

Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: January 3, 2024
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 3 Fisher St
Site Plan - Endorsement

General:

1. The Planning Board voted to approve the Site Plan for 3 Fisher Street on December 4, 2023.
2. The Certificate of Vote has been added to the Site Plans.

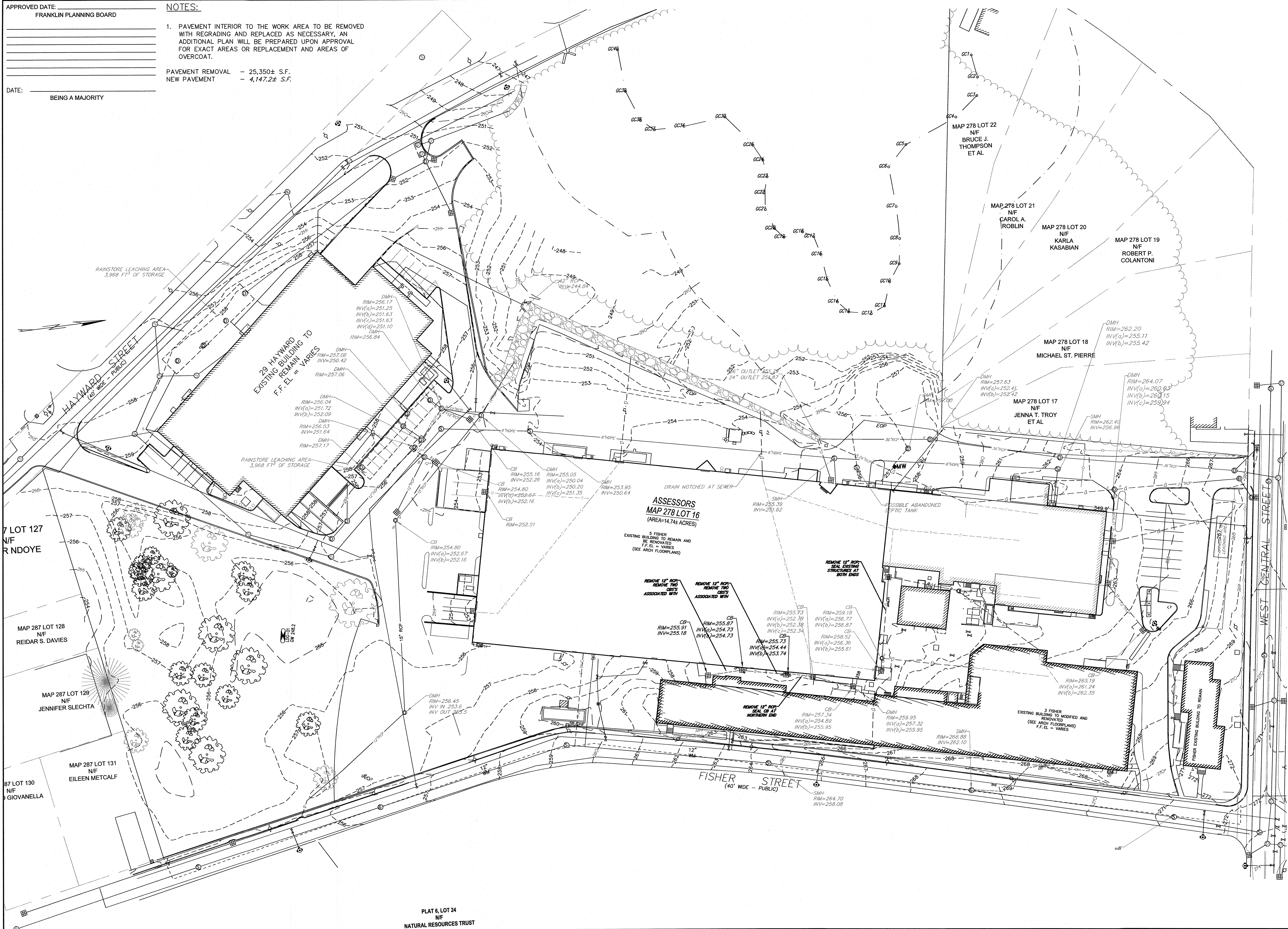
DPCD has no further comment.

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

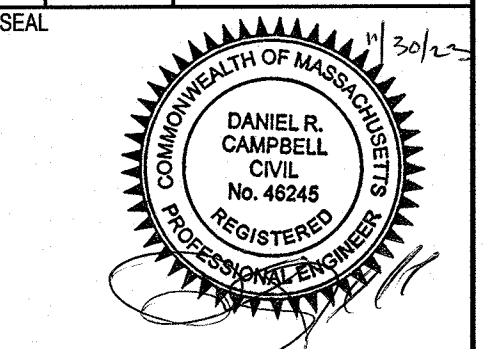
DATE: _____
BEING A MAJORITY

NOTES:

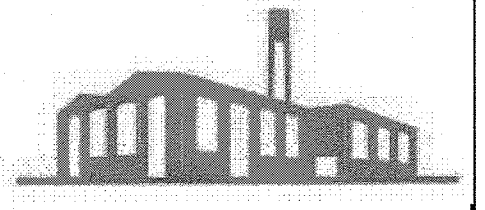
- PAVEMENT INTERIOR TO THE WORK AREA TO BE REMOVED WITH REGRADING AND REPLACED AS NECESSARY, AN ADDITIONAL PLAN WILL BE PREPARED UPON APPROVAL FOR EXACT AREAS OR REPLACEMENT AND AREAS OF OVERCOAT.
- PAVEMENT REMOVAL - 25,350± S.F.
NEW PAVEMENT - 4,147.2± S.F.



NO	DATE	REVISIONS
1	07/07/2023	ISSUE FOR PERMIT
2	10/23/2023	RESPONSE TO COMMENTS
3	11/30/2023	RESPONSE TO COMMENTS



DATE: 07/07/2023
DRAWN: DRC
SCALE: 1" = 40'



FACTORY SQUARE

SITE REDEVELOPMENT - PERMIT MODIFICATION
PARCEL ID 278-016-000-000
1, 3, 5 & 7 FISHER STREET
FRANKLIN, MASSACHUSETTS

LEVEL DESIGN GROUP
Civil Engineers & Land Surveyors
249 SOUTH STREET, UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 695-2221 FAX. (508) 695-2219

EXISTING CONDITIONS

C-1.0

SHEET 3 OF 16
0' 20' 40' 80'

1899.00

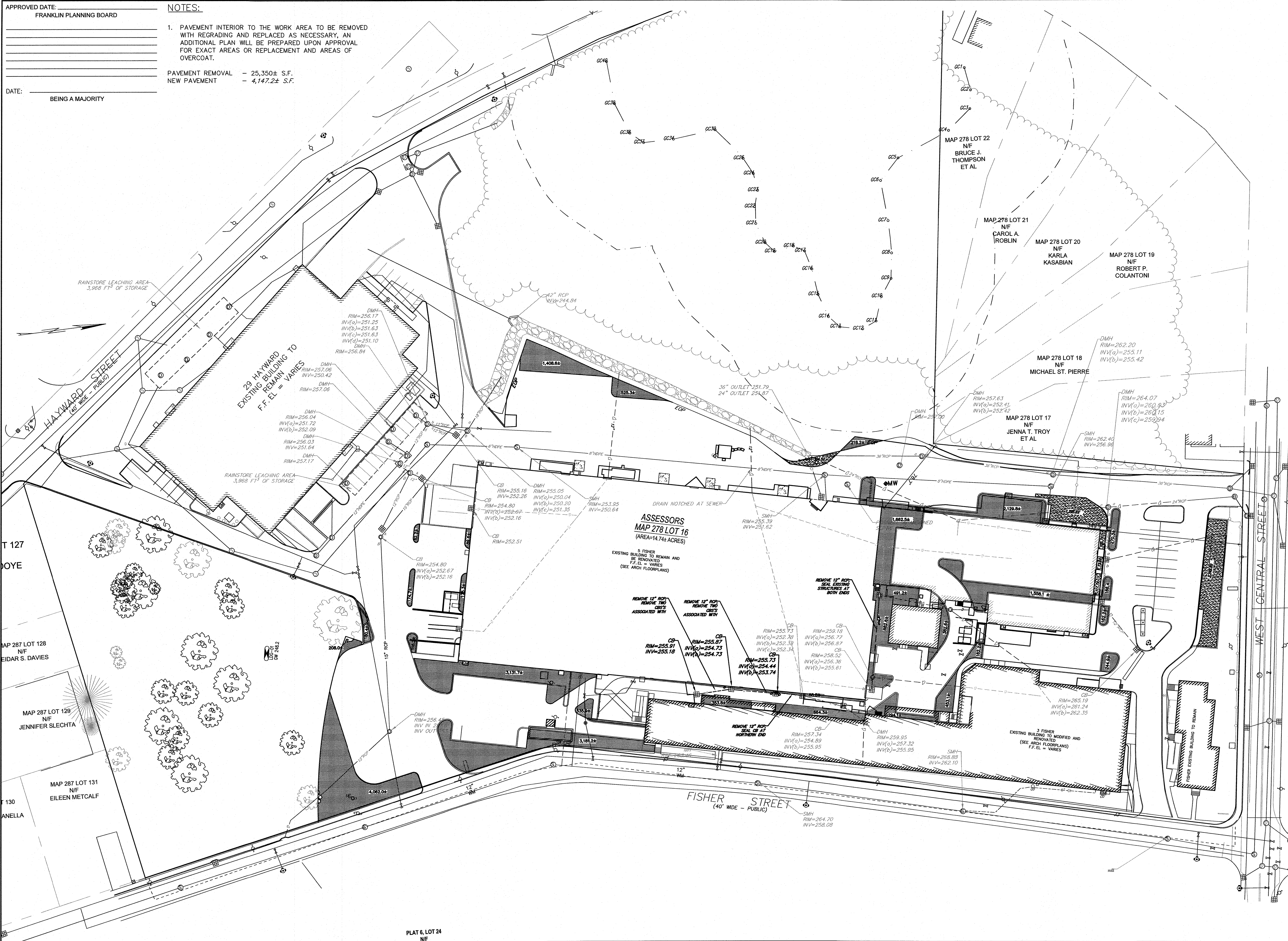
APPROVED DATE: _____
FRANKLIN PLANNING BOARD

NOTES:

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NEW PAVEMENT - 4,147.2± S.F.

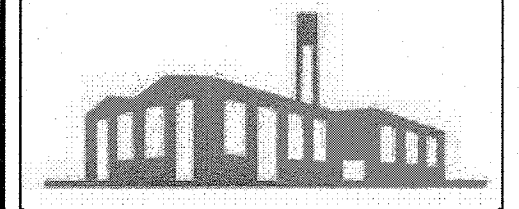
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BEING A MAJORITY



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SEAL

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DEMO PLAN

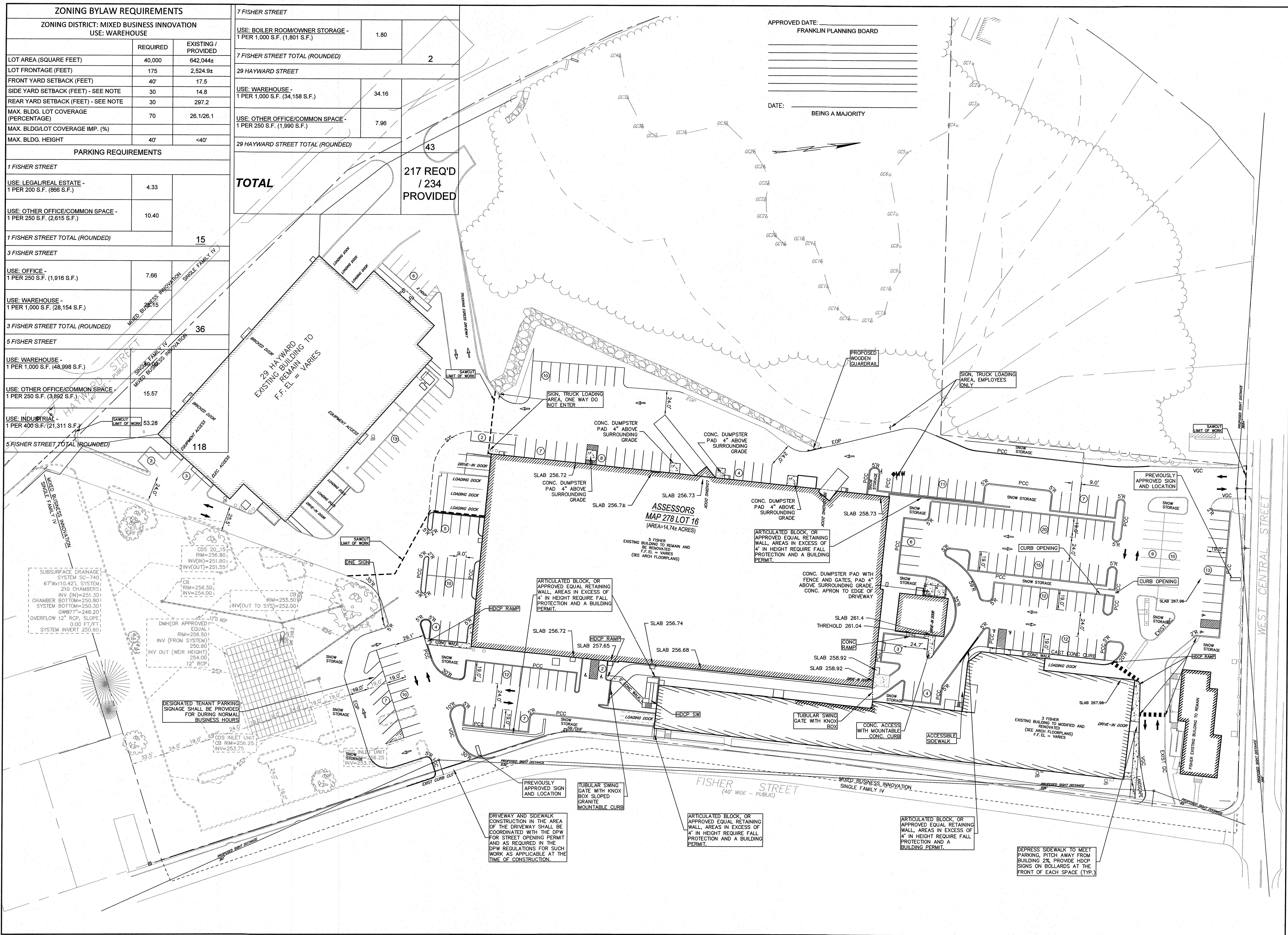
C-1.1

SHEET 4 OF 16

1899.00

ZONING BYLAW REQUIREMENTS		
ZONING DISTRICT: MIXED BUSINESS INNOVATION USE: WAREHOUSE		
	REQUIRED	EXISTING / PROVIDED
LOT AREA (SQUARE FEET)	40,000	642,044±
LOT FRONTAGE (FEET)	175	2,524.8±
FRONT YARD SETBACK (FEET)	40'	17.5
SIDE YARD SETBACK (FEET) - SEE NOTE	30	14.8
REAR YARD SETBACK (FEET) - SEE NOTE	30	297.2
MAX. BLDG. LOT COVERAGE (PERCENTAGE)	70	26.1/26.1
MAX. BLDG/LOT COVERAGE IMP. (%)		
MAX. BLDG. HEIGHT	40'	<40'
PARKING REQUIREMENTS		
1 FISHER STREET		
USE: LEGAL/REAL ESTATE - 1 PER 200 S.F. (866 S.F.)	4.33	
USE: OTHER OFFICE/Common SPACE - 1 PER 250 S.F. (2,615 S.F.)	10.40	
1 FISHER STREET TOTAL (ROUNDED)		15
3 FISHER STREET		
USE: OFFICE - 1 PER 250 S.F. (1,916 S.F.)	7.66	
USE: WAREHOUSE - 1 PER 1,000 S.F. (28,154 S.F.)		15
3 FISHER STREET TOTAL (ROUNDED)		36
5 FISHER STREET		
USE: WAREHOUSE - 1 PER 1,000 S.F. (48,998 S.F.)		15
USE: OTHER OFFICE/Common SPACE - 1 PER 250 S.F. (3,892 S.F.)	15.57	
USE: INDUSTRIAL - 1 PER 400 S.F. (21,311 S.F.)	53.28	
5 FISHER STREET TOTAL (ROUNDED)		118

7 FISHER STREET		
USE: BOILER ROOM/OWNER STORAGE - 1 PER 1,000 S.F. (1,801 S.F.)	1.80	
7 FISHER STREET TOTAL (ROUNDED)		2
29 HAYWARD STREET		
USE: WAREHOUSE - 1 PER 1,000 S.F. (34,158 S.F.)	34.16	
USE: OTHER OFFICE/Common SPACE - 1 PER 250 S.F. (1,990 S.F.)	7.96	
29 HAYWARD STREET TOTAL (ROUNDED)		43
TOTAL		217 REQ'D / 234 PROVIDED



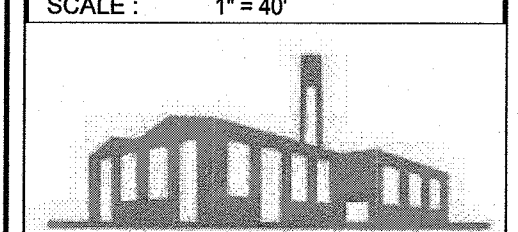
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PARCEL ID 278-016-000-000
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FRANKLIN, MASSACHUSETTS

LEVEL
DESIGN GROUP
Civil Engineers & Land Surveyors

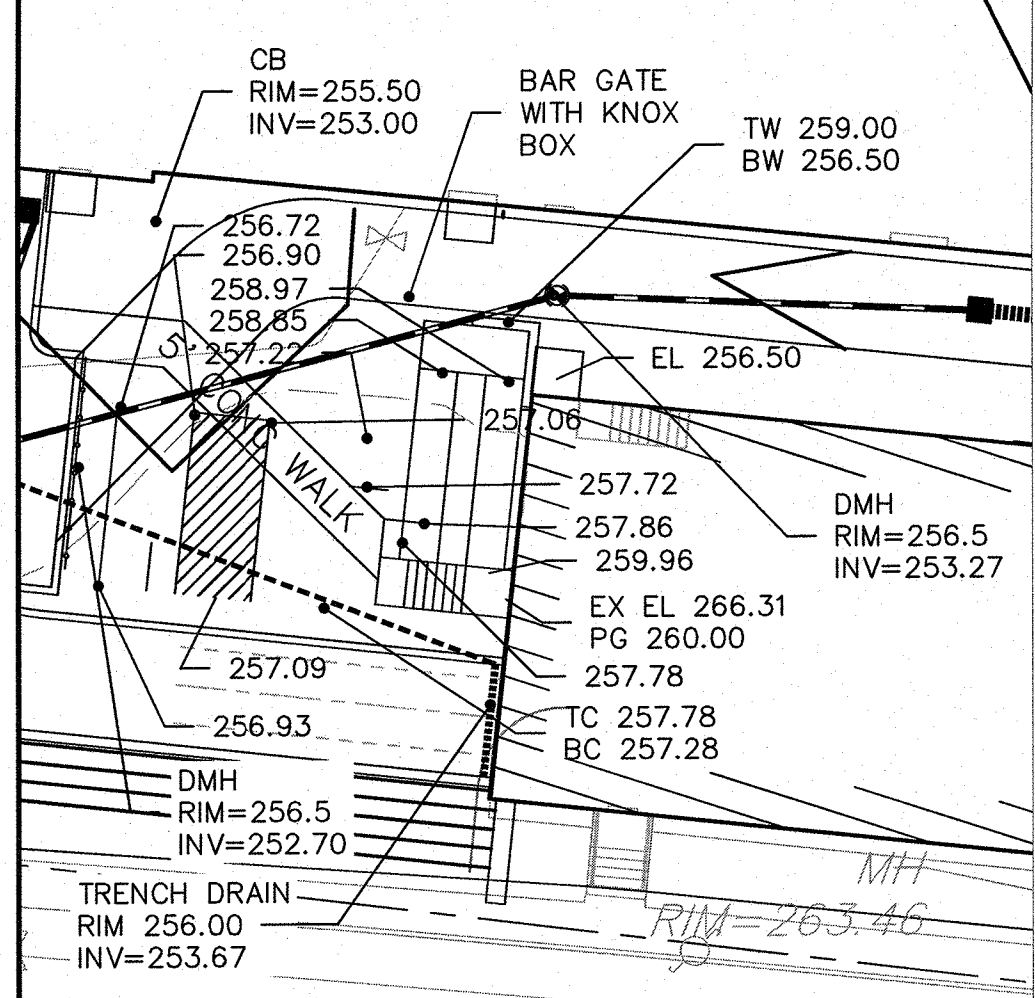
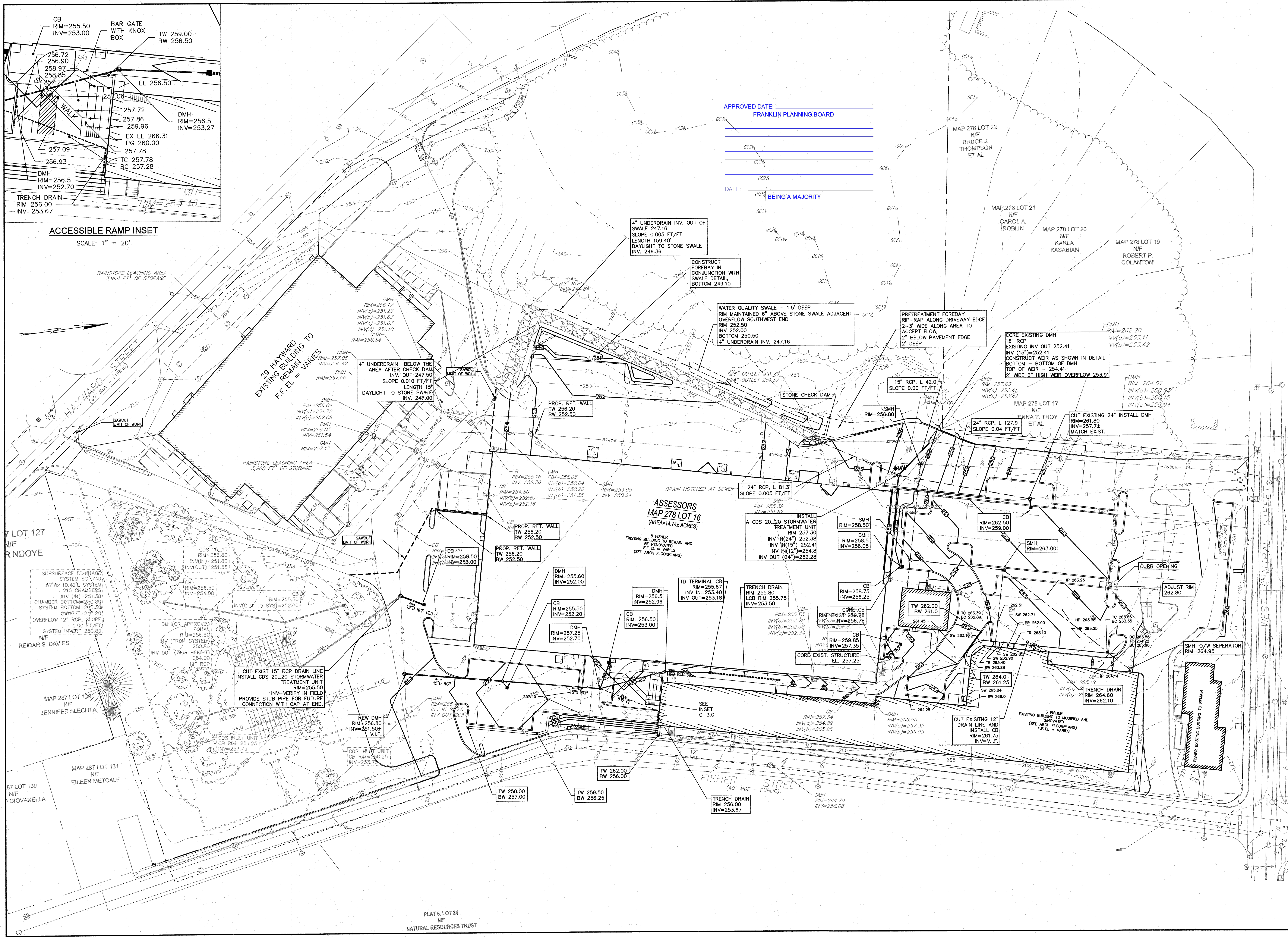
249 SOUTH STREET, UNIT 1
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LAYOUT & MATERIALS

C-2.0

SHEET 5 OF 16

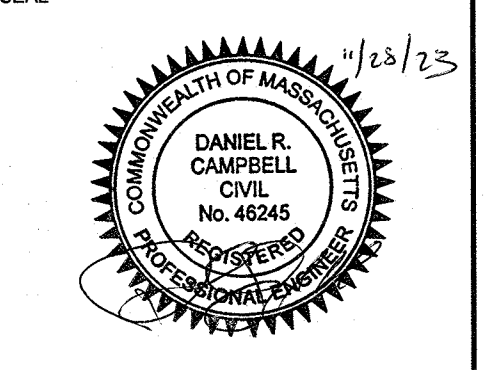
1899.00



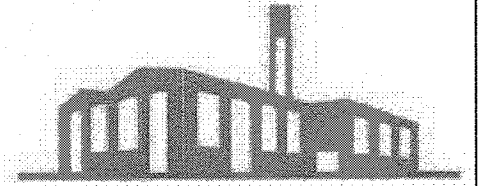
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GRADING & UTILITIES

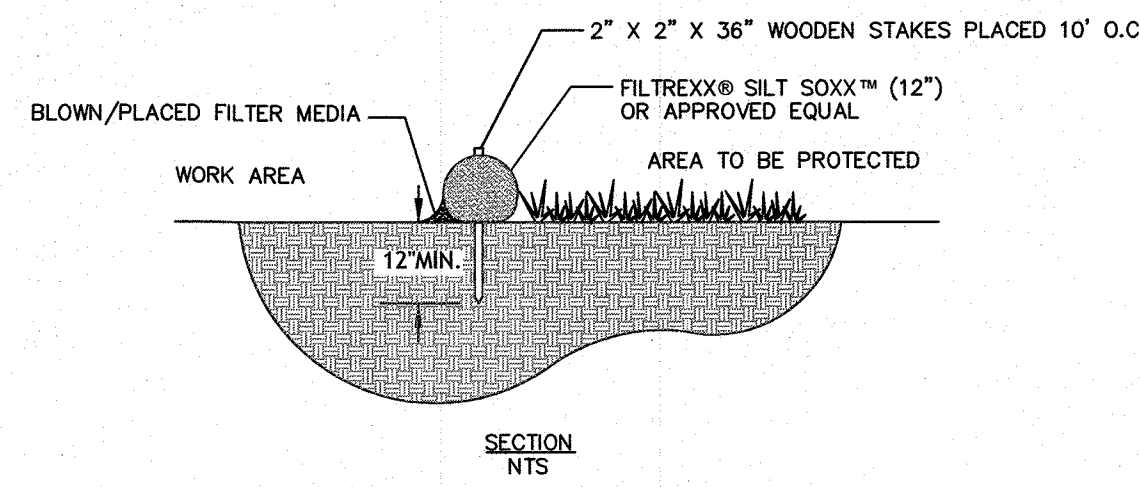
C-3.0

SHEET 6 OF 16
0' 20' 40' 80'

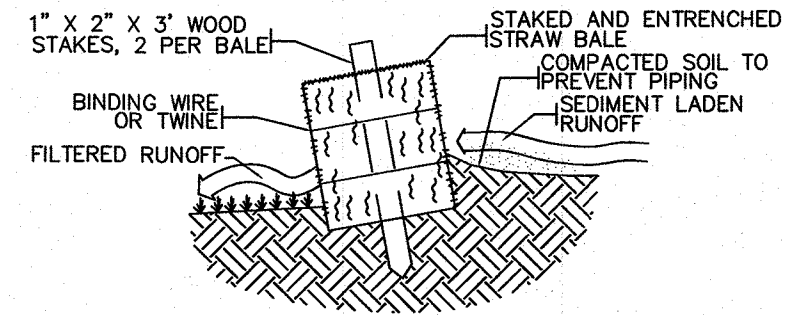
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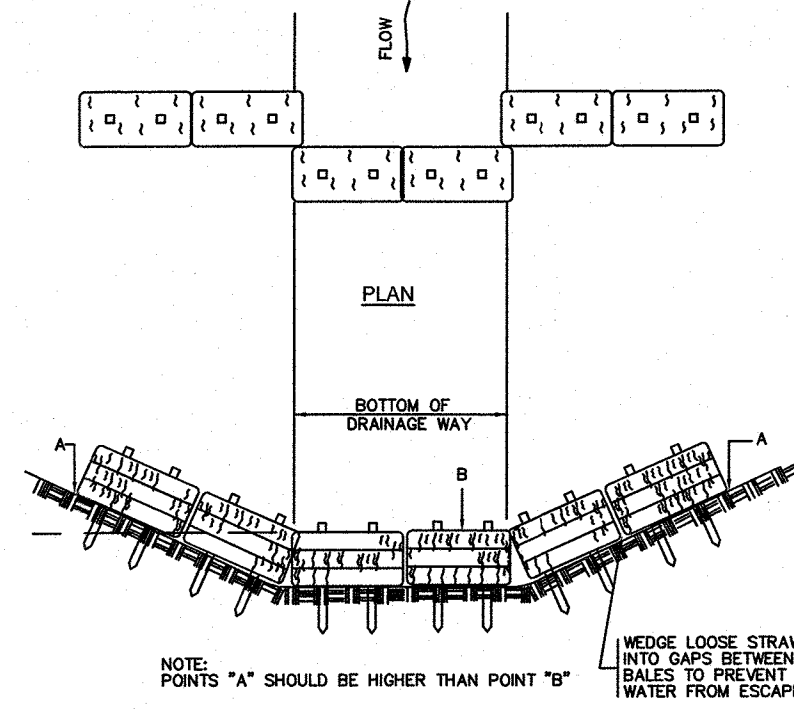
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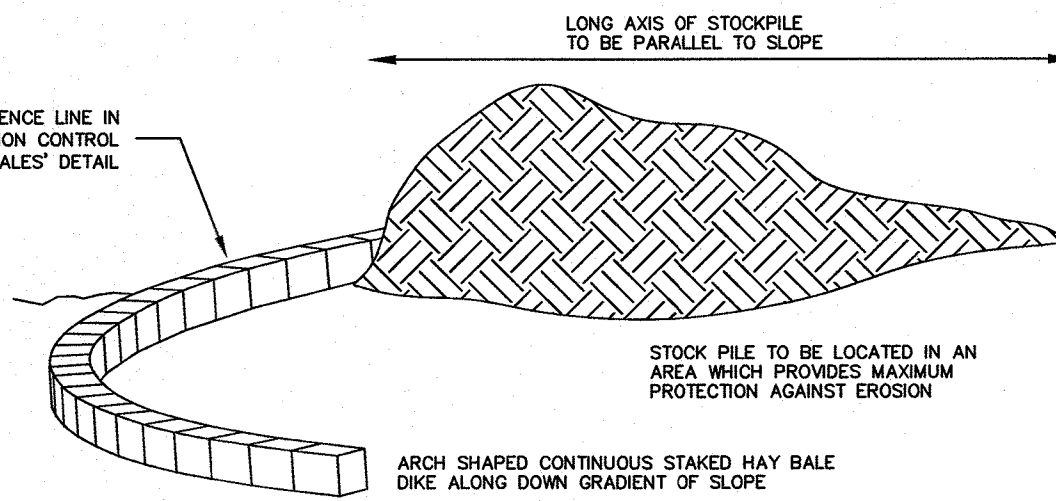
FILTREXX SILT SOXX
NOT TO SCALE



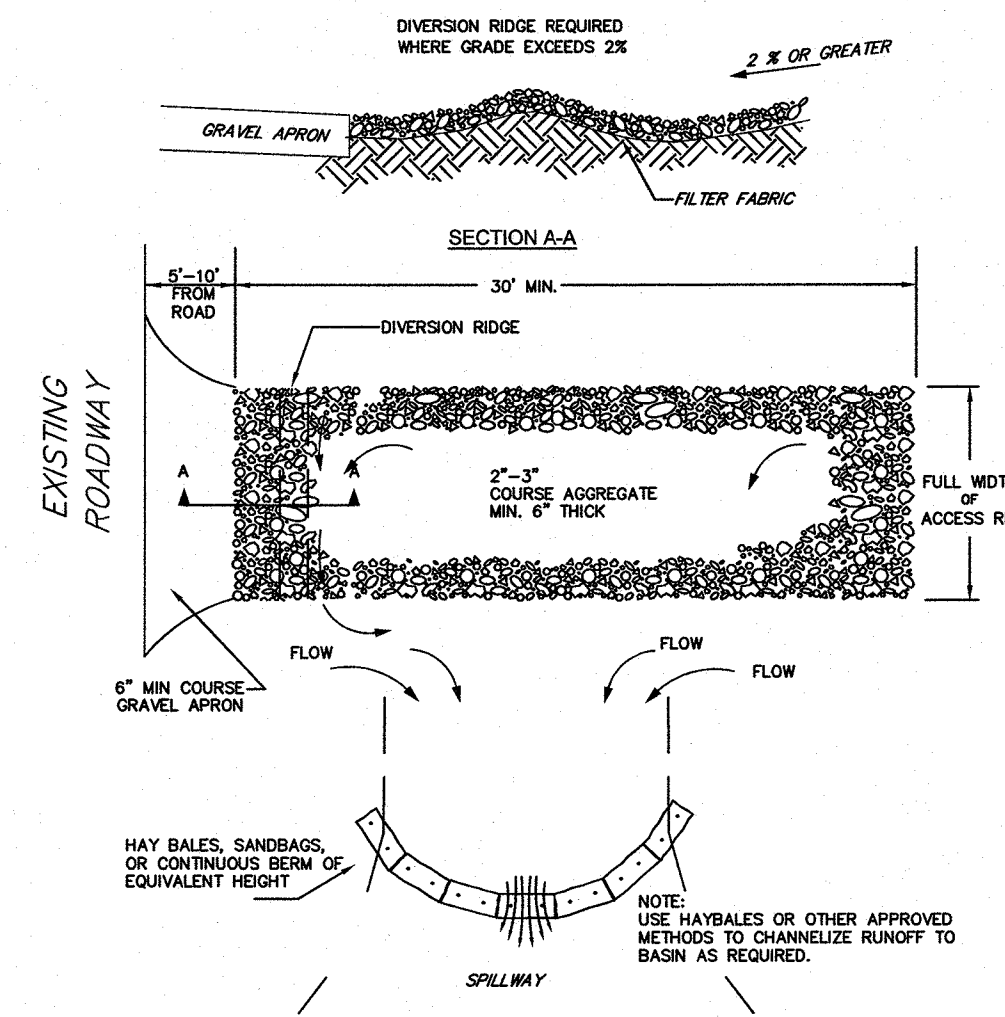
CROSS-SECTION OF STRAW BALE EROSION CHECK
NOT TO SCALE



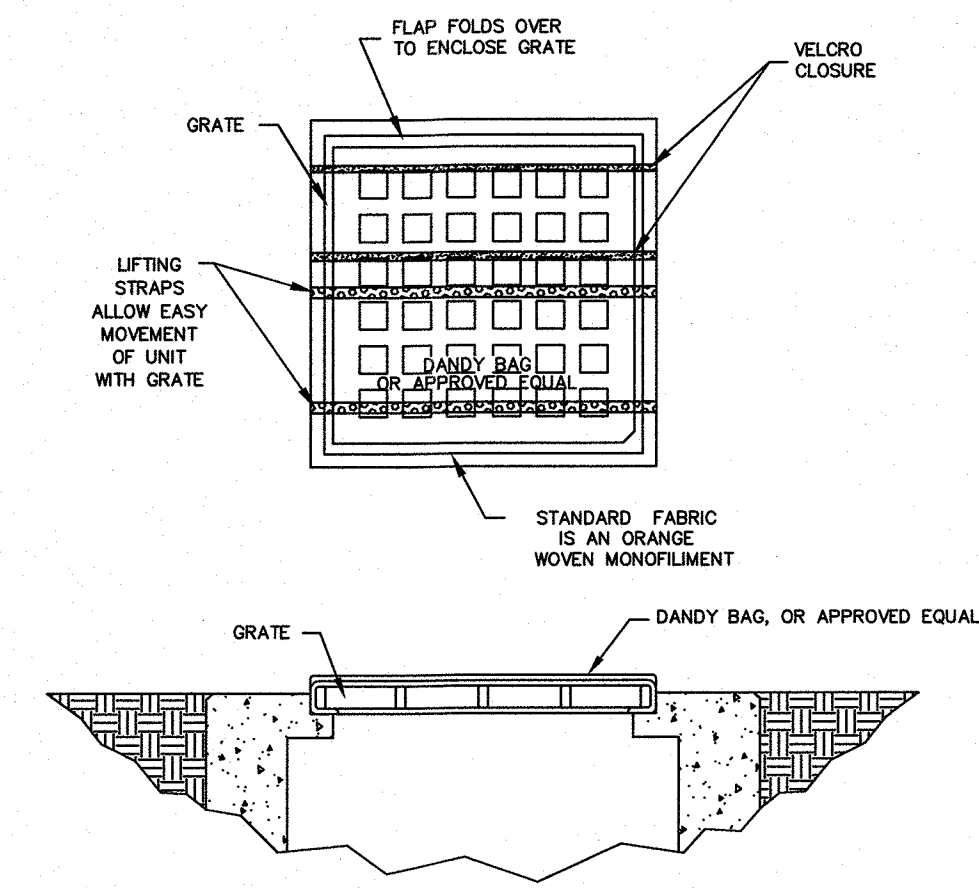
PLACEMENT OF STRAW BALE EROSION CHECK
NOT TO SCALE



TEMPORARY MATERIAL STOCKPILE
NOT TO SCALE



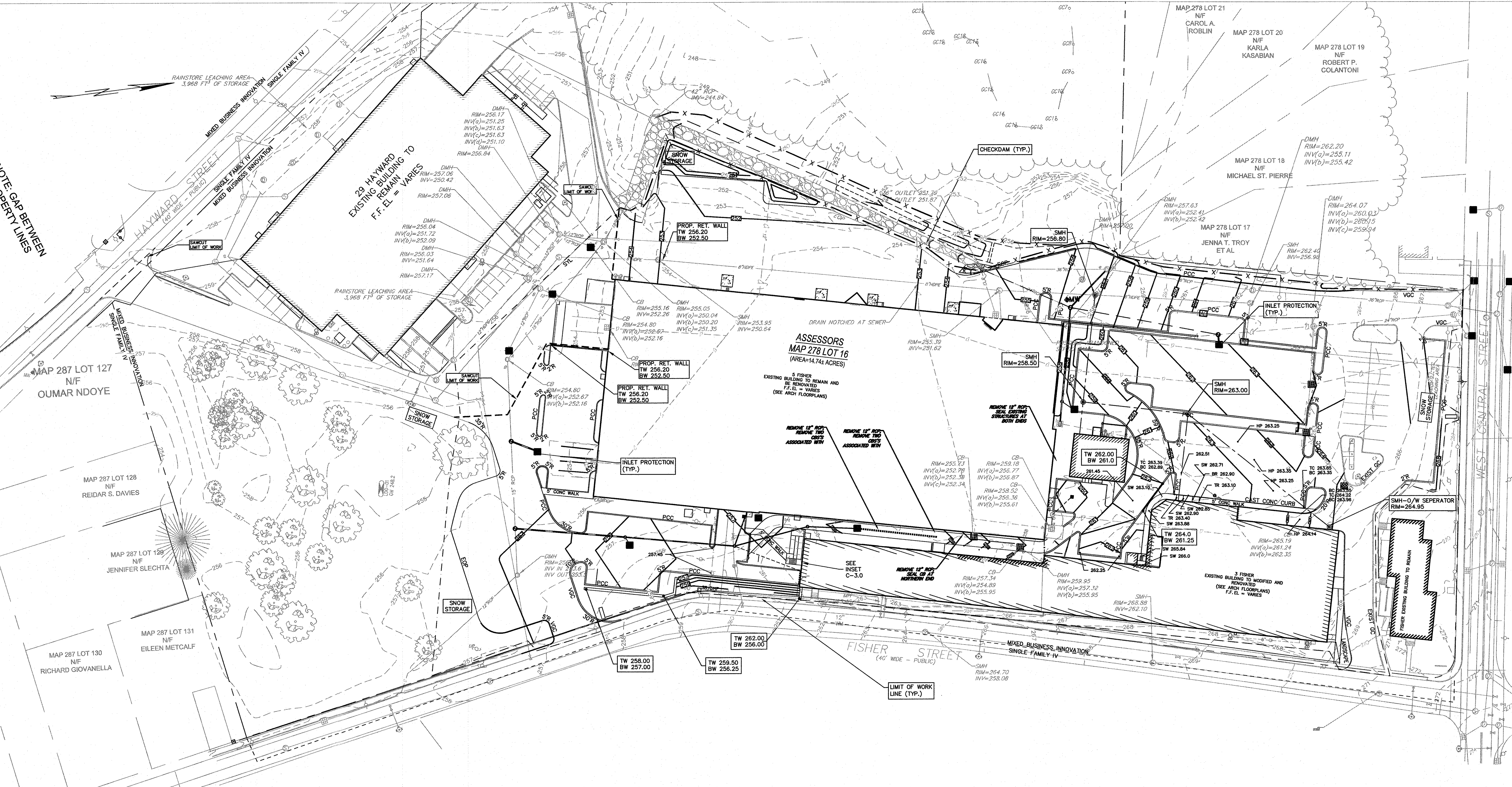
TEMPORARY CONSTRUCTION ENTRANCE/EXIT DETAIL
NOT TO SCALE



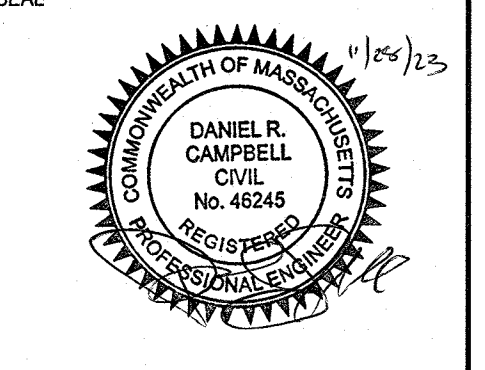
CATCH BASIN INLET PROTECTION
NOT TO SCALE

NOTES:

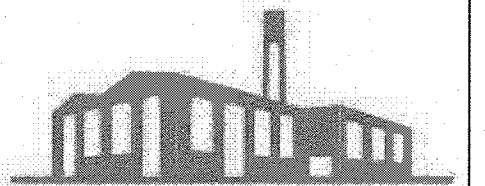
- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RI ENTITLED "SITE PLAN SUBMISSION" DATED JUNE 2, 2003 AS AMENDED AUGUST, 2003.
- THE WETLANDS WERE FLAGGED BY GODDARD CONSULTING, JUNE 2021.
- THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.



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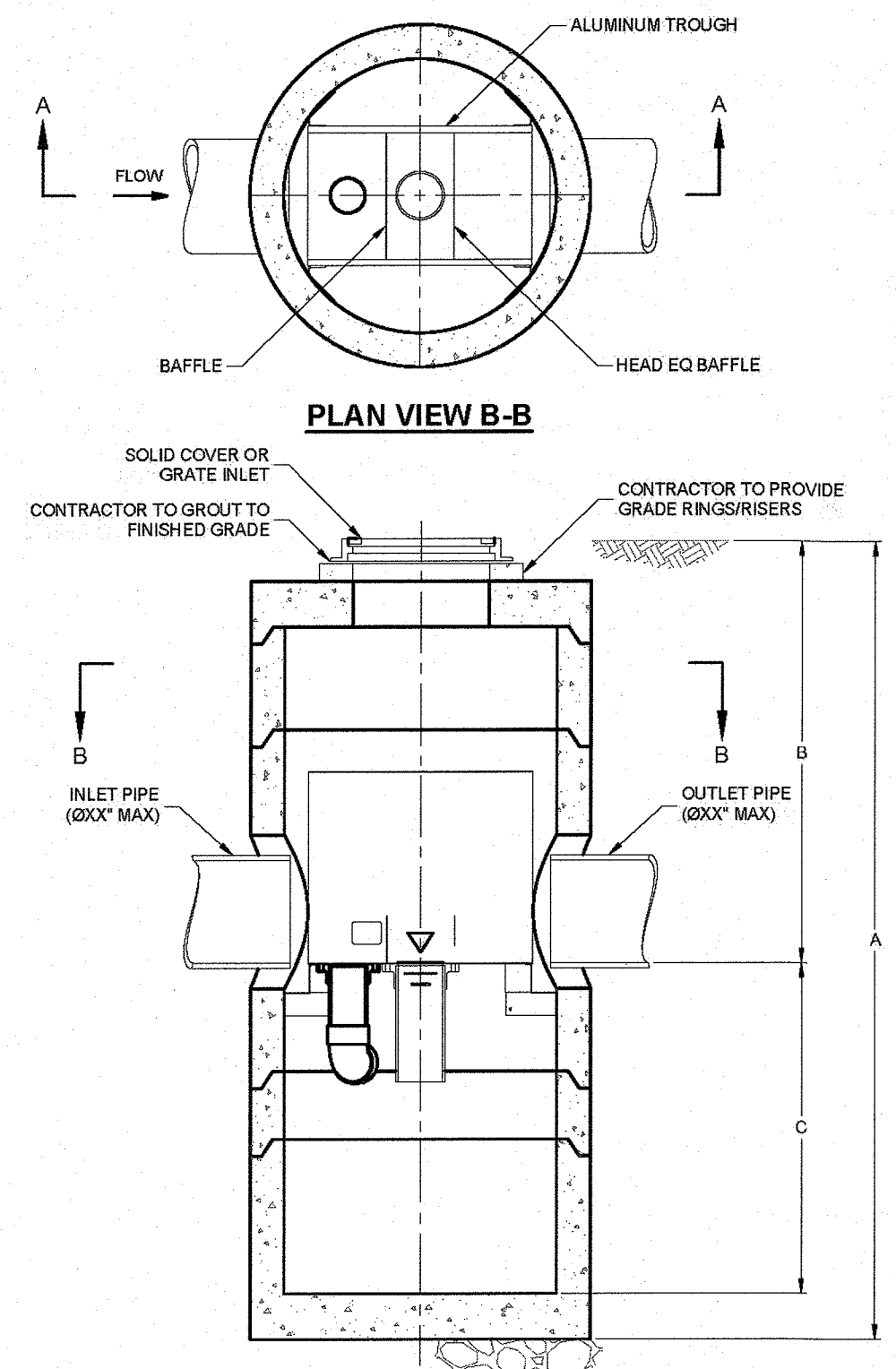
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EROSION CONTROL
C-3.1
SHEET 7 OF 16
1899.00



VORTENSITY HS DESIGN NOTES

THE STANDARD SOLID COVER CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW.

CONFIGURATION OPTION DESCRIPTION	
GRATE INLET (NO INLET PIPE)	
GRATE INLET WITH INLET PIPE	

VORTENSITY HS GENERAL INFORMATION

Model	Manhole Diameter (ID)	Typical Total Distance Rim to Outside Bottom		Typical Distance Rim to Invert		Typical Depth Below Invert (inside)		Approximate Minimum Distance Rim to Invert		Maximum Pipe Diameter (ID)		
		FT	M	FT	M	FT	M	FT	M			
HS36	3	9.00	10.16	3.10	4.08	1.24	5.58	17.02	3.00	0.91	18	450
HS48	4	12.00	13.25	4.04	6.00	1.83	6.75	20.57	4.00	1.22	24	600
HS60	5	15.00	15.13	4.61	6.50	1.98	7.96	24.26	4.82	1.47	30	750
HS72	6	18.00	16.56	5.05	6.75	2.06	9.15	27.88	5.59	1.70	36	900
HS84	7	21.00	18.85	5.75	7.75	2.36	10.33	31.56	6.00	1.52	42	1050
HS96	8	24.00	20.87	6.36	8.50	2.59	11.54	35.18	6.61	2.11	48	1200

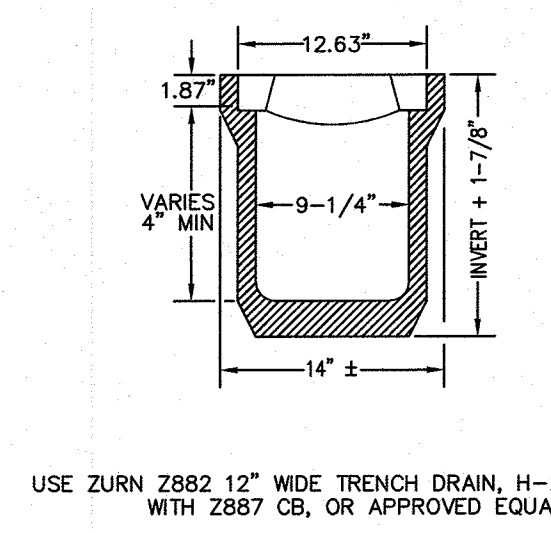
GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (1) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contech-es.com
- VORTENSITY HS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO H-20 AND CASTINGS SHALL MEET AASHTO M308 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.

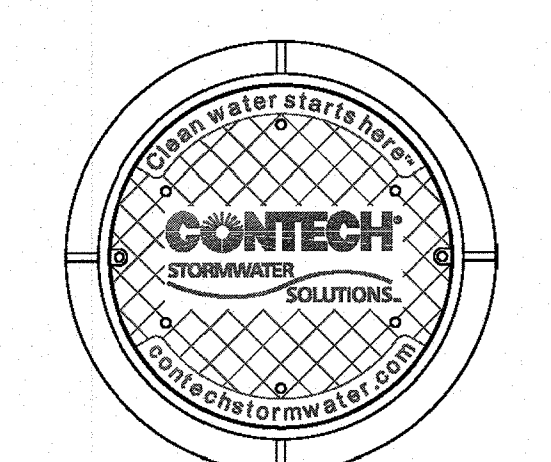
INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTENSITY HS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

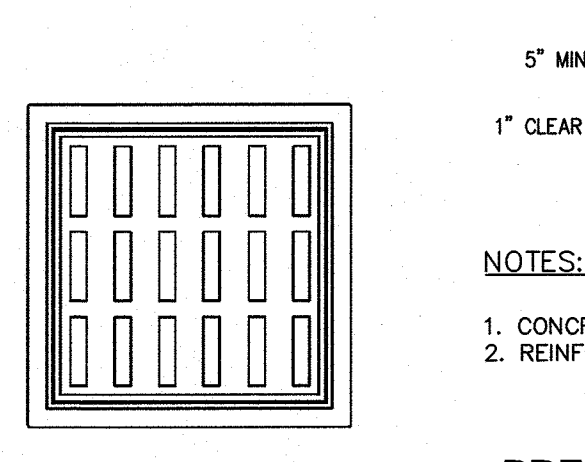
VORTENSITY OR 20_15 DETAILS AND SPECIFICATIONS



TRENCH DRAIN
NOT TO SCALE



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



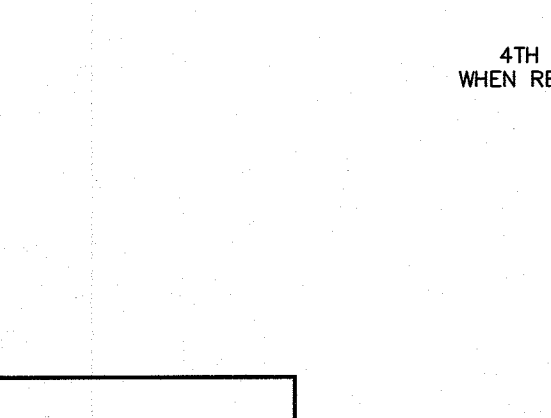
FRAME AND GRATE
(24\"/>

GENERAL NOTES

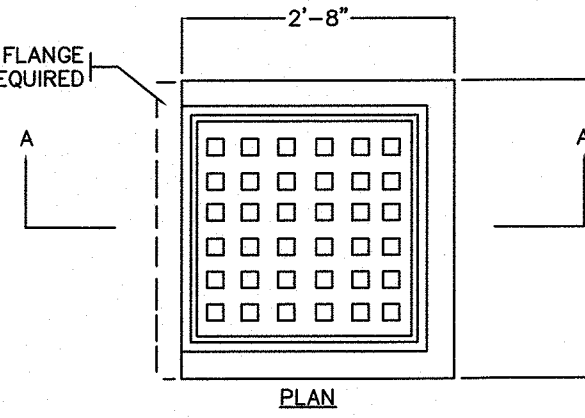
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- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELVE AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

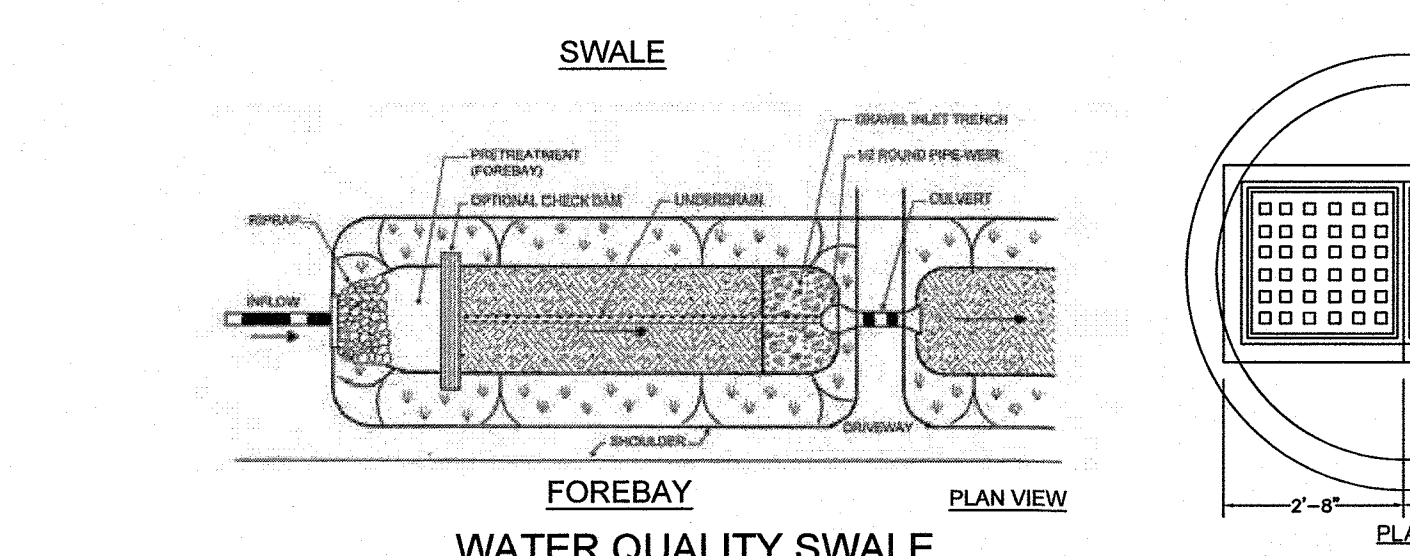
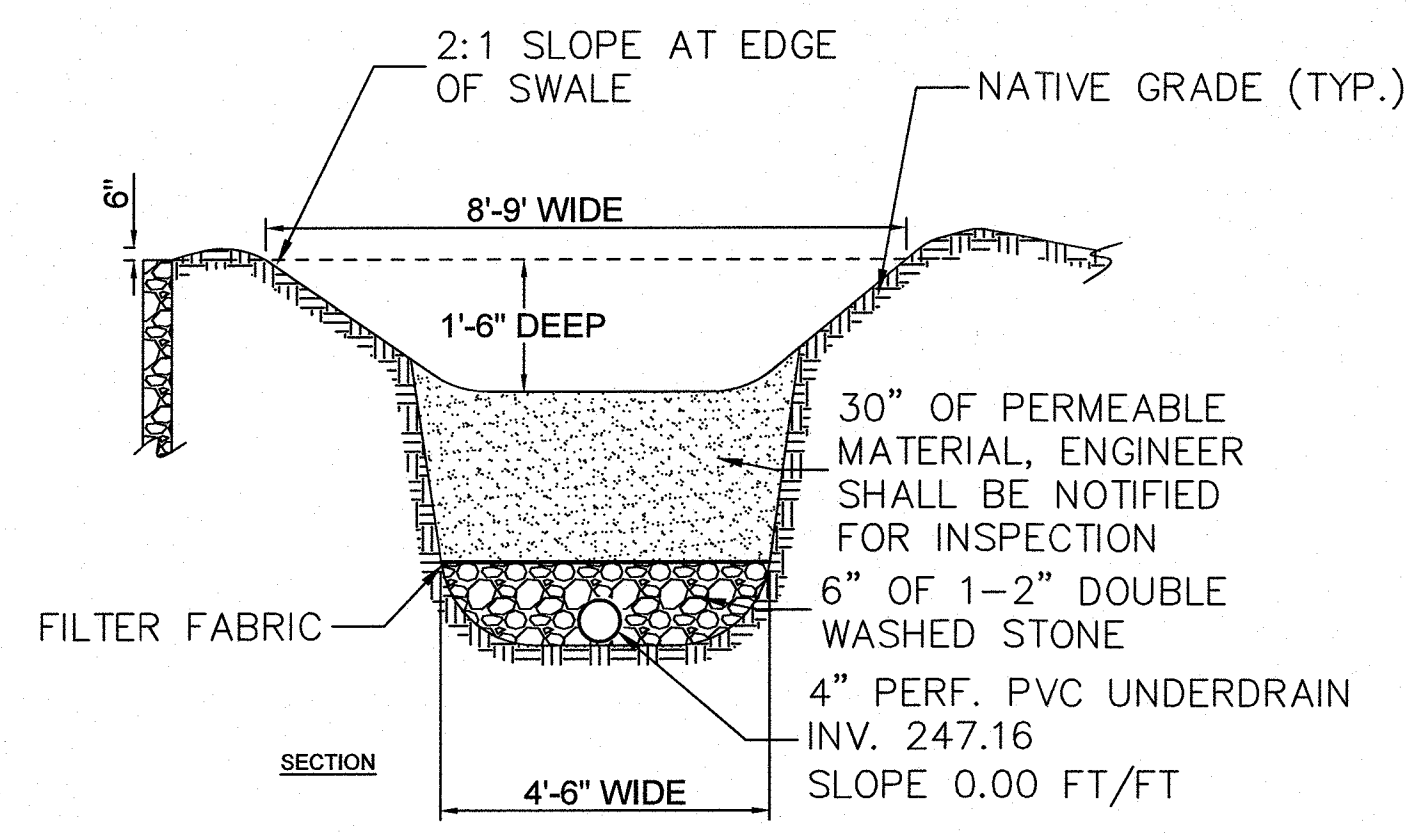
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- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



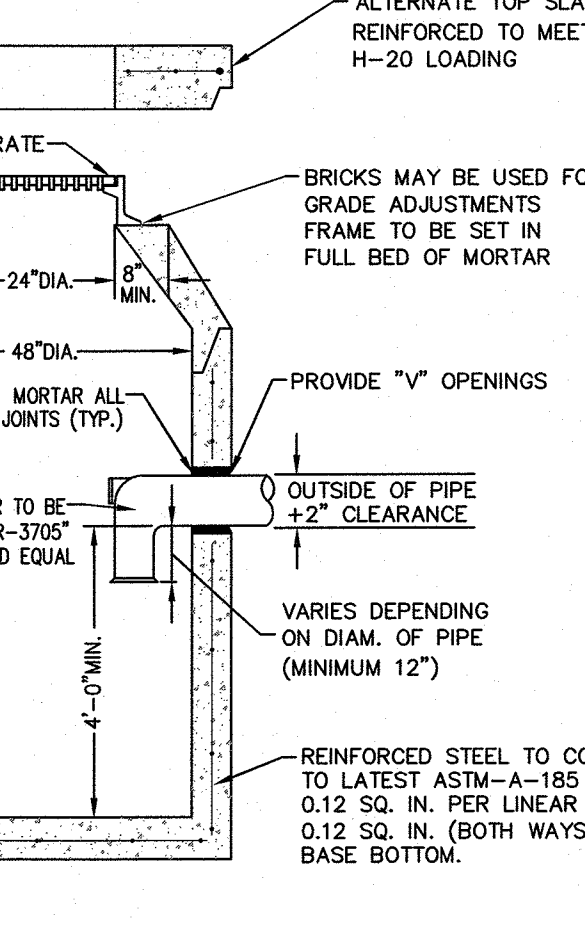
STANDARD CATCH BASIN FRAME & GRATE
NOT TO SCALE



STANDARD MANHOLE FRAME & COVER
NOT TO SCALE



WATER QUALITY SWALE
NOT TO SCALE



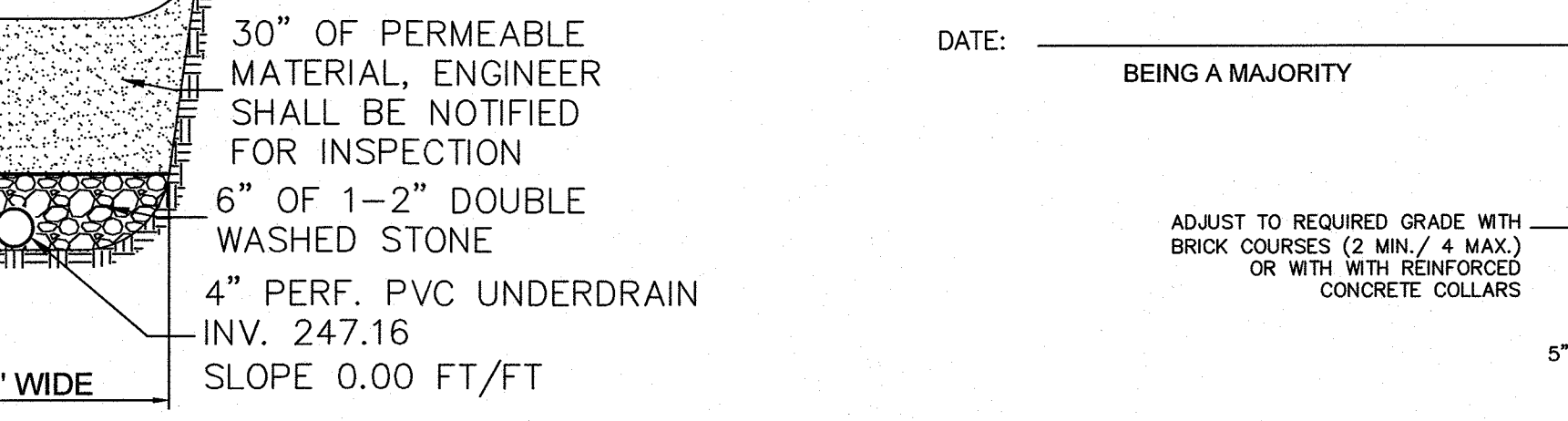
PRECAST CONCRETE CATCH BASIN WITH GAS AND OIL SEPARATOR
NOT TO SCALE

NOTES:

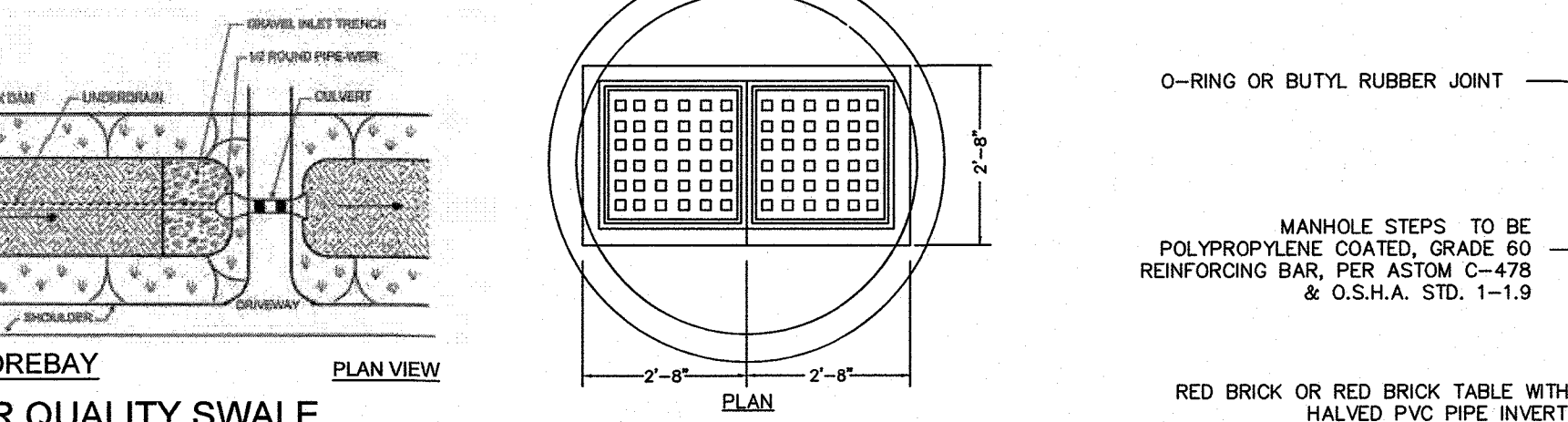
- CONCRETE TO BE 4,000 PSI MIN. PER ASTM C-478(6.1).
- REINFORCING TO MEET OR EXCEED H-20 LOADING REQUIREMENTS.

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

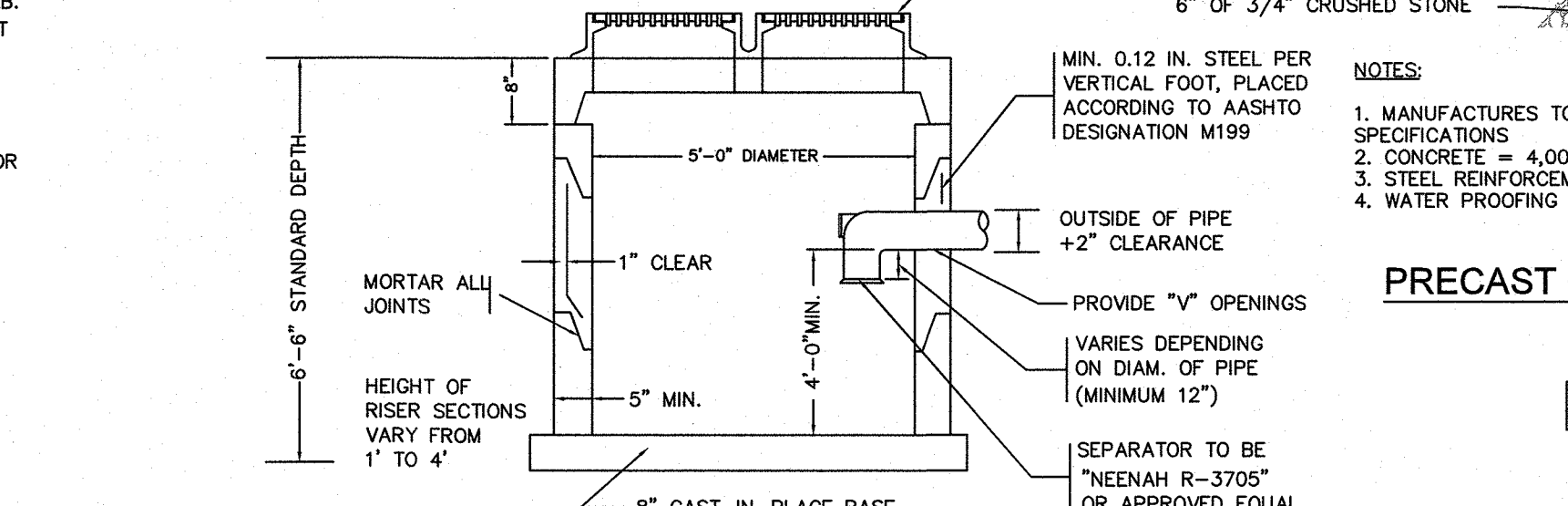
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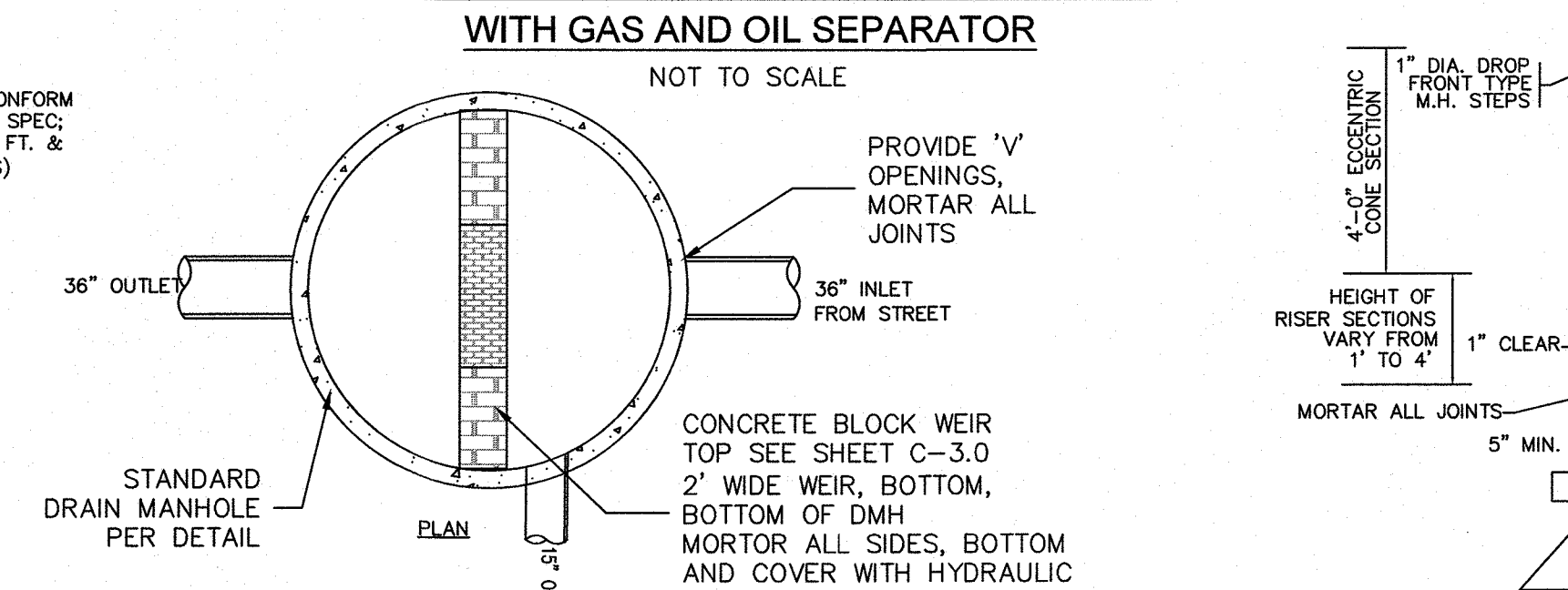
PRECAST CONCRETE DOUBLE CATCH BASIN WITH GAS AND OIL SEPARATOR
NOT TO SCALE



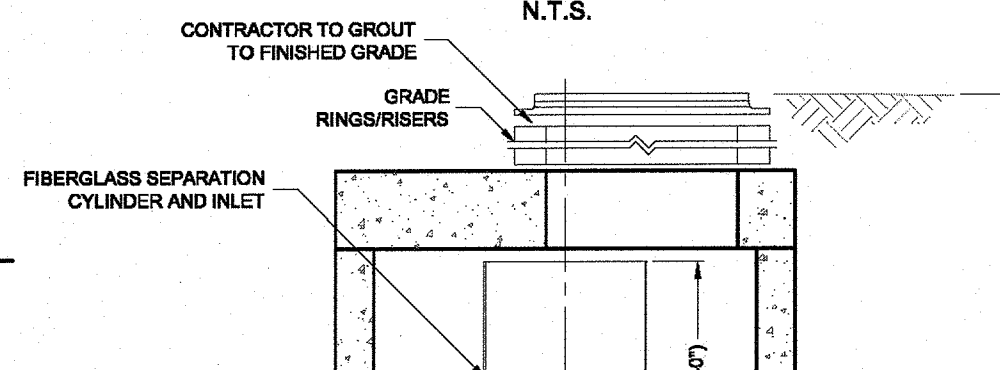
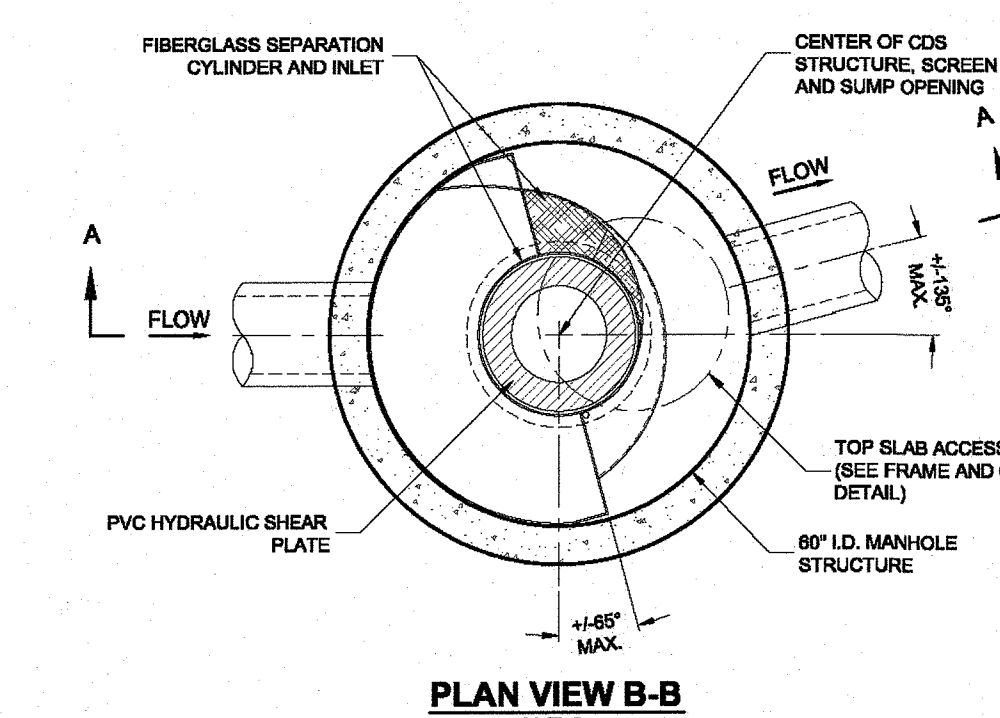
CONCRETE WEIR DRAIN MANHOLE
NOT TO SCALE



STEEL PIPE BOLLARD
NOT TO SCALE



AUTOMOTIVE AREAS - BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



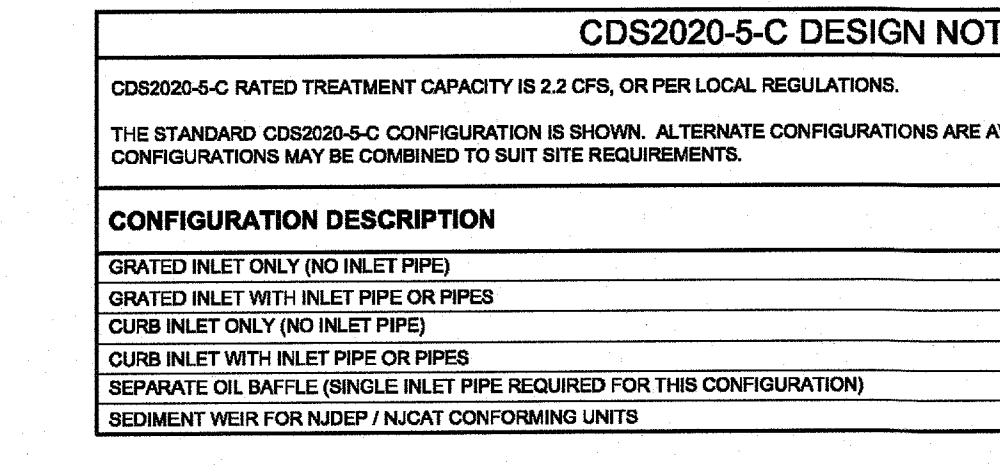
CDS 2020-5-G UNIT (STANDARD)

CDS2020-5-C DESIGN NOTES

CDS2020-5-C RATED TREATMENT CAPACITY IS 2.2 CFS, OR PER LOCAL REGULATIONS.

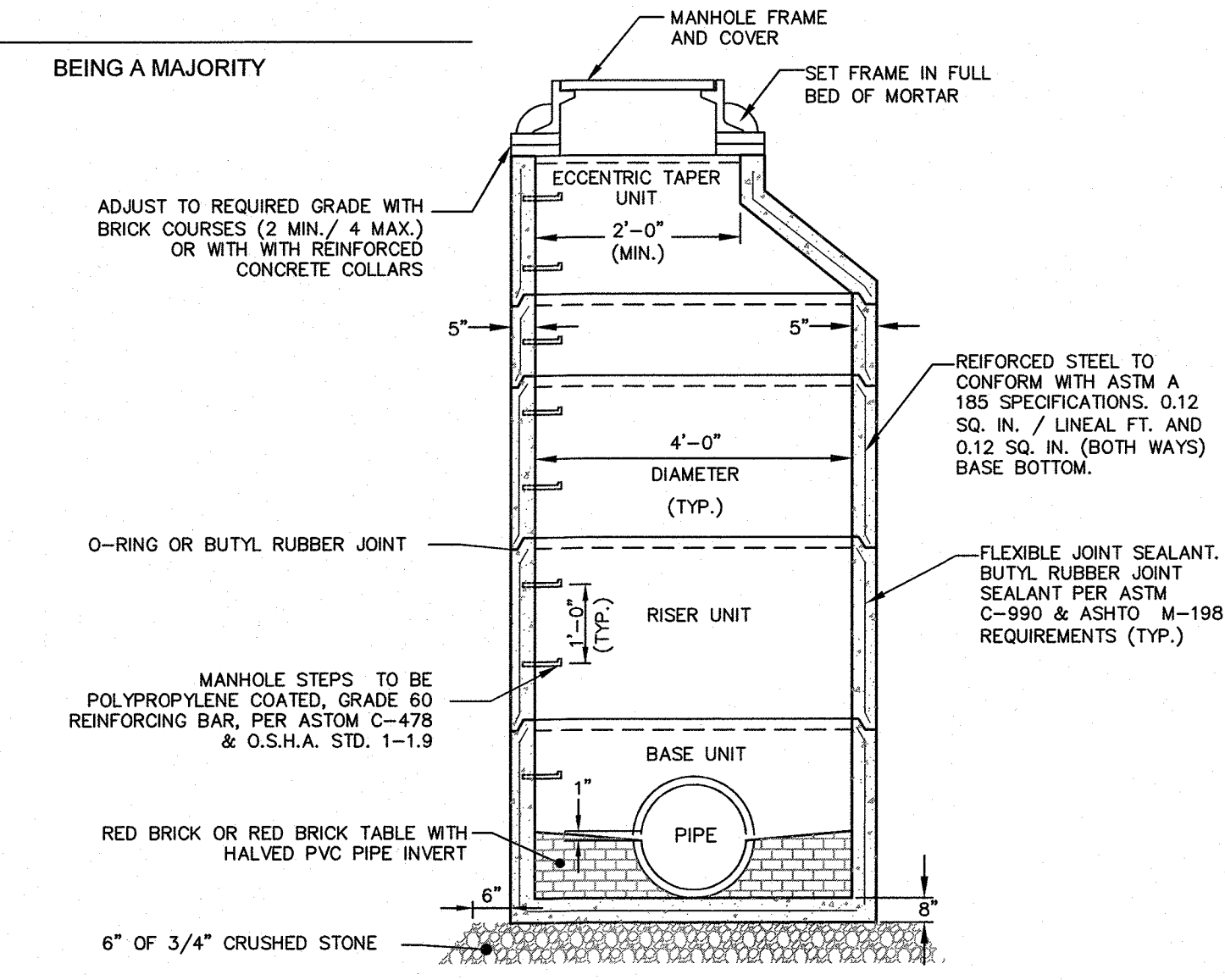
THE STANDARD CDS2020-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION	
GRATED INLET ONLY (NO INLET PIPE)	
GRATED INLET WITH INLET PIPE OR PIPES	
CLRB INLET ONLY (NO INLET PIPE)	
CLRB INLET WITH INLET PIPE OR PIPES	
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)	
SEDIMENT WEIR FOR NUDEP / N/CAT CONFORMING UNITS	

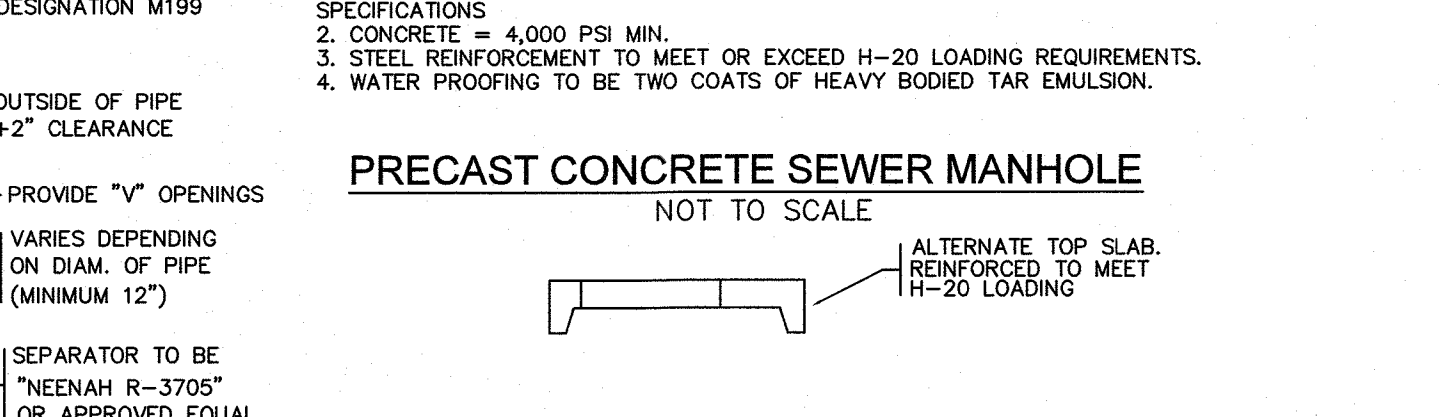


STANDARD CATCH BASIN FRAME & GRATE
NOT TO SCALE

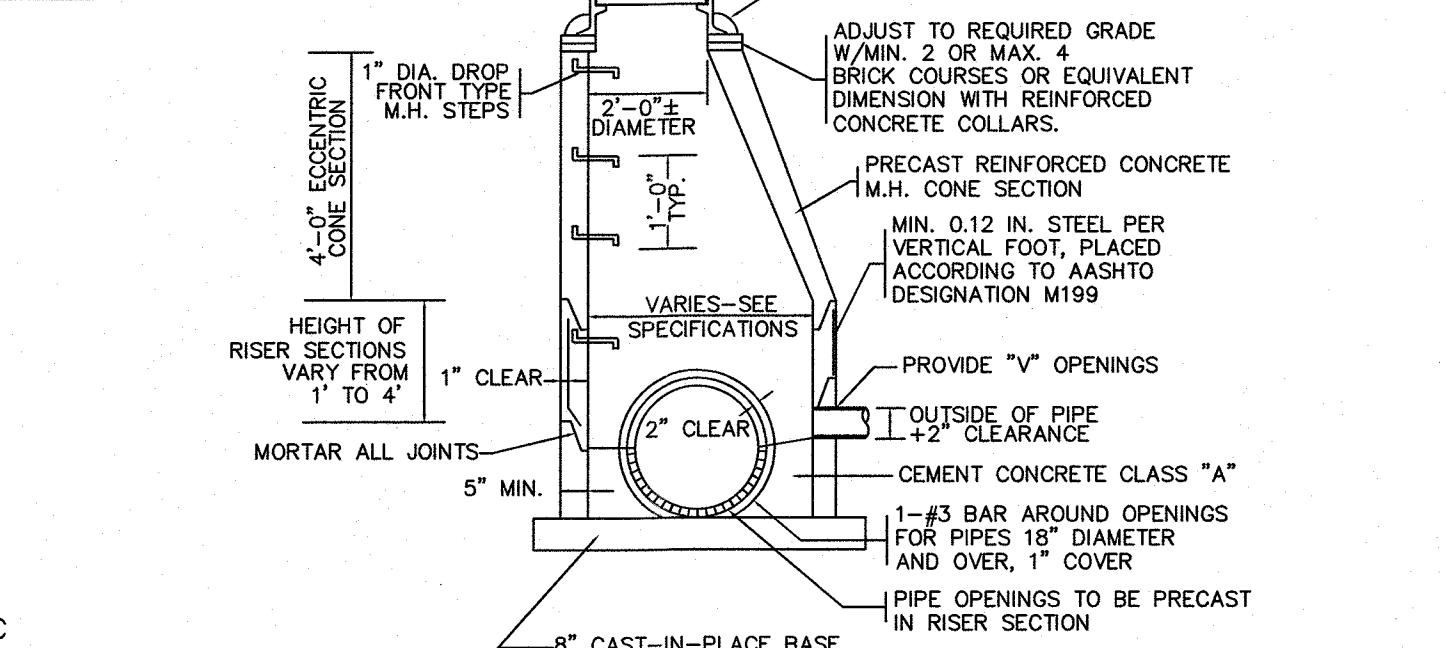
CDS UNIT DETAILS AND SPECIFICATIONS



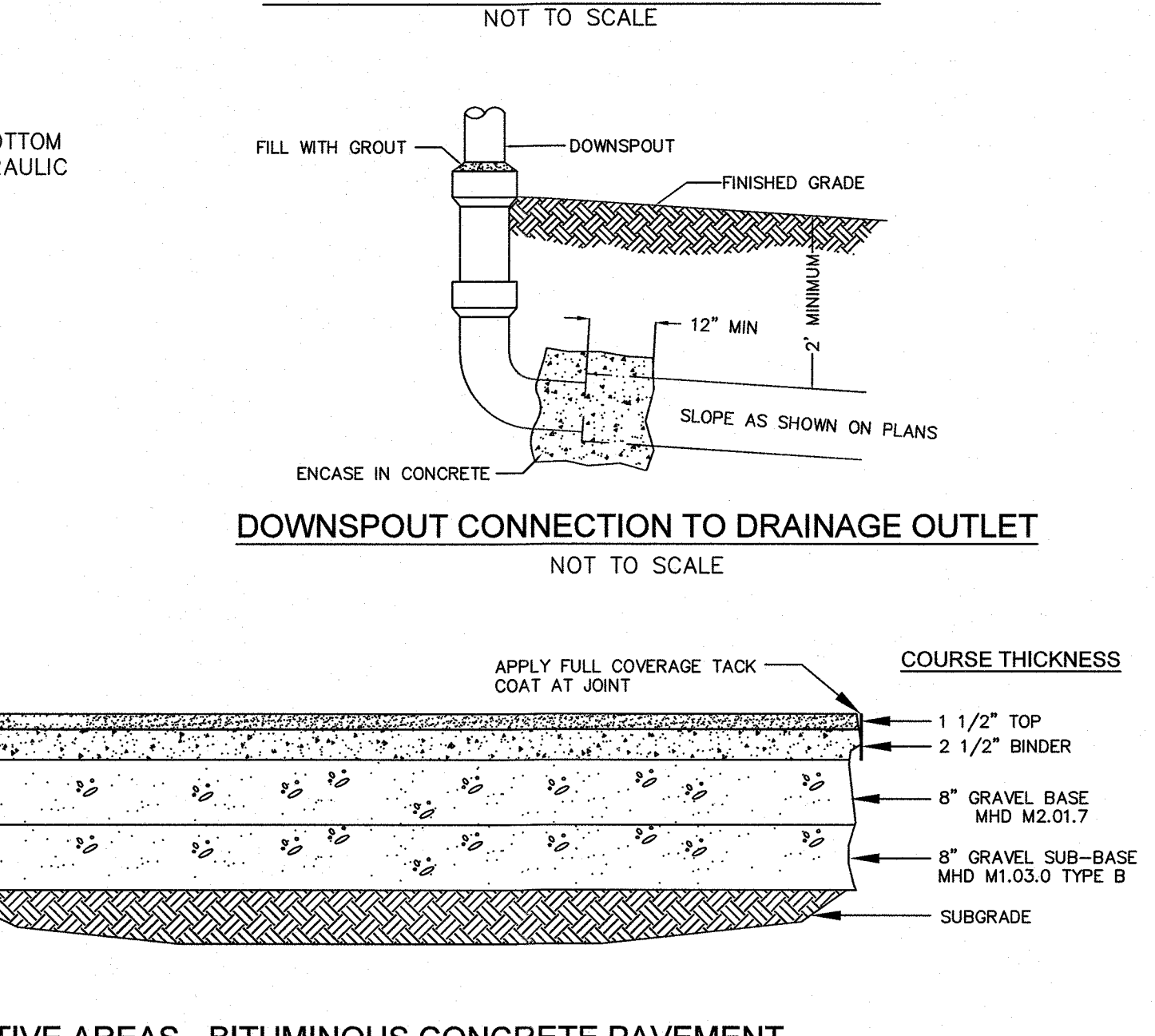
PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE



PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE



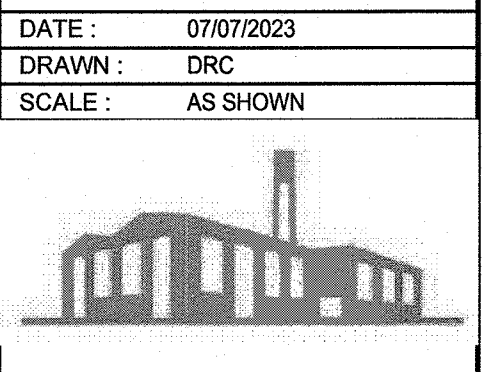
DOWNSPOUT CONNECTION TO DRAINAGE OUTLET
NOT TO SCALE



AUTOMOTIVE AREAS - BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

STANDARD CATCH BASIN FRAME & GRATE
NOT TO SCALE

NO	DATE	REVISIONS
1	07/07/2023	ISSUE FOR PERMIT
2	10/23/2023	RESPONSE TO COMMENTS
3	11/28/2023	RESPONSE TO COMMENTS



DATE: 07/07/2023
DRAWN: DRC
SCALE: AS SHOWN

FACTORY SQUARE

SITE REDEVELOPMENT - PERMIT MODIFICATION
PARCEL ID 278-016-000-000
1, 3, 5 & 7 FISHER STREET
FRANKLIN, MASSACHUSETTS

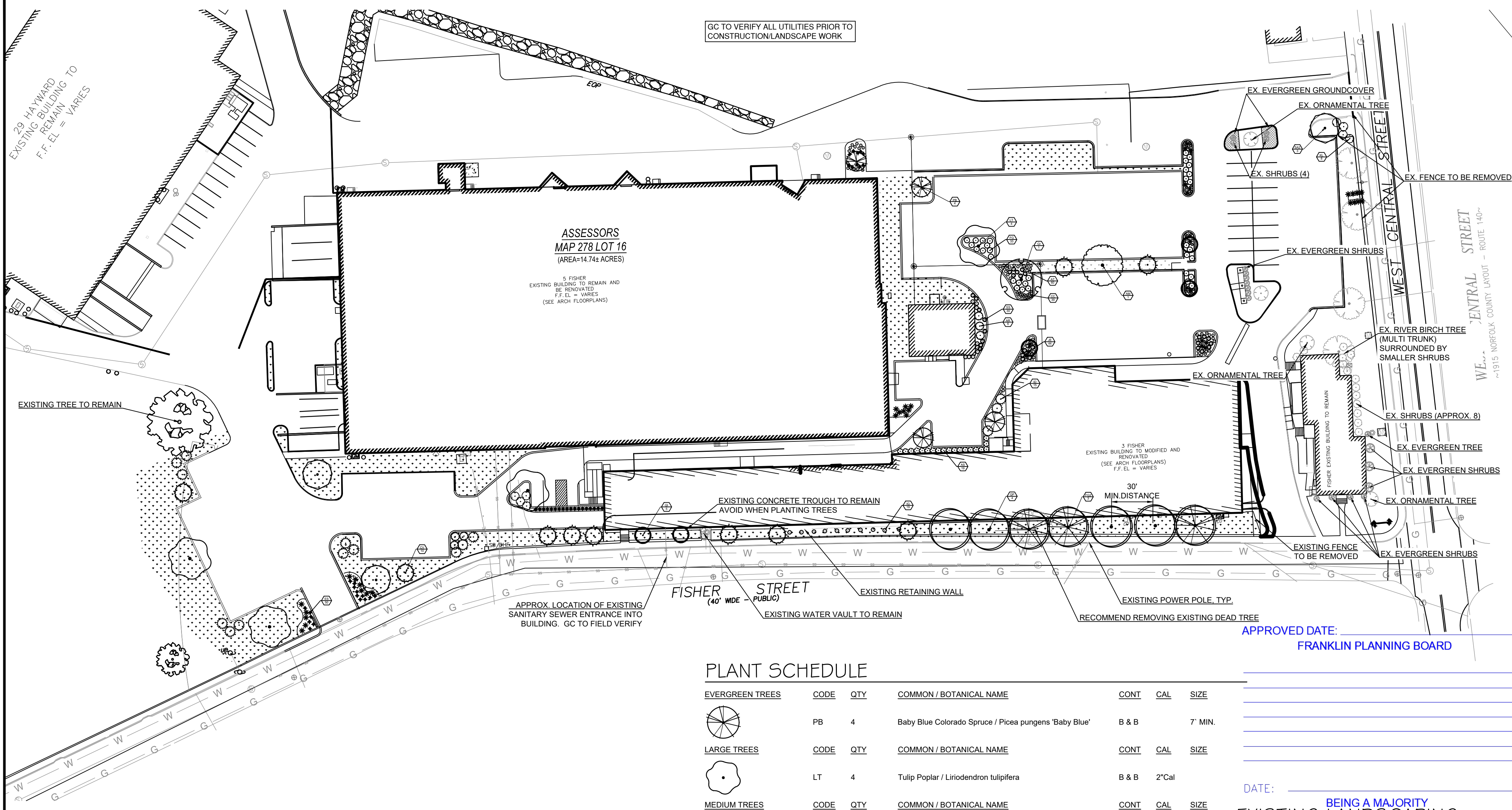
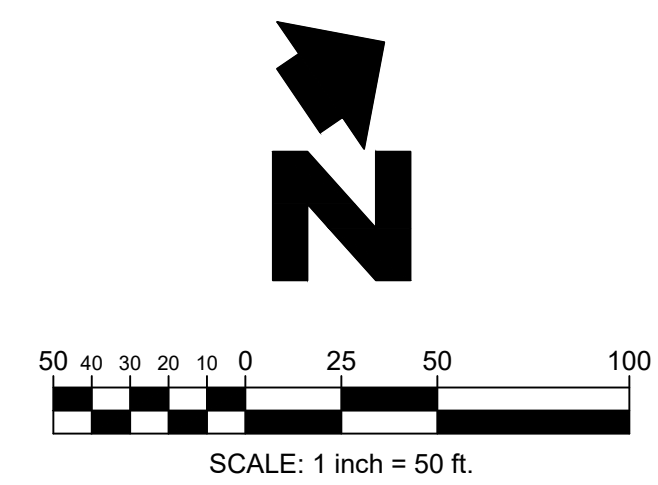


TYPICAL DETAILS

C-4.1

SHEET 9 OF 16

1899.00



GENERAL LANDSCAPE NOTES:

THIS PLAN IS FOR LANDSCAPE LAYOUT ONLY. ALL GRADING, UTILITIES, SITE STRUCTURES, ETC. ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED WITH CIVIL PLANS AND IN THE FIELD.

RECOMMENDED PLANTING AND SEEDING DATES FOR THE CITY OF FRANKLIN: MARCH 15 - JUNE 15 AND SEPT 15 - NOV 15

ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH SOIL MOIST.

ALL PLANT BEDS SHOULD BE EXCAVATED TO A DEPTH OF 8" BELOW FINISHED GRADE. THE BOTTOM OF THE BED SHALL BE SCARIFIED TO ENCOURAGE DRAINAGE AND PREVENT COMPACTION. ALL PLANT BEDS ARE TO BE BACKFILLED WITH LOOSE, FRIABLE, ORGANIC LOAM OR COMPOST.

CONTRACTORS SHALL HAVE UNDERGROUND UTILITIES LOCATED, LEGIBLY MARKED, AND SHALL REPAIR ANY AND ALL DAMAGE WHICH MAY OCCUR AS A RESULT OF LANDSCAPE INSTALLATION. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATED, AND SHOULD BE VERIFIED ON THE CIVIL UTILITY PLAN AND IN THE FIELD.

UNDER NO CIRCUMSTANCES WILL LANDSCAPE WORK BE APPROVED FOR PAYMENT IF PLANT SIZE AND GENERAL HEALTH ARE NOT AS REQUIRED ON PLAN.

ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS AS SPECIFIED.

ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE OWNER BEFORE, DURING AND AFTER INSTALLATION.

THE LANDSCAPE ARCHITECT MUST APPROVE ANY ALTERATIONS OR REVISIONS TO THE LANDSCAPE PLAN.

THE CONTRACTOR SHALL PROTECT EXISTING FEATURES ON SITE.

ALL DISTURBED AREAS ON AND OFF THE SITE, INCLUDING THE TEMPORARY DETENTION AREA, SHALL BE COMPLETELY HYDROSEEDED OR SODDED WITH GRASS SEED SPECIFIED ON PLANS.

AREAS TO BE SEEDDED SHALL BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE.

THE SUBGRADE IS TO BE SCARIFIED TO RESULT IN UNCOMPACTED SUBSOIL.

6" OF GOOD QUALITY TOPSOIL IS THEN TO BE APPLIED AND RAKED TO FINISHED GRADE.

SEED SHOULD BE BROADCAST EVENLY AND WORKED INTO THE TOP OF 1" OF SOIL.

MAINTENANCE:
SEEDED AREAS ARE TO BE WATERED ENOUGH TO MAINTAIN ADEQUATE SURFACE SOIL MOISTURE FOR PROPER SEED GERMINATION. WATERING SHALL CONTINUE FOR ALL GRASSED AREAS FOR NOT LESS THAN 30 DAYS FOLLOWING SEEDING OR UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED. IMMEDIATELY RESEED, FERTILIZE, AND MULCH DAMAGED AREAS OR ANY AREA THAT FAILS TO ACHIEVE THE COVERAGE SPECIFIED ABOVE UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED.

THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.

THE LANDSCAPE CONTRACTOR SHALL FULLY MAINTAIN ALL PLANTING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.

THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE OWNER).

ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.

STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR ALL NEW PLANT MATERIAL. ALL NEW PLANT MATERIAL SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE REQUIREMENTS FOR TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE (ANSI A300 PARTS 1 THROUGH 5).

ALL TOPSOIL (4"-6" IN PLANTING BEDS) (1"-2" FOR SEED AND SOD AREAS) APPLIED TO THE SITE SHALL BE LOAMY, FRIABLE SOIL, CONTAINING A MINIMUM OF 1.5 PERCENT BY DRY WEIGHT ORGANIC MATTER, FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, STONES LARGER THAN 25 MM (1 IN.), NOXIOUS SEEDS, STICKS, BRUSH, LITTER, AND OTHER DELETERIOUS SUBSTANCES, SUITABLE FOR THE GERMINATION OF SEEDS AND THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 5.5 AND 6.5.

ALL PLANTING AREAS SHALL BE TOP DRESSED WITH SHREDED PINE BARK MULCH AT A MIN. 4" DEPTH ON DEWITT PRO 5 LANDSCAPE FABRIC. TOP OF MULCH SHALL BE EVEN WITH TOP OF CURBS OR EDGING. SEE CIVIL PLANS FOR ELEVATIONS. SECURE FABRIC WITH PINS OR STAPLES (2"x5"), PINS SHALL BE PLACED AT 5' O.C. AND JOINTS SHALL OVERLAP BY 12"

LANDSCAPE EDGING TO BE STEEL AND SHALL BE DARK IN COLOR.

THIS SHEET IS FOR THE PURPOSE OF LANDSCAPING ONLY. ALL GRADING, UTILITIES, SITE FEATURES, ETC. ARE FOR REFERENCE ONLY. PLEASE REFER TO CIVIL PLANS FOR MORE DETAILS.

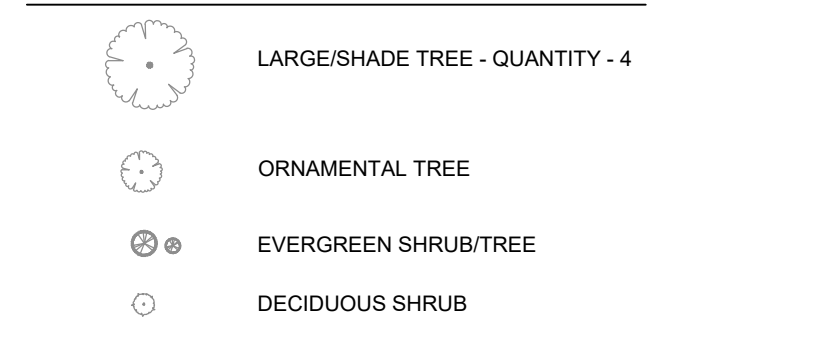
IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT INSTALLED LANDSCAPING DOES NOT INTERFERE WITH OR OBSTRUCT ANY ADA PATHS OR OTHER VEHICULAR OR PEDESTRIAN USE AREAS.

PLANT SCHEDULE

EVERGREEN TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	PB	4	Baby Blue Colorado Spruce / Picea pungens 'Baby Blue'	B & B		7' MIN.
LARGE TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	LT	4	Tulip Poplar / Liriodendron tulipifera	B & B		2"Cal
MEDIUM TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	SA2	3	Sassafras / Sassafras albidum	B & B		2"Cal
ORNAMENTAL TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	CV	10	White Fringetree / Chionanthus virginicus	B & B		2"Cal
	QI	5	Scrub Oak / Quercus ilicifolia	B & B		2"Cal
SHADE TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	AM	1	Green Mountain® Sugar Maple / Acer saccharum 'PNI 0285'	B & B		2"Cal
	GI	1	Thornless Honey Locust / Gleditsia triacanthos inermis	B & B		2"Cal
STREET TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	FG2	3	American Beech / Fagus grandifolia	B & B		2"Cal
	QP	4	Pin Oak / Quercus palustris	B & B		2"Cal
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
	AR	6	Regent Serviceberry / Amelanchier alnifolia 'Regent'	5 gal		
	AS	19	Dwarf Serviceberry / Amelanchier spicata	5 gal		
	CC	39	Carpathian Bellflower / Campanula carpatica	5 gal		
	FG	33	Dwarf Fothergilla / Fothergilla gardenii	5 gal		
	ID	15	Possumhaw / Ilex decidua	5 gal		
	IG	19	Gem Box® Inkberry Holly / Ilex glabra 'SMNIGAB17'	5 gal		
	KL	8	Mountain Laurel / Kalmia latifolia	5 gal		
ORNAMENTAL GRASSES	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
	ES	50	Purple Lovegrass / Eragrostis spectabilis	3 gal		
	JE	44	Soft Rush / Juncus effusus	5 gal		
PERENNIALS	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
	AT	60	Butterfly Milkweed / Asclepias tuberosa	1 gal		
	SS	30	Showy Goldenrod / Solidago speciosa	1 gal		
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
	PP	23,656 sf	Kentucky Bluegrass / Poa pratensis	flat		

APPROVED DATE: FRANKLIN PLANNING BOARD

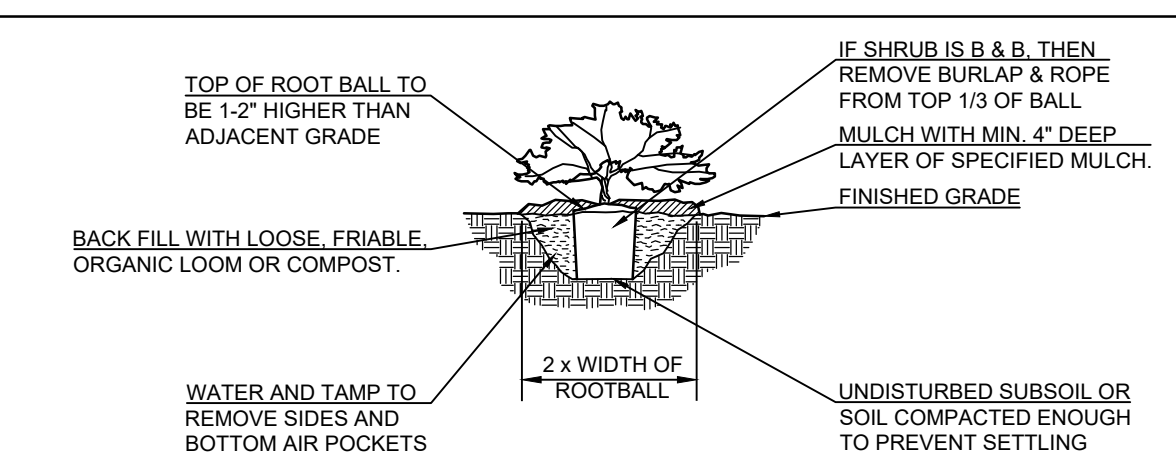
DATE: BEING A MAJORITY
EXISTING LANDSCAPING



SITE INFO	
CURRENT ZONING	MIXED BUSINESS INNOVATION (NO OVERLAY DISTRICTS)
ADJACENT ZONING	NORTH SINGLE FAMILY IV EAST SINGLE FAMILY IV SOUTH SINGLE FAMILY IV WEST MIXED BUSINESS INNOVATION
STREET TREES	ANY LOT ABUTTING A ROW OF 75' OR MORE IN WHICH A BUILDING IS WITHIN 150' OF THE ROW MUST HAVE TREES PLANTED AT LEAST EVERY 30' AND 50' BACK FROM THE ROW.
PARKING LOT TREES	REQUIRED: PARKING LOTS FOR 20 OR MORE CARS SHALL CONTAIN OR BE BORDERED WITHIN 5' BY AT LEAST ONE TREE PER 10 PARKING SPACES 234 SPACES / 10 TREES = 24 TREES PROVIDED: 25 TREES (5 EXISTING, 20 PROPOSED) INCLUDES CANOPY/SHADE, EVERGREEN AND ORNAMENTAL TREES)

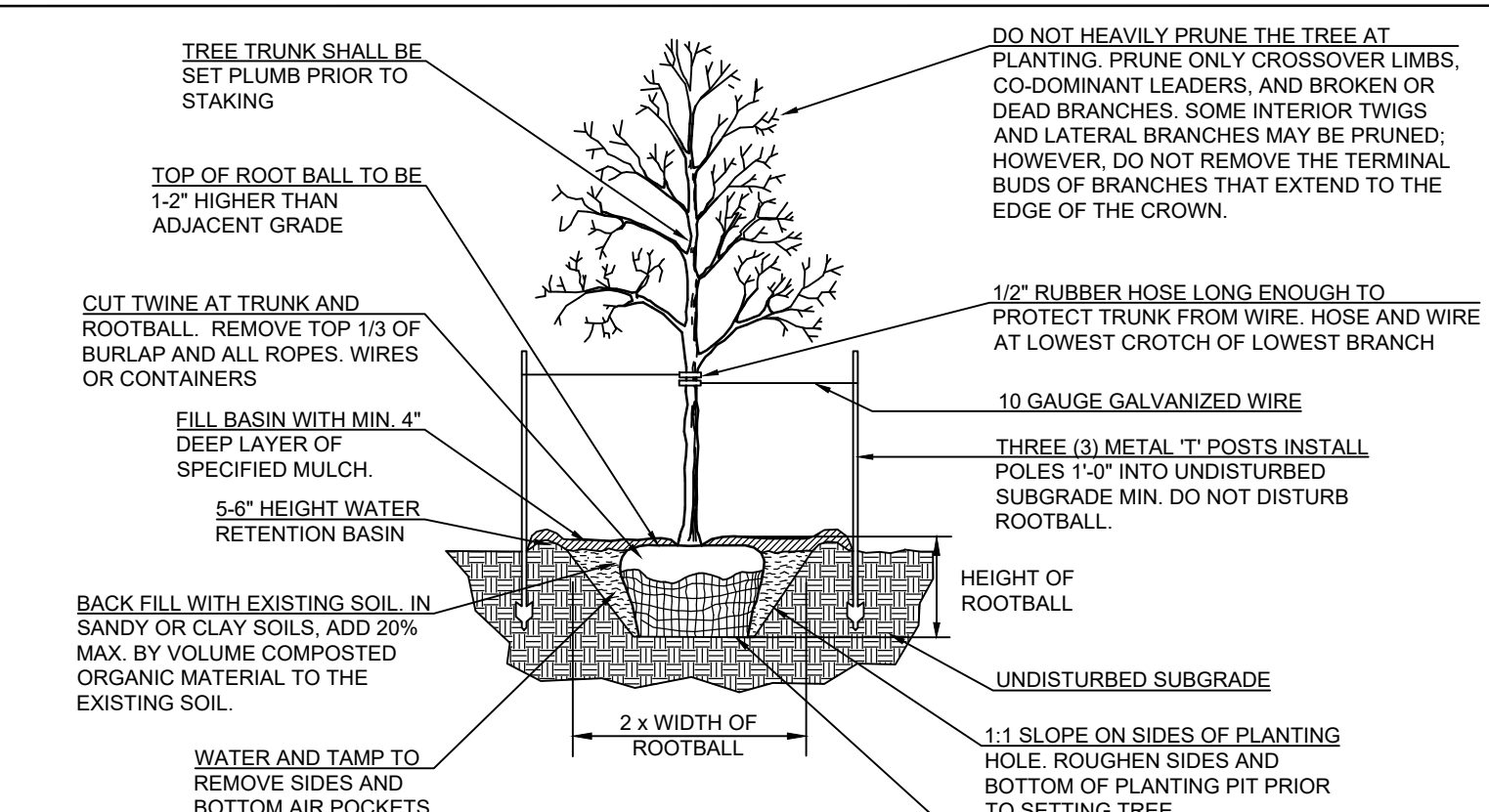
ALL PROPOSED PLANTS ARE LISTED IN THE BEST DEVELOPMENT PRACTICES GUIDEBOOK. PROPOSED STREET TREES ARE LISTED IN TOWN CODE AS RECOMMENDED.

DATE: BEING A MAJORITY



02 SHRUB PLANTING
N.T.S.

- REMOVE ANY DEAD, DYING OR SEVERELY BROKEN TWIGS OR BRANCHES. IF REMOVING THESE BRANCHED REDUCES THE SHRUB HEIGHT BELOW SPECIFIED HEIGHT THEN SHRUB SHALL BE REJECTED.
- PLANTING BEDS SHOULD BE EXCAVATED TO A DEPTH OF 8" BELOW FINISHED GRADE.
- THE BOTTOM OF THE BED SHALL BE SCARIFIED TO ENCOURAGE DRAINAGE AND PREVENT COMPACTION.
- NEWLY PLANTED SHRUBS SHALL BE FERTILIZED WITH A TIME RELEASE FERTILIZER WITH A 20-20-20 ANALYSIS APPLIED PER MANUFACTURERS SPECIFICATION.



01 TREE PLANTING
N.T.S.

- MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.
- WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOTBALL WITH SOIL.
- DO NOT LIFT, ADJUST OR MOVE TREE USING THE TRUNK. USE METAL BASKET FOR THESE TASKS.
- NEWLY PLANTED TREES SHALL BE FERTILIZED WITH A TIME RELEASE FERTILIZER WITH A 20-20-20 ANALYSIS APPLIED PER MANUFACTURERS SPECIFICATION.

STIPULATION FOR REUSE:
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT THE REQUEST OF THE CLIENT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, LTD. DATE: 01/11/2023. THE USE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, LTD. IS PROHIBITED. THIS PRODUCT IS NOT AUTHORIZED AND MAY BE SUBJECT TO THE LAW.

FACTORY SQUARE
SITE REDEVELOPMENT - PERMIT MODIFICATION
PARCEL ID 27-016-000-000
1.3.5 & 7 FISHER STREET
FRANKLIN, MASSACHUSETTS
PROJ NUMBER: 40-22-00053

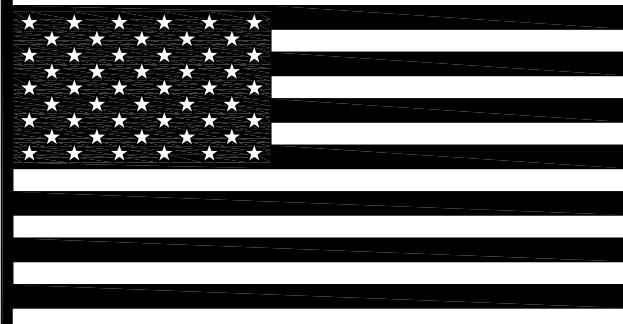
ISSUE BLOCK		
NO.	TITLE	DATE

DOCUMENT DATE: 10/31/2023
CHECKED BY: WFM
DRAWN BY: JMS

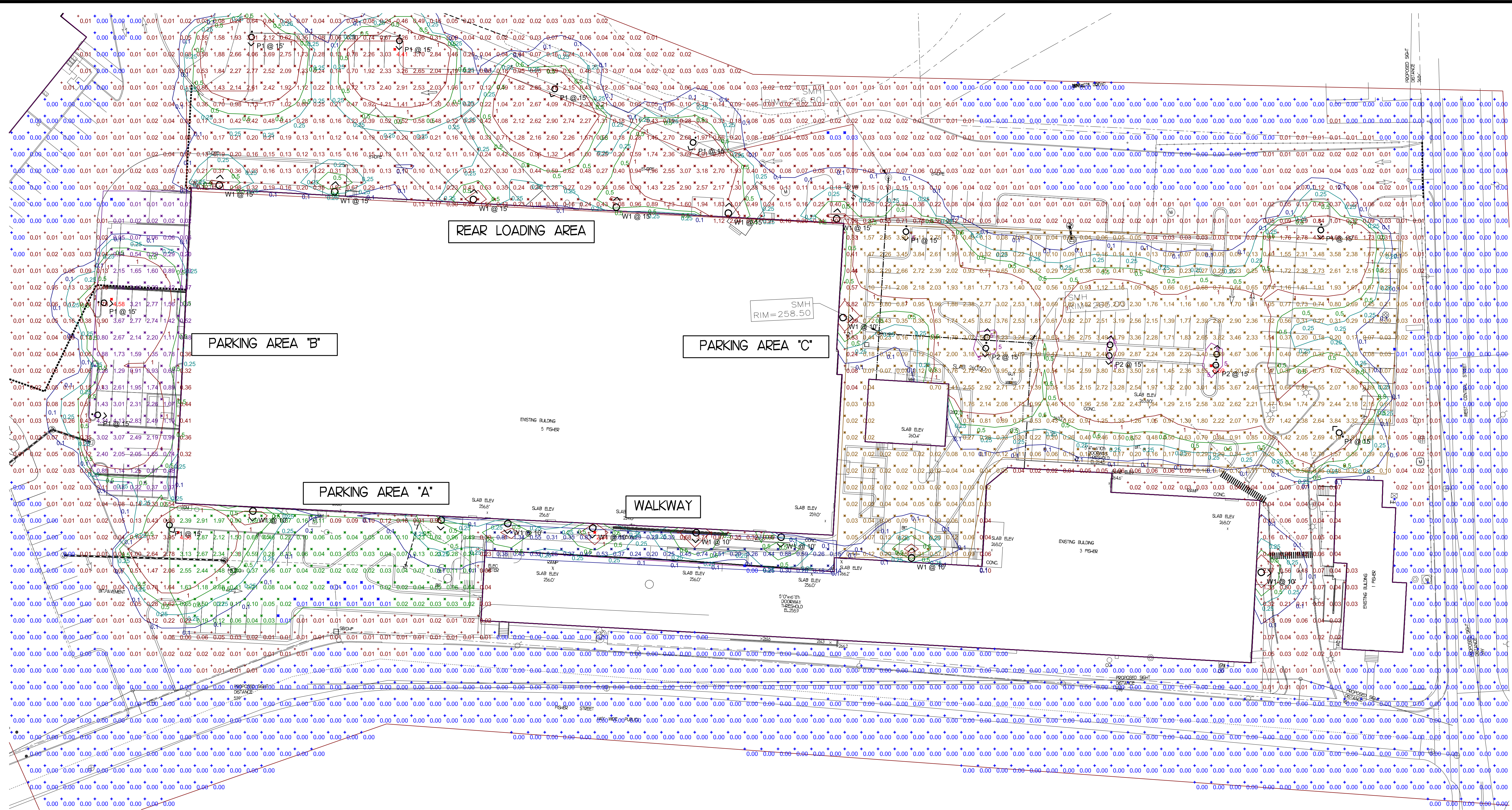


LANDSCAPE PLAN

SHEET: **C6.0**



REVISIONS:	
REV.	DESCRIPTION:



APPROVED DATE:
 FRANKLIN PLANNING BOARD

DATE:
 BEING A MAJORITY

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING AREA "A"	⊗	0.51 fc	4.36 fc	0.01 fc	436.0:1	51.0:1
PARKING AREA "B"	⊗	1.35 fc	4.58 fc	0.00 fc	N/A	N/A
PARKING AREA "C"	⊗	1.22 fc	6.59 fc	0.01 fc	659.0:1	122.0:1
REAR LOADING AREA	⊗	0.80 fc	4.41 fc	0.03 fc	147.0:1	28.7:1
WALKWAY	⊗	0.48 fc	2.34 fc	0.00 fc	N/A	N/A

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
⊗	P1	10	BEACON	"URB-XXX-XX-18L-90-3K7-4F"	"Urban Decorative Fixture.	1	6862	1	82.3
⊗	P2	3	BEACON	"URB-XXX-XX-18L-90-3K7-4F"	"Urban Decorative Fixture.	1	6862	1	164.6
⊗	W1	15	ARCHITECTURAL AREA LIGHTING	UCS-STR-12LED-NW	UNIVERSAL STRAIGHT HOOD, STRAIGHT SPUN ALUMINUM HOOD, COATED LENS.	1	1497	1	26.9

CLIENT:



249 SOUTH STREET, UNIT 1
 PLAINVILLE, MA 02762
 TEL. (508) 695-2221 FAX. (508) 695-2219

PROJECT:
FACTORY SQUARE

5 FISHER ST.
 FRANKLIN, MA.

DRAWING TITLE
PHOTOMETRY LIGHTING PLAN

DRAWN: CDO
 CHECKED: VAD Jr.
 SCALE: 1" = 30'-0"
 DATE: OCTOBER 13, 2023

PH1.1

BEACON
URBAN SERIES
URBAN LUMINAIRE

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

- FEATURES**
- Decorative traditional style lighting fixture series is suitable for walkway lighting and wall mounting
 - Two unique shade and style options
 - LED turtle-friendly option available
 - Integral Surge and Thermal Protection



Shown with arm



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- The drivers shall be located in the top cast housing and shall be accessible without tools by tilting the lower shade assembly. The driver and all electrical components shall be on a tray
- The lower shade shall be made from a one-piece aluminum spinning
- The housing is designed for LED thermal management without the use of metallic screens, cages, or fins. The top casting shall be able to be pendant mounted in place with a stainless steel safety pin and then permanently fixed in place with four stainless steel bolts

ELECTRICAL

- 100V through 277V, 50 Hz to 60 Hz (UNV), or 347V or 480V input
- Power factor is >0.90 at full load
- Dimming drivers are standard with connectors for external dimming equipment available upon request
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is listed by UL for use at 600VAC at 50°C or higher
- Plug disconnects are listed by UL for use at 600 VAC, 15A or higher; 15A rating applies to primary (AC) side only
- Fixture electrical compartment shall contain all LED driver components
- Button photocell available
- Ambient operating temperature -40°C to 40°C

ELECTRICAL (CONTINUED)

- Surge protection - 20KA
- L'Escheid" Circuit- protects luminaire from excessive temperature. The device shall activate at a specific, factory-pre-set temperature, and progressively reduce power over a finite temperature range. A luminaire equipped with the device may be reliably operated in any ambient temperature up to 55°C (131°F). Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.)

CONTROLS

- Available with Energent for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night visit.

FINISH

- IFS polyester powder-coat electrostatically applied and thermocured
- IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish
- The finish meets the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 150 inch-pounds

CERTIFICATIONS

- NRTL Certified, UL8750, UL1598 and CSA22.2#280, 13-14 for wet locations
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available.

WARRANTY

- 5 year warranty

KEY DATA	
Lumen Range	3,300-13,000
Wattage Range	27.8-137.5
Efficacy Range (LPW)	61-87



currentlighting.com/beacon
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Page 1 of 7
Rev 06/19/22
Urban_LED_spec_sheet_Be_Ur_B01

architectural arealighting
UCS
ARCHITECTURAL AREA/SITE

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

- FEATURES**
- Modular system offers five luminous choices and five hood options for customization to complement site design
 - Full cutoff option available
 - Pole, wall, or pendant mounting options
 - Opal glass lens, IES Type 5 distribution for soft, general lighting
 - Powder coat finish in 13 standard colors with a polymer primer sealer

UNIVERSE®



Universe Steel



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- All housing components aluminum 380 alloy, sealed with continuous silicone rubber gaskets
- Standard configurations do not require a fast lens, optional lenses is tempered glass
- All internal and external hardware is stainless steel
- Finish: fade and abrasion resistant, electrostatically applied, thermally cured, triglycidyl isocyanurate (TGIC) polyester powdercoat
- Optical bezel finish is match the luminaire housing

LED/OPTICS

- Optical cartridge system consisting of a die cast heat sink, LED engine, TIR optics, gasket and bezel plate.
- Cartridge is easily disassembled to replace components. Optics are held in place without the use of adhesives.
- Molded silicone gasket ensures a weather-proof seal around each individual LED.
- Features revolutionary individual LED optical control based on high performance TIR optical designs.
- House Side Shield is available on Standard and Clear Lens options except any Type 5 distribution. House Side Shield is not available for any distribution using a Diffused Lens.

INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

ELECTRICAL

- Luminaires have integral surge protection, UL recognized and have a surge current rating of 10,000 Amperes using the industry standard 8/20µsec wave and surge rating of 37.2
- Drivers are UL recognized with an inrush current maximum of <20.0 Amperes maximum at 230VAC
- 100%-1% dimming range. Fixture will be wired for low voltage 0-10V dimming control
- Driver and surge suppressor are mounted to a pre-wired tray with quick disconnects that may be removed from the gear compartment

CONTROLS

- Egress adapter(s) shall slip over a 4"/100mm DIA. pole with the luminaire or arm slipping over the adapter to add a total of 4.5"/114mm to the over-all height. Adapter(s) shall be pre-wired, independently rotatable 358°, and have a cast access cover with an integral lens and lanyard.
- Photocell adapter shall include an internal twist lock receptacle, photocell by others.

CONTROLS (CONTINUED)

- Egress adapter shall require an auxiliary 120 volt supply for operation of an integral MR16 lamp in the event of emergency. The lamp may be aimed and locked into position with an adjustment range of 15-45°. Adapter shall have a socket that accepts miniature bi-pin MR16 lamps up to 50 watts, amp by others

CERTIFICATIONS

- ETL listed under UL 1598 and CSA C22.2 No. 250.0-08 for wet locations
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 6/06/2020. See Buy American Solutions.

WARRANTY

- See [HU Standard Warranty](#) for additional information

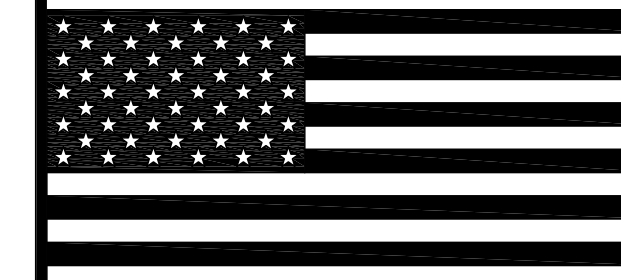
KEY DATA	
LUMEN RANGE	1,821-9,336
WATTAGE RANGE	31.52-71.6
EFFICACY RANGE (LPW)	54.5-138.5
INPUT CURRENT RANGE (mA)	260/420/815 mA
WEIGHT	18 lbs 41 kg to 27 lbs 12.25 kg
EPA	53 to 105

Page 14 Rev 11/23/21
UCS
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17760 Redwood Dr, Redwood Heights, CA 97418 | Tel 828.265.5356 | hubbell.com/aaal



APPROVED DATE: _____
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY



REVISIONS:

REV. #	DATE	DESCRIPTION

CLIENT:

LEVEL
DESIGN GROUP
Civil Engineers & Land Surveyors

249 SOUTH STREET, UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 695-2221 FAX. (508) 695-2219

PROJECT:
FACTORY SQUARE

5 FISHER ST
FRANKLIN, MA.

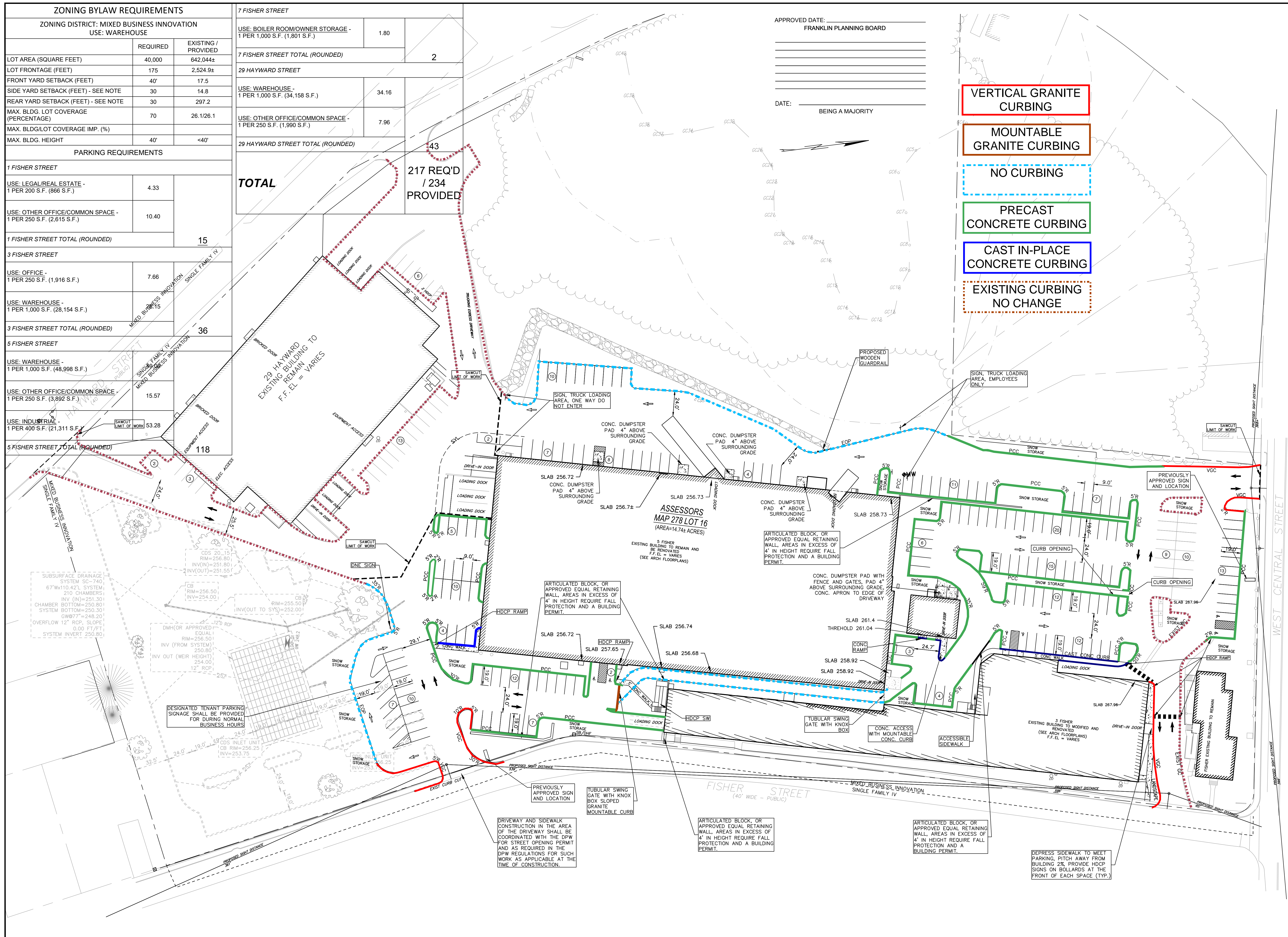
DRAWING TITLE
LIGHT FIXTURE SPECIFICATIONS

DRAWN: CDO
CHECKED: VAD Jr.
SCALE: NOT TO SCALE
DATE: OCTOBER 13, 2023

PH2.1

ZONING BYLAW REQUIREMENTS		
ZONING DISTRICT: MIXED BUSINESS INNOVATION USE: WAREHOUSE		
	REQUIRED	EXISTING / PROVIDED
LOT AREA (SQ. FEET)	40,000	642,044±
FRONT YARD SETBACK (FEET)	175	2,524.9±
FRONT YARD SETBACK (FEET)	40'	17.5
SIDE YARD SETBACK (FEET) - SEE NOTE	30	14.8
REAR YARD SETBACK (FEET) - SEE NOTE	30	297.2
MAX. BLDG. LOT COVERAGE (PERCENTAGE)	70	26.1/26.1
MAX. BLDG/LOT COVERAGE IMP. (%)		
MAX. BLDG. HEIGHT	40'	<40'
PARKING REQUIREMENTS		
1 FISHER STREET		
USE: LEGAL/REAL ESTATE - 1 PER 200 S.F. (866 S.F.)	4.33	
USE: OTHER OFFICE/Common SPACE - 1 PER 250 S.F. (2,615 S.F.)	10.40	
1 FISHER STREET TOTAL (ROUNDED)		15
3 FISHER STREET		
USE: OFFICE - 1 PER 250 S.F. (1,916 S.F.)	7.66	
USE: WAREHOUSE - 1 PER 1,000 S.F. (28,154 S.F.)	15	
3 FISHER STREET TOTAL (ROUNDED)		36
5 FISHER STREET		
USE: WAREHOUSE - 1 PER 1,000 S.F. (48,998 S.F.)		
USE: OTHER OFFICE/Common SPACE - 1 PER 250 S.F. (3,892 S.F.)	15.57	
USE: INDUSTRIAL - 1 PER 400 S.F. (21,311 S.F.)	53.28	
5 FISHER STREET TOTAL (ROUNDED)		118

7 FISHER STREET		
USE: BOILER ROOM/OWNER STORAGE - 1 PER 1,000 S.F. (1,801 S.F.)	1.80	
7 FISHER STREET TOTAL (ROUNDED)		2
29 HAYWARD STREET		
USE: WAREHOUSE - 1 PER 1,000 S.F. (34,158 S.F.)	34.16	
USE: OTHER OFFICE/Common SPACE - 1 PER 250 S.F. (1,990 S.F.)	7.96	
29 HAYWARD STREET TOTAL (ROUNDED)		43
TOTAL		217 REQ'D / 234 PROVIDED



APPROVED DATE: _____
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

- VERTICAL GRANITE CURBING
- MOUNTABLE GRANITE CURBING
- NO CURBING
- PRECAST CONCRETE CURBING
- CAST IN-PLACE CONCRETE CURBING
- EXISTING CURBING NO CHANGE

NO	DATE	REVISIONS
1	07/07/2023	ISSUE FOR PERMIT
2	10/23/2023	RESPONSE TO COMMENTS
3	11/30/2023	RESPONSE TO COMMENTS

DATE: 07/07/2023
DRAWN: DRC
SCALE: 1" = 40'



FACTORY SQUARE
SITE REDEVELOPMENT - PERMIT MODIFICATION
PARCEL ID 278-016-000-000
1, 3, 5 & 7 FISHER STREET
FRANKLIN, MASSACHUSETTS

LEVEL DESIGN GROUP
Civil Engineers & Land Surveyors
249 SOUTH STREET, UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 695-2221 FAX. (508) 695-2219

LAYOUT & MATERIALS

C-2.0

SHEET 5 OF 16

0' 20' 40' 80'

1899.00