Town of Franklin

355 East Central Street Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907 www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: January 3, 2024

TO: Franklin Planning Board

FROM: Department of Planning and Community Development

RE: 3 Fisher St

Site Plan - Endorsement

General:

1. The Planning Board voted to approve the Site Plan for 3 Fisher Street on December 4, 2023.

2. The Certificate of Vote has been added to the Site Plans.

DPCD has no further comment.

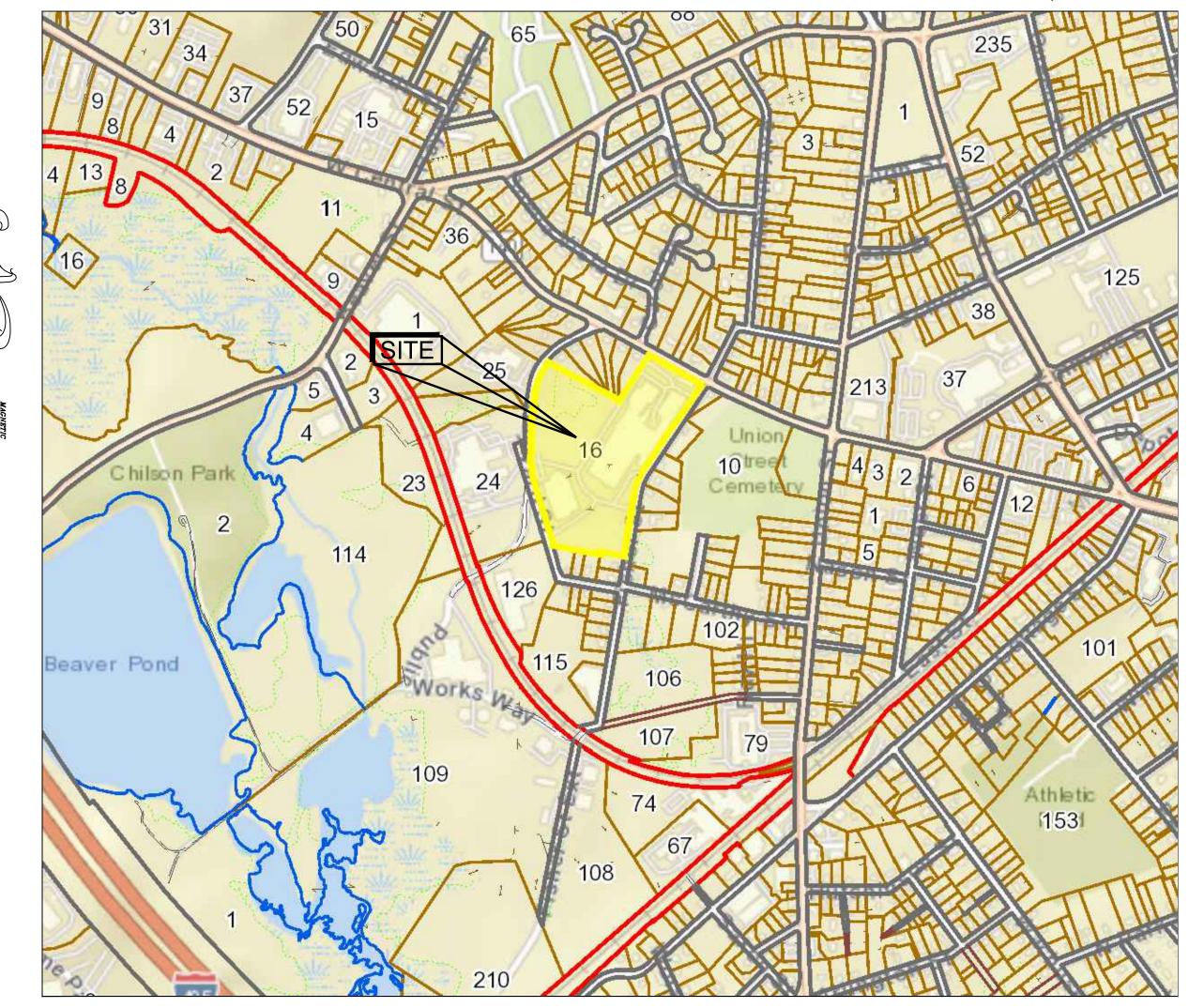
APPROVED DATE: FRANKLIN PLANNING BOARD

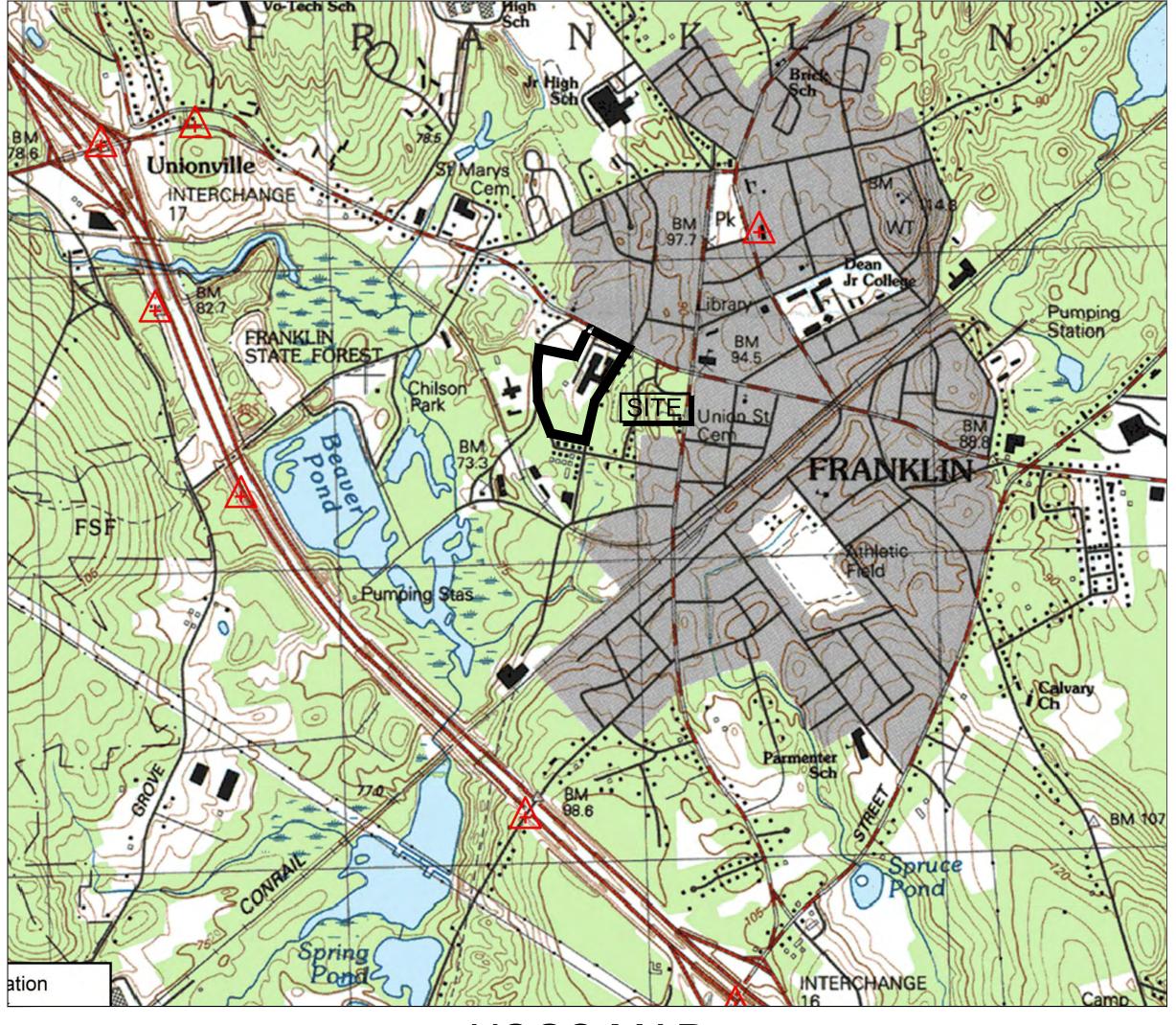
BEING A MAJORITY

FACTORY SQUARE

PROPERTY REDEVELOPMENT-PERMIT MODIFICATION

1, 3, 5 & 7 FISHER STREET FRANKLIN, MASSACHUSETTS





ASSESSORS MAP

SCALE: 1"= 500'±

USGS MAP

SCALE: 1"= 1,000'±

Coun of Franklin December 4, 2023 Nancy Danello, Town Clerk Town of Franklin 355 East Central Street Franklin, MA 02038 CERTIFICATE OF VOTE "Factory Square Property Redevelopment" Franklin, MA 02038 Surveyor/ Engineer: Level Design, Plainville, MA Dated: July 7, 2023 Property Location: Map 278 Lot 015 Dear Mrs. Danello: Please be advised that at its meeting on Monday, December 4, 2023 the Planning Board voted (5-0), upon motion duly made and seconded to APPROVE, with conditions, the above referenced Site Plan. The Conditions of Approval are listed on page 2-3, attached hereto. Both the Certificate of Vote as well as the conditions of approval shall be referenced on the site plan. cc: Owner/Applicant/ Applicant's Engineer

commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall not as the lanning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board. Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form H). Said inspection is further outlined in condition #1. No alteration of these plans shall be made or affected other that by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision. 4. All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant. Prior to the endorsement of the site plan, the following shall be done: The owner/applicant shall provide the entire list of conditions and this Certificate of Vote on A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site. All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full. All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvement shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris. 8. The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Maintenance and repair of the parking area, water supply system, sewer pipes, electric distribution system, and stormwater system shall be the responsibility of the owner/applicant and shall never be the responsibility of the Town and the Town shall never be required to perform any service, repair or

maintenance with respect to said areas, or any of the aforementioned systems within the subject

CERTIFICATE OF VOTE

property. The Town will never be required to provide snow plowing or trash pickup, with respect to Site Plans must be endorsed by the Planning Board prior to pre-construction meeting. 11. Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning CERTIFICATE OF VOTE . Applicant needs to show that the design meets the Town's Stormwater Bylaw related to redevelopment design criteria (Bylaw 153-16.B.2).

APPLICANT:

RICK KAPLAN 1 FISHER STREET FRANKLIN, MA 02038 RESPONSE TO COMMENT

ENDORSEMENT PLANS PLANNING MODIFICATIO

0/23/2023 RESPONSE TO COMMENTS

CIVIL ENGINEER:



ARCHITECT:



HFA-AE, LTD. 31 HAYWARD STREET, STE. E-1 FRANKLIN, MA 02038

PROPERTY ADDRESS: 3, 5 & 7 FISHER STREET FRANKLIN, MASSACHUSETTS

ASSESSORS MAP/PARCEL: PARCEL ID: 278-016-000-000

ZONING DISTRICT: MIXED BUSINESS INNOVATION

DRAWING LIST:

C-0.0	COVER
C-0.1	NOTES
C-1.0	EXISTING CONDITIONS
C-2.0	LAYOUT AND MATERIALS
C-3.0	GRADING AND UTILITIES

EROSION CONTROL C-4.0-4.1 TYPICAL DETAILS

LANDSCAPE PLAN PH11,PH21 PHOTOMETRIC

PREVIOUSLY SUBMITTED

A-SERIES COVER

A101-102 BUILDING 3 FLOOR PLANS A201-202 BUILDING 3 ELEVATIONS

LEGEND	APPROVED DATE:	
	FRANKLIN PLANNING BOARD	이번 회사 회사를 하는 이것이 함
	ROPOSED	
	100	
STORM DRAIN		
WATER — w		
© ELECTRIC MANHOLE		
E ELECTRICAL — E		
— G GAS — G	G —	
S SANITARY SEWER	DATE:	
HYDRANT	BEING A MAJORITY	
S SEWER MANHOLE		
DRAIN MANHOLE	• PROPERTY OWNER / APPLICANT	PLAN REFERENCE
≫VALVE	RICK KAPLAN	BRISTOL COUNTY REGISTRY OF DEED
□ D CATCH BASIN	1 FISHER STREET	PLAN BOOK 546 PAGE 82
	FRANKLIN, MA 02038	
CURB		ACCECCOD DARGEL DEFENDANCES
429x5 SPOT GRADE 429	9.5	ASSESSOR PARCEL REFERENCES
HP RAMP	DEED REFERENCE	PARCEL ID: 278-016-000-000
SEDIMENTATION	x — x — DEED REFERENCE	
CONTROL BARRIER	_ NORFOLK COUNTY REGISTRY OF DEEDS	
LIGHT POLE	DEED BOOK 37538 PAGE 366	

BOUNDARY AND TOPOGRAPHIC SURVEY NOTES:

POST INDICATOR VALVE

TRAFFIC DIRECTION

- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RI ENTITLED "SITE PLAN SUBMISSION" DATED JUNE 2, 2003 AS AMENDED AUGUST, 2003. ADDITIONAL EXISTING CONDITIONS, SPOT GRADES AND DOOR/LOADING AREA GRADING DETERMINED BY FIELD SURVEY BY LEVEL DESIGN GROUP, THROUGH MULTIPLE VISITS, JANUARY AND MAY 2023.
- LEGAL STATUS OF THE STREETS AND/OR WAYS SHOWN HEREON, WHETHER THEY ARE PUBLIC OR PRIVATE, WERE NOT MADE PART OF THIS SURVEY.
- 3. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT, UNDERGROUND UTILITIES ARE SHOWN BASED ON EITHER RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, VISUAL INSPECTION OF AVAILABLE ABOVEGROUND STRUCTURES, PHYSICAL SURFACE MARKINGS FOUND, OR DATA PROVIDED BY OTHERS. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK.
- THE SUBJECT PROPERTY IS NOT LOCATED IN THE TOWN OF FRANKLIN'S WATER RESOURCE PROTECTION DISTRICT.
- THE SUBJECT PROPERTY DOES NOT FALL IN A SPECIAL FLOOD HAZARD ZONE AS THE SUBJECT PROPERTY IS PLOTTED BY SCALE ONTO THE FLOOD INSURANCE RATE MAP FOUND AS.

COUNTY NORFOLK COUNTY COMMUNITY FRANKLIN PANEL 25021C0308E EFFECTIVE DATE JULY 17, 2012

. HORIZONTAL DATUM: MASSACHUSETTS STATE PLANE - MAINLAND ZONE NAD83 (2011) EPOCH 2010.00 - US FEET

VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 12B) - US FEET

LAYOUT & MATERIAL NOTES:

- INTERNAL CURBING ALONG THE TRUCKING DRIVEWAY SHALL BE BITUMINOUS CONCRETE OR CAPE COD BERM OR WITHOUT CURBING AS DETAILED IN THE ORIGINAL SITE APPROVAL. THIS IS DUE TO THE EXISTING DRAINAGE PATHWAYS AND ELEVATIONS OF SAID DRAINAGE.
- CURBING WITHIN THE REMAINDER OF THE SITE, AT THE ENTRANCES AND CURB RETURNS AT ENTRANCES SHALL BE GRANITE COMMENSURATE WITH THE SURROUNDING ROADWAY, VERTICAL OR SLOPED GRANITE CURBING, THERE SHALL BE A GRANITE TRANSITION BLOCK PROVIDED TO TRANSITION TO VERTICAL GRANITE OR REINFORCED PRECAST CURBING AS DETAILED IN THE PRIOR APPROVAL
- 3. CURBING WHERE THERE IS CONCRETE SIDEWALK SHALL BE INTEGRATED HAUNCHED CONCRETE CURBING.
- 4. THE WETLANDS WERE FLAGGED BY GODDARD CONSULTING, JUNE 2021.
- 5. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.
- INTERNAL CURBING SHALL BE BITUMINOUS CONCRETE OR CAPE CAD BERM AT THE SELECTION OF THE DEVELOPER AT A MINIMUM.
- CURBING AT THE ENTRANCES AND CURB RETURNS AT ENTRANCES SHALL BE GRANITE COMMENSURATE WITH THE SURROUNDING ROADWAY, VERTICAL OR SLOPED, THERE SHALL BE A GRANITE TRANSITION BLOCK PRIOR TO BITUMINOUS CONCRETE CURBING.
- 8. CURBING WHERE THERE IS CONCRETE SIDEWALK SHALL BE INTEGRATED HAUNCHED CONCRETE CURBING.

SITE PLAN NOTES:

- THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE DESIGN PLANS PRIOR TO THE START OF CONSTRUCTION.
- 3. ALL EXISTING PAVEMENT SHALL BE SAWCUT PRIOR TO REMOVAL.
- 4. ALL EXISTING PAVEMENT, CURB, WALKS, UTILITIES, LIGHT POLES, TREES, SHRUBS, ETC., SHALL BE REMOVED FROM THE AREAS TO BE DEVELOPED. ALL SUCH ITEMS NOT WITHIN THE WORK AREA SHALL BE PROTECTED AND UNDISTURBED.
- 5. ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE LOAMED AND SEEDED.
- ALL CONSTRUCTION AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS. INCLUDING BUT NOT LIMITED TO THE TOWN OF FRANKLIN, THE COMMONWEALTH OF MASSACHUSETTS AND ANY OTHER AGENCIES HAVING JURISDICTION.

EROSION CONTROL GENERAL NOTES:

EROSION AND SEDIMENT CONTROL METHODS FOR THE SITE INCLUDE STRUCTURAL AND STABILIZATION PRACTICES. STABILIZATION PRACTICES WILL BE IMPLEMENTED TO COVER EXPOSED SOIL SO THAT DISCHARGE OF SEDIMENT IS MINIMIZED. STABILIZATION PRACTICES REDUCE THE TIME SOIL IS EXPOSED TO THE ELEMENTS THEREFORE REDUCING THE POSSIBILITY OF EROSION. AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS WILL BE MAINTAINED AT THE CONSTRUCTION SITE IN THE EVENT OF AN EMERGENCY OR ROUTINE REPAIRS.

STRUCTURAL PRACTICES INVOLVE THE CONSTRUCTION OF DEVICES TO DIVERT AND LIMIT RUNOFF. THESE PRACTICES LIMIT THE AMOUNT OF STORM WATER ENTERING A DISTURBED AREA OR TRAP SEDIMENT PRIOR TO STORM WATER LEAVING A SITE. THE FOLLOWING ARE THE PROCEDURES TO BE FOLLOWED:

- REGISTRY OF DEEDS 1. THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR THE DAILY MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS, AND SHALL IMPLEMENT ALL MEASURES NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - PRIOR TO ANY SITE GRADING OR SITE WORK, THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROLS, WHICH WILL ALSO SERVE AS THE LIMIT OF CONSTRUCTION. THE SEDIMENT CONTROLS WILL BE AS SPECIFIED ON THE APPROVED PLANS.
 - ANY WORK UP TO 100' OF WETLAND RESOURCE AREA (NOT DETAILED IN THE SITE PLAN) IS TO HAVE A SECONDARY ROW OF SILTSOCK & EROSION CONTROL BARRIER. EROSION CONTROL TYPE AS SHOWN ON THE PLANS TO BE FIELD VERIFIED BASED ON CONSTRUCTION TIMING, PHASING AND SITE CONDITIONS.
 - 4. A CONSTRUCTION EXIT SHALL BE CONSTRUCTED TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES. THE CRUSHED STONE PAD WILL BE REPLACED/CLEANED AS NEEDED TO MAINTAIN ITS EFFECTIVENESS.
 - CONSTRUCTION DEBRIS AND SEDIMENT SHALL BE KEPT ON SITE AND SHALL NOT BE PERMITTED TO MIGRATE BEYOND THE PROJECT BOUNDARIES.
 - ONCE THE SITE IS STABLE, THE SEDIMENT AND EROSION CONTROLS MAY BE REMOVED UNDER THE DIRECTION OF THE EROSION CONTROL SPECIALIST.

SITE CONTROLS:

THE FOLLOWING ADDITIONAL CONTROLS SHALL BE IMPLEMENTED DURING CONSTRUCTION IN ORDER TO MINIMIZE EROSION AND RUNOFF FROM THE PROJECT LOCATION:

- 1. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL DUST ON PROJECT SITE, INCLUDING BUT NOT LIMITED TO THE ADDITION OF DRY CALCIUM ON THE ACCESS ROAD TOWARDS ENTRANCE AT HAYES ROAD.
- CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO KEEP GILBERT STREET CLEAR OF MUD. EXCESS GRAVEL, AND OTHER CONSTRUCTION DEBRIS.
- NO CHEMICALS (CEMENT, MORTAR, ETC.) SHALL BE MIXED OR POURED WITHIN ANY WETLANDS OR BUFFER ZONE
- SOLID WASTE WILL BE COLLECTED AND STORED IN A SECURE DUMPSTER. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS
- CONSTRUCTION DEBRIS MAY INCLUDE LUMBER, CONCRETE, STEEL, OR OTHER DEBRIS AND SITE MATERIALS REQUIRING REMOVAL, THESE MATERIALS WILL BE DISPOSED OF ACCORDING TO STATE AND FEDERAL LAW AND WILL NOT BE DISPOSED OF ON SITE. EXCESS SOIL GENERATED FROM THIS SITE REQUIRES CHARACTERIZATION PRIOR TO REMOVAL. RATHER THAN EXPORT MATERIAL, IT IS PREFERRED THAT MINOR EXCAVATIONS ARE REUSED ON SITE AS BACKFILL IN THE SAME GENERAL AREA IT ORIGINATED.
- 6. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN UNDISTURBED.
- CONTINUOUS LINES OF EROSION CONTROLS SHALL ENCLOSE THE DOWNSTREAM SIDES OF THE WORK AREA, THESE COMBINED WITH UP-SLOPE MARKERS (CONS. FENCE AND/OR FLAGGING) WILL SERVE AS THE LIMIT OF WORK.
- 8. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED OR REPLACED AS REQUIRED BY THE SITE CONTRACTOR TO ASSURE PROPER FUNCTION.
- ALL BREACHES OR FAILURES IN SEDIMENT CONTROLS SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE SITE CONTRACTOR.
- 10. DEBRIS AND LITTER, WHICH ACCUMULATES ALONG THE CONSTRUCTION AREA, SHALL BE REMOVED DAILY.
- 11. SEDIMENT BUILD-UP BEHIND ANY SILT FENCES OR EROSION CONTROL BARRIERS WILL BE MONITORED AND REMOVED WHENEVER SEDIMENT HAS ACCUMULATED TO 3-INCHES IN DEPTH.
- 12. OTHER CONTROLS WILL BE IMPLEMENTED, AS DEEMED NECESSARY BY THE CONTRACTOR, DURING THE CONSTRUCTION OF THE PROJECT.
- 13. IF CONDITIONS WARRANT, ADDITIONAL DE-WATERING CONTROLS MAY BE NEEDED SUCH AS DIRT BAGS, FRAC TANKS OR OTHER MEASURES.
- 14. STORMWATER INFILTRATION BASINS ARE NOT TO BE UTILIZED AS TEMPORARY SEDIMENT BASINS. IF TEMPORARY SEDIMENT BASINS AREA REQUIRED, THEY SHALL BE DESIGN AND SITED BY THE SITE ENGINEER.
- 15. THE LOCATION OF ALL STORMATER INFILTRATION BASINS SHALL BE FIELD STAKED AFTER SITE CLEARING ACTIVITIES HAVE BEEN COMPLETED. INFILTRATION AREAS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION TO AVOID EXCESSIVE COMPACTION OF THESE AREAS. ONCE THE BASINS HAVE BEEN GRADED PERIMETER EROSION CONTROLS IN THE FORM OF SILTSOCK AND STAKED EROSION CONTROL FENCING SHALL BE INSTALLED ALONG THE UP-GRADIENT SIDE TO PREVENT UNCHECKED SURFACE RUNOFF FROM ENTERING THE BASIN AREA AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION. IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO REMOVE ANY ACCUMULATED SEDIMENT WHICH ENTERS THE INFILTRATION BASIN PRIOR TO FINAL SITE STABILIZATION TO A DEPTH OF 6" BELOW THE ACCUMULATED SEDIMENT AND THE BOTTOM OF THE BASIN BE FILLED WITH CLEAN SAND TO 6" BELOW FINISH GRADED WHERE STONE BASE IS TO BE INSTALLED..

EROSION CONTROL CONSTRUCTION NOTES:

IN ORDER TO FURTHER MINIMIZE SEDIMENT LOSS ON THE SITE. A GENERAL CONSTRUCTION SEQUENCE PLAN HAS BEEN DEVELOPED. PRIOR TO CONDUCTING WORK ASSOCIATED WITH THIS PROJECT, THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL COPIES OF PERMIT APPLICATIONS AND APPROVALS THAT OUTLINE CONDITIONS GOVERNING THE PROPOSED WORK. THE CONTRACTOR WILL ALSO REVIEW THE DRAWINGS PREPARED FOR THE PROJECT. THE CONTRACTOR WILL THEN FOLLOW THE GENERAL SEQUENCE OF WORK AS OUTLINED BELOW:

- CONTRACTOR SHALL COORDINATE WITH LOCAL POLICE DEPARTMENT REGARDING TRAFFIC SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION.
- 2. A TRAFFIC CONTROL OFFICER SHALL BE USED FOR MAJOR DELIVERIES TO THE SITE.
- THE CONTRACTOR WILL PLACE ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IN ACCORDANCE WITH THE DRAWINGS, OR AS MAY BE DICTATED BY SITE CONDITIONS, IN ORDER TO MAINTAIN THE INTENT OF THE SPECIFICATIONS AND PERMITS. DEFICIENCIES OR CHANGES ON THE DRAWINGS SHALL BE CORRECTED OR IMPLEMENTED AS SITE CONDITIONS CHANGE. CHANGES DURING CONSTRUCTION SHALL BE NOTED AND POSTED ON THE DRAWINGS (SITE PLANS).
- THE INTENT IS TO DIRECT ALL WATER FROM DISTURBED AREAS THROUGH SEDIMENTATION CONTROLS PRIOR TO LEAVING CONSTRUCTION BOUNDARIES. THERE SHALL BE NO DISCHARGE OF UNTREATED CONSTRUCTION RUNOFF FROM THIS SITE.
- THE CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION AND SEDIMENTATION CONTROL SYSTEMS AS DICTATED BY SITE CONDITIONS, INDICATED IN THE CONSTRUCTION DOCUMENTS, OR AS DIRECTED BY GOVERNING AUTHORITIES OR OWNER TO CONTROL SEDIMENT UNTIL FINAL STABILIZATION.
- THE CONTRACTOR SHALL RESPOND TO ANY MAINTENANCE OR ADDITIONAL WORK ORDERED BY OWNER OR GOVERNING AUTHORITIES IMMEDIATELY, IF REQUIRED, AND ALWAYS WITHIN 7 DAYS.
- THE CONTRACTOR SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES, PERMANENT SLOPE STABILIZATION, AND VEGETATION INTO THE PROJECT PLANS AT THE EARLIEST PRACTICAL TIME TO MINIMIZE THE NEED FOR TEMPORARY CONTROLS.
- TREE AND VEGETATION CLEARING AND ANY ROUGH GRADING SHALL ONLY OCCUR IF THE DISTURBED SOIL SURFACE CAN BE STABILIZED WITHIN 48 HOURS OF CLEARING. TREE AND VEGETATION CLEARING SHALL BE SCHEDULED IN CONJUNCTION WITH WEATHER FORECAST SUCH THAT NO MORE THAN 1/4" OF RAIN IS TO BE EXPECTED WITHIN 48 HOURS OF ANY CLEARING OR GRADING ACTIVITY.
- ANY AREA DISTURBED WITHIN THE LIMIT OF WORK, BUT NOT WITHIN THE LIMITS OF THE APPROVED LIMITS OF CONSTRUCTION ARE TO BE SEEDED WITH NEW ENGLAND CONSERVATION / WILDLIFE SEED MIX UNLESS SPECIFIED OTHERWISE IN THE PLAN SET.
- 10. THE CONTRACTOR SHALL STABILIZE ALL DISTURBED AREAS WITHIN 48 HOURS AFTER FINAL GRADING. IN THE EVENT THAT IT IS NOT PRACTICAL TO SEED AREAS. SLOPES MUST BE STABILIZED WITH GEOTEXTILE FABRIC OR OTHER MEANS TO REDUCE THE EROSIVE POTENTIAL OF THE AREA.

EROSION STRUCTURAL PRACTICES

SILTATION CONTROL USING EROSION 12' DIA FILTREXX SILT SOXX, OR APPROVED EQUAL WITH STAKED EROSION CONTROL FENCE.

EROSION CONTROL LINE IS TO BE VISUALLY INSPECTED AFTER EVERY RAIN FALL AND REPAIRS MADE AS REQUIRED TO THE SILTATION CONTROL FENCE AND STRAW WATTLE AFTER EACH RAIN FALL. CLEAN-OUT OF ACCUMULATED SEDIMENT BEHIND THE WATTLE IS NECESSARY IF 1/2 OF THE ORIGINAL HEIGHT OF THE WATTLE APPEARS TO HAVE BEEN INUNDATED WITH SEDIMENT.

PRESERVE TOPSOIL

SITE OWNERS AND OPERATORS MUST PRESERVE EXISTING TOPSOIL ON THE CONSTRUCTION SITE TO THE MAXIMUM EXTENT FEASIBLE AND AS NECESSARY TO SUPPORT HEALTHY VEGETATION, PROMOTE SOIL STABILIZATION, AND INCREASE STORMWATER INFILTRATION RATES IN THE POST-CONSTRUCTION PHASE OF THE PROJECT.

STABILIZATION OF SOILS

UPON COMPLETION AND ACCEPTANCE OF SITE PREPARATION AND INITIAL INSTALLATION OF EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES, THE OPERATOR SHALL INITIATE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION PRACTICES DURING ALL PHASES OF CONSTRUCTION ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.

ANY DISTURBED AREAS THAT WILL NOT HAVE ACTIVE CONSTRUCTION ACTIVITY OCCURRING WITHIN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS MUST BE STABILIZED BY THE USE OF TEMPORARY AND/OR FINAL SEEDING OF THAT AREA.

ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE WILL BE CLEARED/GRUBBED AT ANY ONE TIME. IT IS NOT ACCEPTABLE TO GRUB AND STRIP TOP SOIL THE ENTIRE CONSTRUCTION SITE IF PORTIONS WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME. PROPER PHASING OF CLEARING AND GRUBBING ACTIVITIES SHALL INCLUDE TEMPORARY STABILIZATION TECHNIQUES FOR AREAS CLEARED AND GRUBBED THAT WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME.

STEEP SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE 3. CLEAR TREES AND REMOVE/GRIND STUMPS; PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS IN AREAS OF STEEP SLOPES AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS. ONCE AN STEEP SLOPE AREA HAS BEEN TEMPORARY AND/OR FINAL SEEDED IT SHALL BE PROTECTED WITH 4' HIGH ORANGE CONSTRUCTION TO PREVENT FURTHER DISTURBANCE OF THE AREA.

THE TEMPORARY SEEDING DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING: TYPE % BY WEIGHT

ANNUAL RYE GRASS

PERENNIAL RYE GRASS

STORMWATER INLET PROTECTION

INLET PROTECTION - WILL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM ENTERING STORM DRAIN INLETS. THESE MEASURES ARE USUALLY TEMPORARY AND ARE IMPLEMENTED BEFORE A SITE IS DISTURBED

MAINTENANCE - THE OPERATOR MUST CLEAN, OR REMOVE AND REPLACE THE INLET PROTECTION MEASURES AS SEDIMENT ACCUMULATES, THE FILTER BECOMES CLOGGED, AND/OR AS PERFORMANCE IS COMPROMISED. ACCUMULATED SEDIMENT ADJACENT TO THE INLET PROTECTION MEASURES SHOULD BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH IT IS FOUND OR BY THE END OF THE FOLLOWING WORK DAY IF REMOVAL BY THE SAME WORK DAY IS NOT FEASIBLE.

STORMWATER BASINS - ALL AREAS CONTAINING STORMWATER BASINS (ABOVE OR BELOW GROUND) SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. THESE ARES ARE NOT BE USED FOR MATERIAL STOCKPILES OR FOR PARKING EQUIPMENT. SURFACE BASINS ARE TO BE ROUGH GRADED AND PROTECTED UNTIL STABILIZED AND BROUGHT ON-LINE FOR STORMWATER MANAGEMENT OF THE STABILIZED SITE.

CONSTRUCTION ENTRANCES

CONSTRUCTION ENTRANCES SHALL BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF SEDIMENT TRACKING OFF THE PROJECT. ANY CONSTRUCTION SITE ACCESS POINT MUST EMPLOY THE CONTROL MEASURES ON THE APPROVED SITE PLANS AND IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN. CONSTRUCTION ENTRANCES SHALL BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES. ALL CONSTRUCTION ACCESS ROADS SHALL BE CONSTRUCTED PRIOR TO ANY ROADWAY ACCEPTING CONSTRUCTION TRAFFIC.

THE SITE OWNER AND OPERATOR MUST WILL RESTRICT VEHICLE USE TO PROPERLY DESIGNATED EXIT POINTS, USE PROPERLY DESIGNED AND CONSTRUCTED CONSTRUCTION ENTRANCES AT ALL POINTS THAT EXIT ONTO PAVED ROADS SO THAT SEDIMENT REMOVAL OCCURS PRIOR TO VEHICLE EXIT. WHEN AND WHERE NECESSARY, USE ADDITIONAL CONTROLS TO REMOVE SEDIMENT FROM VEHICLE TIRES PRIOR TO EXIT (I.E. WHEEL WASHING RACKS, RUMBLE STRIPS, AND RATTLE PLATES). WHERE SEDIMENT HAS BEEN TRACKED OUT FROM THE CONSTRUCTION SITE ONTO THE SURFACE OF OFF-SITE STREETS, OTHER PAVED AREAS, AND SIDEWALKS, THE DEPOSITED SEDIMENT MUST BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH THE TRACK OUT OCCURS. TRACK-OUT MUST BE REMOVED BY SWEEPING, SHOVELING, OR VACUUMING THESE SURFACES, OR BY USING OTHER SIMILARLY EFFECTIVE MEANS OF SEDIMENT REMOVAL.

STOCKPILE AND MATERIAL STAGING CONTAINMENT

PERIMETER EROSION CONTROLS SHALL BE USED ONSITE TO MINIMIZE OR ELIMINATE THE DISCHARGE OF SOIL, TOPSOIL, BASE MATERIAL OR RUBBLE, FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS. ALL STOCKPILES MUST BE LOCATED WITHIN THE LIMIT OF DISTURBANCE, PROTECTED FROM RUN-ON WITH THE USE OF TEMPORARY SEDIMENT BARRIERS AND PROVIDED WITH COVER OR STABILIZATION TO AVOID CONTACT WITH PRECIPITATION AND WIND WHERE AND WHEN PRACTICAL. STOCK PILE MANAGEMENT CONSISTS OF PROCEDURES AND PRACTICES DESIGNED TO MINIMIZE OR ELIMINATE THE DISCHARGE OF STOCKPILED MATERIAL (SOIL, TOPSOIL, BASE MATERIAL, RUBBLE) FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS.

FOR ANY STOCKPILES OR LAND CLEARING DEBRIS COMPOSED, IN WHOLE OR IN PART, OF SEDIMENT OR SOIL, YOU MUST COMPLY WITH THE FOLLOWING REQUIREMENTS - LOCATE PILES WITHIN THE DESIGNATED LIMITS OF DISTURBANCE OUTSIDE OF THE 100-FOOT BUFFER ZONE, PROTECT FROM CONTACT WITH STORMWATER (INCLUDING RUN-ON) USING A TEMPORARY PERIMETER SEDIMENT BARRIER; WHERE PRACTICABLE, PROVIDE COVER OR APPROPRIATE TEMPORARY VEGETATIVE OR STRUCTURAL STABILIZATION TO AVOID DIRECT CONTACT WITH PRECIPITATION OR TO MINIMIZE SEDIMENT DISCHARGE; NEVER HOSE DOWN OR SWEEP SOIL OR SEDIMENT ACCUMULATED ON PAVEMENT OR OTHER IMPERVIOUS SURFACES INTO ANY STORMWATER CONVEYANCE, STORM DRAIN INLET, OR SURFACE WATER: TO THE MAXIMUM EXTENT PRACTICABLE, CONTAIN AND SECURELY PROTECT FROM WIND.

TEMPORARY SEDIMENT BASINS

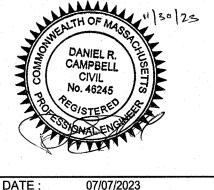
IF REQUIRED. ADDITIONAL TEMPORARY SEDIMENT BASINS ARE REQUIRED, TO THE PROPOSED MITIGATION DETAILED WITHIN THESE DESIGN PLANS, TO MITIGATE THE POTENTIAL SEDIMENT LOADING TO THE ADJACENT RESOURCE AREAS THE DESIGN ENGINEER SHALL BE CONTACTED TO DESIGN AND SITE NEW TEMPORARY SEDIMENT BASIS AS REQUIRED. TEMPORARY SEDIMENT BASINS SHALL BE LOCATED OUTSIDE OF THE 100-FOOT BUFFER ZONE TO ANY RESOURCE ARES THAT ARE NOT SCHEDULED FOR PERMANENT ALTERATION, UNLESS NO ALTERNATIVES ARE AVAILABLE. TEMPORARY SEDIMENT BASIN LOCATION, DESIGN AND GRADING BE DICTATED BY THE DESIGN ENGINEER. AT A MINIMUM THE THE VOLUME OF THE TEMPORARY SEDIMENT BASIN, AS MEASURED FROM THE BOTTOM OF THE BASE TO THE ELEVATION OF THE CREST OF THE PRINCIPAL SPILLWAY SHALL BE AT LEAST 3,600 CUBIC FEET PER ACRE OF DRAINAGE AREA. THIS 3,600 CUBIC FEET IS EQUIVALENT TO 1.0 INCH OF SEDIMENT PER ACRE OF DRAINAGE AREA. ADDITIONAL STORAGE IN THE FORM OF A PERMANENT WET POOL SHALL BE PROVIDED WHENEVER PRACTICABLE, BUT MAY NOT BE USED TO FULFILL THE TEMPORARY STORAGE VOLUME REQUIREMENT.

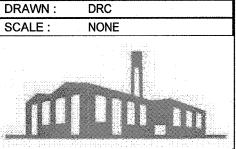
SEDIMENT BASINS SHALL BE CLEANED OUT WHEN THE VOLUME REMAINING AS DESCRIBED ABOVE IS REDUCED BY SEDIMENTATION TO 1,800 CUBIC FEET PER ACRE OF DRAINAGE AREA (50 PERCENT FULL). IN NO CASE SHALL THE SEDIMENT LEVEL BE PERMITTED TO BUILD UP HIGHER THAN ONE FOOT BELOW THE PRINCIPAL SPILLWAY CREST. AT THIS ELEVATION, CLEANOUT SHALL BE PERFORMED TO RESTORE THE ORIGINAL DESIGN VOLUME TO THE SEDIMENT BASIN. THE ELEVATION OF THE MAXIMUM ALLOWABLE SEDIMENT LEVEL SHALL BE DETERMINED AND SHALL BE STATED IN THE DESIGN DATA AS A DISTANCE BELOW THE TOP OF THE RISER AND BE CLEARLY MARKED ON THE RISER.

CONSTRUCTION SEQUENCING:

- INSTALL EROSION AND SEDIMENT CONTROLS
- CUT TREES;
- INSTALL TEMPORARY SEDIMENT BASINS AND CONVEYANCE SWALES AND BERMS
- GRUB AND ROUGH GRADE SITE AND ACCESS DRIVEWAYS;
- INSTALL BUILDING FOUNDATION;
- INSTALL STORMWATER MANAGEMENT SYSTEM AND SITE UTILITIES; CONSTRUCT RETAINING WALLS;
- CONSTRUCT DRIVEWAYS, PARKING AND LOADING AREAS AND INSTALL BINDER COAT PAVEMENT; INSTALL SITE LANDSCAPING:
- FINE GRADE SITE AND LOAM AND SEED ALL REMAINING DISTURBED AREAS;
- 10. INSTALL TOP COAT PAVEMENT; PROJECT CLOSE OUT.

DATE REVISIONS 07/07/2023 ISSUE FOR PERMIT 2 10/23/2023 RESPONSE TO COMMENTS 3 11/30/2023 RESPONSE TO COMMENTS



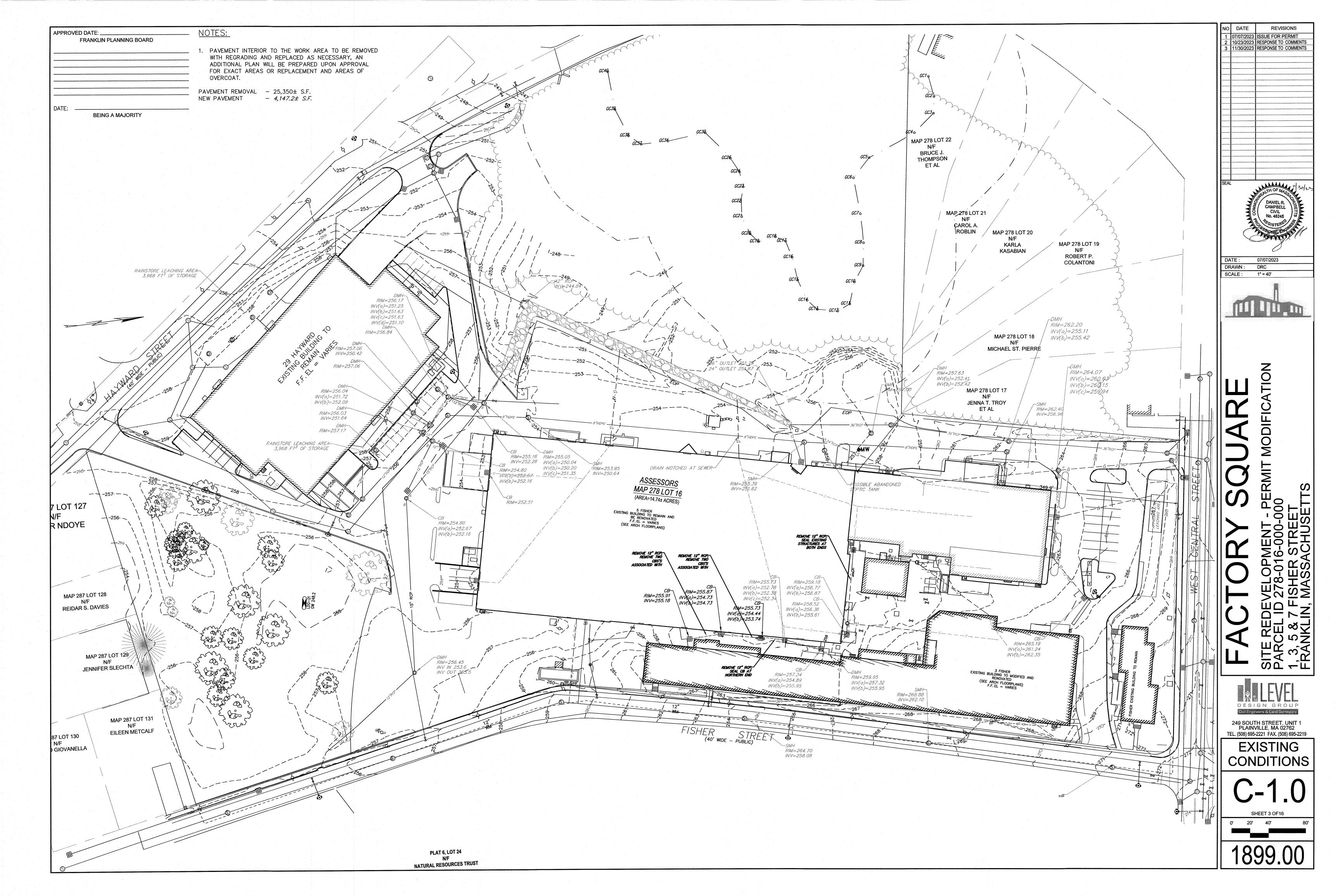


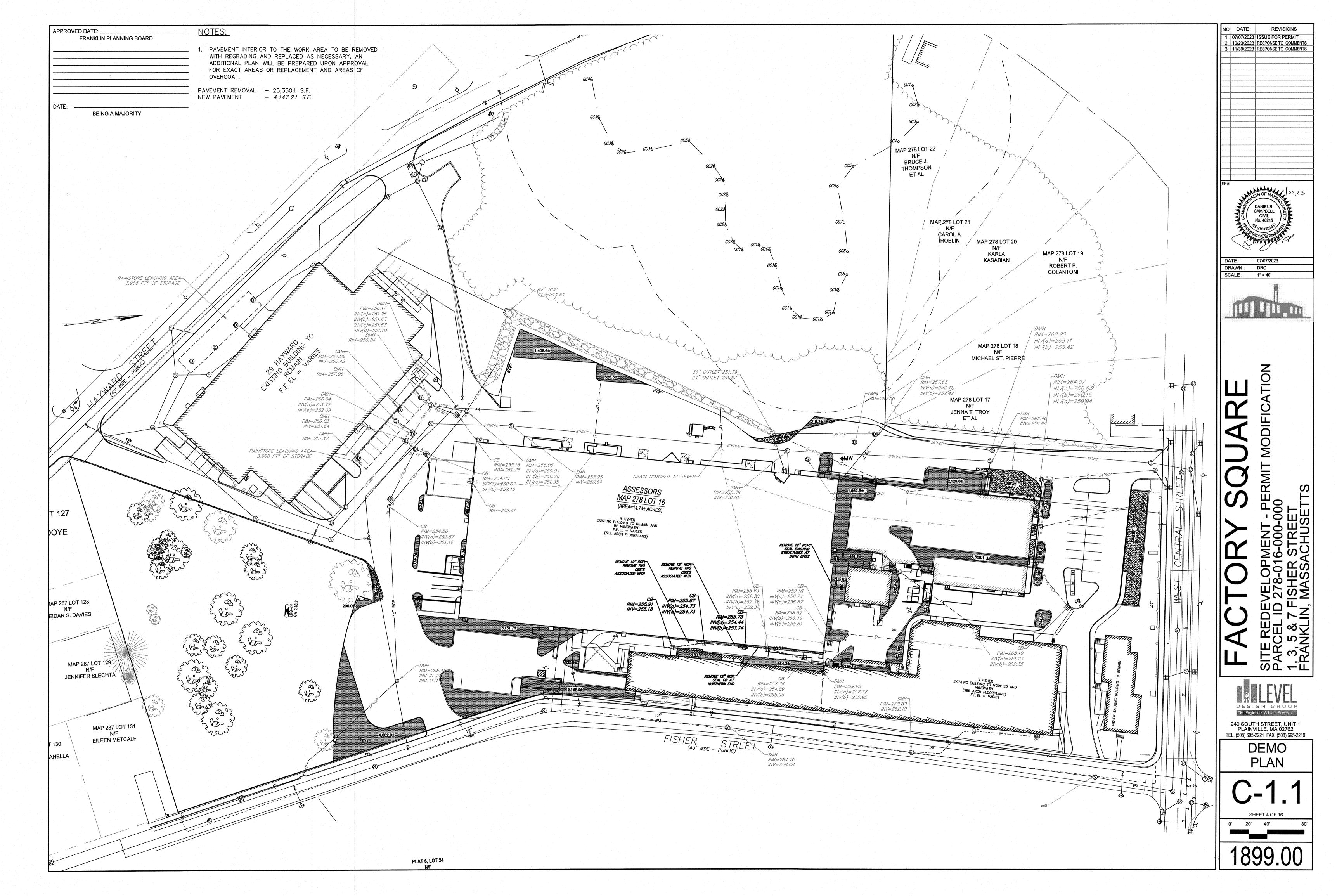
PE 00 0 NO RE $\square \bigcirc \vdash \exists$ D T KS 59 JØ I4 \cap 山区 NU ←II

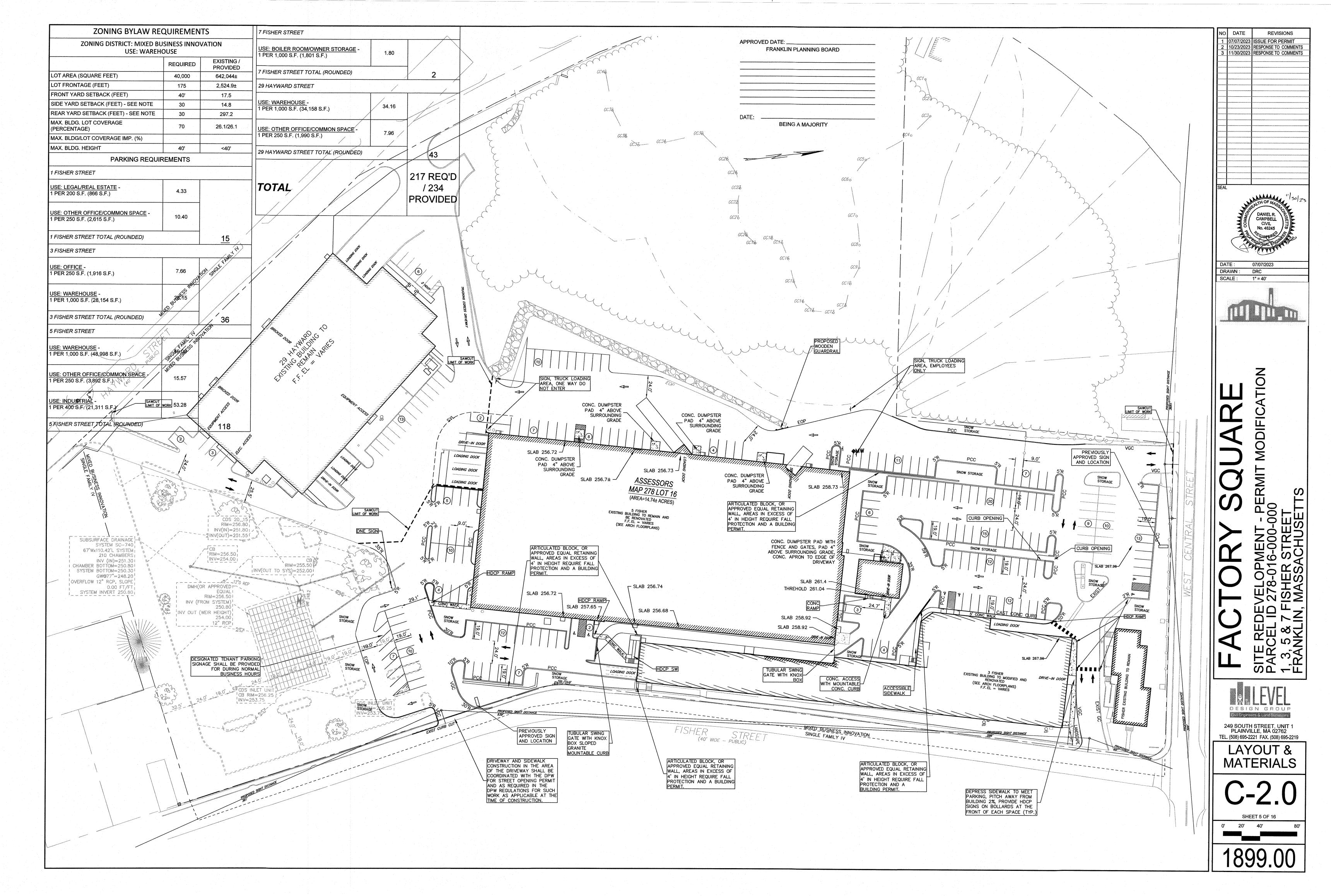


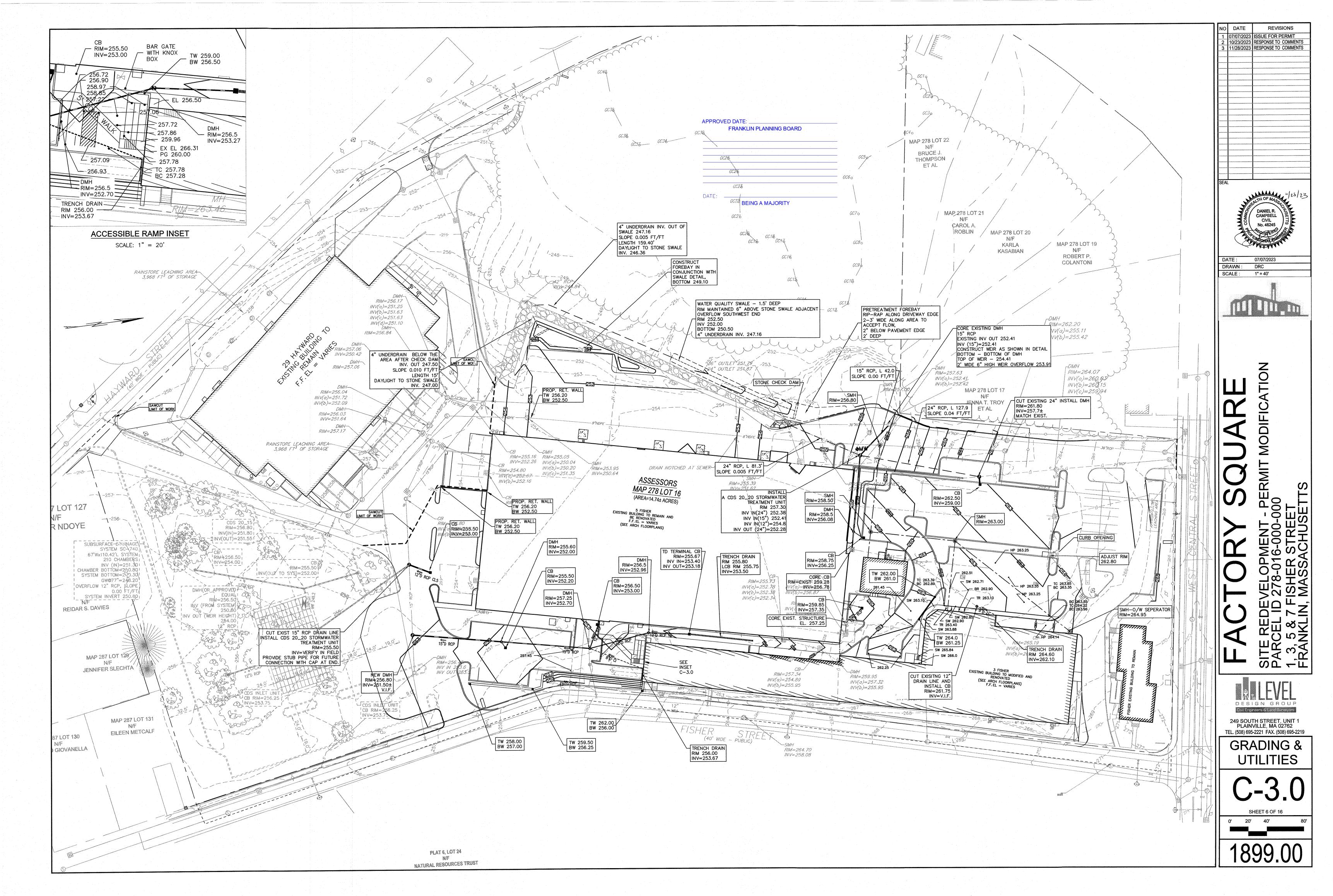
249 SOUTH STREET, UNIT 1 PLAINVILLE, MA 02762 TEL. (508) 695-2221 FAX. (508) 695-2219

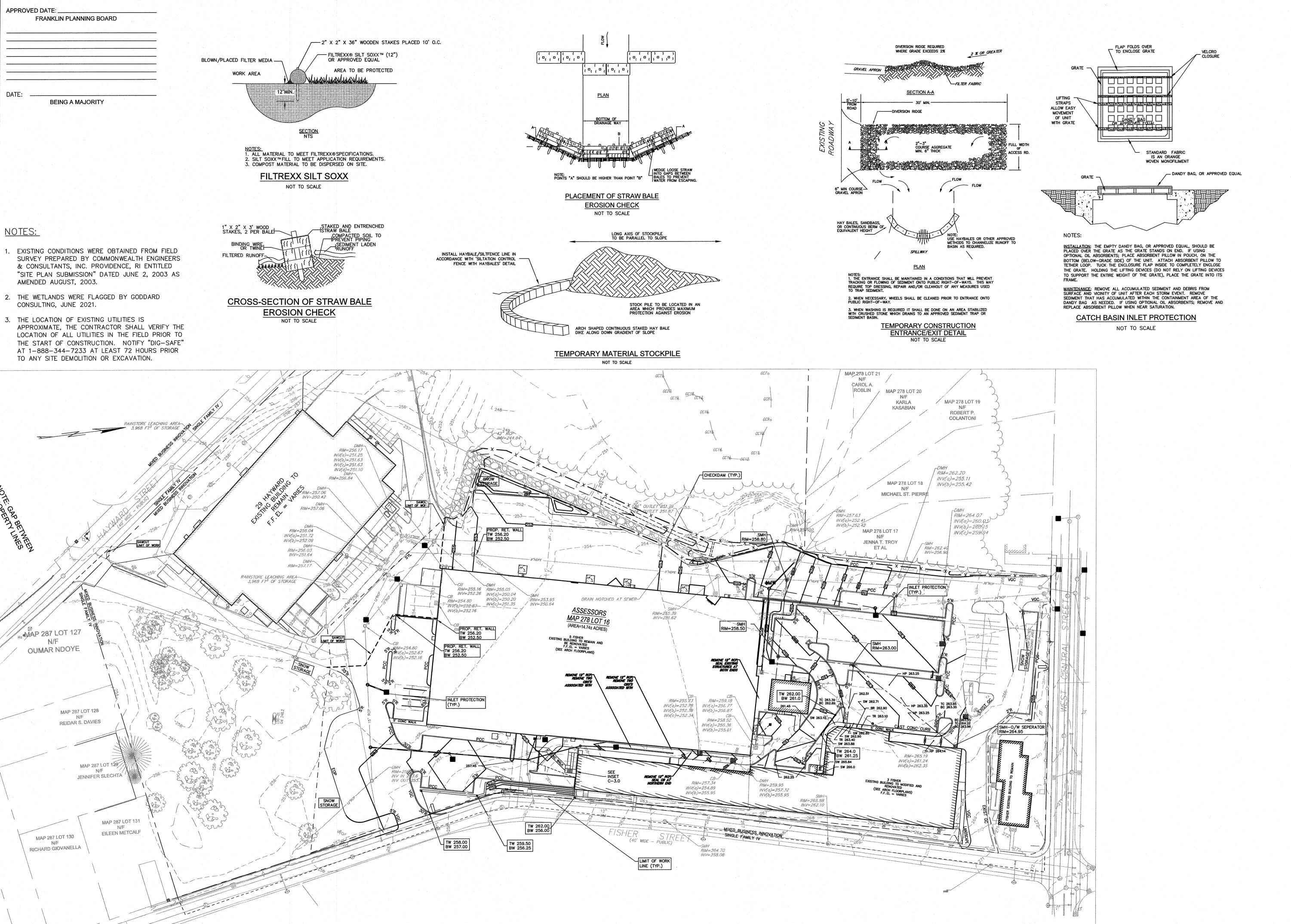
NOTES











	1	07/07/2023	ISSUE FOR F
1	2		RESPONSE TO
	3		RESPONSE TO
		. 1/20/2020	1
and the second second			
			<u> </u>
	in manage		***************************************
		-	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
1			
		·····	
		•••••	
	1	***************************************	

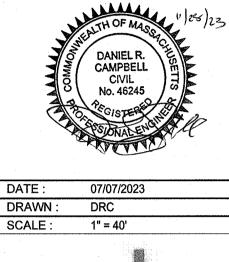
QUAL	SEAL	4	DANIEL R. CAMPBELL CIVIL No. 46245
			NAMA A
' ·	1		TH OF MA
·	1		ALLINAGE
	1	1/2	DANIEL B
		7/3/	CAMPBELL
		3 8	CIVIL
	1	3 3	No. 46245
'		AB	PEGISTER
	1	COM	No. 46245
			TSIONALEN
i de la composição de la c		•	MANA
	1		
la granda de la companya de la la companya de la c			
ł	DA	TE:	07/07/2023
ı	DR	AWN:	DRC
. I			

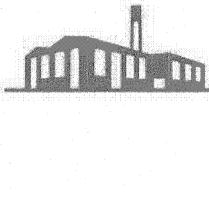
NO DATE

REVISIONS

COMMENTS

COMMENTS



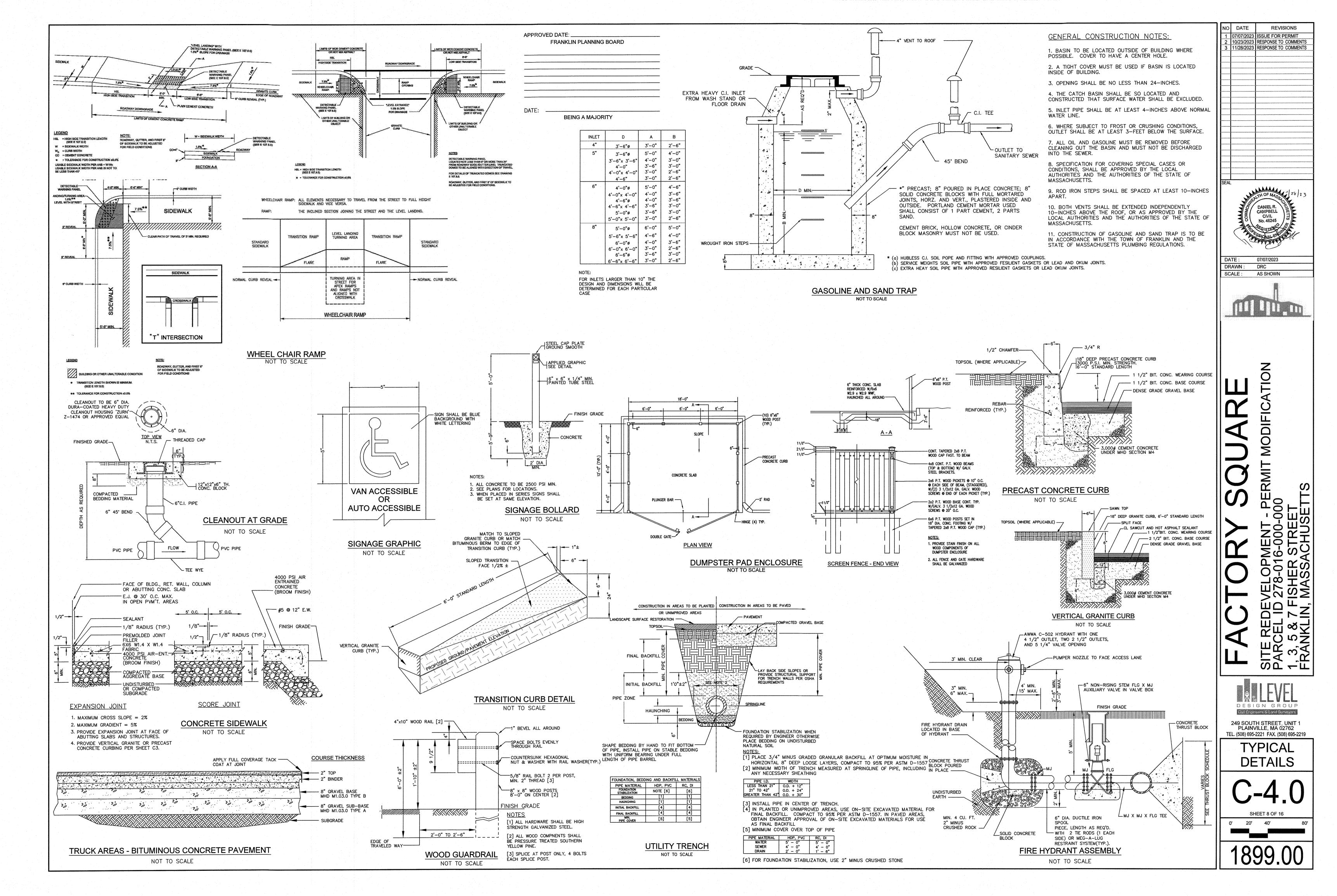


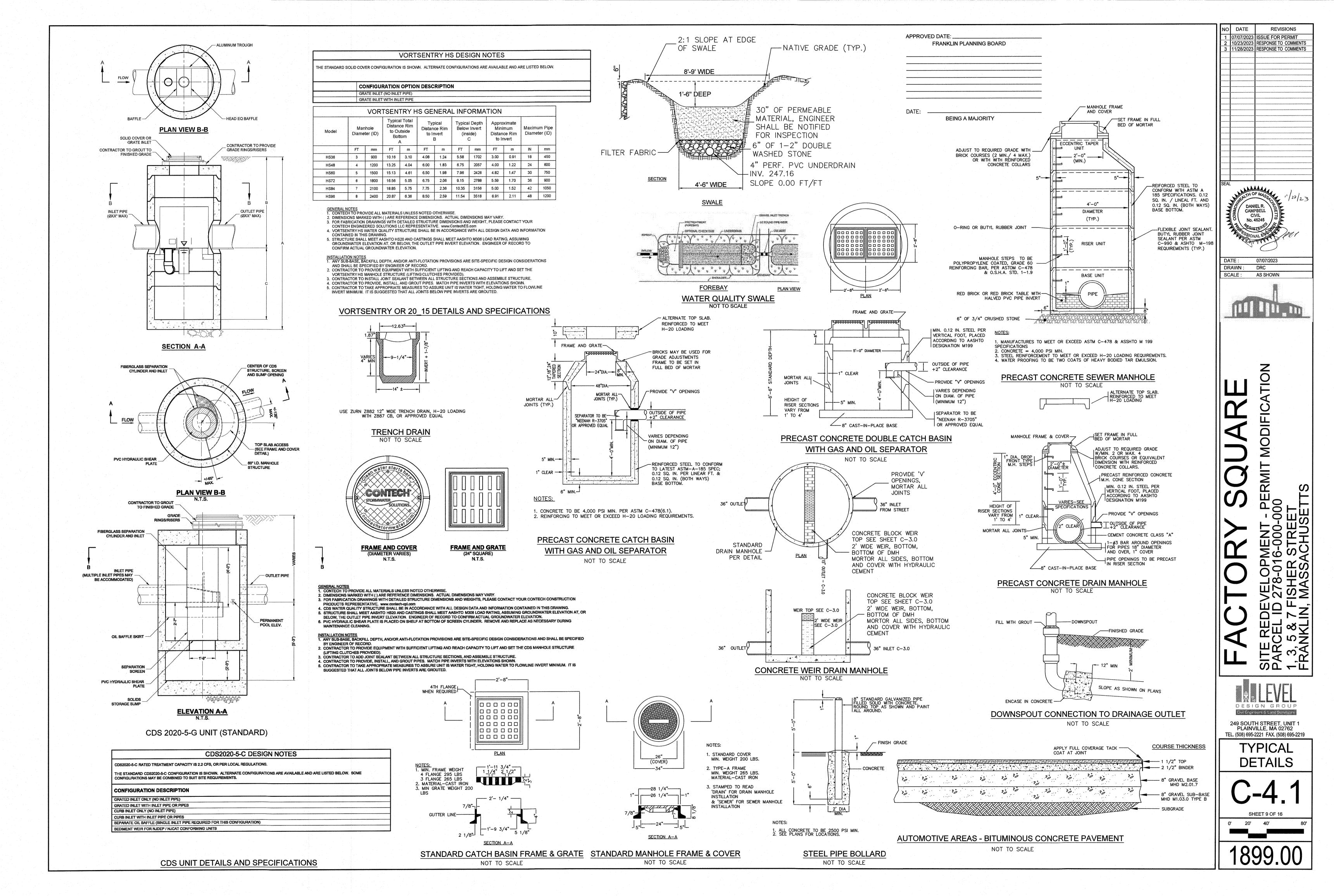
- PERMI--000

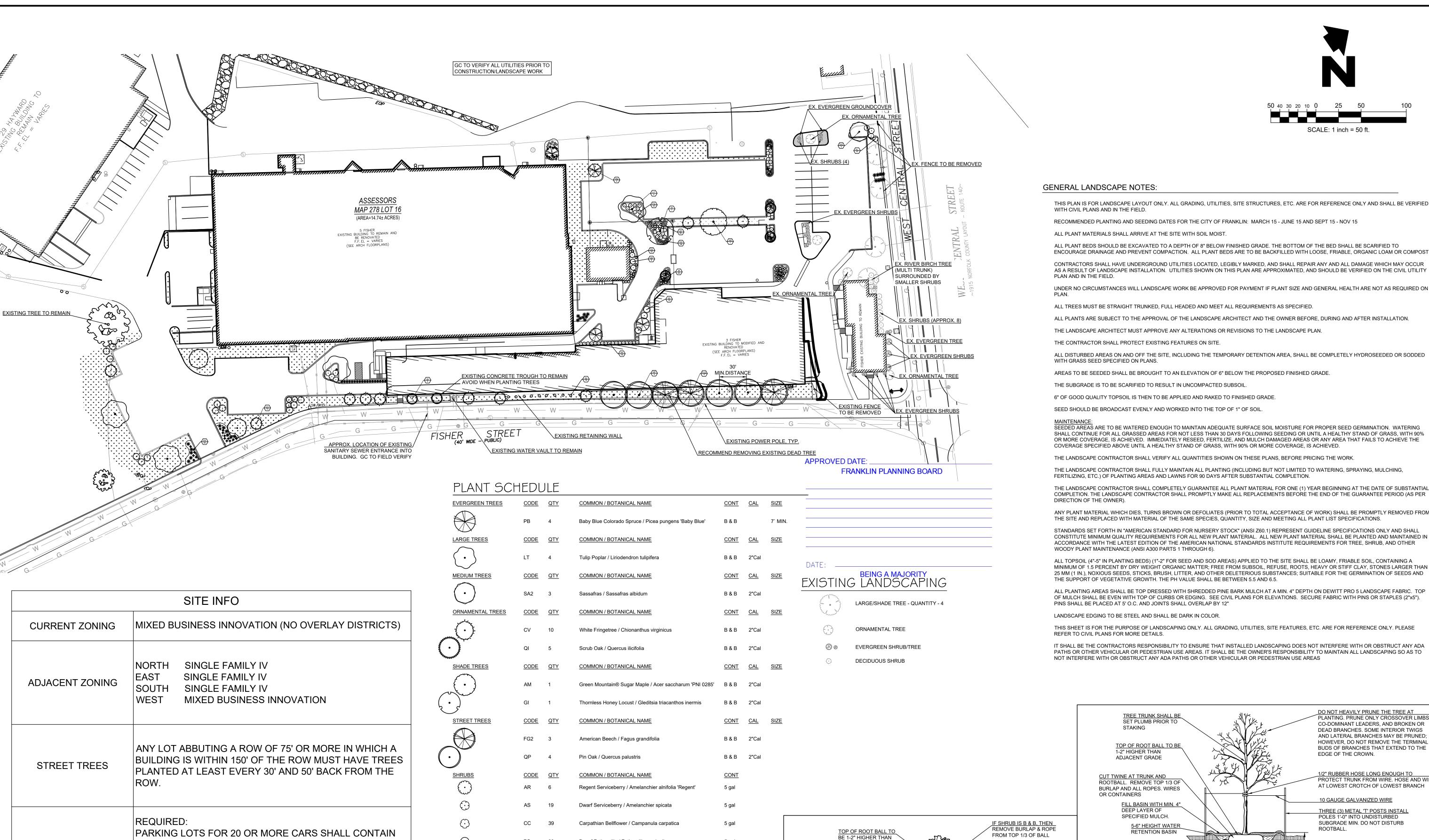
249 SOUTH STREET, UNIT 1 PLAINVILLE, MA 02762

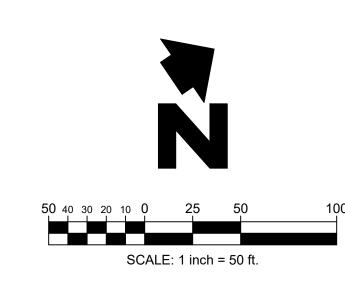
TEL. (508) 695-2221 FAX. (508) 695-2219 **EROSION**

CONTROL









GENERAL LANDSCAPE NOTES:

THIS PLAN IS FOR LANDSCAPE LAYOUT ONLY. ALL GRADING, UTILITIES, SITE STRUCTURES, ETC. ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED WITH CIVIL PLANS AND IN THE FIELD.

RECOMMENDED PLANTING AND SEEDING DATES FOR THE CITY OF FRANKLIN: MARCH 15 - JUNE 15 AND SEPT 15 - NOV 15

ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH SOIL MOIST.

ALL PLANT BEDS SHOULD BE EXCAVATED TO A DEPTH OF 8" BELOW FINISHED GRADE. THE BOTTOM OF THE BED SHALL BE SCARIFIED TO

CONTRACTORS SHALL HAVE UNDERGROUND UTILITIES LOCATED. LEGIBLY MARKED. AND SHALL REPAIR ANY AND ALL DAMAGE WHICH MAY OCCUR AS A RESULT OF LANDSCAPE INSTALLATION. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATED, AND SHOULD BE VERIFIED ON THE CIVIL UTILITY

UNDER NO CIRCUMSTANCES WILL LANDSCAPE WORK BE APPROVED FOR PAYMENT IF PLANT SIZE AND GENERAL HEALTH ARE NOT AS REQUIRED ON

ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS AS SPECIFIED.

ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE OWNER BEFORE, DURING AND AFTER INSTALLATION.

THE LANDSCAPE ARCHITECT MUST APPROVE ANY ALTERATIONS OR REVISIONS TO THE LANDSCAPE PLAN.

THE CONTRACTOR SHALL PROTECT EXISTING FEATURES ON SITE.

ALL DISTURBED AREAS ON AND OFF THE SITE, INCLUDING THE TEMPORARY DETENTION AREA, SHALL BE COMPLETELY HYDROSEEDED OR SODDED

AREAS TO BE SEEDED SHALL BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE.

THE SUBGRADE IS TO BE SCARIFIED TO RESULT IN UNCOMPACTED SUBSOIL.

6" OF GOOD QUALITY TOPSOIL IS THEN TO BE APPLIED AND RAKED TO FINISHED GRADE

SEED SHOULD BE BROADCAST EVENLY AND WORKED INTO THE TOP OF 1" OF SOIL.

SEEDED AREAS ARE TO BE WATERED ENOUGH TO MAINTAIN ADEQUATE SURFACE SOIL MOISTURE FOR PROPER SEED GERMINATION. WATERING SHALL CONTINUE FOR ALL GRASSED AREAS FOR NOT LESS THAN 30 DAYS FOLLOWING SEEDING OR UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED. IMMEDIATELY RESEED, FERTILIZE, AND MULCH DAMAGED AREAS OR ANY AREA THAT FAILS TO ACHIEVE THE COVERAGE SPECIFIED ABOVE UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED.

THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.

THE LANDSCAPE CONTRACTOR SHALL FULLY MAINTAIN ALL PLANTING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.

THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD (AS PER

ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF WORK) SHALL BE PROMPTLY REMOVED FROM

STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR ALL NEW PLANT MATERIAL. ALL NEW PLANT MATERIAL SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE REQUIREMENTS FOR TREE, SHRUB, AND OTHER

ALL TOPSOIL (4"-5" IN PLANTING BEDS) (1"-2" FOR SEED AND SOD AREAS) APPLIED TO THE SITE SHALL BE LOAMY, FRIABLE SOIL, CONTAINING A MINIMUM OF 1.5 PERCENT BY DRY WEIGHT ORGANIC MATTER: FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, STONES LARGER THAN 25 MM (1 IN.), NOXIOUS SEEDS, STICKS, BRUSH, LITTER, AND OTHER DELETERIOUS SUBSTANCES; SUITABLE FOR THE GERMINATION OF SEEDS AND

THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 5.5 AND 6.5. ALL PLANTING AREAS SHALL BE TOP DRESSED WITH SHREDDED PINE BARK MULCH AT A MIN. 4" DEPTH ON DEWITT PRO 5 LANDSCAPE FABRIC. TOP

OF MULCH SHALL BE EVEN WITH TOP OF CURBS OR EDGING. SEE CIVIL PLANS FOR ELEVATIONS. SECURE FABRIC WITH PINS OR STAPLES (2"x5"). PINS SHALL BE PLACED AT 5' O.C. AND JOINTS SHALL OVERLAP BY 12"

LANDSCAPE EDGING TO BE STEEL AND SHALL BE DARK IN COLOR.

THIS SHEET IS FOR THE PURPOSE OF LANDSCAPING ONLY. ALL GRADING, UTILITIES, SITE FEATURES, ETC. ARE FOR REFERENCE ONLY. PLEASE REFER TO CIVIL PLANS FOR MORE DETAILS.

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT INSTALLED LANDSCAPING DOES NOT INTERFERE WITH OR OBSTRUCT ANY ADA PATHS OR OTHER VEHICULAR OR PEDESTRIAN USE AREAS. IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN ALL LANDSCAPING SO AS TO NOT INTERFERE WITH OR OBSTRUCT ANY ADA PATHS OR OTHER VEHICULAR OR PEDESTRIAN USE AREAS

> DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS TREE TRUNK SHALL BE SET PLUMB PRIOR TO CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL TOP OF ROOT BALL TO BE BUDS OF BRANCHES THAT EXTEND TO THE 1-2" HIGHER THAN EDGE OF THE CROWN. ADJACENT GRADE 1/2" RUBBER HOSE LONG ENOUGH TO PROTECT TRUNK FROM WIRE. HOSE AND WIRE CUT TWINE AT TRUNK AND ROOTBALL. REMOVE TOP 1/3 OF AT LOWEST CROTCH OF LOWEST BRANCH BURLAP AND ALL ROPES. WIRES 10 GAUGE GALVANIZED WIRE FILL BASIN WITH MIN. 4" THREE (3) METAL 'T' POSTS INSTALL POLES 1'-0" INTO UNDISTURBED SPECIFIED MULCH. SUBGRADE MIN. DO NOT DISTURB 5-6" HEIGHT WATER ROOTBALL. HEIGHT OF ROOTBALL BACK FILL WITH EXISTING SOIL. IN SANDY OR CLAY SOILS, ADD 20% MAX. BY VOLUME COMPOSTED ORGANIC MATERIAL TO THE UNDISTURBED SUBGRADE EXISTING SOIL. 1:1 SLOPE ON SIDES OF PLANTING HOLE. ROUGHEN SIDES AND REMOVE SIDES AND BOTTOM OF PLANTING PIT PRIOR **BOTTOM AIR POCKETS** TO SETTING TREE COMPACTED PLANTING MIX COMPACTED SUFFICIENTLY TO NOT ALLOW ROOT BALL TO SINK OR UNDISTURBED SOIL

1. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. 3. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOTBALL WITH SOIL.

4. DO NOT LIFT, ADJUST OR MOVE TREE USING THE TRUNK. USE METAL BASKET FOR THESE TASKS. 5. NEWLY PLANTED TREES SHALL BE FERTILIZED WITH A TIME RELEASE FERTILIZER WITH A 20-20-20 ANALYSIS APPLIED PER MANUFACTURERS SPECIFICATION.

TREE PLANTING

MULCH WITH MIN. 4" DEEP

FINISHED GRADE

LAYER OF SPECIFIED MULCH

UNDISTURBED SUBSOIL OR

SOIL COMPACTED ENOUGH

TO PREVENT SETTLING

ADJACENT GRADE

WATER AND TAMP TO

REMOVE SIDES AND

BOTTOM AIR POCKETS

SHRUB SHALL BE REJECTED.

SHRUB PLANTING

1. REMOVE ANY DEAD, DYING OR SEVERELY BROKEN TWIGS OR BRANCHES. IF REMOVING

THESE BRANCHED REDUCES THE SHRUB HEIGHT BELOW SPECIFIED HEIGHT THEN

4. NEWLY PLANTED SHRUBS SHALL BE FERTILIZED WITH A TIME RELEASE FERTILIZER WITH

2. PLANTING BEDS SHOULD BE EXCAVATED TO A DEPTH OF 8" BELOW FINISHED GRADE.

THE BOTTOM OF THE BED SHALL BE SCARIFIED TO ENCOURAGE DRAINAGE AND

A 20-20-20 ANALYSIS APPLIED PER MANUFACTURERS SPECIFICATION.

BACK FILL WITH LOOSE, FRIABLE,

ORGANIC LOOM OR COMPOST.

HARRISON FRENC

1705 S. Walton Blvd., Suite 3 Bentonville, Arkansas 72712 t 479.273.7780 f 888.520.9685 www.hfa-ae.com

DOCUMENT DATE: 10/31/2023

CHECKED BY: WFM

ISSUE BLOCK

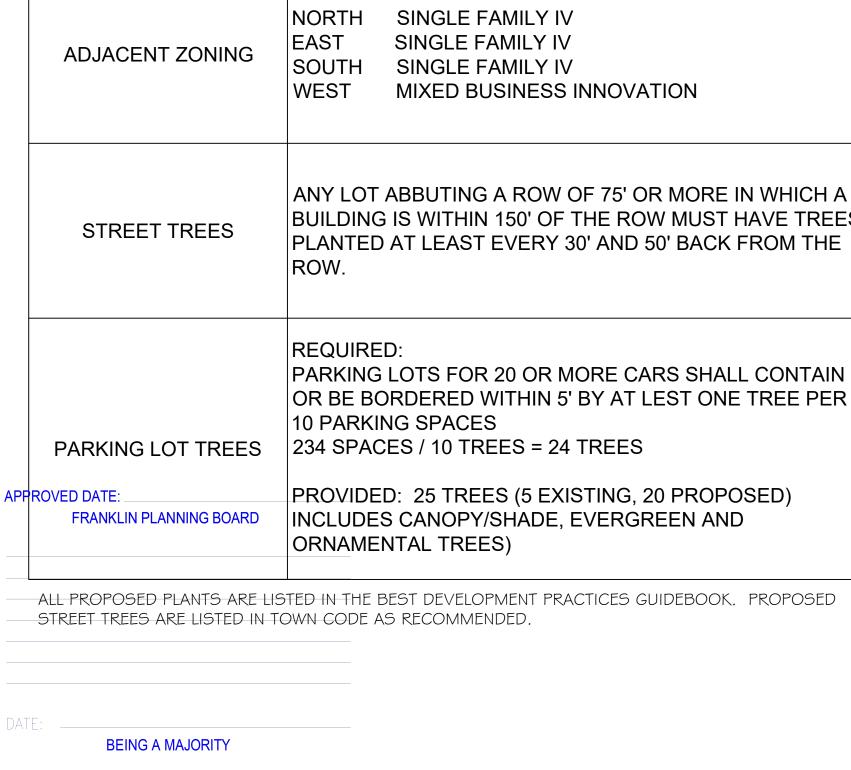
TITLE

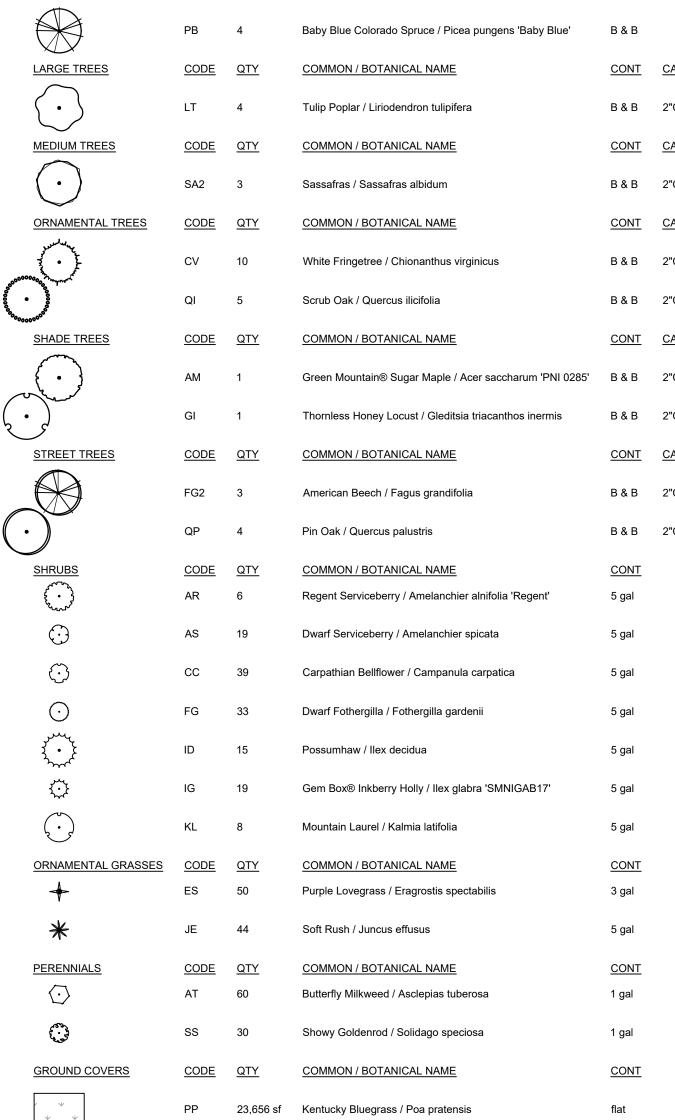
DRAWN BY: JMS

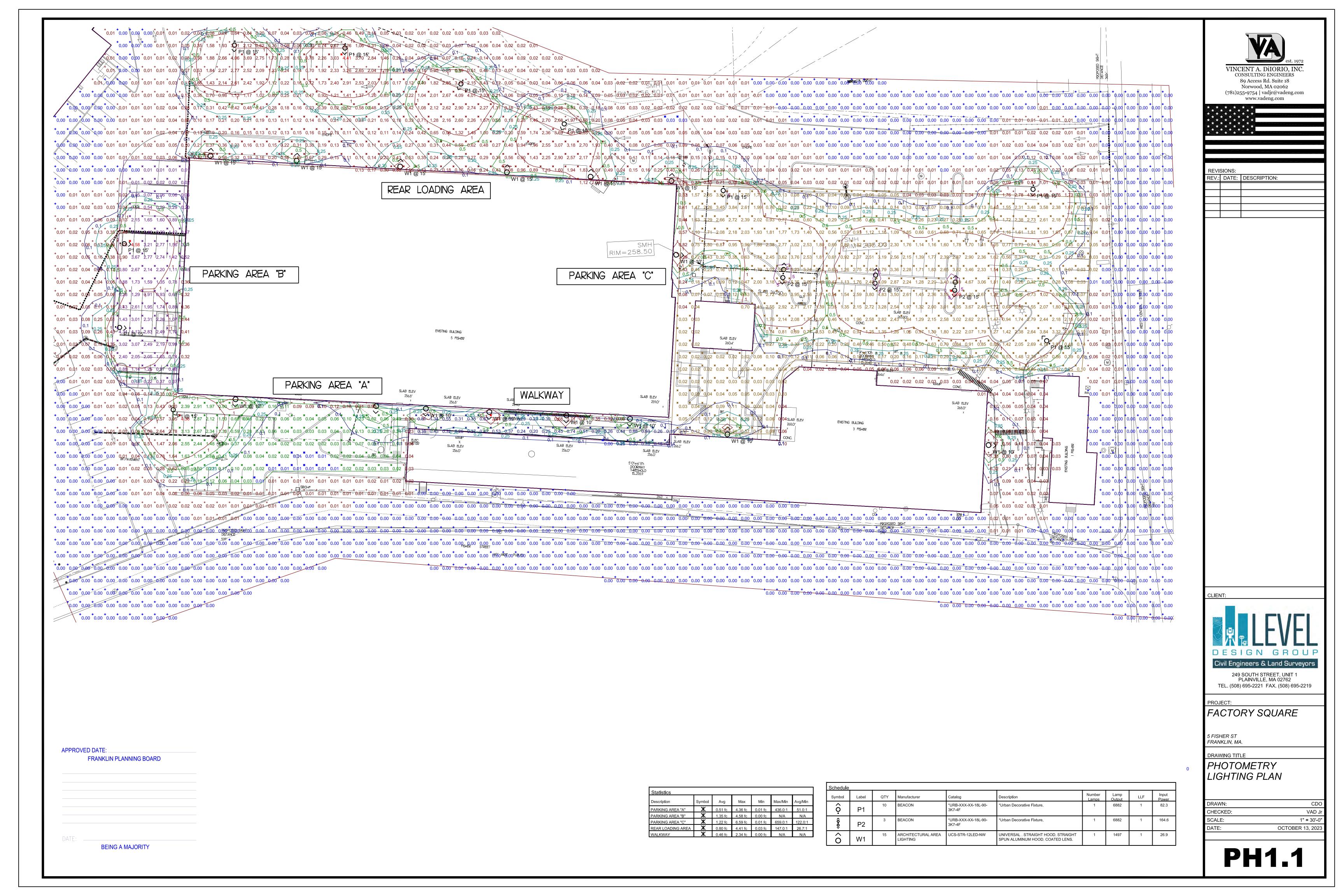
LANDSCAPE PLAN

SHEET:

C6.0







BEACON OGS (3) JOHN GOOD (12) BY LANGERY	
URBAN SERIE	S

DATE:	LOCATION:	
TYPE:	PROJECT:	
CATALOG #:		

CERTIFICATIONS

IDA approved

5 year warranty

NRTL Certified, UL8750, UL 1598 and

CSA22.2#250. 13-14 for wet locations

This product is approved by the Florida

Separate spec available.

Fish and Wildlife Conservation Commission.

FEATURES

- Decorative transitional style lighting fixture series is suitable for walkway lighting and wall mounting
- Two unique shade and style options
- LED turtle-friendly option available
- Integral Surge and Thermal Protection



CONTROL TECHNOLOGY



SPECIFICATIONS

shall be on a tray

- CONSTRUCTION The drivers shall be located in the top cast housing and shall be accessible without tools by hinging the lower shade assembly. The driver and all electrical components
- The lower shade shall be made from a one-
- piece aluminum spinning The housing is designed for LED thermal management without the use of metallic screens, cages, or fans. The top casting shall be able to be pendent mounted in place with a stainless steel safety pin and then permanently held in place with four stainless

ELECTRICAL

avallable upon request

steel bolts

- 100V through 277V, 50 Hz to 60 Hz (UNV), or 347V or 480V input
- Power factor is ≥0.90 at full load Dimming drivers are standard with connections for external dimming equipment
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is listed by UL for use at
- 600VAC at 50°C or higher Plug disconnects are listed by UL for use at 600 VAC, 13A or higher, 13A rating applies to
- primary (AC) side only Fixture electrical compartment shall contain
- all LED driver components
- Button photocell available Ambient operating temperature -40°C to 40°C

ELECTRICAL (CONTINUED) Surge protection - 20KA

 Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. A luminaire equipped with the device may be reliably operated in any ambient temperature up to 55°C (131°F). Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fall on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the

drivers. The device shall be able to co-exist

with other 0-10V control devices (occupancy

- sensors, external dimmers, etc.) CONTROLS
- Available with Energeni for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night visit
- IFS polyester powder-coat electrostatically applied and thermocured
- IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset
- passing surface impacts of up to 160 inch-pounds Efficacy Range (LPW) 61–87

r TGIC polyester powder coat finish	
finish meets the AAMA 605.2	
ing a 3000 hour salt spray test for	Lumen Rang
osion resistance and resists cracking or of adhesion per ASTM D522 and resists	Wattage Ran
co impacts of up to 160 inch-pounds	=:0

KEY DAT	Ά
Lumen Range	3,300-13,000
Wattage Range	27,8-137,5
fficacy Range (LPW)	61–87

Current @

ourrentlighting.com/beacon © 2022 HLi Solutiona, Inc. All rights reserved. Information and specifications subject to change without notice. All values are design or bypical values when measured under laboratory conditions.

Rev 05/17/23 Urban_LED_spec_sheet_Strike_R01



ARCHITECTURAL AREA/SITE

FEATURES

- Modular system offers five luminous choices and five hood options for customization to complement site design
- Full cutoff option available
- Pole, wall, or pendant mounting options
- Opal glass lens, IES Type 5 distribution for soft, general lighting Powder coat finish in 13 standard colors with a polymer primer sealer



CONTROL TECHNOLOGY

RELATED PRODUCTS

CATALOG #:

SPECIFICATIONS

CONSTRUCTION All housing components aluminum 360 alloy, sealed with continuous silicone rubber

WISCAPE

- Standard configurations do not require a flat lens, optional lenses is tempered glass
- All internal and external hardware is stainless steel
- Finish: fade and abrasion resistant, electrostatically applied, thermally cured,
- triglycidal isocyanurate (TGIC) polyester powdercoat Optical bezel finish is match the luminaire
- LED/OPTICS
- Optical cartridge system consisting of a die cast heat sink, LED engine, TIR optics, gasket and bezel plate. Cartridge is easily disassembled to replace
- components. Optics are held in place without the use of adhesives.
- Molded stilcone gasket ensures a weather-proof seal around each individual LED, Features revolutionary individual LED optical
- control based on high performance TIR optical designs. House Side Shield is available on Standard and Clear Lens options except any Type 5

 Fixtures must be grounded in accordance Egress adapter shall require an auxiliary 120 with national, state and/or local electrical voit supply for operation of an integral MR16

of 10,000 Amps using the industry standard

8/20uSec wave and surge rating of 372J

100%-1% dimming range. Fixture will be wired

Driver and surge suppressor are mounted to a

be removed from the gear compartment

Egress adapter(s) shall slip over a 4"/100mm

to the overall height. Adapter(s) shall be

have a cast access cover with an integral

Photocell adapter shall include an internal

twist lock receptacle. Photocell by others.

DIA, pole with the luminaire or arm slipping

over the adapter to add a total of 4.5"/114mm

prewired, independently rotatable 359°, and

prewired tray with quick disconnects that may

Drivers are UL recognized with an inrush

for low voltage 0-10V dimming control

- codes. Failure to do so may result in serious lamp in the event of emergency. The lamp may be aimed and locked into position with personal injury. an adjustment range of 15°-45°. Adapter shall have a socket that accepts miniature bi-pin ELECTRICAL Luminaires have integral surge protection, UL MR16 lamps up to 50 watts, lamp by others recognized and have a surge current rating
- CERTIFICATIONS ETL listed under UL 1598 and CSA C22.2 No. 250.0-08 for wet locations current maximum of <20.0 Amps maximum at

CONTROLS (CONTINUED)

UNIVERSE®

- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 6/06/2020. See Buy American Solutions.
- See <u>HLI Standard Warranty</u> for additional information

KEY DATA	
LUMEN RANGE	1,821-9,336
WATTAGE RANGE	31.52-71.6
EFFICACY RANGE (LPW)	54.5-138.5
INPUT CURRENT RANGE (mA)	280/420/615 mA
WEIGHT	18 lbs 4.1 kg to 27 lbs 12,25 kg
EPA.	.53 to 1.05

distribution. House Side Shield is not available for any distribution using a Diffused Lens.

© 2021 Architectural Area Lighting, a division of Hubbell Lighting, inc. Specifications subject to change without notice. 17780 Rowland St, Rowland Heights, CA 91748 / Tel 626.368.5956 / Waltatia www.aarl.net

INSTALLATION

230VAC

CONTROLS

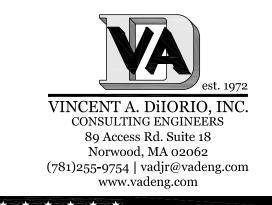
lens and lanyard.

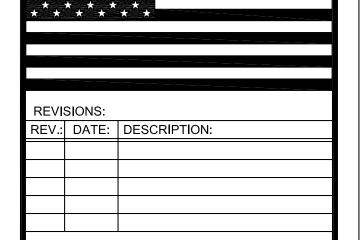


APPROVED DATE:

FRANKLIN PLANNING BOARD

BEING A MAJORITY







FACTORY SQUARE

TEL. (508) 695-2221 FAX. (508) 695-2219

5 FISHER ST FRANKLIN, MA.

DRAWING TITLE LIGHT FIXTURE SPECIFICATIONS

CDO DRAWN: VAD Jr NOT TO SCALE OCTOBER 13, 2023

PH2.1

