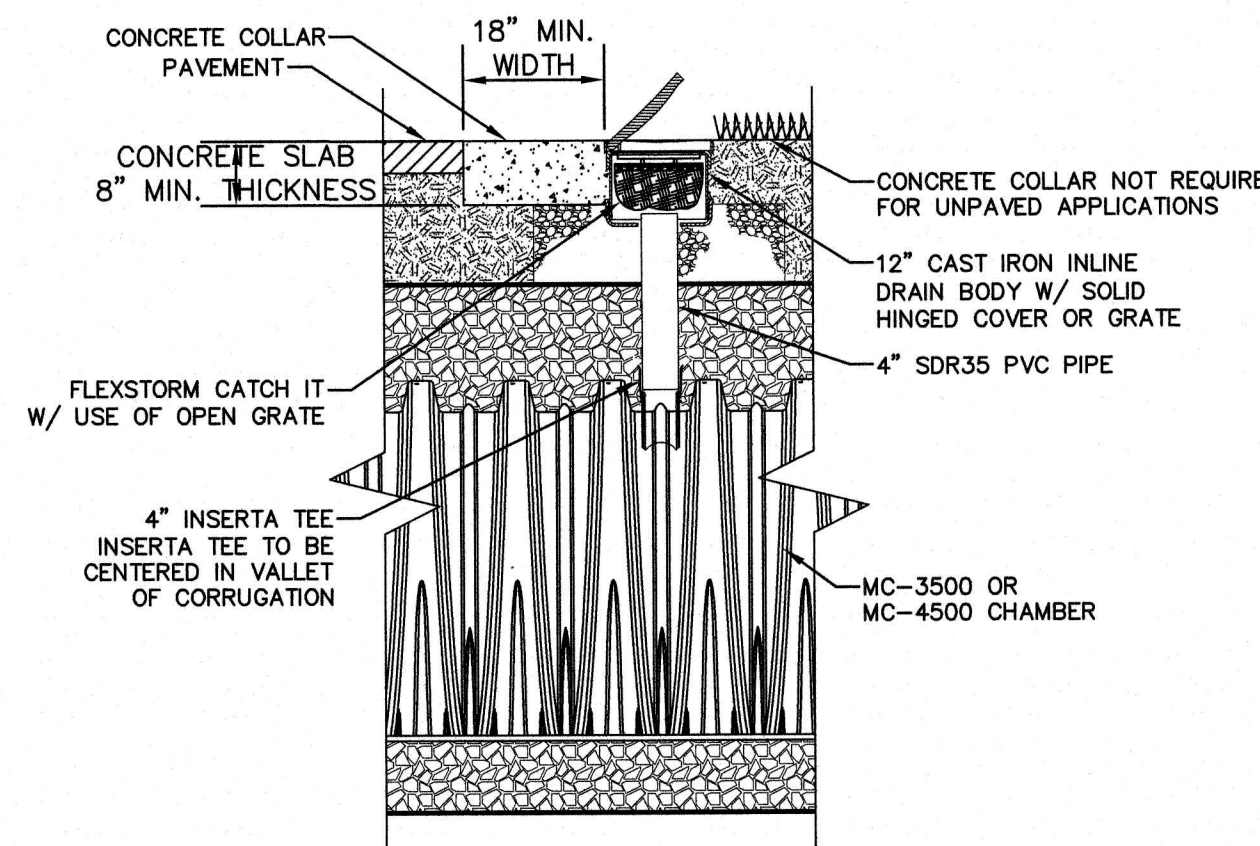


TYPICAL SC-740 CROSS-SECTION (CHAMBER SYSTEM #3)

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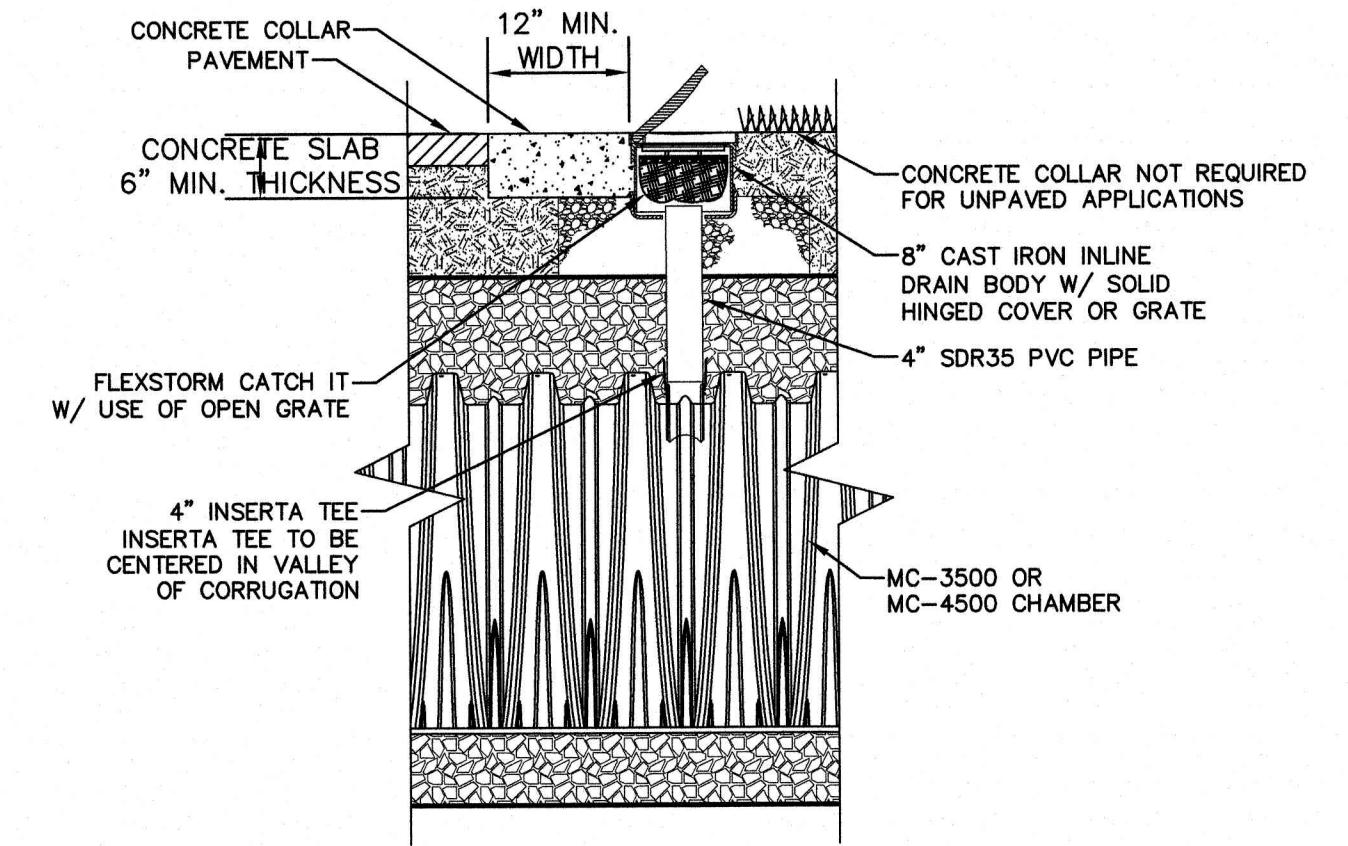
**STORMTECH GENERAL NOTES**

- STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- STORMTECH OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICE DEPARTMENT OR LOCAL STORMTECH REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 860-529-8188 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.): MINIMUM COVER IS 24 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 6.5 FEET INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 6.5 FEET.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: WWW.STORMTECH.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.
- STORMTECH PRODUCT WARRANTY IS LIMITED. CONTACT STORMTECH FOR WARRANTY INFORMATION.



TYPICAL SC-740 4" INSPECTION PORT

NOT TO SCALE

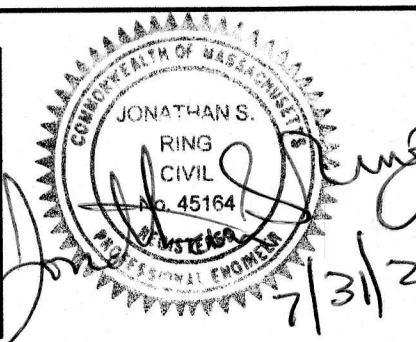


TYPICAL SC-310 4" INSPECTION PORT

NOT TO SCALE

Design: WGM Draft: RMK Date: 05/06/20  
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Drawing Name: 13153-PLAN.dwg

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Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**

Project: **PROPOSED CENTRAL SQUARE  
340 E CENTRAL STREET, FRANKLIN, MA**

Owner of Record: 340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

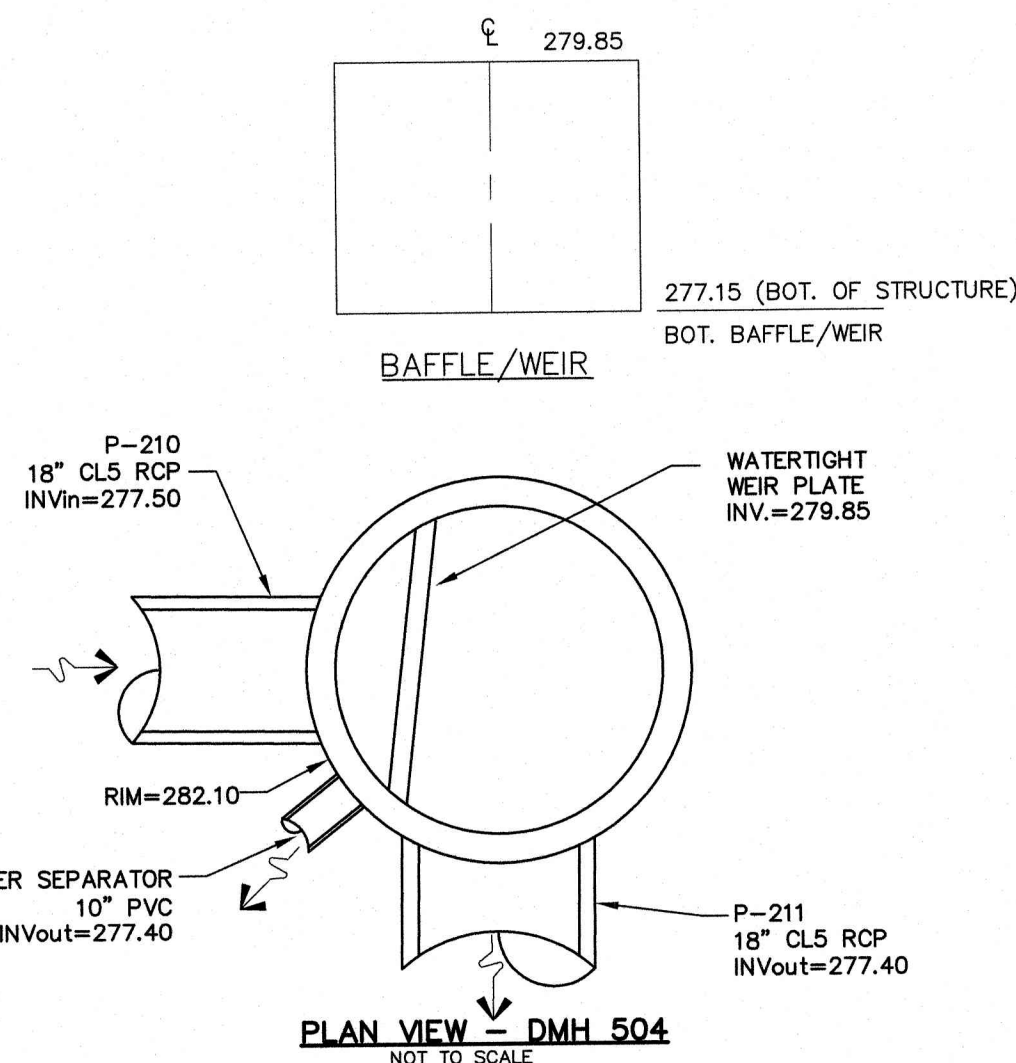
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SHEET 14 OF 19  
JBE PROJECT NO. 13153

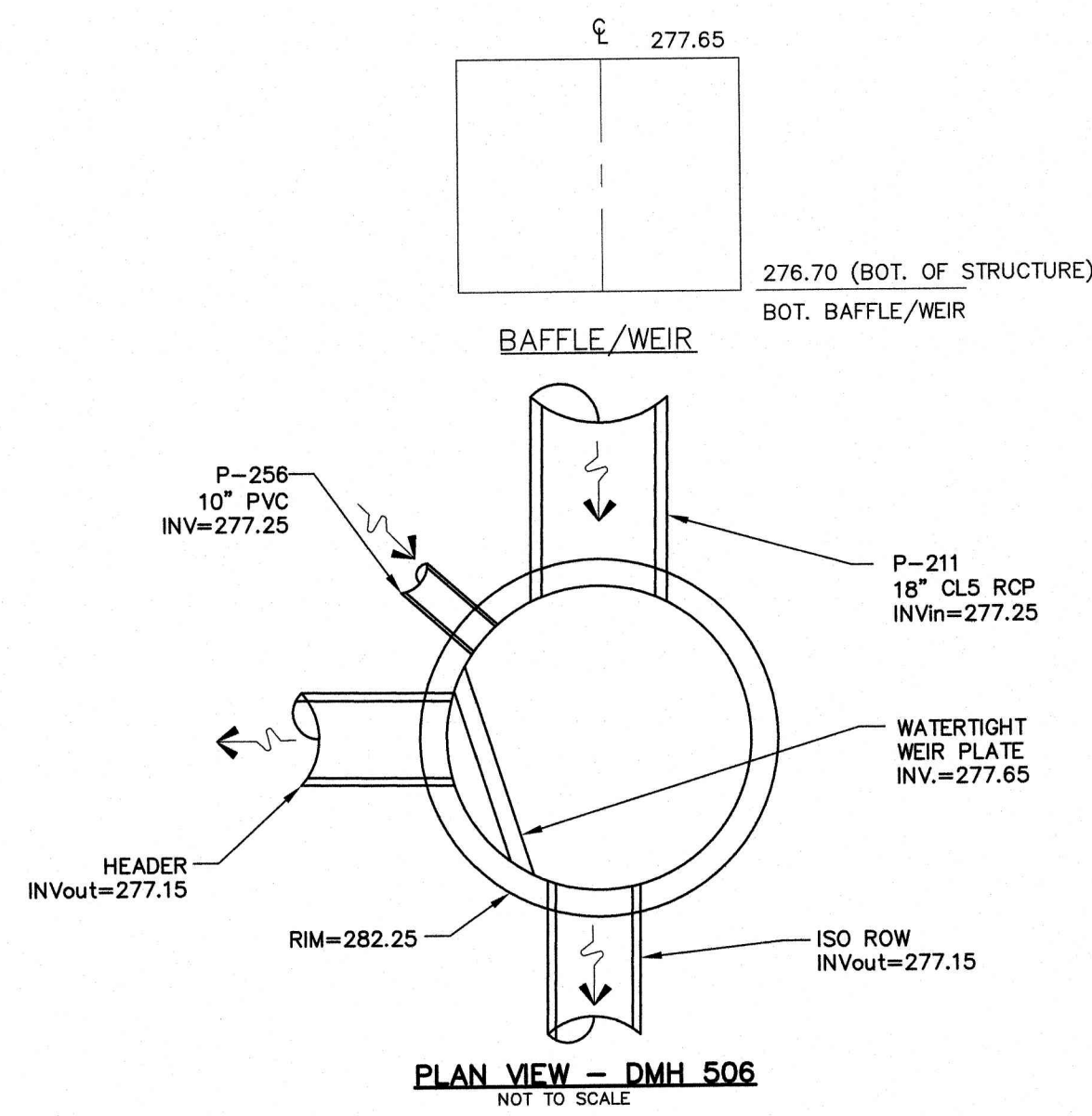
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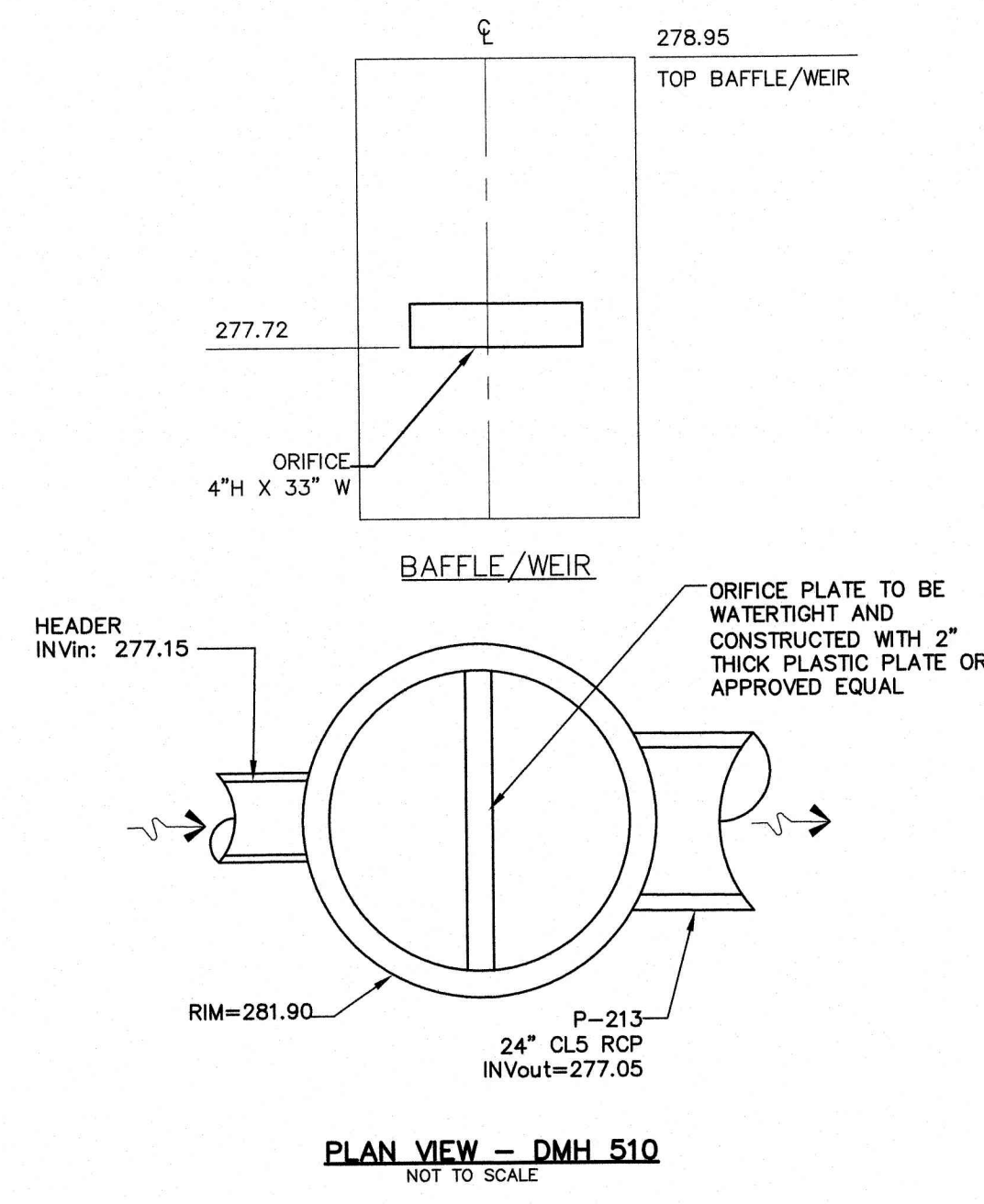
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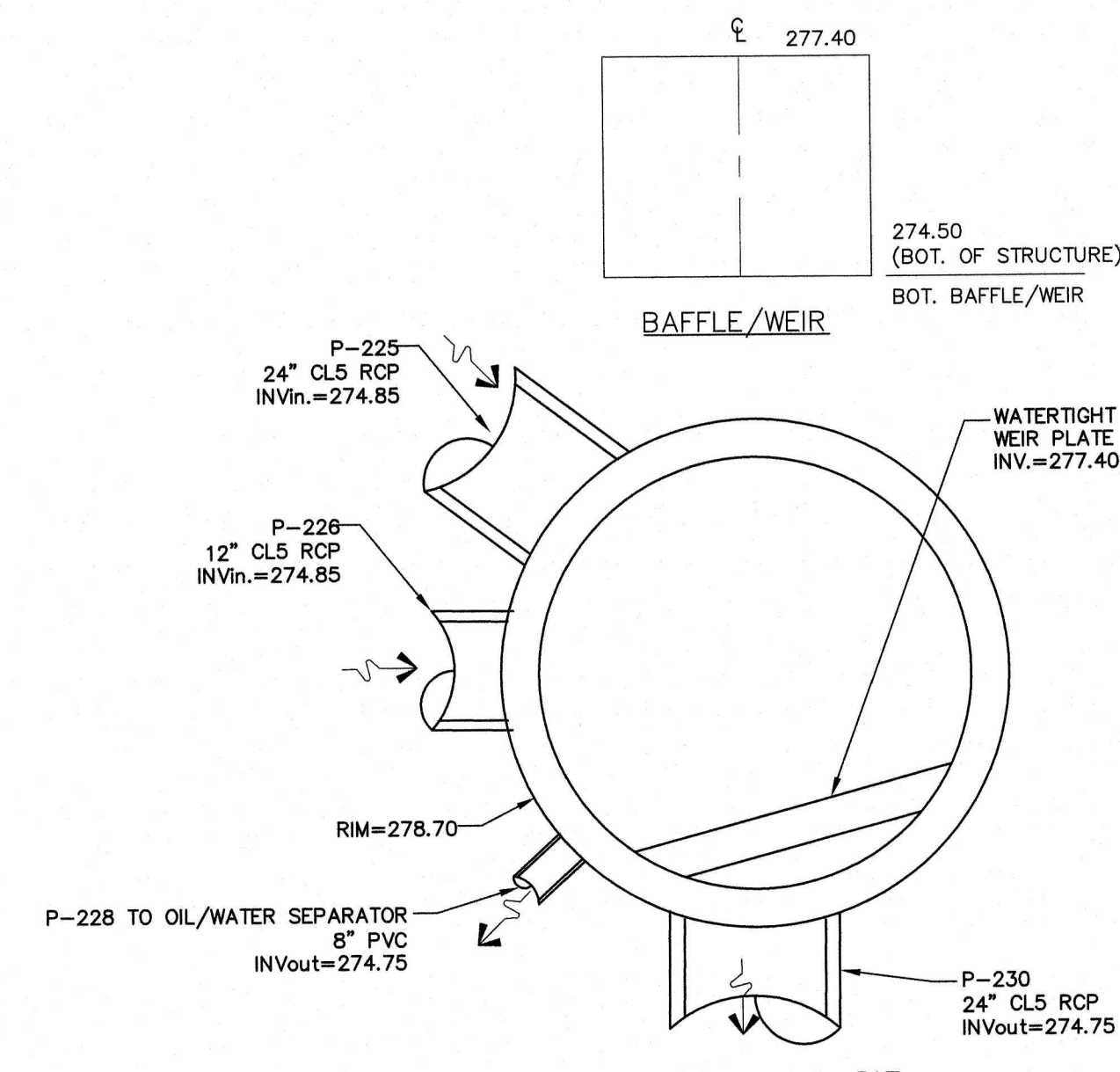
**DMH 504 DETAIL**  
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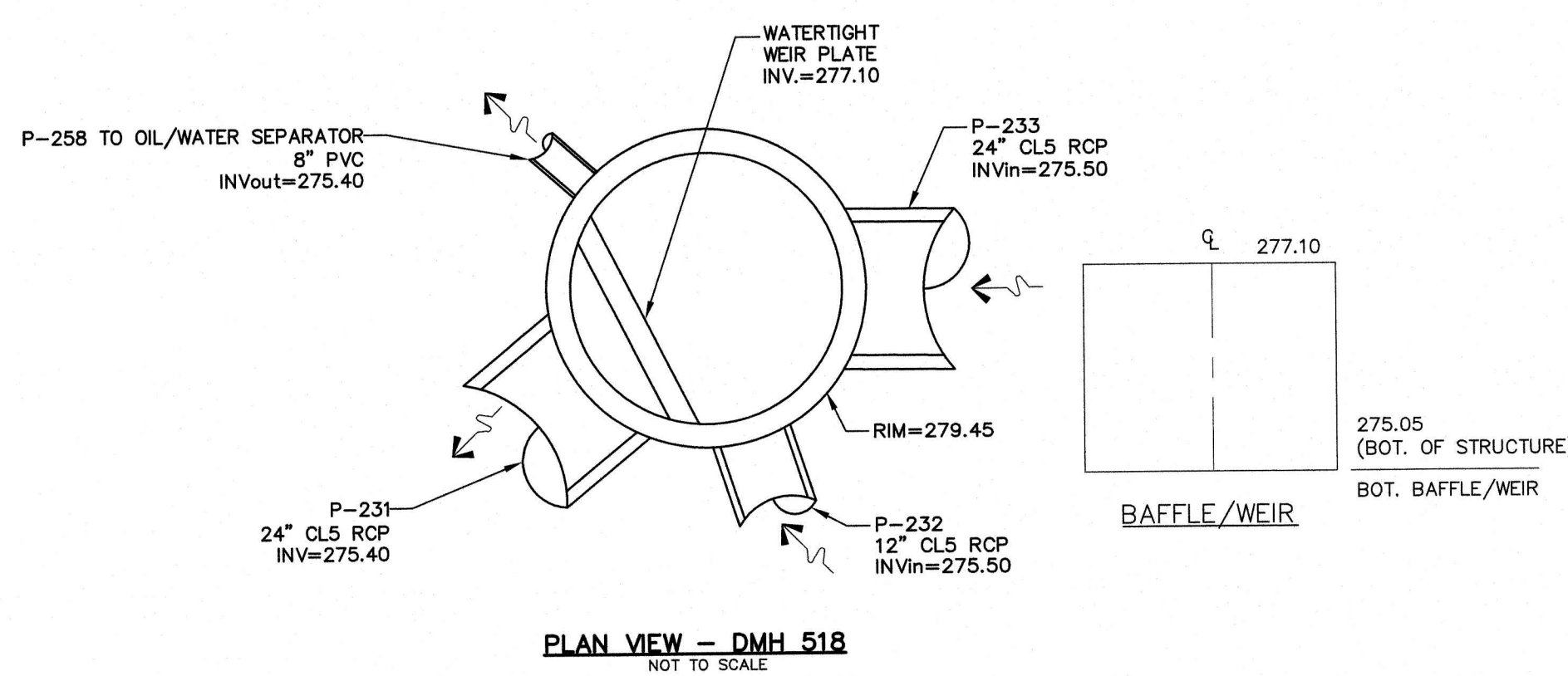
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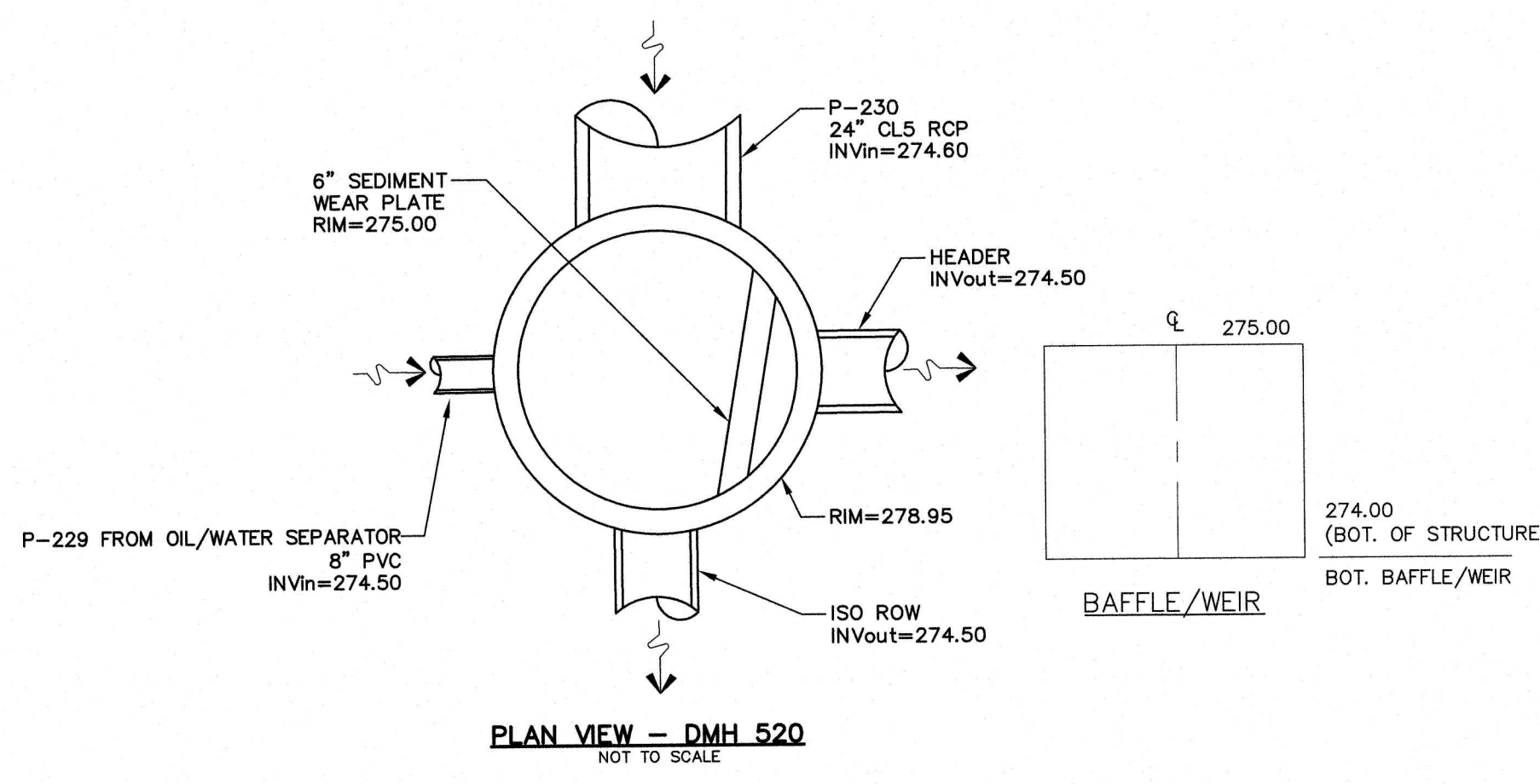
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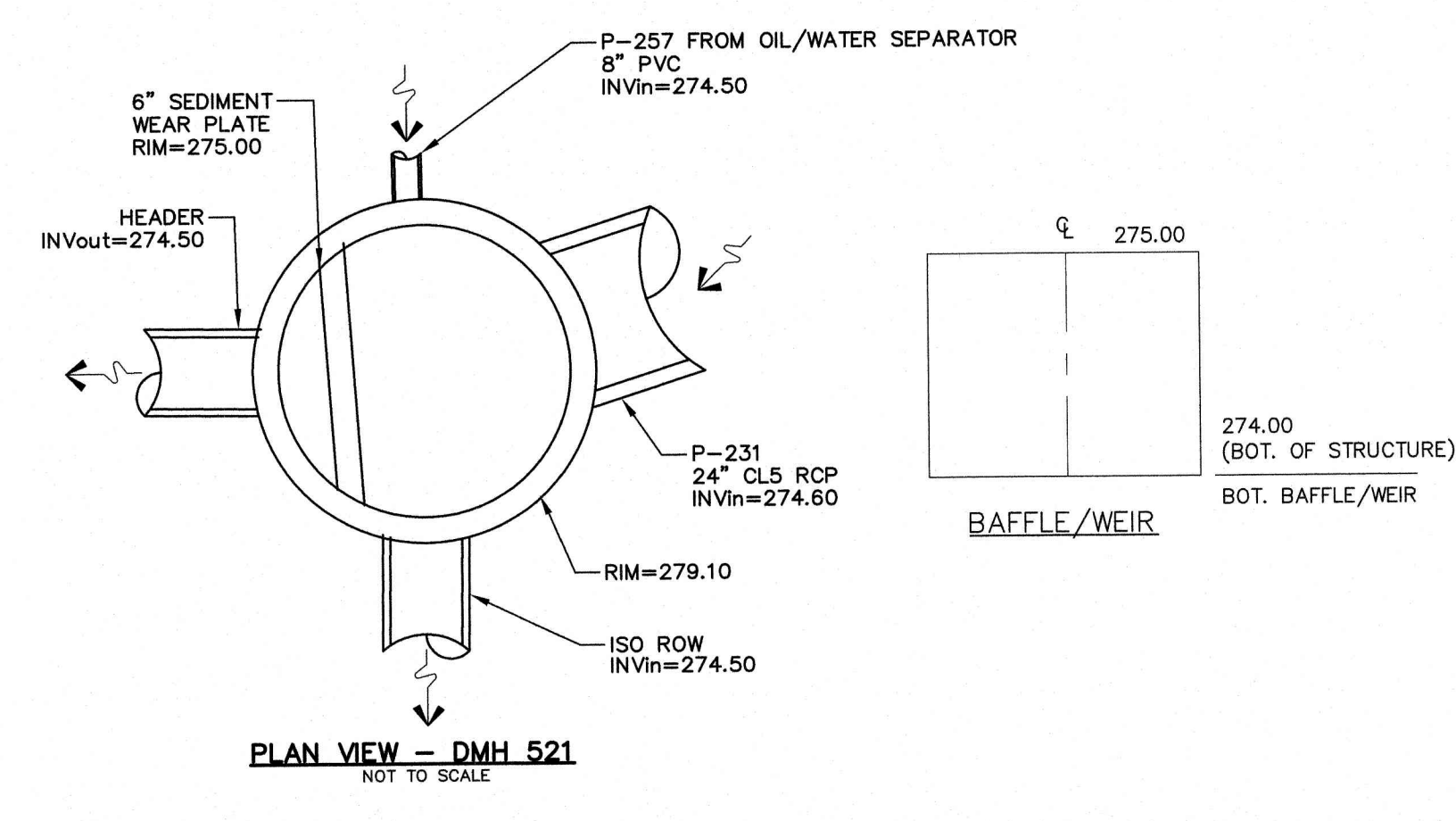
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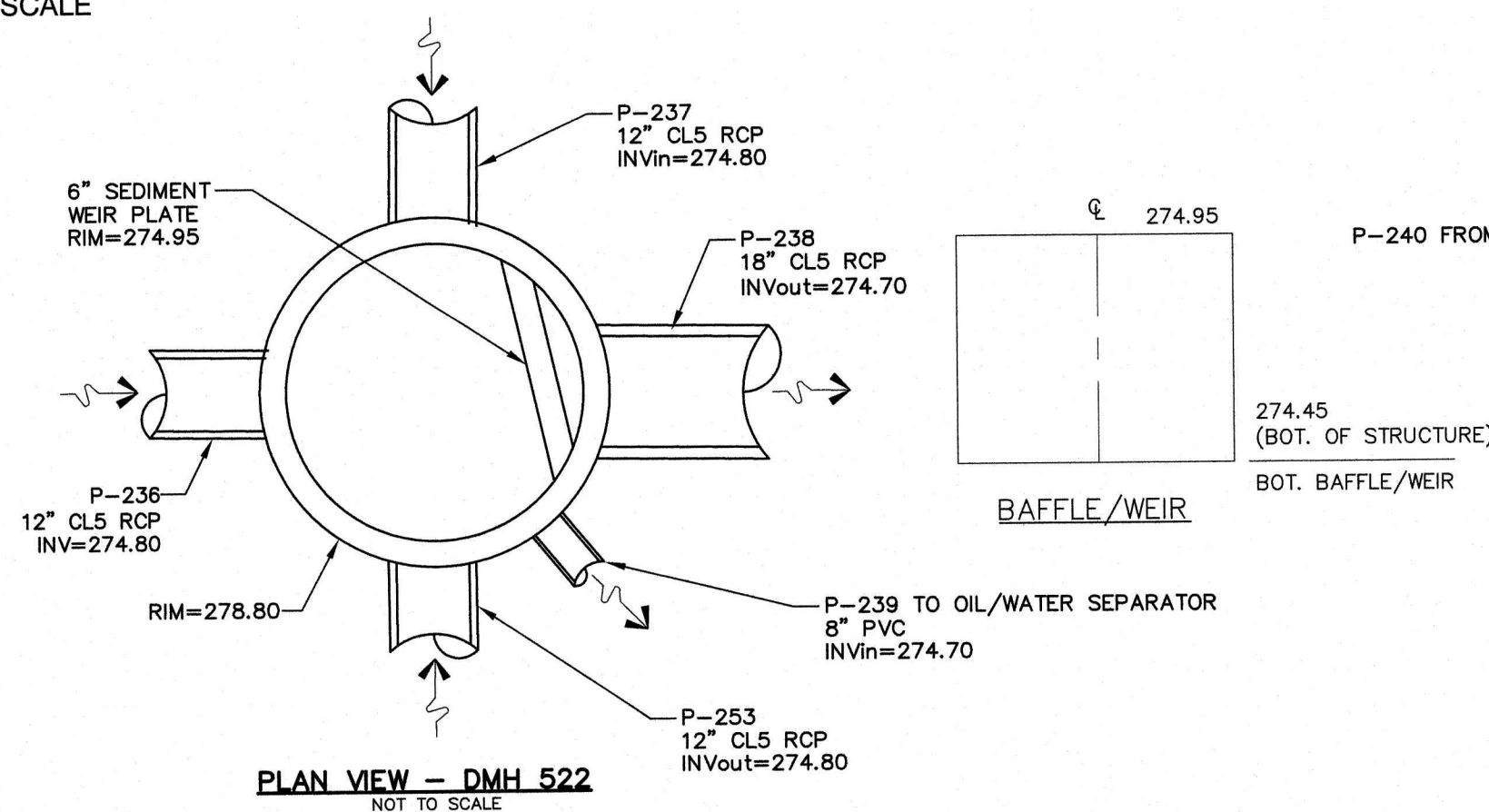
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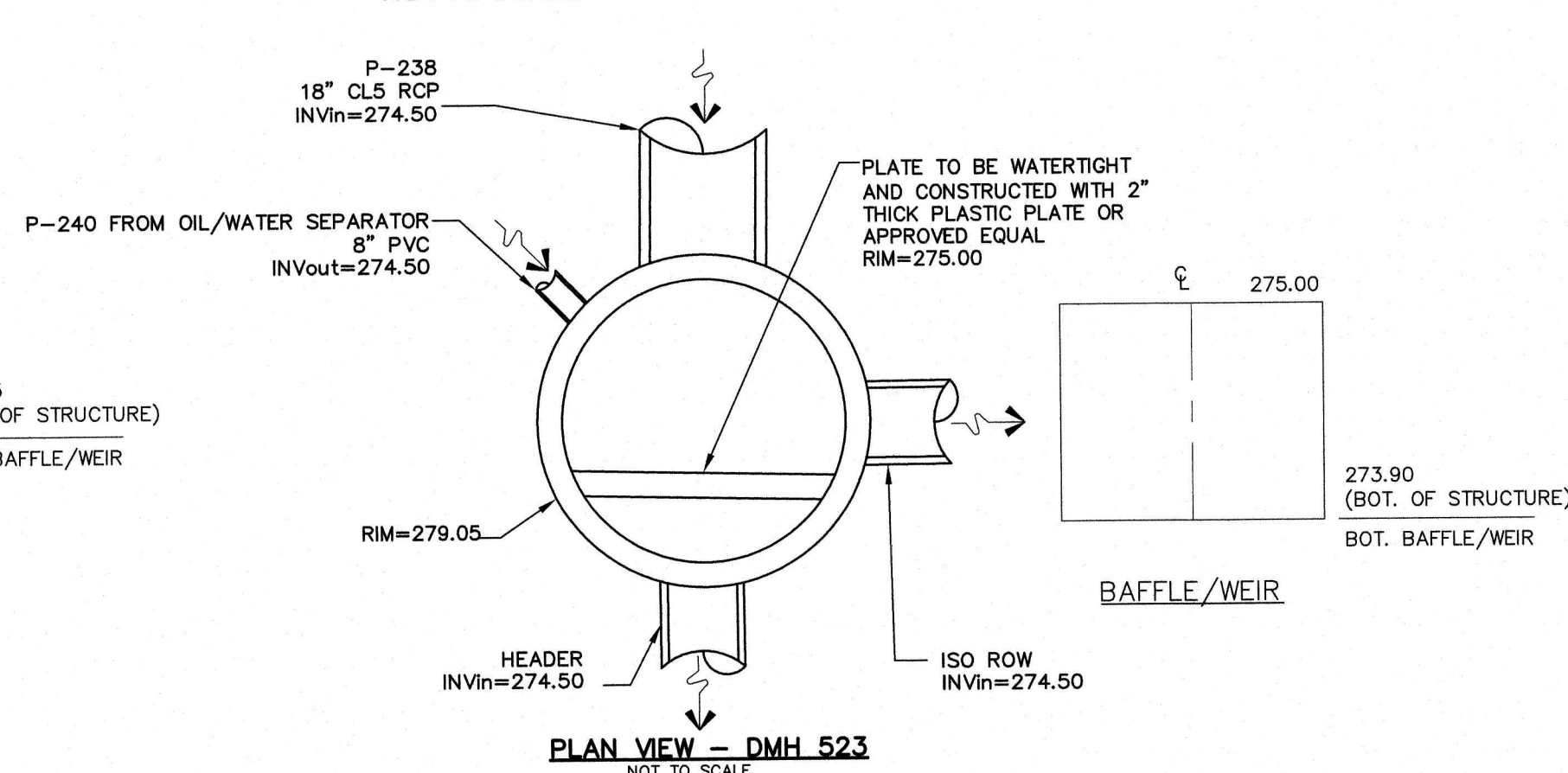
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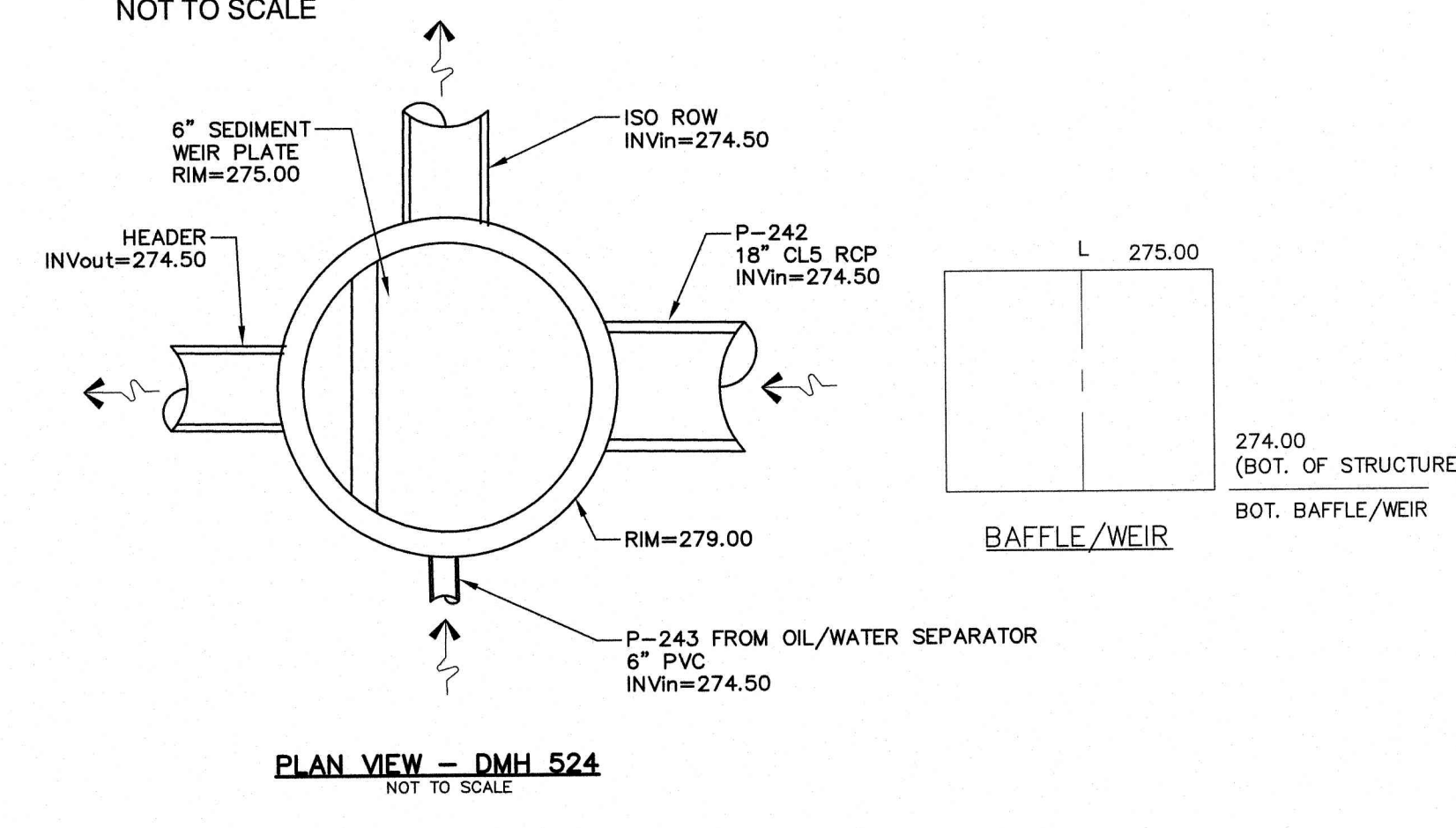
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**DMH 522 DETAIL**  
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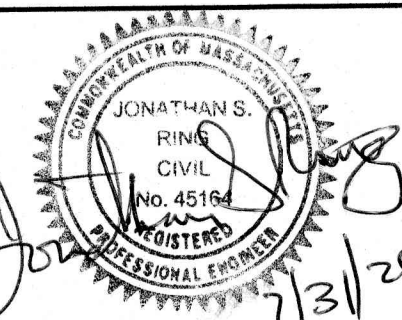
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NOT TO SCALE



**DMH 524 DETAIL**  
NOT TO SCALE

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Design: WGM Draft: RMK Date: 05/06/20  
Checked: WGM Scale: AS NOTED Project No.: 13153  
Drawing Name: 13153-PLAN.dwg  
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0	05/06/20	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

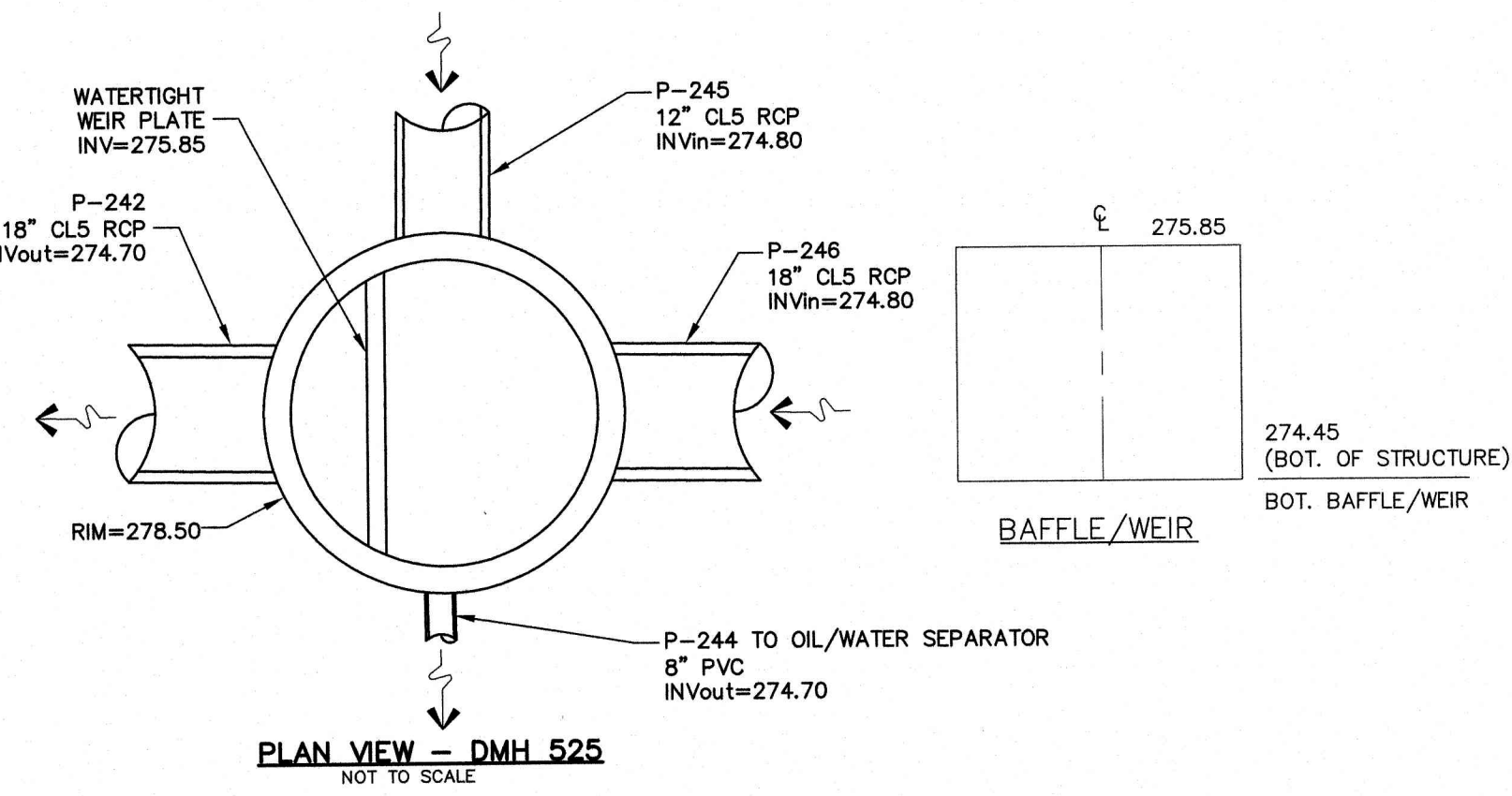
**J/B Jones & Beach Engineers, Inc.**

603-772-4748  
65 Portsmouth Ave. Civil Engineering Services  
PO Box 219 Stratham, NH 03885 E-Mail: JBE@JONESANDBEACH.COM

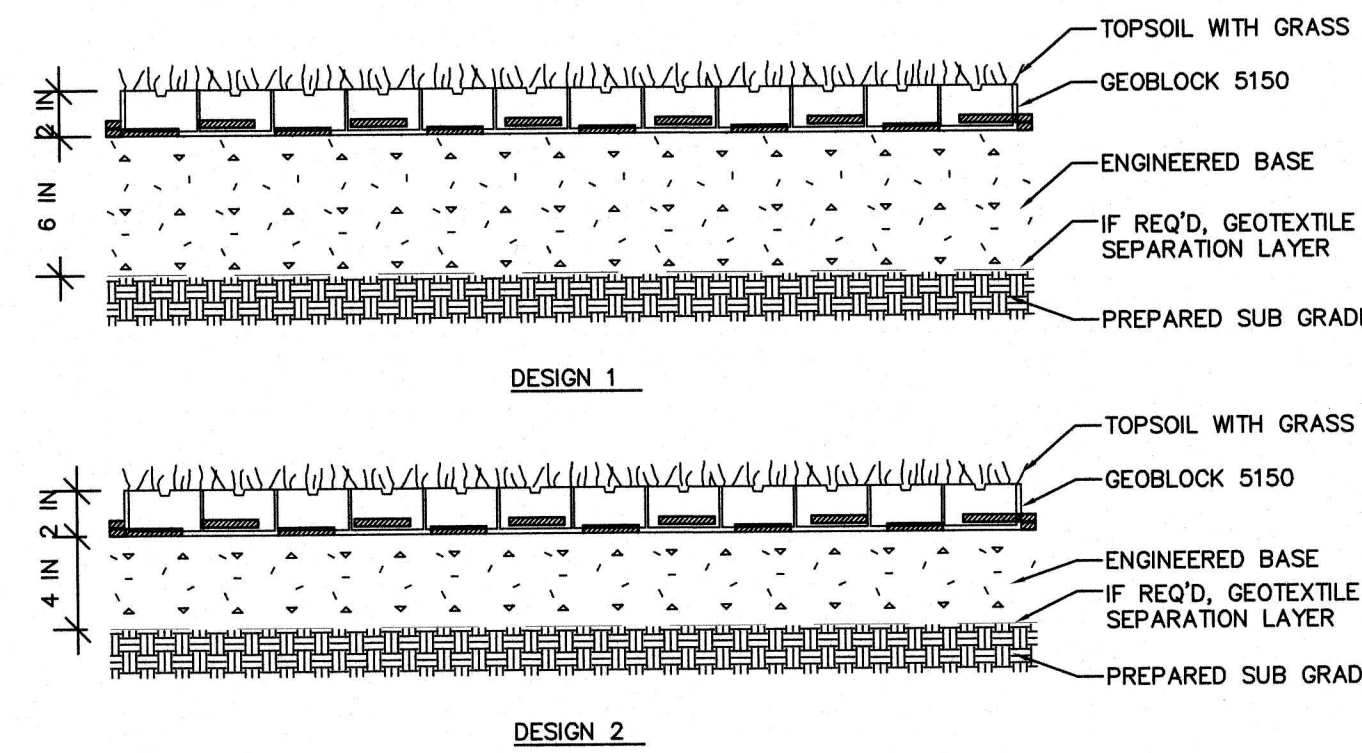
Plan Name:	<b>DETAIL SHEET</b>
Project:	PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA
Owner of Record:	340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

DRAWING No.  
**D6**  
SHEET 15 OF 19  
JBE PROJECT NO. 13153



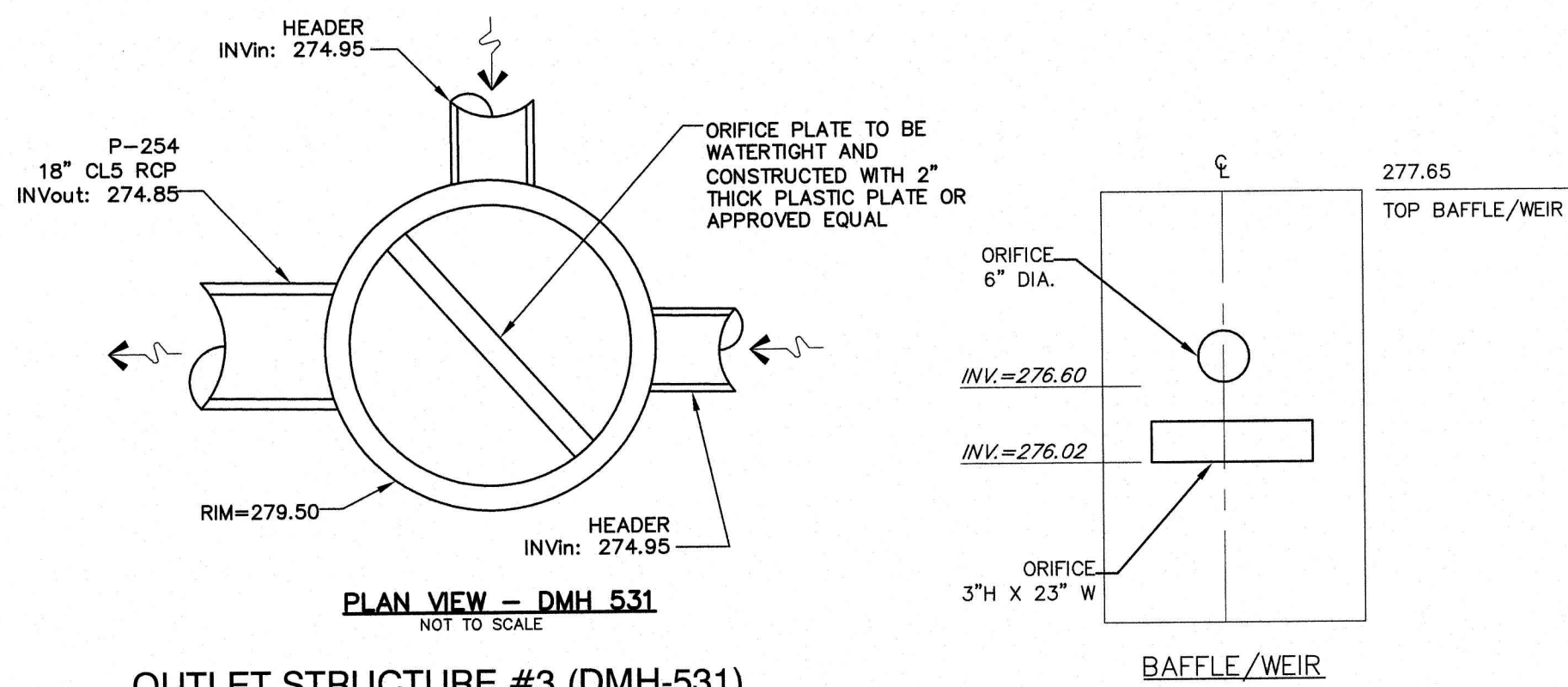


DMH 525 DETAIL  
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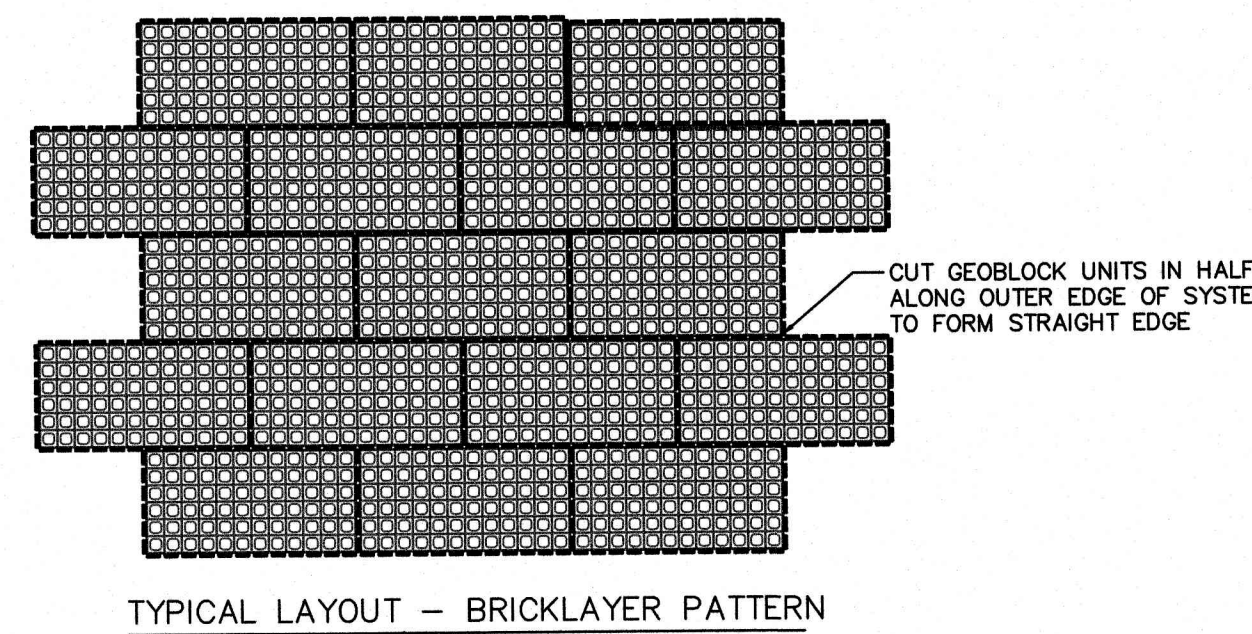


DESIGN GUIDELINES		
LOAD DESCRIPTION	CBR 2 - 4%	CBR > 4%
Heavy Fire Truck Access & H/HS-20 loading. Typical 110 psi (758 kPa) tire pressure. Single axle loadings of 32 kips (145 kN), tandem axle loadings of 48 kips (220 kN). Gross vehicle weight of 80,000 lbs (36.3 MT). Infrequent passes.	Design 1 - 6" Base	Design 2 - 4" Base
Light Fire Truck Access & H/HS-15 loading. Typical 85 psi (586 kPa) tire pressure. Single axle loadings of 24 kips (110 kN). Gross vehicle loads of 60,000 lbs (27.2 MT). Infrequent passes.	Design 2 - 4" Base	Design 3 - 2" Base
Utility & Delivery Truck Access & H/HS-10 loading. Typical 60 psi (414 kPa) tire pressure. Single axle loadings of 16 kips (75 kN). Gross vehicle loads of 40,000 lbs (18.1 MT). Infrequent passes.	Design 3 - 2" Base	Design 3 - 2" Base
Cars & Pick-up Truck Access. Typical 45 psi (310 kPa) tire pressure. Single axle loadings of 4 kips (18 kN). Gross vehicle loads of 8,000 lbs (3.6 MT). Infrequent passes.	Design 4 - No Base	Design 4 - No Base
Trail Use. Loading for pedestrian, wheelchair, equestrian, bicycle, motorcycle and ATV traffic.	Design 4 - No Base	Design 4 - No Base

- Notes:
- This information is based on the use of Geoblock 5150 manufactured by Presto Products Co. All rights reserved. Any use of this information for any rigid porous paver product other than that manufactured by Presto is strictly prohibited and makes this information invalid.
  - Engineered base is a homogenous mixture consisting of open graded crushed aggregate having an AASHTO # 5 or similar designation blended with pulverized topsoil and a void component generally containing air and/or water. This homogenous mixture will promote vegetative growth and provide required structural support. The aggregate portion shall have a particle range from 9.5 mm to 25 mm (0.375 to 1.0 in) with a D50 of 13 mm (0.5 in). The percentage void-space of the aggregate portion when compacted shall be at least 30%. The pulverized topsoil portion shall equal 33% +/- of the total volume and be added and blended to produce a homogenous mixture prior to placement.
  - If required, provide a non-woven geotextile separation layer and install in accordance with Manufacturer recommendations including overlaps based on sub grade CBR.
  - Connect Geoblock 5150 panels with the interlocking offset tab so that adjacent sections have horizontally level profiles.
  - Refer to the Geoblock 5150 Design and Construction Overview for a complete description of the design and construction methods.

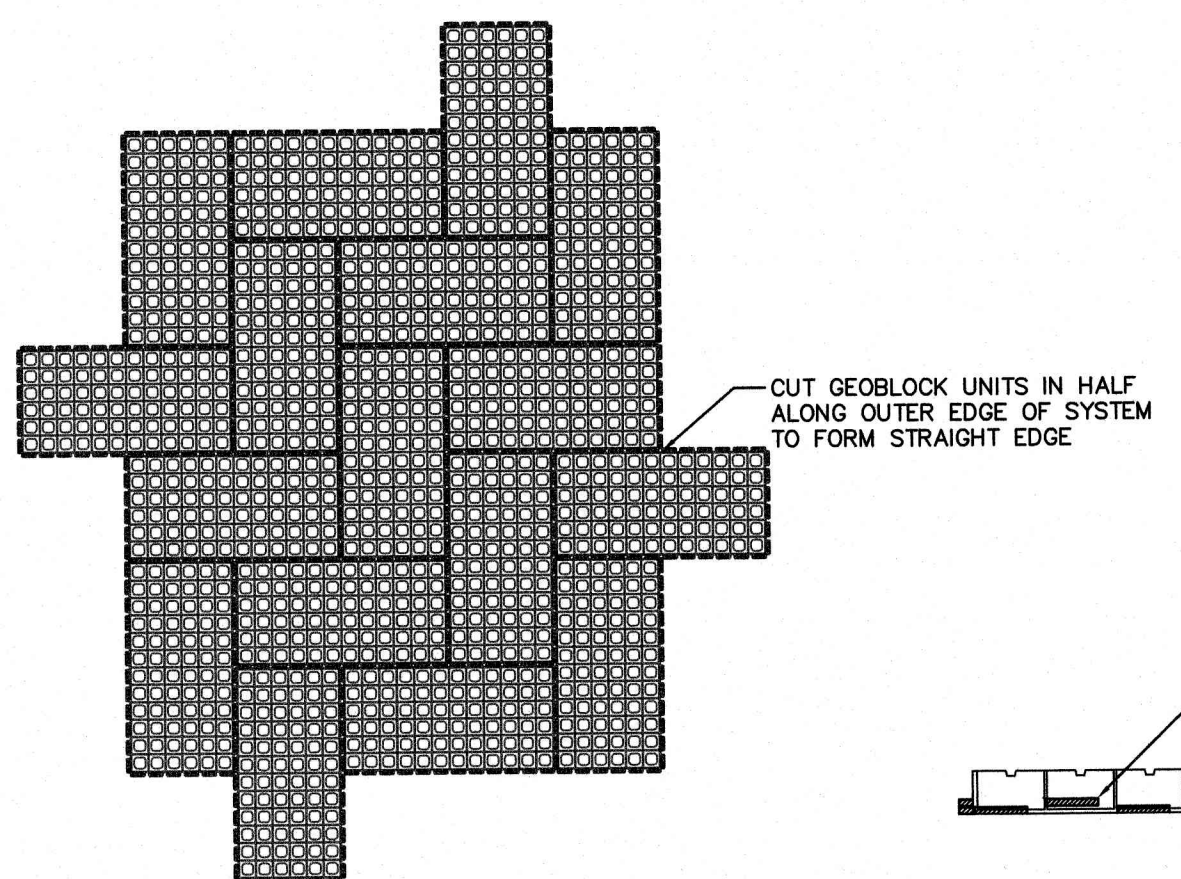


OUTLET STRUCTURE #3 (DMH-531)  
NOT TO SCALE

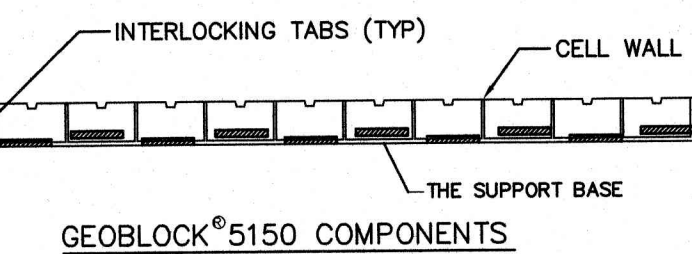
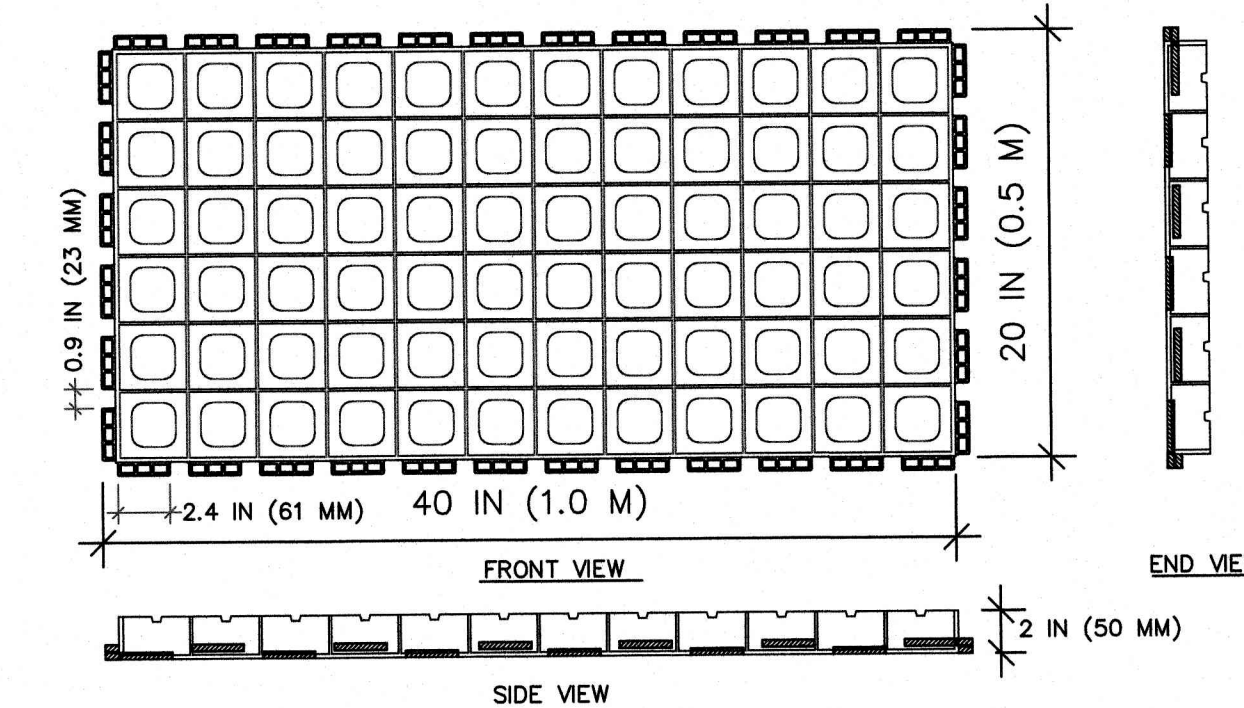


TYPICAL LAYOUT - BRICKLAYER PATTERN

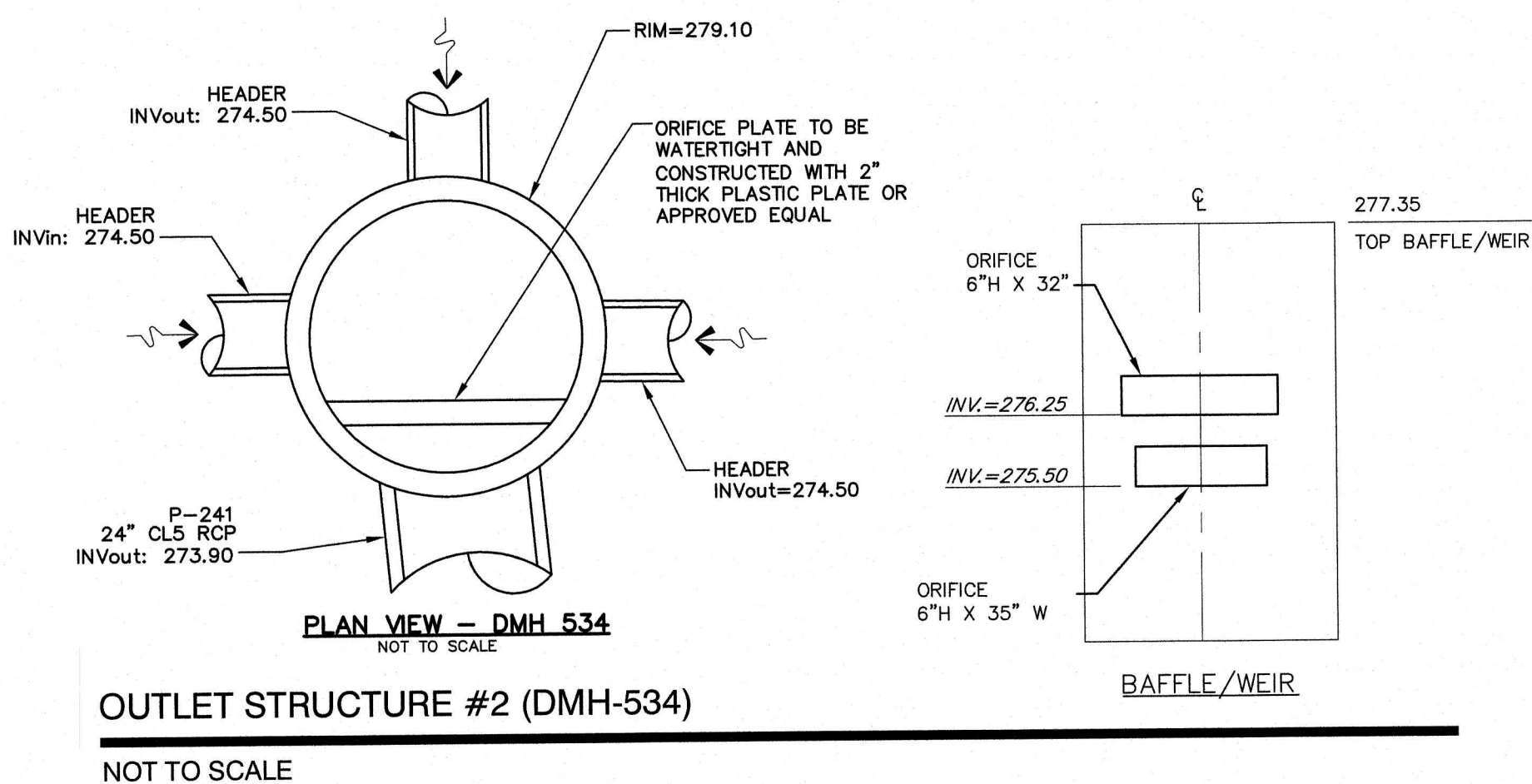
GEOBLOCK 5150 MATERIAL SPECIFICATION	
MATERIAL	UP TO 100% RECYCLED POLYETHYLENE
COLOR	RANGES DARK SHADES GRAY TO BLACK
CHEMICAL RESISTANCE	SUPERIOR
CARBON BLACK FOR UV STABILIZATION, %	1.5 TO 2.0%
UNIT MIN CRUSH STRENGTH - EMPTY @ 70F (21C)	420 PSI (2,900 KPa)
UNIT MIN CRUSH STRENGTH - SAND FILLED @ 70F (21C)	7,058 PSI (48,734 KPa)
FLEXURAL MODULUS @ 73F (21C)	35,000 PSI (240,000 KPa)
NOMINAL DIMENSIONS - WIDTH X LENGTH	20 X 40 IN (0.5 X 1.0 M)
NOMINAL UNIT DEPTH	2 IN (50 MM)
NOMINAL AREA	5.3 SQFT (0.5 SQMTR)
CELLS PER UNIT	72
CELL SIZE	3.1 X 3.2 IN (79 X 81 MM)
TOP OPEN AREA PER UNIT	87%
BOTTOM OPEN AREA PER UNIT	41%
INTERLOCKING OFFSET SHEAR TRANSFER PINS	12 TABS PER 40 IN (PER 1 M)
NOMINAL WEIGHT PER UNIT	8.7 LBS (4.0 KG)
RUNOFF COEFFICIENT @ 2.5 IN/HR (64 MM) RAIN	0.15
UNITS PER PALLET	50



TYPICAL LAYOUT - HERRINGBONE PATTERN



GEOBLOCK 5150  
NOT TO SCALE



OUTLET STRUCTURE #2 (DMH-534)  
NOT TO SCALE

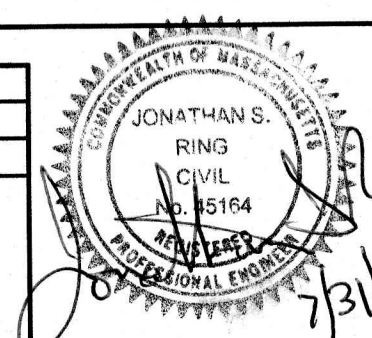
APPROVED - FRANKLIN, MA  
PLANNING BOARD

DATE: \_\_\_\_\_

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Design: WGM Draft: RMK Date: 05/08/20  
Checked: WGM Scale: AS NOTED Project No.: 13153  
Drawing Name: 13153-PLAN.dwg

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REV.	DATE	REVISION	BY
1	07/31/20	REVISED PER REVIEW ENGINEER COMMENTS	EMP
0	05/08/20	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. Stratham, NH 03885  
Civil Engineering Services  
603-772-4746  
FAX: 603-772-0227  
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**

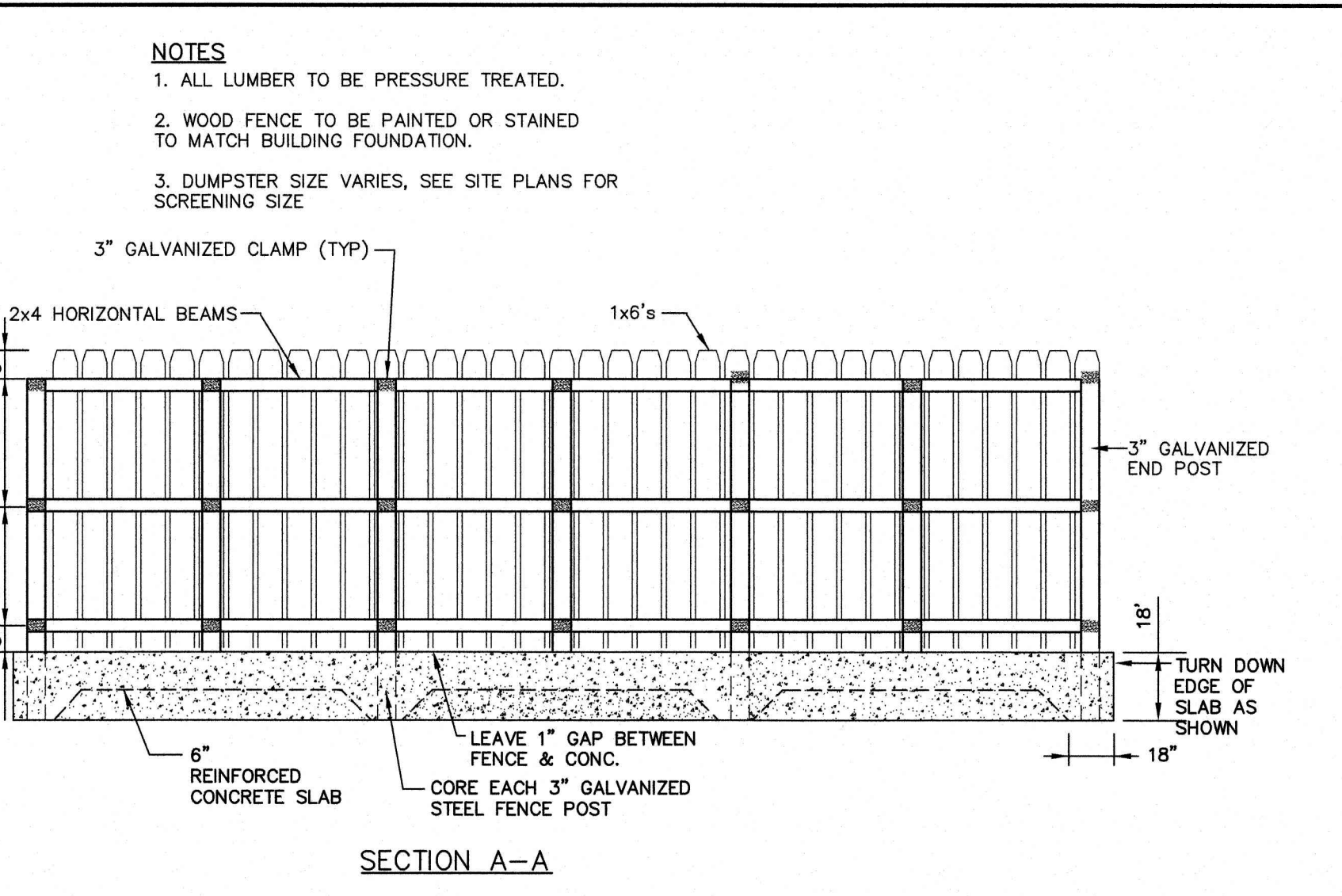
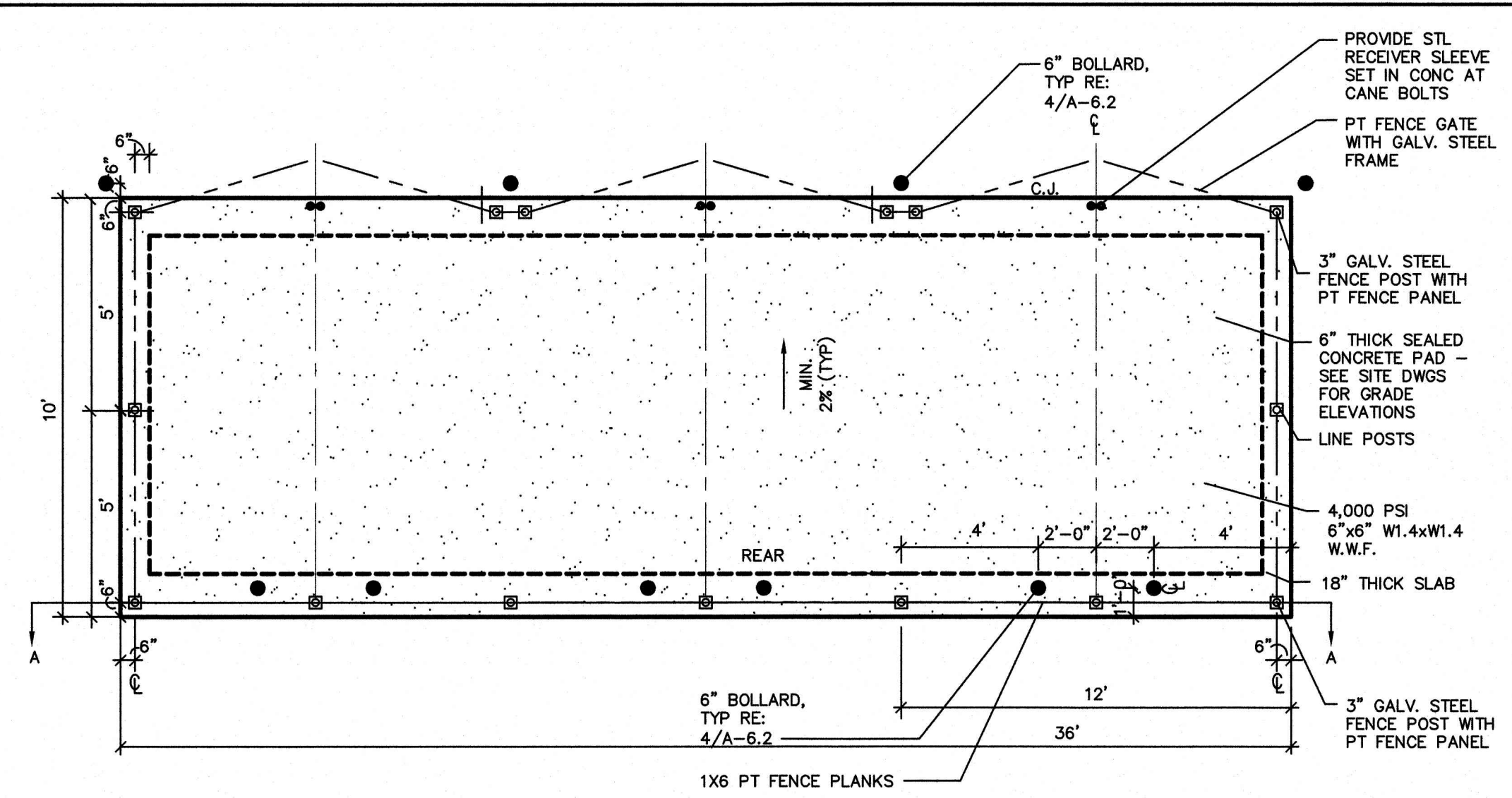
Project: **PROPOSED CENTRAL SQUARE  
340 E CENTRAL STREET, FRANKLIN, MA**

Owner of Record: 340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

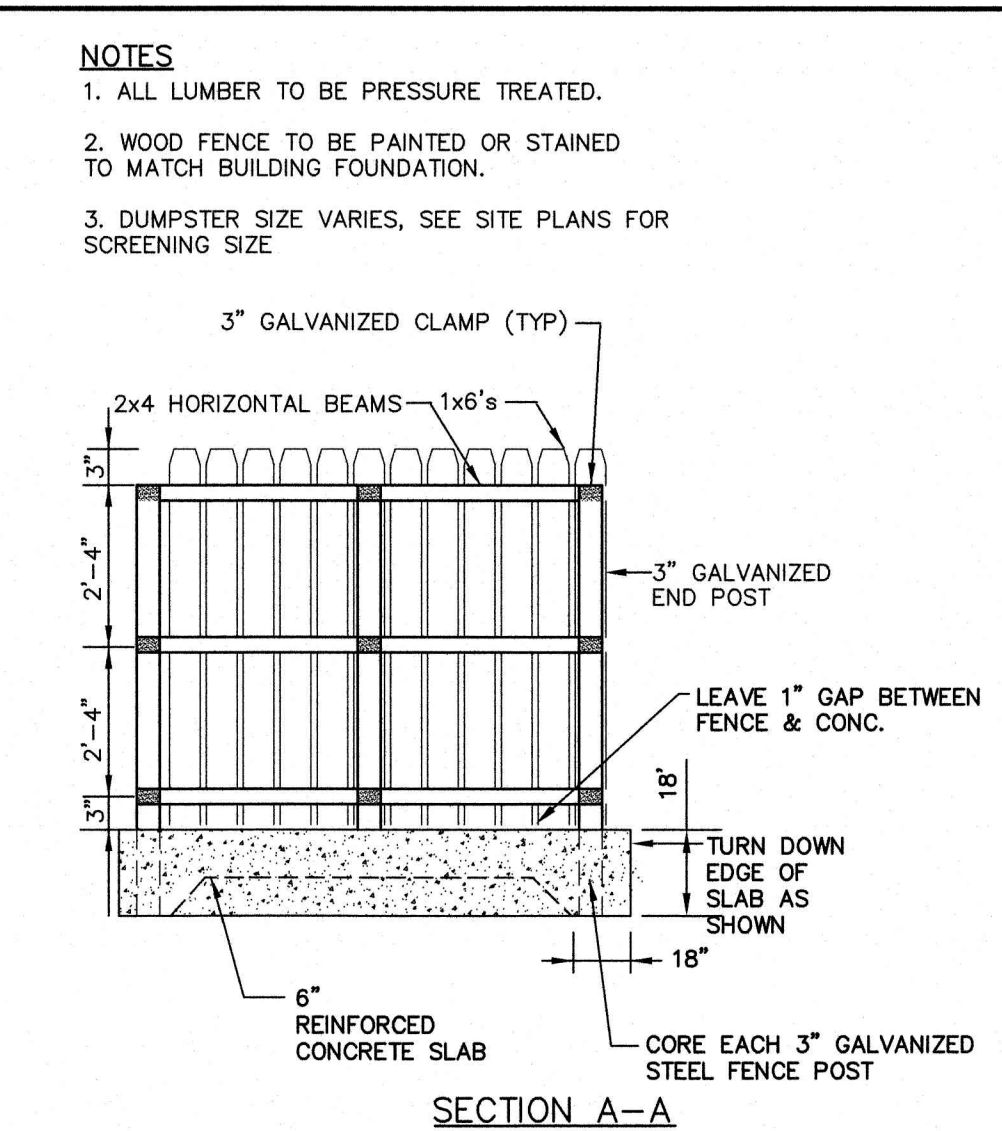
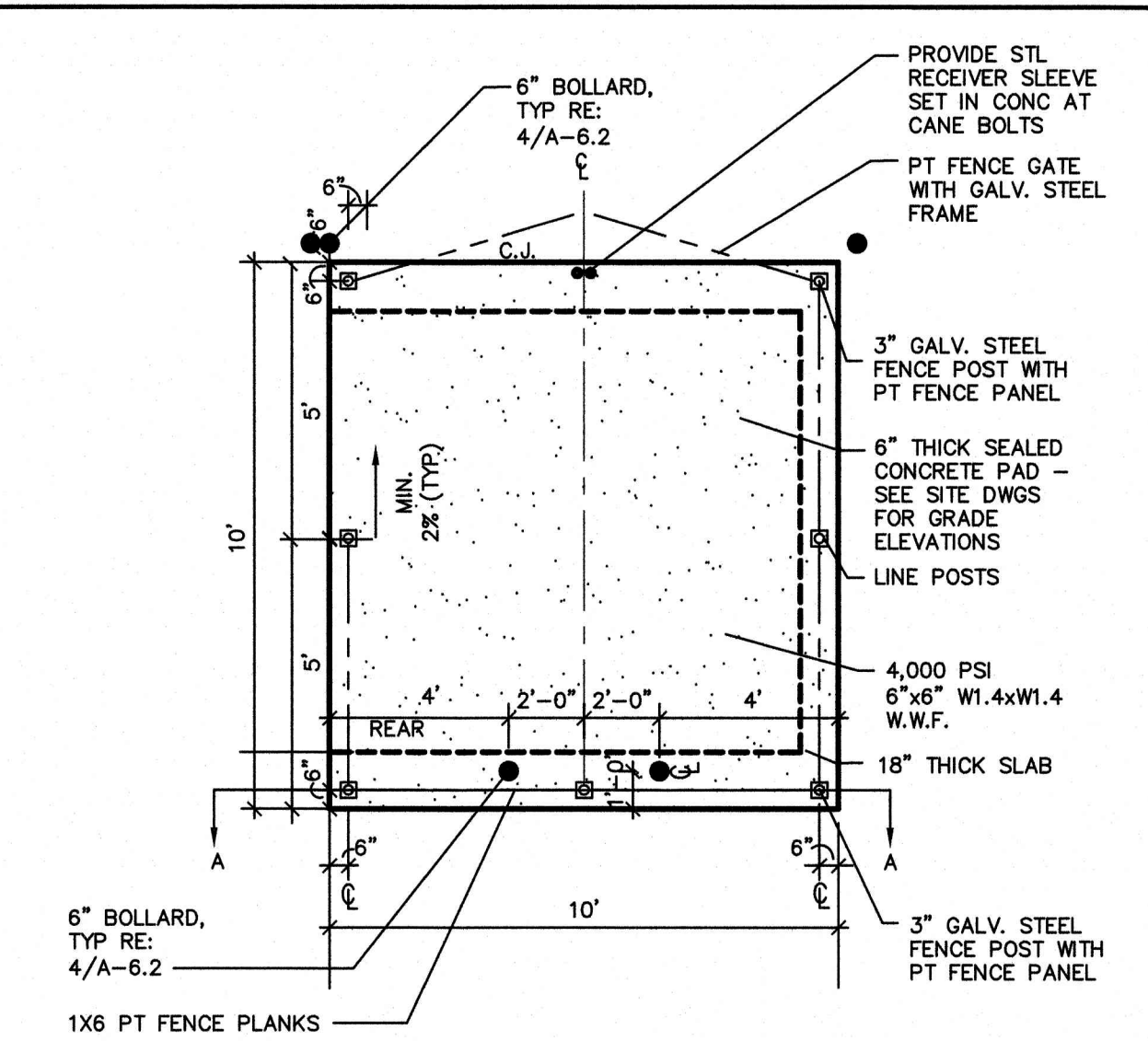
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SHEET 16 OF 19  
JBE PROJECT NO. 13153





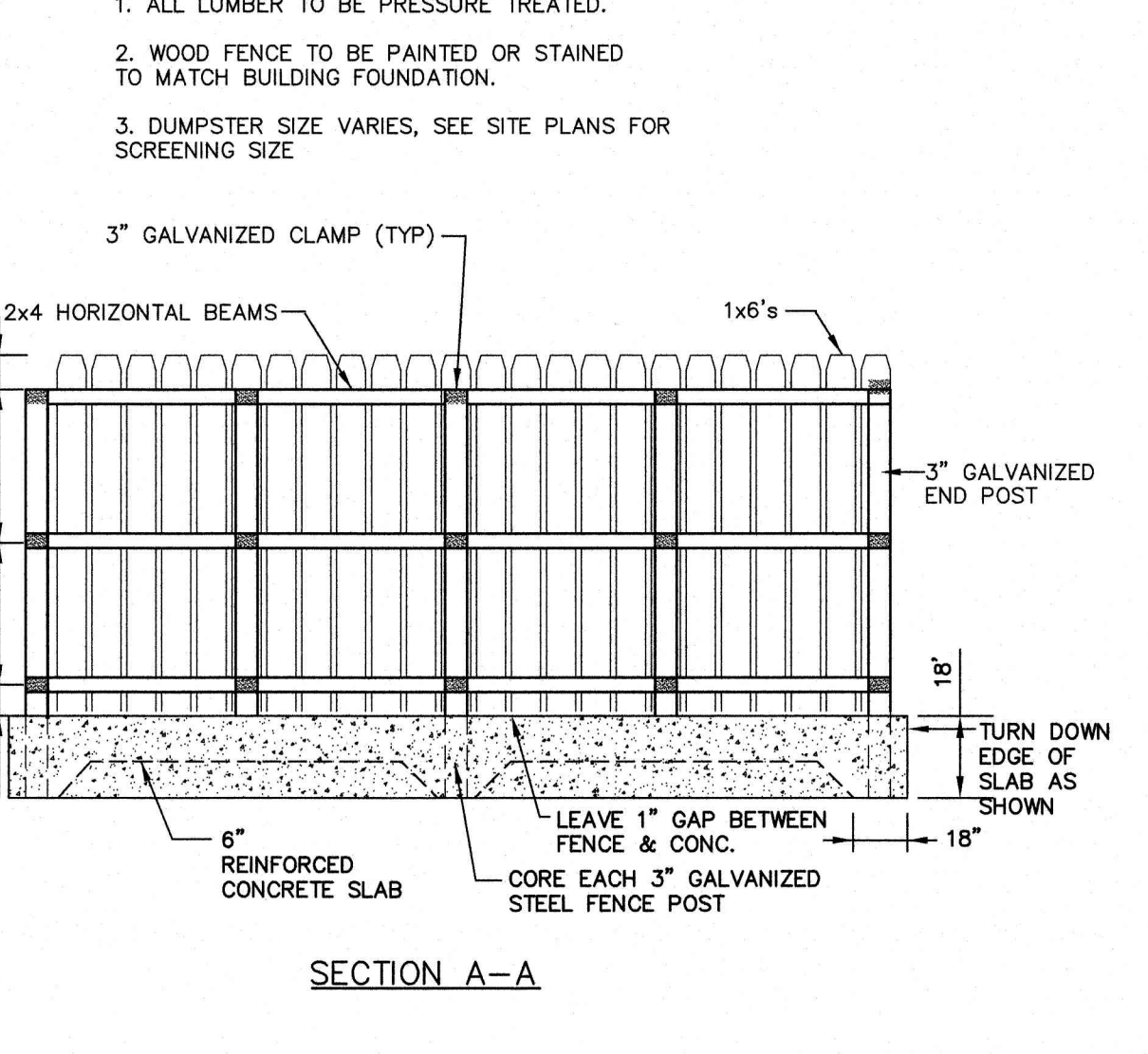
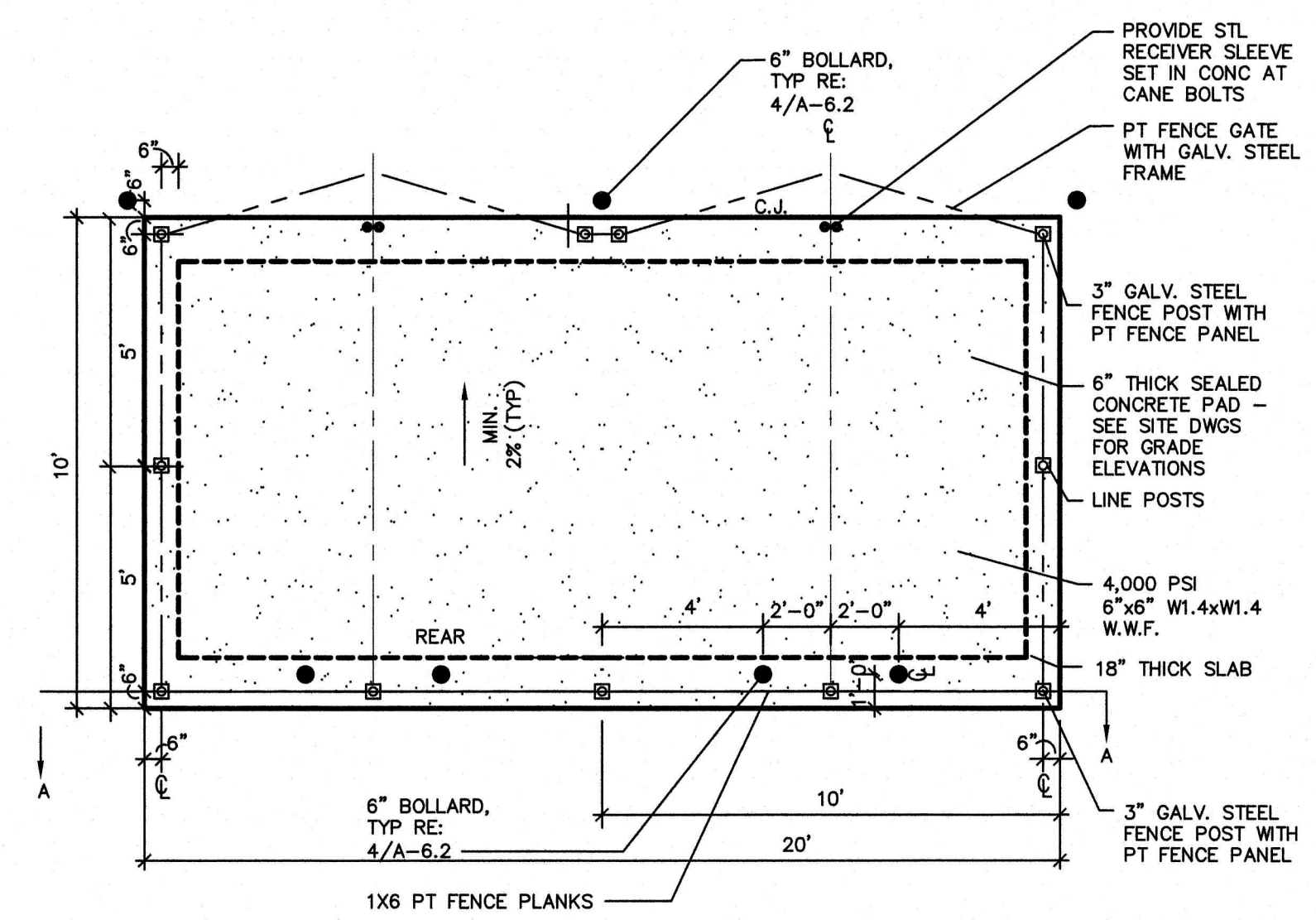
- NOTES**
1. ALL LUMBER TO BE PRESSURE TREATED.
  2. WOOD FENCE TO BE PAINTED OR STAINED TO MATCH BUILDING FOUNDATION.
  3. DUMPSTER SIZE VARIES, SEE SITE PLANS FOR SCREENING SIZE



- NOTES**
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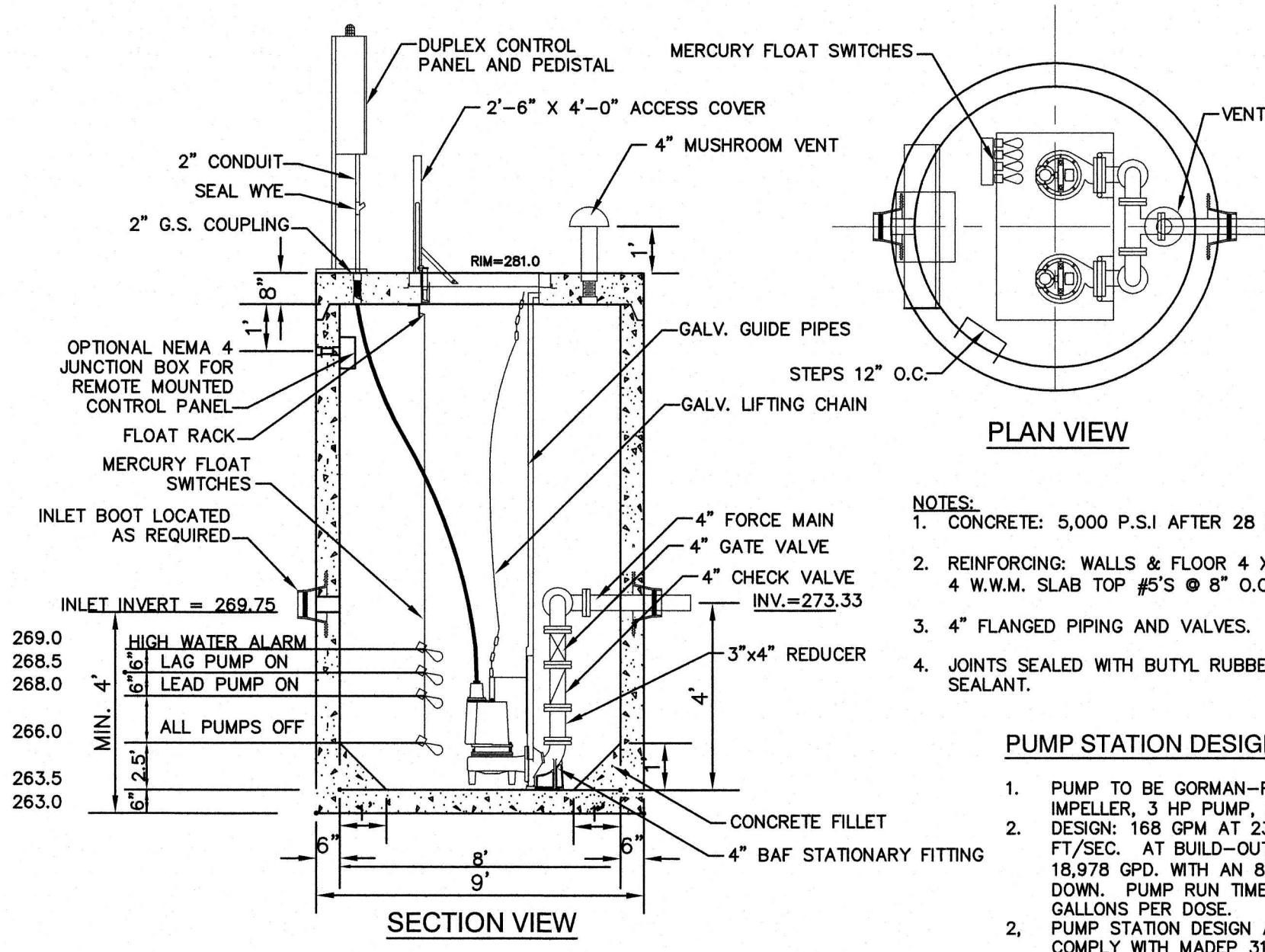
**TRIPLE DUMPSTER ENCLOSURE PLAN**  
NOT TO SCALE

**SINGLE DUMPSTER ENCLOSURE PLAN**  
NOT TO SCALE

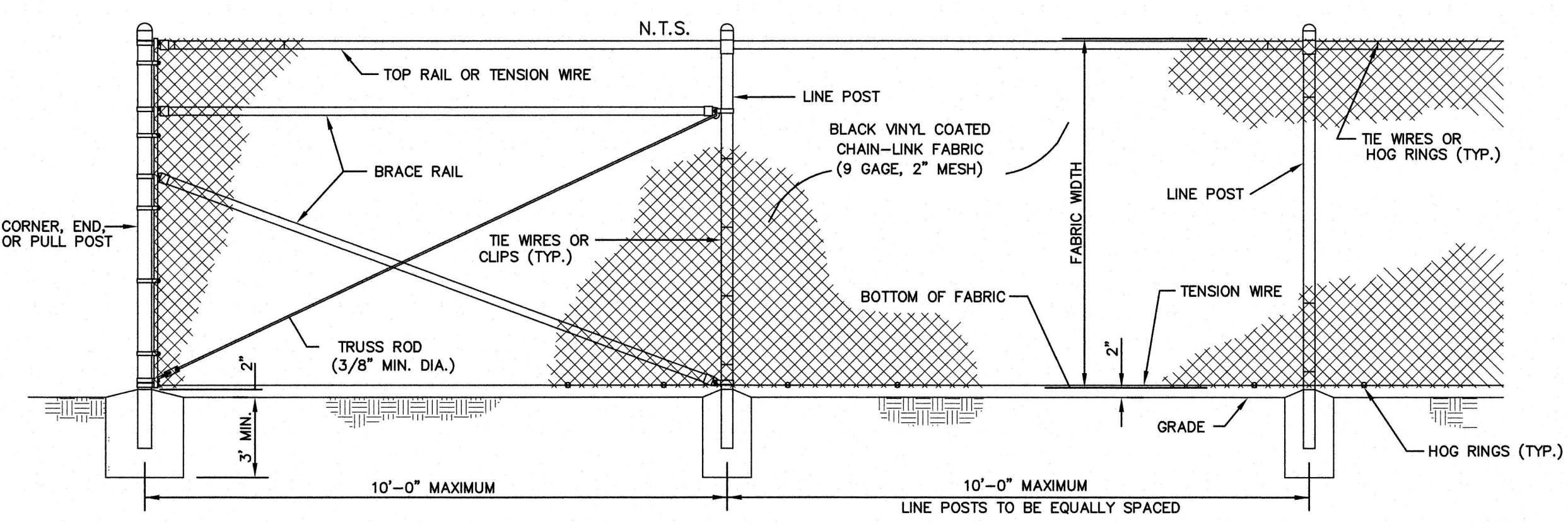


- NOTES**
1. ALL LUMBER TO BE PRESSURE TREATED.
  2. WOOD FENCE TO BE PAINTED OR STAINED TO MATCH BUILDING FOUNDATION.
  3. DUMPSTER SIZE VARIES, SEE SITE PLANS FOR SCREENING SIZE

**DOUBLE DUMPSTER ENCLOSURE PLAN**  
NOT TO SCALE

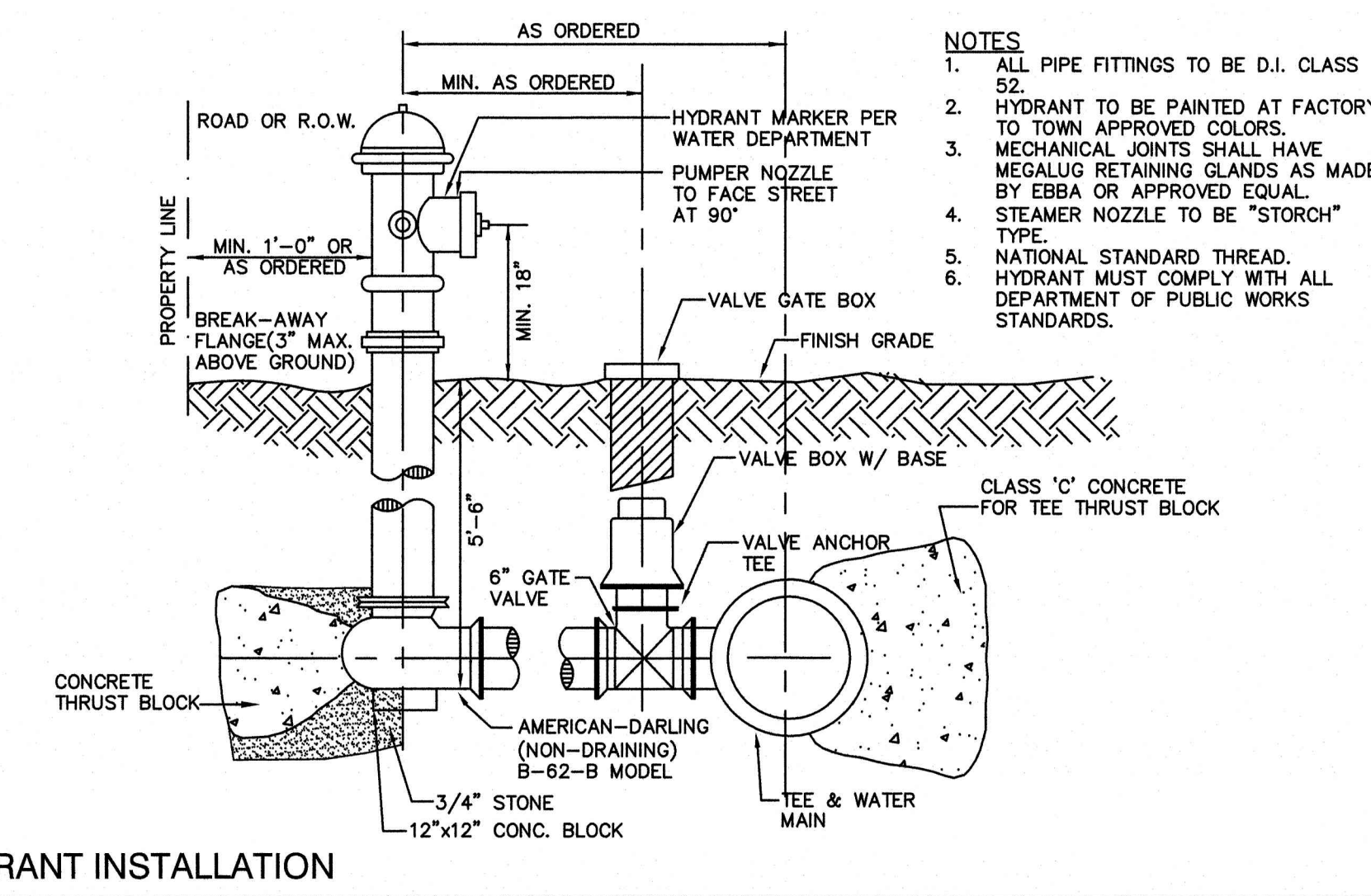


**SEWER PUMP STATION #1**  
NOT TO SCALE



- PUMP STATION DESIGN:**
1. BLACK SLAT LATTICE TO BE INTERWOVEN IN CHAIN LINK FENCE TO PROVIDE SCREENING.
  2. DEPTH OF POST AT INSERTION POINT TO BE EQUAL TO TWICE THE HEIGHT OF 1:1 SLOPE AT EACH POST LOCATION.

**6' HIGH BLACK VINYL CHAIN-LINK FENCE**  
NOT TO SCALE



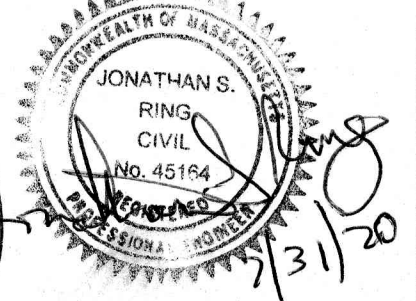
APPROVED - FRANKLIN, MA PLANNING BOARD

DATE: \_\_\_\_\_

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Design: WGM Draft: RMK Date: 05/06/20  
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85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227  
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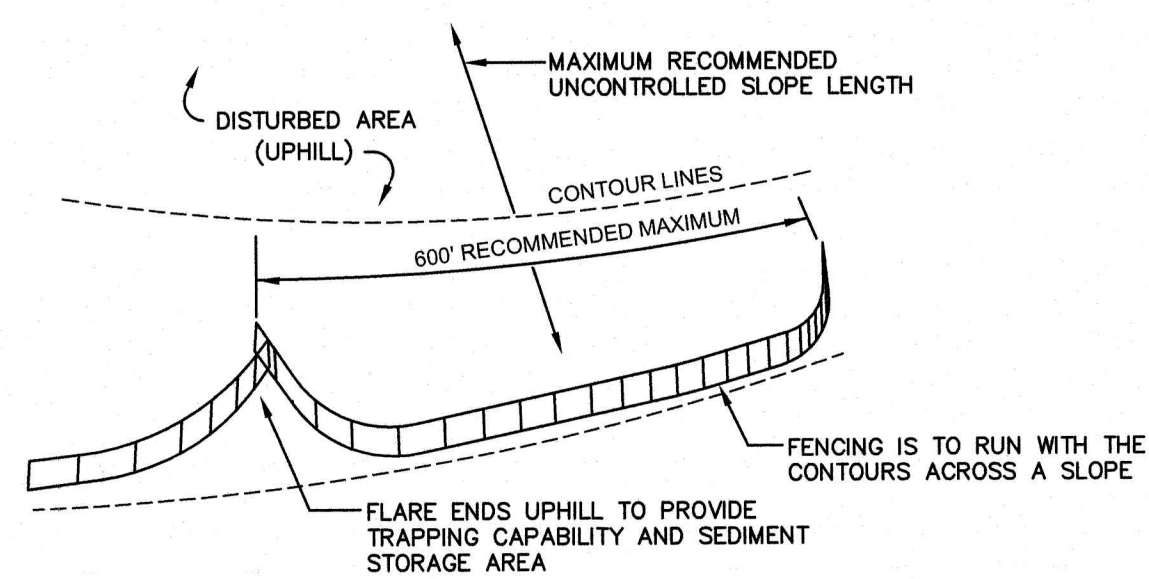
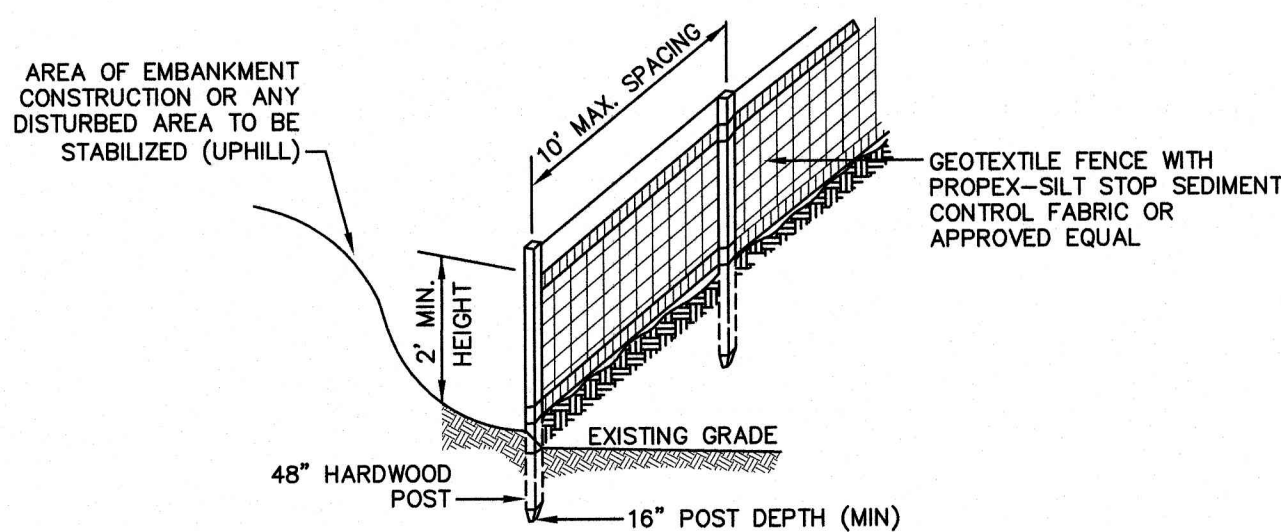
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Owner of Record: 340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

DRAWING No. **D8**

SHEET 17 OF 19  
 JBE PROJECT NO. 13153





**CONSTRUCTION SPECIFICATIONS:**

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 6" AND THEN COVERED WITH SOIL.
- THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
- SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

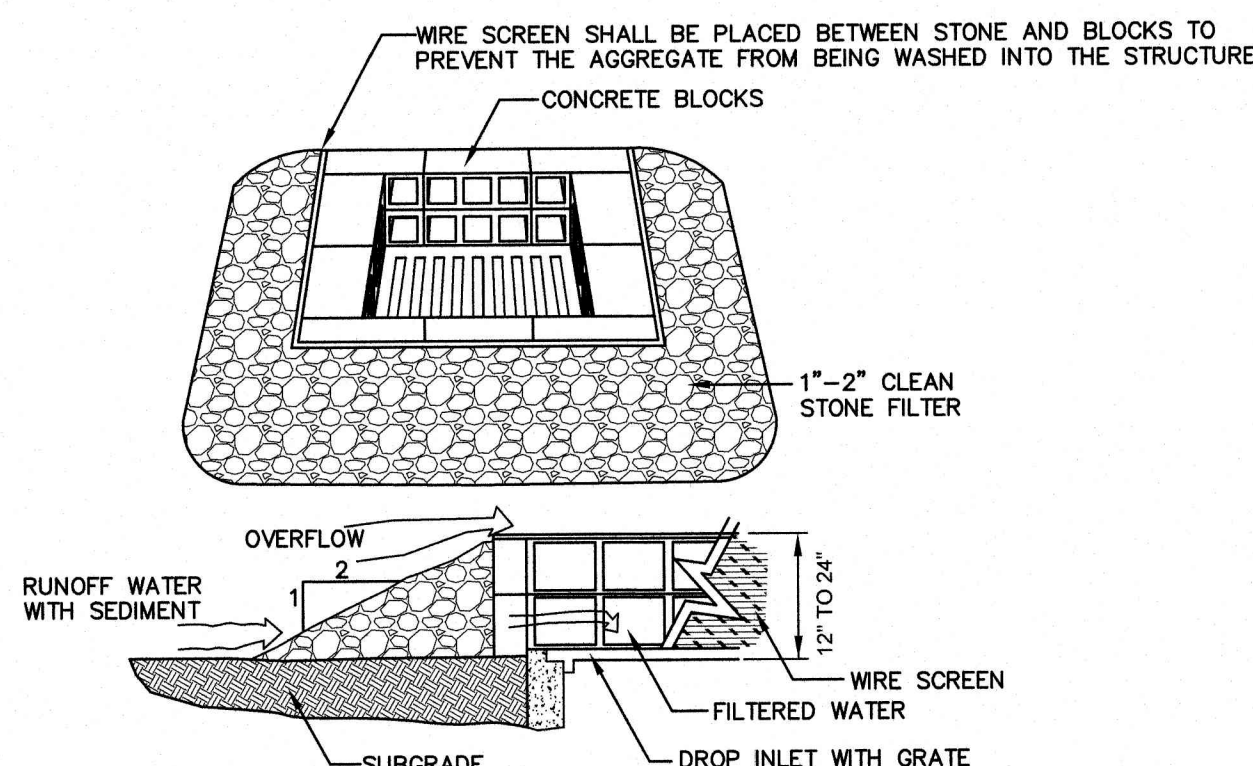
- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

**MAINTENANCE:**

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

**SILT FENCE**

NOT TO SCALE

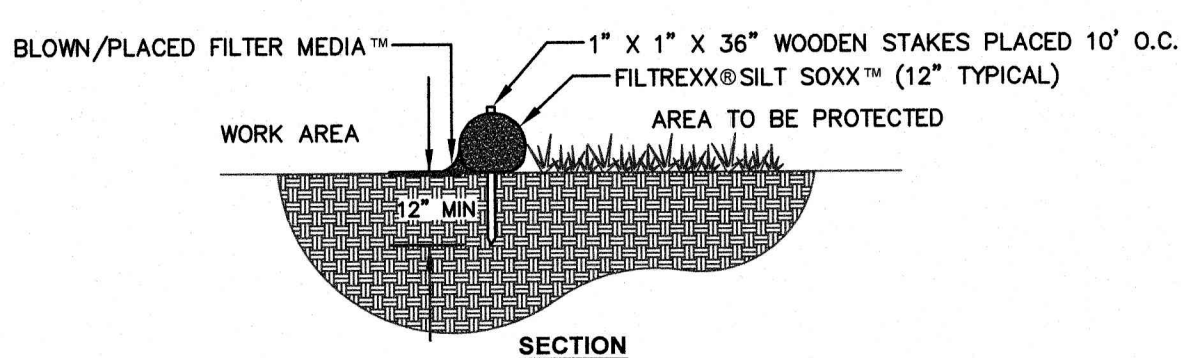


**MAINTENANCE NOTE:**

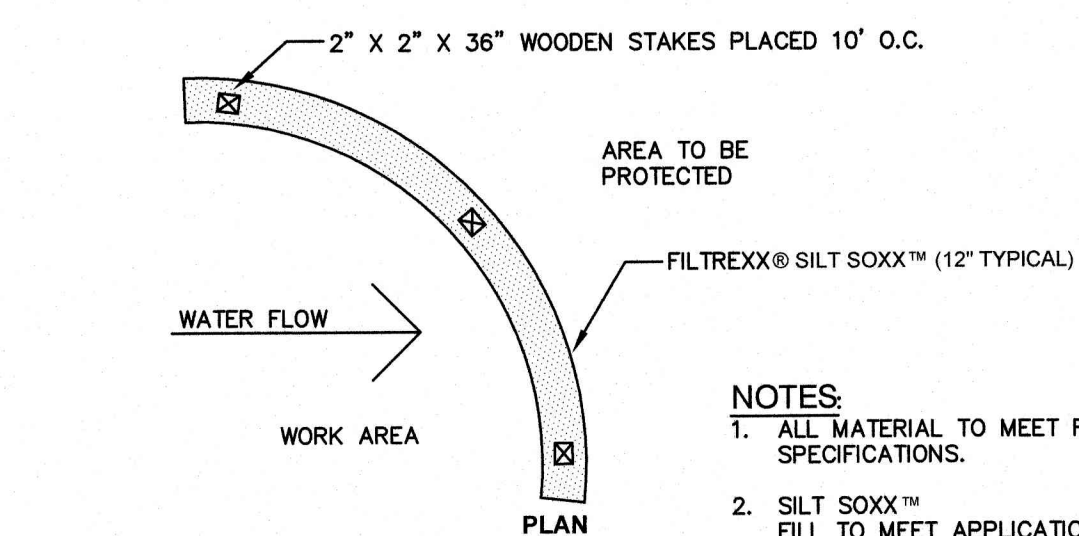
- ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

**TEMPORARY CATCH BASIN INLET PROTECTION**  
(Block and Gravel Drop Inlet Sediment Filter)

NOT TO SCALE



**SECTION**



**PLAN**

**NOTES:**

- ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
- SILT SOXX™ FILL TO MEET APPLICATION REQUIREMENTS.
- COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX® SILT SOXX™

NOT TO SCALE

**SEEDING SPECIFICATIONS**

- GRADING AND SHAPING**
  - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
  - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
  - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
  - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
  - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
    - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
    - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
    - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
    - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
  - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS; BY CULTPACKING OR RAKING.
  - REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNVEITCH, BIRDSFOOT, TREFOL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
  - WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
  - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
  - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
  - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
  - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
  - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	GOOD
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	F	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

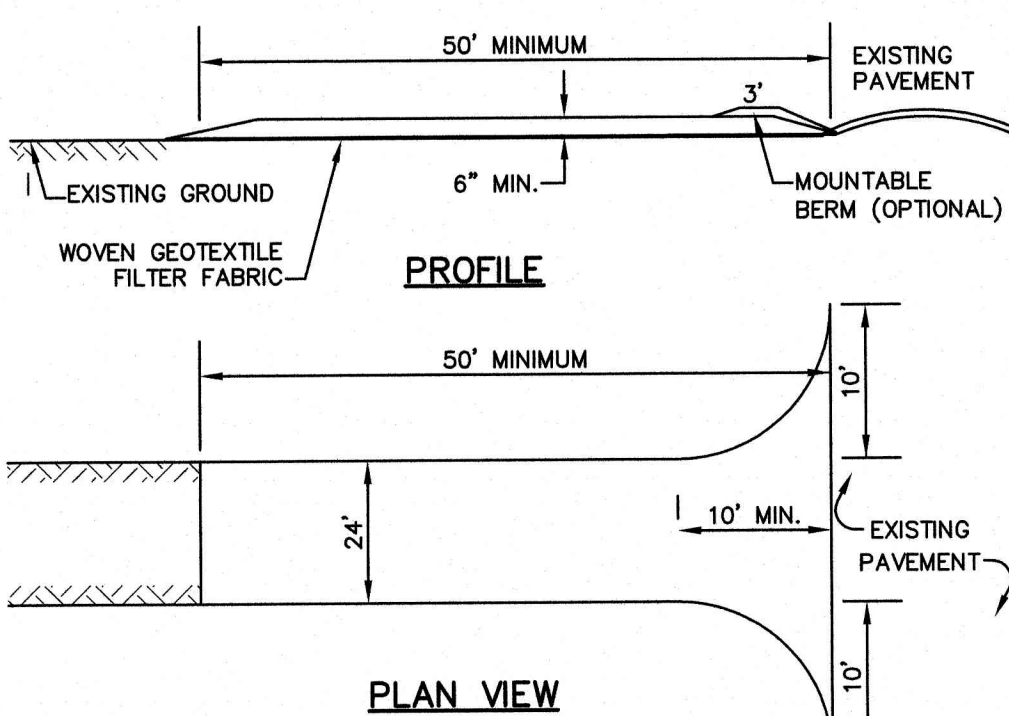
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.  
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.  
NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

**SEEDING GUIDE**

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE CREEPING RED FESCUE RED TOP TOTAL	20	0.45
	20	0.45
	42	0.95
B. TALL FESCUE CREEPING RED FESCUE CROWN VETCH OR FLAT PEA TOTAL	15	0.35
	10	0.25
	15	0.35
C. TALL FESCUE CREEPING RED FESCUE BIRDS FOOT TREFOL TOTAL	20	0.45
	20	0.45
	48	1.10
D. TALL FESCUE FLAT PEA TOTAL	20	0.45
	30	0.75
	50	1.20
E. CREEPING RED FESCUE 1/ KENTUCKY BLUEGRASS 1/ TOTAL	50	1.15
	50	1.15
	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

**SEEDING RATES**



**NOTES:**

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

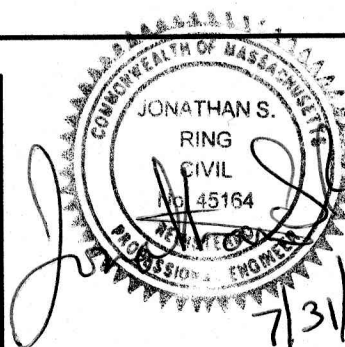
**STABILIZED CONSTRUCTION ENTRANCE**

NOT TO SCALE

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85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03885

Civil Engineering Services

603-772-4746  
FAX: 603-772-0227  
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **EROSION AND SEDIMENT CONTROL DETAILS**

Project: **PROPOSED CENTRAL SQUARE  
340 E CENTRAL STREET, FRANKLIN, MA**

Owner of Record: 340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

DRAWING No.

**E1**

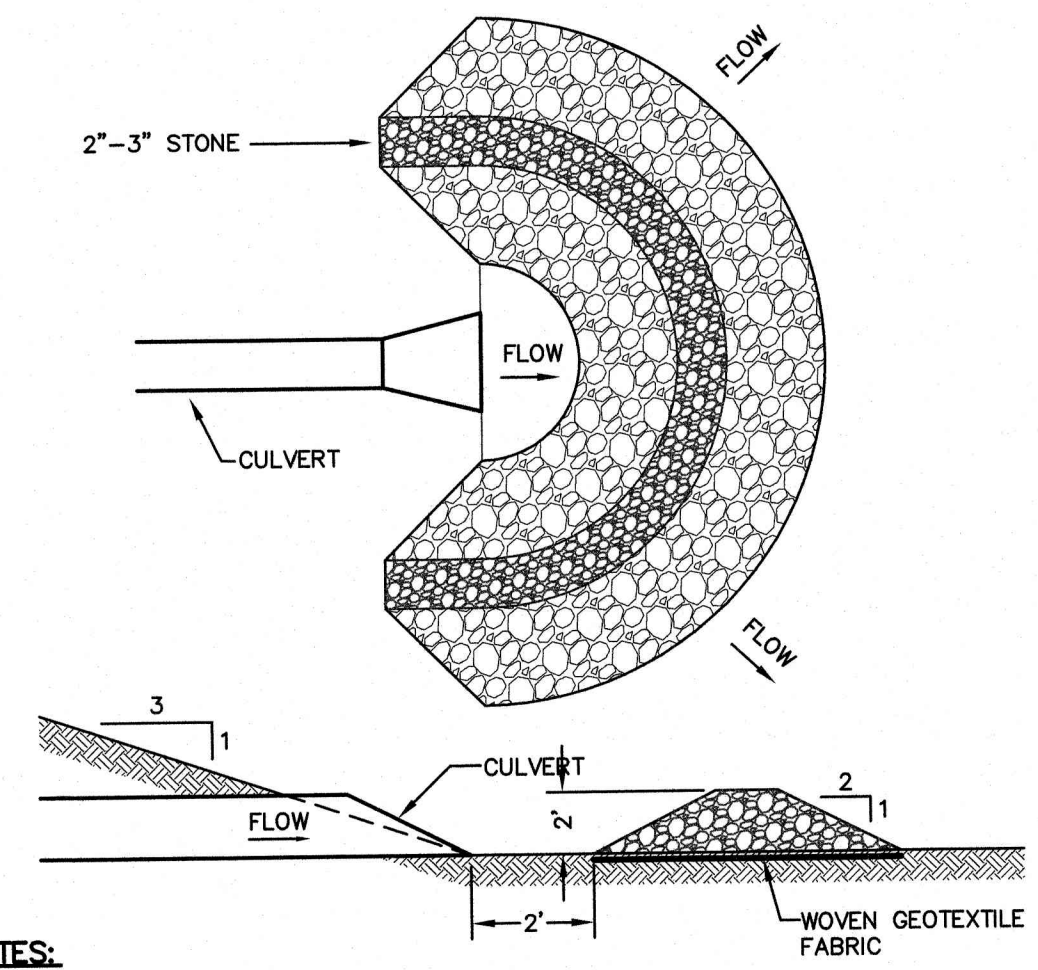
SHEET 18 OF 19  
JBE PROJECT NO. 13153

APPROVED - FRANKLIN, MA  
PLANNING BOARD

DATE:



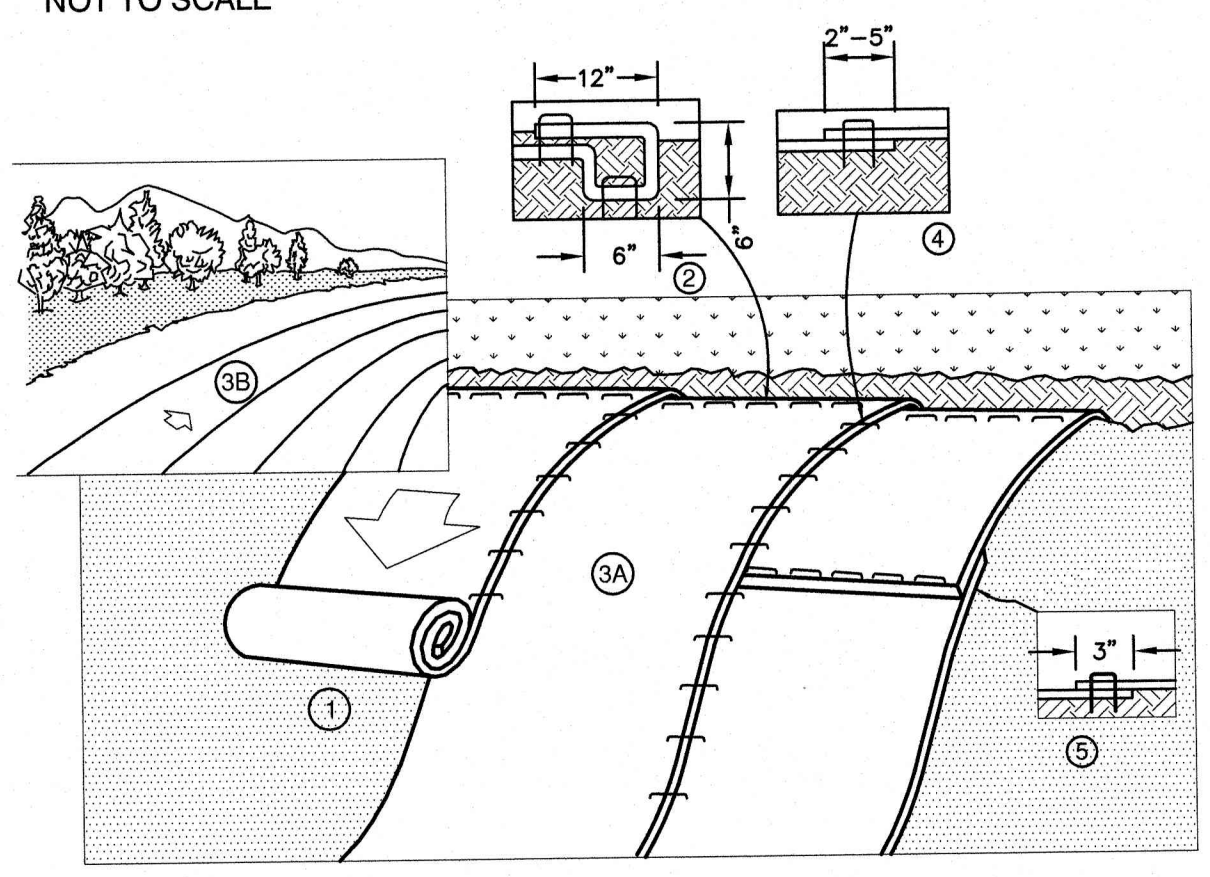
DATE:



- NOTES:**
- TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
  - SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
  - STRUCTURE SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH THE PROPOSED RIP RAP FIELD. AREAS OUTSIDE THE RIP RAP FIELD ARE TO BE VEGETATED AND SMOOTHED.

**TEMPORARY CULVERT OUTLET PROTECTION CHECK DAM**

NOT TO SCALE

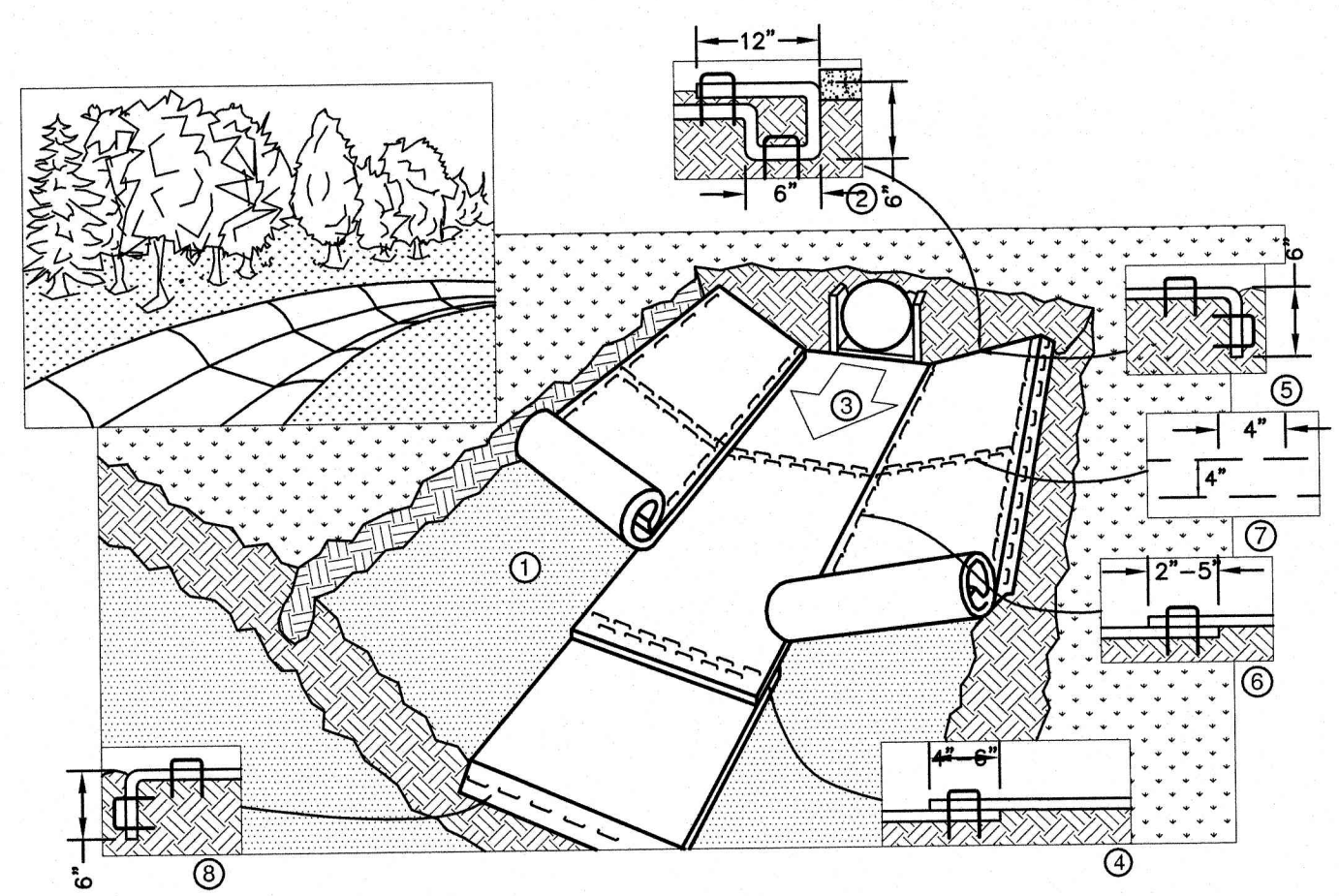


- NOTES:**
- EROSION CONTROL BLANKET SHALL BE BIONET S75 AS PRODUCED BY NORTH AMERICAN GREEN (OR AN EQUIVALENT NATURAL MATERIAL MATTING APPROVED IN WRITING BY THE ENGINEER).
  - PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
  - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
  - CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

**NORTH AMERICAN GREEN**  
14649 HIGHWAY 41 NORTH  
EVANSVILLE, INDIANA 47725  
1-800-772-2040

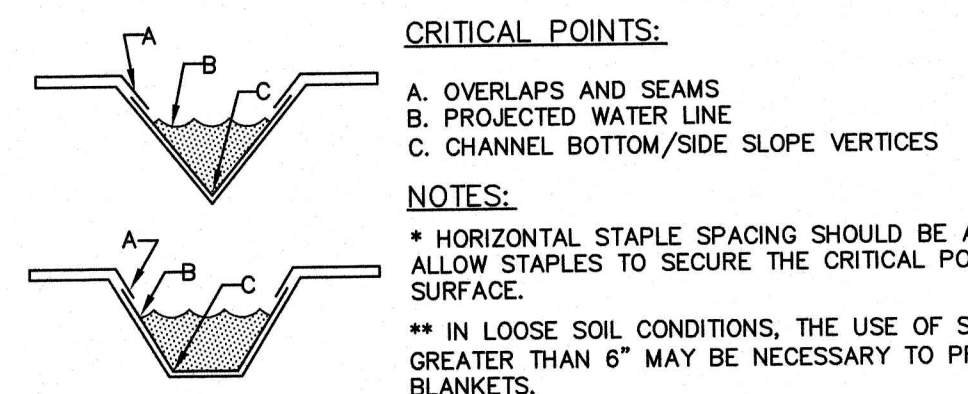
**EROSION CONTROL BLANKET SLOPE INSTALLATION**

NOT TO SCALE



- NOTES:**
- EROSION CONTROL BLANKET SHALL BE BIONET S75 AS PRODUCED BY NORTH AMERICAN GREEN (OR AN EQUIVALENT NATURAL MATERIAL MATTING APPROVED IN WRITING BY THE ENGINEER).
  - PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  - BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
  - ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  - PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
  - FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
  - ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDING ON BLANKET TYPE) AND STAPLED. TO INSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
  - IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
  - THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

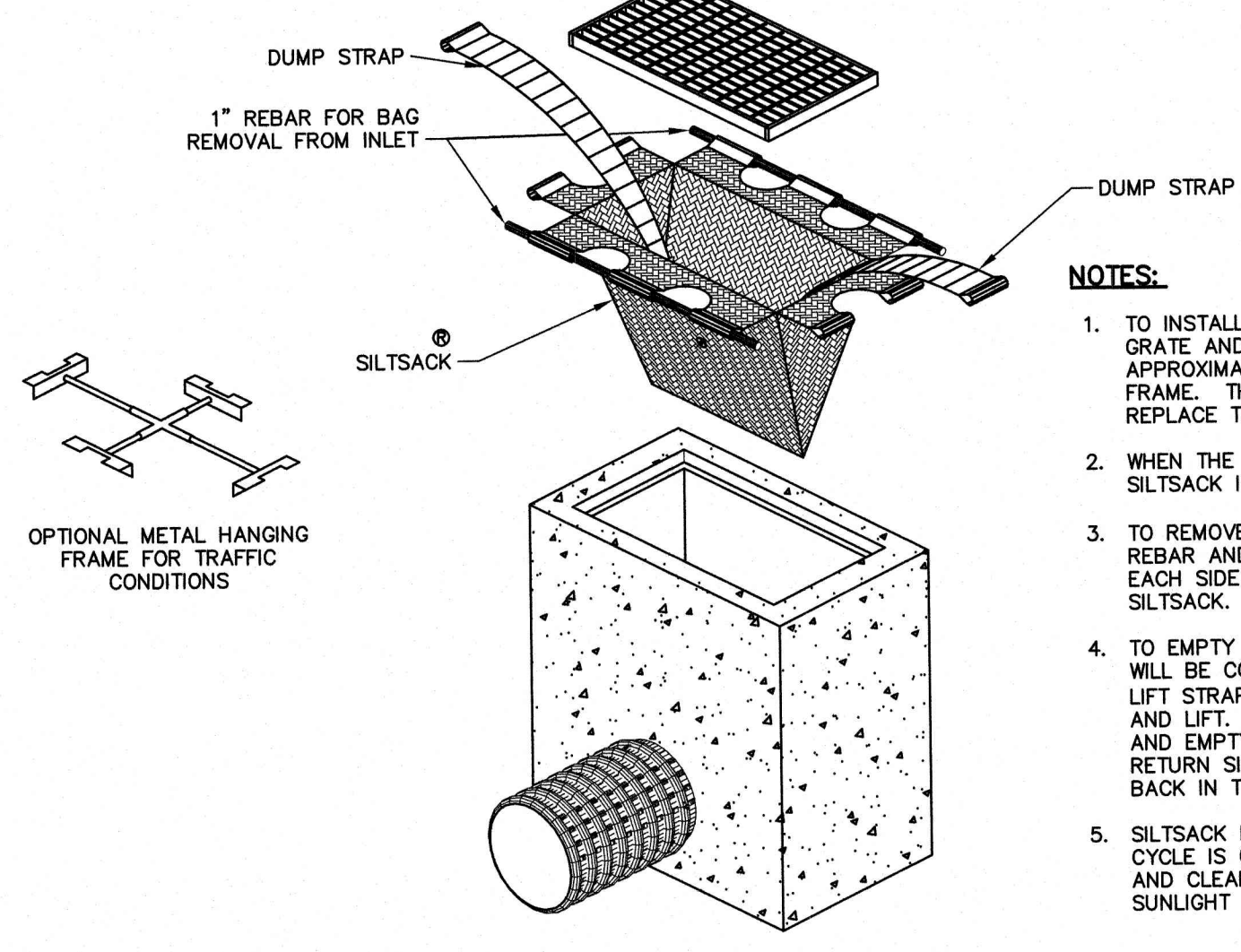
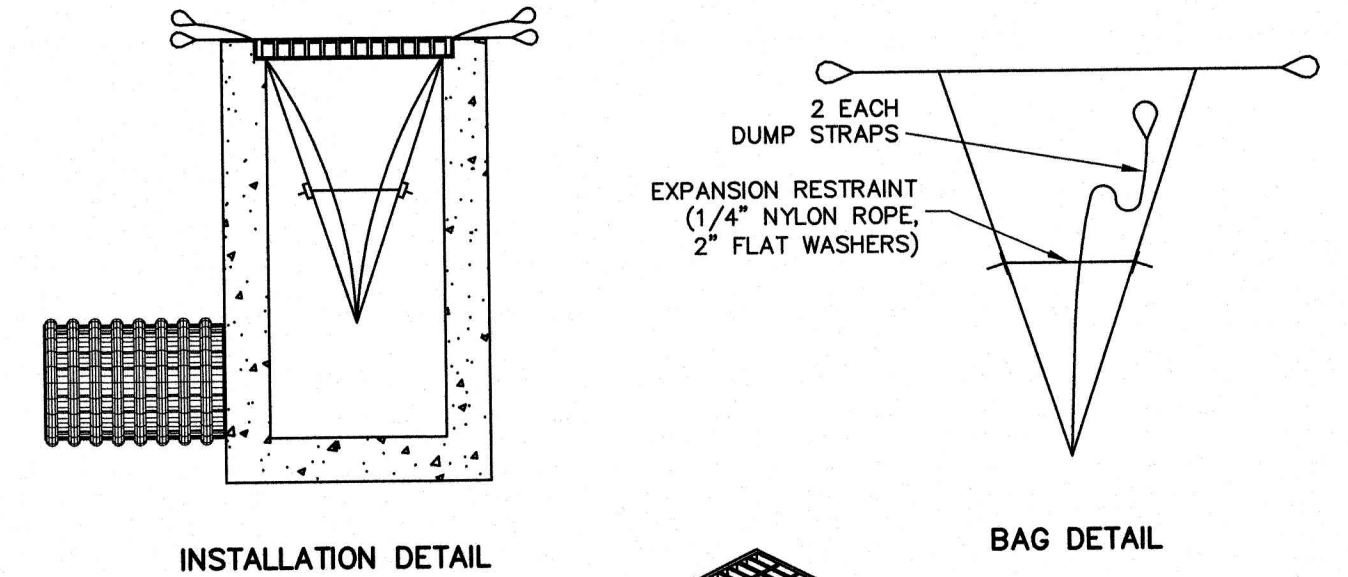
**NORTH AMERICAN GREEN**  
14649 HIGHWAY 41 NORTH  
EVANSVILLE, INDIANA 47725  
1-800-772-2040



- CRITICAL POINTS:**
- OVERLAPS AND SEAMS
  - PROJECTED WATER LINE
  - CHANNEL BOTTOM/SIDE SLOPE VERTICES
- NOTES:**
- HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
  - IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

**EROSION CONTROL BLANKET SWALE INSTALLATION**

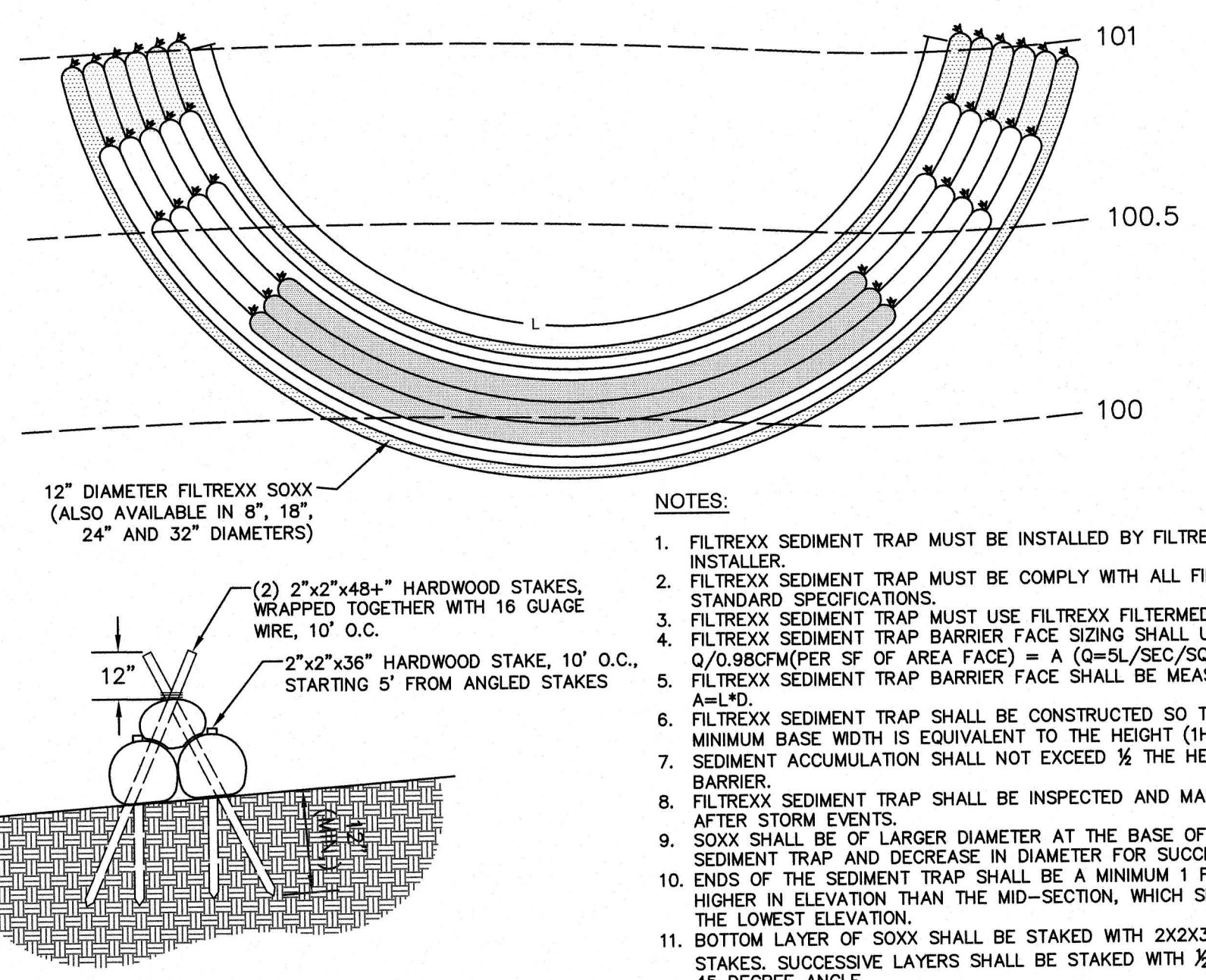
NOT TO SCALE



- NOTES:**
- TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
  - WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
  - TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
  - TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
  - SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

**SILTSACK INLET SEDIMENT CONTROL DEVICE TYPE A - WITHOUT CURB DEFLECTOR**

NOT TO SCALE



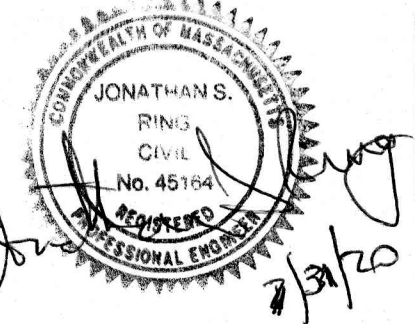
- NOTES:**
- FILTREXX SEDIMENT TRAP MUST BE INSTALLED BY FILTREXX CERTIFIED INSTALLER.
  - FILTREXX SEDIMENT TRAP MUST BE COMPLY WITH ALL FILTREXX STANDARD SPECIFICATIONS.
  - FILTREXX SEDIMENT TRAP MUST USE FILTREXX FILTERMEDIA.
  - FILTREXX SEDIMENT TRAP BARRIER FACE SIZING SHALL USE Q/0.98CFM(PER SF OF AREA FACE) = A (Q=5L/SEC/SQ.M)
  - FILTREXX SEDIMENT TRAP BARRIER FACE SHALL BE MEASURED AS A=H.D.
  - FILTREXX SEDIMENT TRAP SHALL BE CONSTRUCTED SO THAT THE MINIMUM BASE WIDTH IS EQUIVALENT TO THE HEIGHT (H:1V).
  - SEDIMENT ACCUMULATION SHALL NOT EXCEED 1/2 THE HEIGHT OF THE BARRIER.
  - FILTREXX SEDIMENT TRAP SHALL BE INSPECTED AND MAINTAINED AFTER STORM EVENTS.
  - SOXX SHALL BE OF LARGER DIAMETER AT THE BASE OF THE SEDIMENT TRAP AND DECREASE IN DIAMETER FOR SUCCESSIVE LAYERS.
  - ENDS OF THE SEDIMENT TRAP SHALL BE A MINIMUM 1 FT (30 CM) HIGHER IN ELEVATION THAN THE MID-SECTION, WHICH SHALL BE AT THE LOWEST ELEVATION.
  - BOTTOM LAYER OF SOXX SHALL BE STAKED WITH 2X2X36" WOODEN STAKES. SUCCESSIVE LAYERS SHALL BE STAKED WITH 1/2" REBAR AT A 45 DEGREE ANGLE.

- GENERAL NOTES:**
- THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
  - THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES.
  - THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
  - THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
  - THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
  - THE TRAP SHALL BE CLEANED WHEN 50% OF THE ORIGINAL VOLUME IS FILLED.
  - THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OFF AND STABILIZED.

**FILTREXX SEDIMENT TRAP DETAIL**

NOT TO SCALE

Design: WGM Draft: RMK Date: 05/06/20  
Checked: WGM Scale: AS NOTED Project No.: 13153  
Drawing Name: 13153-PLAN.dwg  
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
1	07/31/20	REVISED PER REVIEW ENGINEER COMMENTS	EMP
0	05/06/20	ISSUED FOR REVIEW	EMP

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
603-772-4746  
FAX: 603-772-0227  
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **EROSION AND SEDIMENT CONTROL DETAILS**  
Project: **PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA**  
Owner of Record: 340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

DRAWING No.  
**E2**  
SHEET 19 OF 19  
JBE PROJECT NO. 13153



# TAJ ESTATES of FRANKLIN Building A

## PROJECT INFORMATION

### 00002 - PROJECT DIRECTORY

**OWNER/ DEVELOPER/ CONTRACTOR:**  
TAJ ESTATES  
Contact: Miraj Amed  
1779 Central Street  
Stoughton, MA  
Phone: -  
FAX: -  
Cell: 508-962-1928  
E-mail: mirajahmed@yahoo.com

**ARCHITECT:**  
ARCHITECTSstudio, Incorporated  
Principal Architect: Jerome R. Dixon, Architect, AIA NCARB CSI  
50 Oliver Street Studio W7  
North Easton, MA 02356  
Phone: (508) 230-9684  
FAX: (508) 219-4493  
Contact: Karen S  
Phone: (508) 230-9684  
E-mail: TAJKaren@aol.com

**STRUCTURAL ENGINEER:**  
JOHN SPINK Structural Engineer  
Contact: John Spink, PE  
Phone: 714-766-0544-353-5888  
E-mail: jspink@gmail.com

**SITE SURVEY/ CIVIL ENGINEER:**  
ALLEN AND MAJORS  
Contact: -  
Phone: -  
FAX: -  
E-mail: -

**SOIL ENGINEER**  
ALLEN AND MAJORS  
Contact: -  
Phone: -  
FAX: -  
E-mail: -

**LUMBER SUPPLIER:**  
NATIONAL LUMBER  
Contact: Rob Harris  
71 Maple Street  
Mansfield, MA 02048  
Phone: 508-339-8020  
Cell: 508-509-9234  
E-mail: rharris@national-lumber.com

**TRUSS SUPPLIER:**  
RELIABLE TRUSS AND COMPONENTS INC.  
Contact: -  
Phone: (603) 736-2131 ext 1113  
Cell: 603-552-0523  
E-mail: -

**FIRE PROTECTION:**  
FIRE INSPECTIONAL SERVICES INC.  
Contact: -  
Phone: -  
FAX: -  
E-mail: -

**SITE LIGHTING DESIGN**  
Contact: -  
Phone: -  
FAX: -  
E-mail: -

## LIST OF DRAWINGS

### ARCHITECTURAL

NO.	DESCRIPTION	REV	DATE
T101	Key Plans Project Information, Code Compliance & Gen. Requirements Wall, Floor, and Ceiling Assemblies	-	-
A100	Typical 2-Bed Apartment Unit Plans Typical 2-Bed Townhouse Unit Plans Typical 2-Bed Townhouse Unit Plans	-	-
A101	Typical 2-Bed Apartment Unit Plans	-	-
A102	Typical 2-Bed Townhouse Unit Plans	-	-
A103	Typical 2-Bed Townhouse Unit Plans	-	-
A111	First Floor Plan	-	-
A112	Second Floor Plan	-	-
A113	Third Floor Plan	-	-
A114	Fourth Floor Plan	-	-
A115	Mezzanine Floor Plan	-	-
A116	Roof Floor Plan	-	-
A132	Stair A Plans & Sections	-	-
A133	Stair B Plans & Sections	-	-
A134	Loft Staircase	-	-
A151	Interior Elevations	-	-
A152	Interior Elevations	-	-
A211	Exterior Elevations	-	-
A212	Exterior Elevations	-	-
A300	Building Section	-	-
A301	Exterior Wall sections	-	-
A302	Exterior Wall sections	-	-
A303	Wall Types & Floor/ Ceiling Assembly	-	-
A304	Exterior Openings Sections	-	-
S000	Building 2 General Structural Notes	-	-
S100	Building 2 Foundation Plan Bolt Plan Elevations	-	-

## GENERAL REQUIREMENTS

The Contractor and all Subcontractors shall perform their Work according to the following:

- 01010 SUMMARY OF WORK**  
Included in the Work are the following:  
a. Multi-Family Apartment Building
- 01035 SUBSTITUTIONS AND CHANGE ORDERS**  
a. DO NOT substitute materials, equipment or methods unless such substitution is first discussed with the Architect and has been approved specifically in writing by the Owner.  
b. Notify the Architect immediately by telephone of any hidden, unforeseen conditions and any requirements. Confirm all notifications and action required in writing within 24 hours of the event.  
c. Milestone date changes must be made in writing by Owner.
- 01040 COORDINATION**  
a. The Contractor and each Subcontractor shall be thoroughly familiar with the Work shown on the drawings and on the other Contract Documents.  
b. Each Subcontractor shall coordinate their Work with that of others and be aware of all Related Work to be performed by others, via the Contractor.
- 01050 EXISTING CONDITIONS**  
a. Prior to submitting bid proposals, the Contractor and each Subcontractor shall visit the proposed site and make themselves familiar with all existing conditions, take field measurements and record all information needed to provide a complete scope of Work.  
b. Notify the Architect immediately of conditions which may contribute to unnecessary, excessive costs.  
c. No additional compensation will be paid by the Owner for disputes which result from a lack of familiarity with the existing conditions.
- 01060 REGULATORY REQUIREMENTS**  
Comply with all applicable national, state and local codes.
- 01100 SPECIAL REQUIREMENTS AND PROCEDURES**  
a. Maintain a written daily journal.  
b. The Owner shall provide a phone on site.  
c. Designate a superintendent for the duration of the Project and submit his/her name to the Architect.  
d. Work shall be completed in a timely manner, consistent with the approved construction schedule.  
e. The Contractor shall be responsible for receiving and maintaining in good condition all millwork, fixtures and equipment up to the Date of Substantial Completion.  
f. All Owners' material delivered to the Project shall be checked against the Owners' material list by the Contractor at the time of delivery. All discrepancies shall be noted in the Receiving Report and in the Daily Journal, and the Contractor shall immediately notify the Owner of same. All shortages occurring after the receipt of goods shall be charged back to the Contractor.  
g. Note on all Bills of Lading, "CASES NOT INSPECTED FOR CONCEALED DAMAGES and SHORTAGES"
- 01300 SUBMITTALS**  
a. Product samples, manufacturer's data and shop drawings shall be submitted to the Architect for review.
- 01700 CONTRACT CLOSEOUT**  
a. Substantial Completion is the date certified by the Architect on which the Work or designated portion thereof is sufficiently complete so the Owner may occupy the same for the intended purpose.  
b. Provide the following for closeout:  
1-Daily Journal  
2-Operation and Maintenance Data  
3-Keys  
4-Spare Parts, Materials and Stock  
5-Certificate of Inspection/Occupancy  
6-Certificate of Insurance  
7-Evidence of Payment and Release of Liens  
8-List of Subcontractors, Vendors and Suppliers  
9-Final Statement of Account
- 01710 CLEANING**  
a. Each Subcontractor shall clean his/her Work and remove all trash, debris, packing, etc., resulting from that Work.  
b. Final cleaning shall be done by a professional cleaner.

## SYMBOLS AND ABBREVIATIONS

- CSI SPECIFICATION DIVISION NUMBER  
ITEM, NOTE OR LINE NUMBER
- ELEVATION KEY NUMBER  
SHEET NUMBER
- DETAIL OR SECTION KEY NUMBER  
SHEET NUMBER
- WINDOW KEY
- DOOR KEY
- NOTE KEY
- KEY TO WALLS AND PARTITION SCHEDULE
- DUPLEX OUTLET
- WEATHER-PROOF
- GROUND-FAULT INTERRUPTED
- FLOOR DRAIN
- 220 VOLT RECEPTACLE
- CEILING-MOUNTED LIGHT
- RECESSED
- PENDENT
- WALL-MOUNTED LIGHT
- SMOKE DETECTOR
- HEAT DETECTOR
- THERMOSTAT
- DIMMER
- PARTITION SCHEDULE
- CABLE
- TELEPHONE
- CEILING FAN
- DOORBELL
- RECESSED EXHAUST FAN
- RECESSED EXHAUST FAN WITH HEAT
- RECESSED EXHAUST FAN WITH LIGHT
- RECESSED EXHAUST FAN WITH LIGHT AND HEAT
- FINISHED FLOOR
- ABOVE FINISHED FLOOR
- DIMMER
- THERMOSTAT
- GROUND-FAULT
- WEATHER-PROOF
- RECESSED CHANDELIER
- FLORESCENT
- PENDANT
- EYEBALL
- DOWNSPOUT

## Key to Symbols

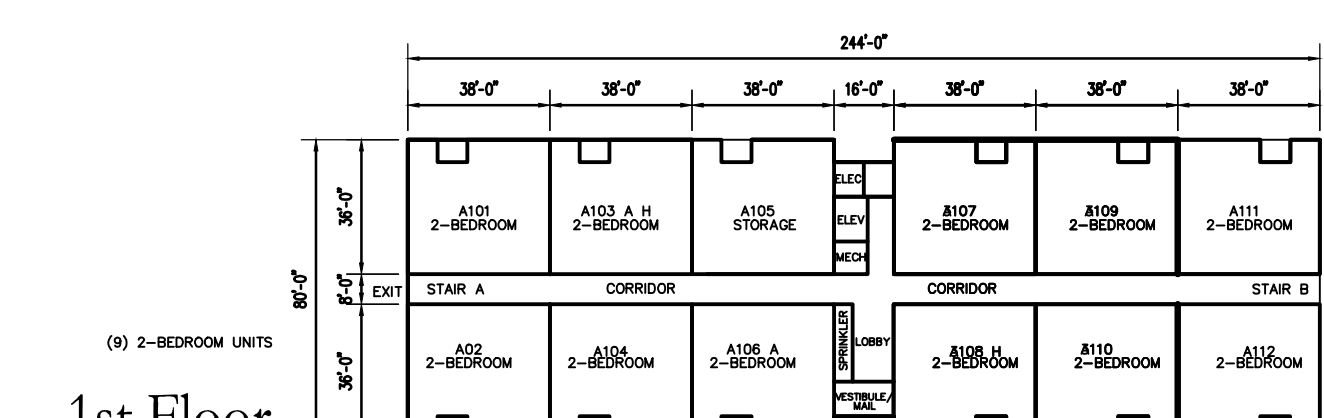
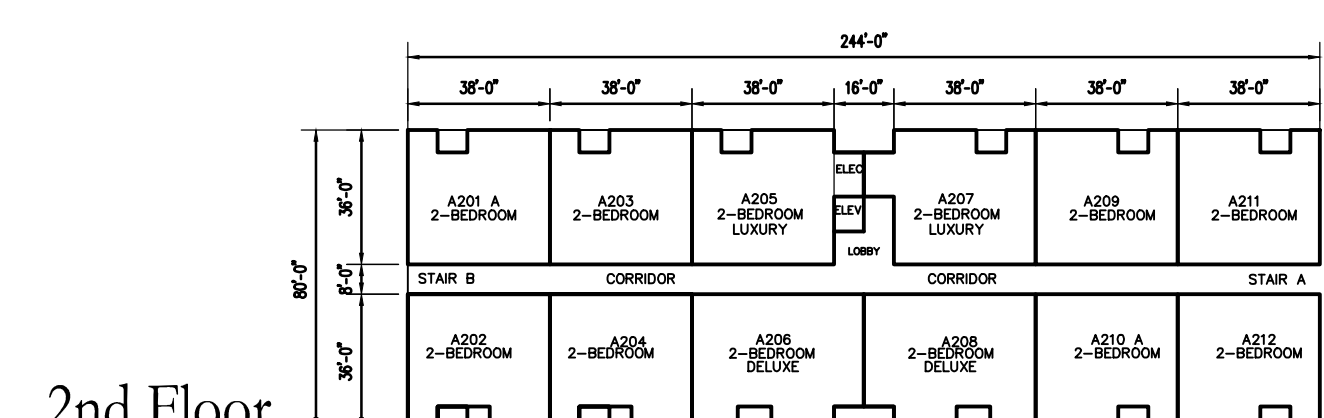
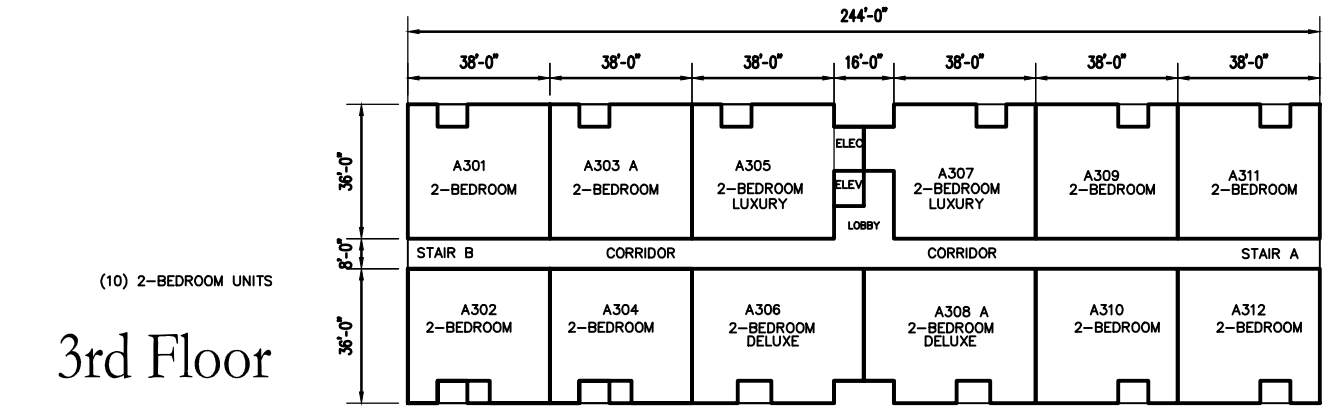
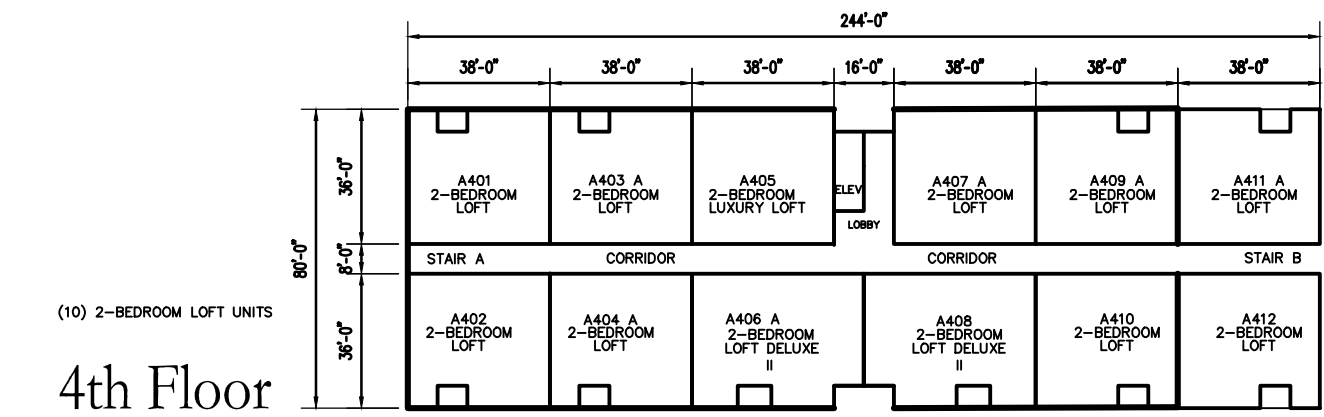
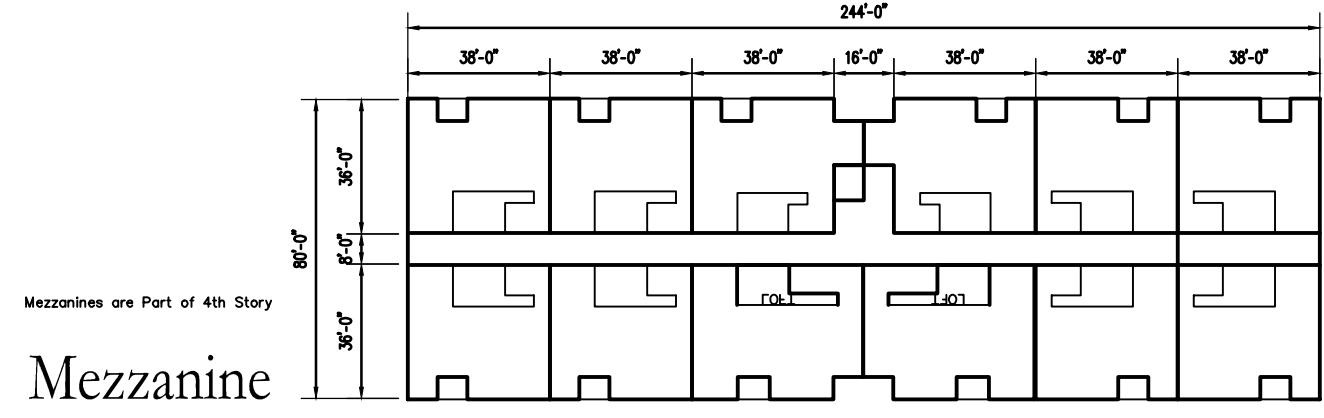
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- PULL STATION
- MINI AUDIO/VISUAL DEVICE
- FIRE EXTINGUISHER
- EMERGENCY LIGHT
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHT
- FIRE ALARM CONTROL PANEL
- MASTER FIRE CONTROL PANEL
- EMERGENCY EXIT LIGHT
- BATHROOM EXHAUST FAN

## Key to wall types

- EXTERIOR INSULATED WALL  
2x6 @ 16" O.C.
- INTERIOR INSULATED WALL  
2x4 @16" O.C.
- INTERIOR WET WALL WITH SOUND BATTS  
2x8 @16" O.C.
- INTERIOR WALL WITH SOUND BATTS  
2x4 @16" O.C.
- INTERIOR WALL  
2x4 @ 16" O.C.
- E and F Sheet A00

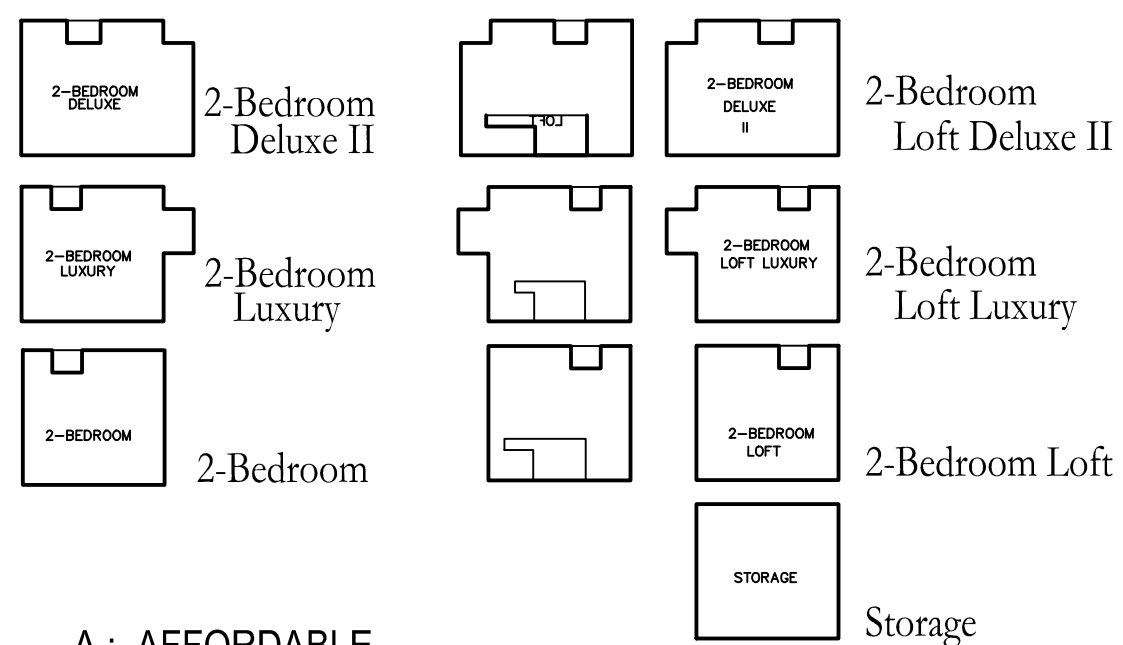
SIGNATURES  
BY \_\_\_\_\_ DATE \_\_\_\_\_  
OWNER

REVISION HISTORY	
△	06/10/2020 Issued for Presentation



## BUILDING B

Use R-2 Multi-family Apartment Building  
Building Area 19,520 SF  
4 Stories above grade  
1st Floor is a slab at grade  
Building Height 50 feet  
Construction Type VA (Protected)  
NPPA 13 Sprinklers



A: AFFORDABLE  
H: ACCESSIBLE

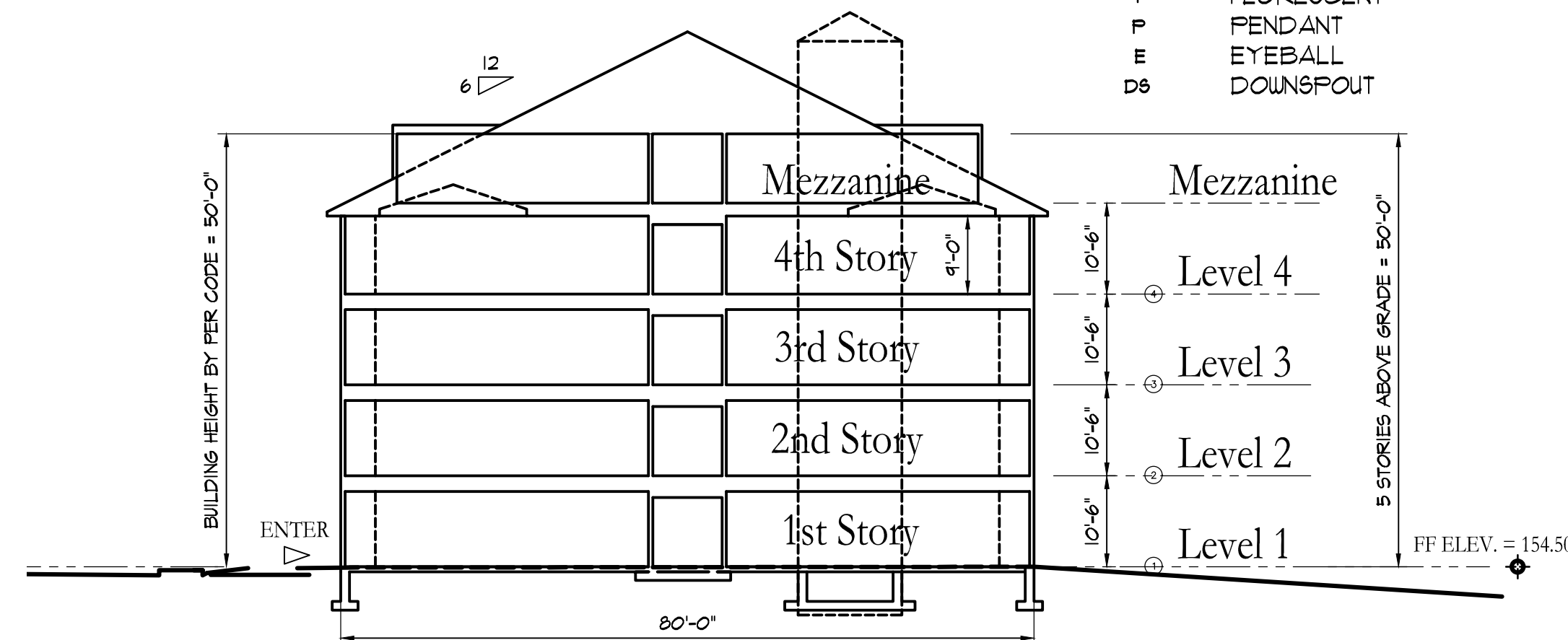
## Key to Unit Types



## CODE COMPLIANCE

**BASE CODE:** 780 MASSACHUSETTS STATE BUILDING CODE 8th Edition  
Amendments to INTERNATIONAL BUILDING CODE 2009 (IBC 2009)  
521 CMR ARCHITECTURAL ACCESS BOARD  
248 CMR PLUMBING AND GAS  
521 CMR FIRE PREVENTION: Where items are not addressed, defer to IFC and/or IMC  
INTERNATIONAL ENERGY CONSERVATION CODE 2012 (IEEC2012)  
271 CMR DUCTWORK AND SHEETMETAL

		REFERENCE
<b>OCCUPANCY CLASSIFICATION</b>	R-2 RESIDENTIAL (APARTMENT BUILDING) C LOW-HAZARD STORAGE ENCLOSED	SECTION 310.1
<b>SPECIAL REQUIREMENTS</b>	GROUP R-2 SEPARATION WALLS FIRE PARTITIONS 1-Hr Min. FIRE RESISTANCE EXCEPTION: 1/2-Hr W/ SPRINKLER SYSTEM	SECTION 420 SECTION 420.2 SECTION 109 SECTION 109.3
<b>CONSTRUCTION CLASSIFICATION</b>	TYPE VA COMBUSTIBLE, PROTECTED	CHAPTER 6
<b>MINIMUM FIRE RESISTANCE OF STRUCTURAL ELEMENTS EXTERIOR WALLS</b>	0	TABLE 601
<b>BUILDING AREA</b>	7,000 ALLOWED 21,000 SF ALLOWED WITH AUTOMATIC SPRINKLER SYSTEM XXXXX SF PROPOSED GROSS AREA	TABLE 503 TABLE 506.3 SECTION 502.1
<b>BUILDING HEIGHT NUMBER OF STORIES</b>	2 STORIES ABOVE GRADE PLANE WITH BASEMENT, 1 STORY BELOW GRADE PLANE ALLOWED WITH SPRINKLERS	TABLE 503 (2302.2)
<b>SPRINKLERED</b>	YES	SECTION 903.3.1.1



Section



TAJ Estates of Franklin  
340 E Central Square  
Franklin, MA



**ARCHITECTS' STUDIO**  
Jerome R. Dixon, Architect

**ARCHITECTURE PLANNING INTERIOR DESIGN**

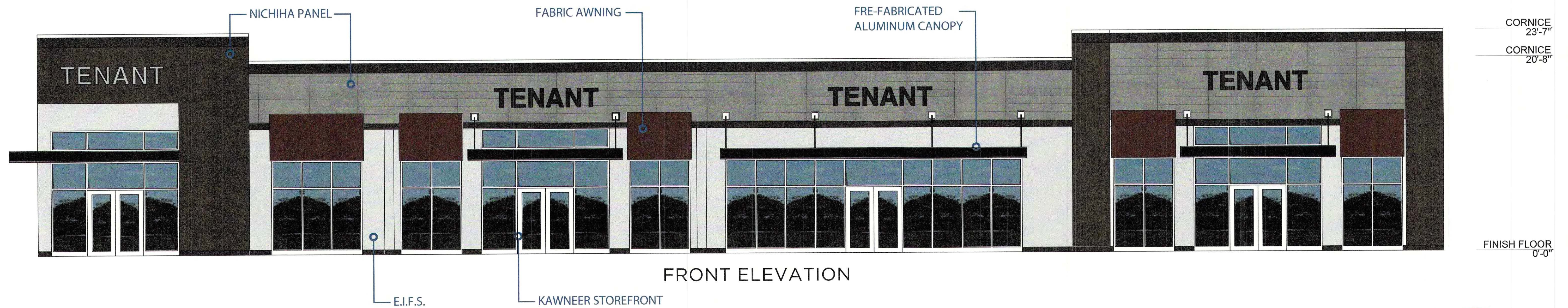
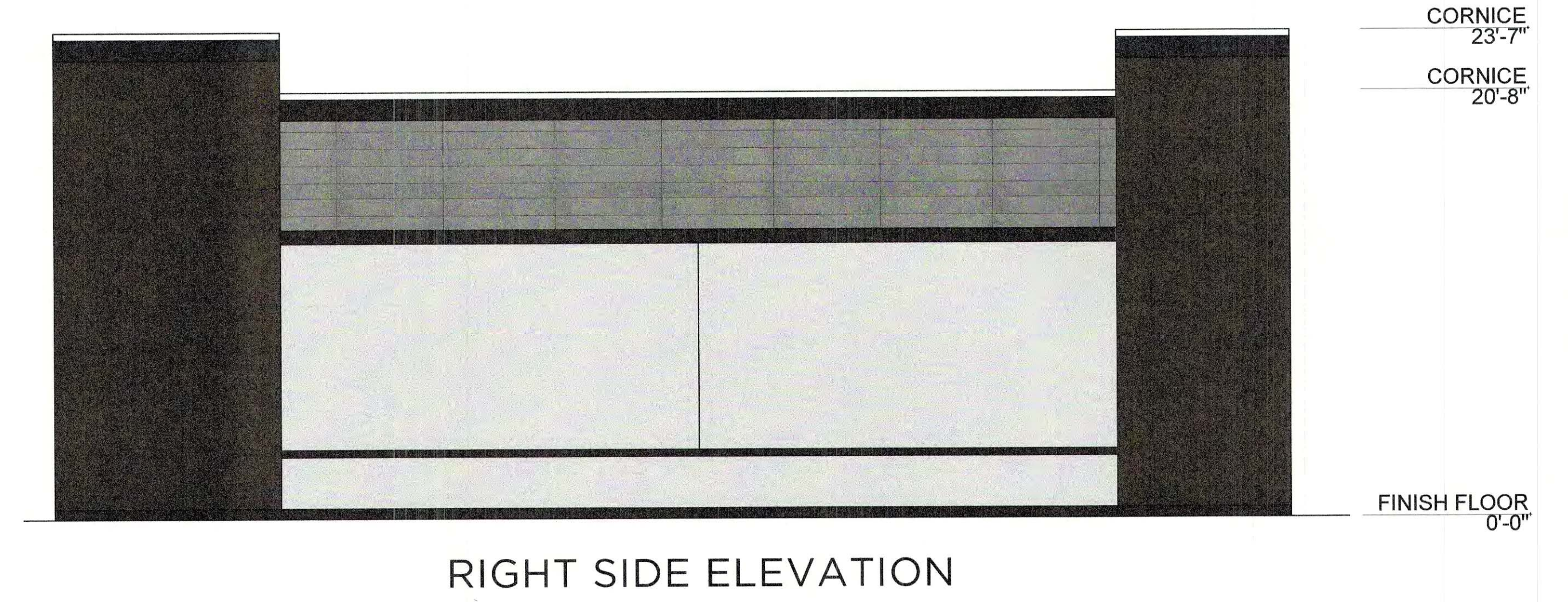
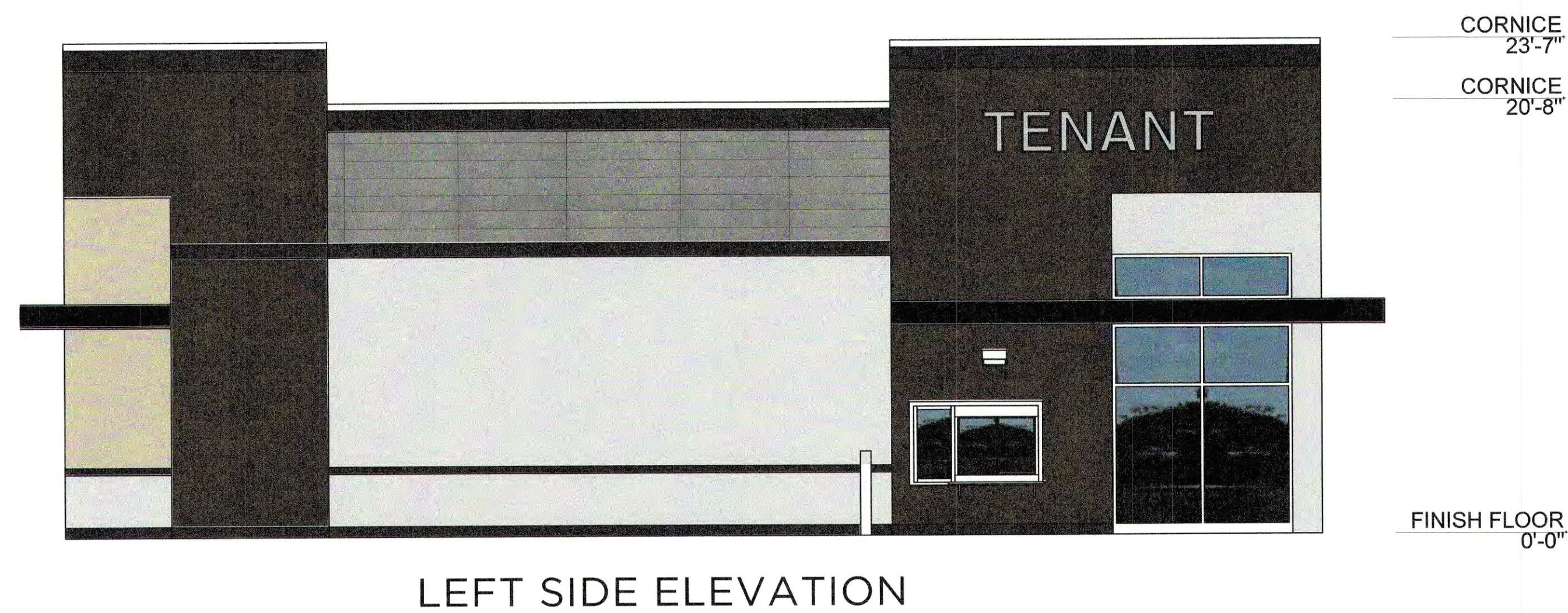
50 Oliver Street  
Studio W7  
Easton, MA 02356

PHONE: 508.230.9684  
FAX: 508.219.4693  
E-Mail: ARCHITECT77@AOL.COM  
WWW.ARCHITECTSSTUDIO1.COM

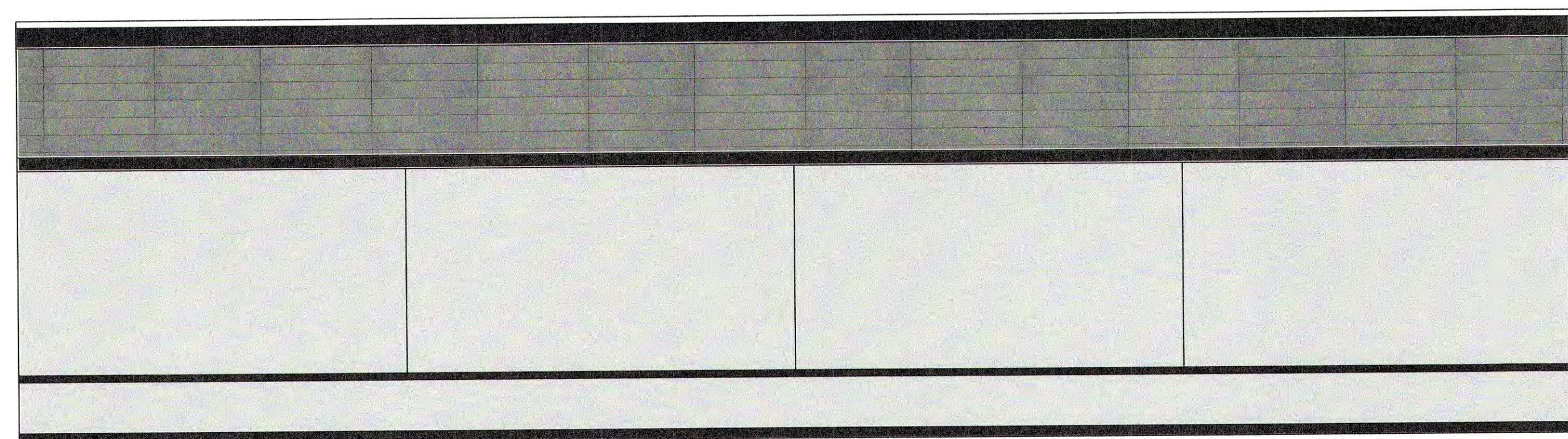
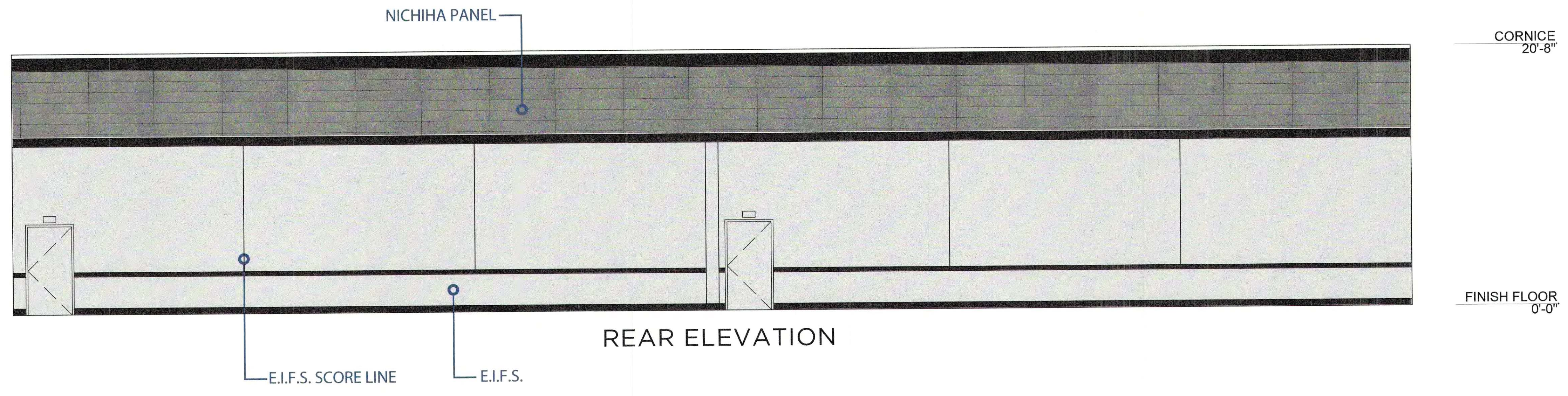
**Building A Project Information**

DATE: \_\_\_\_\_ Rev 0 April 26, 2020  
DRAWN BY: \_\_\_\_\_ KS  
CHECKED BY: \_\_\_\_\_ JRD  
ARCHITECT'S PROJECT NUMBER: \_\_\_\_\_ 20013

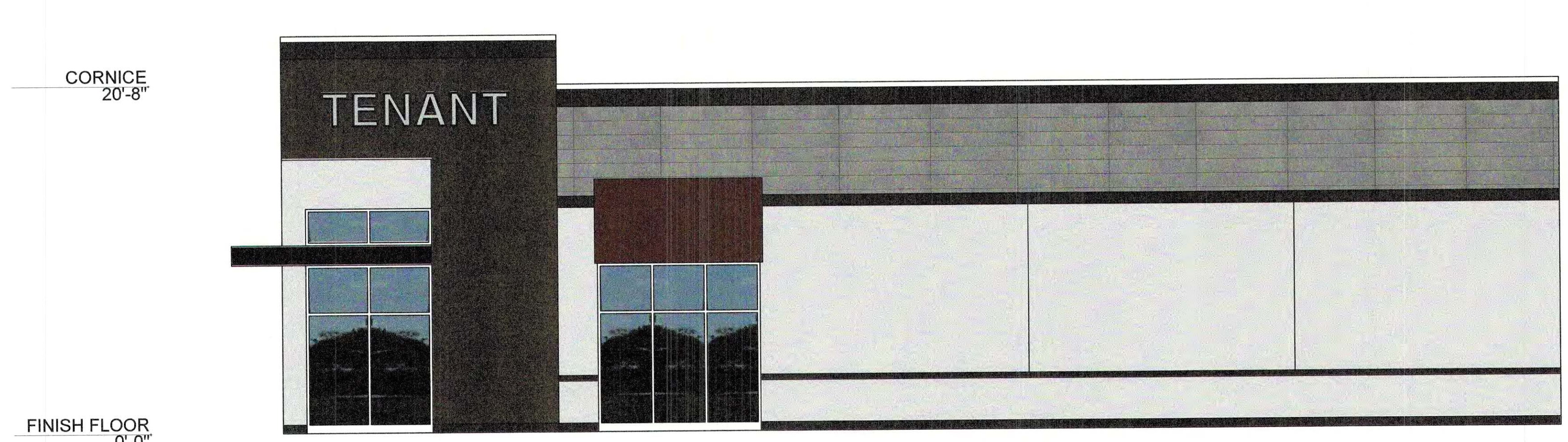




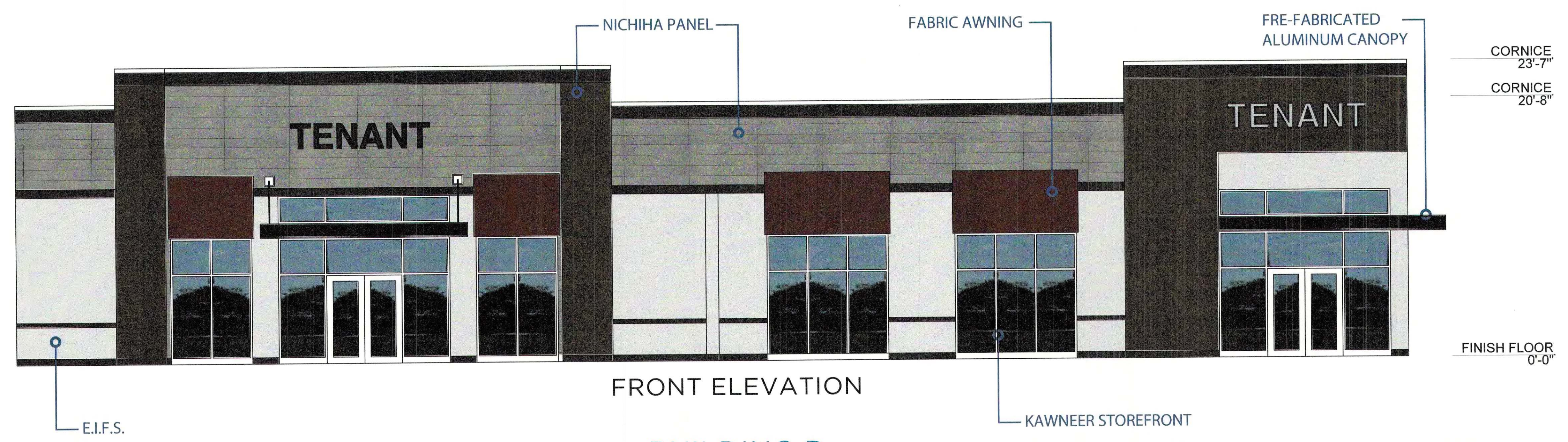




LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



FRONT ELEVATION





1 FRONT ELEVATION  
A20



2 BACK ELEVATION  
A20



3 RIGHT ELEVATION  
A20

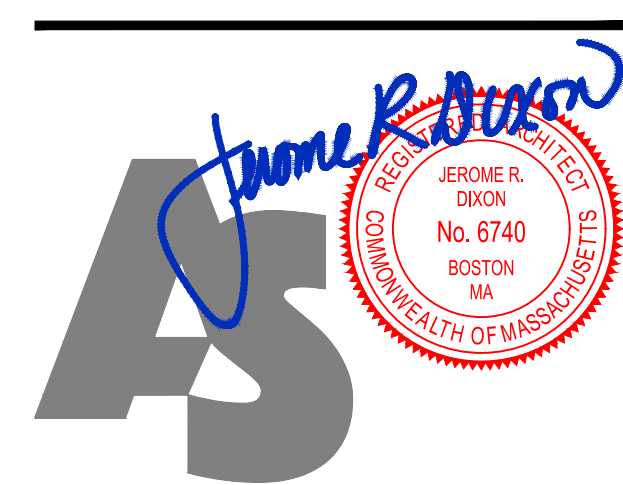


4 LEFT ELEVATION  
A20

KEY TO ELEVATIONS

- 1 ROOF SYSTEM: ARCHITECTURAL SHINGLES EQUAL TO GAF TIMBERLINE  
COLOR: CHORCOAL
- 2 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED  
COLOR: PEARL GRAY  
PATTERN: HORIZONTAL
- 3 TRIM AND ACCENT PANELS: PVC  
COLOR: WHITE
- 4 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED  
COLOR: SIMULATED WOOD (KHAKI BROWN)  
PATTERN: VERTICAL
- 5 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED  
COLOR: SIMULATED WOOD (WOODSTOCK BROWN)  
PATTERN: VERTICAL

TAJ ESTATES  
340 E Central Squa  
Franklin, MA



ARCHITECTS' 1  
STUDIO 1  
Jerome R. Dixon, Architect

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

630 Park Street  
Stoughton MA 02072-3654

PHONE: 508.230.9684  
FAX: 508.219.4693  
E-mail: ARCHITECTSstudio@me.com  
WWW.ARCHITECTSSTUDIO1.COM

Conceptual  
Architectural  
Elevations Building /

DATE: 06-29-2020  
DRAWN BY: LP  
CHECKED BY: JRD  
ARCHITECT'S PROJECT NO: J20013

3/32"=1'-0" 1/4"  
0 3 6 12 24 FEET

A20

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# TAJ ESTATES of FRANKLIN Building B

03-CONTRACT DOCUMENTS  
TAJ ESTATES OF FRANKLIN  
J20013

## PROJECT INFORMATION

### 00002 - PROJECT DIRECTORY

**OWNER/ DEVELOPER/ CONTRACTOR:**  
TAJ ESTATES  
Contact: Miraj Amed  
1119 Central Street  
Stoughton, MA  
Phone: -  
Fax: -  
Cell: 508-962-1928  
E-mail: mirajamed@yahoo.com

**ARCHITECT:**  
ARCHITECT'S studio, Incorporated  
Principal Architect: Jerome R. Dixon, Architect, AIA NCARB CSI  
50 Oliver Street Studio W7  
North Easton, MA 02356  
Phone: (508) 230-9684  
Fax: (508) 219-4493  
Contact: Karen S  
Phone: (508) 230-9684  
E-mail: TAJKare@aol.com

**STRUCTURAL ENGINEER:**  
JOHN SPINK Structural Engineer  
Contact: John Spink, PE  
Phone: 714-166-0544-353-5888  
E-mail: jspink@gmail.com

**SITE SURVEY/ CIVIL ENGINEERS:**  
ALLEN AND MAJORS  
Contact: -  
Phone: -  
Fax: -  
E-mail: -

**SOIL ENGINEER**  
ALLEN AND MAJORS  
Contact: -  
Phone: -  
Fax: -  
E-mail: -

**LUMBER SUPPLIER:**  
NATIONAL LUMBER  
Contact: Rob Harris  
71 Maple Street  
Mansfield, MA 02048  
Phone: 508-339-8020  
Cell: 508-509-9234  
E-mail: mharris@national-lumber.com

**TRUSS SUPPLIER:**  
RELIABLE TRUSSES AND COMPONENTS INC.  
Contact: -  
Phone: (603) 796-2131 ext 1113  
Cell: 603-552-0523  
E-mail: -

**FIRE PROTECTION:**  
FIRE INSPECTORIAL SERVICES INC.  
Contact: -  
Phone: -  
Fax: -  
E-mail: -

**SITE LIGHTING DESIGN**  
Contact: -  
Phone: -  
Fax: -  
E-mail: -

## CODE COMPLIANCE

**BASE CODE:** 780 MASSACHUSETTS STATE BUILDING CODE 8th Edition  
Amendments to INTERNATIONAL BUILDING CODE 2009 (IBC 2009)  
521 CMR ARCHITECTURAL ACCESS BOARD  
248 CMR PLUMBING AND GAS  
521 CMR FIRE PREVENTION: Where items are not addressed, defer to IFC and/or IMC  
INTERNATIONAL ENERGY CONSERVATION CODE 2012 (IEEC2012)  
271 CMR DUCTWORK AND SHEETMETAL

		REFERENCE
<b>OCCUPANCY CLASSIFICATION</b>	R-2 RESIDENTIAL (APARTMENT BUILDING) C LOW-HAZARD STORAGE ENCLOSED	SECTION 3101
<b>SPECIAL REQUIREMENTS</b>	GROUP R-2 SEPARATION WALLS FIRE PARTITIONS 1-Hr FIRE RESISTANCE EXCEPTION: 1/2-Hr W/ SPRINKLER SYSTEM	SECTION 420 SECTION 4202 SECTION 709 SECTION 709.3
<b>CONSTRUCTION CLASSIFICATION</b>	TYPE VA COMBUSTIBLE, PROTECTED	CHAPTER 6
<b>MINIMUM FIRE RESISTANCE OF STRUCTURAL ELEMENTS EXTERIOR WALLS</b>	0	TABLE 601
<b>BUILDING AREA</b>	1,000 ALLOWED 21,000 SF ALLOWED WITH AUTOMATIC SPRINKLER SYSTEM XXXXX SF PROPOSED GROSS AREA	TABLE 503 TABLE 506.3 SECTION 502.1
<b>BUILDING HEIGHT NUMBER OF STORIES</b>	2 STORIES ABOVE GRADE PLANE WITH BASEMENT, 1 STORY BELOW GRADE PLANE ALLOWED WITH SPRINKLERS	TABLE 503 (2308.2)
<b>SPRINKLERED</b>	YES	SECTION 903.3.1.1

## LIST OF DRAWINGS

### ARCHITECTURAL

NO.	DESCRIPTION	REV	DATE
T101	Key Plans Project Information, Code Compliance & Gen. Requirements		
A100	Wall, Floor, and Ceiling Assemblies		
A101	Typical 2-Bed Apartment Unit Plans		
A102	Typical 2-Bed Townhouse Unit Plans		
A103	Typical 2-Bed Townhouse Unit Plans		
A111	First Floor Plan		
A112	Second Floor Plan		
A113	Third Floor Plan		
A114	Fourth Floor Plan		
A115	Mezzanine Floor Plan		
A116	Roof Floor Plan		
A132	Stair A Plans & Sections		
A133	Stair B Plans & Sections		
A134	Loft Staircase		
A151	Interior Elevations		
A152	Interior Elevations		
A211	Exterior Elevations		
A212	Exterior Elevations		
A300	Building Section		
A301	Exterior Wall sections		
A302	Exterior Wall sections		
A303	Wall Types & Floor/ Ceiling Assembly		
A301	Exterior Openings Sections		
S000	Building 2 General Structural Notes		
S100	Building 2 Foundation Plan Bolt Plan Elevations		

## GENERAL REQUIREMENTS

The Contractor and all Subcontractors shall perform their Work according to the following:

- 0100 SUMMARY OF WORK**  
Included in the Work are the following:  
a. Multi-Family Apartment Building
- 0105 SUBSTITUTIONS AND CHANGE ORDERS**  
a. DO NOT substitute materials, equipment or methods unless such substitution is first discussed with the Architect and has been approved specifically in writing by the Owner  
b. Notify the Architect immediately by telephone of any hidden, unforeseen conditions and any requirements. Confirm all notifications and action required in writing within 24 hours of the event.  
c. Milestone date changes must be made in writing by Owner.
- 01040 COORDINATION**  
a. The Contractor and each Subcontractor shall be thoroughly familiar with the Work shown on the drawings and on the other Contract Documents.  
b. Each Subcontractor shall coordinate their Work with that of others and be aware of all Related Work to be performed by others, via the Contractor.
- 01050 EXISTING CONDITIONS**  
a. Prior to submitting bid proposals, the Contractor and each Subcontractor shall visit the proposed site and make themselves familiar with all existing conditions, take field measurements and record all information needed to provide a complete scope of Work.  
b. Notify the Architect immediately of conditions which may contribute to unnecessary, excessive costs.  
c. No additional compensation will be paid by the Owner for disputes which result from a lack of familiarity with the existing conditions.
- 01060 REGULATORY REQUIREMENTS**  
Comply with all applicable national, state and local codes.
- 0100 SPECIAL REQUIREMENTS AND PROCEDURES**  
a. Maintain a written daily journal.  
b. The Owner shall provide a phone on site.  
c. Designate a superintendent for the duration of the Project and submit his/her name to the Architect  
d. Work shall be completed in a timely manner, consistent with the approved construction schedule.  
e. The Contractor shall be responsible for receiving and maintaining in good condition all millwork, fixtures and equipment up to the Date of Substantial Completion.  
f. All Owners' material delivered to the Project shall be checked against the Owners' material list by the Contractor at the time of delivery. All discrepancies shall be noted in the Receiving Report and in the Daily Journal, and the Contractor shall immediately notify the Owner of same. All shortages occurring after the receipt of goods shall be charged back to the Contractor.  
g. Note on all Bills of Lading, "CASES NOT INSPECTED FOR CONCEALED DAMAGES and SHORTAGES"  
h. All Owners' material delivered to the Project shall be checked against the Owners' material list by the Contractor at the time of delivery. All discrepancies shall be noted in the Receiving Report and in the Daily Journal, and the Contractor shall immediately notify the Owner of same. All shortages occurring after the receipt of goods shall be charged back to the Contractor.  
i. Note on all Bills of Lading, "CASES NOT INSPECTED FOR CONCEALED DAMAGES and SHORTAGES"
- 01000 SUBMITTALS**  
a. Product samples, manufacturer's data and shop drawings shall be submitted to the Architect for review.
- 01000 CONTRACT CLOSEOUT**  
a. Substantial Completion is the date certified by the Architect on which the Work or designated portion thereof is sufficiently complete so the Owner may occupy the same for the intended purpose.  
b. Provide the following for closeout:  
1-Daily Journal  
2-Operation and Maintenance Data  
3-Keys  
4-Spare Parts, Materials and Stock  
5-Certificate of Inspection/Occupancy  
6-Certificate of Insurance  
7-Evidence of Payment and Release of Liens  
8-List of Subcontractors, Vendors and Suppliers  
9-Final Statement of Account
- 01010 CLEANING**  
a. Each Subcontractor shall clean his/her Work and remove all trash, debris, packing, etc., resulting from that Work.  
b. Final cleaning shall be done by a professional cleaner.

## SYMBOLS AND ABBREVIATIONS Key to Symbols

- CS1 SPECIFICATION DIVISION NUMBER
- ITEM, NOTE OR LINE NUMBER
- ELEVATION KEY NUMBER
- SHEET NUMBER
- DETAIL OR SECTION KEY NUMBER
- SHEET NUMBER
- WINDOW KEY
- DOOR KEY
- NOTE KEY
- KEY TO WALLS AND PARTITION SCHEDULE
- DUPLEX OUTLET
- WEATHER-FROOF
- GROUND-FAULT INTERRUPTED
- FLOOR DRAIN
- 220 VOLT RECEPTACLE
- CEILING-MOUNTED LIGHT
- RECESSED
- PENDENT
- WALL-MOUNTED LIGHT
- SMOKE DETECTOR
- HEAT DETECTOR
- THERMOSTAT
- DIMMER
- PARTITION SCHEDULE
- CABLE
- TELEPHONE
- CEILING FAN
- DOORBELL
- RECESSED EXHAUST FAN
- RECESSED EXHAUST FAN WITH HEAT
- RECESSED EXHAUST FAN WITH LIGHT
- RECESSED EXHAUST FAN WITH LIGHT AND HEAT
- FINISHED FLOOR
- ABOVE FINISHED FLOOR
- DIMMER
- THERMOSTAT
- GROUND-FAULT
- WEATHER-FROOF
- RECESSED
- CHANDELIER
- FLORESCENT
- PENDANT
- EYEBALL
- DOWNSPOUT
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- PULL STATION
- MINI AUDIO/VISUAL DEVICE
- FIRE EXTINGUISHER
- EMERGENCY LIGHT
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHT
- FIRE ALARM CONTROL PANEL
- MASTER FIRE CONTROL PANEL
- EMERGENCY EXIT LIGHT
- BATHROOM EXHAUST FAN

## Key to wall types

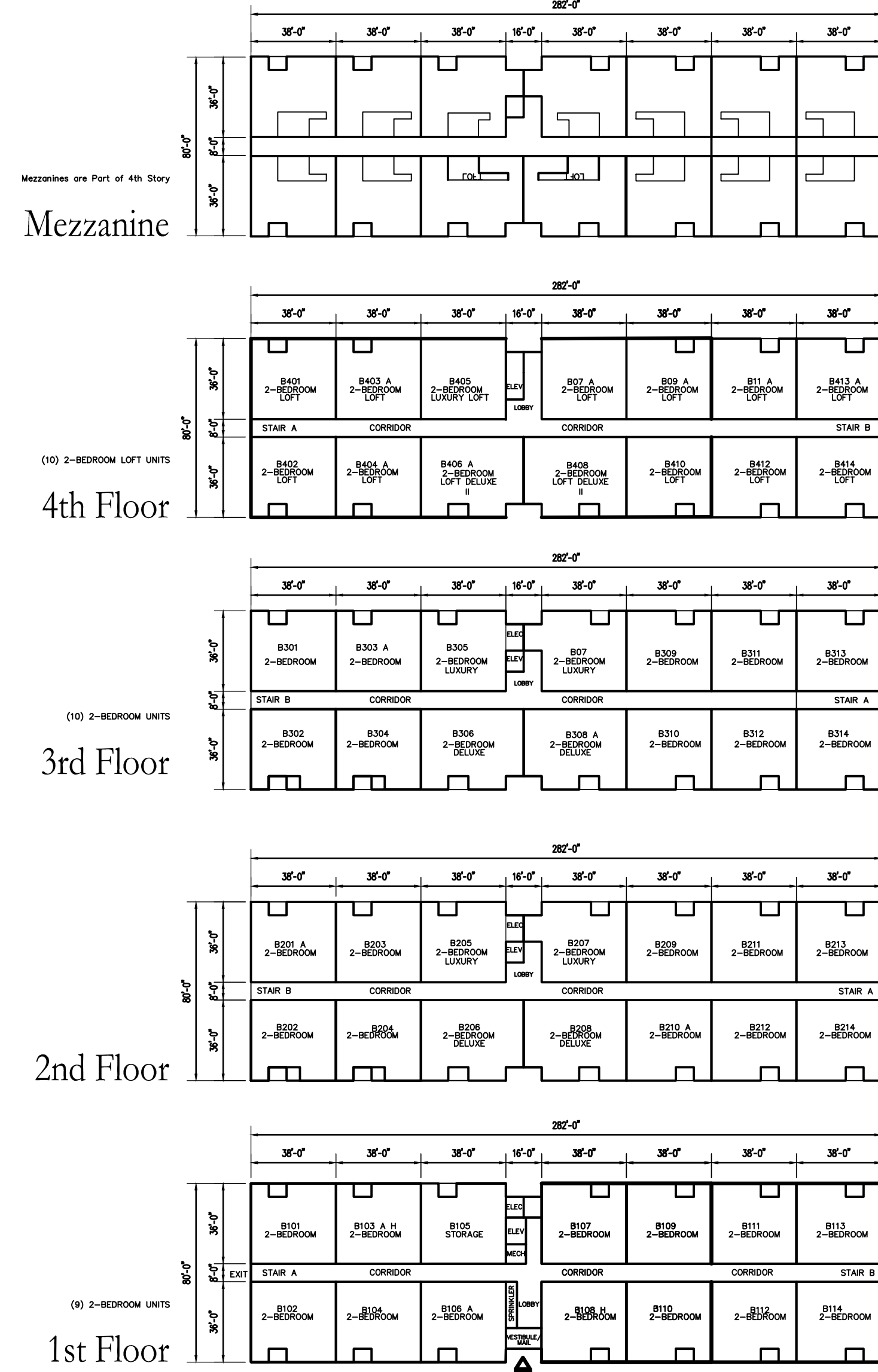
- EXTERIOR INSULATED WALL  
2x6 @ 16" O.C.
- INTERIOR INSULATED WALL  
2x4 @ 16" O.C.
- INTERIOR WET WALL WITH SOUND BATTS  
2x8 @ 16" O.C.
- INTERIOR WALL WITH SOUND BATTS  
2x4 @ 16" O.C.
- INTERIOR WALL  
2x4 @ 16" O.C.
- E and F Sheet A00

SIGNATURES  
BY \_\_\_\_\_ DATE \_\_\_\_\_

OWNER \_\_\_\_\_

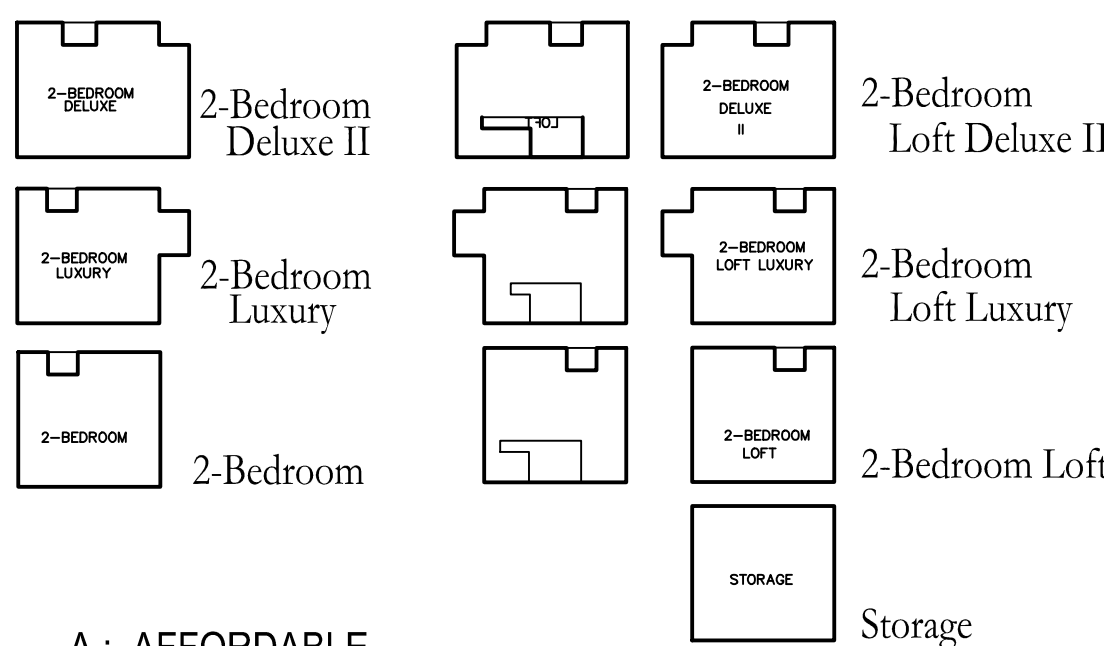
### REVISION HISTORY

NO.	DATE	DESCRIPTION
1	06/10/2020	Issued for Presentation



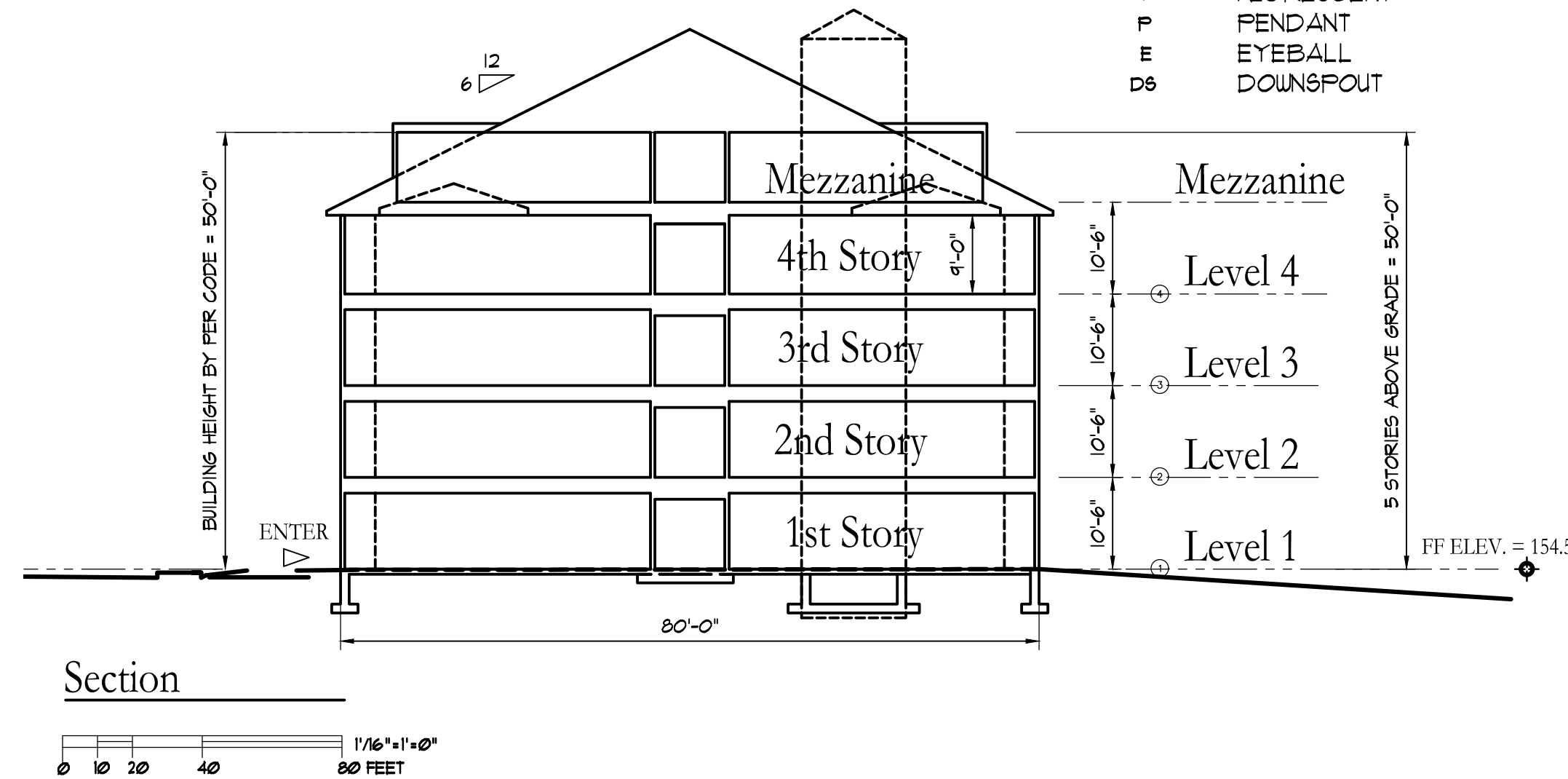
## BUILDING B

Use R-2 Multi-family Apartment Building  
Building Area 22,560 SF  
4 Stories above grade  
1st Floor is a slab at grade  
Building Height 50 feet  
Construction Type VA (Protected)  
NFPA 13 Sprinklers



A: AFFORDABLE  
H: ACCESSIBLE

### Key to Unit Types



TAJ ESTATES  
340 E Central Square  
Franklin, MA



**ARCHITECTS' STUDIO**  
Jerome R. Dixon, Architect

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

50 Oliver Street  
Studio W7  
Easton, MA 02356  
PHONE: 508.230.9684  
FAX: 508.219.4693  
E-Mail: ARCHITECT77@AOL.COM  
WWW.ARCHITECTSSTUDIO1.COM

**Building B Project Information**

DATE: Rev 0 April 26, 2020  
DRAWN BY: JRD  
CHECKED BY: JRD  
ARCHITECT'S PROJECT NUMBER: 20013





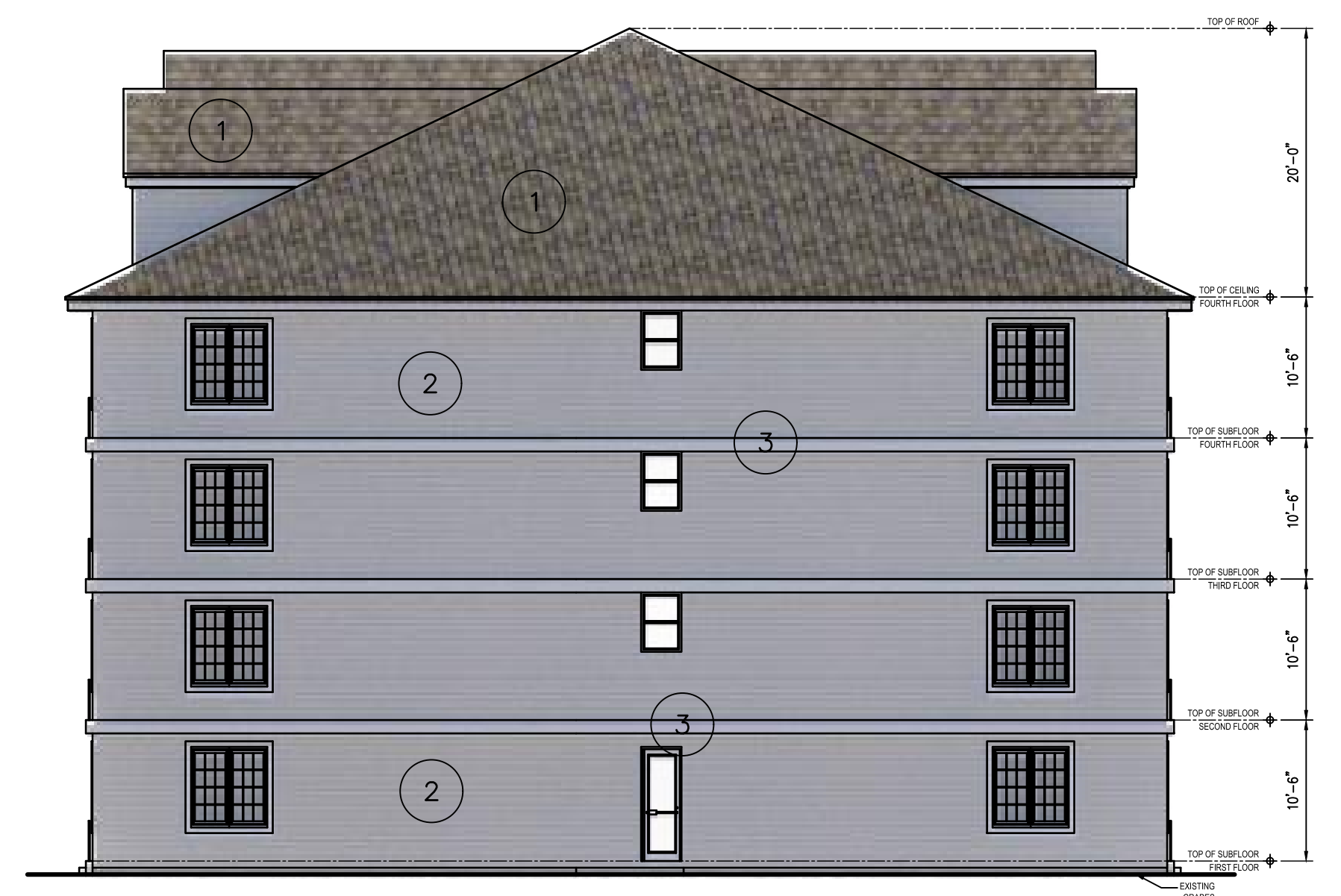
1 FRONT ELEVATION  
A21



2 BACK ELEVATION  
A21



3 RIGHT ELEVATION  
A21



4 LEFT ELEVATION  
A21

KEY TO ELEVATIONS

- 1 ROOF SYSTEM: ARCHITECTURAL SHINGLES EQUAL TO GAF TIMBERLINE  
COLOR: CHORCOAL
- 2 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED  
COLOR: PEARL GRAY  
PATTERN: HORIZONTAL
- 3 TRIM AND ACCENT PANELS: PVC  
COLOR: WHITE
- 4 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED  
COLOR: SIMULATED WOOD (KHAKI BROWN)  
PATTERN: VERTICAL
- 5 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED  
COLOR: SIMULATED WOOD (WOODSTOCK BROWN)  
PATTERN: VERTICAL

TAJ ESTATES  
340 E Central Squa  
Franklin, MA



ARCHITECTS' 1  
STUDIO 1  
Jerome R. Dixon, Architect

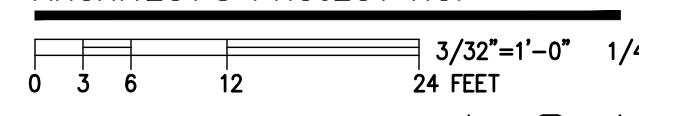
ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

630 Park Street  
Stoughton MA 02072-3654

PHONE: 508.230.9684  
FAX: 508.219.4693  
E-mail: ARCHITECTSstudio@GMAIL.com  
WWW.ARCHITECTSSTUDIO1.COM

Conceptual  
Architectural  
Elevations Building E

DATE: 06-29-2020  
DRAWN BY: LP  
CHECKED BY: JRD  
ARCHITECT'S PROJECT NO: J20013



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TAJ ESTATES  
340 E Central Square  
Franklin, MA



**ARCHITECTS'**  
Jerome R. Dixon, Architect STUDIO

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

50 Oliver Street  
Studio W7  
Easton, MA 02356  
PHONE: 508.230.9684  
FAX: 508.219.4693  
E-Mail: ARCHITECT77@AOL.com  
WWW.ARCHITECTSSTUDIO1.COM

3D RENDERS

DATE: Rev 0 April 26, 2020  
DRAWN BY: KS  
CHECKED BY: JRD  
ARCHITECT'S PROJECT NUMBER: 20013