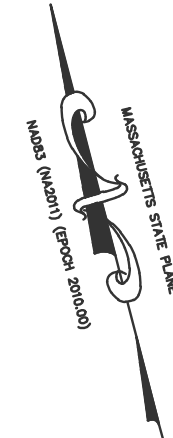


PROPOSED DRIVE THRU AT 52 E. CENTRAL STREET, FRANKLIN MA 02038



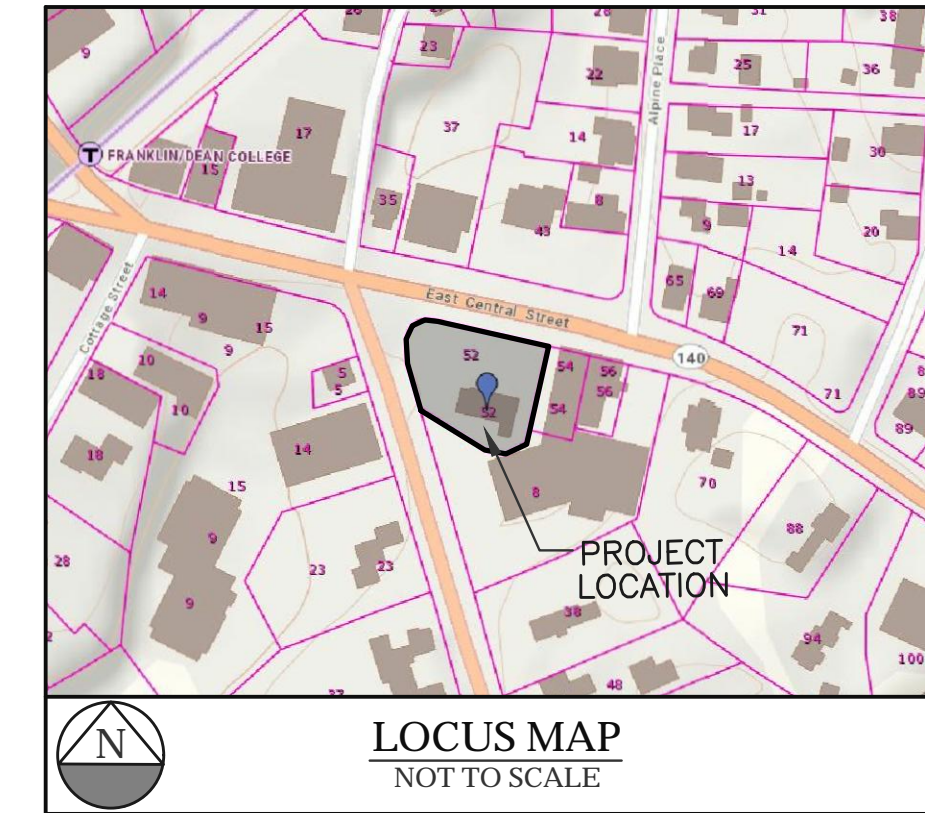
SITE DATA :
ADDRESS: 52 EAST CENTRAL STREET,
FRANKLIN, MA 02038

ZONING DISTRICT:
DOWNTOWN COMMERCIAL DISTRICT

TOTAL AREA: 0.46± ACRES

OWNER ON RECORD:
52 EAST CENTRAL, LLC
1 IRON GATE DRIVE
FRANKLIN, MA 02038

PROPOSED USE:
GASOLINE FILLING STATION
WITH CONVENIENCE STORE &
COFFEE SHOP WITH DRIVE THRU



Choubah Engineering Group, p.c.
CEG
Consulting Professional Engineers

112 STATE ROAD (ROUTE 6),
No. DARTMOUTH, MA 02747
TEL: (508) 858-5040 FAX: (508) 858-5041
www.choubahgroup.com

Project:
PROPOSED DRIVE THRU
AT
52 EAST CENTRAL STREET,
FRANKLIN, MA 02038

Prepared For:
52 EAST CENTRAL ST, LLC
52 EAST CENTRAL STREET,
FRANKLIN, MA 02038

EROSION CONTROL AND SOIL STABILIZATION PROGRAM:

1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENTATION CONTROL DEVICES ON SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS. ADDITIONAL PROTECTION: ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORSEEN CONDITIONS OR ACCIDENTS.
2. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE SUFFICIENT EROSION AND SEDIMENT CONTROL, ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED. CONTRACTOR IS RESPONSIBLE FOR PREPARING OR REPLACING EROSION CONTROL DEVICES WHICH BECOME INEFFECTIVE.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL GRADING AND OTHER LAND DISTURBING ACTIVITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENTS WHICH ESCAPES FROM THE SITE.
4. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT AND DEBRIS OUT OF ALL STORM DRAINAGE STRUCTURES UPON THE COMPLETION OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH ANY FINES LEVIED AGAINST THE SITE FOR VIOLATIONS OF EROSION CONTROL REGULATIONS.
7. THE CONTRACTOR SHALL PROVIDE TEMPORARY GROUND COVER FOR ALL AREAS WITH EXPOSED SOIL WHICH WILL NOT BE DISTURBED BY GRADING OPERATIONS FOR A PERIOD OF THIRTY DAYS OR MORE.
8. IF WORK ON THIS PROJECT IS SUSPENDED FOR ANY REASON, THE CONTRACTOR SHALL MAINTAIN THE SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES IN GOOD CONDITION DURING THE SUSPENSION OF WORK.
9. SPRINKLER OR APPLY DUST SUPPRESSERS TO KEEP DUST WITHIN TOLERABLE LIMITS AT THE CONSTRUCTION SITE.

INDEX OF DRAWINGS SHEET DESCRIPTION

1. COVER SHEET, GENERAL NOTES & LEGEND
2. SITE PREPARATION & DEMOLITION PLAN
3. SITE LAYOUT PLAN
4. SITE DETAILS
5. EXISTING FLOOR LAYOUT
6. EXISTING BUILDING ELEVATIONS
7. PROPOSED FLOOR LAYOUT
8. PROPOSED BUILDING ELEVATIONS

GENERAL NOTES

1. ALL LANDSCAPING SHOWN ON PLANS SHALL CONFORM TO THE TOWN OF FRANKLIN ZONING REGULATIONS.
2. ALL SITE LIGHTING SHOWN ON PLANS SHALL BE DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE TOWN OF FRANKLIN ZONING REGULATIONS.
3. SITE IMPROVEMENTS DEPICTED ON THESE PLANS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES.
4. THE LOCATION OF EXISTING UNDERGROUND UTILITIES (ELECTRIC, GAS, TELEPHONE, WATER AND SEWER) SHOWN ON THESE PLANS IS APPROXIMATE AND WERE OBTAINED FROM VARIOUS SOURCES OF INFORMATION. PRIOR TO ANY EXCAVATION ON THIS SITE, THE EXCAVATING CONTRACTOR SHALL MAKE THE REQUIRED 72 HOUR NOTIFICATION TO DIG SAFE (1-888-344-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE CABLE, PIPE OR EQUIPMENT IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.
5. THE LOCATION OF EXISTING EXISTING UTILITIES, GRADING AND PROPERTY LINE INFORMATION ARE TAKEN FROM A PLAN ENTITLED, "EXISTING CONDITIONS PLOT PLAN 52 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS", PREPARED BY GUERRIERE & HALNON, INC., 55 WEST CENTRAL STREET, FRANKLIN, MA 02038, DATED APRIL 2, 2020, SCALE 1"=10'.
6. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF MASSACHUSETTS AND THE TOWN OF FRANKLIN PRIOR TO COMMENCING ANY WORK.
7. PRIOR TO ANY EXCAVATION ON THIS SITE, THE EXCAVATING CONTRACTOR SHALL MAKE THE REQUIRED 72 HOUR NOTIFICATION TO DIG SAFE (1-888-344-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE CABLE, PIPE OR EQUIPMENT IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE CONSTRUCTION DRAWING AND TO NOTIFY THE ENGINEER WITH ANY DISCREPANCY BETWEEN THE PROPOSED WORK SHOWN ON THESE PLANS AND THE REQUIREMENTS OF LOCAL AND STATE CODES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND JOB SAFETY ON THE SITE. THE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH "OSHA" AND THE LOCAL MUNICIPALITY CONSTRUCTION STANDARDS.
10. ALL SIGNAGE SHALL CONFORM TO APPLICABLE TOWN OF FRANKLIN ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
11. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, SUPERVISION, TOOLS, EQUIPMENT, FUEL, POWER, SANITARY FACILITIES AND INCIDENTALS NECESSARY FOR THE FURNISHING, PERFORMANCE TESTING, START-UP AND COMPLETION OF THIS WORK.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ANY UNSUITABLE OR SURPLUS MATERIALS PROPERLY OF SITE IN ACCORDANCE WITH LOCAL AND STATE ENVIRONMENTAL CODES.
13. ALL EXISTING UTILITIES WATER, GAS, DRAINS, & ELECTRIC SHALL BE PROPERLY PROTECTED AND MAINTAINED DURING THE CONSTRUCTION PERIOD. ANY DEVIATION FROM THE CONTENT OF THESE PLANS WITHOUT WRITTEN CONSENT OF THIS ENGINEER WOULD MAKE IT NULL AND VOID.
14. EXISTING BUILDING IS A SLAB ON GRADE WITH NO BASEMENT.
15. IN CASE OF A CONFLICT BETWEEN THE PROPOSED WORK SHOWN ON THIS PLAN AND THE APPLICABLE LOCAL AND STATE CODES, THE APPLICABLE CODES SHALL GOVERN.
16. THE CONTRACTOR SHALL SHORE, BRACE, SHEET PILE OR OTHERWISE SUPPORT THE EXISTING UTILITIES AND STREETS NEXT TO THE PROPOSED WORK.
17. ALL CONSTRUCTION MATERIAL, COMPONENTS, AND METHODS EMPLOYED ON THIS PROJECT WORK SHALL CONFORM TO THE TOWN OF FRANKLIN OR THE MASS DOT FOR BRIDGES AND HIGHWAYS AS AMENDED TO PRESENT.
18. DESIGN LOADING FOR ALL PRE-CAST UNITS TO BE AASHTO-H20 UNLESS OTHERWISE NOTED.
19. RESTORE ALL DISTURBED AREAS BEYOND PROJECT LIMITS AND 6" LOAM AND SEED ALL AREAS NOT PAVED.
20. COORDINATE UTILITY INSTALLATION WITH APPROPRIATE VENDORS.
21. ALL OUTSIDE MECHANICAL APPURTENANCES TO BE PLACED ON CONCRETE UTILITY PADS AND SCREENED WITH FINISH TO MATCH BUILDING.
22. ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
23. 6" LOAM AND SEED ALL DISTURBED AREAS NOT PAVED.
24. THE CONTRACTOR SHALL MAINTAIN EXCAVATION IN DRY CONDITIONS.

DEMOLITION NOTES:

1. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 2. SECURE REQUIRED DEMOLITION PERMITS.
 3. ARRANGE WITH OWNER AND/OR APPROPRIATE UTILITIES FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION OPERATION.
 4. RELOCATE ALL EXISTING ACTIVE GAS, WATER, VENTILATION, DRAIN, ELECTRIC AND OTHER UTILITY LINES AS REQUIRED FOR NEW CONSTRUCTION.
 5. TAKE SPECIAL CARE TO CONTROL DUST AND NOISE TO AVOID DISTURBING NEARLY PERSONS OR PROPERTY.
 6. GENERAL CONTRACTOR, DEMO CONTRACTOR RESPONSIBLE FOR REMOVAL OF ALL ABOVE GRADE AND BELOW GRADE BUILDING MATERIALS, PIPES, CONDUITS, STUMPS, AND DEBRIS FROM SITE AND DISPOSE OF PER REGULATION REQUIREMENTS AND CONTRACT.
 7. DEMO CONTRACTOR TO INCUR ALL COST RELATING TO EXISTING SIDEWALK, PROTECTED AREAS. DAMAGE IF REPLACEMENT IS REQUIRED.
 8. AMPLE EQUIPMENT & MANPOWER ON SITE TO COMPLETE TASK IN TIME AGREED.
 9. PROVIDE RODENT CONTROL PER HEALTH DEPARTMENT.
- DURING ALL PHASES OF PROJECT DEMO/BACKFILL & CONTINUED WORK:**
1. TIME FRAME SCHEDULE ARE TO BE LISTED, SIGNED AND ADHERED TO ALL TIMES.
 2. EXCAVATED AREA IS PER OSHA REQUIREMENTS, BASED ON SOIL TYPE.
 3. CONTACT PERSON LIST WITH EMERGENCY NUMBER TO BE POSTED ON SITE AT ALL TIMES.
 4. WELDING/TORCHING WILL BE PERMITTED UNDER CONTROLLED CONDITIONS ONLY.
 5. CONTRACTOR SHALL PROVIDE SAFE WORKING CONDITIONS ON SITE. WORK AREA SHOULD BE DEFINED TO KEEP GENERAL PUBLIC OUT OF WORK AREA.
 6. CLEAN UP WITHOUT BURNING, NO EXCEPTIONS
 7. BEFORE, DURING AND AFTER DEMO WORK, CARE SHALL BE TAKEN TO PROTECT THE ADJOINING PROPERTIES FROM EXPOSED OR ERODING EMBANKMENT. STOCKPILE OF HAY BALES TO BE ON SITE TO PROTECT IN EVENT OF SAME. IMPLEMENT AS NEEDED.
 8. DURING BACKFILL, ALL CONSTRUCTION MATERIAL IS TO BE REMOVED ALONG WITH ORGANIC MATTER. EXCEPT TOPSOIL NEEDED FOR NEW LANDSCAPE AREA.
 9. DEBRIS TO BE DISPOSED OF OR RECYCLED PROPERLY, PER ALL LOCAL AND STATE CODES.
 10. SEDIMENTS & EROSION CONTROL DEVICES TO BE PLACED IN A MANNER TO PROVIDE SEQUENCE FOR TRAVEL AND PROVIDING ACCESS TO EXISTING FACILITY.



Issue Date: 08/21/2020

Revisions		
No.	Date	Description

Project Number: 20-572

Scale: As Shown

Designed By: CMS

Drawn By: CMS

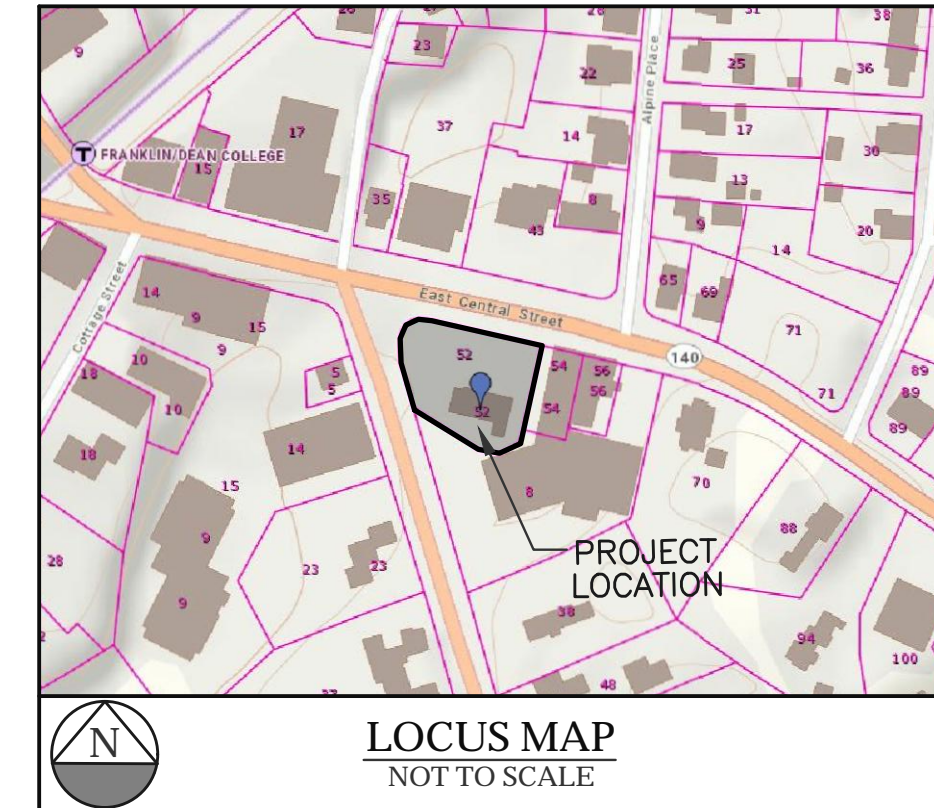
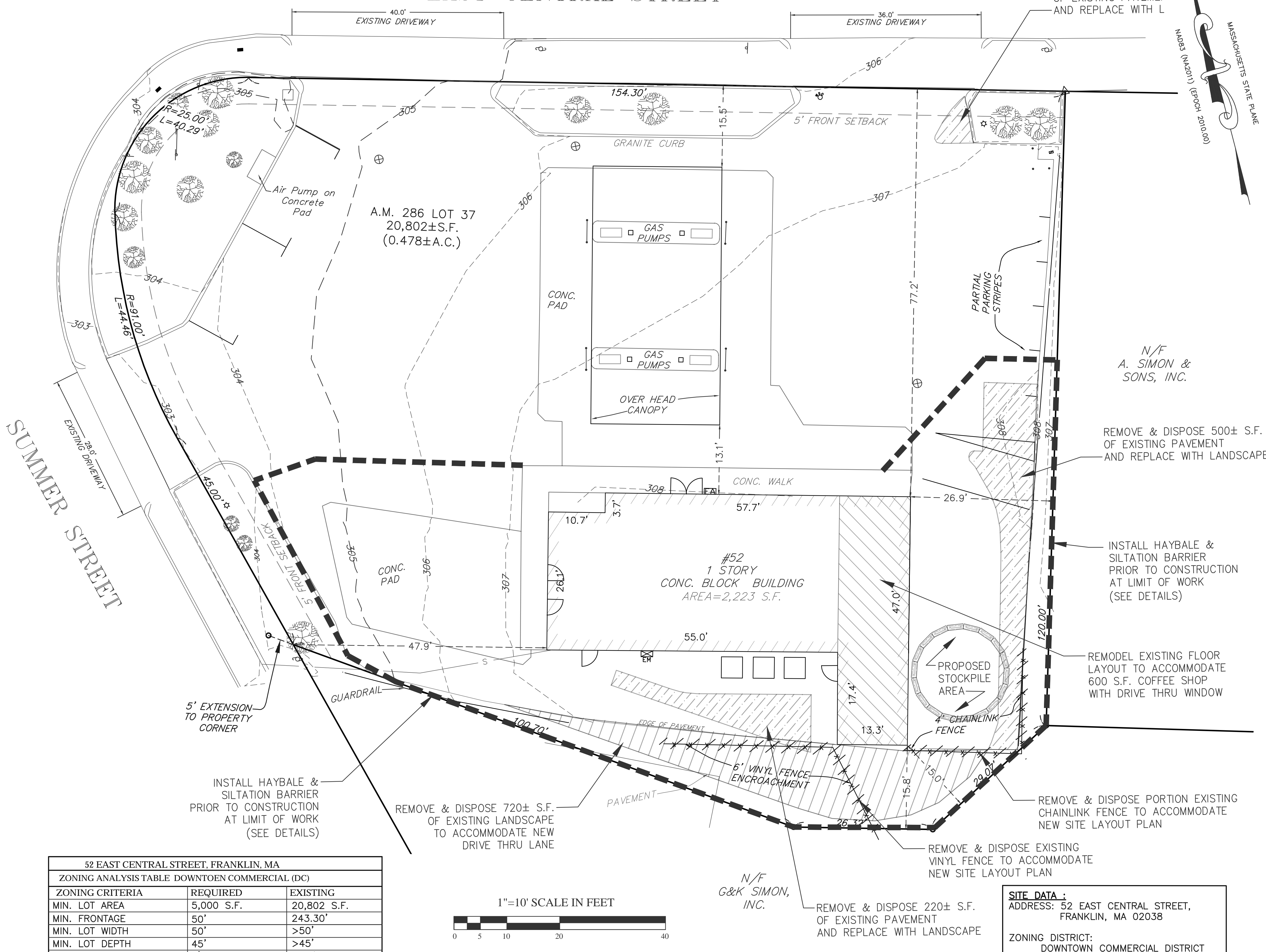
Checked By: HC

Sheet Title:

PROPOSED SITE LAYOUT PLAN

Sheet Number: 1 OF 8

EAST CENTRAL STREET



LEGEND

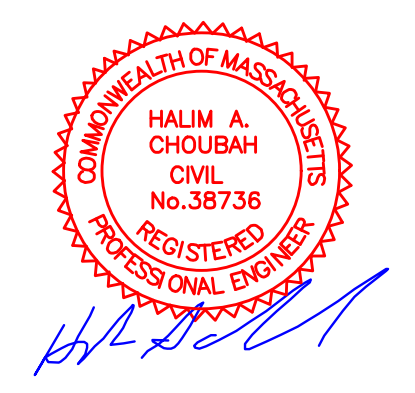
SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - -	SETBACK LINE
▬▬▬	SOCK BALES
~	EXIST. CONTOUR
307.440	EXIST. SPOT GRADE
x x x	EXIST. FENCE
S	EXIST. SEWER LINE
W	EXIST. WATER LINE
E	EXIST. ELECTRIC LINE
G	EXIST. GAS LINE
D	EXIST. DRAINAGE LINE
OW	EXIST. OVERHEAD WIRE
CB	EXIST. CATCH BASIN
DMH	EXIST. DRAIN MANHOLE
EMH	EXIST. ELECTRIC MANHOLE
SMH	EXIST. SEWER MANHOLE
UP	EXIST. UTILITY POLE
LP	EXIST. LIGHT POLE
VGC	EXIST. VERTICAL GRANITE CURB
EP	EXIST. EDGE OF PAVEMENT
SIGN	EXIST. SIGN
G	EXIST. GATE
MW	EXIST. MONITORING WELL
HYD	EXIST. HYDRANT

Choubah Engineering Group, p.c.
CEG
 Consulting Professional Engineers

112 STATE ROAD (ROUTE 6),
 No. DARTMOUTH, MA 02747
 TEL:(508) 858-5040 FAX:(508) 858-5041
 www.choubahgroup.com

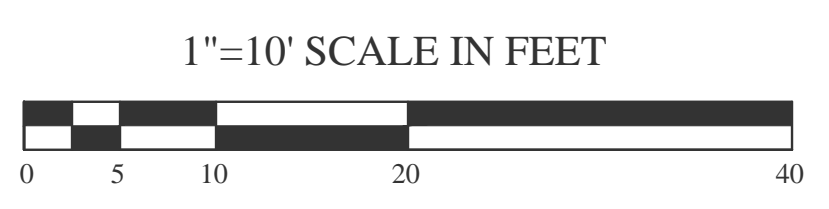
Project:
**PROPOSED DRIVE THRU
 AT
 52 EAST CENTRAL STREET,
 FRANKLIN, MA 02038**

Prepared For:
**52 EAST CENTRAL ST, LLC
 52 EAST CENTRAL STREET,
 FRANKLIN, MA 02038**



52 EAST CENTRAL STREET, FRANKLIN, MA		
ZONING ANALYSIS TABLE DOWNTOWN COMMERCIAL (DC)		
ZONING CRITERIA	REQUIRED	EXISTING
MIN. LOT AREA	5,000 S.F.	20,802 S.F.
MIN. FRONTAGE	50'	243.30'
MIN. LOT WIDTH	50'	>50'
MIN. LOT DEPTH	45'	>45'
MIN. FRONT SETBACK	5'	15.5'
MIN. REAR SETBACK	N/A*	N/A*
MIN. SIDE SETBACK	0'	15'
MAX. BLDG. HEIGHT	40'/3 STORIES	20'+/-
MAX. BLDG. COVERAGE	80%	16%
MAX. LOT COVERAGE	90%	82%

(PER FRANKLIN, MA ZONING BY LAWS ARTICLE 1 SECTION 185-3 DEFINITIONS, "FRONTAGE")
 * ON CORNER LOTS, WITH REGARDS TO SETBACK REQUIREMENTS, BOTH SIDES OF THE LOT ABUTTING THE STREET SHALL SERVE AS FRONTAGE. SUCH LOTS SHALL BE CONSIDERED AS HAVING TWO FRONT YARDS, AND ALL OTHER YARDS SHALL BE CONSIDERED SIDE YARDS.



N/F
 G&K SIMON,
 INC.

DRAINAGE NOTES:
 1. THERE WILL BE NO CHANGE IN GRADE FROM PROPOSED MODIFICATIONS SHOWN ON SITE PLAN.
 2. THERE WILL BE NO INCREASE IN RUNOFF OR IMPERVIOUS AREAS WITH PROPOSED MODIFICATIONS SHOWN ON SITE PLAN.
 3. THERE WILL BE NO CHANGE TO EXISTING DRAINAGE PATTERNS FROM PROPOSED MODIFICATIONS SHOWN ON SITE PLAN.

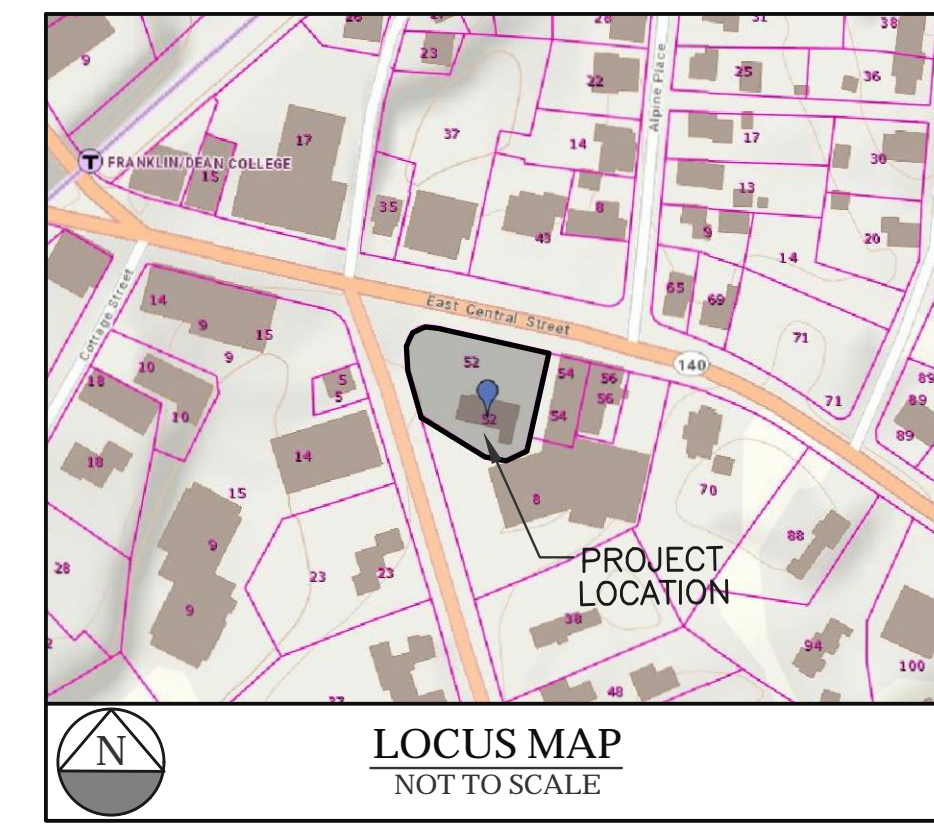
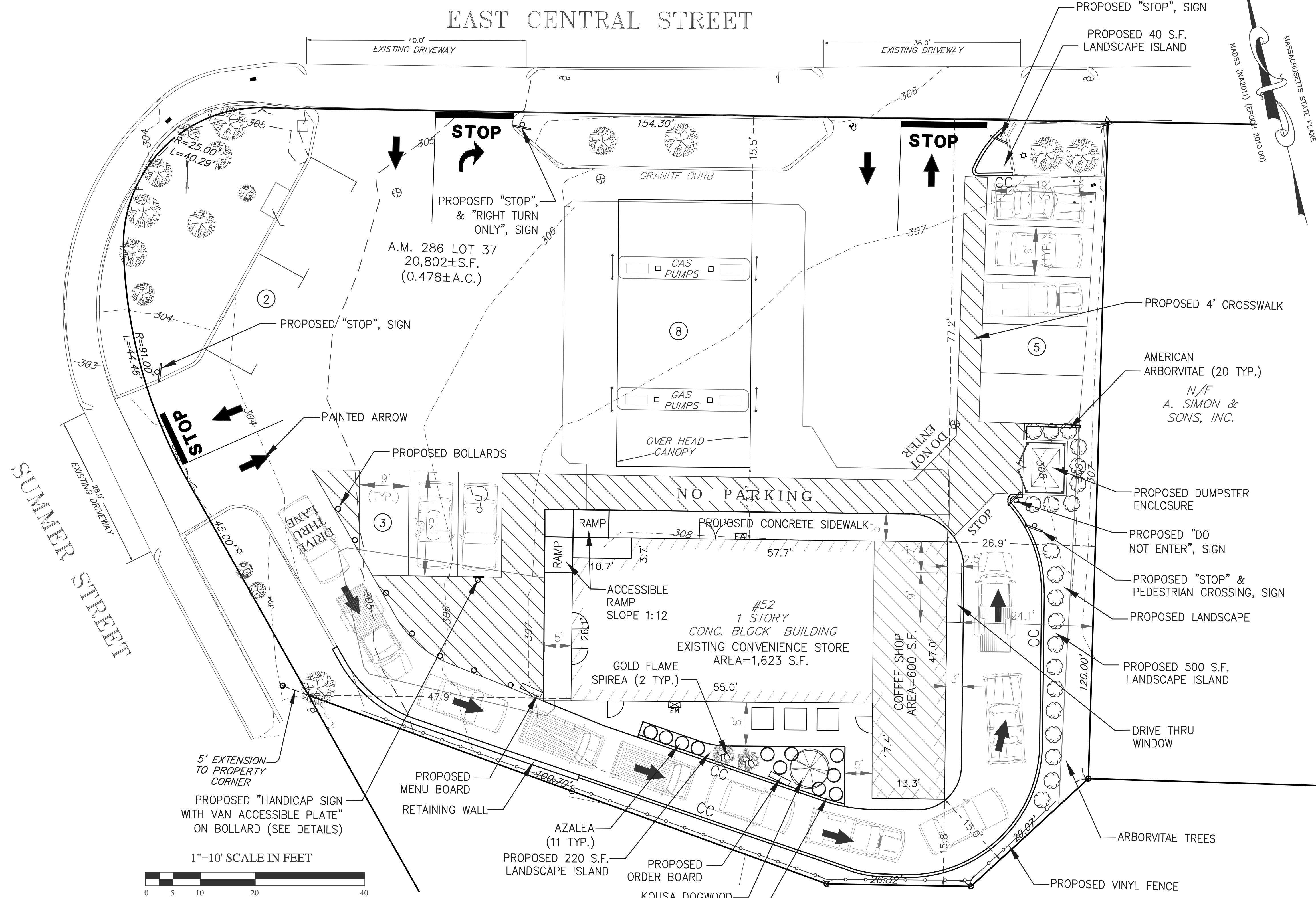
SITE DATA :
 ADDRESS: 52 EAST CENTRAL STREET,
 FRANKLIN, MA 02038
 ZONING DISTRICT:
 DOWNTOWN COMMERCIAL DISTRICT
 TOTAL AREA: 0.46± ACRES
 OWNER ON RECORD:
 52 EAST CENTRAL, LLC
 1 IRON GATE DRIVE
 FRANKLIN, MA 02038
 EXISTING USE:
 GASOLINE FILLING STATION
 WITH CONVENIENCE STORE

SEQUENCE OF CONSTRUCTION & SOIL EXCAVATION MANAGEMENT PROCEDURES.
 1. INSTALL SOCK BALES AND SILT FENCE AROUND EXISTING STORMDRAIN STRUCTURES AND WITHIN THE LIMIT OF CONSTRUCTION AS SHOWN ON DEMOLITION AND SITE PLANS.
 2. EXCAVATE FOR NEW BUILDING FOUNDATION, PUMPS AND CANOPY STRUCTURES, UNDER SUPERVISION OF THE PROJECT LICENSED SITE PROFESSIONAL (LSP) AND OR ITS DESIGNATED QUALIFIED REPRESENTATIVE.
 3. ANY VISUALLY CONTAMINATED SOIL SHOULD BE REMOVED FROM EXCAVATION AND TEMPORARILY STORED OR DIRECTLY TRANSPORTED OFF-SITE TO AN APPROVED LOCATION.
 4. EXCAVATED SOILS SHALL BE MANAGED IN ACCORDANCE WITH ALL OF THE APPLICABLE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
 5. ALL OFF-SITE SHIPMENT OF CONTAMINATED SOILS SHALL BE ACCOMPANIED BY A BILL OF LADING.
 6. A "LOAD-AND-GO" APPROACH FOR SOIL REMOVAL SHOULD BE EMPLOYED. IF NECESSARY, CONTAMINATED OR POTENTIALLY CONTAMINATED SOIL SHALL BE STORED ON AND SECURELY COVERED WITH ADEQUATE PLASTIC SHEETING IN AN AREA LOCATED GREATER THAN 50 FEET FROM ANY WETLAND RESOURCE AREA OR DRAINAGE INLET.
 7. THERE SHALL BE NO DISCHARGE OF DEWATERED GROUNDWATER TO WETLAND RESOURCE AREAS EITHER BY DIRECT OR INDIRECT DISCHARGE TO WETLAND RESOURCE AREAS OR EXISTING DRAINAGE SYSTEMS. NOTICE OF DEWATERING ACTIVITIES MUST BE GIVEN TO THE COMMISSION AND/OR THEIR AGENT WITHIN 48 HOURS.

Issue Date: 08/21/2020

Revisions		
No.	Date	Description

Project Number: 20-572
 Scale: As Shown
 Designed By: CMS
 Drawn By: CMS | Checked By: HC
 Sheet Title:
SITE PREPARATION & DEMOLITION PLAN
 Sheet Number: 2 OF 8



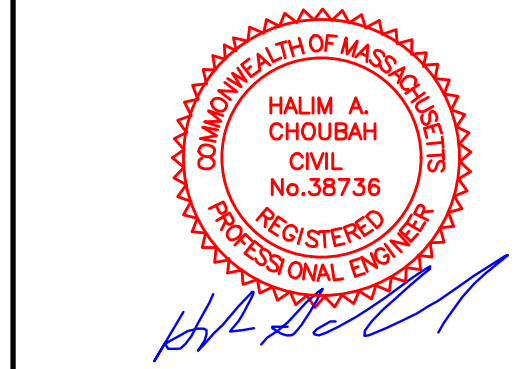
Choubah Engineering Group, p.c.
CEG
 Consulting Professional Engineers
 112 STATE ROAD (ROUTE 6),
 No. DARTMOUTH, MA 02747
 TEL: (508) 858-5040 FAX: (508) 858-5041
 www.choubahgroup.com

Project:
**PROPOSED DRIVE THRU
 AT
 52 EAST CENTRAL STREET,
 FRANKLIN, MA 02038**

Prepared For:
**52 EAST CENTRAL ST, LLC
 52 EAST CENTRAL STREET,
 FRANKLIN, MA 02038**

LEGEND

SYMBOL	DESCRIPTION
	EXIST. CONTOUR
	PROP. CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	EASEMENT LINE
	PROPERTY LINE
	SOCK BALES
	EDGE OF TREES/WOODED AREA
	EXIST. SEWER LINE
	PROP. SEWER LINE
	EXIST. WATER LINE
	PROP. WATER LINE
	EXIST. ELECTRIC LINE
	PROP. ELECTRIC LINE
	EXIST. GAS LINE
	PROP. GAS LINE
	EXIST. TELEPHONE LINE
	PROP. TELEPHONE LINE
	EXIST. DRAINAGE LINE
	PROP. DRAINAGE LINE
	EXIST. OVERHEAD WIRE
	PROP. OVERHEAD WIRE
	EXIST. CATCH BASIN
	PROP. CATCH BASIN
	EXIST. ELECTRIC MANHOLE
	PROP. ELECTRIC MANHOLE
	EXIST. SEWER MANHOLE
	PROP. SEWER MANHOLE
	PROP. ELECTRIC MANHOLE
	PROP. UTILITY POLE
	EXIST. LIGHT POLE
	PROP. LIGHT POLE
	PROP. GAS PUMPS
	EXIST. EDGE OF PAVEMENT
	PROP. EDGE OF PAVEMENT
	EXIST. VERTICAL GRANITE CURB
	PROP. VERTICAL GRANITE CURB
	PROP. VERTICAL CONC. CURB
	PROP. PYLON SIGN
	PROP. SIGN
	EXIST. GATE
	MA HIGHWAY BOUND
	NUMBER OF PARKING SPACES
	PROP. SNOW STORAGE AREA
	TEST PIT
	PROP. TEST PIT



Issue Date: 08/21/2020

Revisions		
No.	Date	Description

Project Number: 20-572
 Scale: As Shown
 Designed By: CMS
 Drawn By: CMS Checked By: HC

Sheet Title:
SITE LAYOUT PLAN

52 EAST CENTRAL STREET, FRANKLIN, MA
 ZONING ANALYSIS TABLE DOWNTOWN COMMERCIAL (DC)

ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	5,000 S.F.	20,802 S.F.	20,802 S.F.
MIN. FRONTAGE	50'	243.30'	243.30'
MIN. LOT WIDTH	50'	>50'	>50'
MIN. LOT DEPTH	45'	>45'	>45'
MIN. FRONT SETBACK	5'	15.5'	15.5'
MIN. REAR SETBACK	N/A*	N/A*	N/A*
MIN. SIDE SETBACK	0'	15'	15'
MAX. BLDG. HEIGHT	40'/3 STORIES	20'+/-	20'+/-
MAX. BLDG. COVERAGE	80%	16%	16%
MAX. LOT COVERAGE	90%	82%	82%

PARKING DATA

PROPOSED C-STORE:
 ONE (1) SPACE FOR EACH FIVE HUNDRED
 (500) SQUARE FEET OF OF GROSS FLOOR AREA
 TOTAL AREA = 2,223 S.F./500 S.F.

TOTAL PARKING SPACES REQUIRED:	= 5 SPACES
PARKING SPACES PROVIDED:	= 10 SPACES
PLUS 8 SPACES @ PUMPS	= 8 SPACES
TOTAL PARKING PROVIDED	= 18 SPACES

DRAINAGE NOTES:

- THERE WILL BE NO CHANGE IN GRADE FROM PROPOSED MODIFICATIONS SHOWN ON SITE PLAN.
- THERE WILL BE NO INCREASE IN RUNOFF OR IMPERVIOUS AREAS WITH PROPOSED MODIFICATIONS SHOWN ON SITE PLAN.
- THERE WILL BE NO CHANGE TO EXISTING DRAINAGE PATTERNS FROM PROPOSED MODIFICATIONS SHOWN ON SITE PLAN.

SITE DATA :
 ADDRESS: 52 EAST CENTRAL STREET,
 FRANKLIN, MA 02038

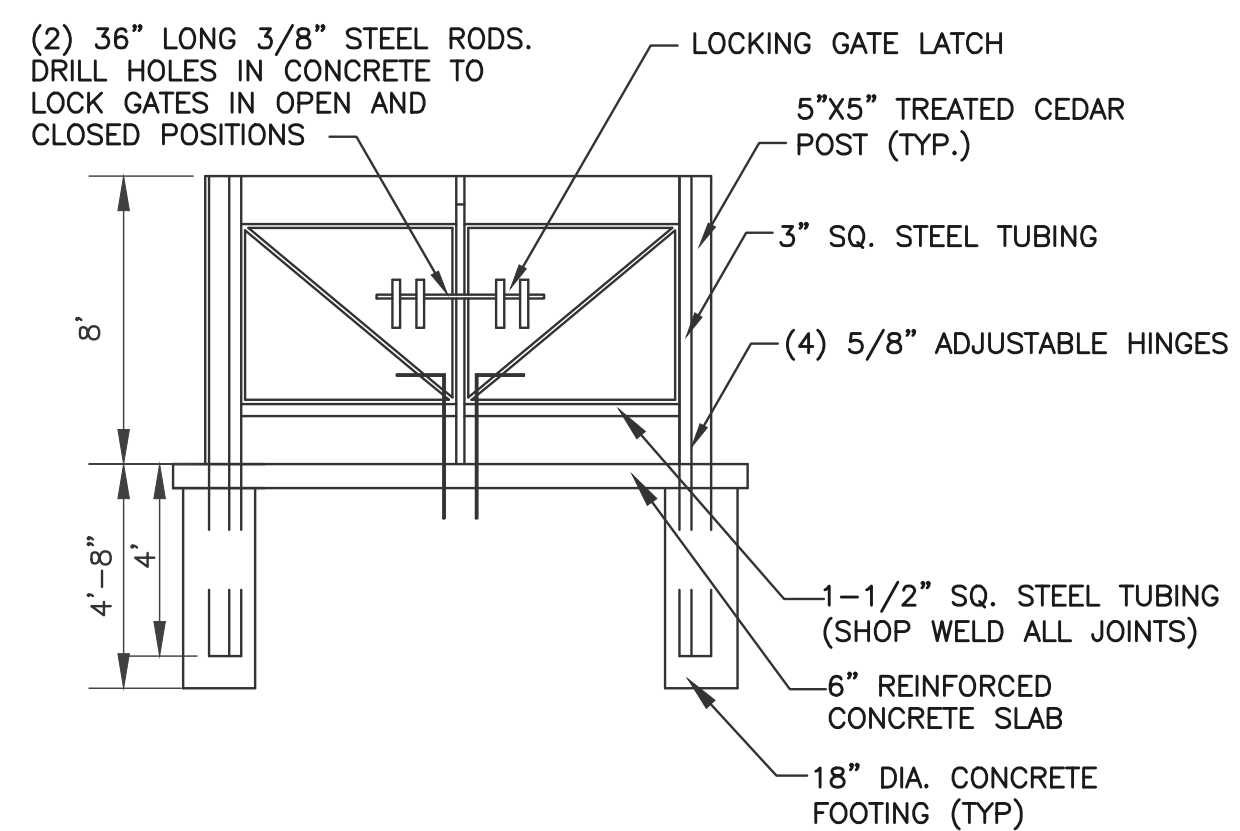
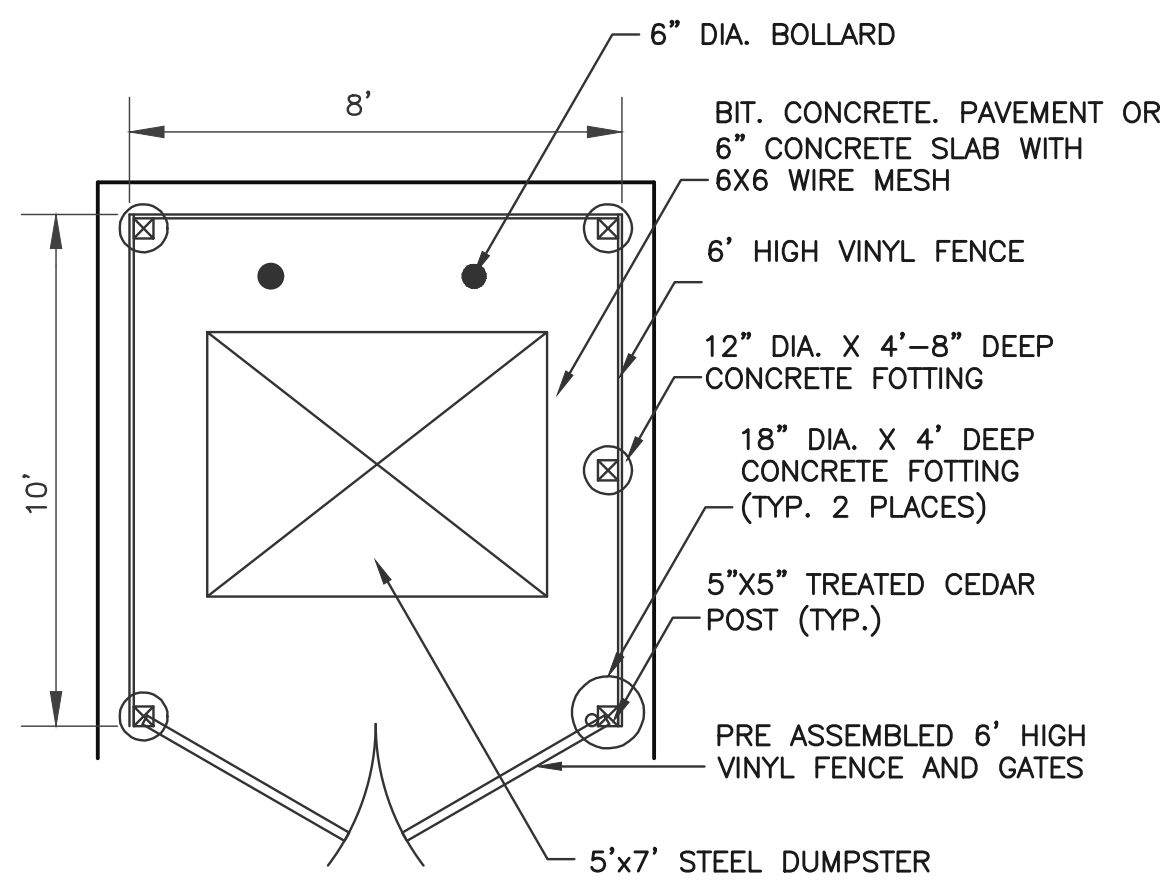
ZONING DISTRICT:
 DOWNTOWN COMMERCIAL DISTRICT

TOTAL AREA: 0.46± ACRES

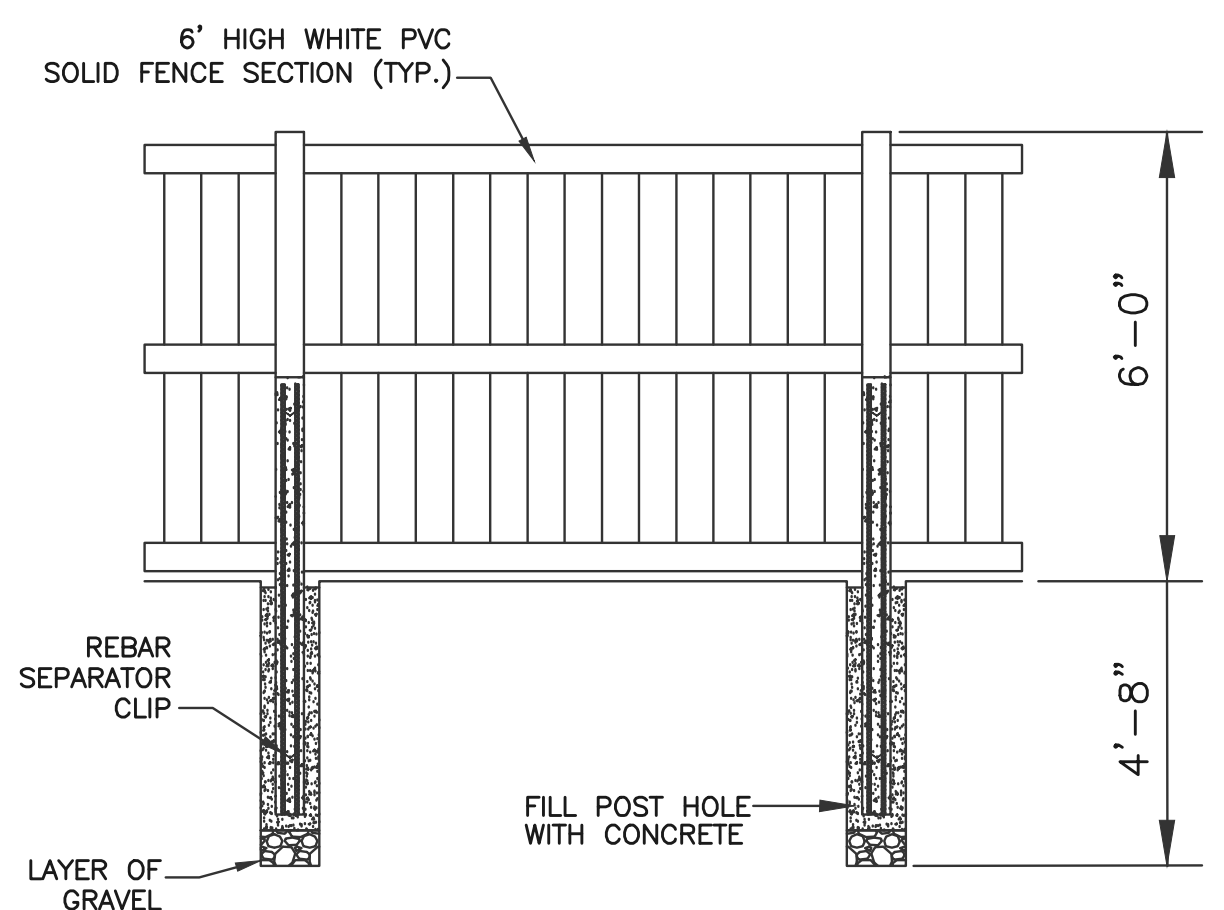
OWNER ON RECORD:
 52 EAST CENTRAL, LLC
 1 IRON GATE DRIVE
 FRANKLIN, MA 02038

PROPOSED USE:
 GASOLINE FILLING STATION
 WITH CONVENIENCE STORE &
 COFFEE SHOP WITH DRIVE THRU

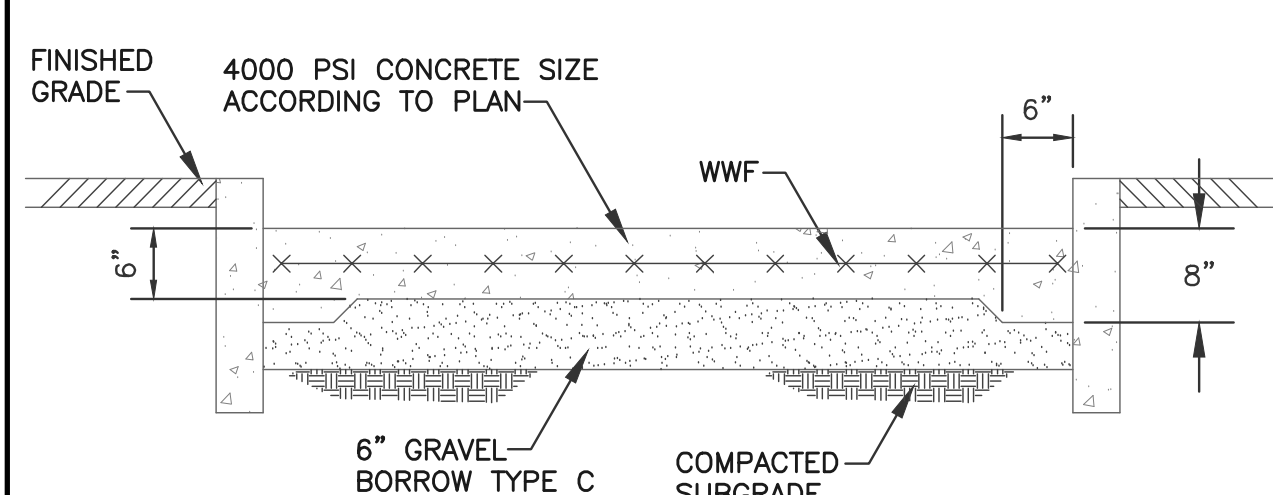
(PER FRANKLIN, MA ZONING BY LAWS ARTICLE 1 SECTION 185-3 DEFINITIONS, "FRONTAGE")
 * ON CORNER LOTS, WITH REGARDS TO SETBACK REQUIREMENTS,
 BOTH SIDES OF THE LOT ABUTTING THE STREET SHALL SERVE AS
 FRONTAGE. SUCH LOTS SHALL BE CONSIDERED AS HAVING TWO FRONT
 YARDS, AND ALL OTHER YARDS SHALL BE CONSIDERED SIDE YARDS.



DUMPSTER ENCLOSURE
NOT TO SCALE

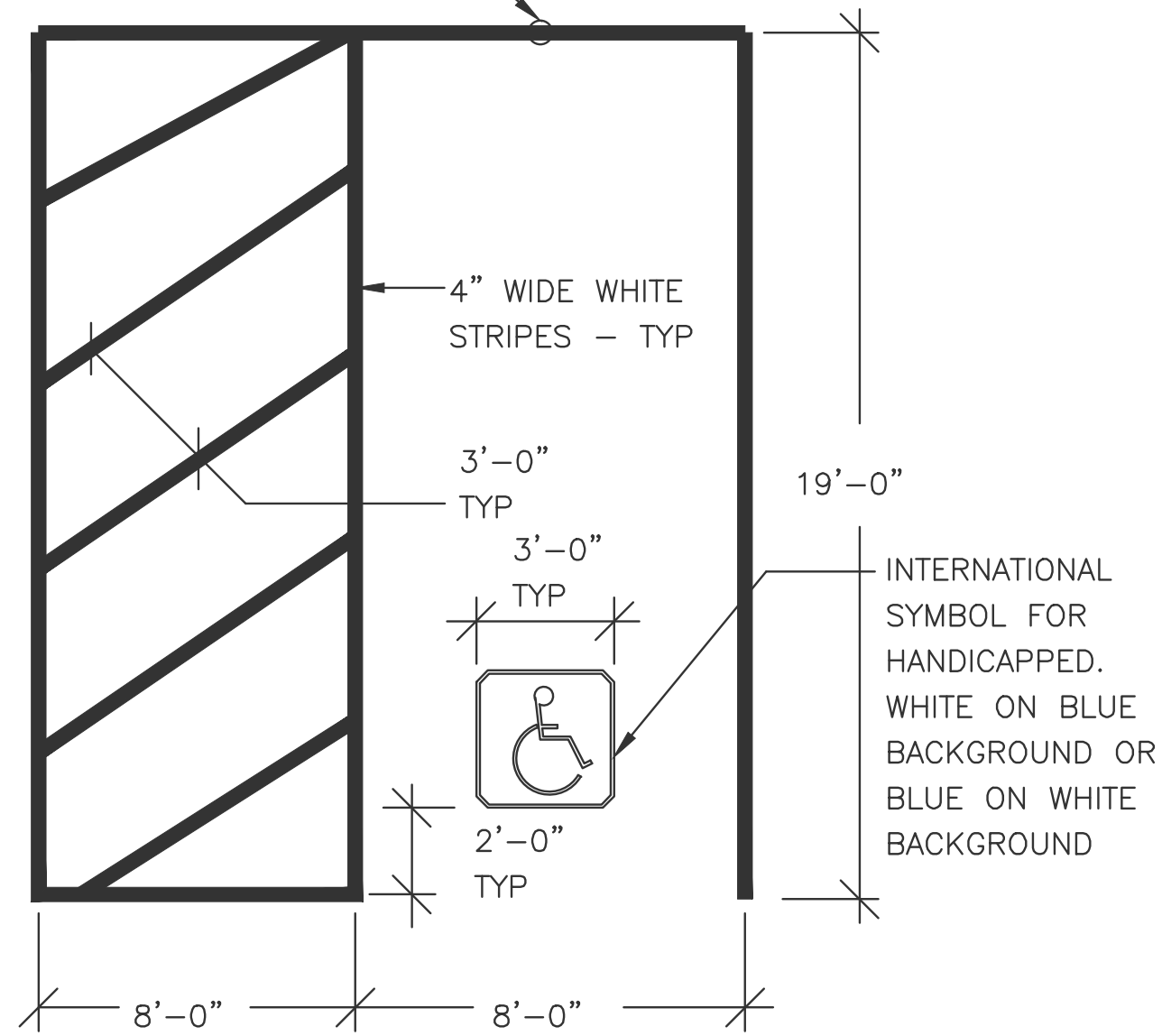


6' HIGH WHITE PVC FENCE DETAIL
NOT TO SCALE

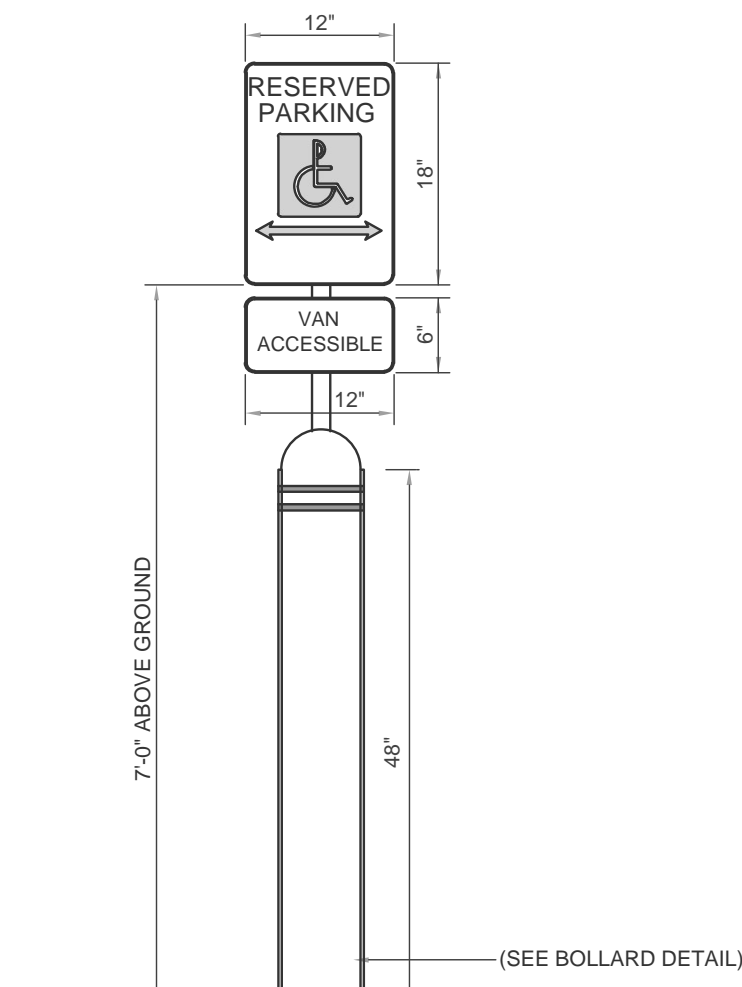


DUMPSTER PAD
NOT TO SCALE

HANDICAP SIGN PER HANDICAP STANDARDS INCLUDING VAN SIGN

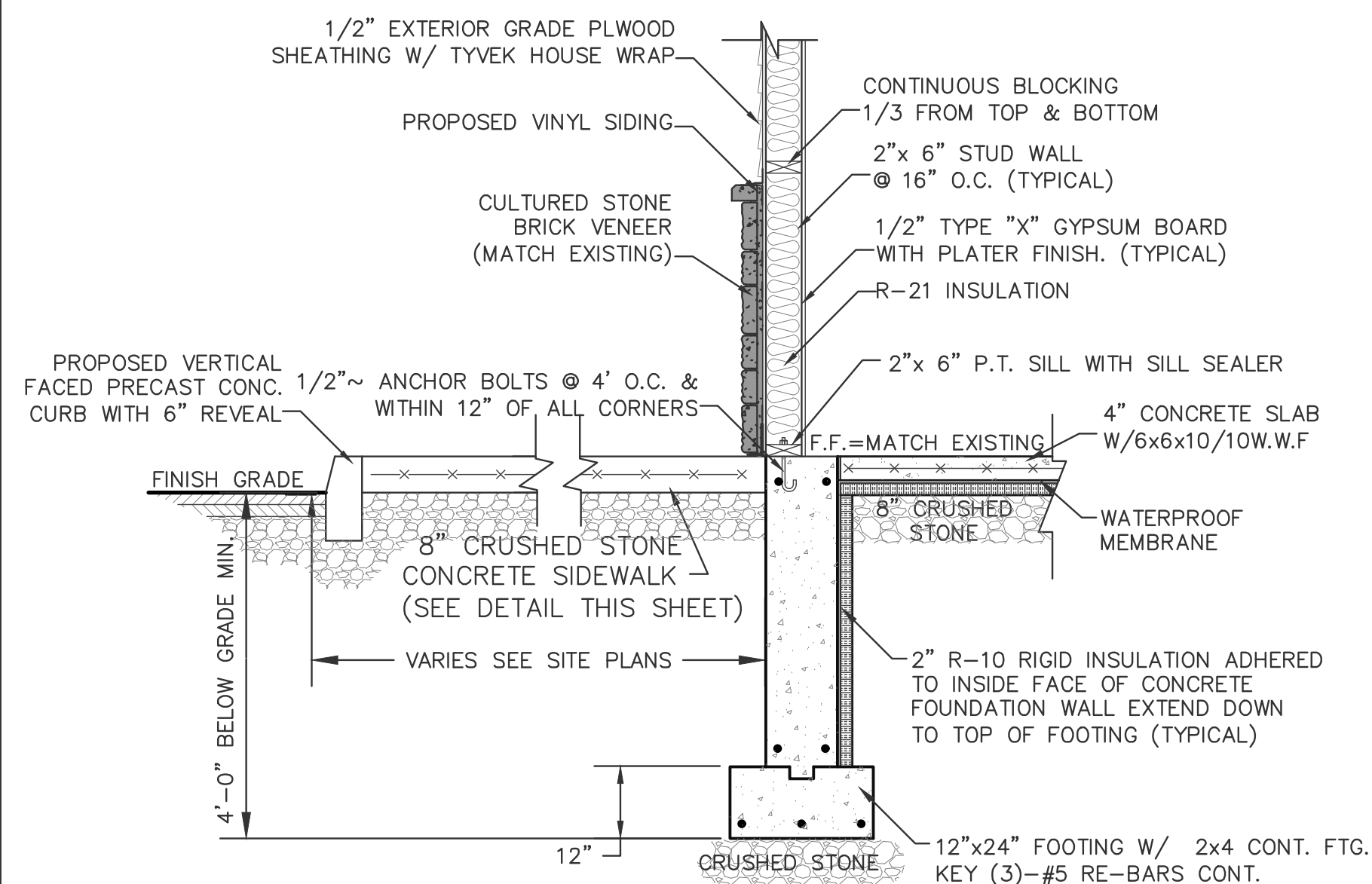


PARKING DETAIL
NOT TO SCALE



NOTES:
1. REFLECTIVE WHITE BACKGROUND GREEN LETTERING AND SYMBOL. LETTERING MINIMUM 1" HEIGHT.
2. SIGN TO BE MOUNTED ON 2" METAL POST CENTERED ON 6" CONCRETE BOLLARD. USE CAULKING @ THE CONNECTION POINT.
3. ONE SIGN PER ACCESSIBLE SPACE.

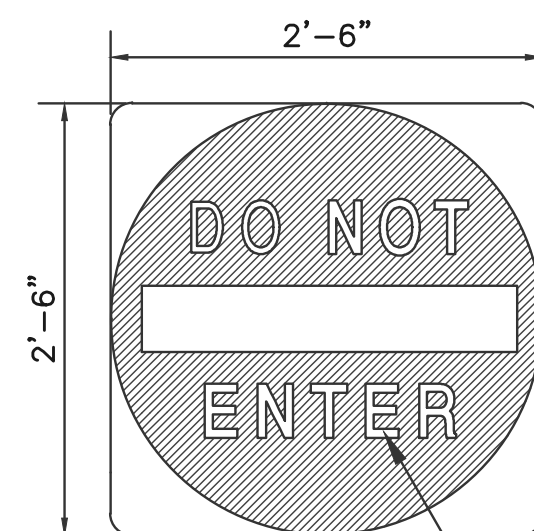
HANDICAP SIGN ON BOLLARD DETAIL
NOT TO SCALE



F-1 FOUNDATION WALL DETAIL
NOT TO SCALE

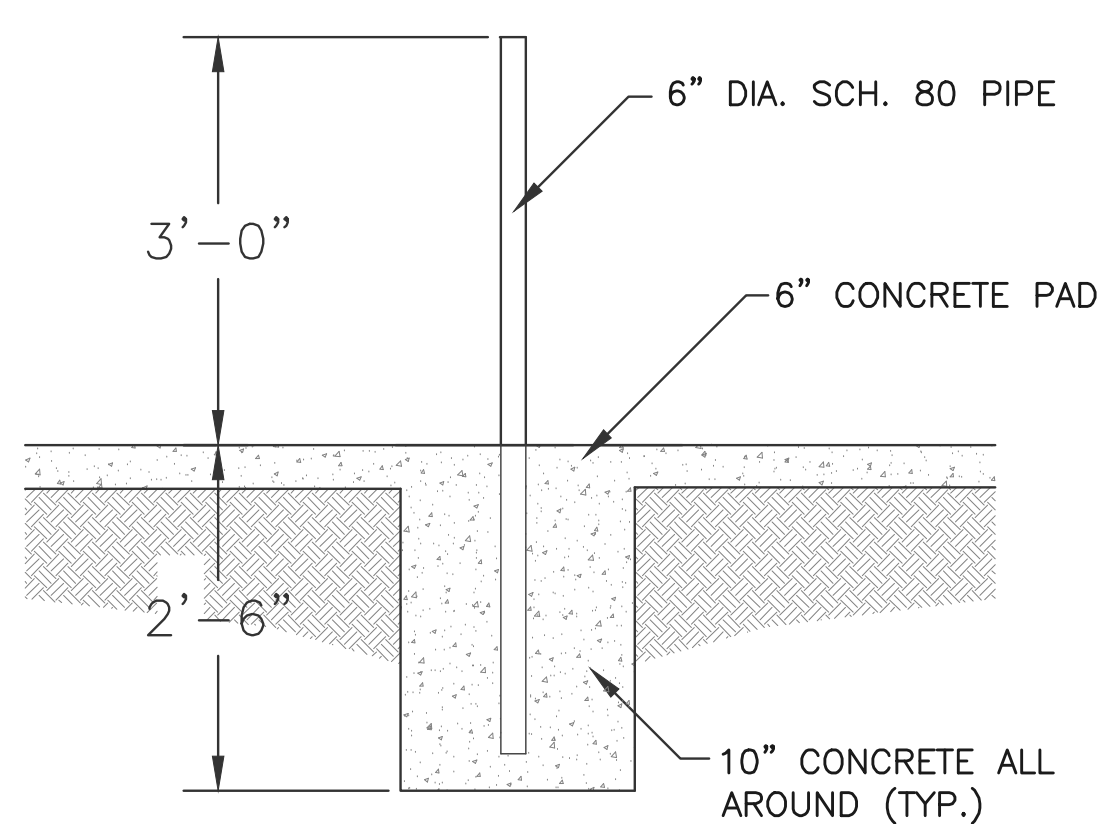


HANDICAP SIGN W/ VAN ACCESSIBLE PLATE
NOT TO SCALE

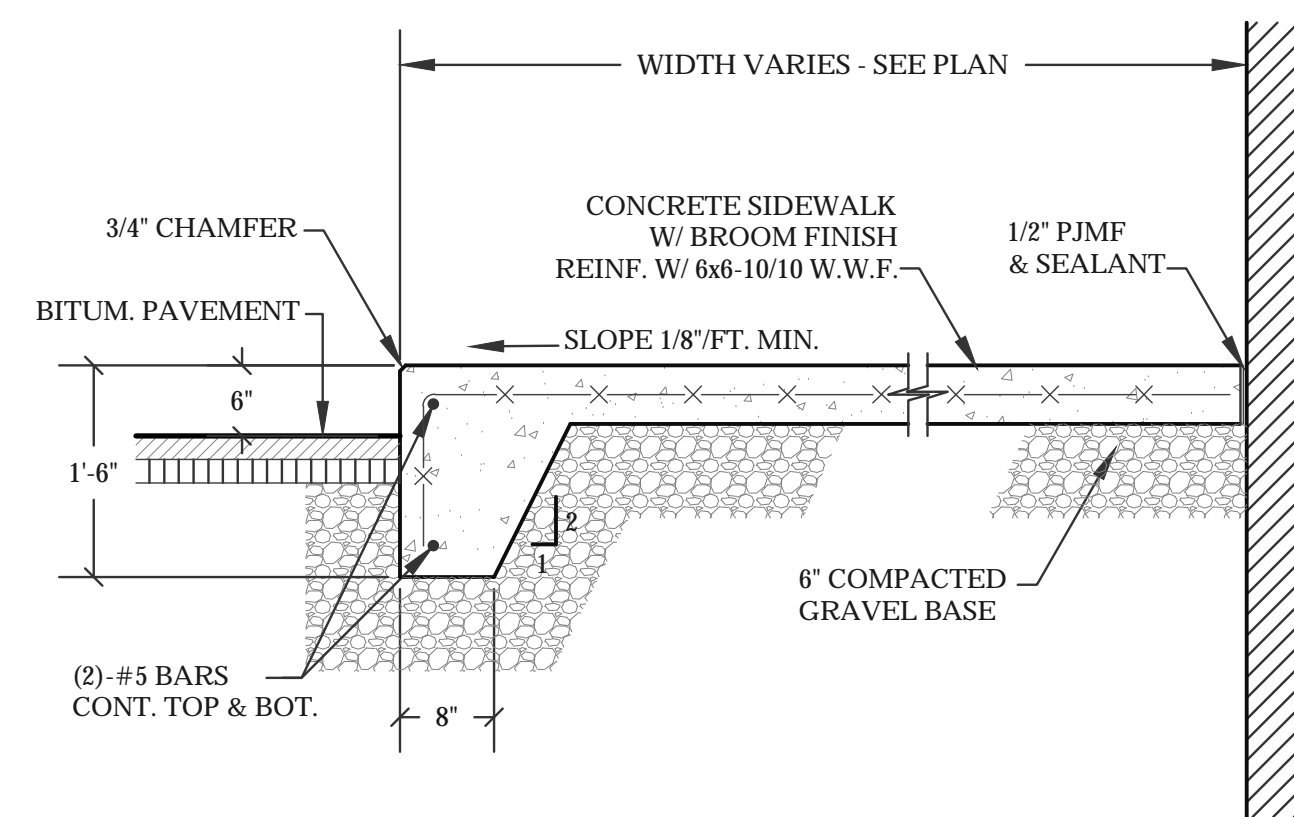


SIGN SPECIFICATIONS:
MIN. 1" IN HEIGHT WHITE LETTERING ON RED BACKGROUND
DIMENSIONS: 30"x30"
COLOR: WHITE BACKGROUND W/ RED MASKING
SIGN SHALL BE CONSPICUOUSLY POSTED IN FRONT OF DRIVEWAY OPENING

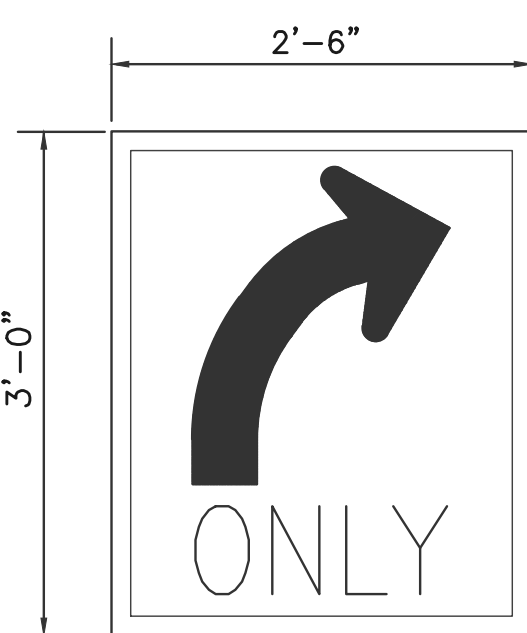
DO NOT ENTER SIGN
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



TYP. CONC. WALK DETAIL
NOT TO SCALE



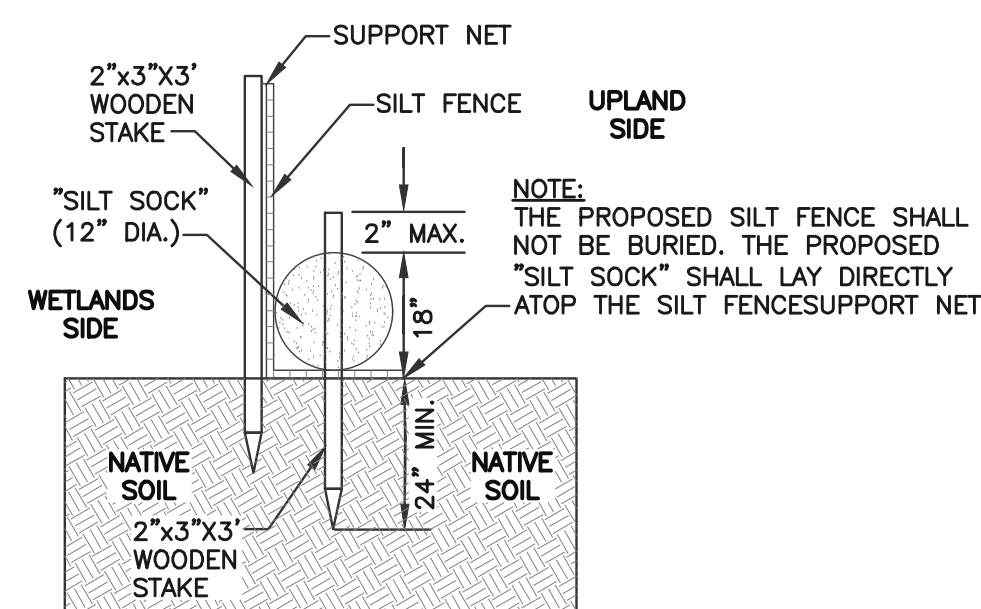
"RIGHT TURN ONLY" SIGN
NOT TO SCALE



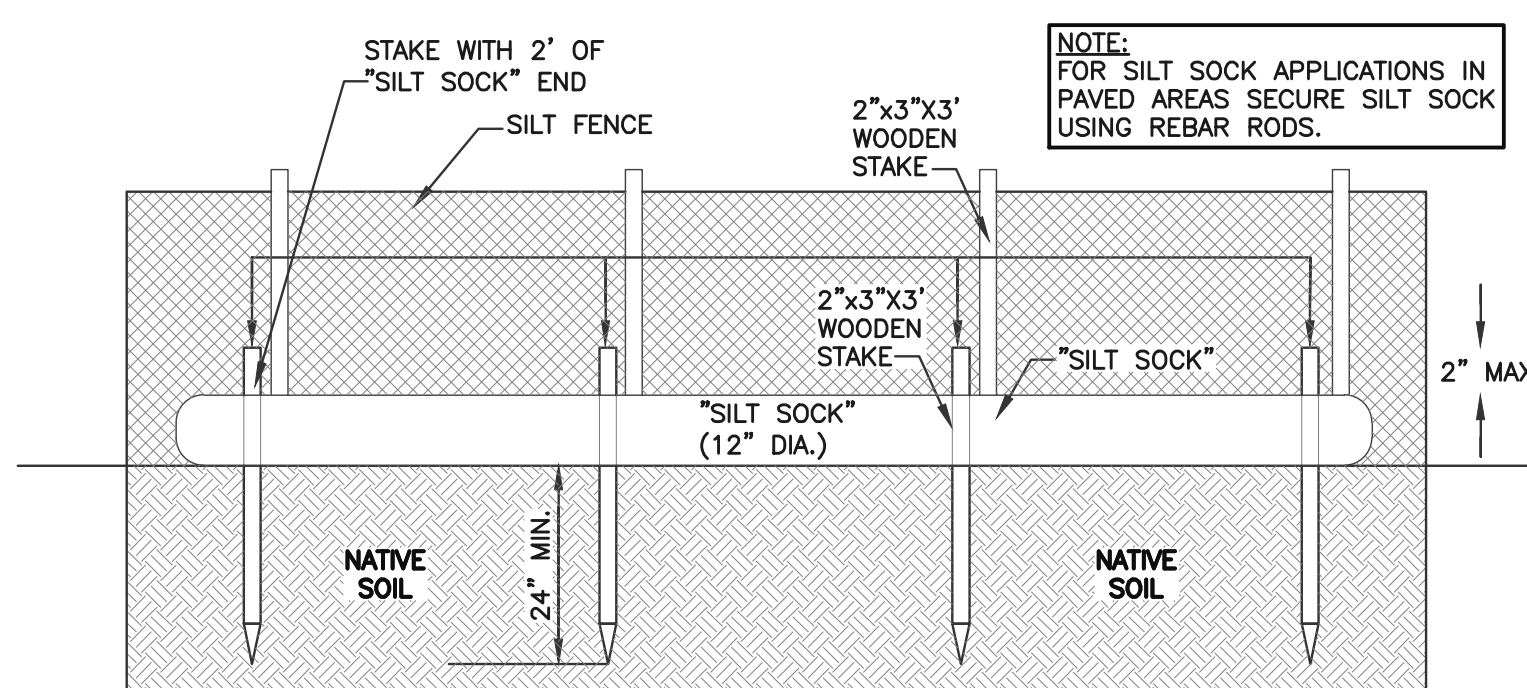
STOP SIGN DETAIL
NOT TO SCALE



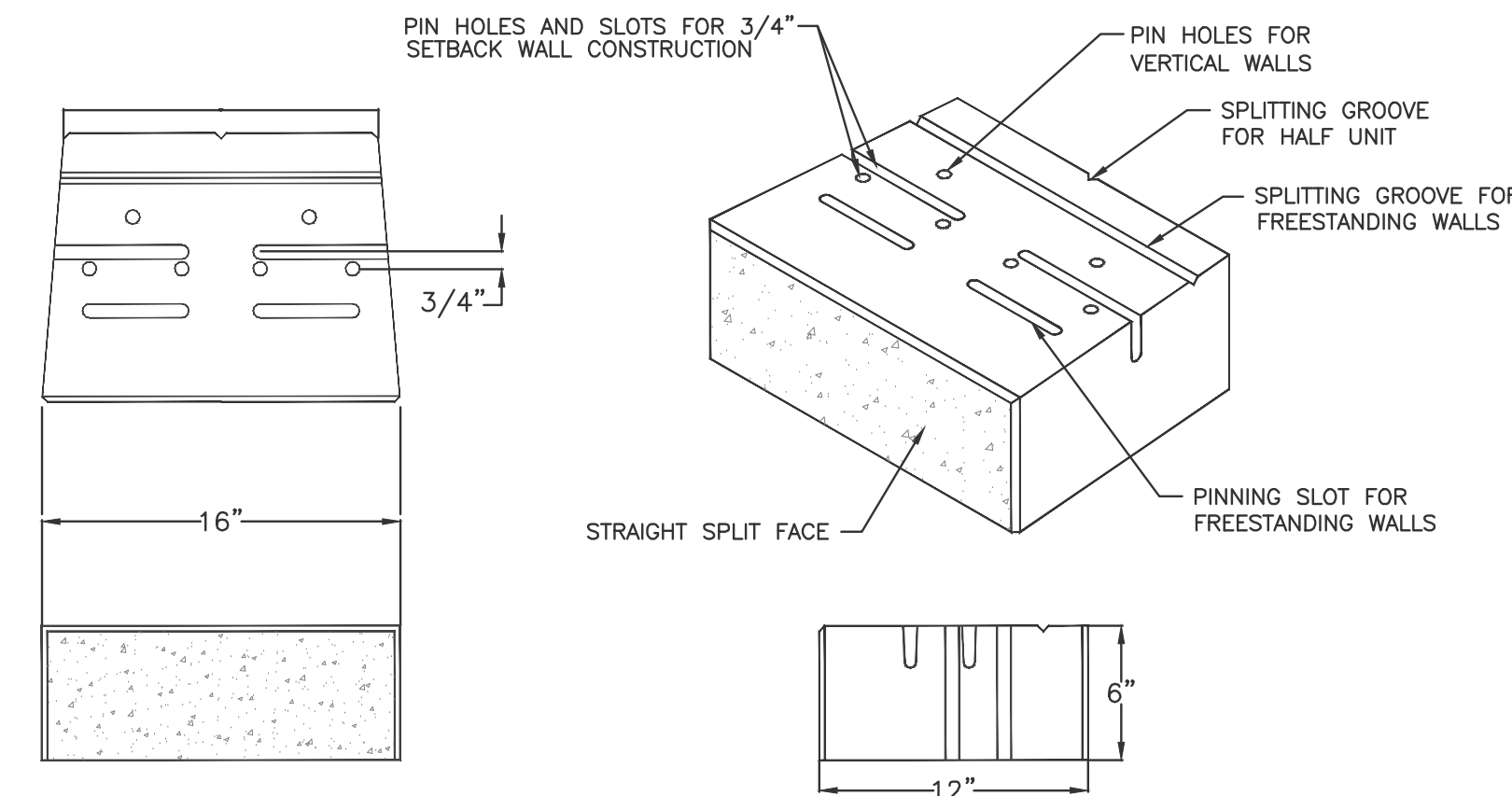
PROPOSED PEDESTRIAN CROSSING SIGN
NOT TO SCALE



TYPICAL "SILT SOCK" WITH SILT FENCING FOR EROSION CONTROL
NOT TO SCALE



TYPICAL "SILT SOCK" WITH SILT FENCING FOR EROSION CONTROL
NOT TO SCALE



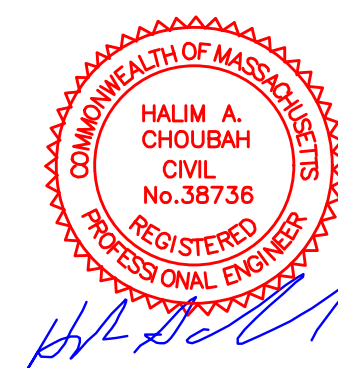
VERSA-LOK UNIT
NOT TO SCALE

Choubah Engineering Group, p.c.
CEG
Consulting Professional Engineers

112 STATE ROAD (ROUTE 6),
No. DARTMOUTH, MA 02747
TEL:(508) 858-5040 FAX:(508) 858-5041
www.choubahgroup.com

Project:
PROPOSED DRIVE THRU AT 52 EAST CENTRAL STREET, FRANKLIN, MA 02038

Prepared For:
52 EAST CENTRAL ST, LLC 52 EAST CENTRAL STREET, FRANKLIN, MA 02038



Issue Date: 08/21/2020

Revisions		
No.	Date	Description

Project Number: 20-572

Scale: As Shown

Designed By: CMS

Drawn By: CMS Checked By: HC

Sheet Title:

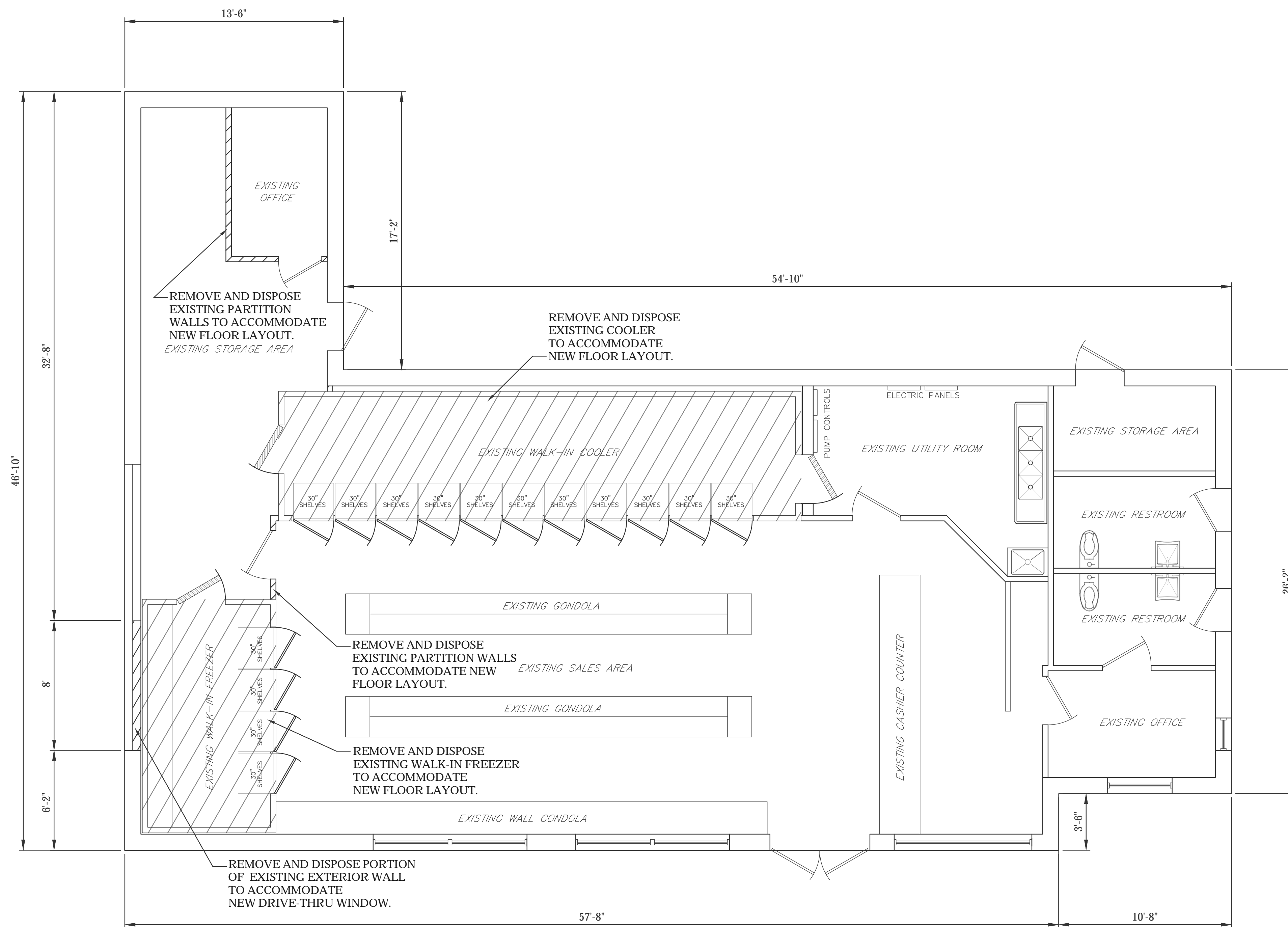
SITE DETAILS

Sheet Number: 4 OF 8



GENERAL NOTES:

1. PROPOSED MODIFICATIONS & CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE 9th EDITION AND ITS APPLICABLE REFERENCED STANDARDS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE PORTION OF THE WORK.
3. DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE FOR MOST NEARLY SIMILAR CONDITIONS AS DETERMINED BY THE ENGINEER.
4. ELECTRICAL WORK AND SERVICE UPGRADES SHALL BE IN ACCORDANCE WITH THE GOVERNING CODES, REGULATIONS AND ORDINANCES. THESE REQUIREMENTS ARE MINIMUM CRITERIA AND NO REDUCTIONS IN STANDARDS PERMITTED BY CODES WILL BE ALLOWED.
5. PROPOSED MODIFICATIONS SHOWN ON THIS PLAN ARE ASSOCIATED WITH THE MODIFICATION OF AN EXISTING 2,223 +/- S.F. ONE STORY BUILDING AT 52 EAST CENTRAL STREET IN FRANKLIN, MA. THE PROPOSED MODIFICATIONS SHOWN ARE TO ADD A COFFEE SHOP WITH DRIVE-THRU TO THE EXISTING FLOOR SPACE.
6. PROPOSED MODIFICATIONS ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE LOCAL BUILDING AND BOARD OF HEALTH INSPECTORS IN COMPLIANCE WITH ALL APPLICABLE BUILDING AND HEALTH CODES.
7. THIS ENGINEER IS NOT RESPONSIBLE FOR ANY HIDDEN STRUCTURAL PROBLEMS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ANY UNSUITABLE OR SURPLUS MATERIALS PROPERLY OFF SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE ENVIRONMENTAL CODES.
9. THE CONTRACTOR SHALL SHORE, BRACE, SHEET PILE OR OTHERWISE SUPPORT THE STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES. SHORING DESIGN SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
10. HEADERS SHALL BE PLACED ACROSS TOP OF SHORING POSTS AND SHALL BE TIGHT AGAINST UNDERSIDE OF STRUCTURE ABOVE.
11. SHORING SHALL BEAR ON SLEEPERS TO PREVENT DAMAGE TO STRUCTURE BELOW.
12. NEW STRUCTURAL SYSTEM SHALL BE COMPLETELY INSTALLED AND CAPABLE OF SUPPORTING DESIGN LOADS BEFORE SHORES ARE REMOVED. SHORES SHALL BE RELEASED GRADUALLY.



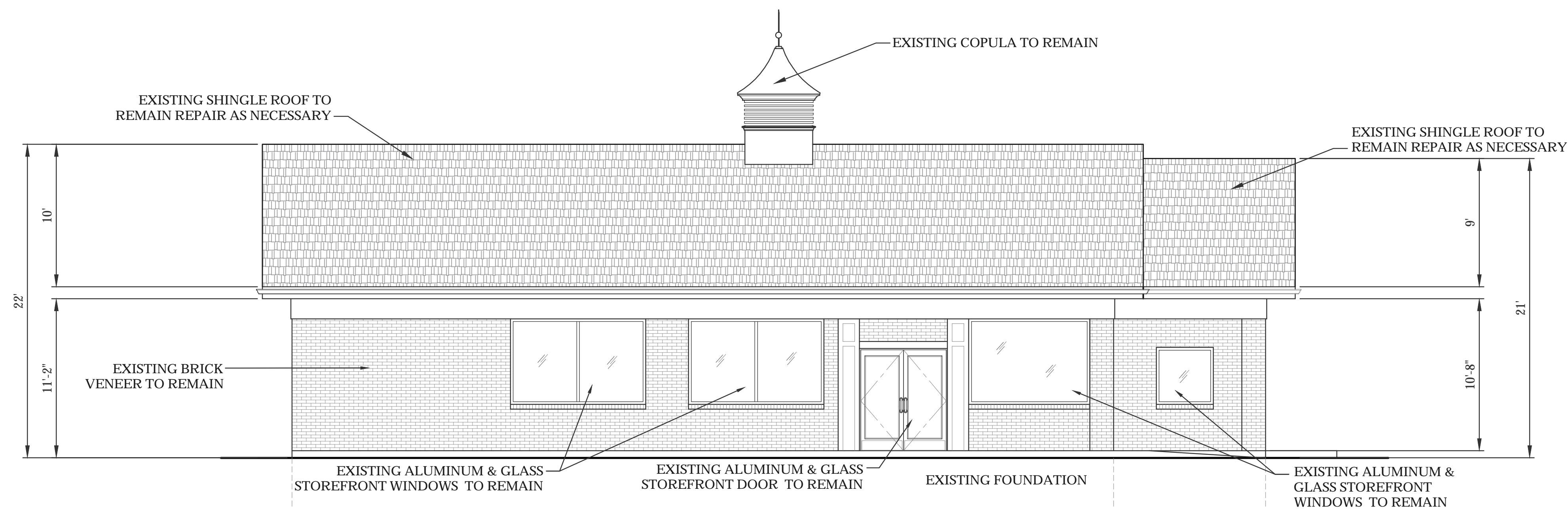
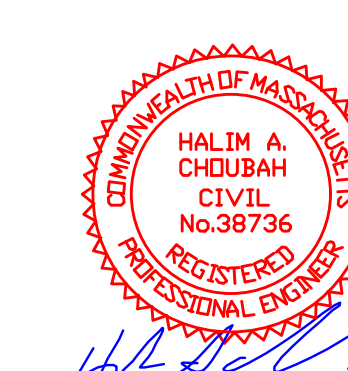
EXISTING FLOOR LAYOUT
 SCALE: 1/4"=1'-0"

WALL LEGEND	
	-EXISTING WALLS TO REMAIN
	-EXISTING WALLS TO BE REMOVED

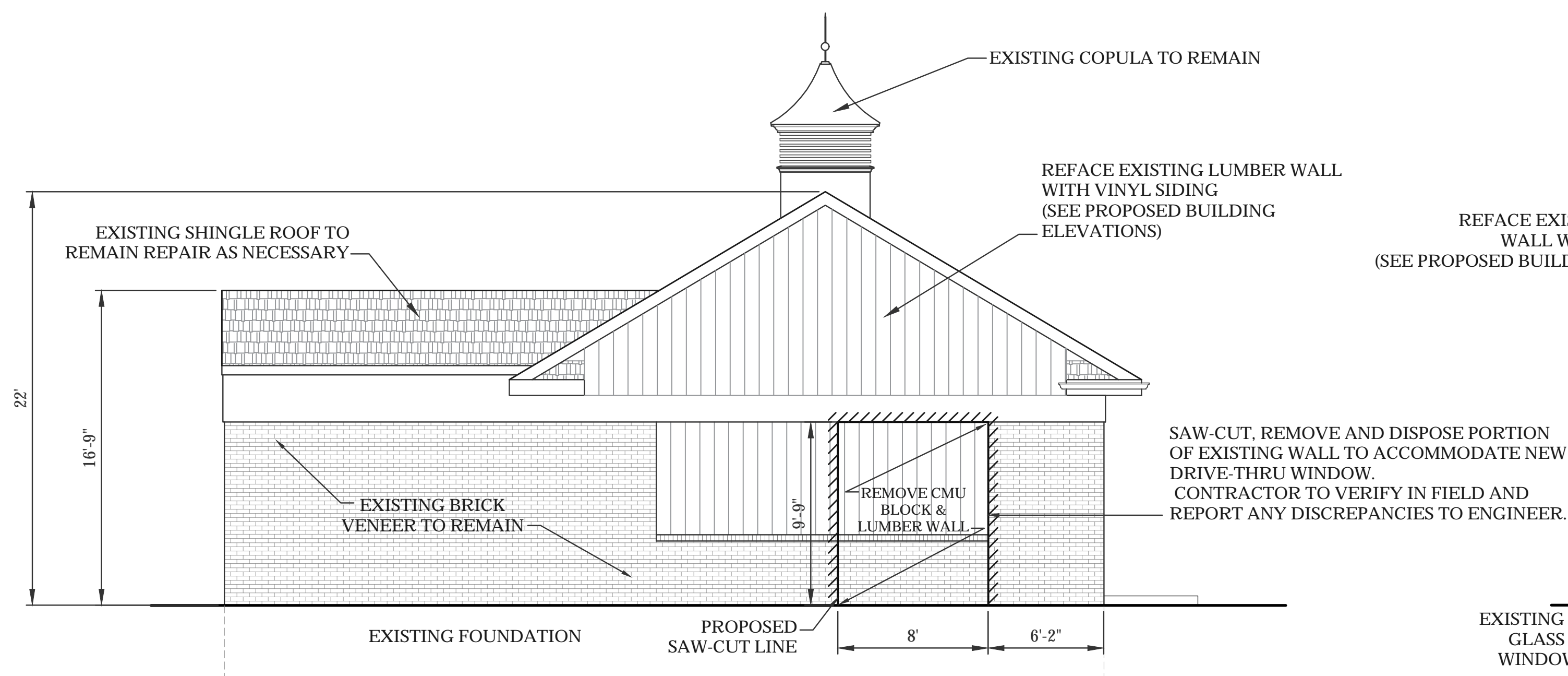
Revisions		
No.	Date	Description

Issue Date: 08/21/2020
 Project Number: 20-572
 Scale: AS SHOWN
 Designed By: CMS
 Drawn By: CMS | Checked By: HC

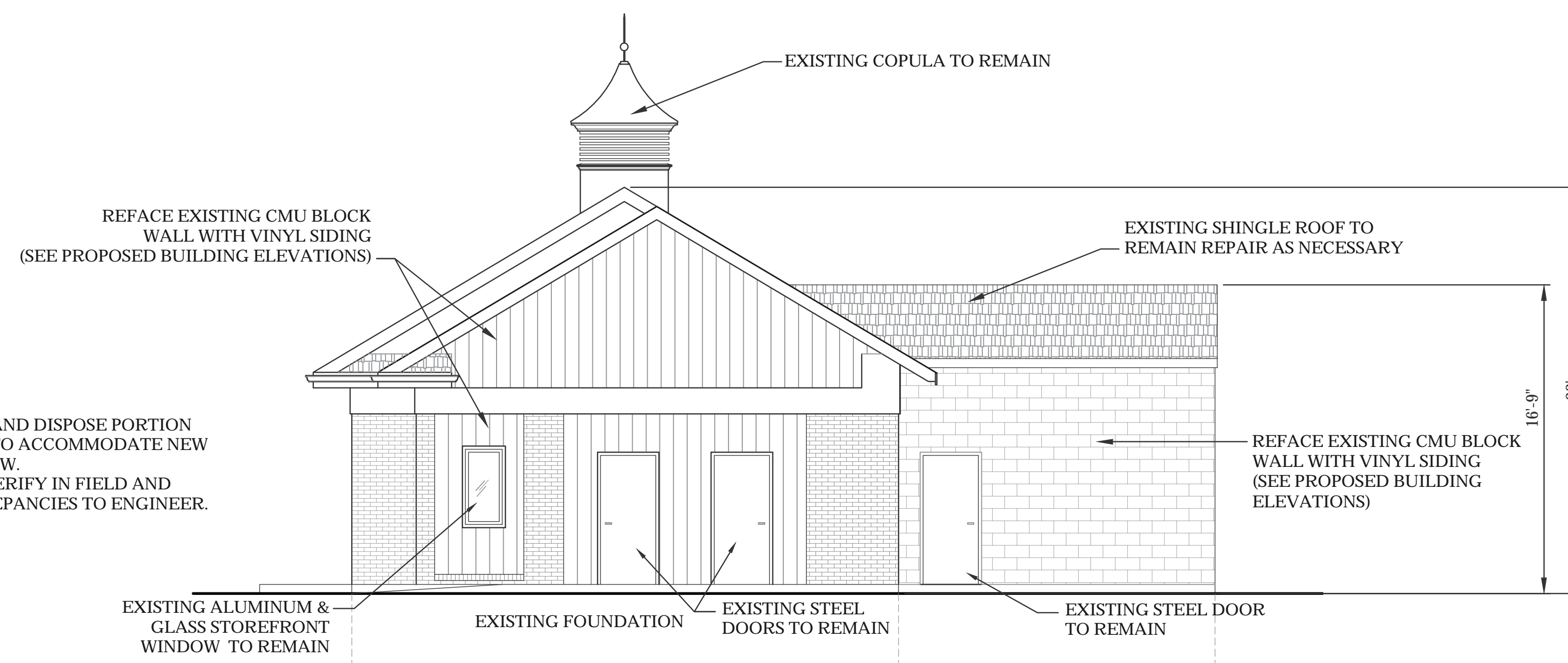
Sheet Title:
EXISTING FLOOR LAYOUT



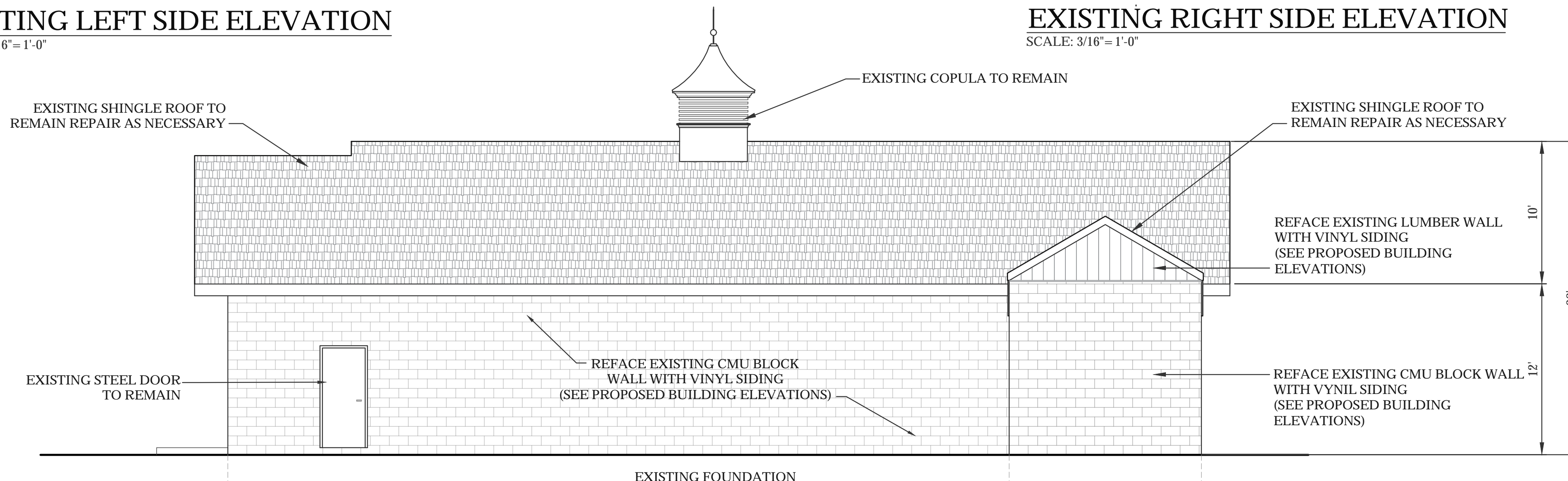
EXISTING FRONT ELEVATION
 SCALE: 3/16" = 1'-0"



EXISTING LEFT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



EXISTING RIGHT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



EXISTING REAR ELEVATION
 SCALE: 3/16" = 1'-0"

Issue Date: 08/21/2020

Revisions		
No.	Date	Description

Project Number: 20-572

Scale: AS SHOWN

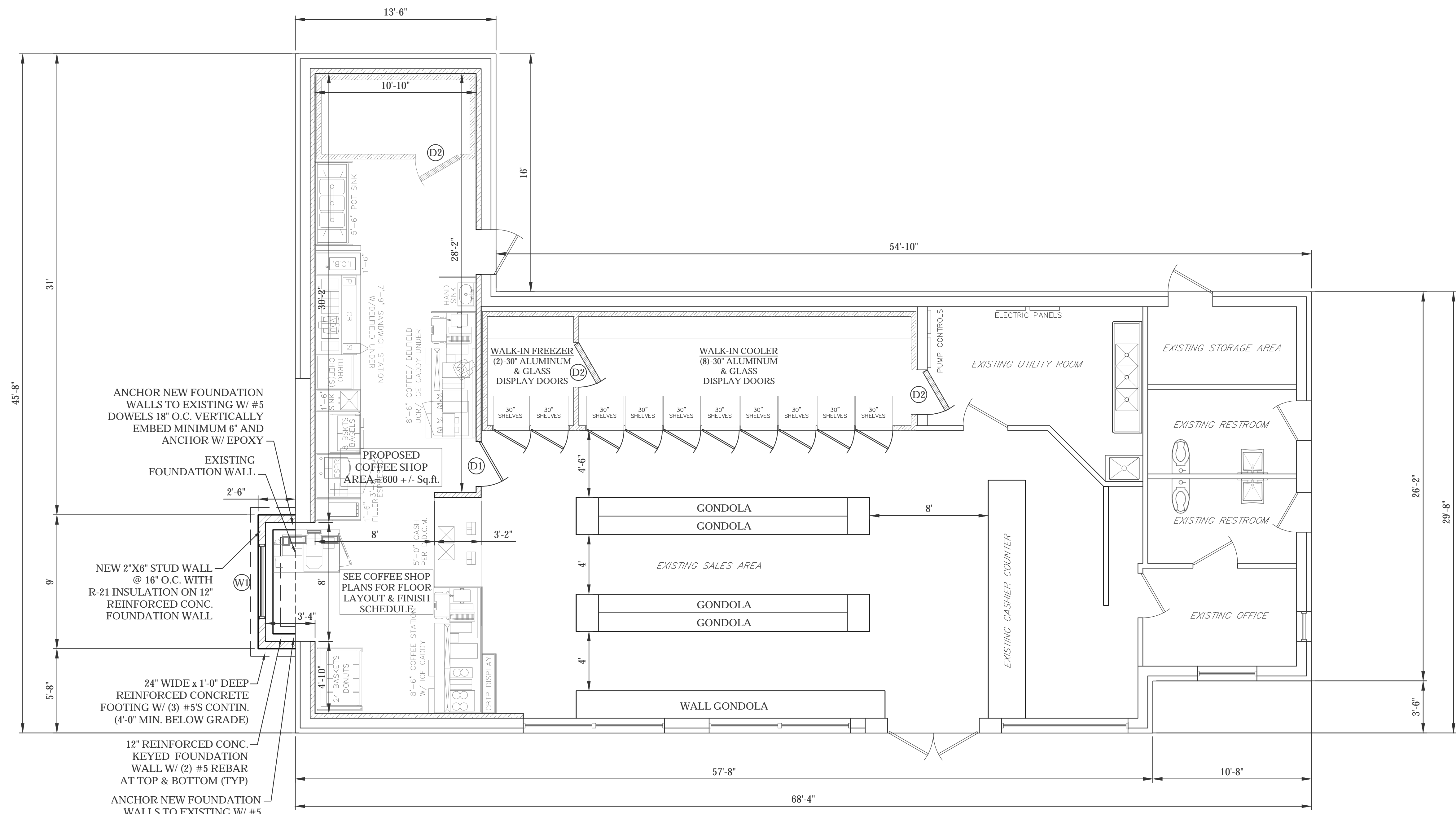
Designed By: CMS

Drawn By: CMS

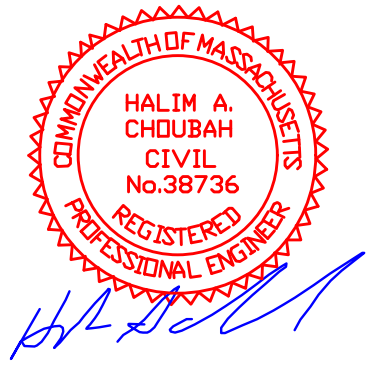
Checked By: HC

Sheet Title:

EXISTING ELEVATIONS



PROPOSED FLOOR LAYOUT
 SCALE: 1/4" = 1'-0"



Revisions		
No.	Date	Description

Issue Date: 08/21/2020
 Project Number: 20-572
 Scale: AS SHOWN
 Designed By: CMS
 Drawn By: CMS Checked By: HC
 Sheet Title:

PROPOSED FLOOR LAYOUT

Sheet Number: 7 OF 8

DOOR, FRAME & HARDWARE SCHEDULE													
NO.	QTY.	LOCATION	DOOR DATA		FRAME DATA			HARDWARE DATA				REMARKS	
			SIZE (W. x H. x T.)	MAT.	MAT.	GA.	BUTTS	DEADLATCH	PRIVACY	ENTRANCE	PUSH/PULL		CLOSER
D1	1	INTERIOR	3'-0" x 6'-8" x 1-3/4"	WOOD	ALUMIN.	-	WOOD
D2	3	INTERIOR	PER COOLER SUPPLIER										

BUTTS - EXTERIOR: STANLEY, FBB 191 (NRP) 4-1/2"x4-1/2", US26D. CLOSER: LCN, 4110, CUSH-N-STOP, STAT, PARALLEL ARM.
 BUTTS - INTERIOR: STANLEY, FBB 179 4-1/2"x4-1/2", US26D. WALL STOP: IVES, 401 US26D.
 LOCKSETS - DEADLATCH: ADAMS RITE #4710 (DEADLATCH), US26D. ONE-WAY VIEWER: IVES, 696, B26D.
 LOCKSETS - PRIVACY: SCHLAGE, D40S, SPARTA, US26D. LOCK GUARD: IVES, 184, FP.
 LOCKSETS - ENTRANCE: SCHLAGE, D50PD, SPARTA, US26D. WEATHERSTRIPPING: HEAD, JAMB & SILL PROTECTION.
 PUSH/PULL - ADAMS RITE, 4580 (PADDLE), 4593 (LATCHPULL), US26D. INCLUDING THRESHOLD BY DOOR MFR.

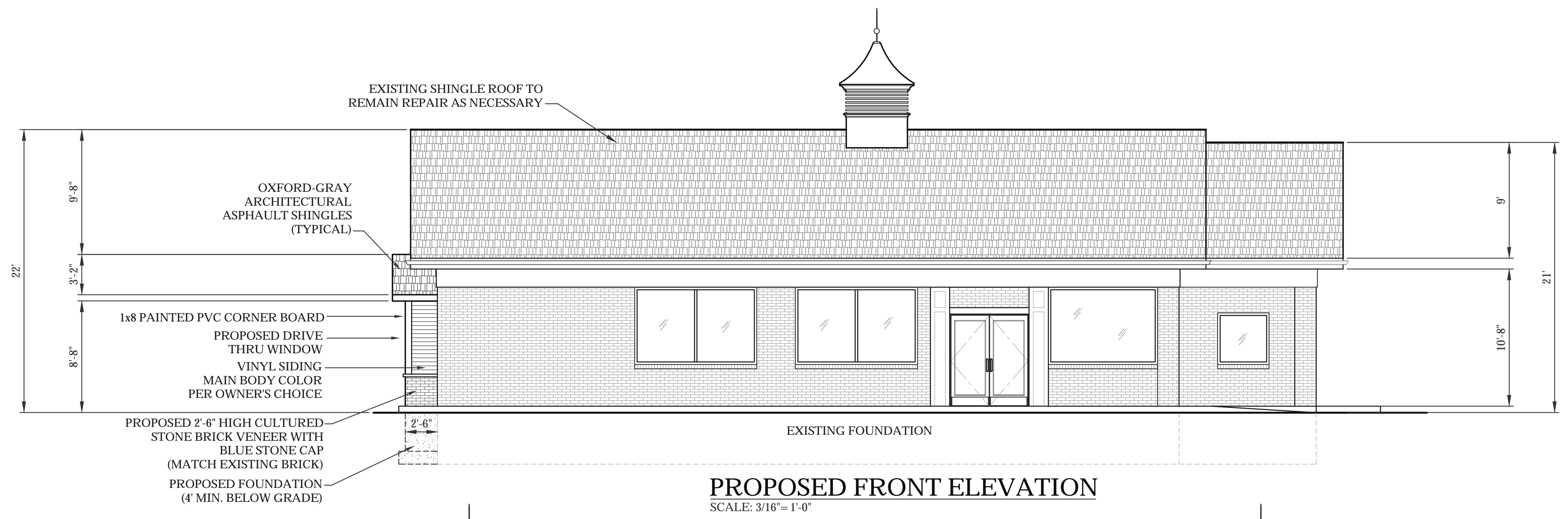
NOTES:
 1. WINDOWS & DOORS STYLE AS SHOWN ON PLANS.
 2. VERIFY ALL ROUGH OPENINGS WITH SUPPLIER PRIOR TO FABRICATION.
 3. FLOOR LAYOUT SHOWN MAY BE MODIFIED PER OWNER'S CHOICE.

WINDOW SCHEDULE (C-STORE BUILDING ONLY)				
NO.	QTY.	WINDOW DATA		REMARKS
		SIZE (W. x H. x T.)	MAT.	
W1	1	AUTOMATIC SELF CLOSING DRIVE-THRU WINDOW LOCATED BY CONTRACTOR		

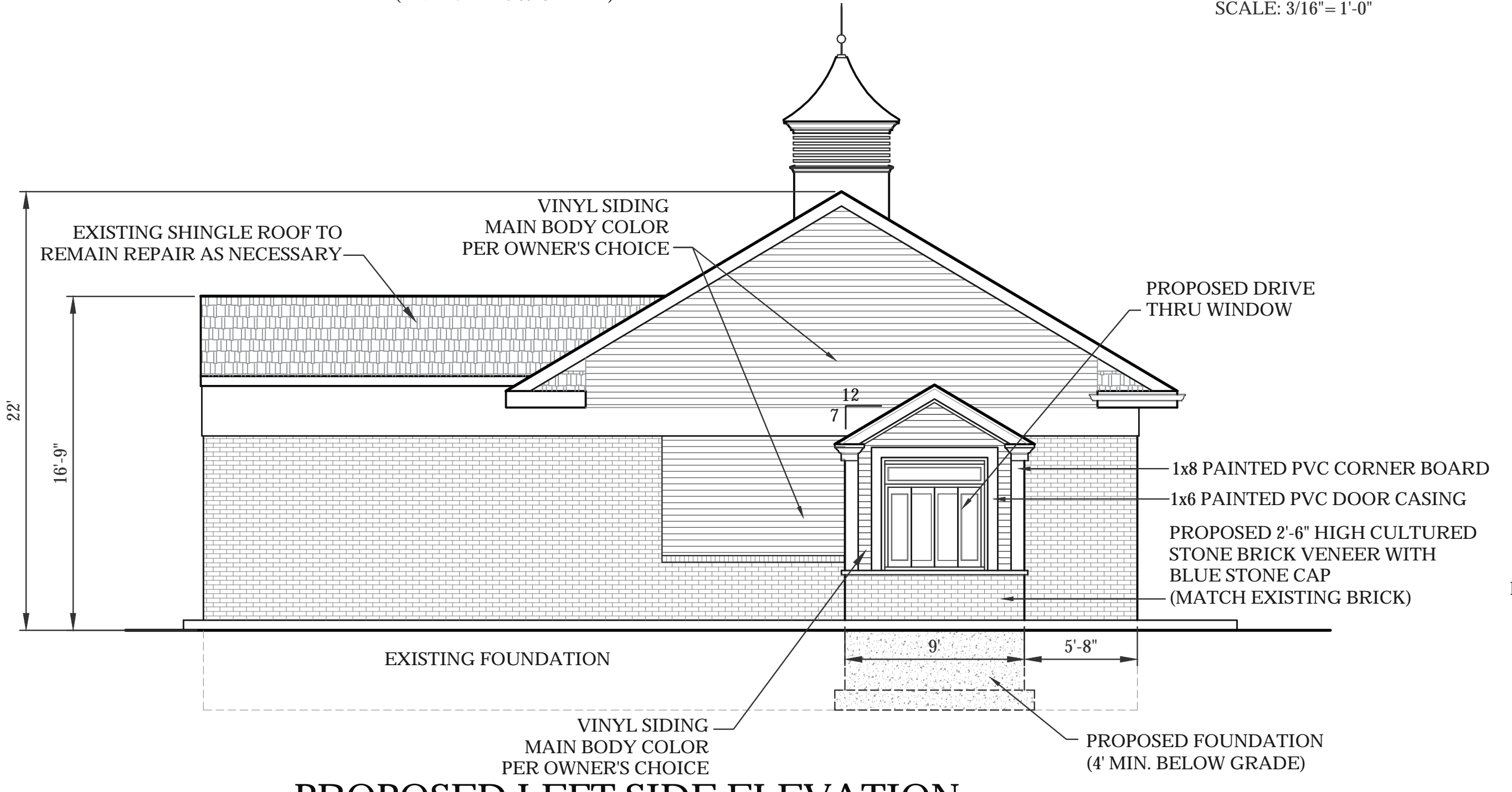
WALL LEGEND	
	-EXISTING 8" CMU BLOCK WALLS
	-PROPOSED 12" CONCRETE FOUNDATION WALL ON 24" KEYED FOOTING
	-PROPOSED 2x6 LUMBER WALLS
	-PROPOSED 2x4 INTERIOR LUMBER WALLS
	-PROPOSED INSULATED COOLER WALLS
	-PROPOSED INSULATED WALLS
	-PROPOSED 8" CMU BLOCK WALLS

Project:
**PROPOSED DRIVE THRU
 AT
 52 EAST CENTRAL STREET,
 FRANKLIN, MA 02038**

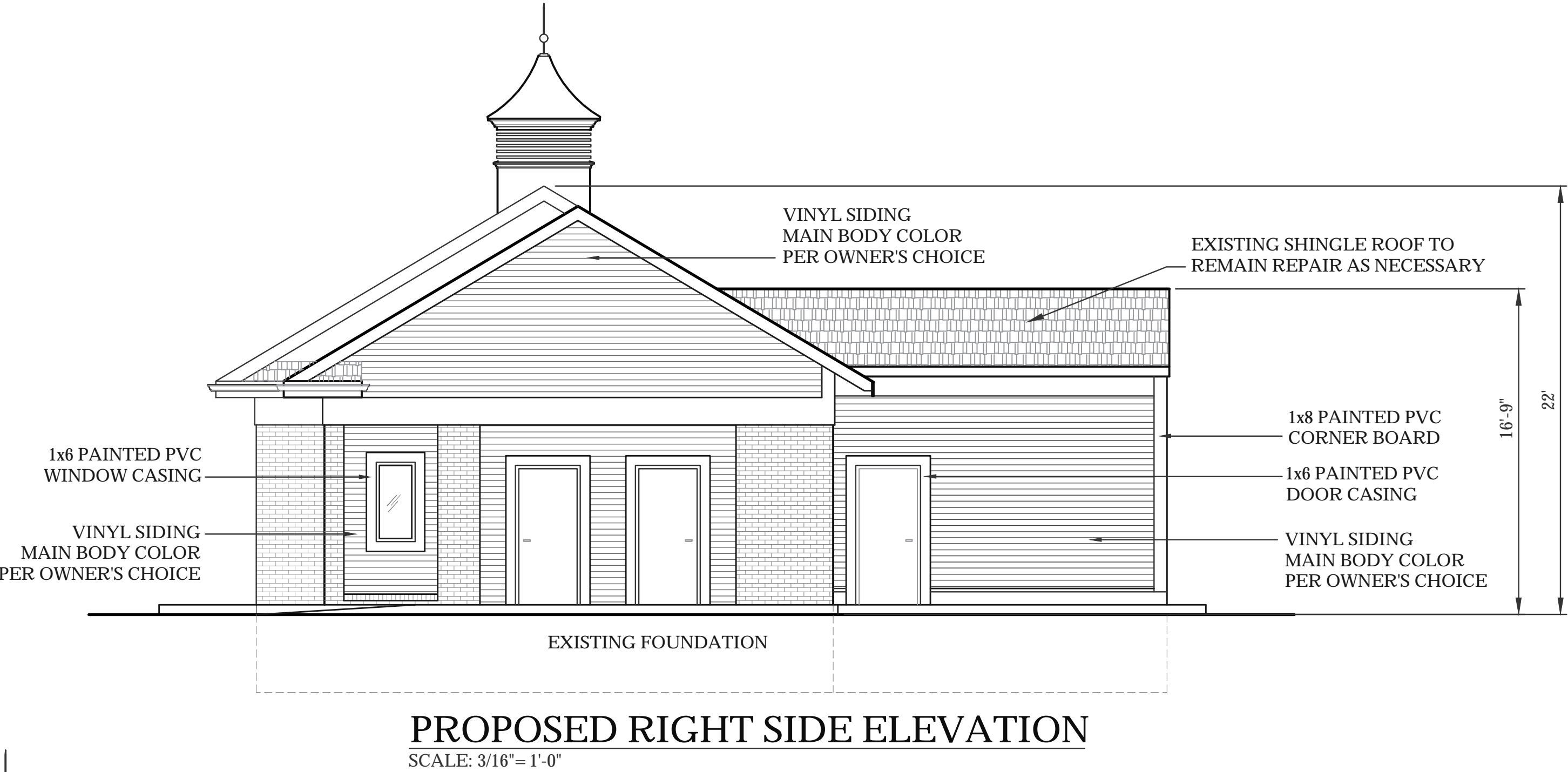
Prepared For:
**52 EAST CENTRAL ST, LLC
 1 IRON GATE ROAD
 FRANKLIN, MA 02038**



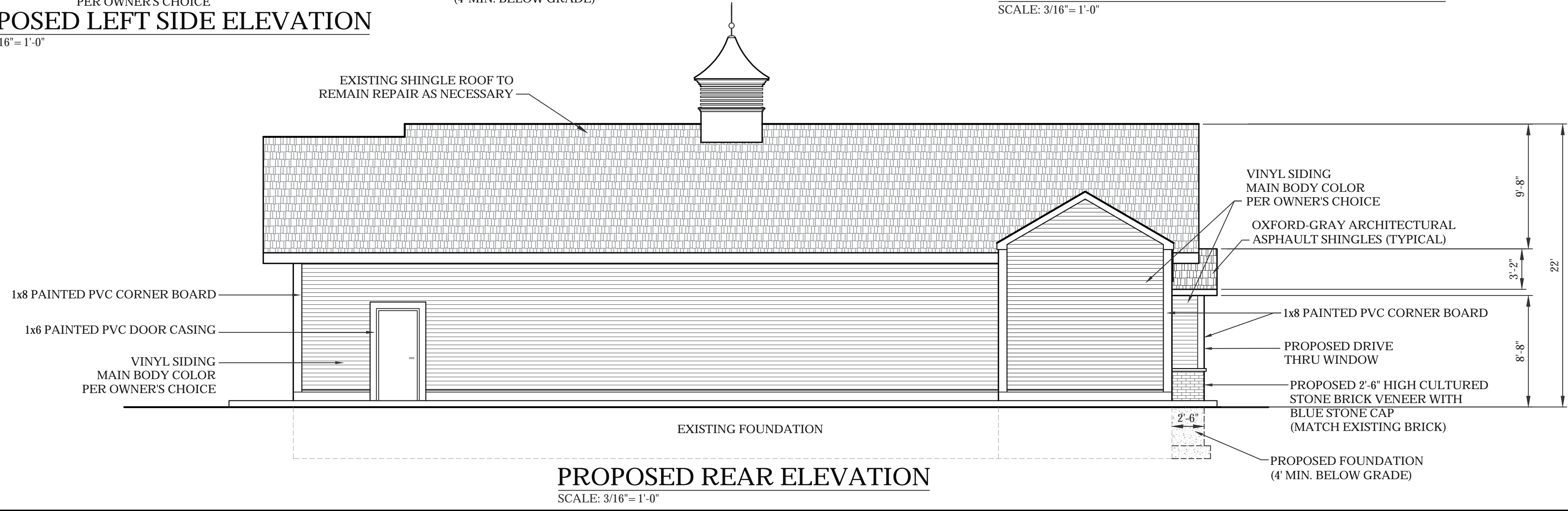
PROPOSED FRONT ELEVATION
 SCALE: 3/16" = 1'-0"



PROPOSED LEFT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



PROPOSED REAR ELEVATION
 SCALE: 3/16" = 1'-0"

Issue Date: 08/21/2020

Revisions		
No.	Date	Description

Project Number: 20-572
 Scale: AS SHOWN
 Designed By: CMS
 Drawn By: CMS Checked By: HC
 Sheet Title:

PROPOSED ELEVATIONS