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**Fisher**

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**Daniel Campbell** <dcampbell@leveldg.com>

Wed, Nov 24, 2021 at 3:33 PM

To: Amy Love &lt;alove@franklinma.gov&gt;

Cc: Matt Crowley &lt;MCrowley@beta-inc.com&gt;, Michael Maglio &lt;mmaglio@franklinma.gov&gt;

Amy –

Our client is looking forward to approval on the 6<sup>th</sup>. The attached plan is the detail of what Mike, Matt and I discussed in the field Monday. Mike and Matt had the opportunity to review and though there may be slight changes, agree in concept with the attached at the discretion of the board. I also attach the options for HDCP spaces as discussed during the public hearing – there are 8 total required for between 301 and 400 spaces. We can provide, any or all of the HDCP total spaces. I would amend the waiver on parking to add 2 to the waiver to allow us to move these around as necessary. Though they comply with the AAB it is certainly a concern of the Board that we provide more than required and at varied locations and adding two total spaces to our waiver request would give us the latitude. To note – it is just as likely we leave the spaces as we currently show them on the site plan.

Additionally I know Mike has some anecdotal information on the sidewalk along Fisher which was brought up during the last hearing. The entire sidewalk meets HDCP code, there is however one pole which is just meeting minimum clearance. Though this area will be made better with the removal of the fence line and the planting of intentional shrubs and grasses instead of weeds the applicant agrees to the following:

Replace any panels which utilities disturb

Replace any panels which are heaving or in disrepair along Fisher (I don't believe there are any)

Increase the passing pathway around utility poles to a min 42" width. This will be accomplished all the way around the pole and will allow for smooth transition and not require abrupt turning.

All of these would be in conjunction with the DPW at the time of construction.

Dan

**LEVEL DESIGN GROUP, L.L.C.****Daniel Campbell, P.E., Principal**

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🌱 Think **GREEN** before printing this email

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#### 4 attachments



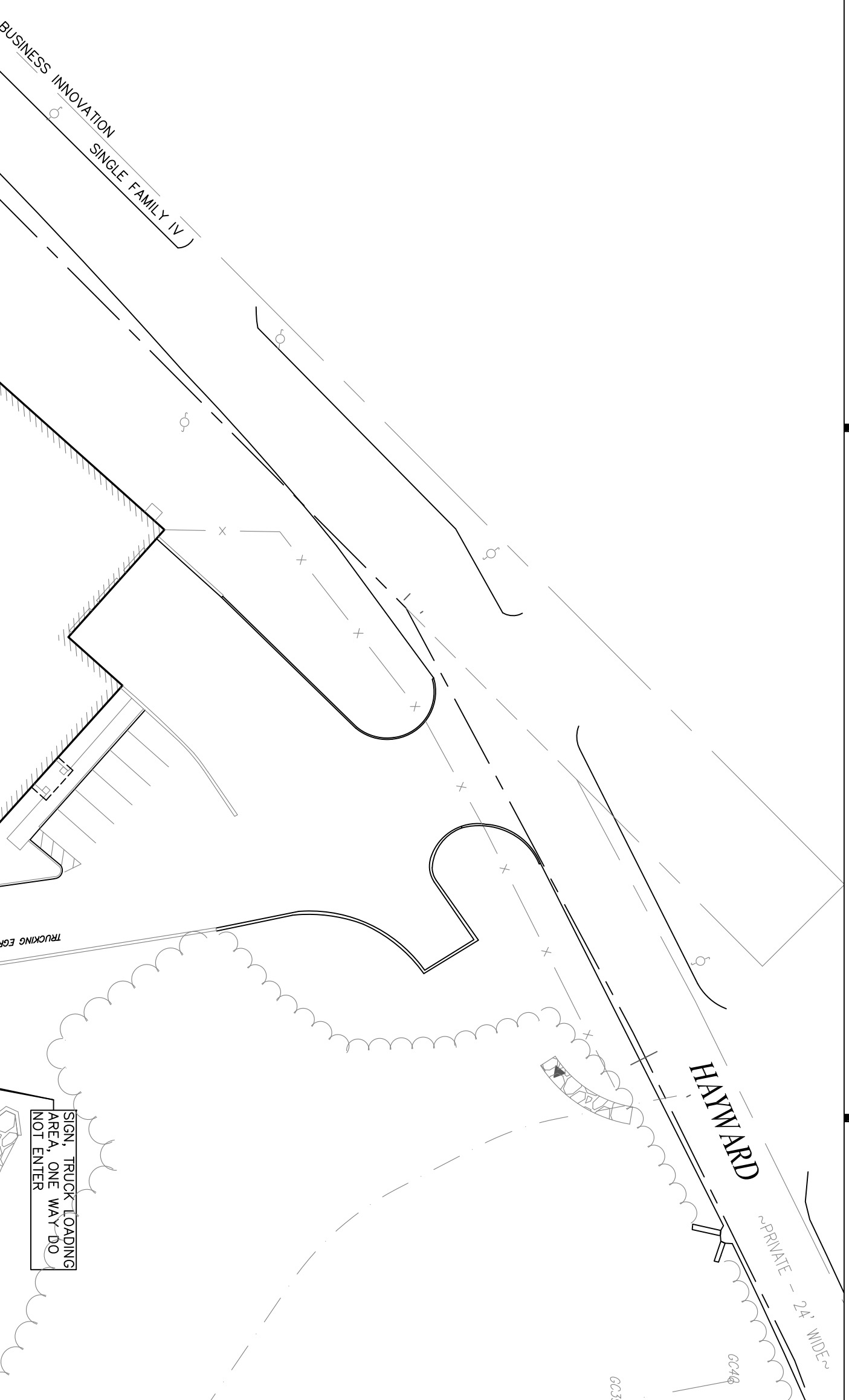
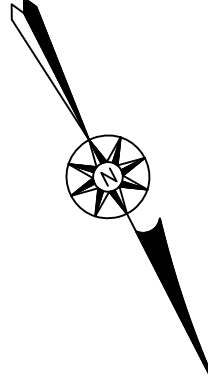
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2392K

 **11-24 hdcp mod2.pdf**  
487K

 **11-24 hdcp mod1.pdf**  
486K

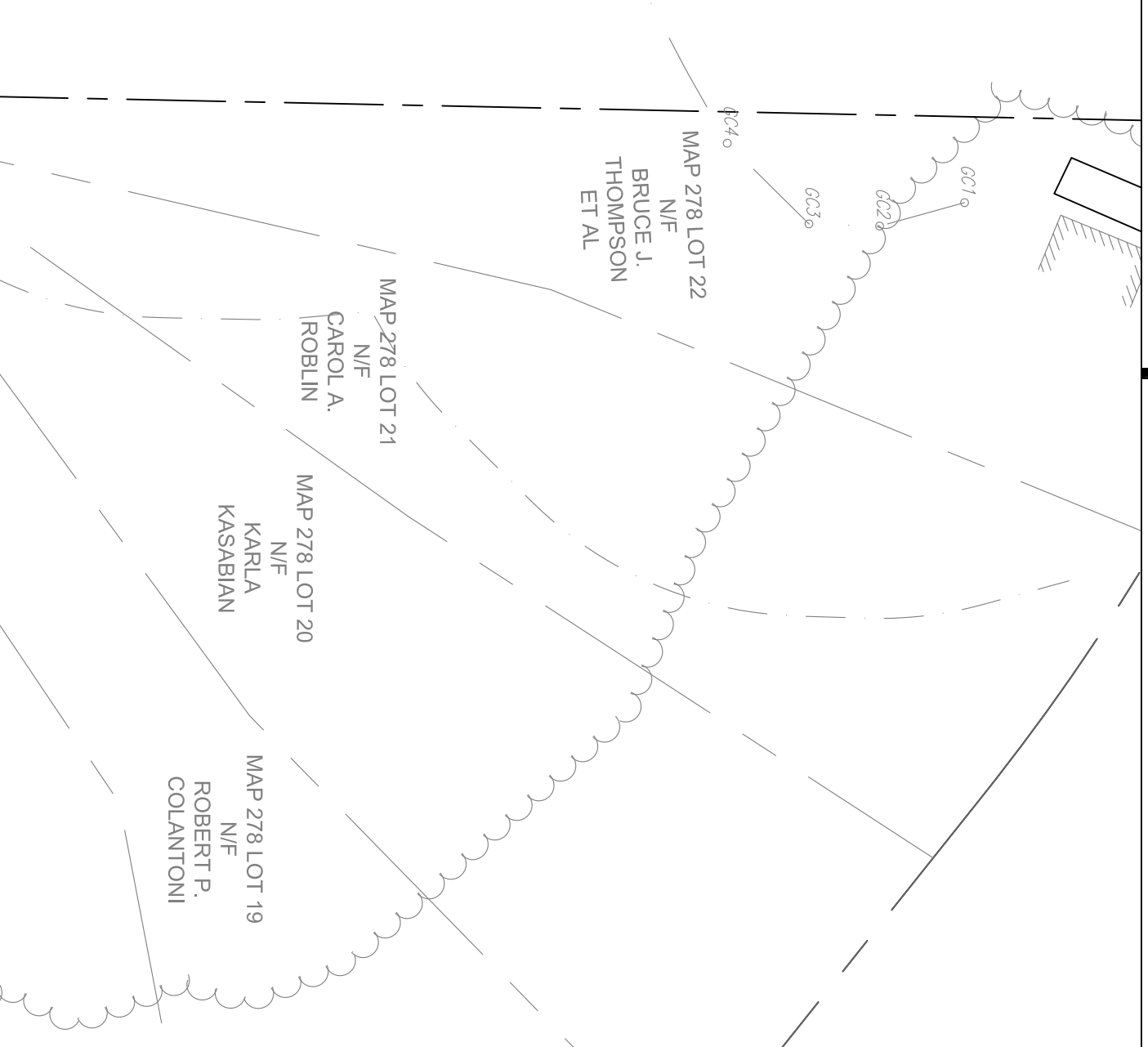


LEGEND	
EXISTING	PROPOSED
CONTOUR	CONTOUR
WATER	WATER
ELECTRIC MANHOLE	ELECTRIC MANHOLE
ELECTRICAL	ELECTRICAL
GAS	GAS
SANITARY SEWER	SANITARY SEWER
HYDRANT	HYDRANT
SEWER MANHOLE	SEWER MANHOLE
DRAIN MANHOLE	DRAIN MANHOLE
VALVE	VALVE
CATCH BASIN	CATCH BASIN
SPOT GRADE	SPOT GRADE
HP RAMP	HP RAMP
SEMI-TRUCK CONTROL BARRIER	SEMI-TRUCK CONTROL BARRIER
LIGHT POLE	LIGHT POLE
TREE	TREE
UTILITY POLE	UTILITY POLE
POST INDICATOR VALVE	POST INDICATOR VALVE
TRAFFIC DIRECTION	TRAFFIC DIRECTION



\* PARKING PROPOSED FOR THE USES IS PROPOSED IN THE PARKING AREAS SHOWN. CURRENTLY, THERE ARE 40 SPACES. WITH THESE USES, THERE WILL BE ONE PARKING SPACE AT THE FRONT YARD SETBACK AND OFFICE SPACE ALSO. THESE USES WILL CONFLICT WITH COMMON HOUSES WITH THE ONE RESIDENTIAL USE. THE ONE RESIDENTIAL USE SPACES AVAILABLE FOR THE ACTUAL USE IN THE ZONING BY-LAW.

ZONING BY-LAW REQUIREMENTS		
ZONING DISTRICT MIXED BUSINESS INNOVATION		
USE: MULTIPLE REDEVELOPMENT		
REQUIRED	EXISTING/PROPOSED	
MIN. LOT AREA	40,000	642,044
MIN. LOT FRONTAGE	175	175
FRONT YARD SETBACK	40'	14.8'
REAR YARD SETBACK	30'	297.2'
MAX. BLDG./LOT COVERAGE BLDG	70%	26.1% / 21.8%
MAX. BLDG./LOT COVERAGE IMP	80%	53.9% / 50.2%
MAX. BUILDING HEIGHT	40'	<40'
<b>PARKING REQUIREMENTS*</b>		
USE: INDUSTRIAL (45,670± S.F.)	1 SPACE / 400 S.F.	PROVIDED
USE: RETAIL/MED./OFFICE (24,830± S.F.)	1 SPACE / 200 S.F.	124.15
USE: OFFICE (OTHER) (25,010 S.F.)	1 SPACE / 250 S.F.	10.28
USE: REST./HEATER/ASSEM (22,500± OR 249)	1 SP / 60 S.F. OR 1SP / 2.5 STAIRS	98
USE: WAREHOUSE (27,084± S.F.) <sup>027a</sup>	1 SP / 1,000 S.F.	27.08
USE: WAREHOUSE (18,075± S.F.) <sup>027a</sup>	1 SP / 100 S.F. OR 1SP FOR DR. APPROVED	12
USE: WAREHOUSE (18,075± S.F.) <sup>027a</sup>	1 SP / 1,000 S.F. OR 1SP FOR DR. APPROVED	12
REGULAR SPACES		398
HANDICAP SPACES		8
TOTAL SPACES		406



- NOTES:**
- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RI ENTITLED "SITE PLAN SUBMISSION" DATED JUNE 2, 2003 AS AMENDED AUGUST, 2003.
  - THE WETLANDS WERE FLAGGED BY GOODARD CONSULTING, JUNE 2021.
  - THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.
  - INTERNAL CURBING SHALL BE BITUMINOUS CONCRETE OR CAPE CORD BERM AT THE SELECTION OF THE DEVELOPER AT A MINIMUM.
  - CURBING AT THE ENTRANCES AND CURB RETURNS AT THE ENTRANCES SHALL BE GRANITE CURBING. THE ENTRANCES SHALL BE GRANITE CURBING. THE ENTRANCES SHALL BE GRANITE CURBING. THE ENTRANCES SHALL BE GRANITE CURBING. THE ENTRANCES SHALL BE GRANITE CURBING.
  - CURBING WHERE THERE IS CONCRETE SIDEWALK SHALL BE INTERGRATED HAUNCHED CONCRETE CURBING.

**Not For Construction**

**LEVEL**  
 CONSULTANT / CONTRACTOR INFORMATION:  
 CIVIL ENGINEERING / LAND SURVEYING  
 249 SOUTH STREET  
 PLAINVILLE, MA 02782  
 TEL: (978) 695-2221 FAX: (978) 695-2719

REVISION	DATE	BY	REASON
1	05/20/21	CS	ISSUE FOR PERMIT
2	05/20/21	CS	COMMENT RESPONSE

Project Title:  
 5 FISHER STREET, FRANKLIN, MA 02038  
 FACTORY SQUARE FRANKLIN  
 K FISHER STREET LLC  
 1 FISHER STREET, FRANKLIN, MA 02038

JOE THE ARCHITECT  
 343 Main Street, Suite 4C, Somerville, MA 02145  
 T: (617) 764-5555 E: joe@joethearchitect.com  
 www.joethearchitect.com

Project number: 1899.00  
 Drawing number: C-2.0  
 Drawing scale: 1" = 40'  
 Revision: 1

PARKWAY AND SIDEWALK CONSTRUCTION IN THE AREA OF THE DRIVEWAY SHALL BE FOR STREET OPENING PERMIT AND AS REQUIRED IN THE PDW REGULATIONS FOR SUCH TYPE OF CONSTRUCTION.

EXISTING BUILDING TO BE REMOVED AND F.F. EL = VARIES (SEE ARCH FLOORPLANS)  
 SLAB 256.74  
 SLAB 256.68

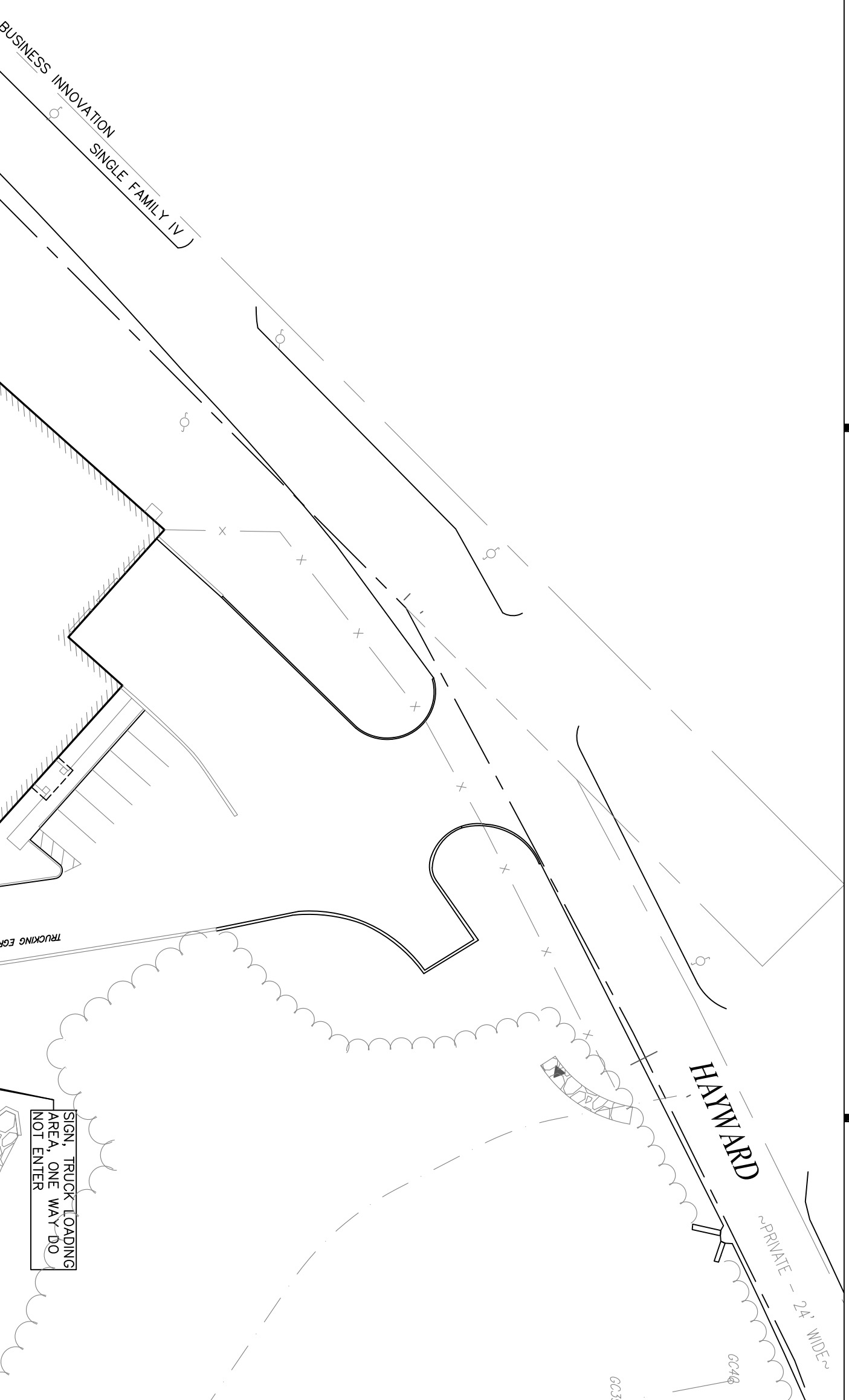
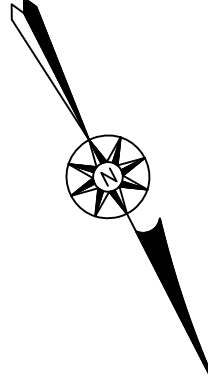
EXISTING BUILDING TO BE REMOVED AND F.F. EL = VARIES (SEE ARCH FLOORPLANS)  
 SLAB 258.92  
 SLAB 258.73

EXISTING BUILDING TO REMAIN  
 SLAB 258.98

PLAT 6, LOT 24  
 NIP  
 NATURAL RESOURCES TRUST

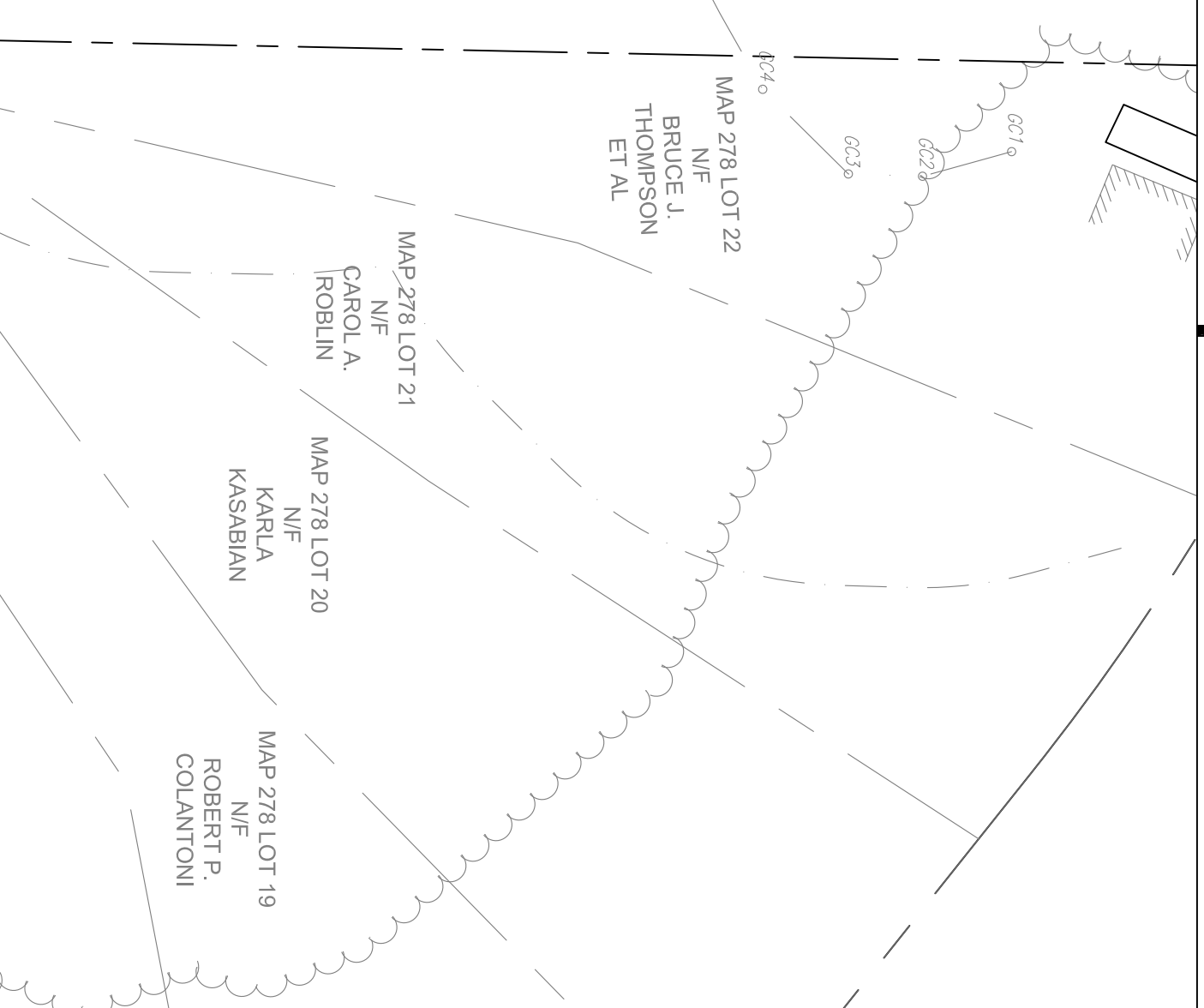


LEGEND	
EXISTING	PROPOSED
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  - CURBING WHERE THERE IS CONCRETE SIDEWALK SHALL BE INTERGRATED HAUNCHED CONCRETE CURBING.

**Not For Construction**

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 CONSULTANT / CONTRACTOR INFORMATION:  
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 249 SOUTH STREET  
 PLAINVILLE, MA 02782  
 TEL: (908) 685-2221 FAX: (908) 685-2719

REVISION	DATE	BY	REASON
1	05/20/21	CS	ISSUE FOR PERMIT
2	05/20/21	CS	COMMENT RESPONSE

Project Name: **FACTORY SQUARE FRANKLIN**  
 5 FISHER STREET, FRANKLIN, MA 02038  
 Client Information: **K FISHER STREET LLC**  
 1 FISHER STREET, FRANKLIN, MA 02038

Architect: **JOE THE ARCHITECT**  
 343 Main Street, Suite 4C, Somerville, MA 02145  
 T: (617) 764-5555 E: joe@joethearchitect.com  
 www.joethearchitect.com

Project Number: **1889.00**  
 Drawing Number: **C-2.0**  
 Drawing Scale: **1" = 40'**  
 Project Name: **FACTORY SQUARE FRANKLIN**

PROPOSED SIDEWALK TO MEET PARKING PITCH AWAY FROM BUILDING 2% PROVIDE HOOP BEAMS ON BOLLAGS AT THE POINTS OF EGRESS. (SEE ARCH FLOORPLANS) SLAB 256.72

EXISTING BUILDING TO BE REMOVED AND F.F. EL = VARIES (SEE ARCH FLOORPLANS) SLAB 257.65 SLAB 256.74

EXISTING BUILDING TO REMAIN AND F.F. EL = VARIES (SEE ARCH FLOORPLANS) SLAB 258.92

EXISTING BUILDING TO REMAIN AND F.F. EL = VARIES (SEE ARCH FLOORPLANS) SLAB 258.73

EXISTING BUILDING TO REMAIN AND F.F. EL = VARIES (SEE ARCH FLOORPLANS) SLAB 258.17

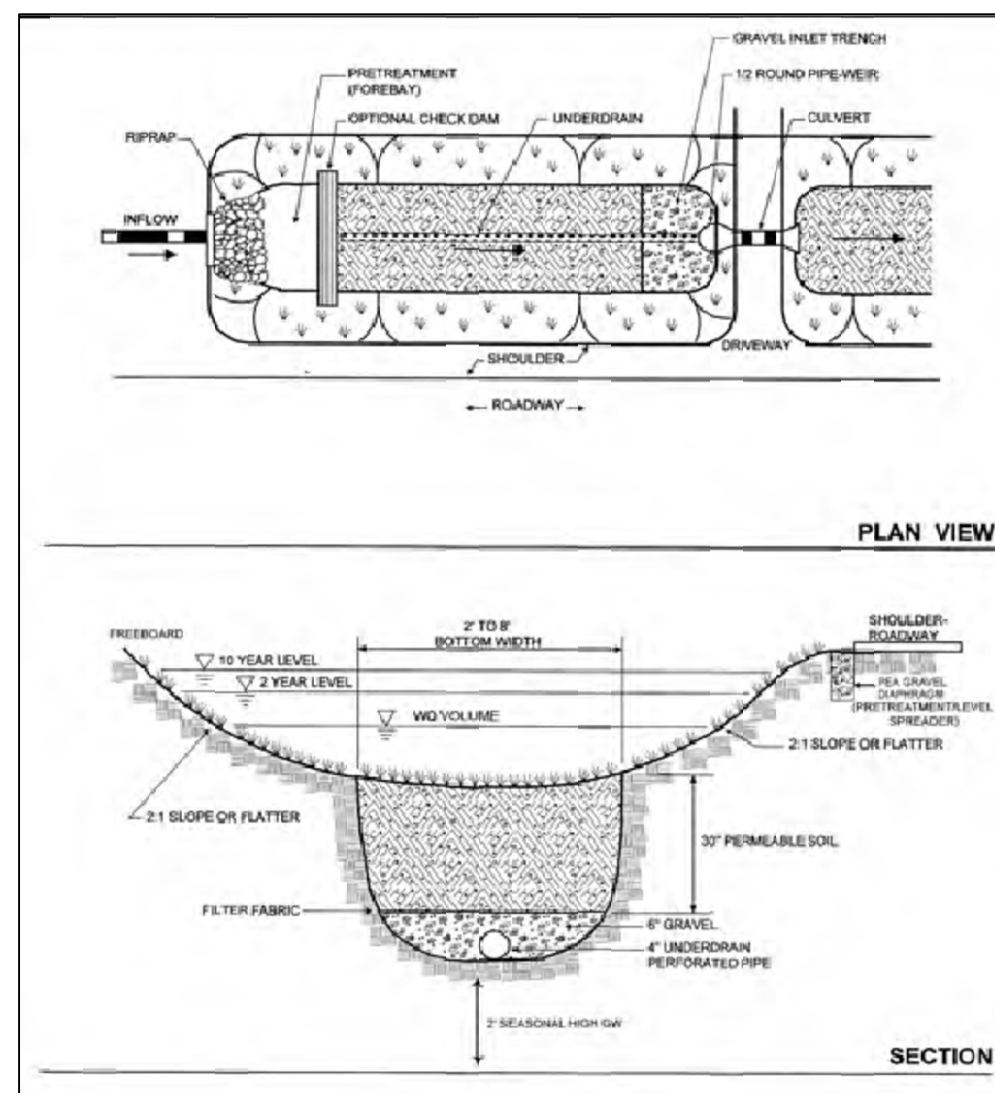
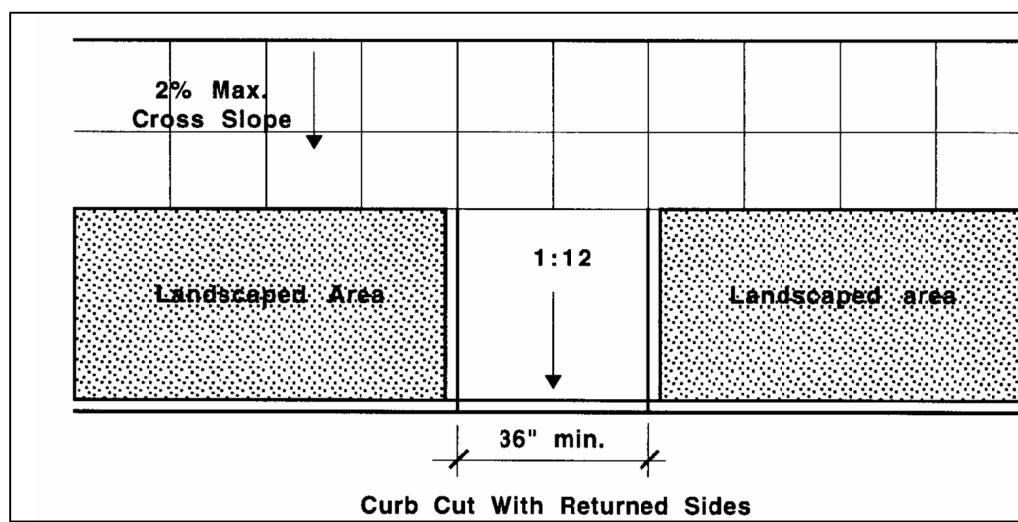
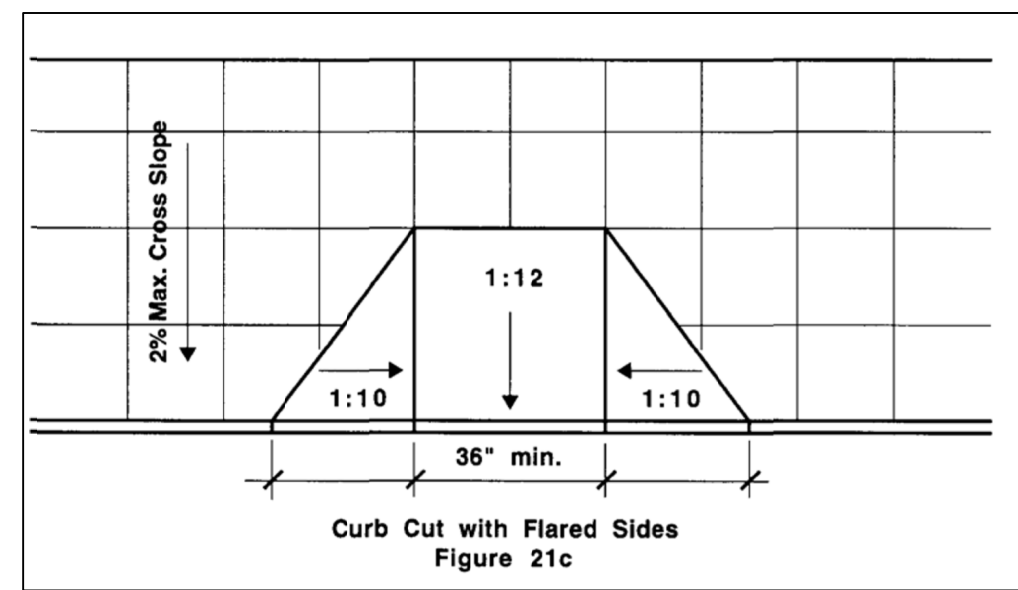
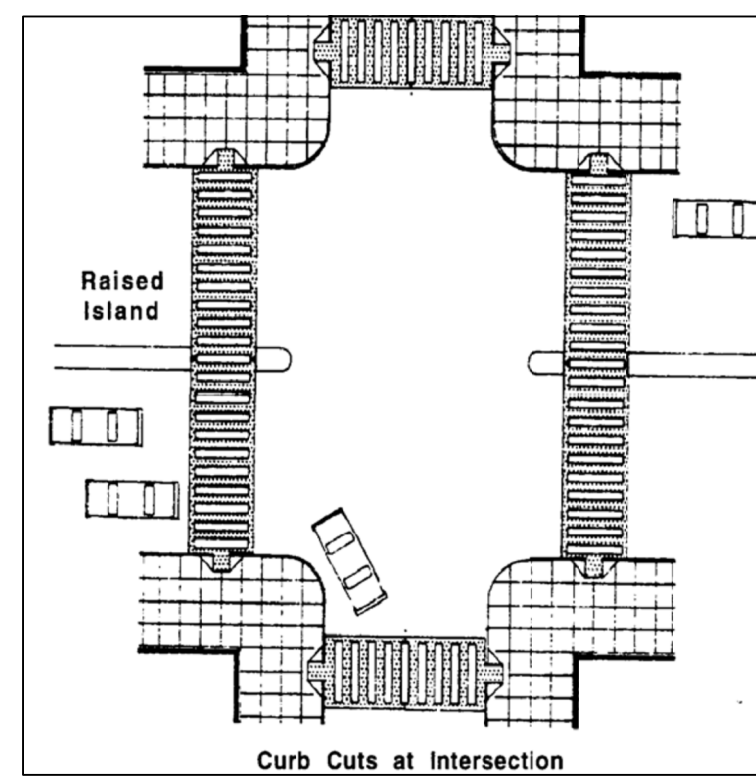
EXISTING BUILDING TO REMAIN AND F.F. EL = VARIES (SEE ARCH FLOORPLANS) SLAB 257.98

CONNECT PROPOSED SIDEWALK TO EXISTING SIDEWALK WITH AN EXPANSION JOINT. ADJUST THE HEIGHT OF THE JOINT TO THE HEIGHT OF THE EXISTING SIDEWALK.

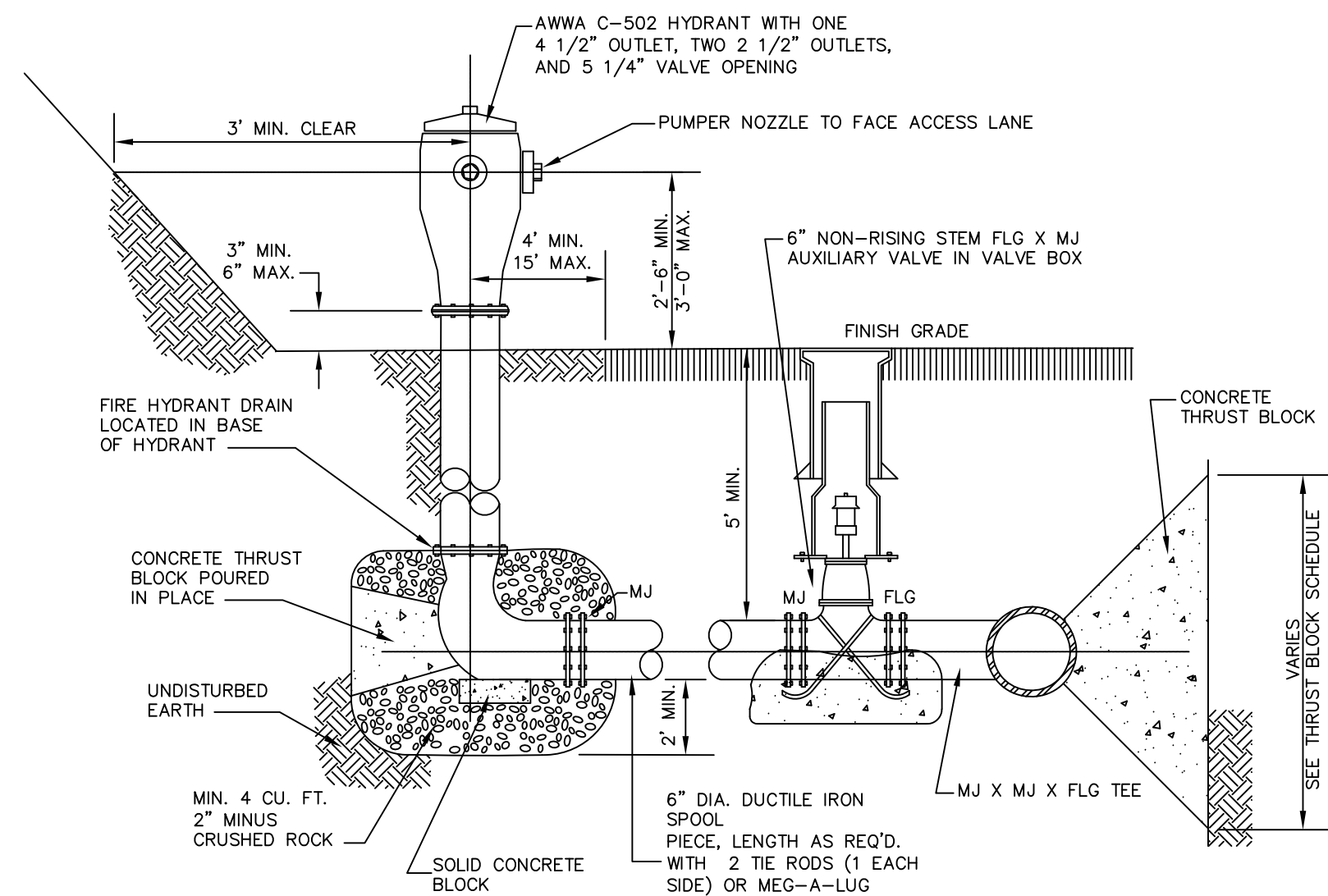




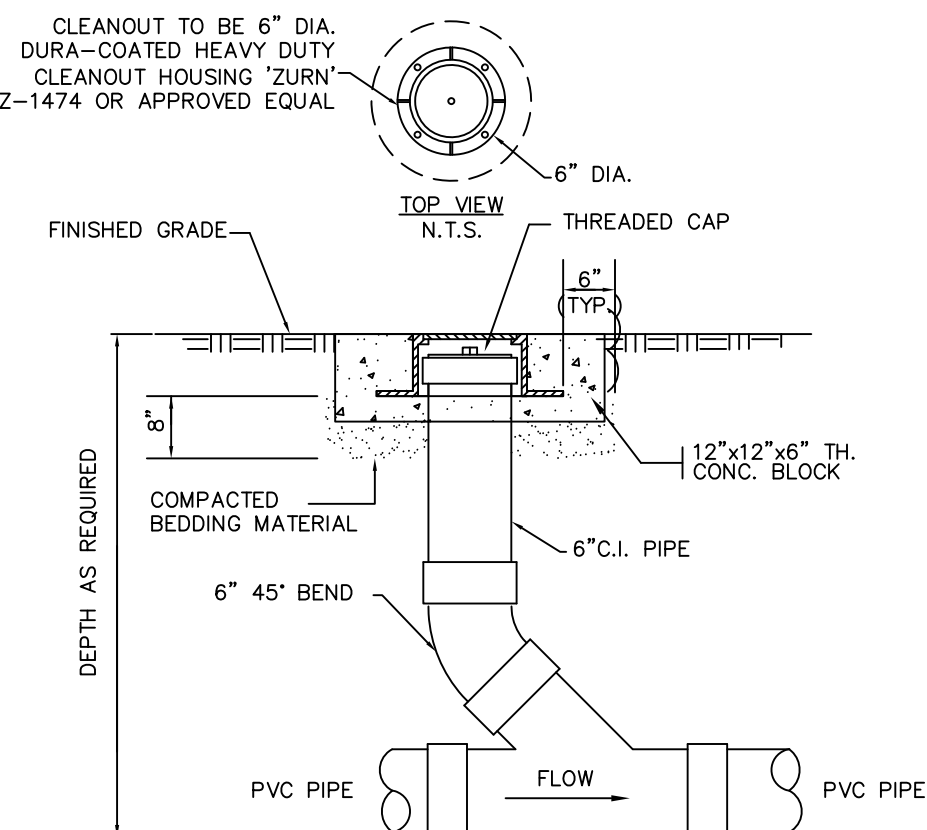




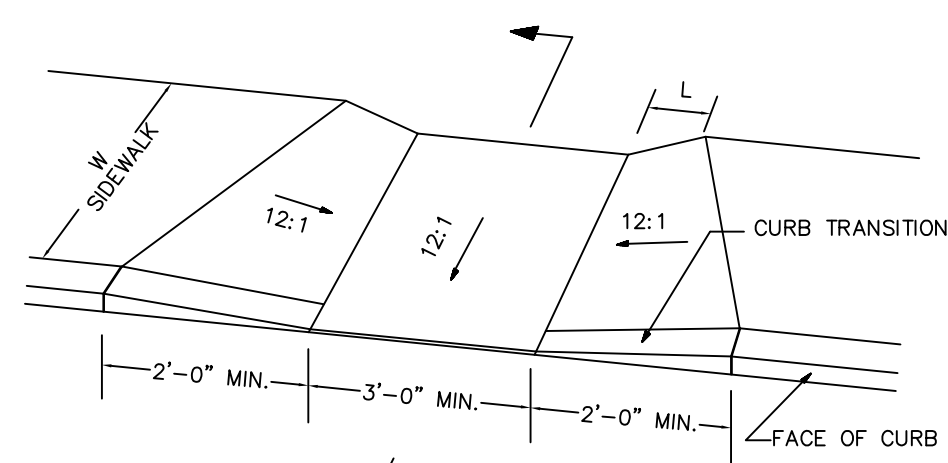
WATER QUALITY SWALE  
NOT TO SCALE



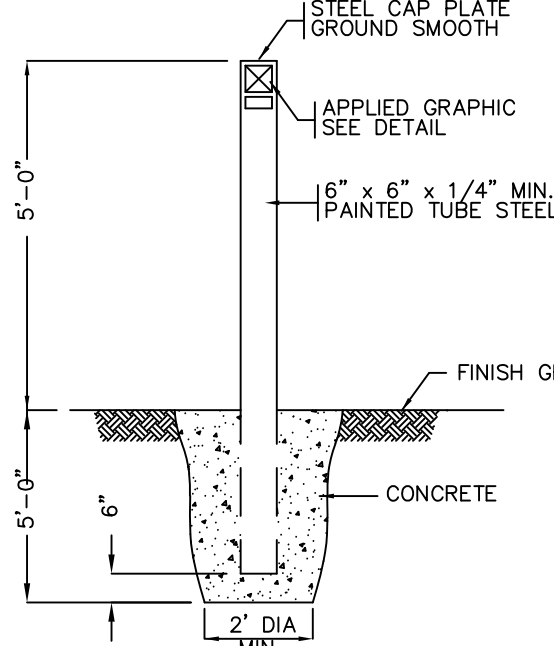
FIRE HYDRANT ASSEMBLY  
NOT TO SCALE



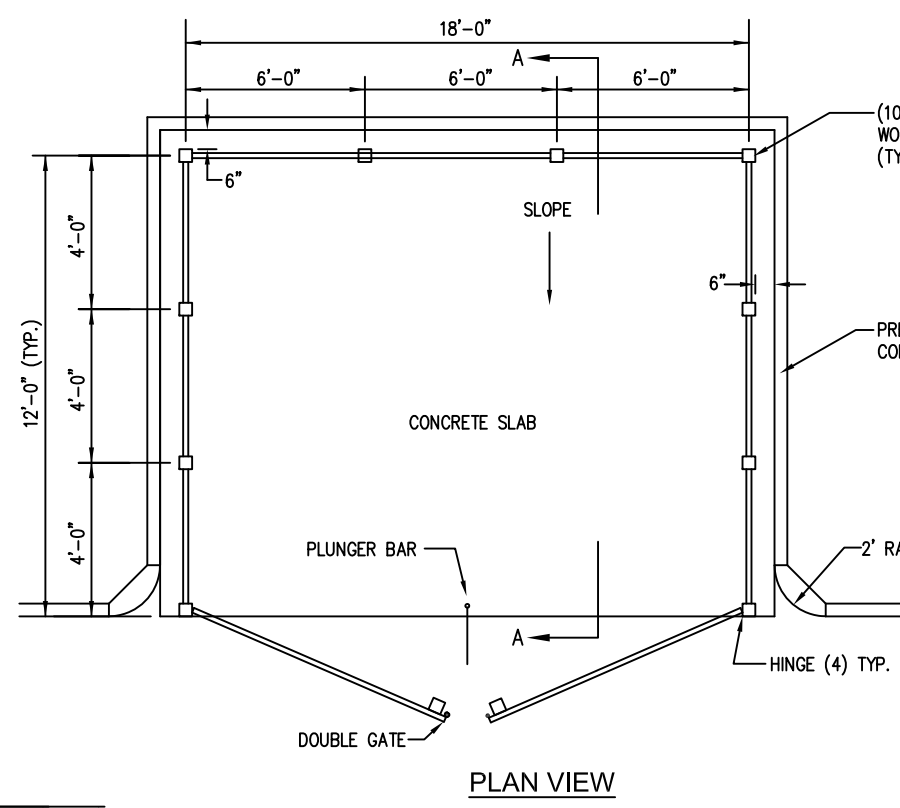
CLEANOUT AT GRADE  
NOT TO SCALE



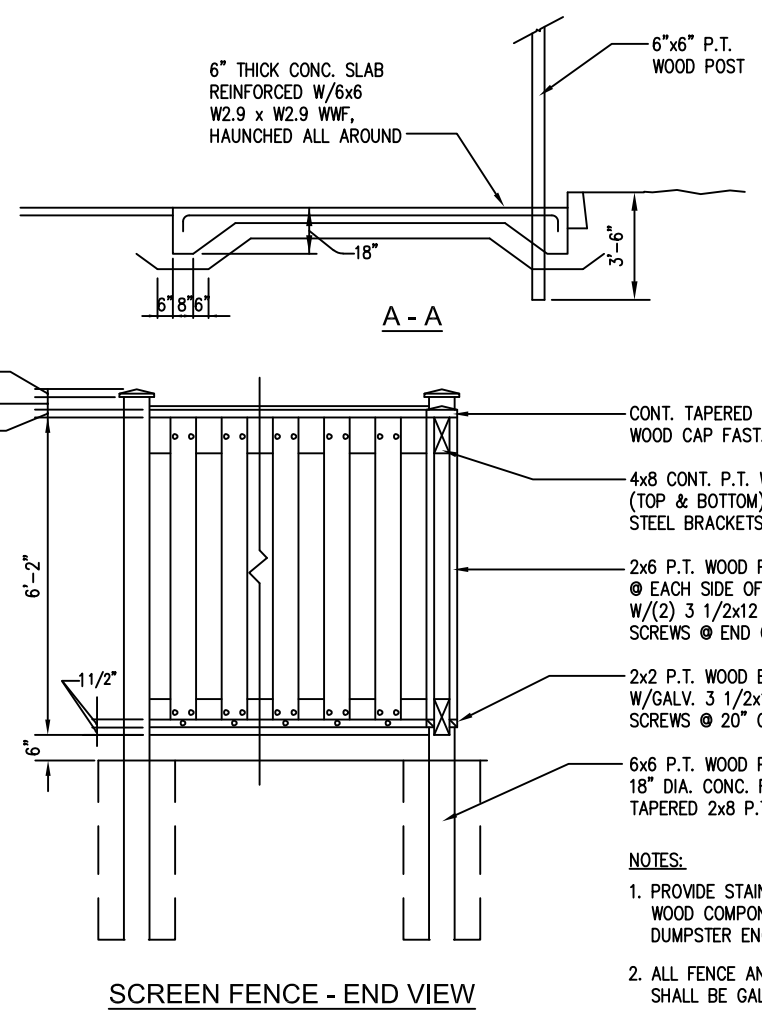
VAN ACCESSIBLE OR AUTO ACCESSIBLE  
NOT TO SCALE



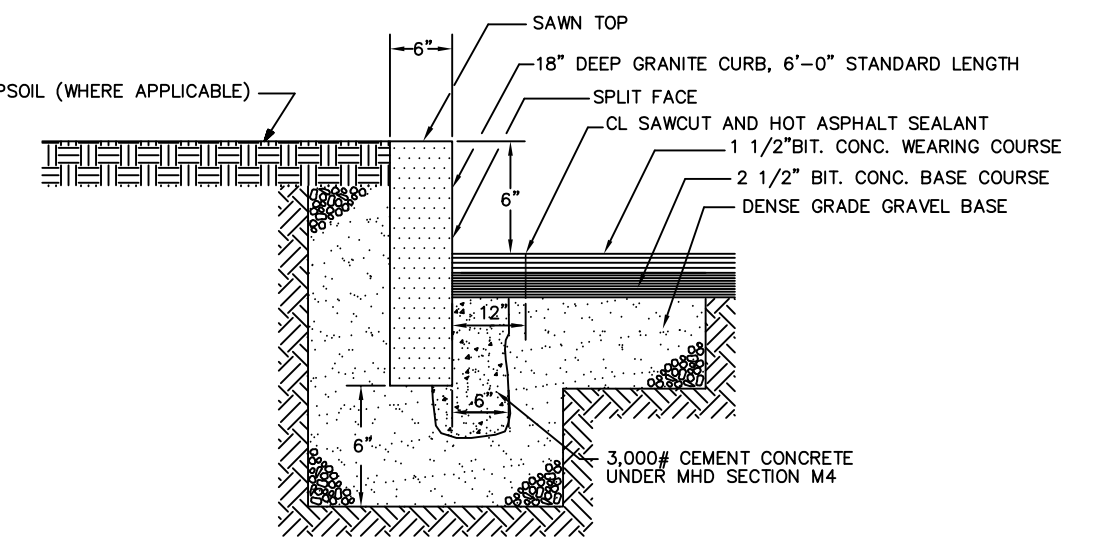
SIGNAGE BOLLARD  
NOT TO SCALE



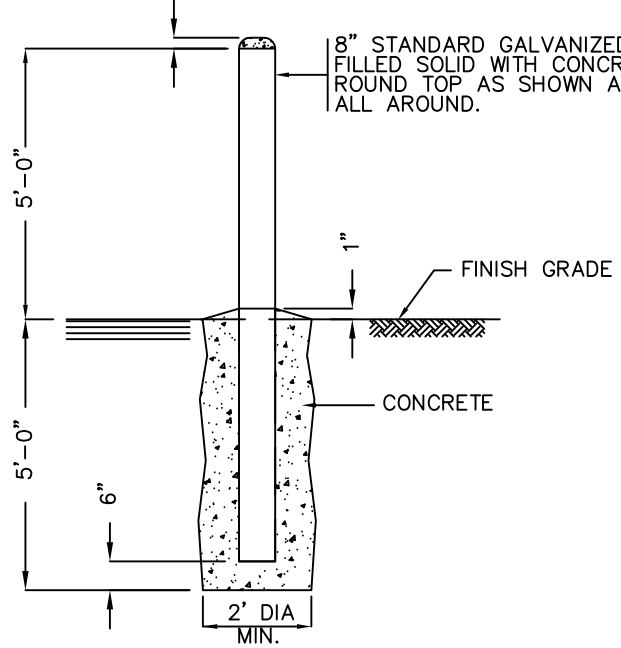
DUMPSTER PAD ENCLOSURE  
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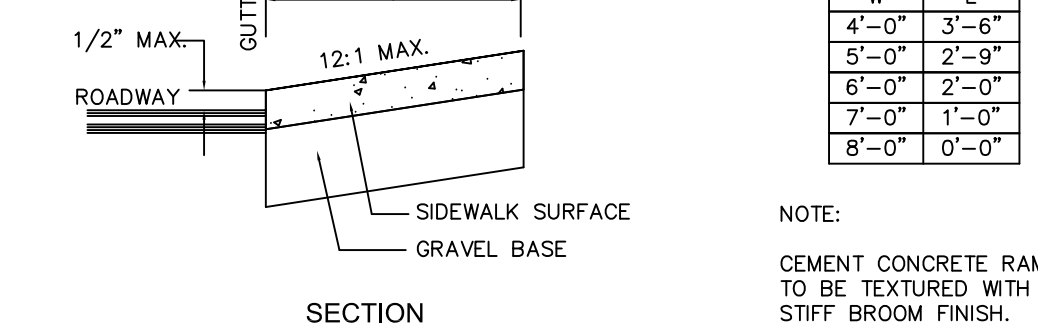
SCREEN FENCE - END VIEW  
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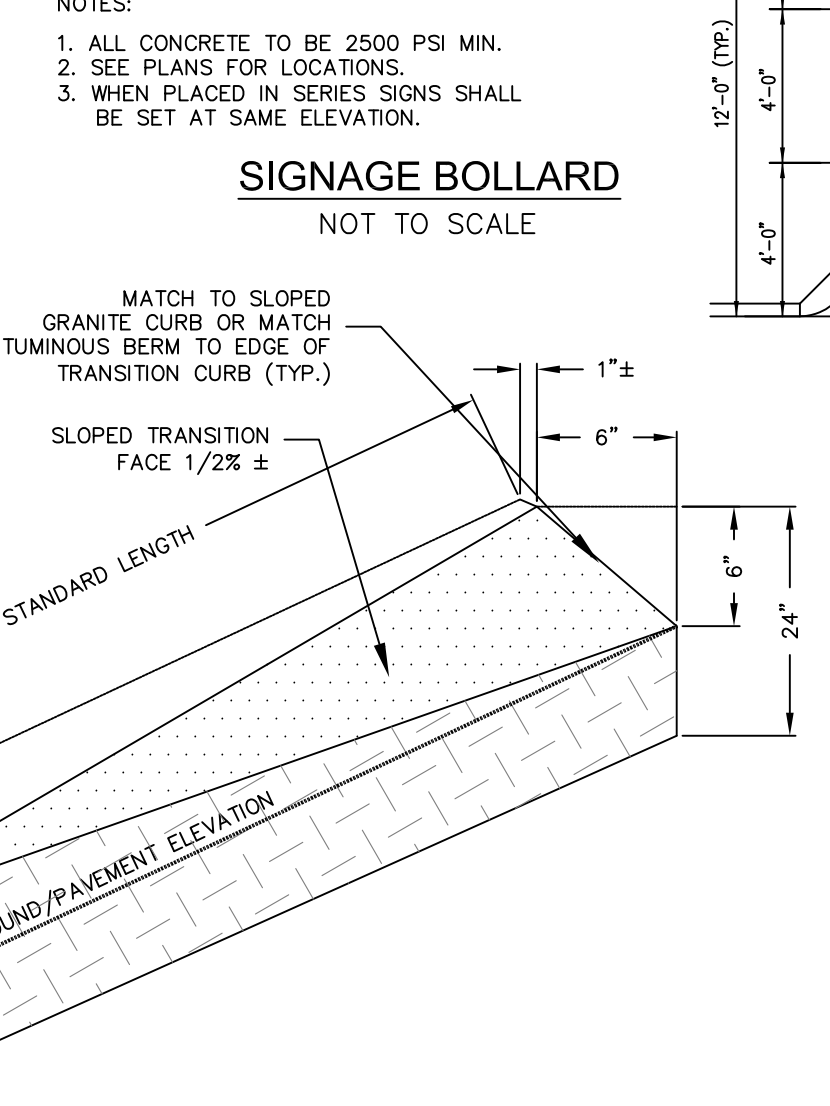
VERTICAL GRANITE CURB  
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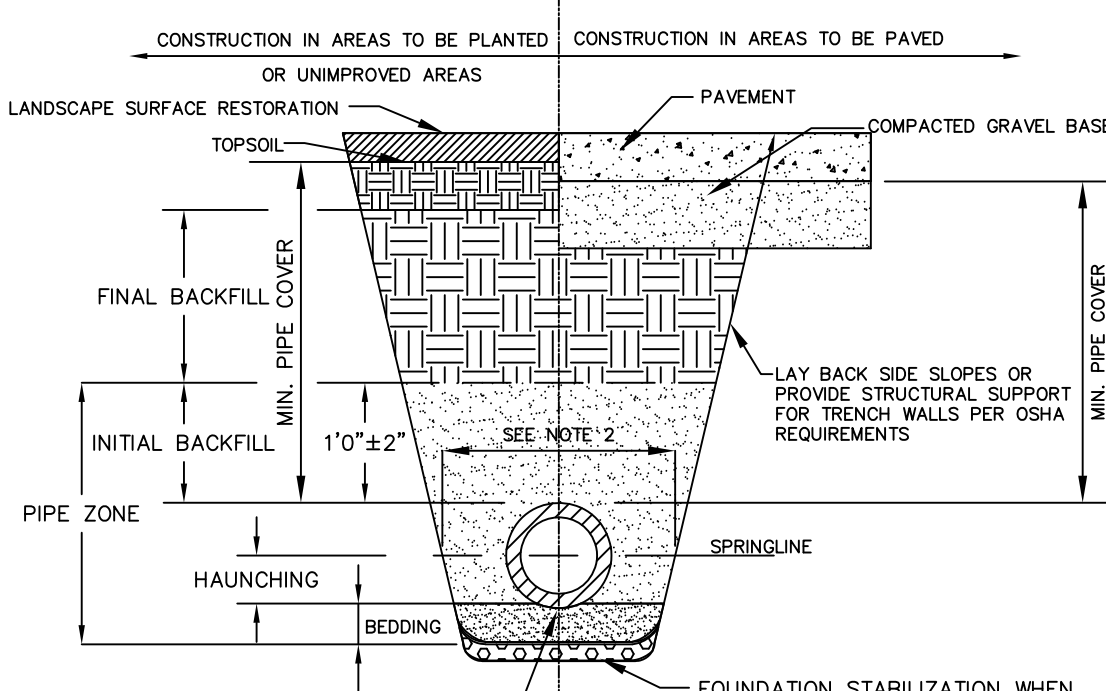
STEEL PIPE BOLLARD  
NOT TO SCALE



WHEEL CHAIR RAMP  
NOT TO SCALE



TRANSITION CURB DETAIL  
NOT TO SCALE



UTILITY TRENCH  
NOT TO SCALE

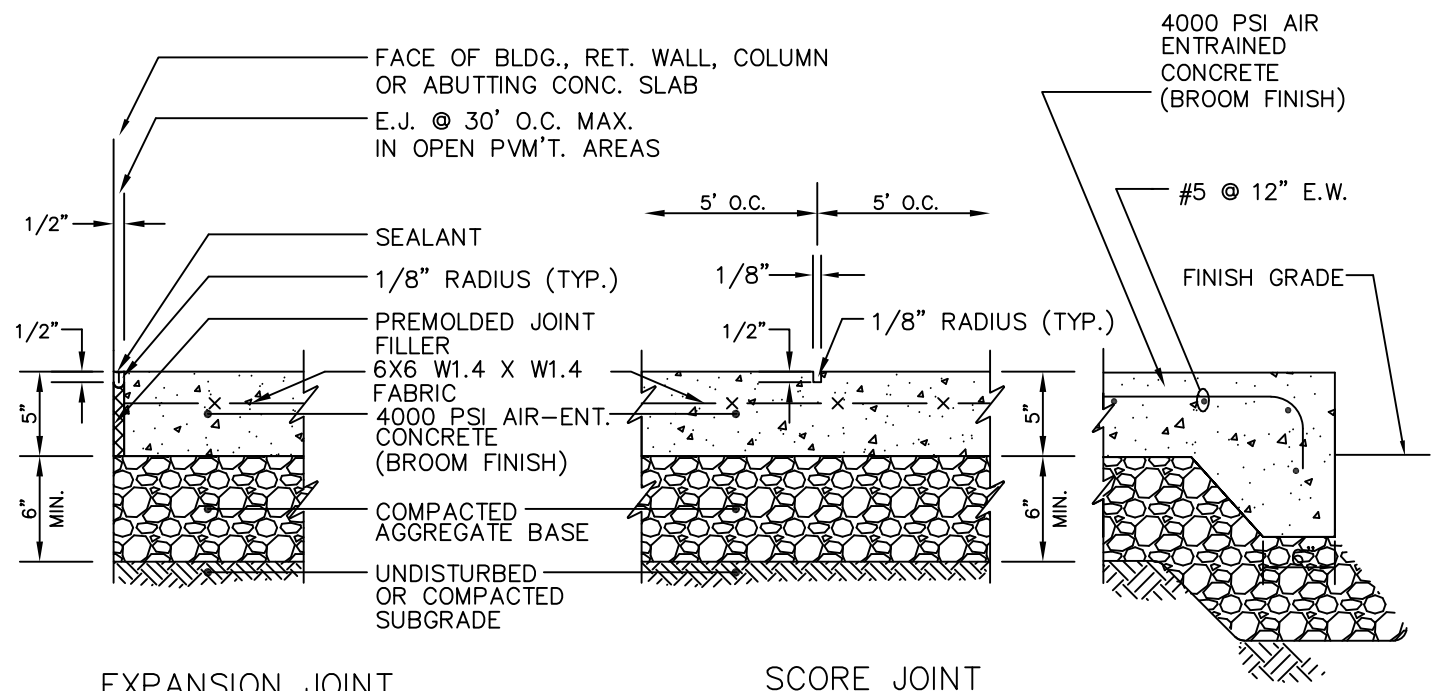
FOUNDATION, BEDDING AND BACKFILL MATERIALS	HDP, PVC	RC, DI
PIPE MATERIAL	[6]	[6]
FOUNDATION STABILIZATION	[1]	[1]
BEDDING	[1]	[1]
HAUNCHING	[1]	[1]
INITIAL BACKFILL	[4]	[4]
FINAL BACKFILL	[4]	[4]
PIPE COVER	[5]	[5]

PIPE I.D.	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

- [1] PLACE 3/4" MINUS GRADED GRANULAR BACKFILL AT OPTIMUM MOISTURE IN HORIZONTAL 8" DEEP LOOSE LAYERS, COMPACT TO 95% PER ASTM D-1557
- [2] MINIMUM WIDTH OF TRENCH MEASURED AT SPRINGLINE OF PIPE, INCLUDING ANY NECESSARY SHEATHING
- [3] INSTALL PIPE IN CENTER OF TRENCH.
- [4] IN PLANTED OR UNIMPROVED AREAS, USE ON-SITE EXCAVATED MATERIAL FOR FINAL BACKFILL. COMPACT TO 95% PER ASTM D-1557. IN PAVED AREAS, OBTAIN ENGINEER APPROVAL OF ON-SITE EXCAVATED MATERIALS FOR USE AS FINAL BACKFILL.
- [5] MINIMUM COVER OVER TOP OF PIPE

PIPE MATERIAL	HDP, PVC	RC, DI
WATER	5' - 0"	2' - 0"
SEWER	4' - 0"	4' - 0"
DRAIN	2' - 0"	1' - 6"

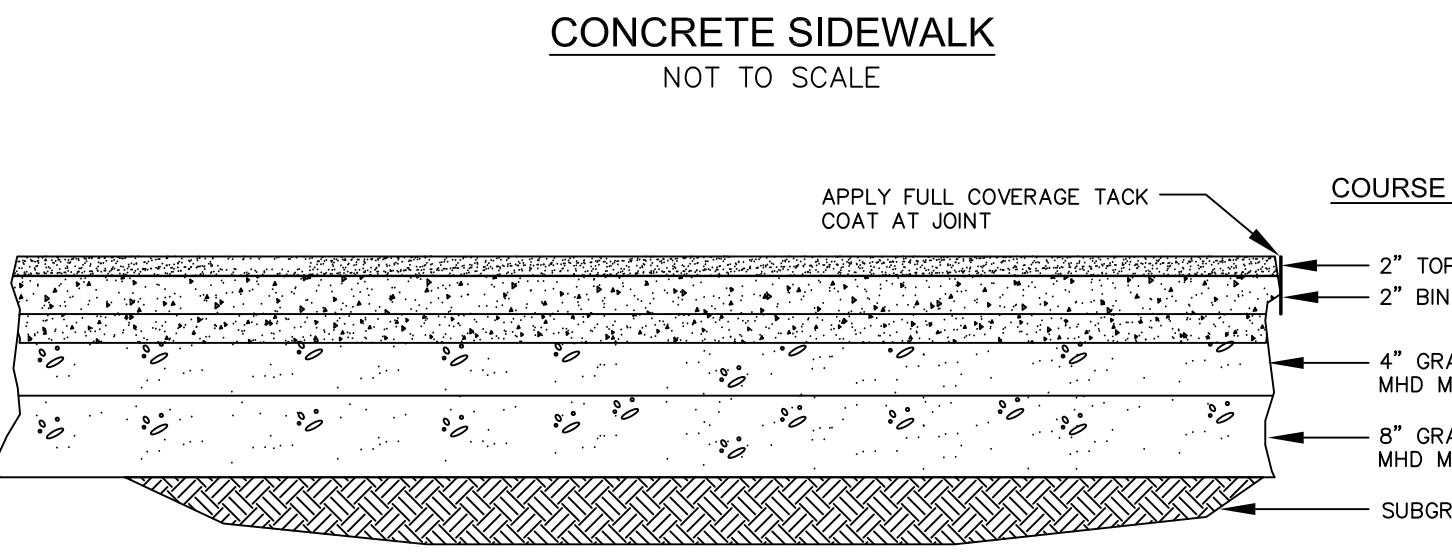
[6] FOR FOUNDATION STABILIZATION, USE 2" MINUS CRUSHED STONE



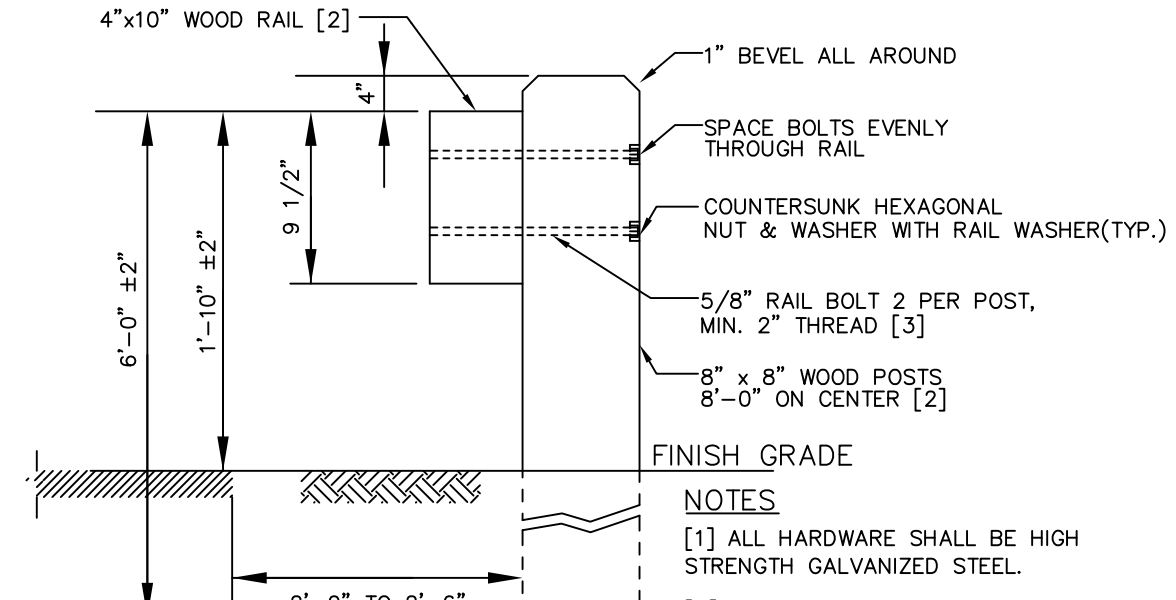
EXPANSION JOINT

SCORE JOINT

- 1. MAXIMUM CROSS SLOPE = 2%
- 2. MAXIMUM GRADIENT = 5%
- 3. PROVIDE EXPANSION JOINT AT FACE OF ABUTTING SLABS AND STRUCTURES.
- 4. PROVIDE VERTICAL GRANITE OR PRECAST CONCRETE CURBING PER SHEET C3.



CONCRETE SIDEWALK  
NOT TO SCALE



WOOD GUARDRAIL  
NOT TO SCALE

TRUCK AREAS - BITUMINOUS CONCRETE PAVEMENT  
NOT TO SCALE

Not For Construction

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consultant / contractor information:

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CIVIL ENGINEERING / LAND SURVEYING  
249 SOUTH STREET  
PLAINVILLE, MA 02762  
TEL. (508) 695-2221 FAX. (508) 695-2219

revision	revision description	date
1	COMMENT RESPONSE	9-15-2021
2	COMMENT RESPONSE	11-5-2021

revision	revision description	date
1	COMMENT RESPONSE	9-15-2021
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project title:  
FACTORY SQUARE FRANKLIN

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1 FISHER STREET, FRANKLIN, MA 02038

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www.joethearchitect.com

drawing title	drawing scale	approver
TYPICAL DETAILS	AS SHOWN	
drawing number	revision	
1899.00		
C-4.0		