

SOURCE: USGS QUADRANGLE MAP 7.5 MINUTE SERIES FRANKLIN, MA, RI DATED 2021

LOCUS MAP
SCALE: 1" = 1,000'±

SITE PLAN SET FOR PRIMROSE SCHOOL FRANCHISING COMPANY PROPOSED CHILD DAY CARE FACILITY

MAP 303, PARCELS 46 & 47
700-712 UNION STREET
TOWN OF FRANKLIN, NORFOLK COUNTY, MASSACHUSETTS



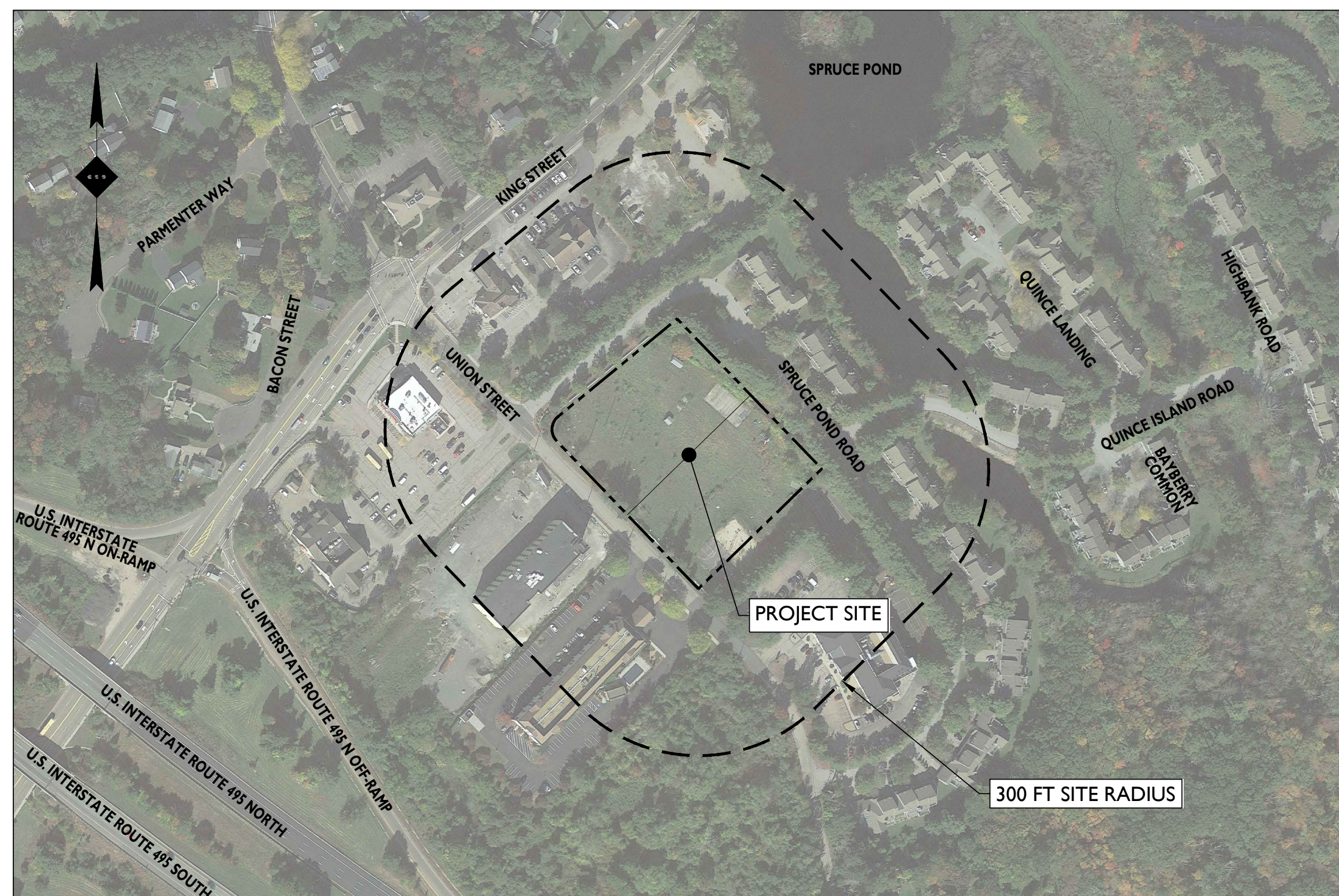
Know what's below
Call before you dig.

APPLICANT/OWNER

PRIMROSE SCHOOL FRANCHISING COMPANY
21 CONKLIN LANE
WARREN, NJ 07059
MTAYLOR@PRIMROSESCHOOLS.COM

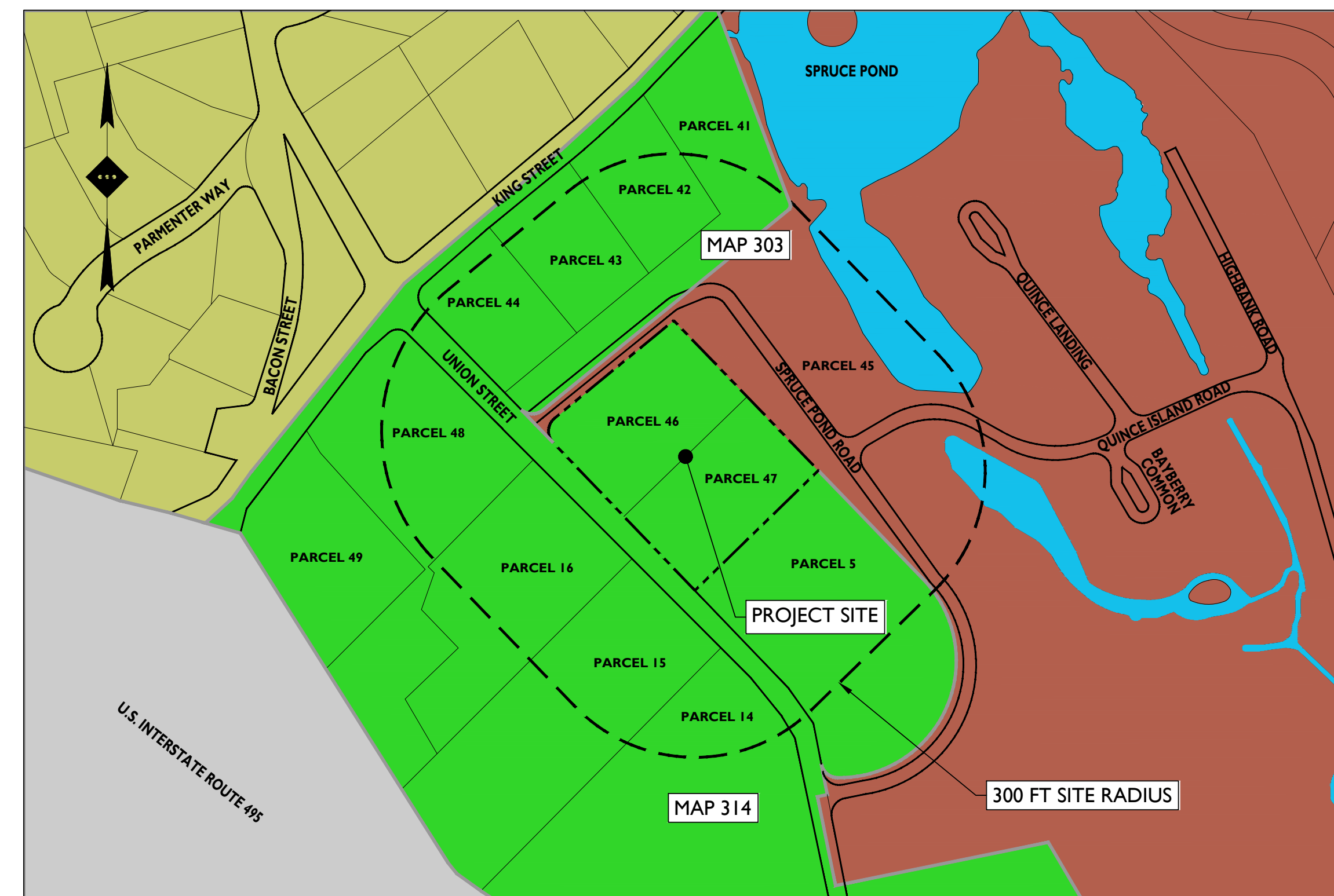
ATTORNEY

THOMAS J. MALMAN
DAY PITNEY LLP
1 JEFFERSON ROAD
PARSIPPANY, NJ 07054-2891
(973) 966-8714



SOURCE: GOOGLE EARTH PRO, DATED OCTOBER 12TH, 2021

AERIAL MAP
SCALE: 1" = 200'



SOURCE: TOWN OF FRANKLIN GIS MAPPING (UPDATED JANUARY 4TH, 2021) & TOWN OF FRANKLIN ZONING MAP (REVISED MARCH 3RD, 2019)

TAX & ZONING MAP
SCALE: 1" = 200'

AMERICAN DISABILITIES ACT (ADA) CERTIFICATION:
THIS SITE PLAN IS IN COMPLIANCE WITH THE PROVISIONS OF THE AMERICAN DISABILITIES ACT (ADA) AND MASSACHUSETTS ARCHITECTURAL BARRIERS BOARD

BLOCK	LOT	OWNER	OWNER'S ADDRESS
303	41	MARGUERITE MARGARET, TR	PO BOX 1990 N FALMOUTH, MA 02556
303	42	MARGUERITE MARGARET, TR	MARGUERITE FAMILY TRUST PO BOX 1990 N FALMOUTH, MA 02038
303	43	MARGUERITE MARGARET, TR	BEAU GRASSIA-KING ST CAFE 390 KING ST FRANKLIN, MA 02038
303	44	DECOY INC	PO BOX 1990 N FALMOUTH, MA 02556
303	45	SPRUCE POND VILLAGE C/O LANGLEY PAUL G	13 SPRUCE POND RD FRANKLIN, MA 02038
303	46	ROGER KALDAWY	9 TRAILSIDE WAY NORFOLK, MA 02056
303	47	ROGER KALDAWY	9 TRAILSIDE WAY NORFOLK, MA 02056
303	48	HOTEL BUILDING CORPORATION ATTN: TAGE	PO BOX 386 WESTON, MA 02493
314	5	ROGER KALDAWY	9 TRAILSIDE WAY NORFOLK, MA 02056
314	14	MILFORD WHITINSVILLE REG HOSP DIRECTOR OF FISCAL SERVICES	14 PROSPECT ST MILFORD, MA 01757
314	15	KRISTIN TURRELL	2 LAKESHORE CENTER BRIDGEWATER, MA 02324
314	16	45Q FRANKLIN REALTY LLC	83 HARTWELL AVE LEXINGTON, MA 02421

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - SURVEY BY LEVESQUE GEOMATICS INC, DATED APRIL 7, 2022
 - ARCHITECTURAL PLANS BY ADA ARCHITECTS, INC., DATED APRIL 14, 2022
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED OCTOBER 12, 2021
 - TOWN OF FRANKLIN GIS MAPPING, UPDATED JANUARY 4, 2021 AND TOWN OF FRANKLIN ZONING MAP, REVISED MARCH 3, 2019
 - KEY MAP OBTAINED FROM USGS QUADRANGLE MAP 7.5 MINUTE SERIES FRANKLIN, MA, RI, DATED 2021
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

PLANS PREPARED BY:



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ZONING LEGEND

- COMMERCIAL II DISTRICT
- RESIDENTIAL VI DISTRICT
- SINGLE-FAMILY III DISTRICT
- U.S. INTERSTATE ROUTE 495

SHEET INDEX

DRAWING TITLE	SHEET #
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GRADING PLAN	C-5
STORMWATER MANAGEMENT PLAN	C-6
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ISSUE	DATE	BY	DESCRIPTION
1	06/22/2022	NJK	DESIGN REVIEW COMMISSION SUBMISSION

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PROPOSED CHILD DAY CARE FACILITY

MAP 303, LOTS 46 & 47
700-712 UNION STREET
TOWN OF FRANKLIN
NORFOLK COUNTY, MASSACHUSETTS

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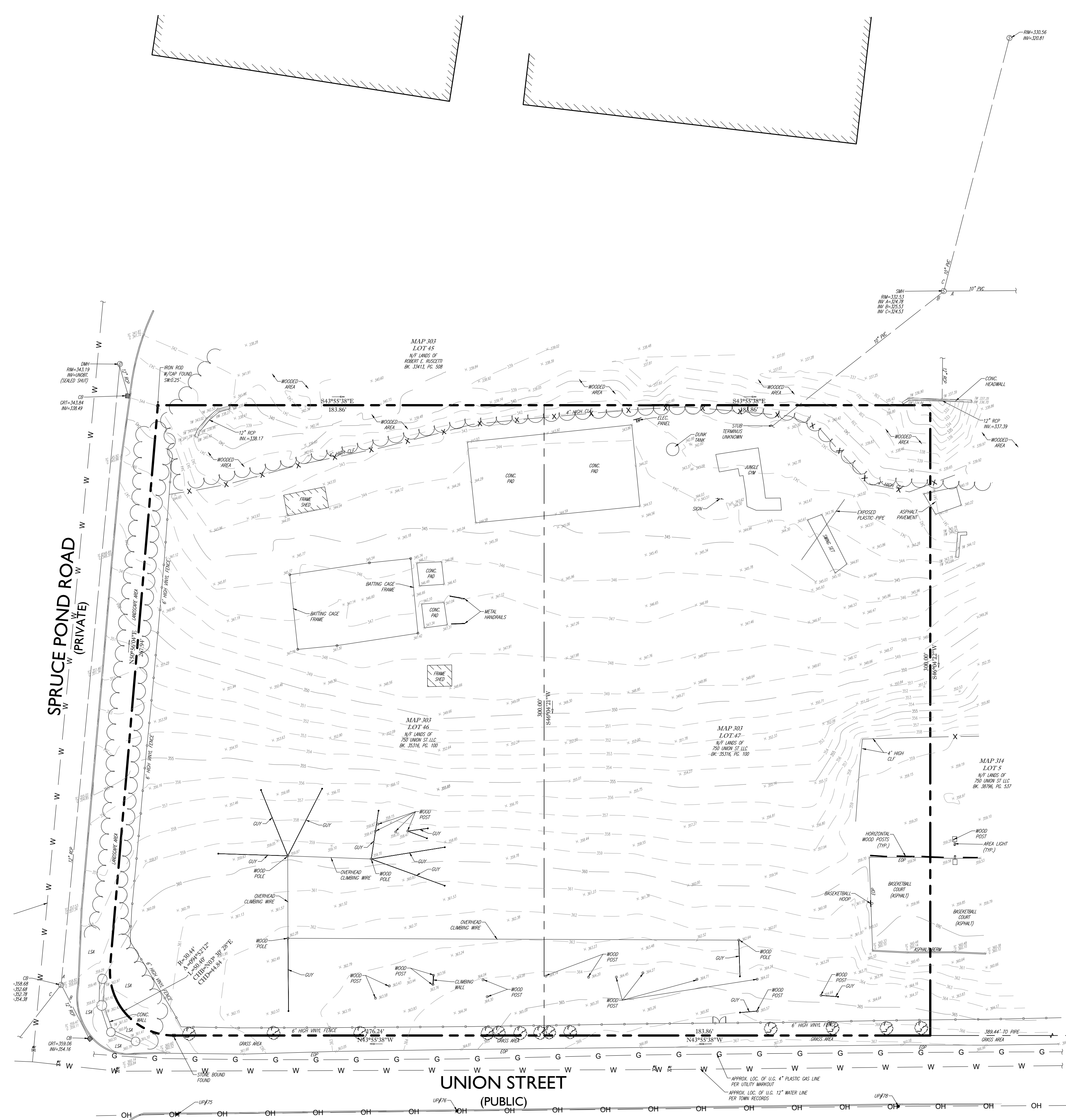
JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE No. 53936
LICENSED PROFESSIONAL ENGINEER

SCALE: AS SHOWN PROJECT ID: BOS-210005

TITLE:
COVER SHEET

DRAWING:
C-1

Z:\PROJECTS\1002010002\10002_Primrose EC-HOURLY - 700-71 UNION STREET - MANHATTAN\1002010002\1002010002.DWG



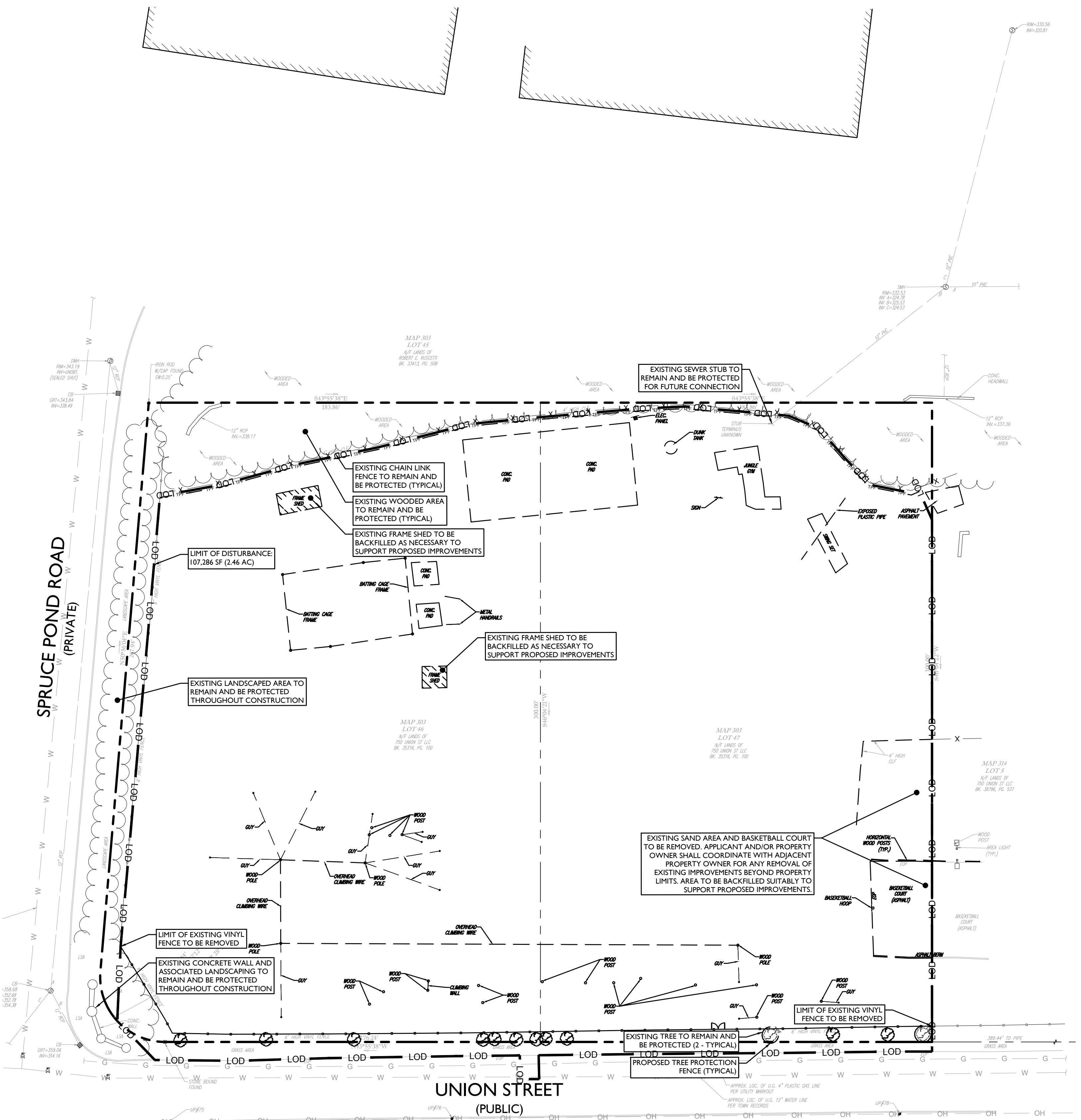
SYMBOL	DESCRIPTION
— 124 —	EXISTING CONTOUR
x 123.45	EXISTING SPOT ELEVATION
x TC 123.45	EXISTING TOP OF CURB ELEVATION
x G 123.45	EXISTING GUTTER ELEVATION
x TW 123.45	EXISTING TOP OF WALL ELEVATION
— OH —	OVERHEAD WIRES
— — —	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
— G —	APPROX. LOC. UNDERGROUND GAS LINE
— W —	APPROX. LOC. UNDERGROUND WATER LINE
UP / ●	UTILITY POLE
□	AREA LIGHT
—	SIGN
P	POST
UG	UNDER GROUND
EDP	EDGE OF PAVEMENT
DMH	DRAINAGE/STORM MANHOLE
SMH	SANITARY/SEWER MANHOLE
CB	CATCH BASIN OR INLET
RCP	REINFORCED CONCRETE PIPE
CLF	CHAIN LINK FENCE
○	TREE

SURVEY NOTES:
 1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

GRAPHIC SCALE IN FEET
 1" = 30'

	DESIGN REVIEW COMMISSION SUBMISSION
	DESCRIPTION
	NRK
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STONEFIELD engineering & design Rutherford, NJ • New York, NY • Boston, MA Princeton, NJ • Tampa, FL • Detroit, MI www.stonefielddeng.com 120 Washington Street, #120, Salem, MA 01970 Phone 617.203.2076	
SITE PLAN SET PRIMROSE SCHOOL FRANCHISING COMPANY PROPOSED CHILD DAY CARE FACILITY MAP 303, LOTS 46 & 47 700-712 UNION STREET TOWN OF FRANKLIN NORFOLK COUNTY, MASSACHUSETTS	
JOSHUA H. KLINE, P.E. MASSACHUSETTS LICENSE No. 53936 LICENSED PROFESSIONAL ENGINEER	
STONEFIELD engineering & design	
SCALE: 1" = 30'	PROJECT ID: BOS-210005
TITLE: EXISTING CONDITIONS PLAN	
DRAWING: C-2	

2:48(07)14(02)10(02)10000 PRM002E CD-H001- 300 1/2 UNION STREET - MANALIN, MA CAD/DT/OT/DP-14-10-10.DWG



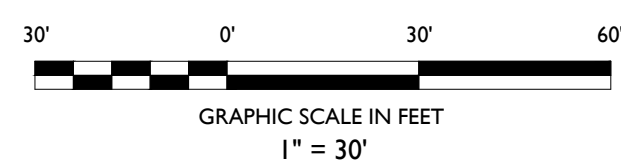
SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE
---	TREE PROTECTION FENCE

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



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- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



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NORFOLK COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE No. 53936
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 30' PROJECT ID: BOS-210005

TITLE:
DEMOLITION PLAN

DRAWING:
C-3

LAND USE AND ZONING			
MAP 303, PARCELS 46 & 47			
COMMERCIAL II DISTRICT			
PROPOSED USE		PERMITTED USE	
EDUCATIONAL (DAY CARE)	PERMITTED USE		
OFF-STREET PARKING	PERMITTED ACCESSORY USE		
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 SF (0.92 AC)	113,902 SF (2.61 AC)	113,902 SF (2.61 AC)
MINIMUM CONTINUOUS FRONTAGE	175 FT	176.2 FT	176.2 FT
MINIMUM LOT WIDTH	157.5 FT	300.0 FT	300.0 FT
MINIMUM LOT DEPTH	200 FT	300.0 FT	300.0 FT
MAXIMUM IMPERVIOUS COVERAGE	80% (91,122 SF)	4.3% (4,940 SF)	44.1% (50,251 SF)
MAXIMUM BUILDING COVERAGE	70% (79,731 SF)	0.3% (319 SF)	11.9% (13,525 SF)
MAXIMUM BUILDING HEIGHT*	40 FT / 3 STORIES	10 FT / 1 STORY	35.4 FT / 1 STORY
MINIMUM FRONT YARD SETBACK	40 FT	63.3 FT	40.0 FT
MINIMUM SIDE YARD SETBACK	30 FT	38.8 FT	165.8 FT

(*) MEASURED AS THE VERTICAL DISTANCE FROM THE AVERAGE FINISHED EXTERIOR GRADE ON THE STREET SIDE OF THE BUILDING (356.00) TO THE HIGHEST POINT OF THE ROOF.

GENERAL DESIGN REQUIREMENTS		
§ 185-26	CORNER LOT VIEW OBSTRUCTION: NO WALLS, FENCES, STRUCTURES OR HEDGES ABOVE 3 FT HEIGHT ARE PERMITTED WITHIN 25 FT OF INTERSECTION AND 20 FT FROM STREET LINE	COMPLIES
§ 185-28	FRONTAGE SIDEWALK REQUIREMENTS: MINIMUM WIDTH - 6 FT LOCATION - ALL STREET FRONTAGES	NOT PROVIDED (V) NOT PROVIDED (V)
§ 185-29	CURBING MATERIAL REQUIREMENTS: GRANITE OR REINFORCED CONCRETE CURBING LOCATION REQUIREMENTS: BETWEEN DRIVEWAY / PARKING AREA & LANDSCAPED AREA BETWEEN SIDEWALKS & RIGHT-OF-WAY	CONCRETE COMPLIES NOT PROVIDED (V)
§ 185-32	FOUNDATION GRADING: STREET SIDE FOUNDATION WALLS SHALL BE 1 FT ABOVE THE CROWN OF THE ROAD AT THE POINT NEAREST TO THE RIGHT-OF-WAY	±10 FT BELOW (V)

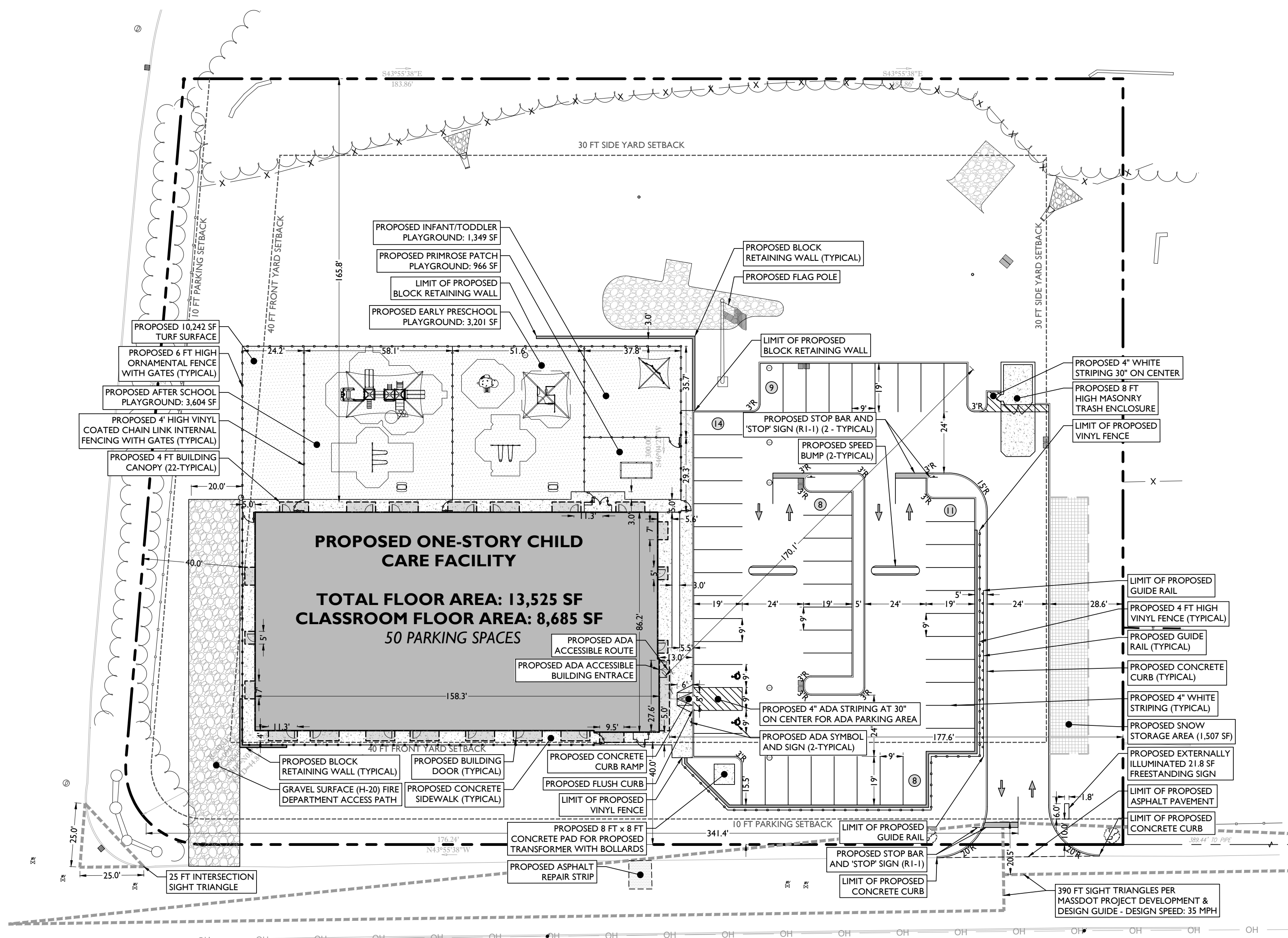
(V) VARIANCE

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 185-21.B.3.b.i.	MINIMUM REQUIRED PARKING: DAY CARE CENTER PARKING GENERATION, PER ITE 5TH EDITION = 2.45 SPACES PER 1000 SF GFA (2.45 SPACES / 1000 SF) x (13,525 SF) = 33.1 SPACES TOTAL REQUIRED: 34 SPACES	50 SPACES**
§ 185-21.C.1.	OFF-STREET PARKING SETBACK: 10 FT FROM RIGHT-OF-WAY	15.5 FT
§ 185-21.C.6.	MAXIMUM PARKING SPACE DISTANCE: 300 FT FROM BUILDING ENTRANCE	170.1 FT
§ 185-21.C.7.a.	MINIMUM DRIVEWAY CENTERLINE SEPARATION: 50 FT FROM STREET INTERSECTIONS 150 FT FROM OTHER DRIVEWAY CENTERLINES	341.4 FT ±231.5 FT
§ 185-21.C.8.	MINIMUM DRIVE AISLE WIDTH: 24 FT	24.0 FT
§ 185-21.C.9.a.	MINIMUM PARKING SPACE DIMENSIONS: NINETY DEGREES - 9 FT x 19 FT	9 FT x 19 FT
§ 185-21.E.	MAXIMUM DRIVEWAY GRADE: 1% FOR A DISTANCE OF 40 FT FROM INTERSECTION WITH STREET	12.0%

(*) ITE UTILIZED AS THERE IS NO MUNICIPAL PARKING REQUIREMENT PROVIDED FOR CHILD-CARE FACILITIES.
PER 185-21.A.4., THE NUMBER OF REQUIRED SPACES MAY BE REDUCED BY THE PLANNING BOARD OR BUILDING COMMISSIONER DUE TO THE UNUSUAL AGE OF SITE USERS.

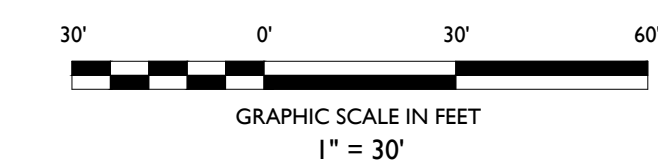
SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 185 ATTACHMENT 10	MAXIMUM FREESTANDING SIGN AREA: 25 SF	21.8 SF
	MAXIMUM FREESTANDING SIGN HEIGHT: 20 FT	6 FT
§ 185-20.C.4.b.2.	FREESTANDING SIGN SETBACK: 10 FT FROM RIGHT-OF-WAY	10.0 FT
§ 185-20.C.4.b.4.	NO FREESTANDING SIGN SHALL BE WIDER THAN THE DISTANCE BETWEEN ITS UPRIGHTS	COMPLIES
§ 185-20.C.4.b.6.	FREESTANDING SIGN MAXIMUM QUANTITY: 1 SIGN	1 SIGN

(*) PER § 185-20.C.4.c.1., PROPERTIES WITHIN THE COMMERCIAL AND BUSINESS CORRIDOR DISTRICT THAT ABUT A RESIDENTIALLY ZONED DISTRICT SHALL HAVE ALL SIGNS REDUCED IN SIZE BY HALF.



SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - - -	SETBACK LINE
- - - - -	SAWCUT LINE
---	PROPOSED CURB
====	PROPOSED FLUSH CURB
---	PROPOSED EXTENDED CURB
○ ○ ○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
□	PROPOSED CONCRETE
■	PROPOSED AREA LIGHT
---	PROPOSED RETAINING WALL
○ ○ ○	PROPOSED VINYL COATED CHAINLINK FENCE
□ □ □	PROPOSED ORNAMENTAL FENCE
---	PROPOSED BUILDING DOORS
○	PROPOSED SPEED BUMP

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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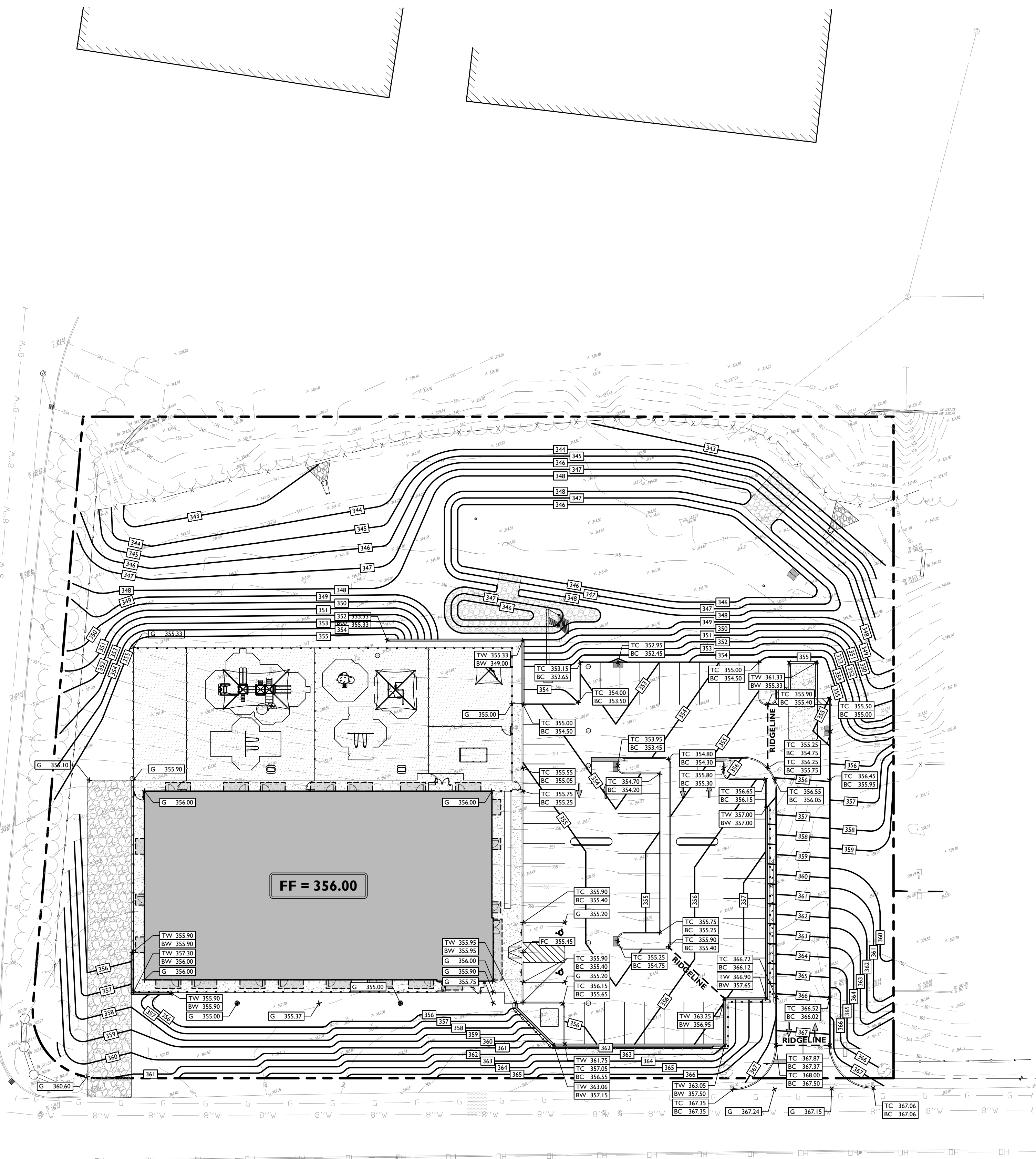
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SCALE: 1" = 30' PROJECT ID: BOS-210005

TITLE: **SITE PLAN**

DRAWING: **C-4**

2:8107014802031080210000 PRIMEOSE SCHOOLES - 700-712 UNION STREET - FRANKLIN, MA CAD/DP/OT/DFP/AS/ST/ED/ING



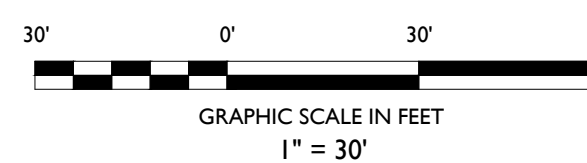
SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
	PROPOSED GRADE SPOT SHOT
	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED FLUSH CURB SPOT SHOT
	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

GRADING NOTES

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33%. IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP, CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 1/4 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



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SITE PLAN SET

**PRIMROSE SCHOOL
FRANCHISING COMPANY**

**PROPOSED CHILD DAY
CARE FACILITY**

MAP 303, LOTS 46 & 47
700-717 UNION STREET
TOWN OF FRANKLIN
NORFOLK COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE NO. 53936
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 30' PROJECT ID: BOS-210005

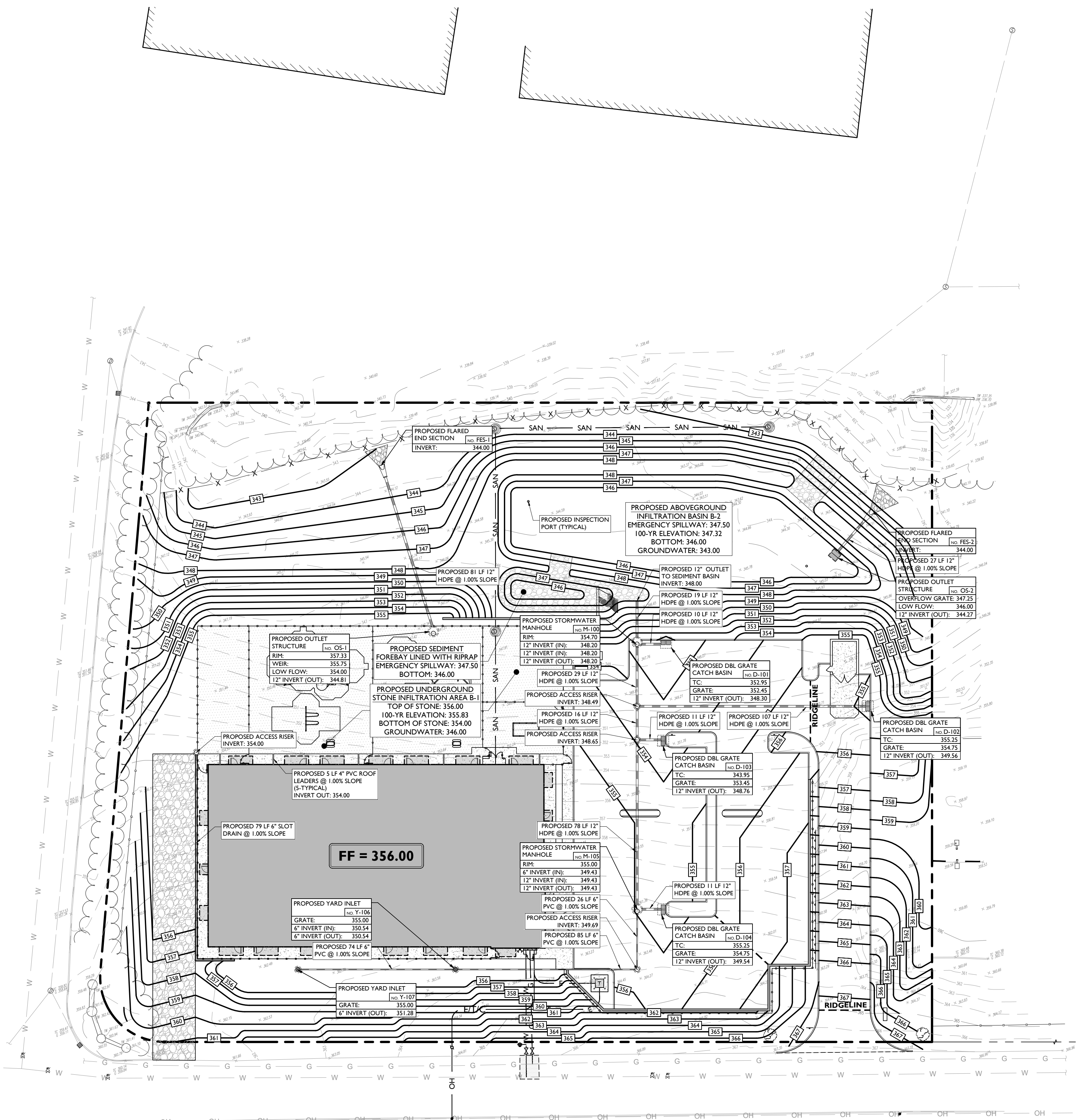
TITLE:

GRADING PLAN

DRAWING:
C-5

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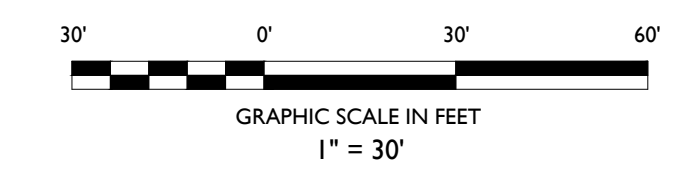
SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING

- DRAINAGE AND UTILITY NOTES**
1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
 2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADE.
 3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
 4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

- EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
 2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL. ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
 3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
 4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

- STORMWATER INFILTRATION BMP CONSTRUCTION NOTES**
1. PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIORETENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
 2. THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL, TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
 3. ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.
 4. THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
 5. DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
 6. FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION. IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
 7. THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

- STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**
1. THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 2. UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
 3. NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.



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SITE PLAN SET

PRIMOSE SCHOOL FRANCHISING COMPANY

PROPOSED CHILD DAY CARE FACILITY

MAR 303, LOTS 44 & 47
700-717 UNION STREET
TOWN OF FRANKLIN
NORFOLK COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
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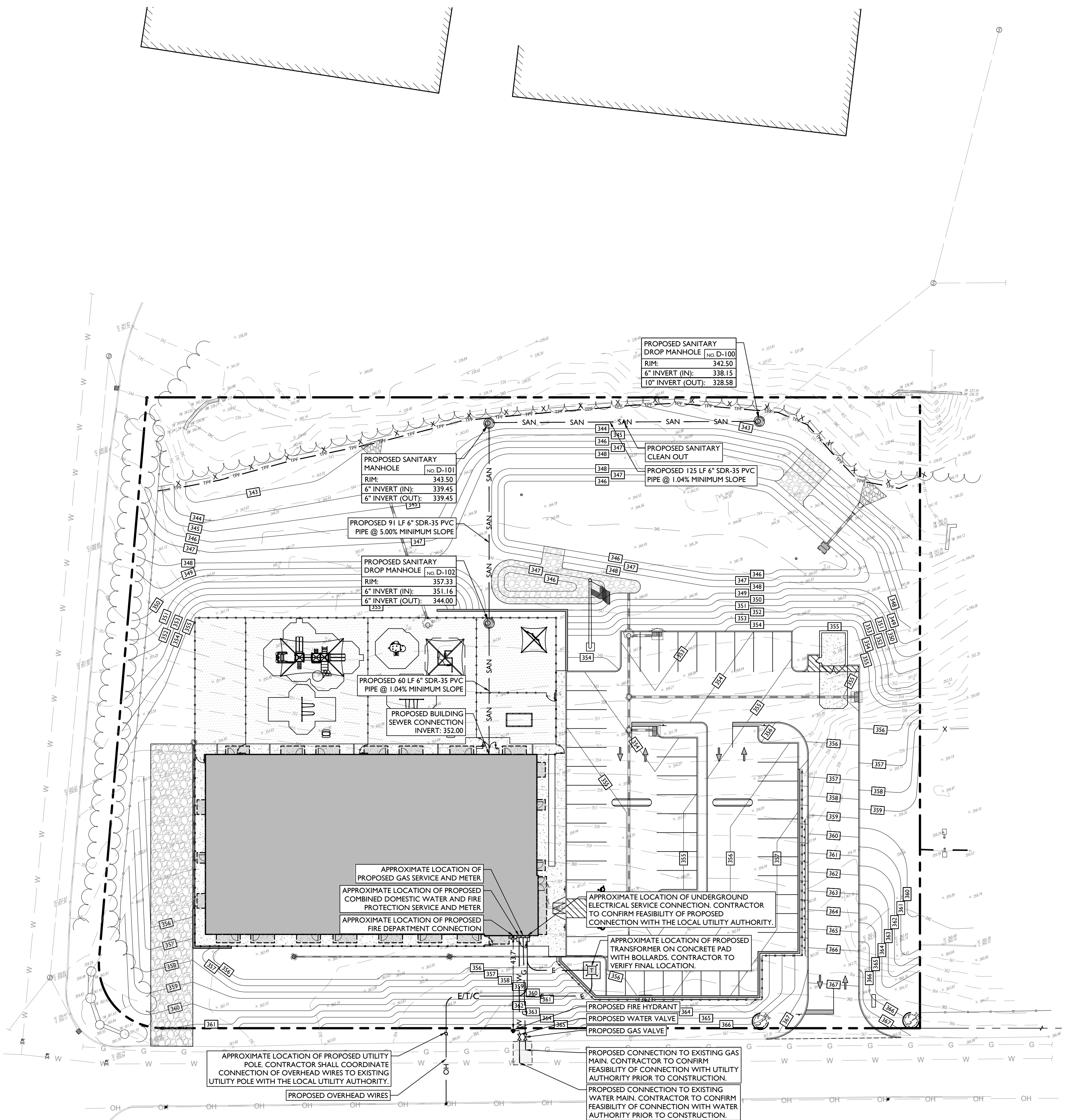
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TITLE:
STORMWATER MANAGEMENT PLAN

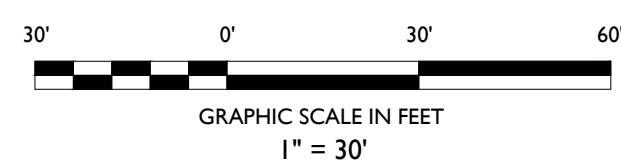
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SYMBOL	DESCRIPTION
---	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
E/T/C	PROPOSED ELECTRICAL/DATA CONDUITS
T/C	PROPOSED DATA CONDUITS
E	PROPOSED ELECTRIC CONDUITS
OH	PROPOSED OVERHEAD WIRES
G	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊥	PROPOSED WATER TEE / BEND
⊙	PROPOSED FIRE HYDRANT
⊕	PROPOSED FIRE DIRECT CONNECTION (FDC)
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
⊙	PROPOSED UTILITY POLE
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DISPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



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SITE PLAN SET

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MAP 303, LOTS 46 & 47
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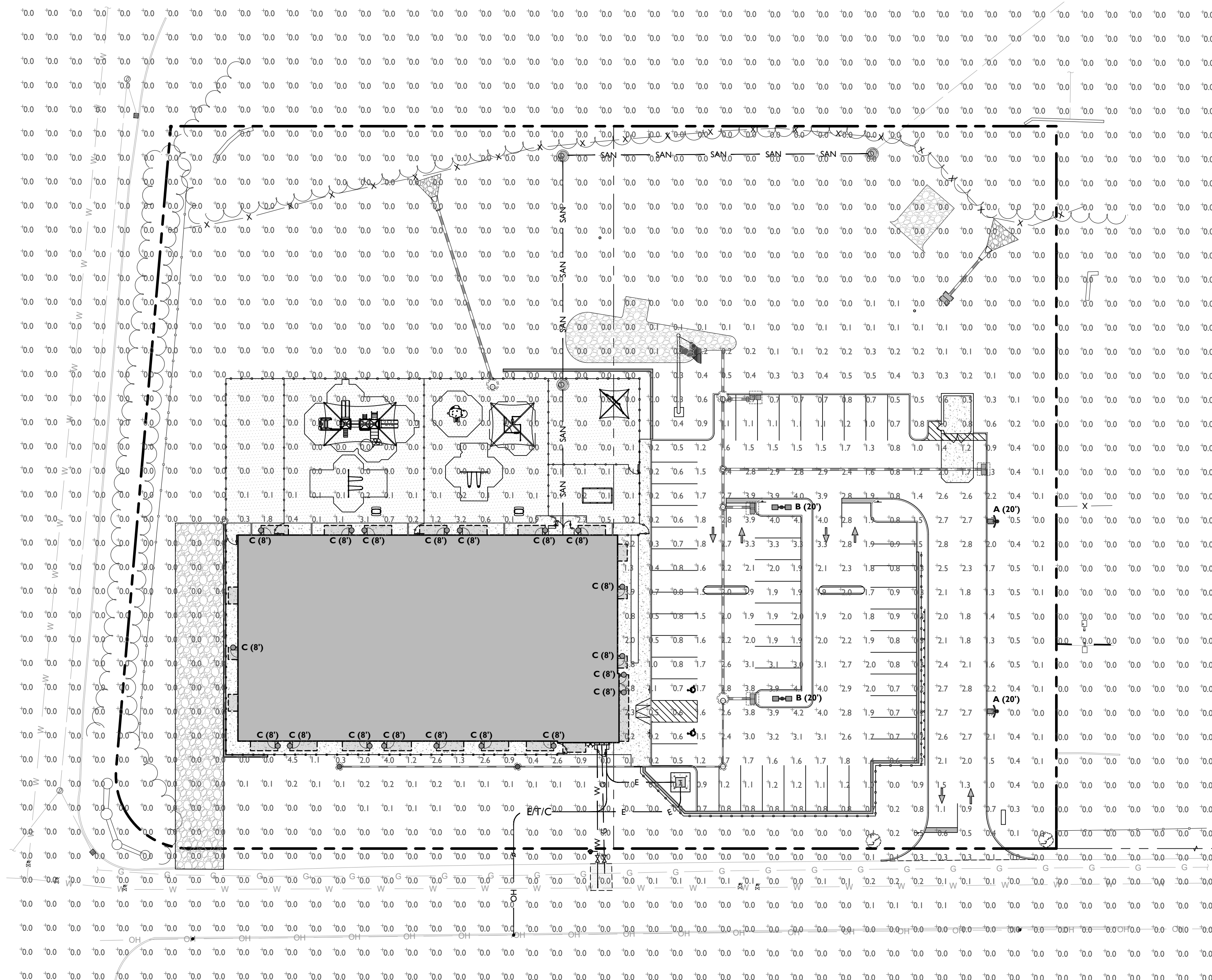
SCALE: 1" = 30' PROJECT ID: BOS-210005

TITLE: **UTILITY PLAN**

DRAWING: **C-7**

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	2	MIRADA (MRM) AREA LIGHT - 9LED - 40K - BACKSHIELDED - 62 WATT	TYPE III	0.9	LSI	MRM-LED-09L-SIL-3-40-70CRI-IH.IES
	B	2	MIRADA (MRM) AREA LIGHT - DOUBLE 180° - 9LED - 40K - 62 WATT	TYPE III	0.9	LSI	MRM-LED-09L-SIL-3-40-70CRI-IH.IES
	C	19	HI-LITE WALL MOUNT LIGHT - LED - 30K - 12 WATT	TYPE V	0.9	HI-LITE MFG	NEWH-CGU-1B LED3.IES

SYMBOL	DESCRIPTION
	PROPOSED CALCULATION AREA
	PROPOSED ISOMETRIC LINE
	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

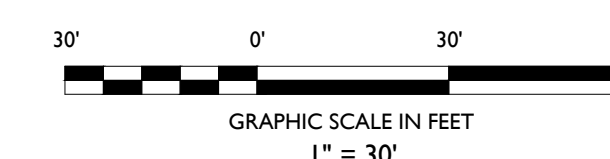


GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

ATM LIGHTING NOTES:

- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - FIXTURE 'X' = MINIMUM X WATTS
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
- PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
- THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
- ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
- EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.



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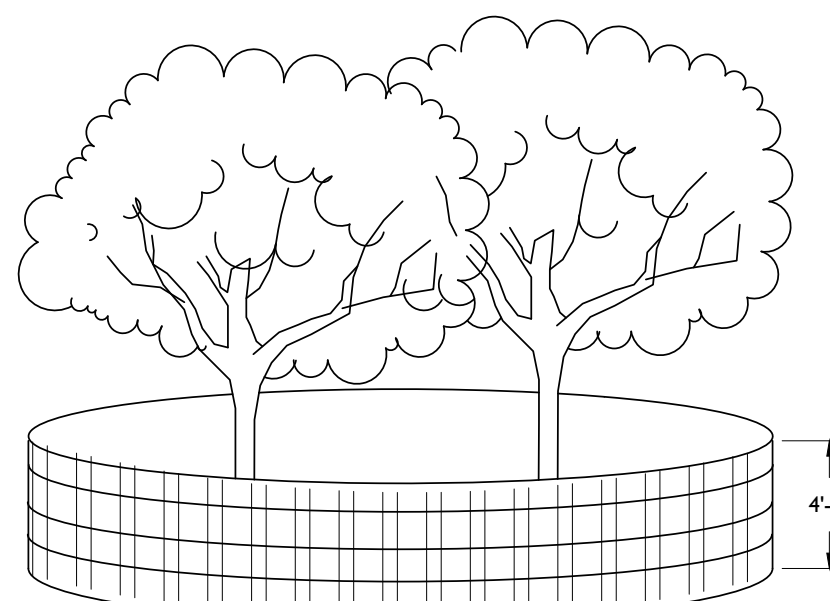
TITLE:
LIGHTING PLAN

DRAWING:
C-8

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- DUST CONTROL NOTES**
- MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY. PG. 5-1
 - VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER. PG. 7-1. PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
 - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
 - TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 - SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
 - BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
 - CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE IF USED ON STEEPER SLOPES. THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
 - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

- STABILIZATION SPECIFICATIONS:**
- I.A. TEMPORARY SEEDING AND MULCHING:
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS. PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNKNOTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- I.B. PERMANENT SEEDING AND MULCHING:
TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 550 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS. PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION).
MULCH - UNKNOTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).



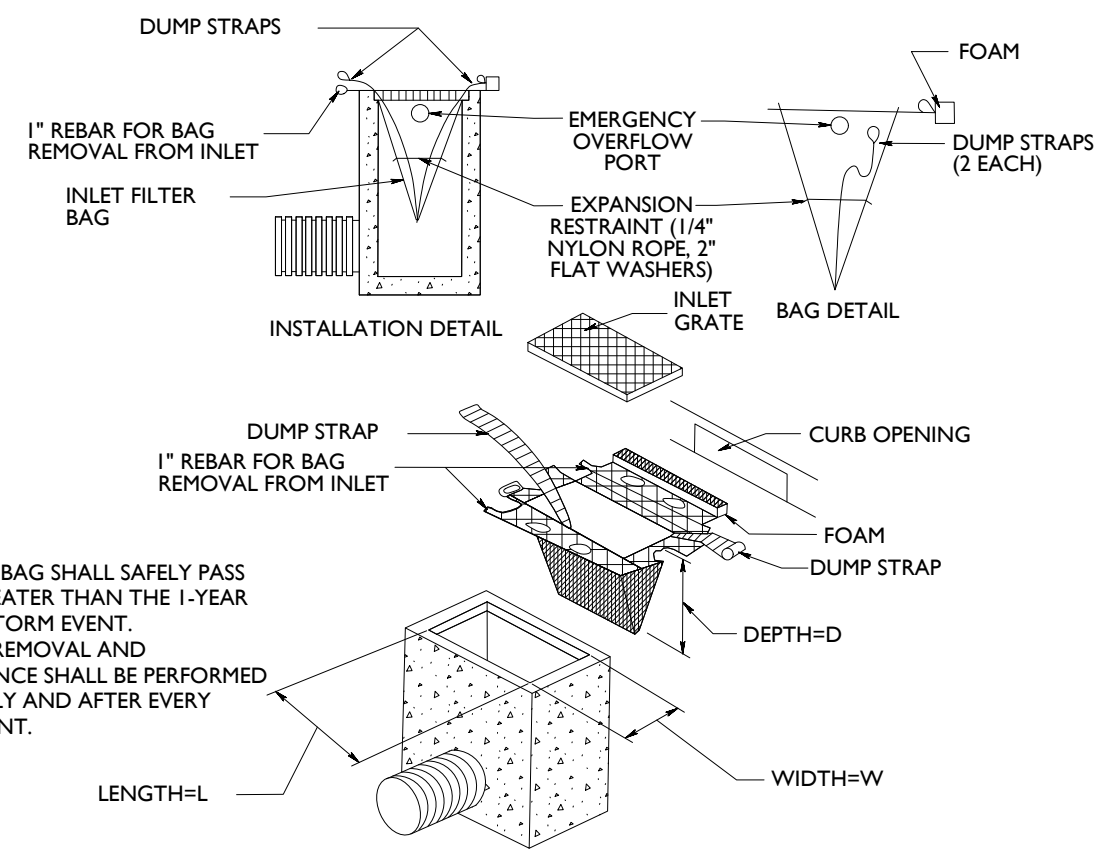
- NOTES:**
- SNOW FENCING IS TO BE 4'-0" HIGH AND SELF SUPPORTED.
 - DO NOT STOCKPILE MATERIALS OR STORE EQUIPMENT WITHIN THE TREE PROTECTION FENCING.
 - SNOW FENCE TO BE INSTALLED AT DRIP LINE OF EXISTING TREE OR TREE CLUSTER TO BE PROTECTED OR NO CLOSER THAN 6' FROM TREE TRUNK IF NECESSARY.
 - IF THE PROJECT AREA ENCOMPASSES A PORTION OF THE DRIP LINE OF THE TREE, NO MORE THAN ONE THIRD OF THE TOTAL AREA OF WITHIN THE DRIP LINE SHOULD BE DISTURBED BY CONSTRUCTION OR REGRADING AND A 3" THICK LAYER OF MULCH SHALL BE INSTALLED OVER THE AREA OF THE DRIP LINE WHICH IS NOT PROTECTED BY FENCING TO PROVIDE A CUSHION.

TREE PROTECTION DETAIL

NOT TO SCALE

SOIL CHARACTERISTICS CHART

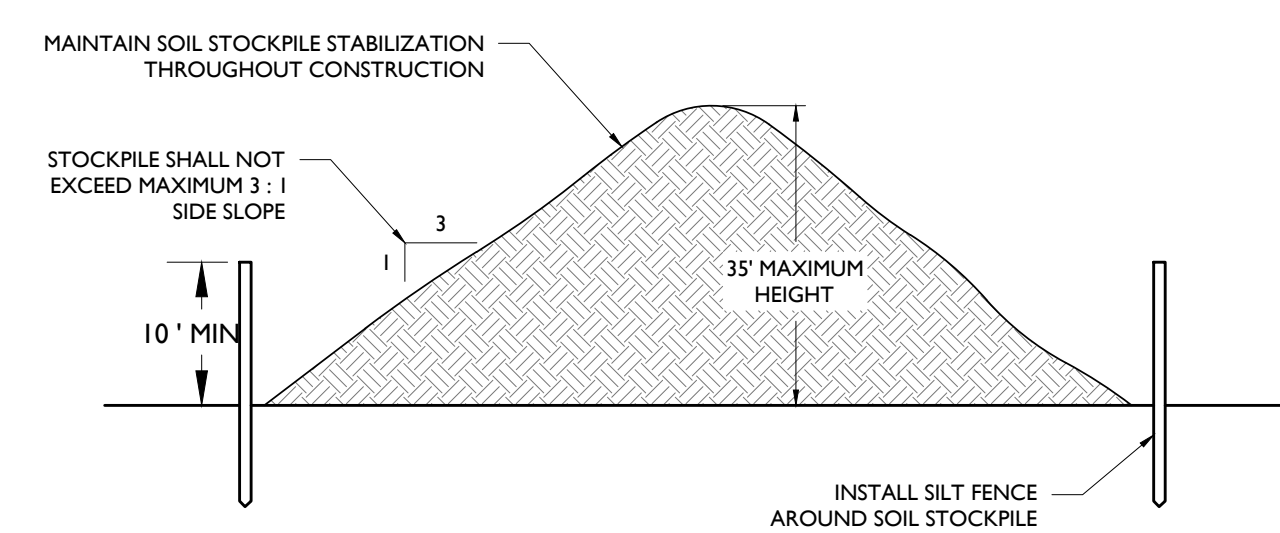
TYPE OF SOIL	MONTAUK FINE SANDY LOAM (300B)	WOODBRIDGE FINE SANDY LOAM (310B)
PERCENT OF SITE COVERAGE	70.4%	29.6%
HYDROLOGIC SOIL GROUP	C	CD
DEPTH TO RESTRICTIVE LAYER	30 TO 39 INCHES	20 TO 39 INCHES
SOIL PERMEABILITY	0.00 TO 1.43 IN / HR	0.00 TO 0.14 IN / HR
DEPTH TO WATER TABLE	18 TO 37 INCHES	18 TO 30 INCHES



- NOTES:**
- THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
 - SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

INLET FILTER BAG DETAIL

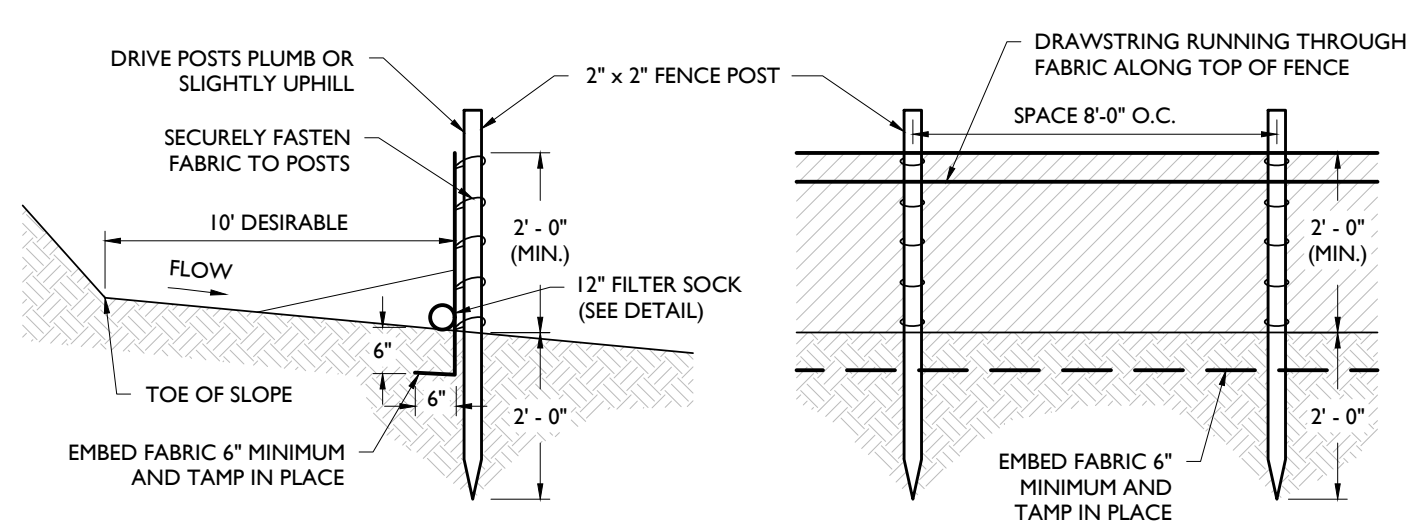
NOT TO SCALE



- NOTES:**
- STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 - STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

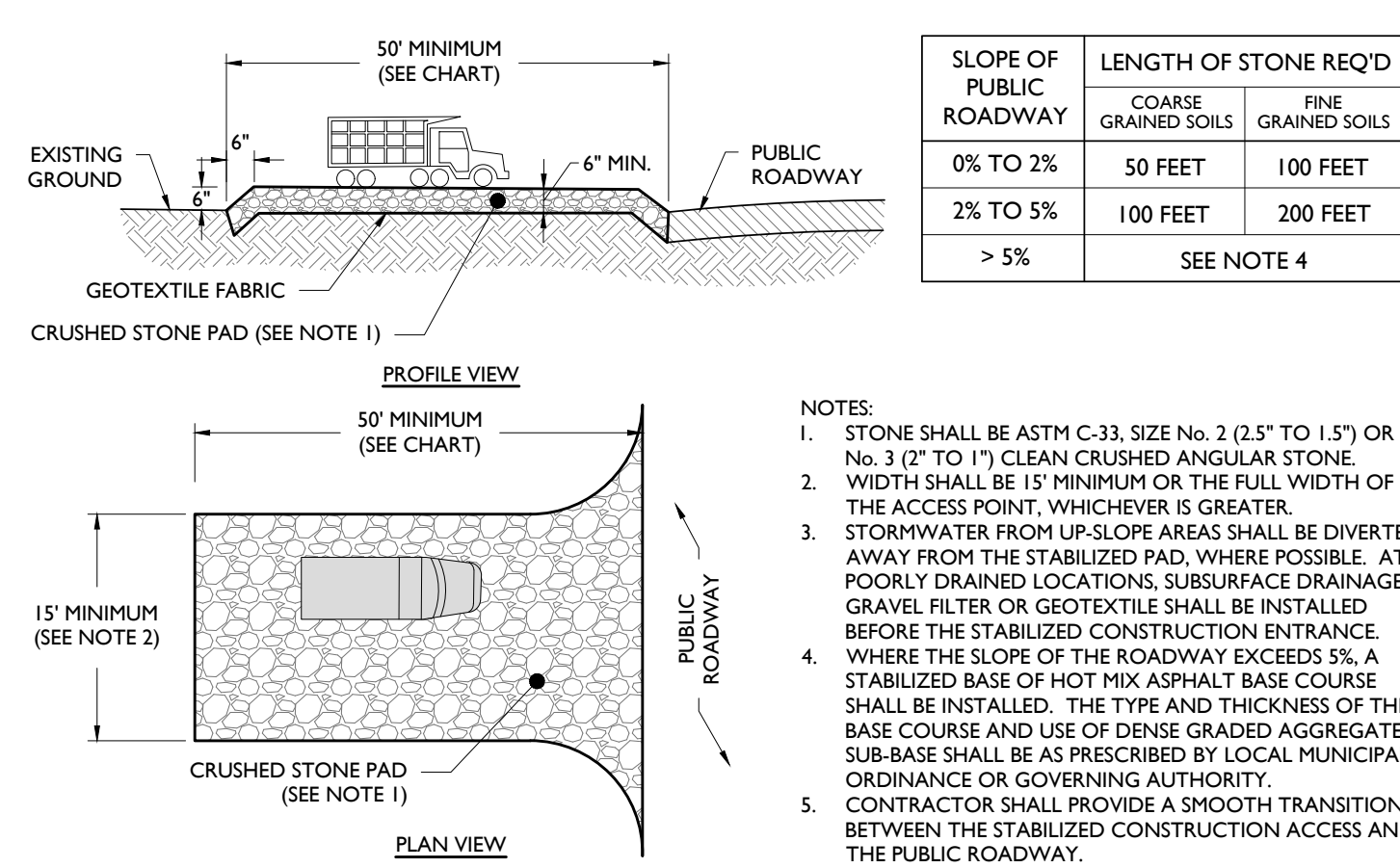
NOT TO SCALE



- NOTES:**
- SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 - GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN) AND TAMP IN PLACE.
 - SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 - SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE DETAIL

NOT TO SCALE



- NOTES:**
- STONE SHALL BE ASTM C-33, SIZE NO. 2 (2.5" TO 1.5") OR NO. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
 - WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
 - STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
 - WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
 - CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

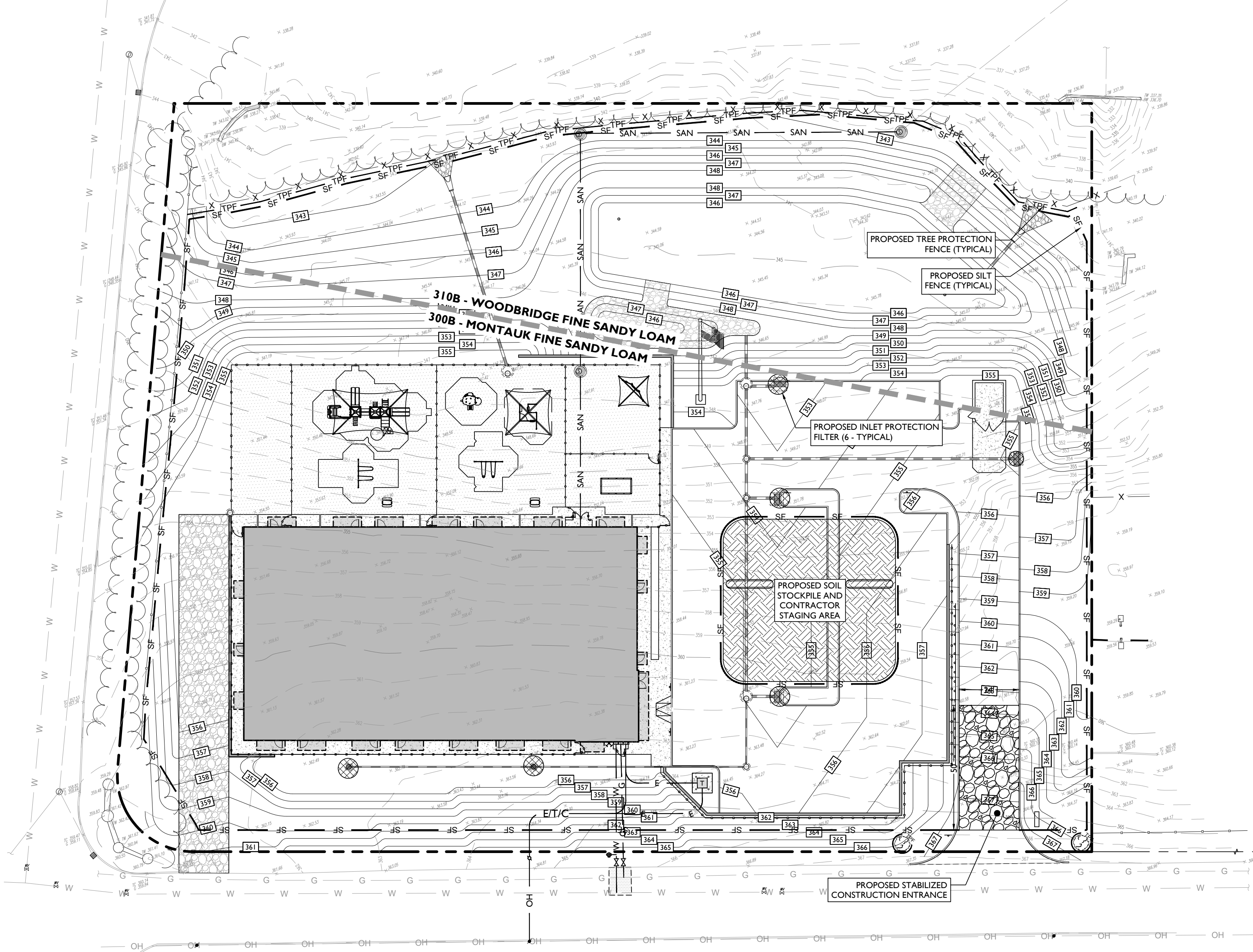
SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	

SYMBOL DESCRIPTION

---	PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
SF	PROPOSED SILT FENCE
TPF	PROPOSED TREE PROTECTION FENCE
[Pattern]	PROPOSED STOCKPILE & EQUIPMENT STORAGE
[Pattern]	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
[Pattern]	PROPOSED INLET PROTECTION FILTER

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

- SEQUENCE OF CONSTRUCTION**
- INSTALL CONSTRUCTION ENTRANCE (2 DAYS).
 - INSTALL TEMPORARY SEDIMENT BASIN AND RIPRAP AREA TO FUNCTION UNTIL 75% OF THE DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED (2 DAYS).
 - DEMOLISH EXISTING PAVEMENT WHERE APPLICABLE (7 DAYS).
 - ROUGH GRADING AND TEMPORARY SEEDING (2 DAYS).
 - BASIN CONSTRUCTION INCLUDING STABILIZATION (14 DAYS).
 - DECOMMISSION TEMPORARY SEDIMENT BASIN AND RIPRAP AREA (1 DAY).
 - BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (100 DAYS).
 - INSTALL CURBSIDE SEDIMENT BARRIERS (1 DAY).
 - SOIL RESTORATION MEASURES (3 DAYS).
 - LANDSCAPING IMPROVEMENTS AND FINAL SEEDING & TOP SOILING (7 DAYS).
 - REMOVE SOIL EROSION MEASURES (1 DAY).
- NOTE: THE DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.



DATE	ISSUE	BY	DESCRIPTION
06/22/2023	1	NRK	DESIGN REVIEW COMMISSION SUBMISSION

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700-717 UNION STREET
NORFOLK COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE NO. 53936
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 30' PROJECT ID: BOS-210005

SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING:

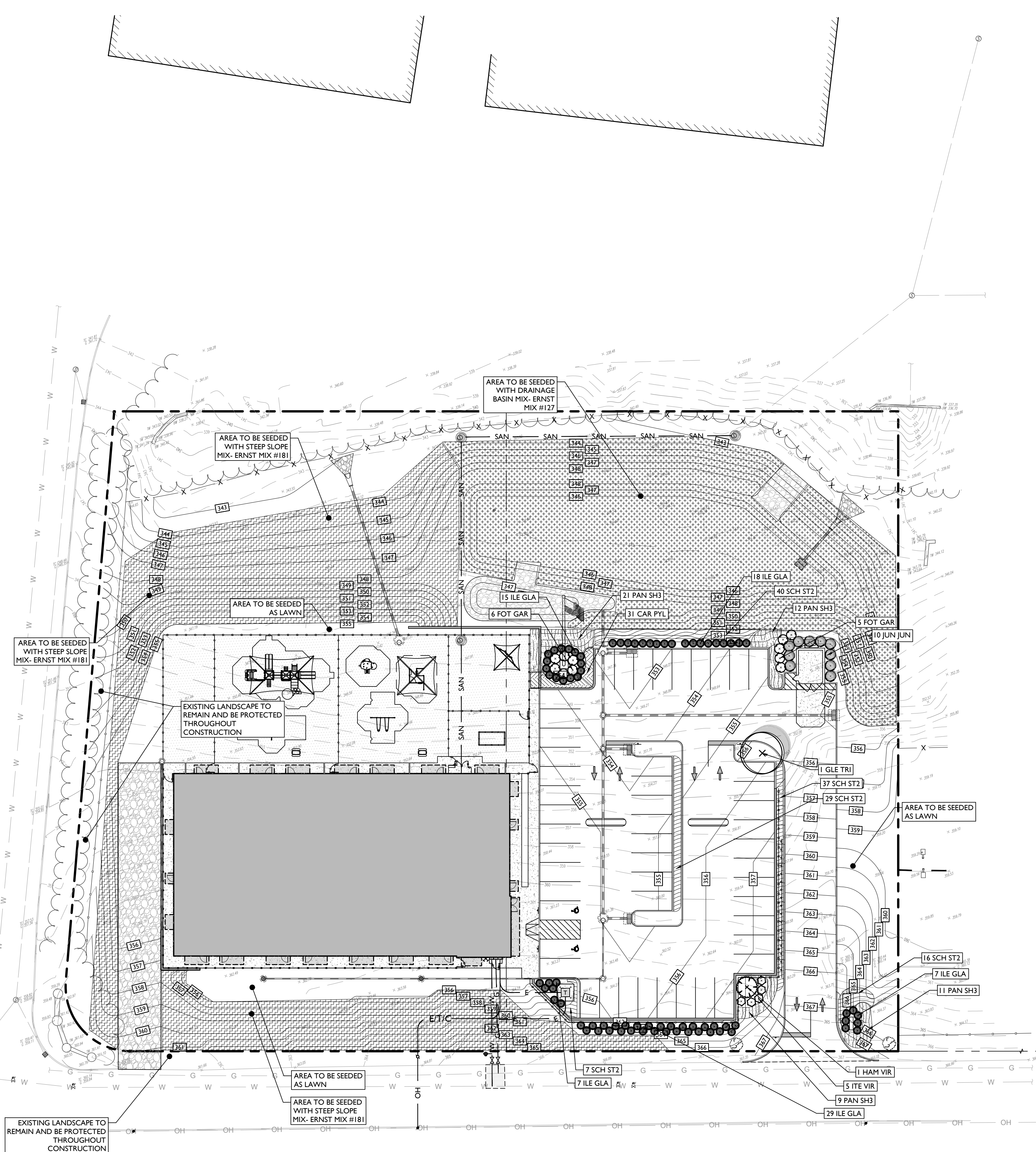
C-9

811

Know what's below
Call before you dig.

GRAPHIC SCALE IN FEET
1" = 30'

Z:\PROJECTS\811\811002\811002.DWG PRINROSE EC-0005 - 700' W UNION STREET - MANGLIN\LANDSCAPING\07\07P-15LAND.DWG



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	GLE TRI	1	GLEDITSIA TRIACANTHOS	HONEY LOCUST	2.5" - 3" CAL	B&B	NATIVE
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	ILE JER	1	ILEX OPACA 'JERSEY QUEEN'	AMERICAN HOLLY	6' - 7' HT	B&B	NATIVE
	JUN JUN	10	JUNIPERUS COMMUNIS	COMMON JUNIPER	6' - 7' HT	B&B	NATIVE
FLOWERING TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	HAM VIR	1	HAMAMELIS VIRGINIANA	COMMON WITCH HAZEL	4' - 5' HT.	B&B	NATIVE
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	FOT GAR	11	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24" - 30"	POT	NATIVE
	ITE VIR	5	ITEA VIRGINICA	VIRGINIA WILLOW	24" - 30"	POT	NATIVE
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	ILE GLA	76	ILEX GLABRA	INKBERRY HOLLY	24" - 30"	POT	NATIVE
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	PAN SH3	53	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	5 GAL	48" o.c.	NATIVE
	CAR PYL	31	CAREX PENNSYLVANIA	PENNSYLVANIA SEDGE	1 GAL	30" o.c.	NATIVE
	SCH ST2	143	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION LITTLE BLUESTEM GRASS	1 GAL	36" o.c.	NATIVE

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 185-21 C.5.	PARKING LOT LANDSCAPING: 1 TREE (2" CAL PER OR GREATER) PER 10 SPACES (1 TREE / 10 SPACES) x (50 SPACES) = 5 TREES 40 SF OF UNPAVED SOIL PER TREE	12 TREES COMPLIES
§ 185-20 C.4.b.5.	FREESTANDING SIGN LANDSCAPING: SELECT FAUNA REQUIRED AT A MAXIMUM HEIGHT OF 2 FT	COMPLIES
§ 185-35	PARKING AREA SCREENING REQUIREMENTS: 4 FT WIDE EVERGREEN BUFFER OF MINIMUM 3 FT HEIGHT OR A WALL, FENCE, OR EARTH BERM MINIMUM 12" IN HEIGHT	COMPLIES



Know what's below
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IRRIGATION NOTE:
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON-SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES
1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPE AREAS.

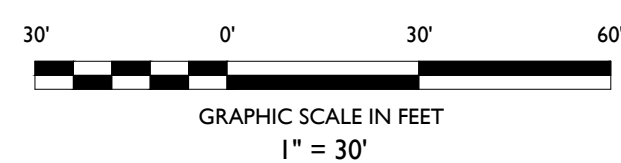
ERNST SEED CO. RETENTION BASIN WILDLIFE MIX SEEDING SPECIFICATIONS (ERNST MIX-127):

PANICUM CLANDESTINUM	ORIENTAL BROME	30%
ELYMUS VIRGINICUS	VIRGINIA BLUEGRASS	25%
CAREX LURIDA	LURID SEDGE	7%
CAREX SCORPORA	BLUNT BROOM SEDGE	7%
VERBENA HASTATA	BLUE VERVAIN	3%
SONCHUS OLEROSUS	SOFT TONGUE	3%
SCIRPUS CYRILLICUS	RUSSIAN BROOM	3%
ADOLPHUS INCARNATA	SWAMP PILLWEED	3%
HELIOPSIS SCUTELLARIA	COMMON SUNFLOWER	3%
ASTER FLORIDUS	PURPLE TOPPED ASTER	3%
ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	3%
ASTER UMBELLATUS	FLAT TOPPED WHITE ASTER	3%
ERIBOTRICHON PERFORIATUM	BORNET	3%
LOBELIA SPICIFLORA	GREY BLUE LOBELIA	3%

ERNST SEED CO. NATIVE STEEP SLOPE MIX SEEDING SPECIFICATIONS (ERNST MIX-181):

SORGHASTRUM NUTANS	INDIAN GRASS	31.1%
LOLIVIA MULTIFLORA	ANDALUSIAN BLUEGRASS	20%
ANDROPOGON CIRARIENSIS	BIG BLUE STEM BUCKWHEAT	14%
ELYMUS CANADENSIS	OHIO BLUEGRASS	7%
JUGLANS NIGRA	ALBANY PINE BUSH	7%
PANDOLIS VERGATUM	SWITCHGRASS	4%
PANICUM CLANDESTINUM	DEER TONGUE	4%
SCIRPUS CYRILLICUS	PURPLE CONEFLOWER	1.5%
CHAMMEDESIA FACELLATA	PAETZEGE PEA	1.5%
HELIOPSIS HELIANTHOIDES	ORNYE SUNFLOWER	1.2%
CONOPSEUS ANGLICATA	LANGSHIRE CONYSEED	1.2%
HELIOPSIS SCUTELLARIA	COMMON SUNFLOWER	1.2%
MONARDA FISTULOSA	WILD BERGAMOT	3%
ACULOPHYSA SYRIACA	COMMON PILLWEED	3%
SOLIDAGO RUSCOA	WARWICK GOLDENROD	3%
ASTER LATEFOLIUS	WALKER LATEFOLIUS	3%
ASTER FLORIDUS	HEATH ASTER	10%

- SOW ABOVE MIX AT A RATE OF 15 LBS./ACRE.
- SUPPLEMENT ABOVE MIX WITH ANNUAL RYE AT A RATE OF 10 LBS./ACRE.
- NO MOWING SHALL TAKE PLACE.



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SITE PLAN SET

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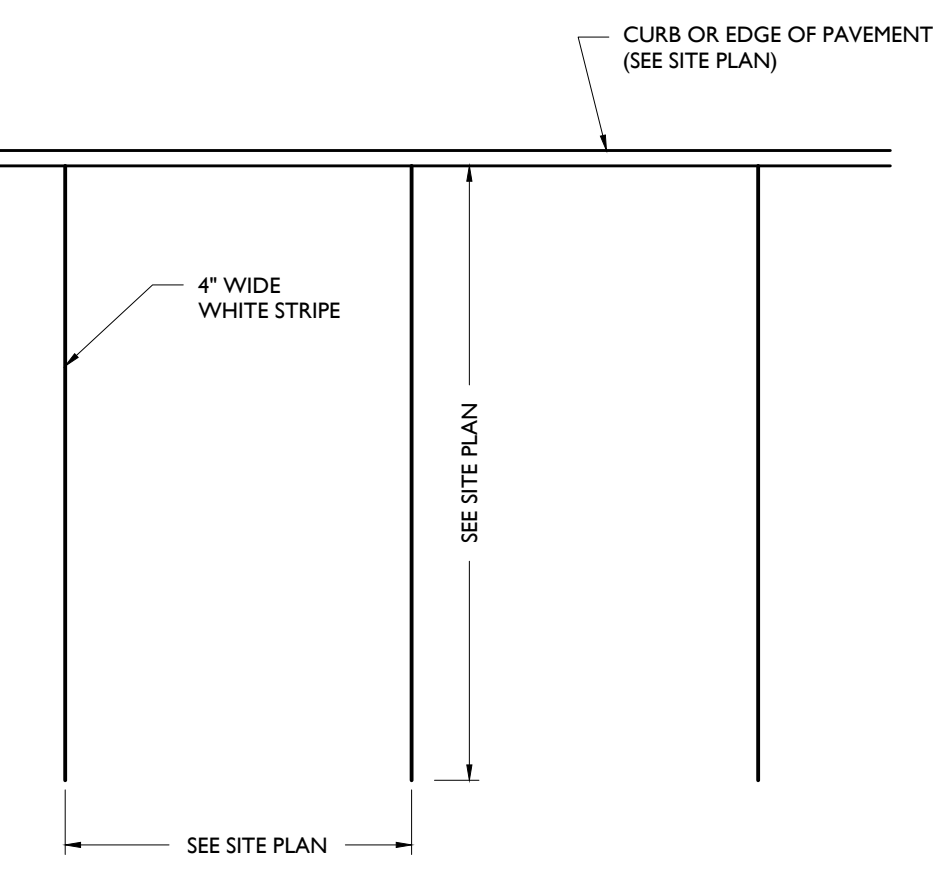
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SCALE: 1" = 30' PROJECT ID: BOS-210005

TITLE: **LANDSCAPING PLAN**

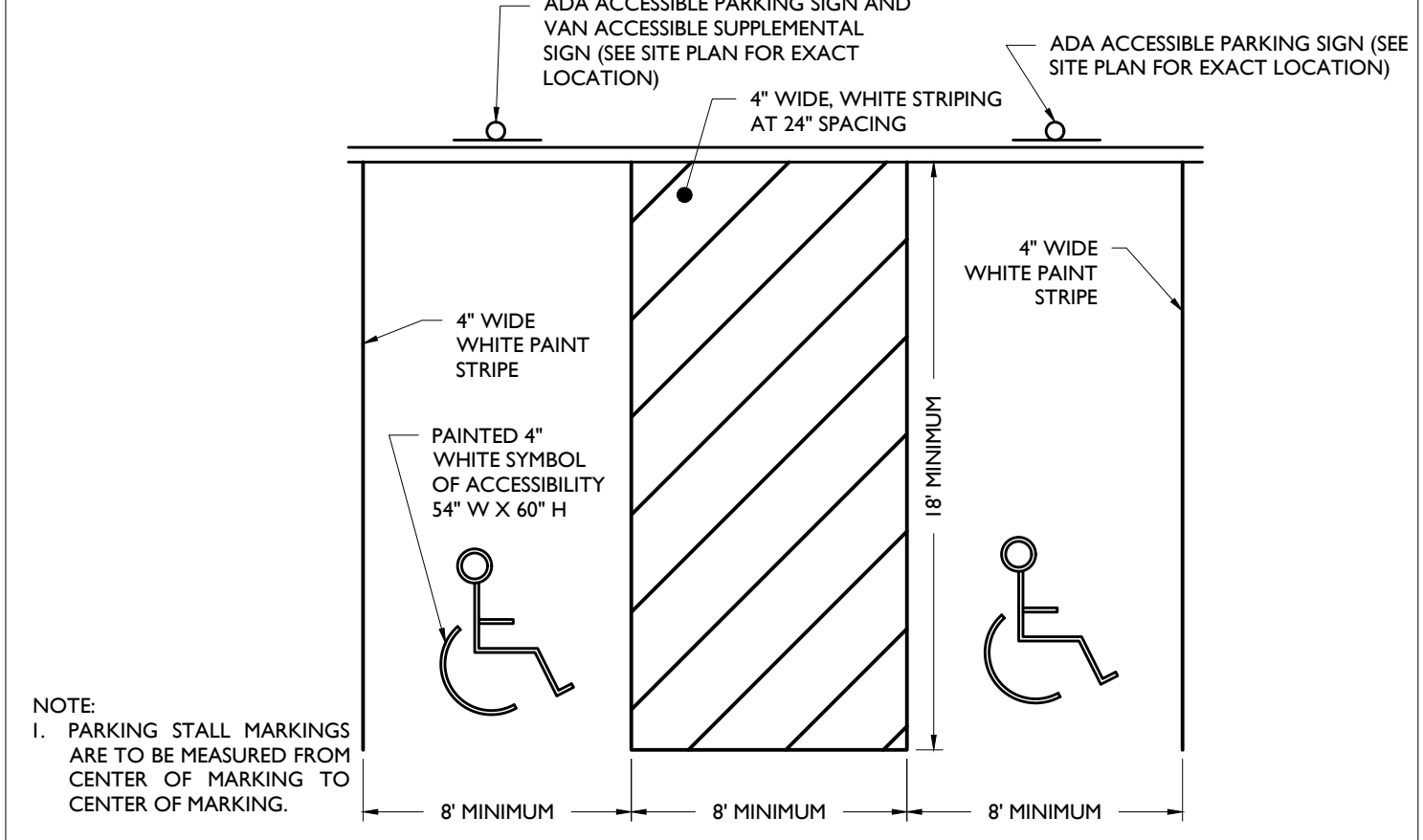
DRAWING: **C-10**

ISSUE	DATE	BY	DESCRIPTION
1	06/22/2023	NRK	DESIGN REVIEW COMMISSION SUBMISSION



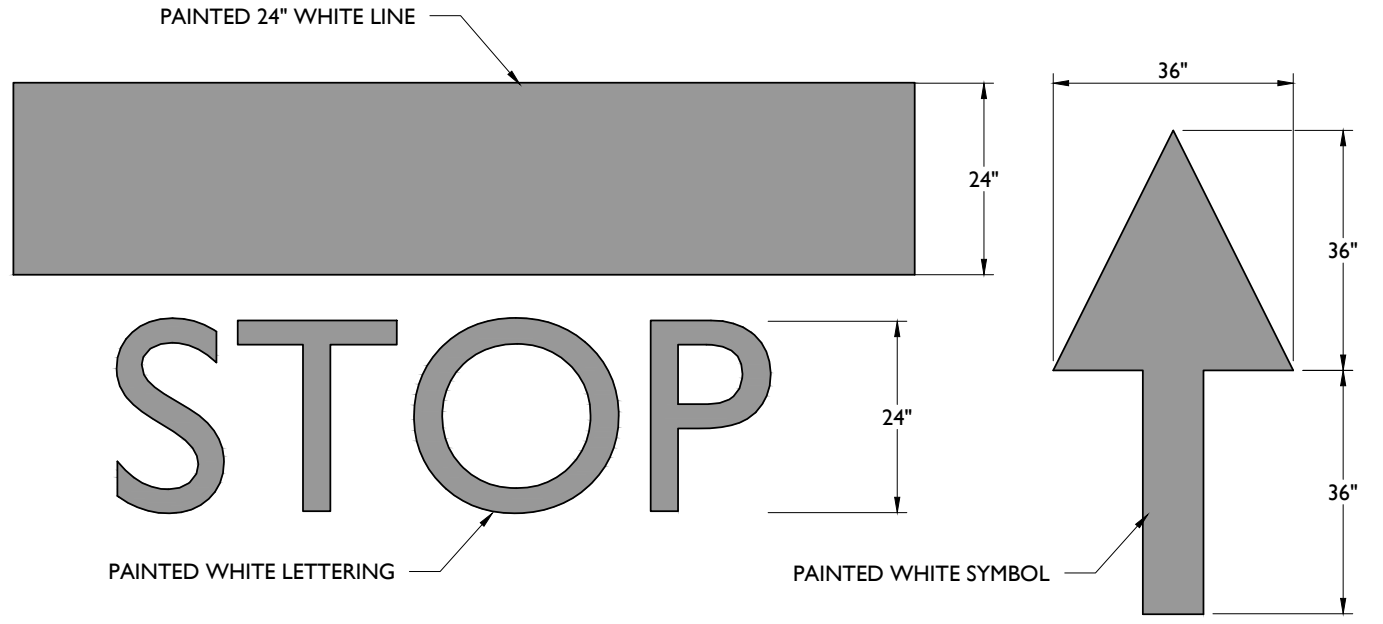
PARKING STALL MARKINGS

NOT TO SCALE



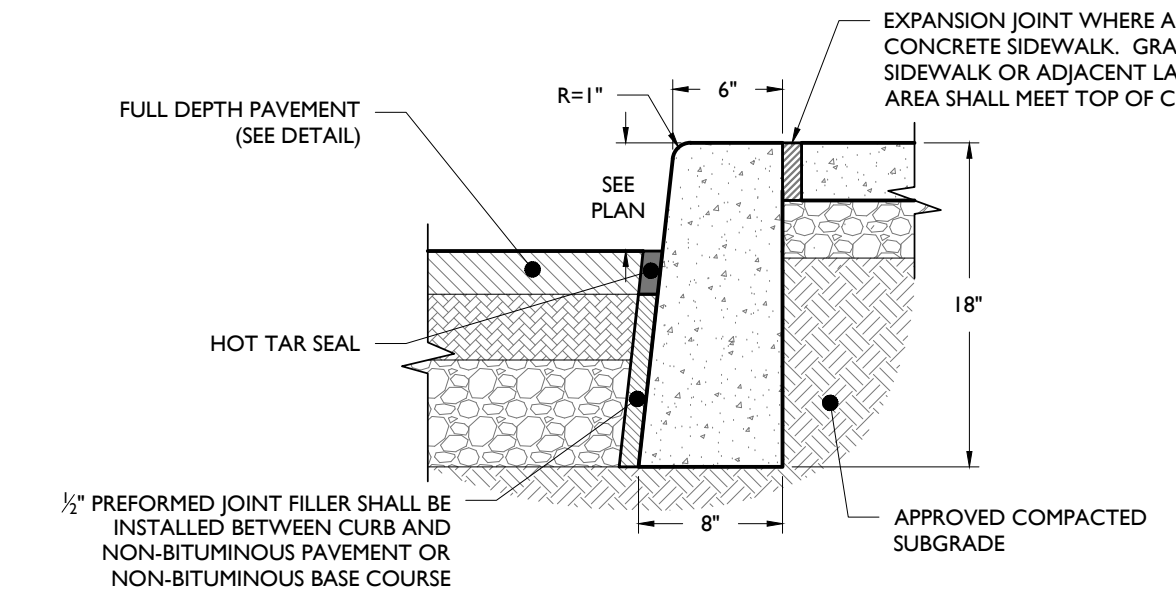
ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE



STOP BAR & ARROW DETAILS

NOT TO SCALE

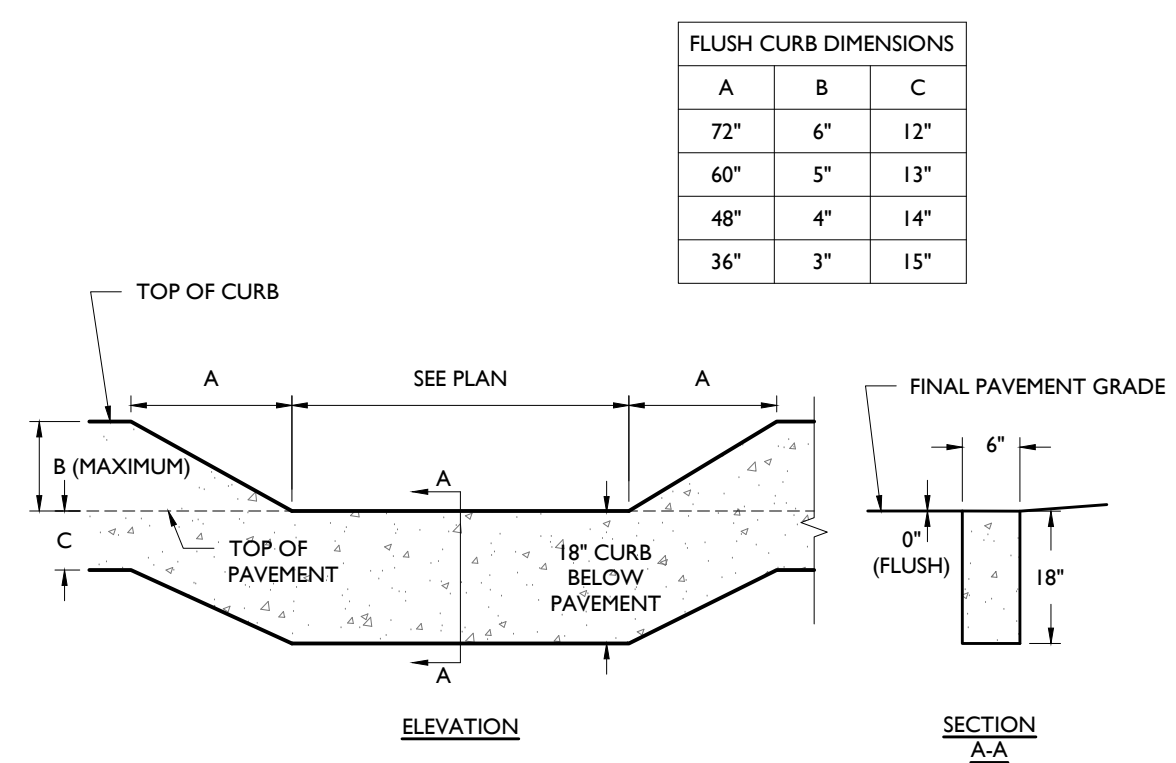


CONCRETE CURB DETAIL

NOT TO SCALE

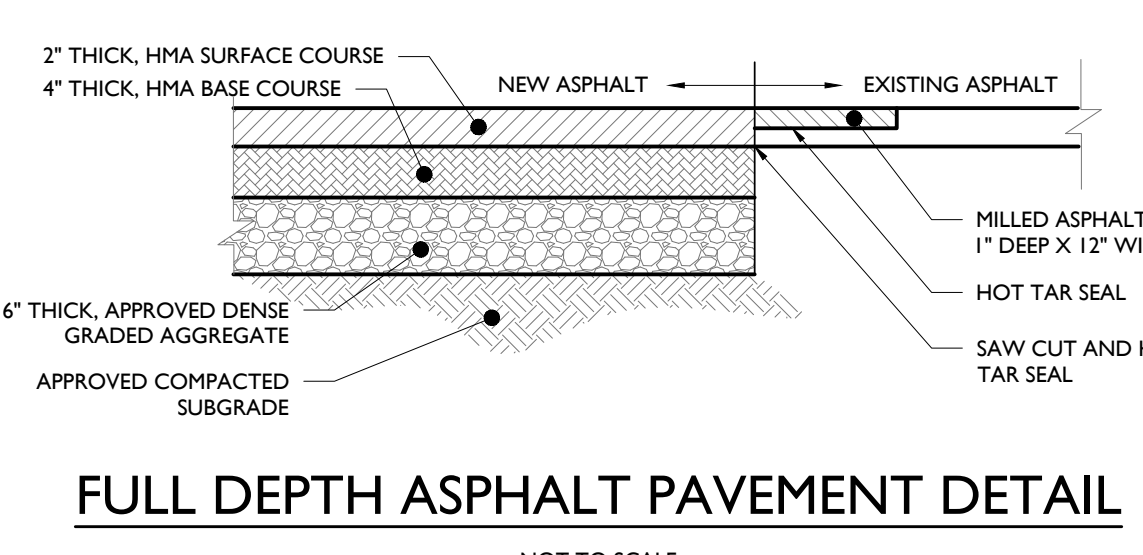
- NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

4



FLUSH CURB DETAIL

NOT TO SCALE

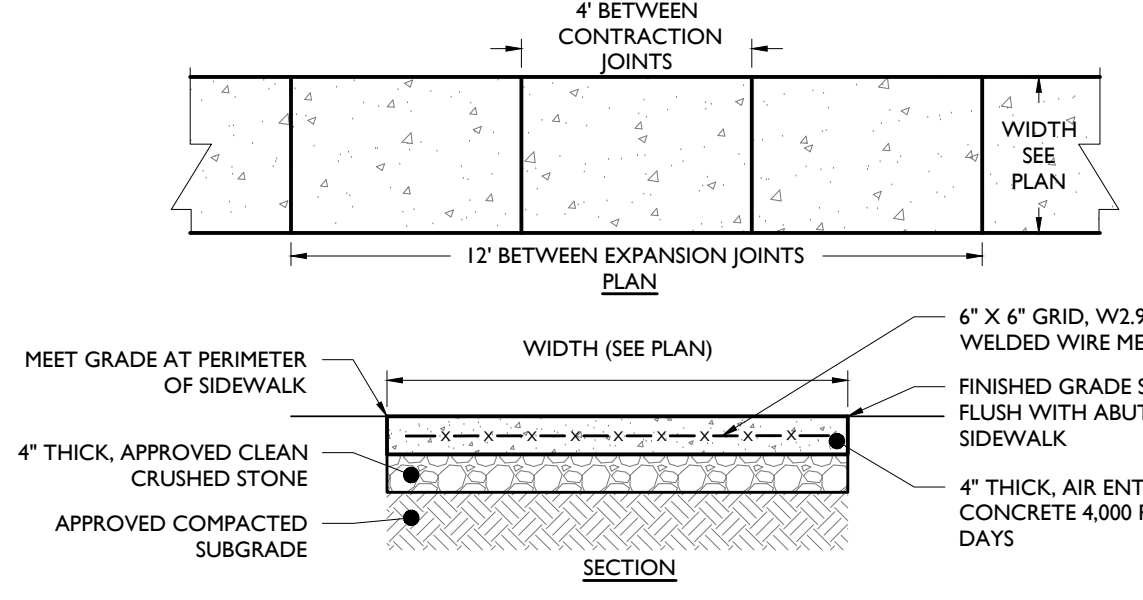


FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

- NOTE:
- HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

6

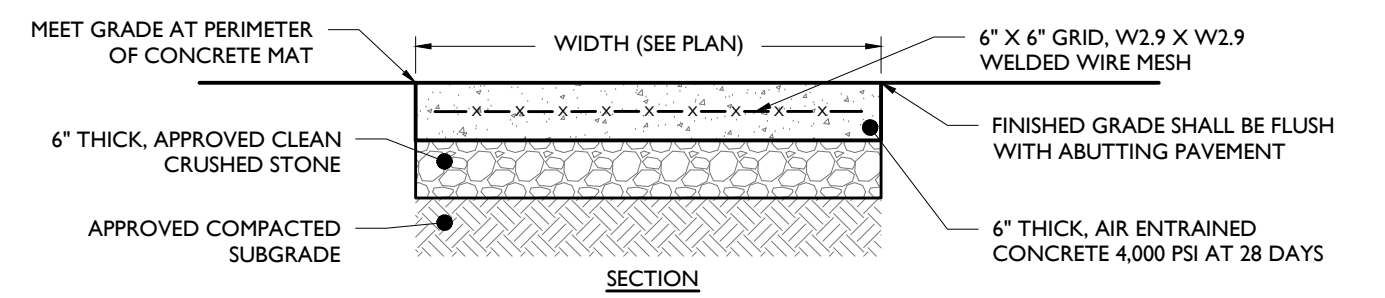


REINFORCED CONCRETE WALKWAY DETAIL

NOT TO SCALE

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

7

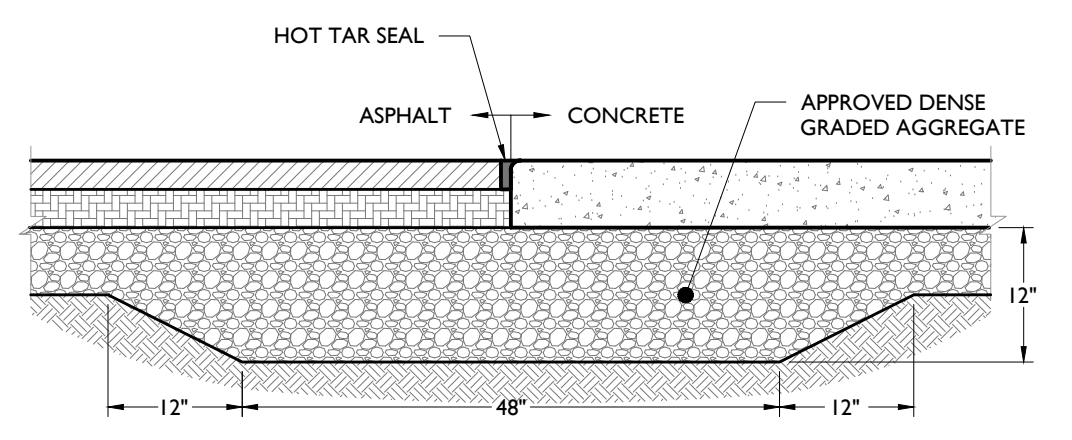


REINFORCED 6" CONCRETE MAT

NOT TO SCALE

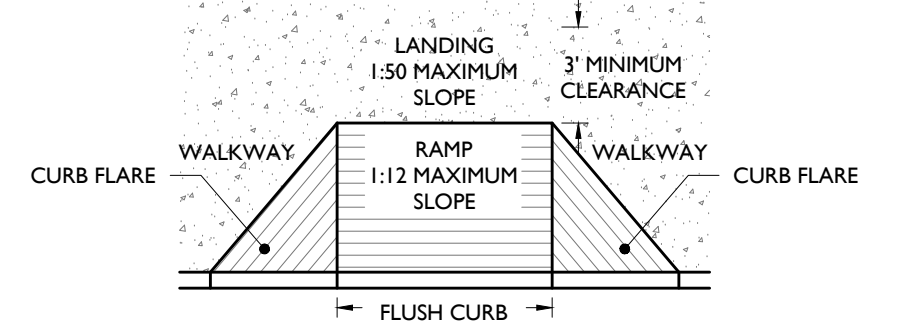
- NOTES:
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 2. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
 3. CONCRETE SHALL RECEIVE BROOM FINISH.
 4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

8



CONCRETE TO ASPHALT TRANSITION DETAIL

NOT TO SCALE

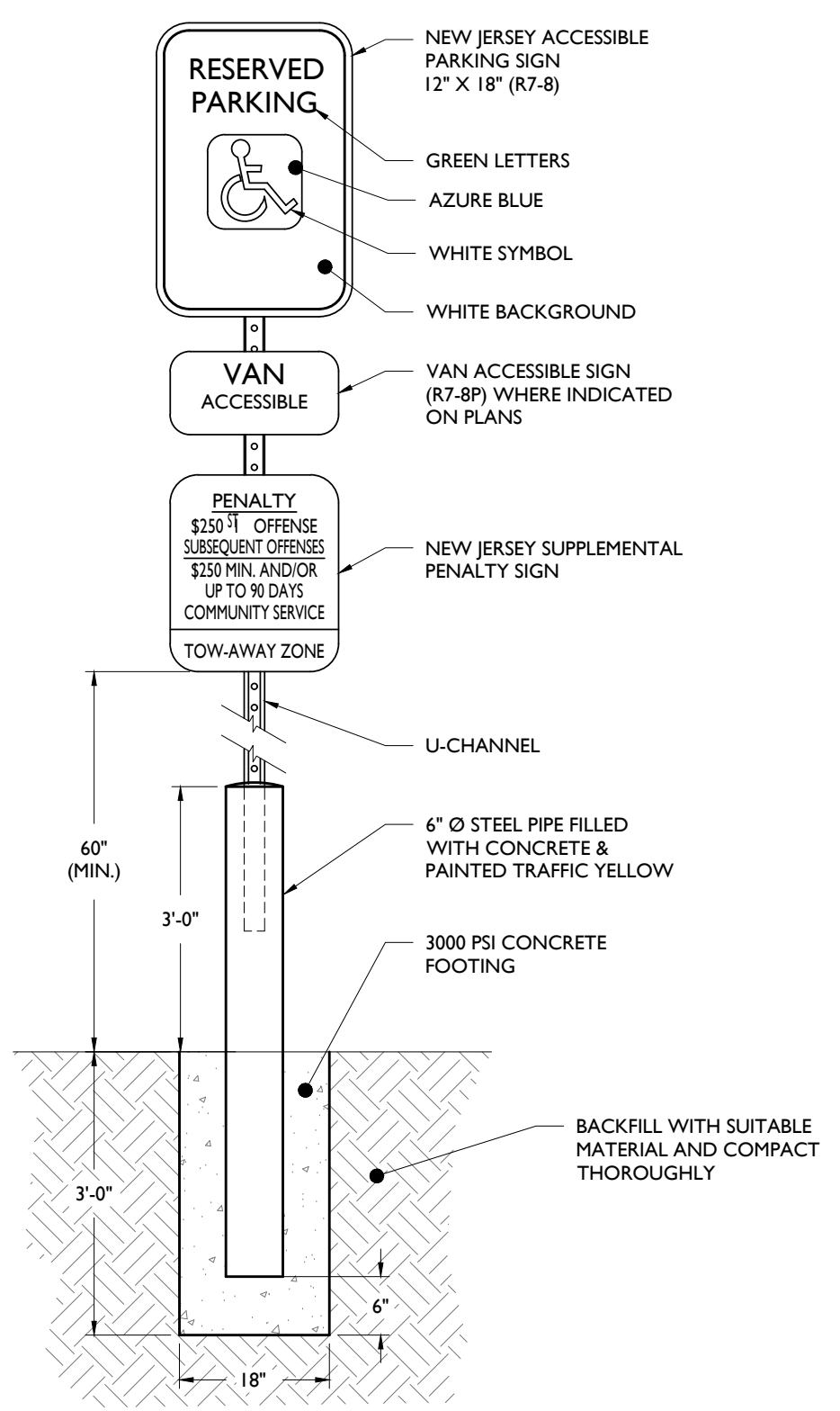


CURB RAMP WITH FLARES DETAIL

NOT TO SCALE

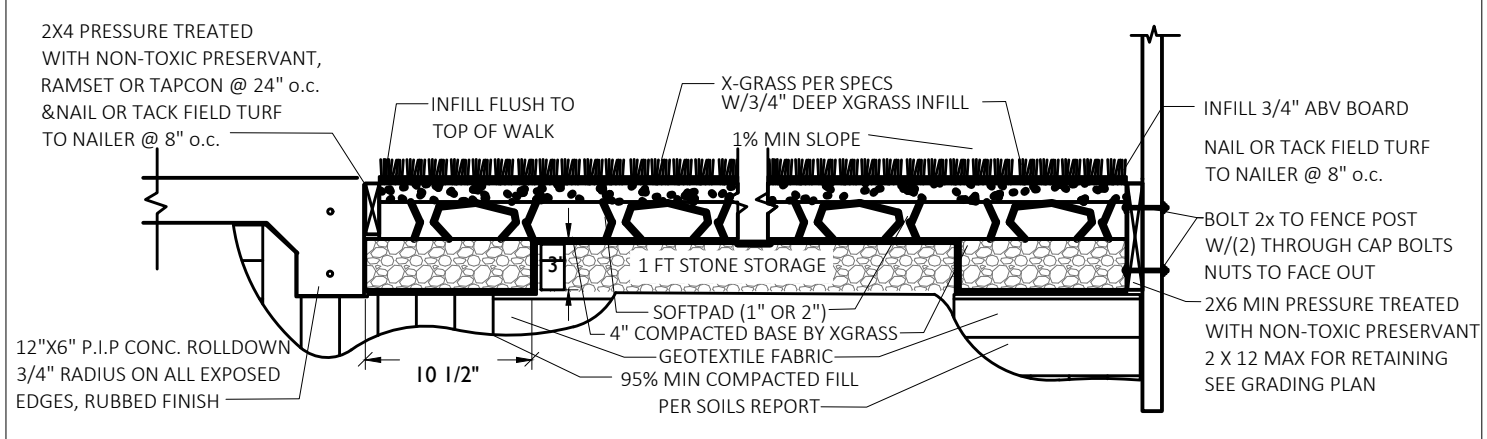
- NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 1:50 SLOPE.
 2. WHERE A 60" X 60" LANDING EXISTS AT THE TOP OF RAMP, RAMP FLARE SHALL NOT EXCEED 1:10 SLOPE. WHERE LANDING IS NOT PROVIDED RAMP FLARE SHALL NOT EXCEED 1:12 SLOPE.
 3. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
 4. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

10



ACCESSIBLE PARKING SIGN WITH BOLLARD DETAIL

NOT TO SCALE

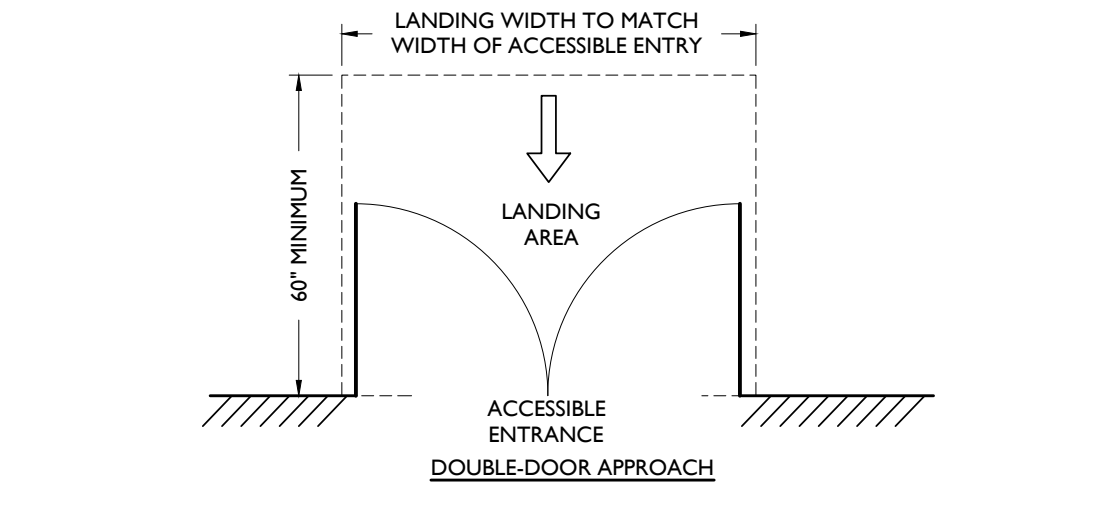


ARTIFICIAL TURF DETAIL

NOT TO SCALE

- NOTES:
1. FALL SURFACING SHALL COMPLY WITH ASTM F1951 FOR WHEELCHAIR ACCESSIBILITY & ASTM F1920 FOR FALL ATTENUATION.
 2. PREPARE SUBGRADE 5-75" BELOW FINISH GRADE WITH 1" SOFTPAD & 6-75" WITH 2" SOFTPAD - CONSULT XGRASS FOR AREAS OF PAD.
 3. STONE DETENTION TO BE ADDED UNDER 4" COMPACTED SUBBASE PER INFILTRATION BASIN B-1C DETAIL.

12

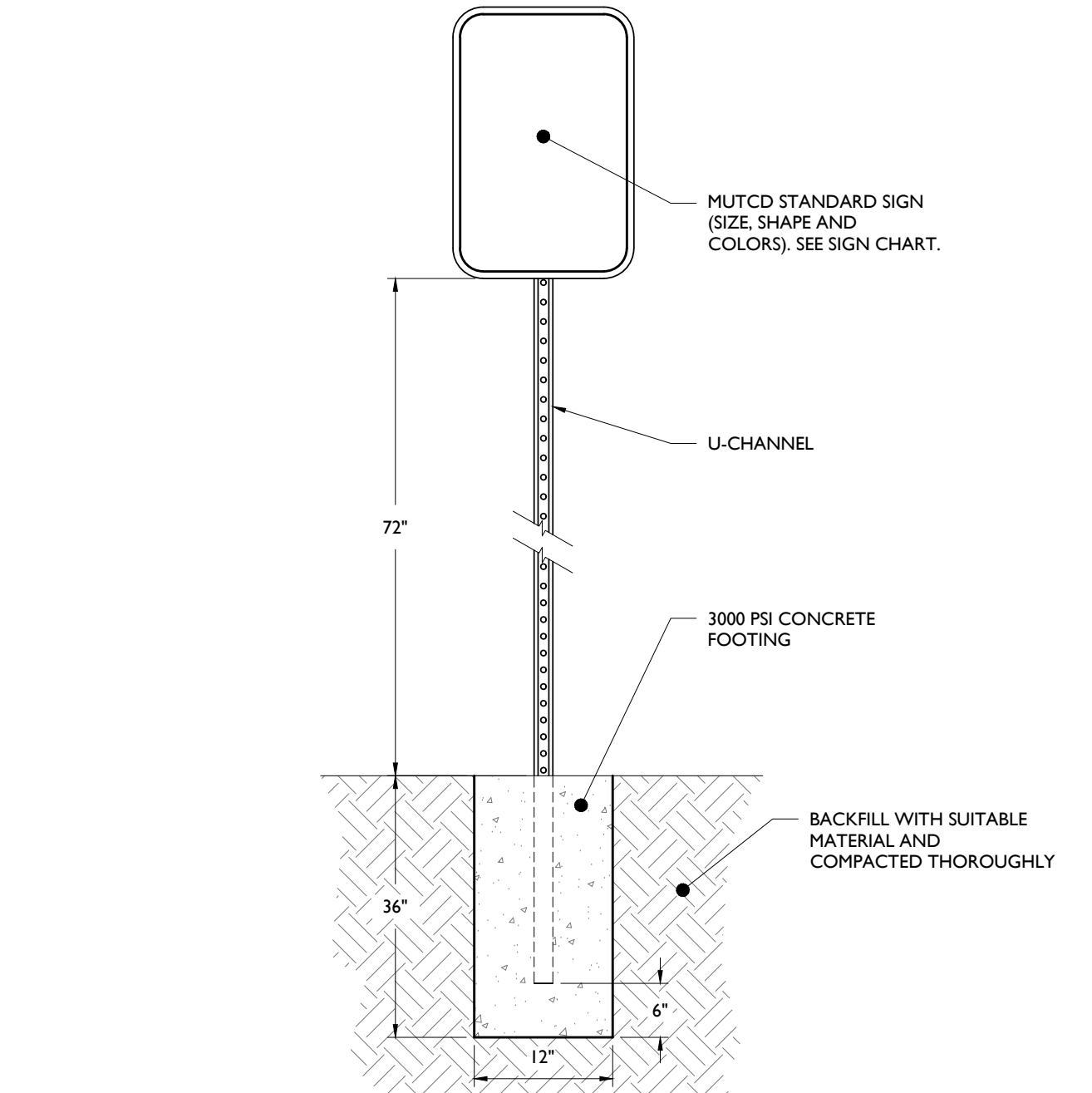


ACCESSIBLE ENTRANCE DOUBLE-DOOR APPROACH

NOT TO SCALE

- NOTES:
1. MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS
 2. DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.
 3. CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.

11



SIGN POST DETAIL

NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND

- NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE

NOT TO SCALE

14

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PRIMROSE SCHOOL FRANCHISING COMPANY
PROPOSED CHILD DAY CARE FACILITY

MAP 303, LOTS 46 & 47
700-712 UNION STREET
TOWN OF FRANKLIN
NORFOLK COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE No. 53936
LICENSED PROFESSIONAL ENGINEER

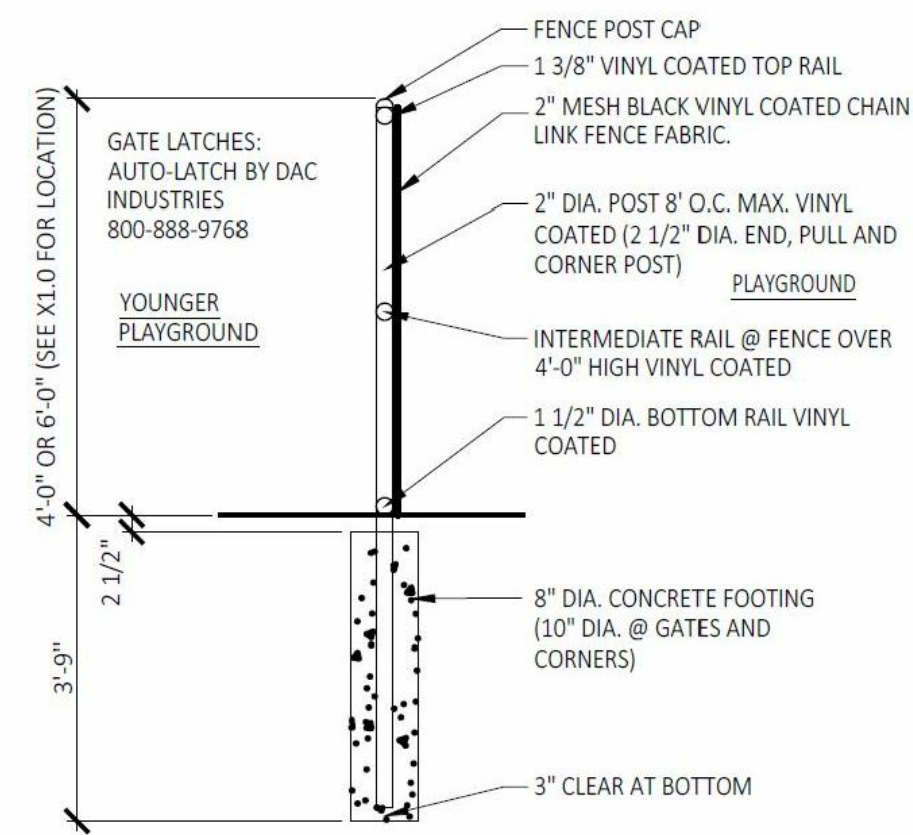
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SCALE: AS SHOWN PROJECT ID: BOS-210005

CONSTRUCTION DETAILS

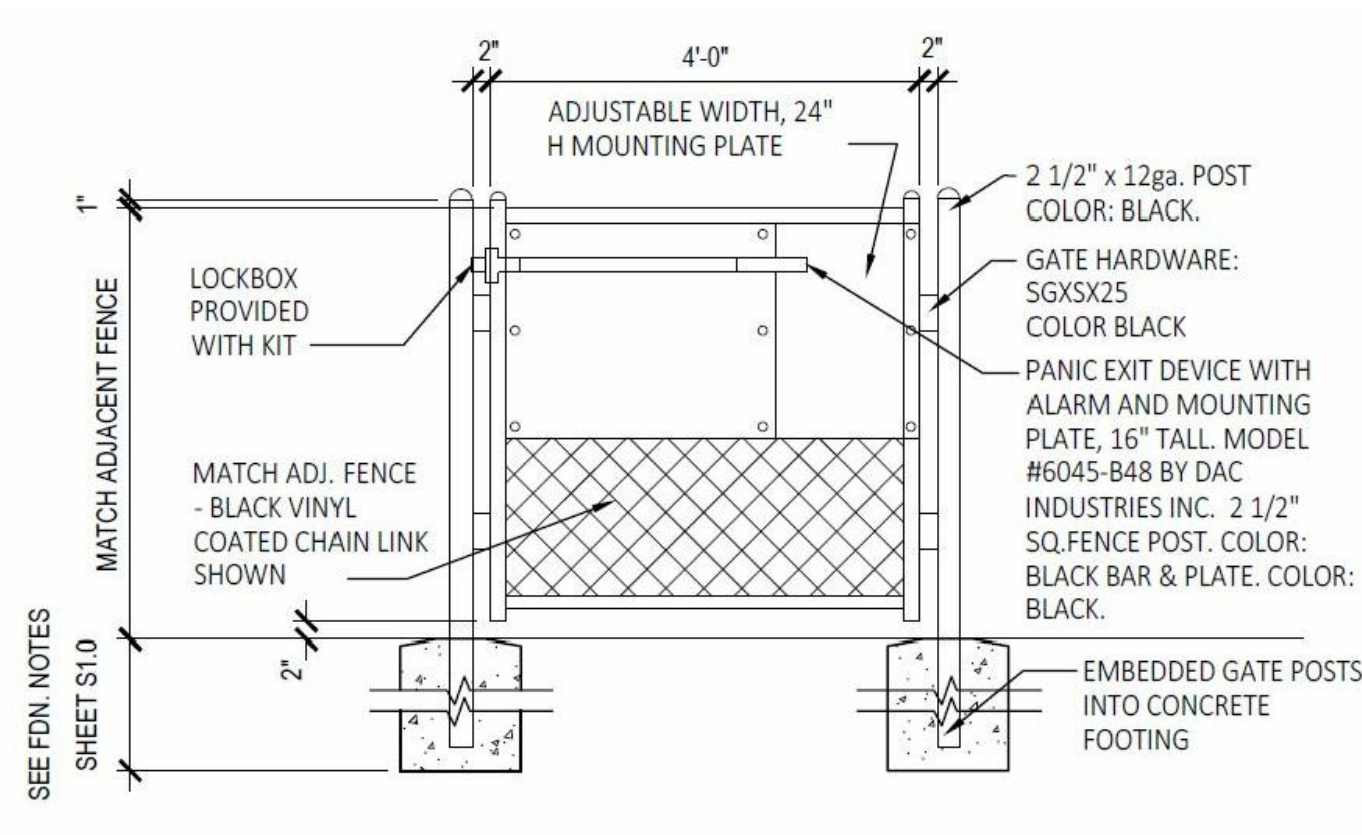
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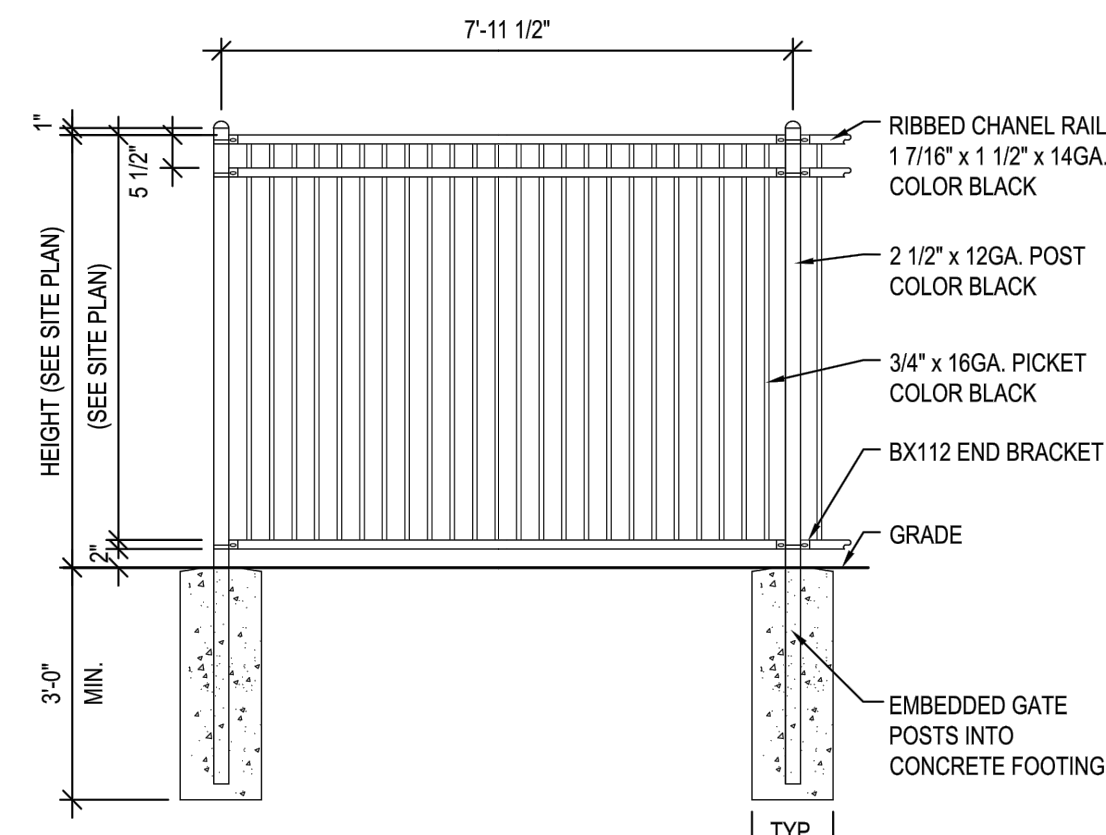
VINYL CHAIN LINK FENCE DETAIL

NOT TO SCALE



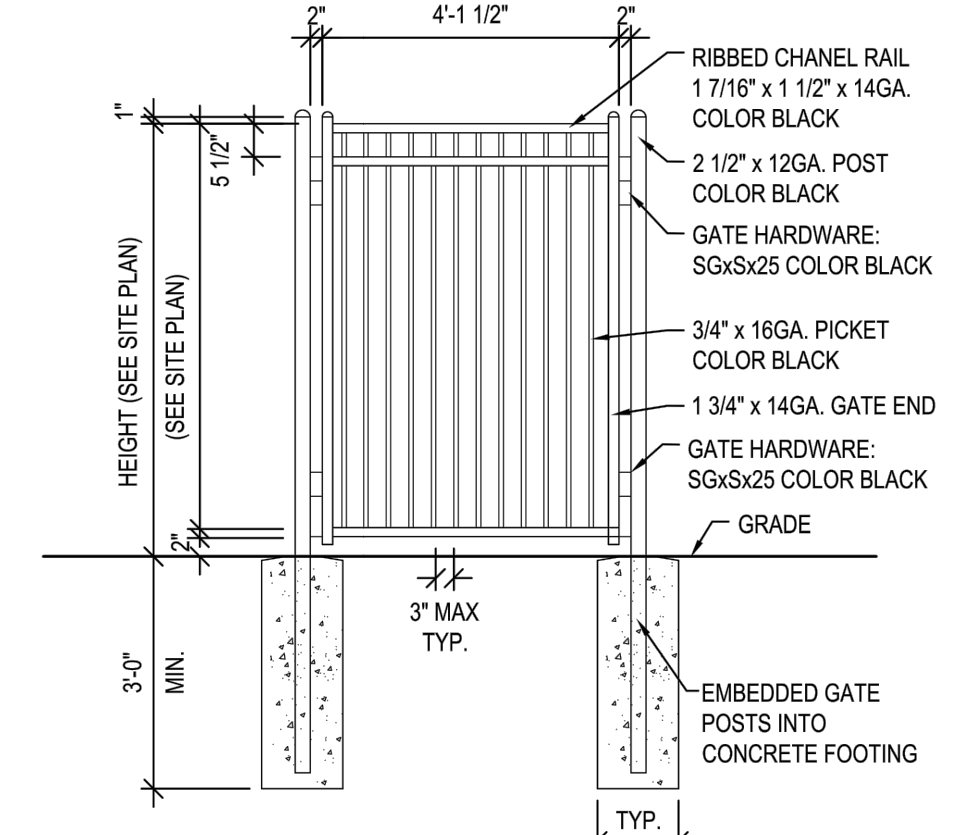
VINYL COATED CHAIN LINK FENCE GATE DETAIL

NOT TO SCALE



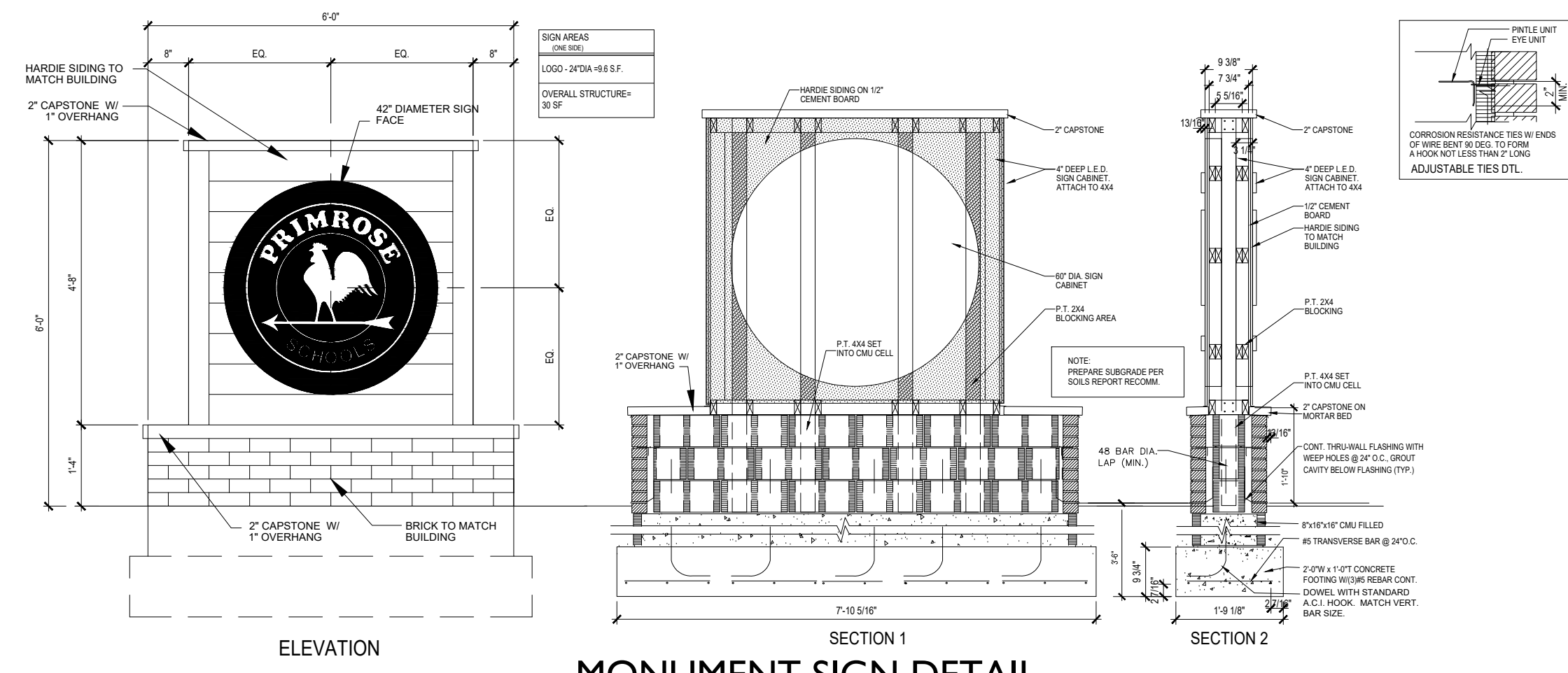
ORNAMENTAL FENCE DETAIL

NOT TO SCALE



ORNAMENTAL FENCE GATE DETAIL

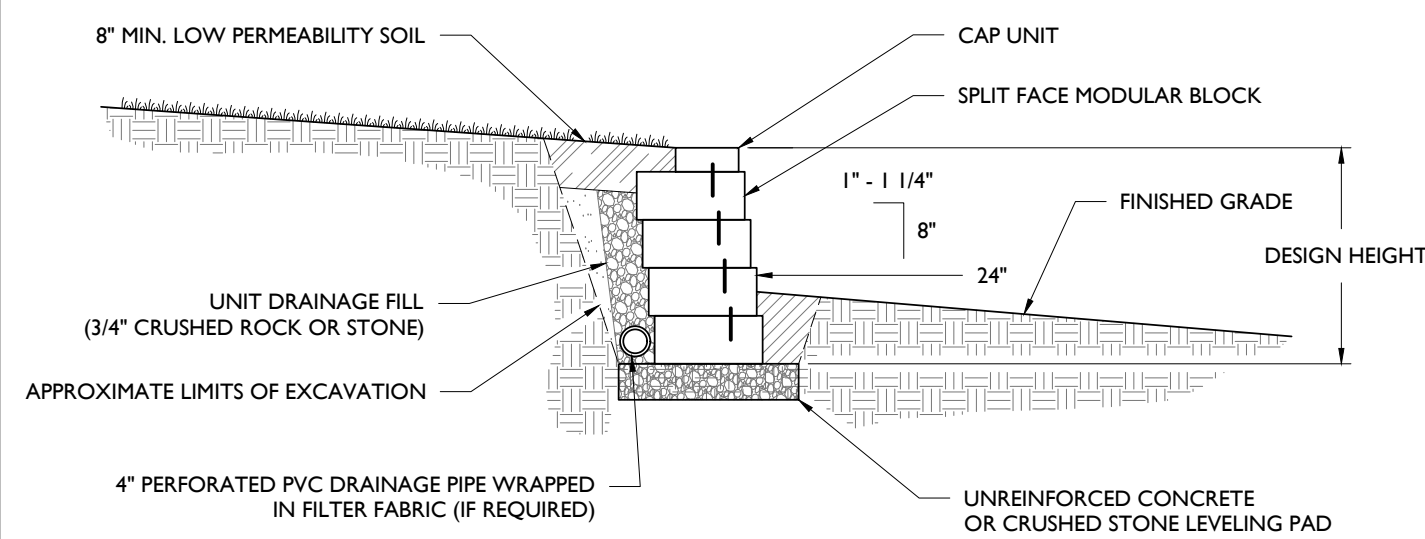
NOT TO SCALE



MONUMENT SIGN DETAIL

NOT TO SCALE

5

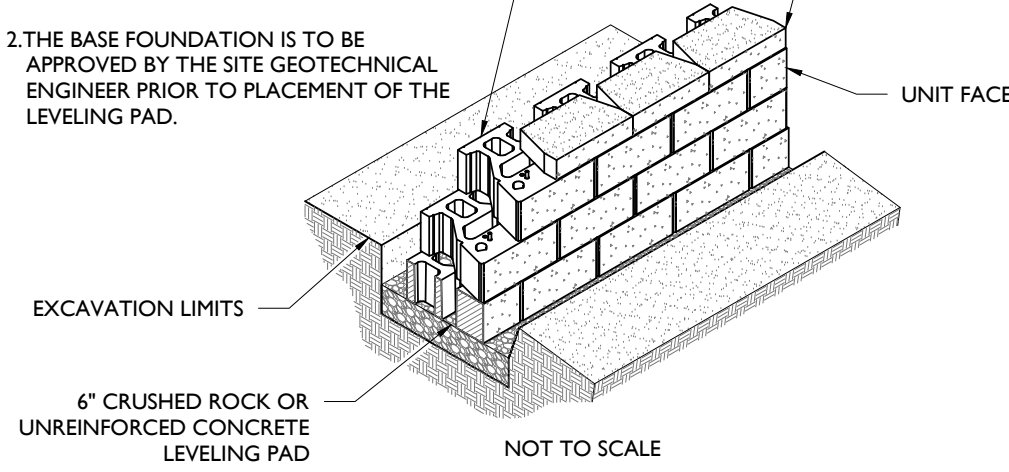


TYPICAL GRAVITY WALL SECTION

STANDARD UNIT - 1" SETBACK

BASE LEVELING PAD NOTES:
1. THE LEVELING PAD IS TO BE CONSTRUCTED OF CRUSHED STONE OR 2,000 PSI UNREINFORCED CONCRETE.
2. THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE LEVELING PAD.

STANDARD UNIT: WIDTH: 18" DEPTH: 18" HEIGHT: 8" WEIGHT: 108 LBS
CAP UNIT: WIDTH: 18" DEPTH: 10 1/2" HEIGHT: 4" WEIGHT: 50 LBS

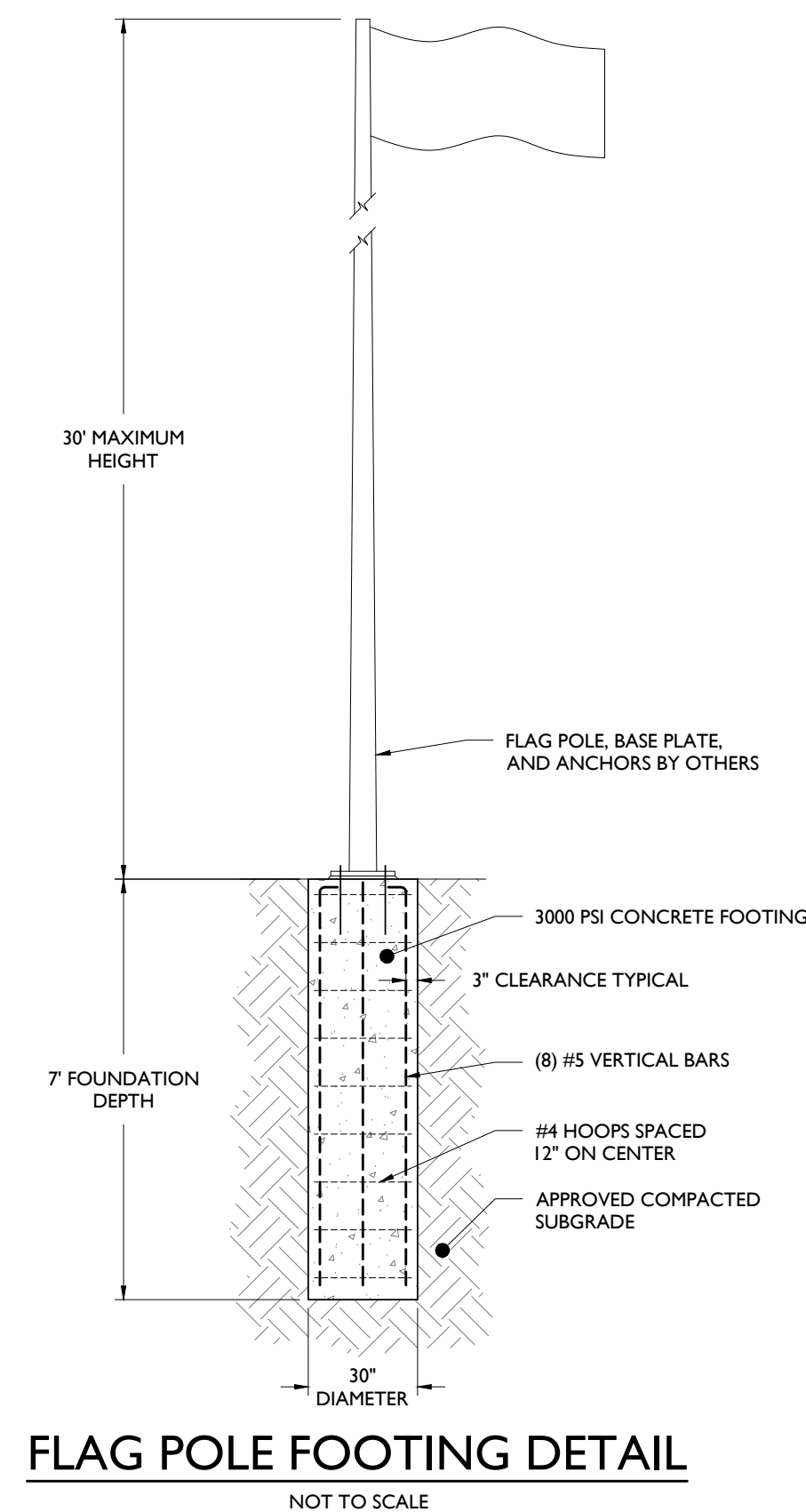


BLOCK WALL DETAIL

NOT TO SCALE

NOTES:
1. RETAINING WALL DESIGN PLANS TO BE PREPARED BY LICENSED PROFESSIONAL IN THE STATE OF NEW JERSEY.
2. KEYSTONE WALL SYSTEM, OR APPROVED EQUIVALENT, TO BE CONSTRUCTED.

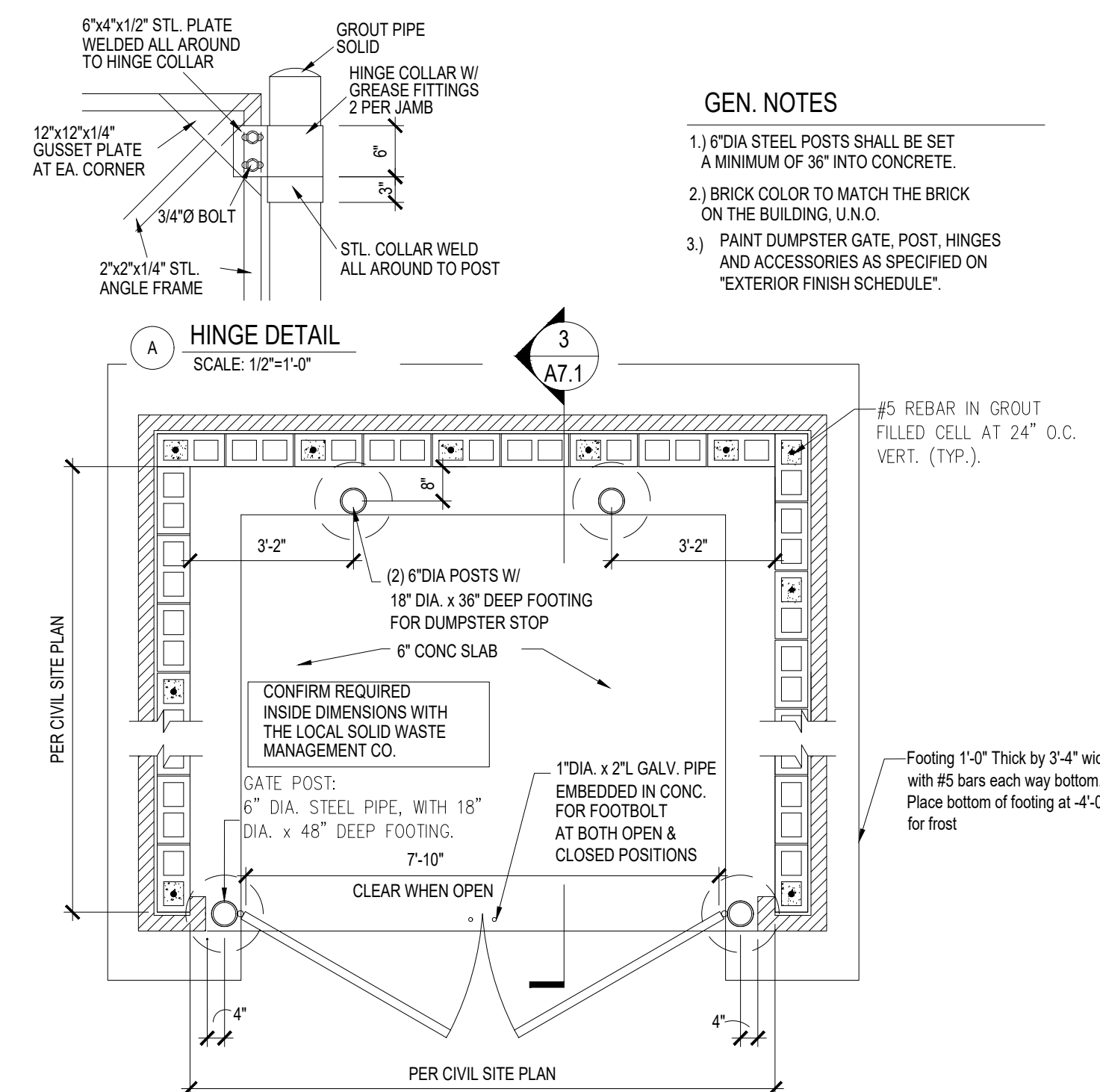
6



FLAG POLE FOOTING DETAIL

NOT TO SCALE

7



HINGE DETAIL

SCALE: 1/2"=1'-0"

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TRASH / RECYCLE ENCLOSURE DETAIL

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SITE PLAN SET

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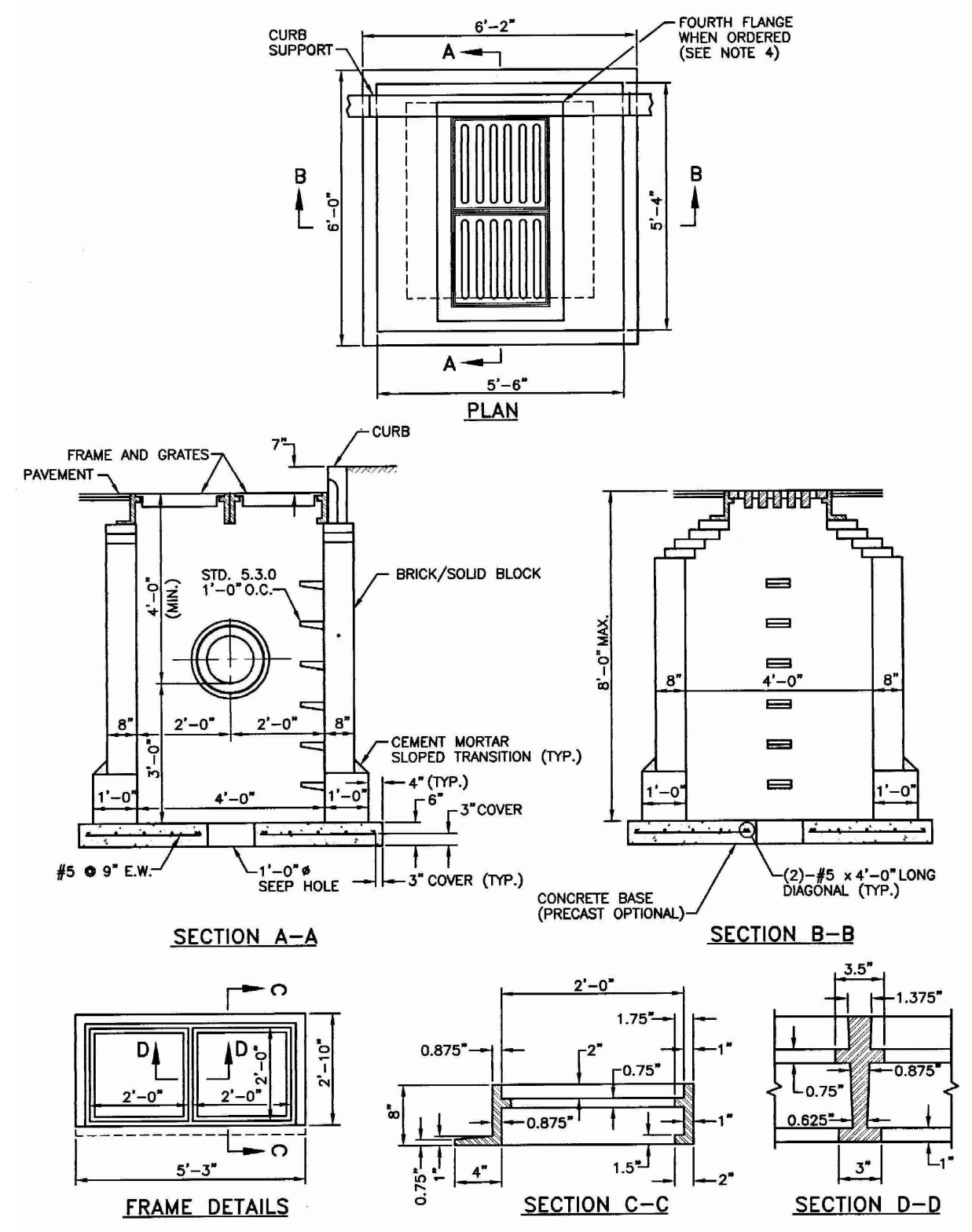
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SCALE: AS SHOWN PROJECT ID: BOS-210005

TITLE:
CONSTRUCTION
DETAILS

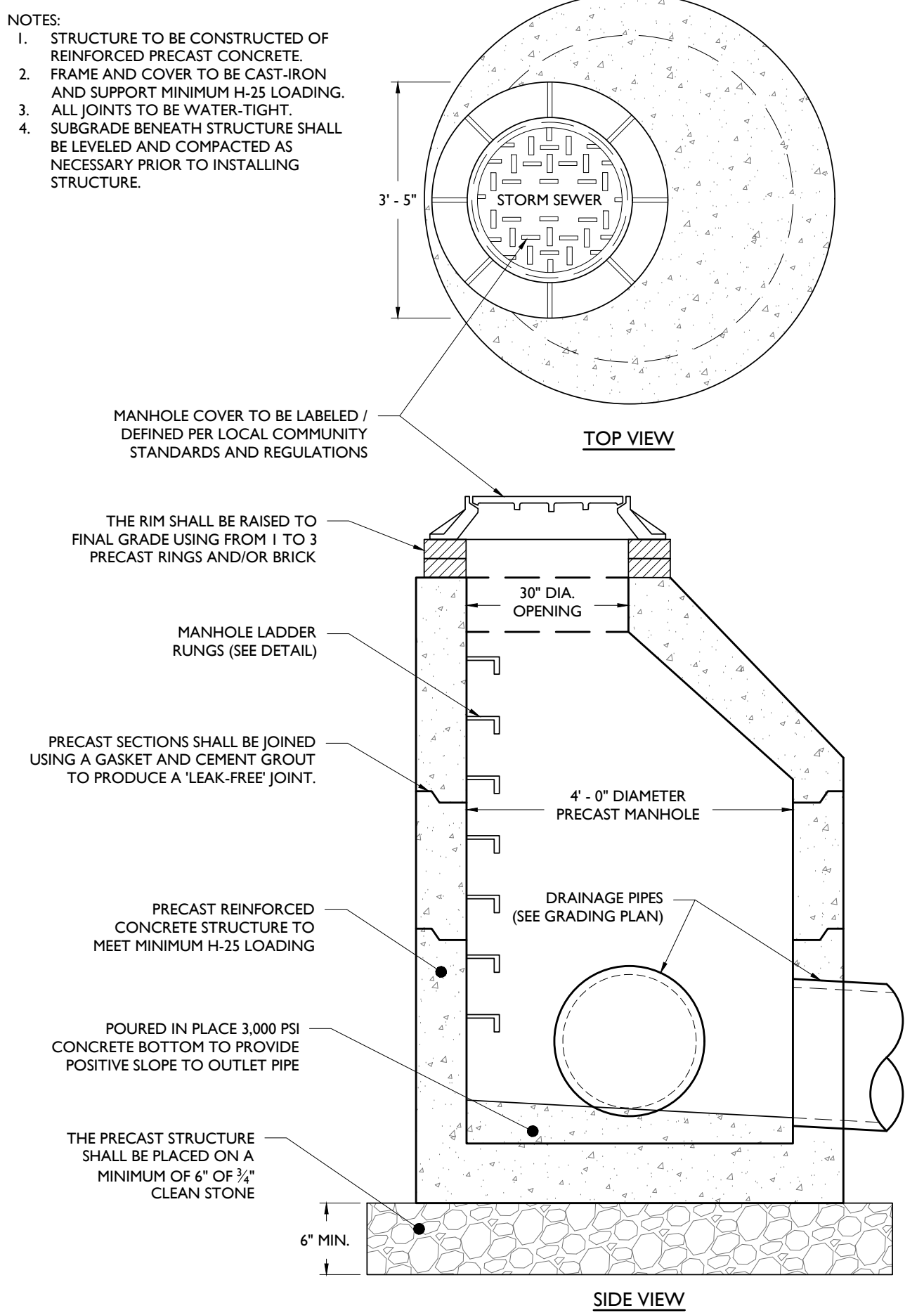
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C-13

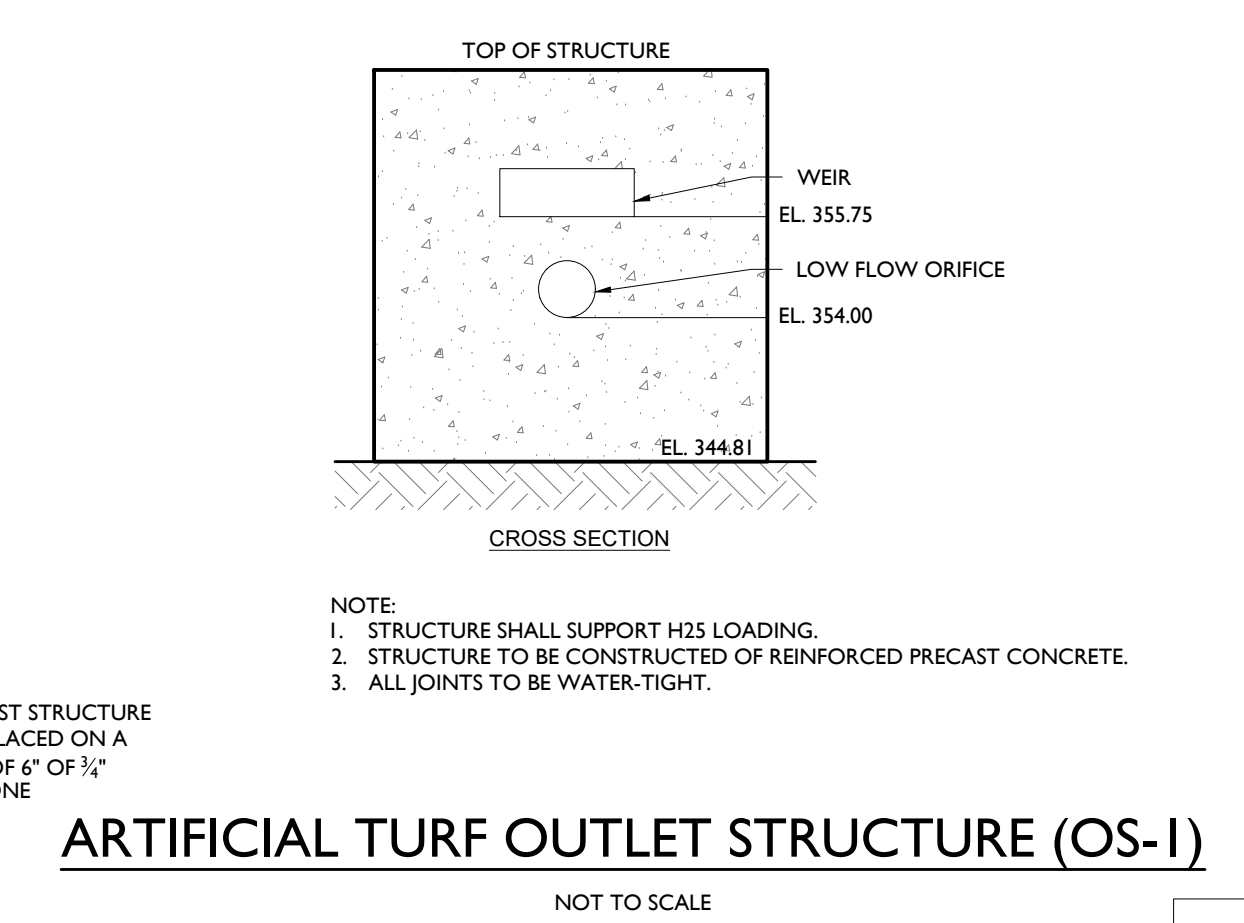
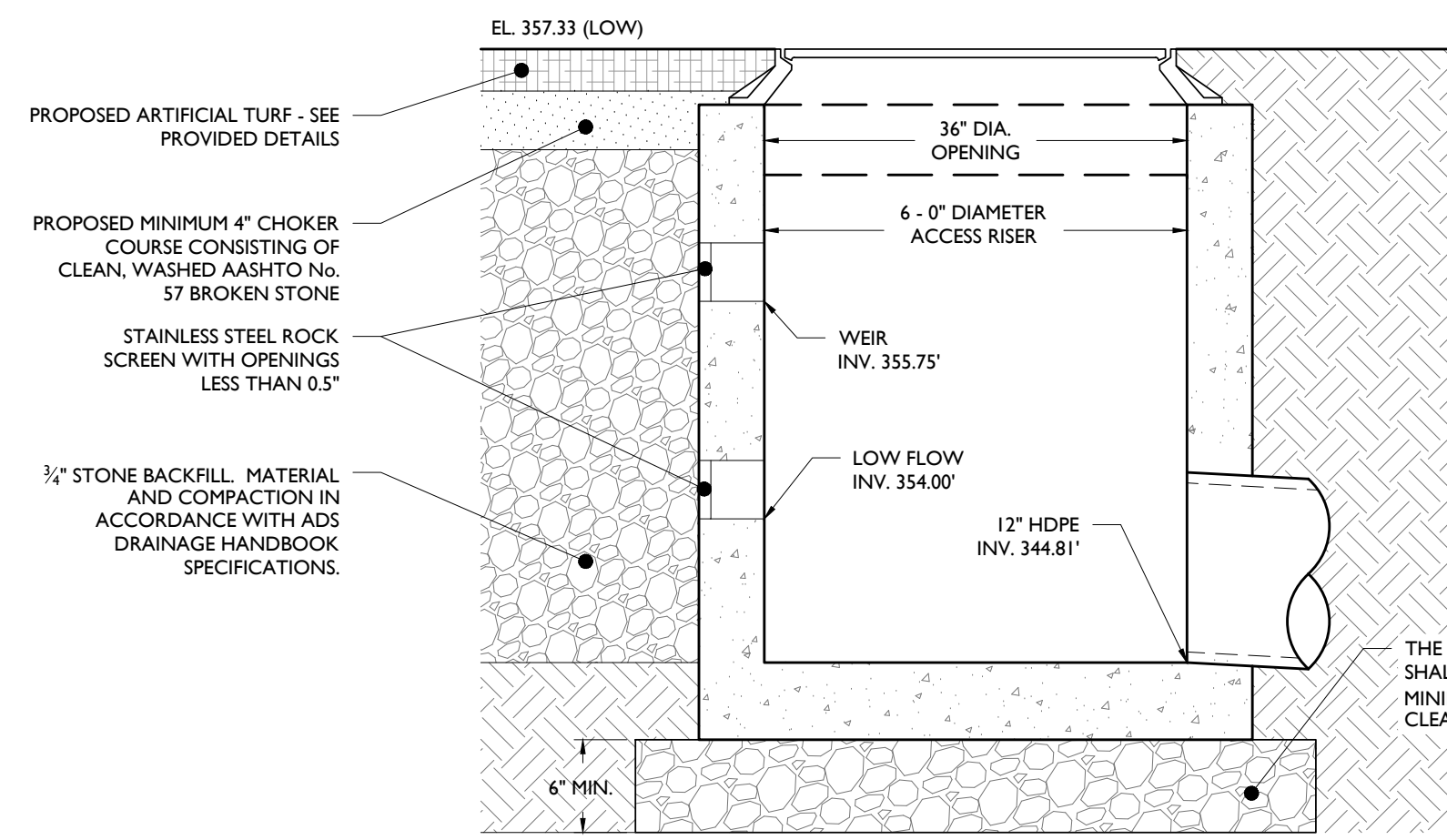
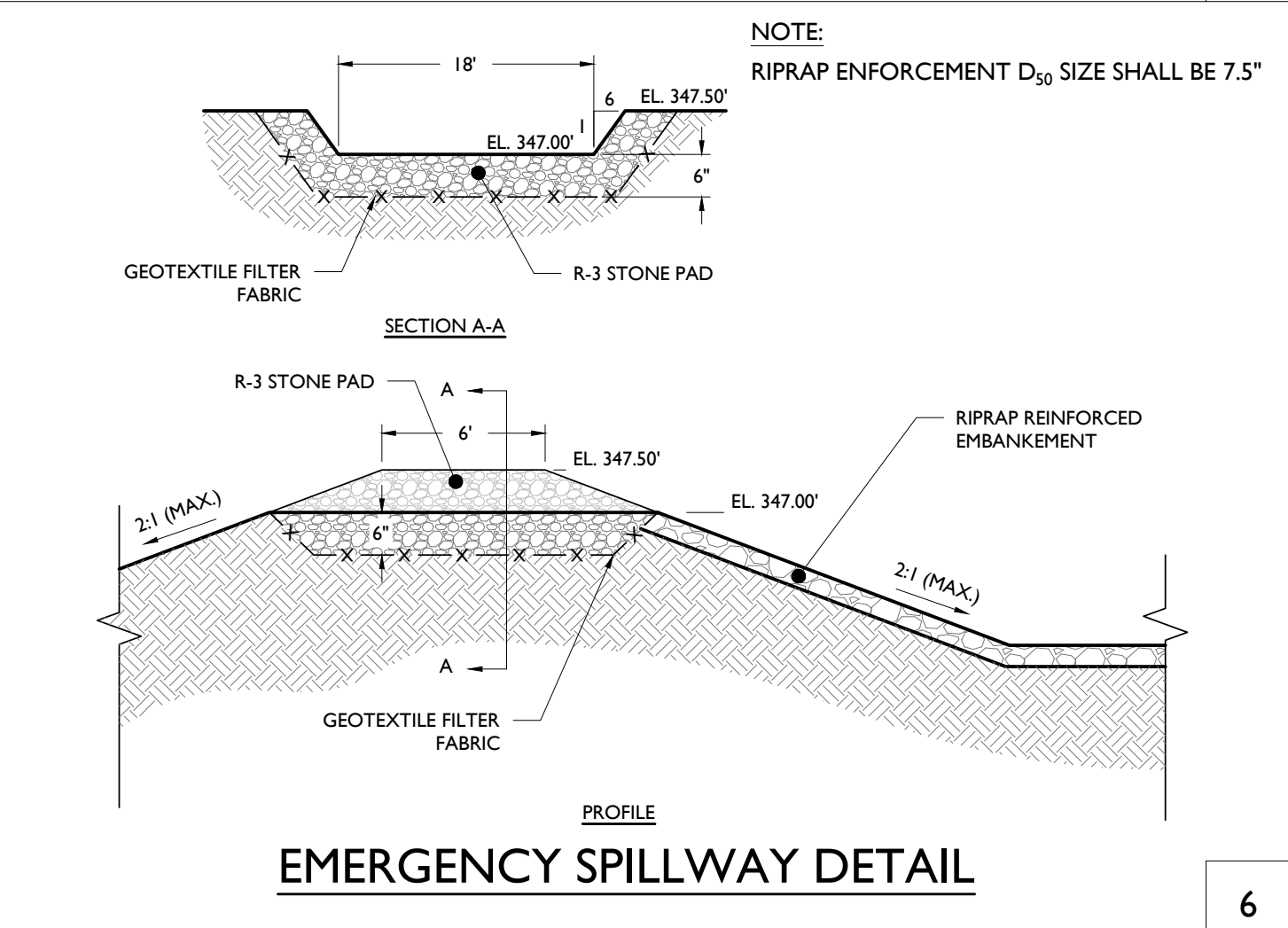
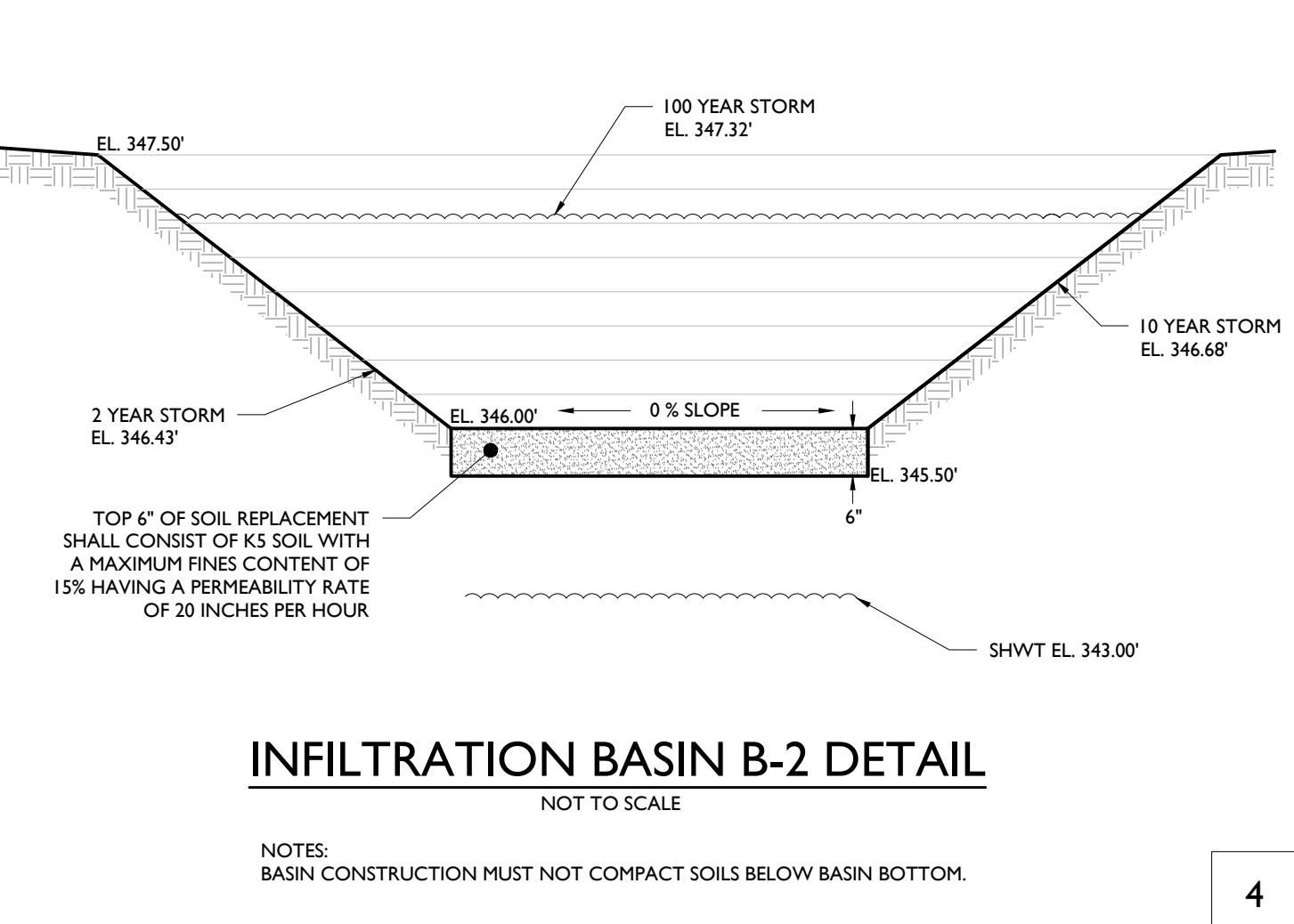
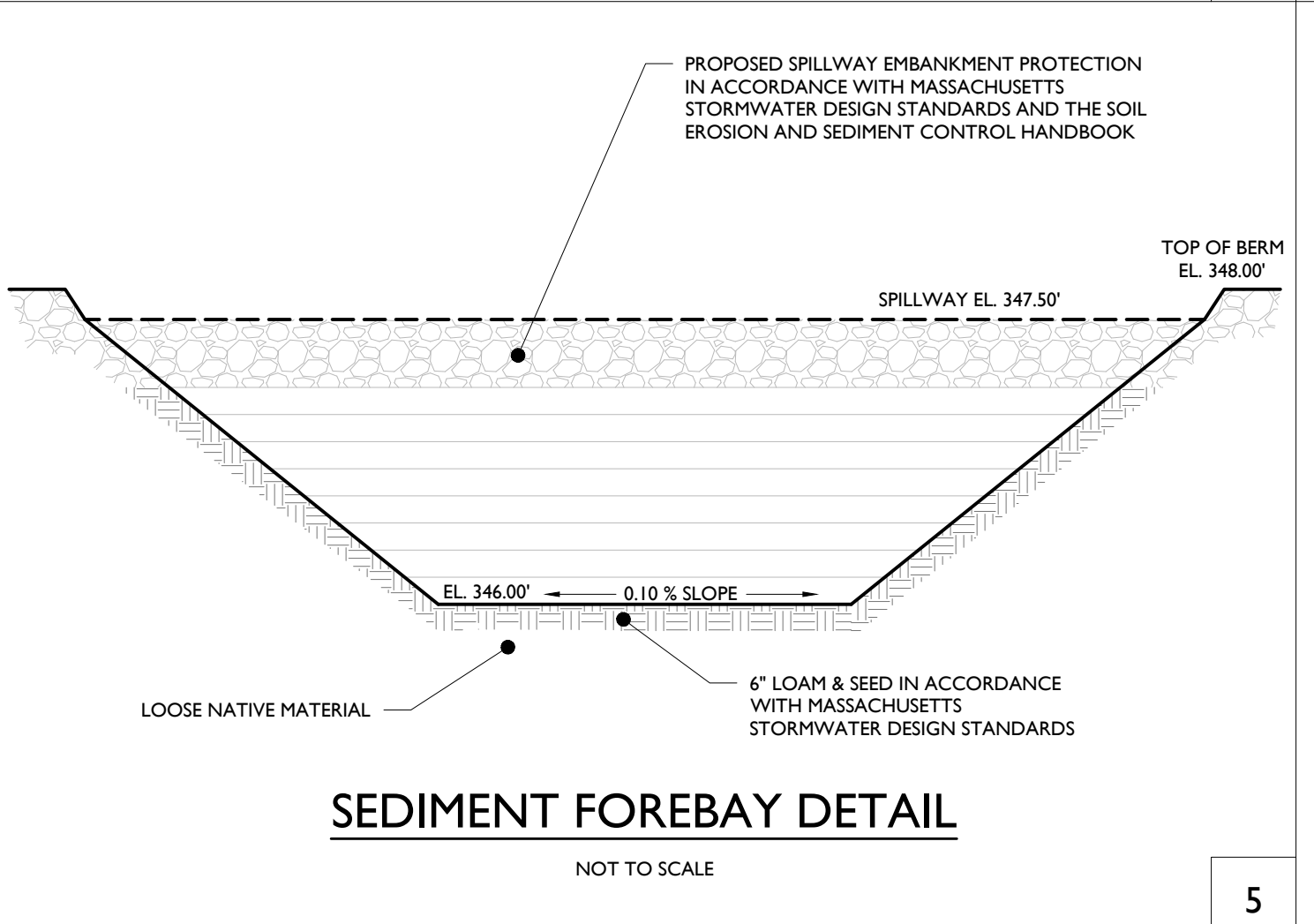
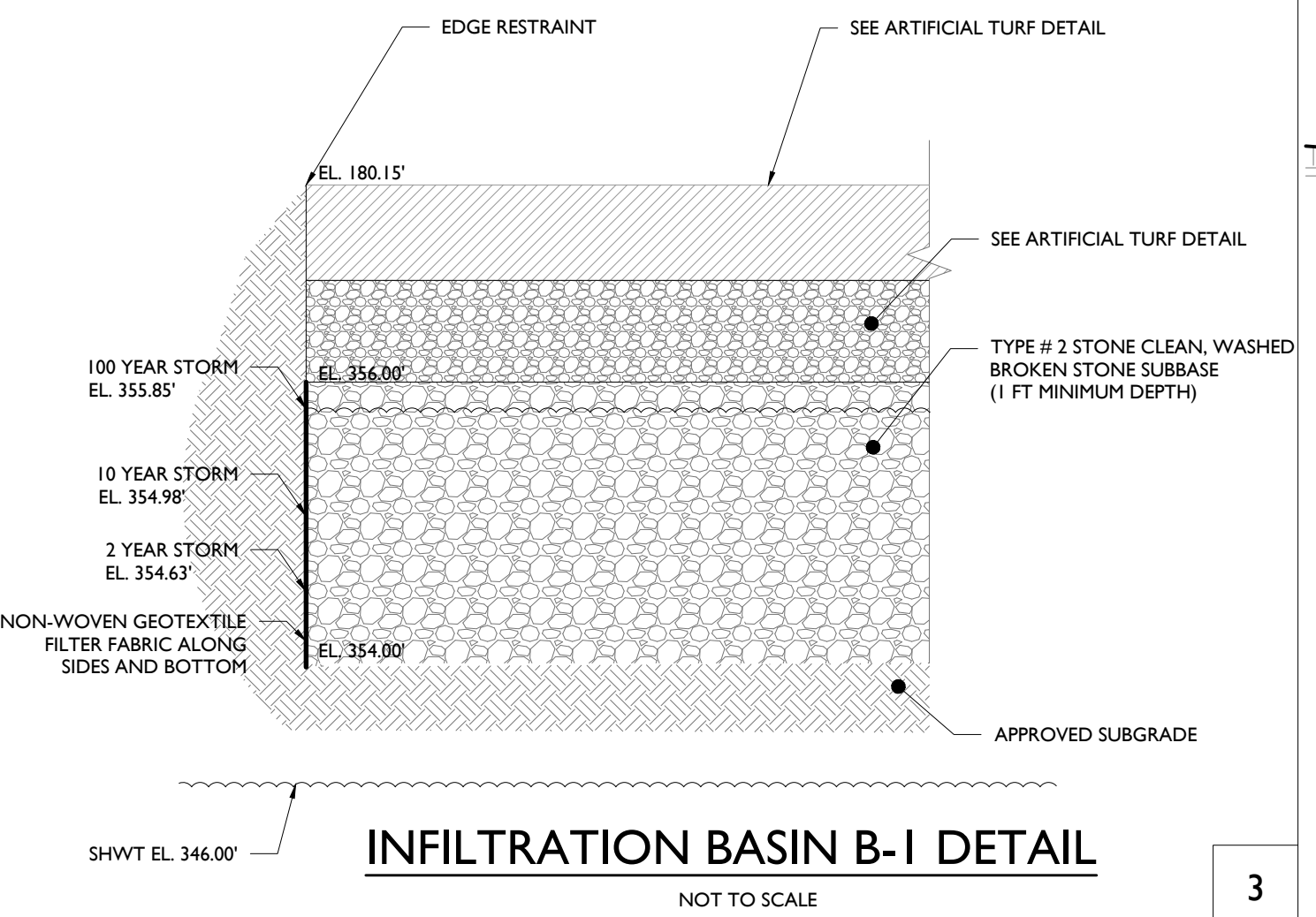


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.L. STANDARD SPECIFICATIONS.
 2. 1/2" CEMENT MORTAR PLASTER COAT ON ALL INSIDE AND OUTSIDE SURFACES.
 3. USE 8" WALLS UP TO 4'-0" DEPTH, AND 1'-0" WALLS UP TO 8'-0" DEPTH.
 4. TWO SINGLE FRAMES WITH THREE FLANGES AND TWIN GRATES MAY BE SUBSTITUTED FOR THE DOUBLE FRAME WITH TWIN GRATES.

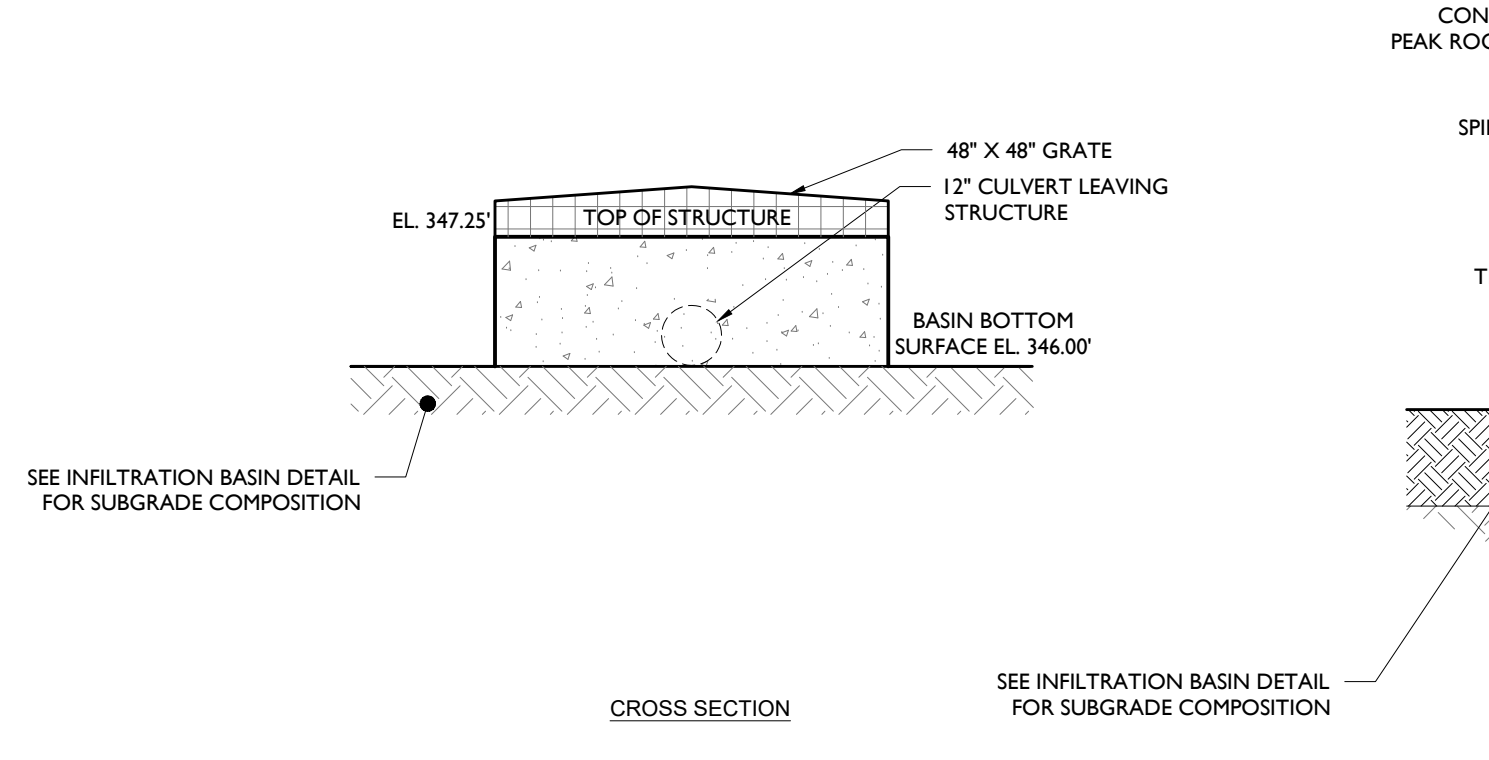
DOUBLE GRATE CATCH BASIN DETAIL
NOT TO SCALE



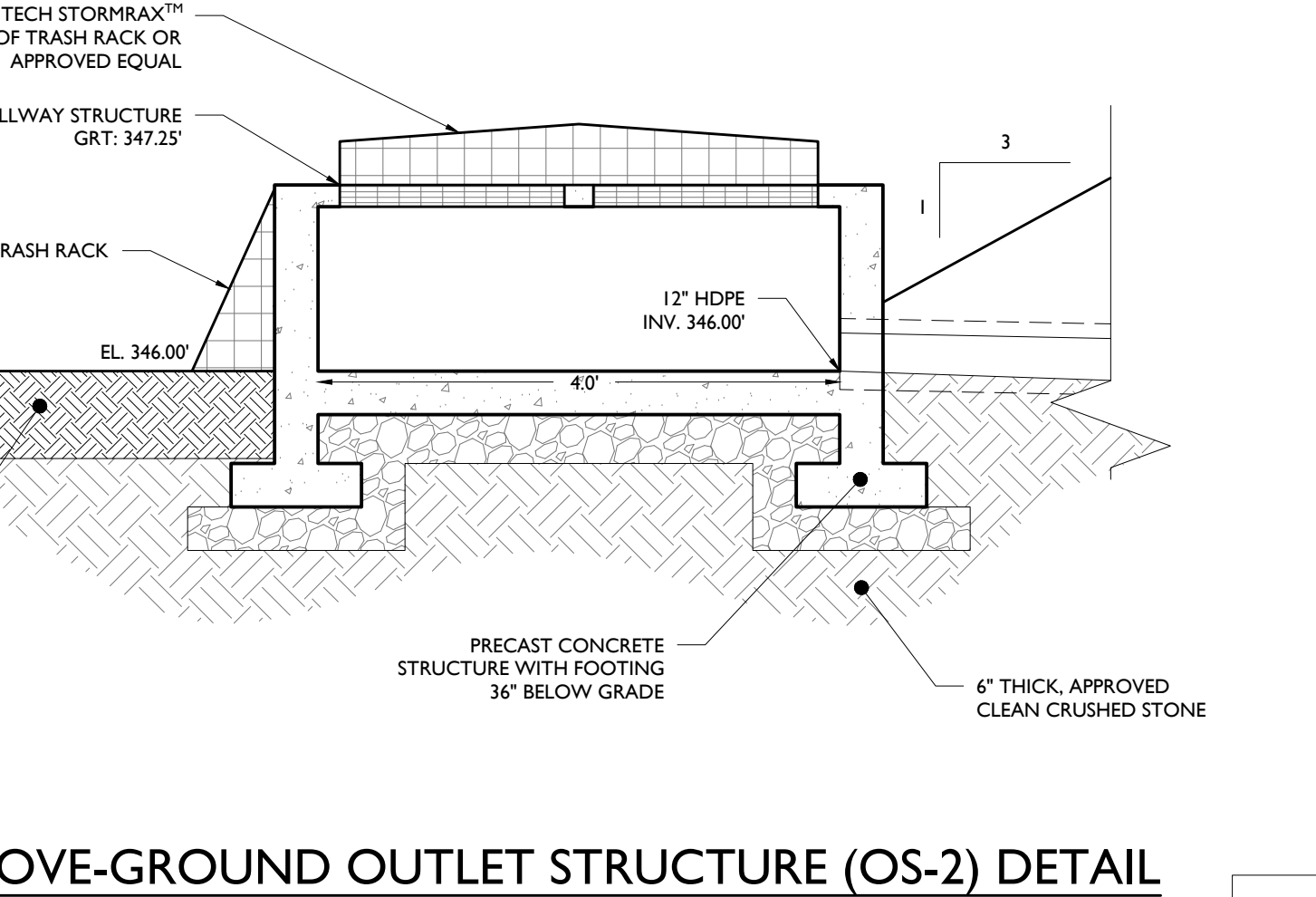
STORM MANHOLE DETAIL
NOT TO SCALE



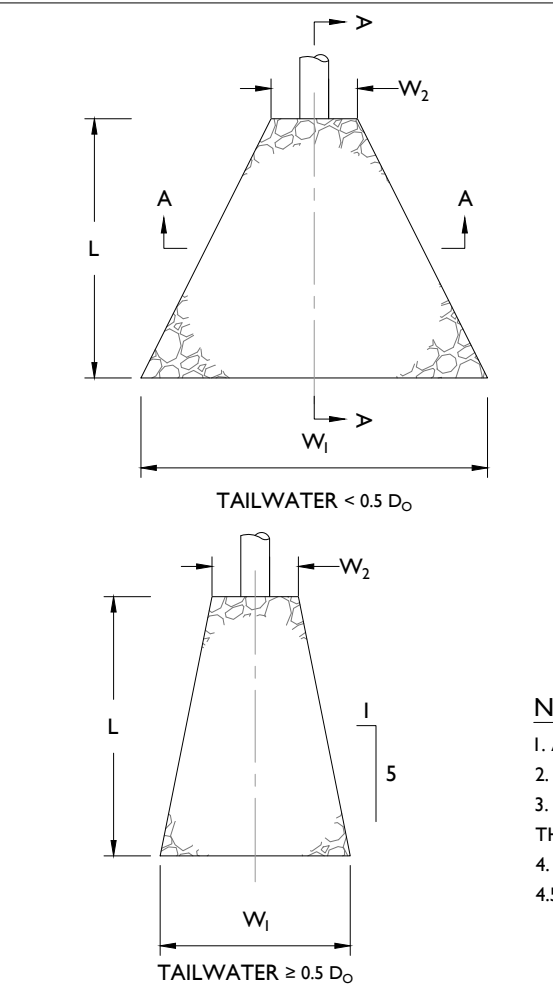
ARTIFICIAL TURF OUTLET STRUCTURE (OS-1)
NOT TO SCALE



- NOTE:
1. STRUCTURE SHALL SUPPORT H25 LOADING.
 2. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. TRASH RACKS CONSTRUCTED OF NON-CORROSIVE MATERIALS TO BE PROVIDED.



ABOVE-GROUND OUTLET STRUCTURE (OS-2) DETAIL
NOT TO SCALE

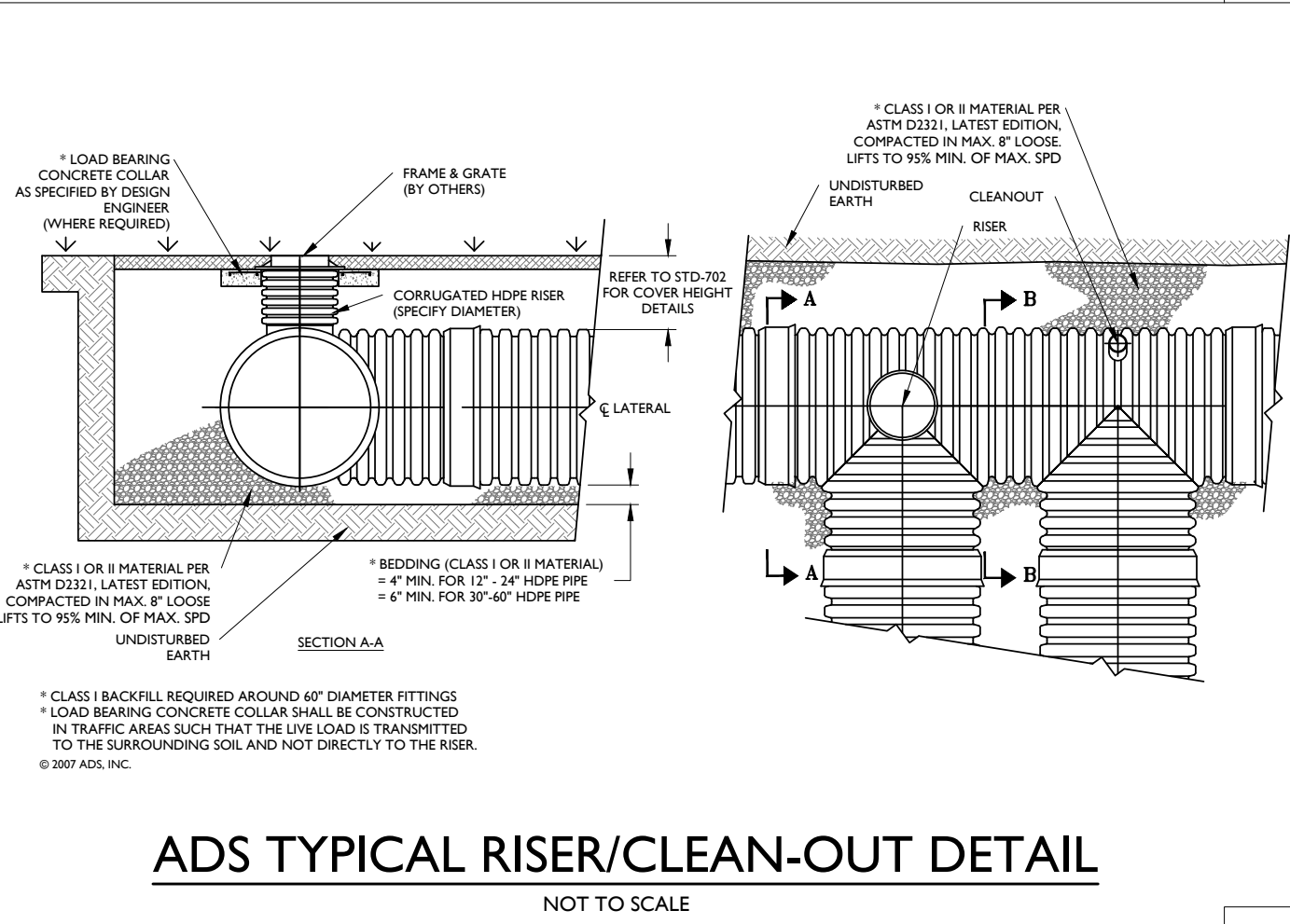


RIP-RAP SIZING CHART					
FES #	L (ft)	W ₁ (ft)	W ₂ (ft)	D ₅₀ (in)	Th* (in)
1	8.21	11.21	3.00*	6.00	6.00
2	10.53	13.53	3.00*	6.00	6.00

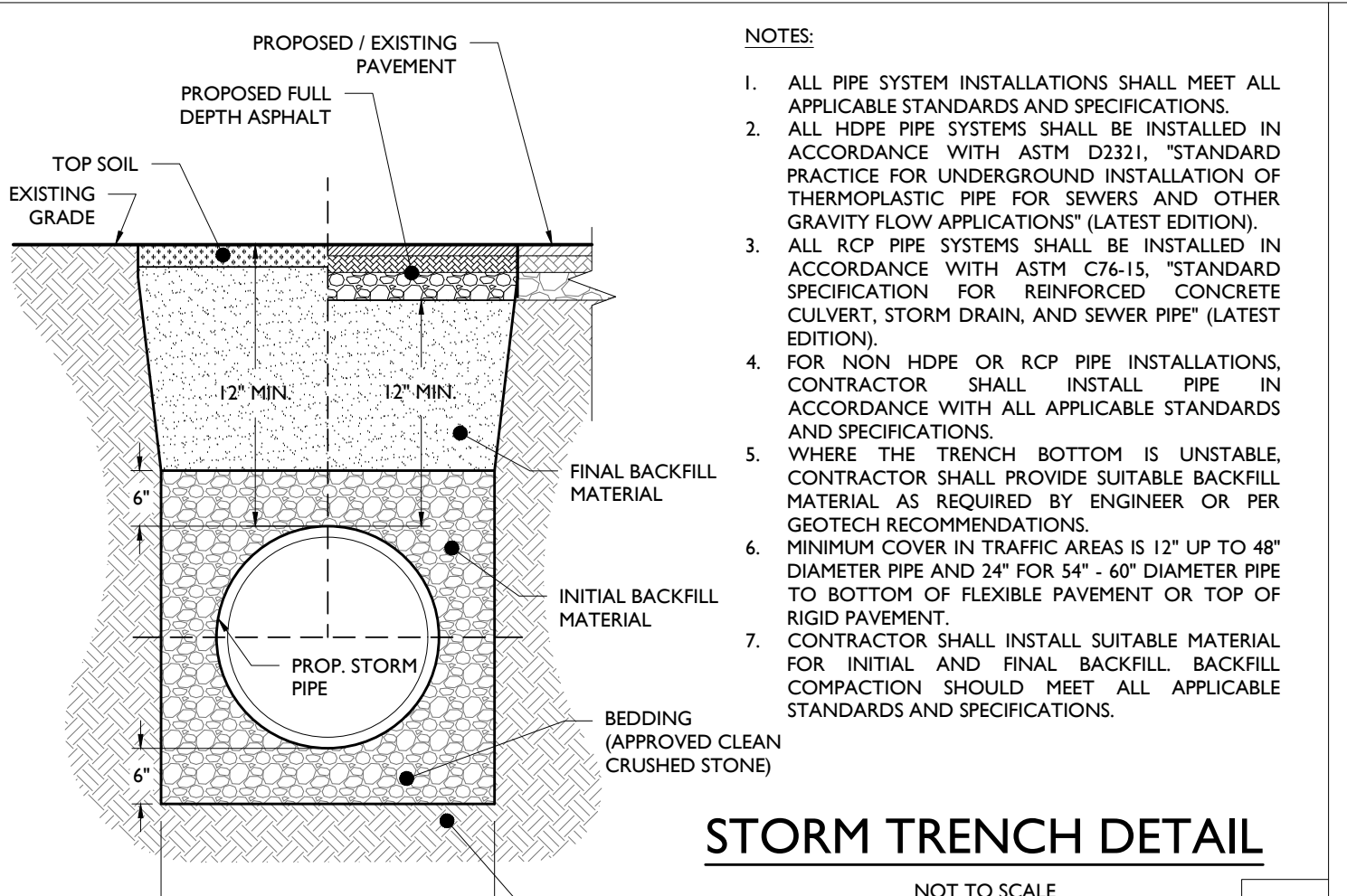
(*) = MINIMUM APRON THICKNESS SHALL BE TWO TIMES THE D₅₀ SIZE FOR THE APRON.

- NOTES:
1. APRON @ CHANNEL BOTTOM GRADE
 2. SIDE SLOPE RANGE FROM 1:1 TO 2:1
 3. RIPRAP SHALL BE COMPOSED OF A WELL-GRADED MIXTURE OF STONE SIZE SO THAT 50% OF THE PIECES, BY WEIGHT, SHALL BE LARGER THAN THE #50 SIZE.
 4. BASKET WIRE TO BE GALVANIZED STEEL, MESH OPENING SHALL NOT EXCEED 4.5" OR HAVE AN AREA GREATER THAN 10 SQ IN.

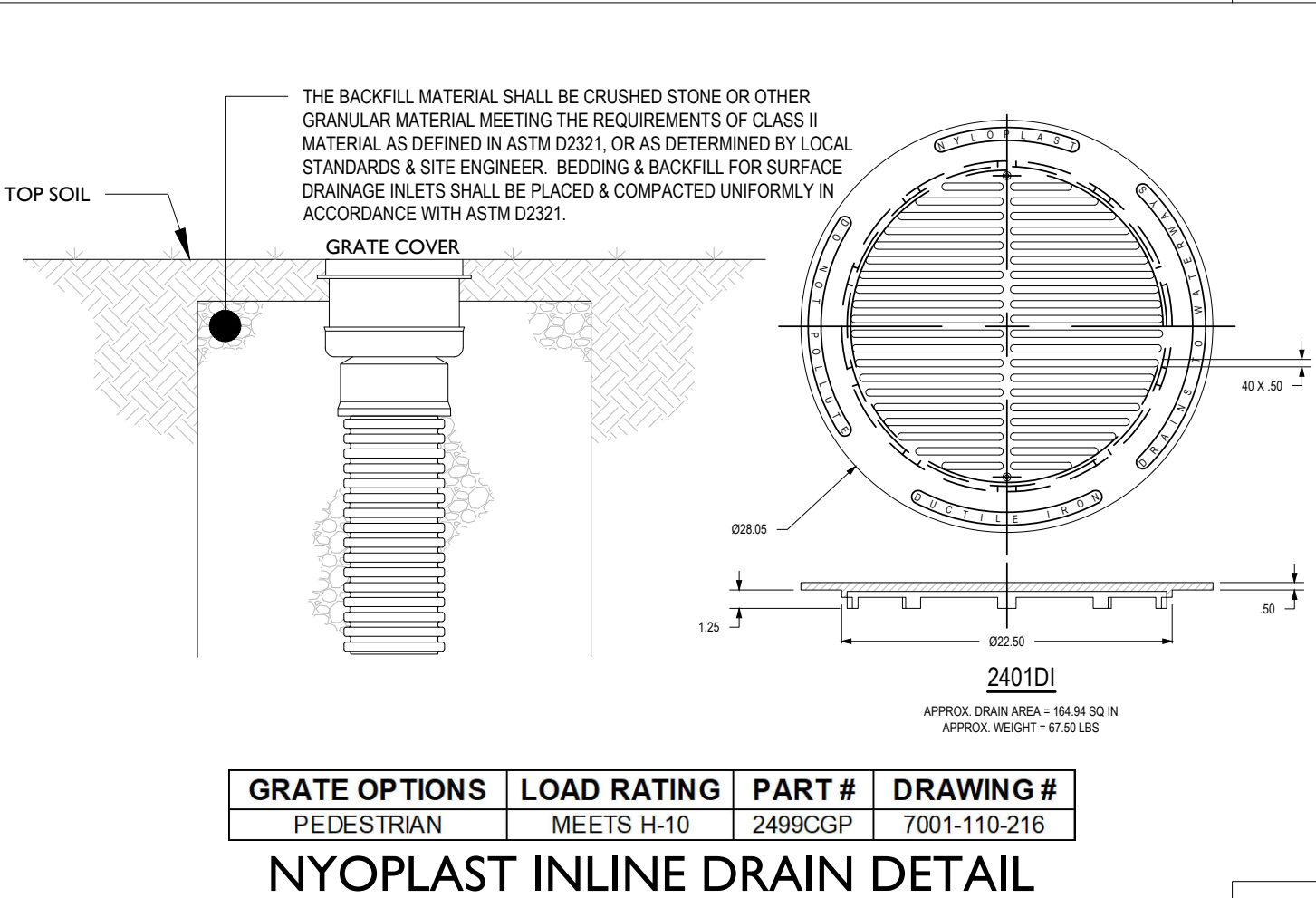
RIP-RAP PAD
NOT TO SCALE



ADS TYPICAL RISER/CLEAN-OUT DETAIL
NOT TO SCALE



STORM TRENCH DETAIL
NOT TO SCALE



NYOPLAST INLINE DRAIN DETAIL
NOT TO SCALE

GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	2499CGP	7001-110-216

DESIGN REVIEW COMMISSION SUBMISSION	DATE	BY
1	06/22/2023	NJK

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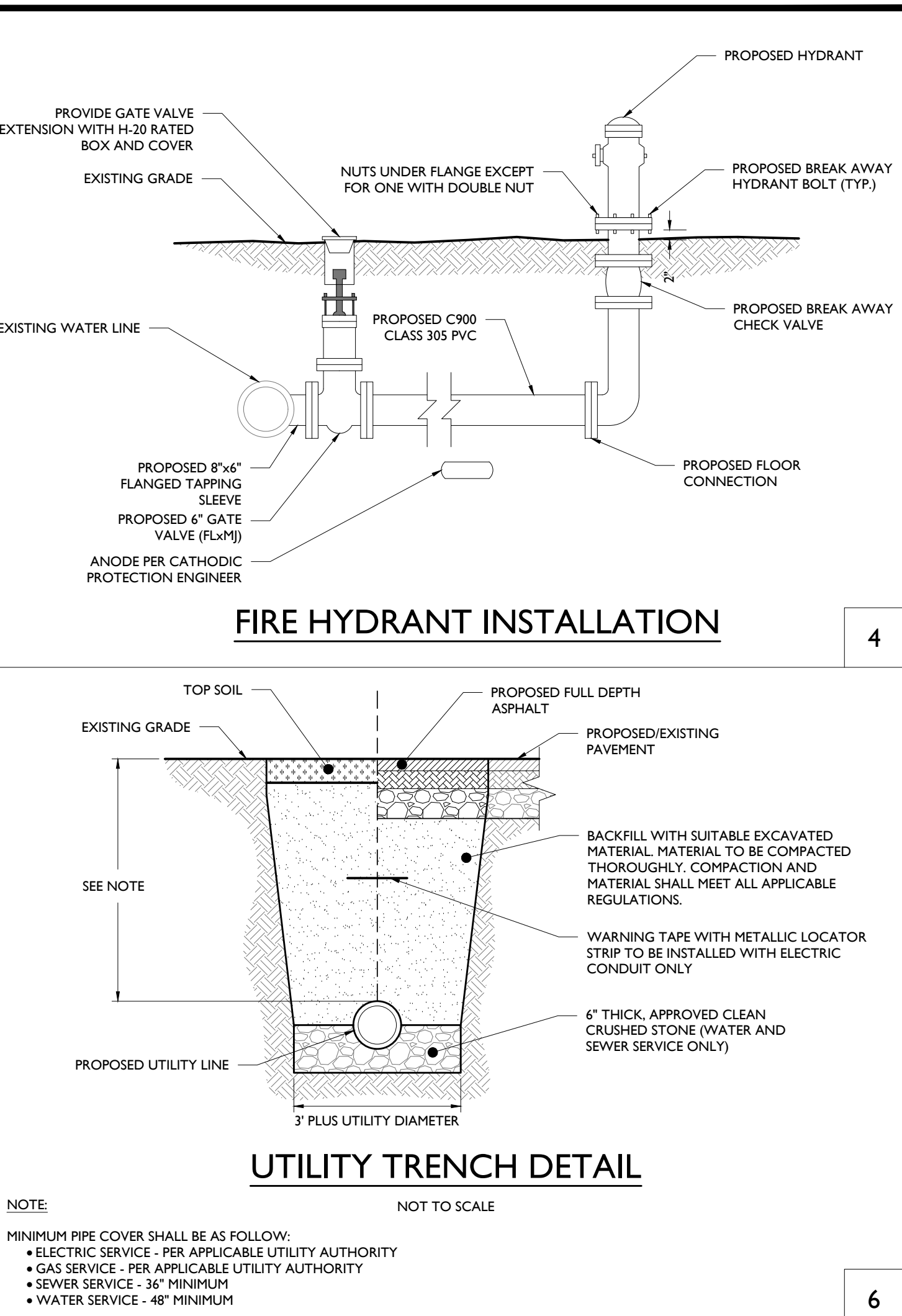
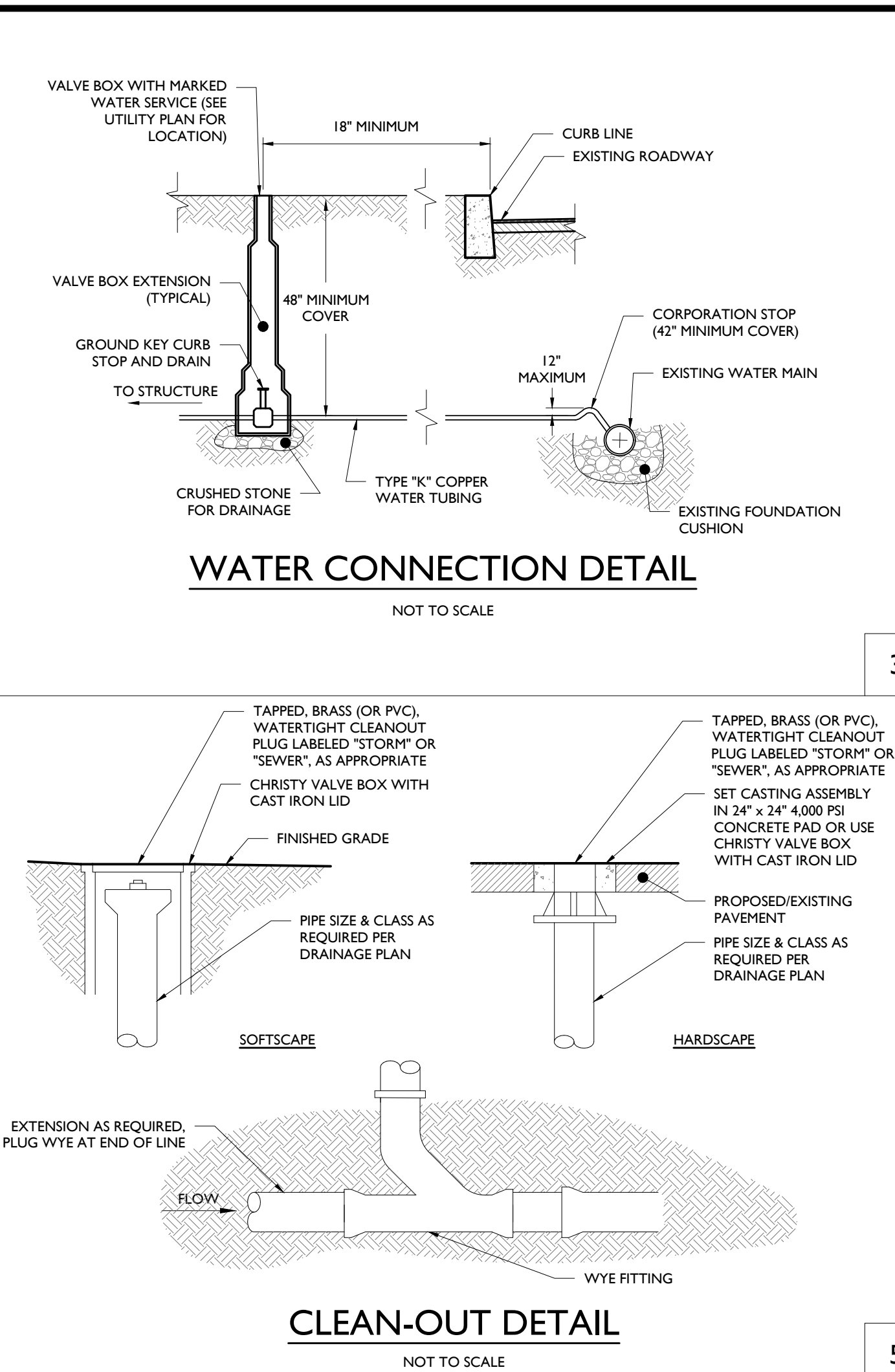
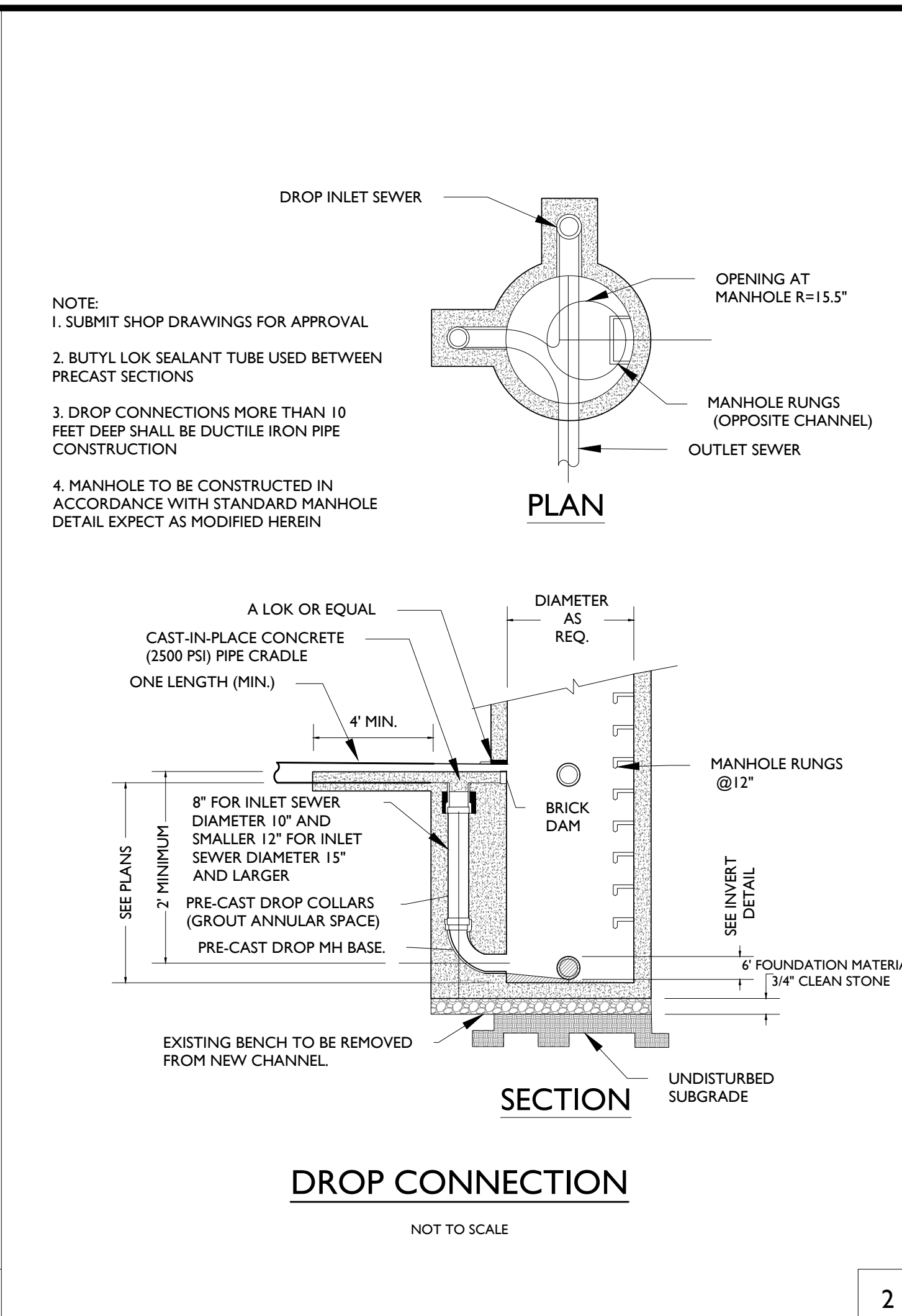
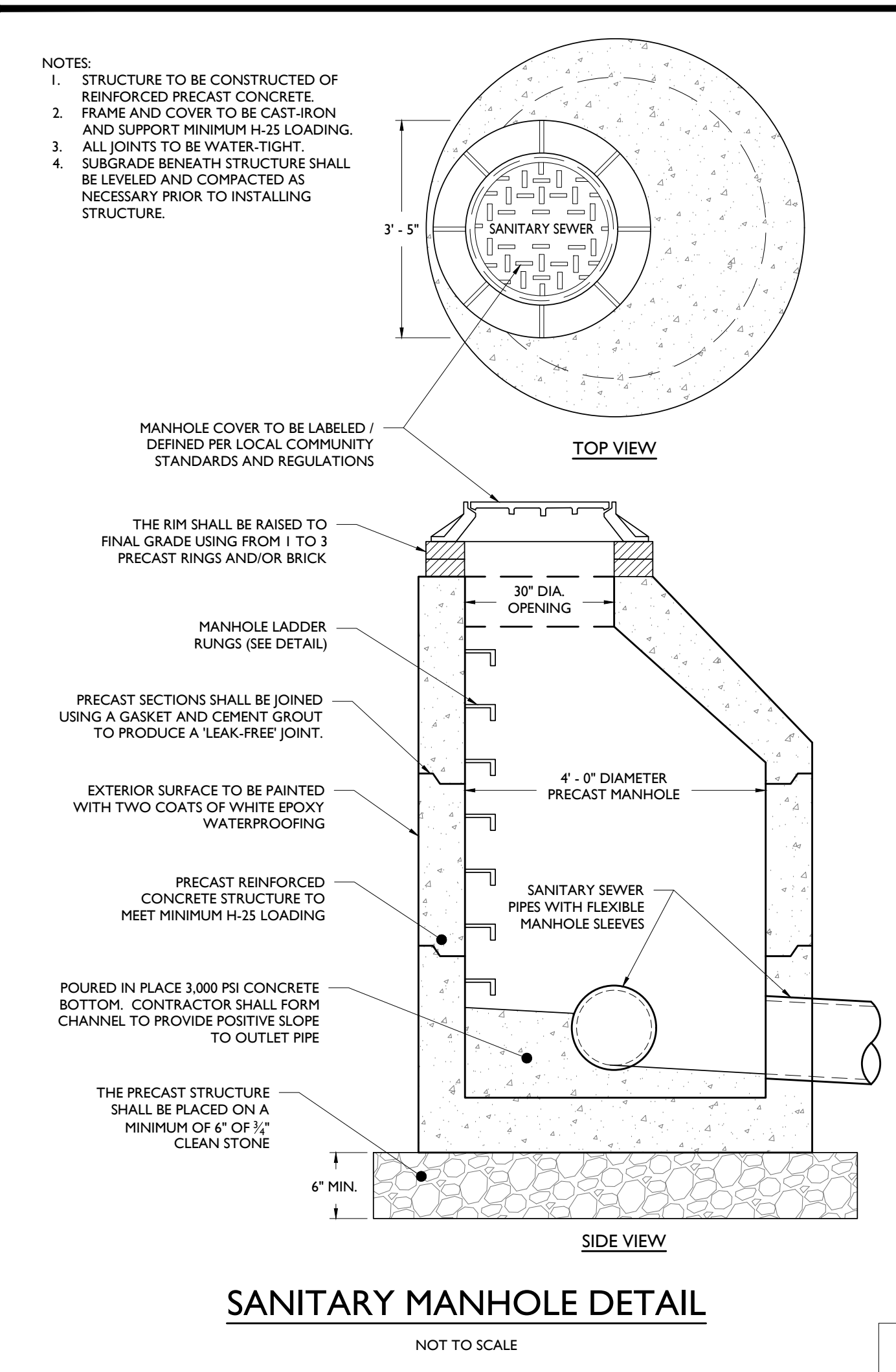
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TITLE: CONSTRUCTION DETAILS

DRAWING: C-14

2:48(07/18/2023)10:02:10000 PRIMROSE SCH-HOLES - 700-712 UNION STREET - FRANCHISING COMPANY/STPH - L102110.WG



Mirada Medium (MRM) Outdoor LED Area Light

OVERVIEW

Lumen Package	7000 - 48,000
Wattage Range	48 - 401
Efficacy Range (LPW)	117 - 160
Weight (lbs/kg)	30 (13.6)

QUICK LINKS

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory pre-wired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's Dura-Grip® polyester powder coat finishing process. The Dura-Grip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over-temperature protection. Custom lumen and wattage packages available.
- 0-10V Dimming (0% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (247-480 Vac).
- L80 Calculated Life >100K Hours (See Lumen Maintenance on Page 5)
- 40°F to +122°F, 42L and 48L lumen packages rated to +40°C.
- Operating temperature -40°C to +50°C (40°F to +122°F), 42L and 48L lumen packages rated to +40°C.
- Power factor > 90
- Input power stays constant over life.
- Field replaceable IOLV surge protection device meets a minimum Category C Low operation. (See ANSI/IEEE 682-112.)
- High efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 2" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1599 and UL 8750.
- Needs Dry American Act requirements.
- IDA compliant, with 3000K color temperature selection.
- Compliant with local ordinance for qualification information.
- Available for wet Locations.
- IP66 rated Luminaire per IEC 60598
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLight Consortium® DLC qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlight.org/GPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent No. 10,816,165 B2)
- IK08 rated luminaire per IEC 60626
- Mechanical impact code
- UL Efficacy: 160 LPW
- IP66 rated Luminaire per IEC 60598
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLight Consortium® DLC qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlight.org/GPL to confirm which versions are qualified.
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- Mechanical impact code
- UL Efficacy: 160 LPW
- IP66 rated Luminaire per IEC 60598
- 3G rated for ANSI C136.31 high vibration applications are qualified.

FOOTNOTES:

- Luminaire and wattage packages available, consult factory. Values are within industry standard tolerance but not DLC rated.
- Not available with L80 dimming option.
- Not available with L80 dimming option.
- Not available in HV.
- LSI LED Fixtures are available via the LSI app that can be downloaded from your smartphone's native app store.
- Color temperature and starting cap must be ordered separately. See Accessory Ordering Information.
- Accessories are shipped separately and field installed.
- Factory installed CDP option required. See Options.
- CDP services include: Free finish options.
- Only available with ALICIA/ALCA control options.
- Flow must be located in hard-to-reach area. See Accessory Ordering Information for compatibility.
- Only available in 9L and 12L Lumen Packages. Consult factory for lead time and availability.

Mirada Medium Outdoor LED Area Light

ORDERING GUIDE

TYPICAL ORDER EXAMPLE: MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL

Luminaire	Light Source	Lumen Package	Light Output	Distribution	Orientation	Voltage	Driver
MRM-Media	LED	36L-30,000 lms	30,000 lms	2-Type 2	(blank) - standard	UNV - Universal Voltage (120-277V)	DM - 0-10V Dimming (0-10%)
		48L-48,000 lms	48,000 lms	2-Type 2	(blank) - standard	UNV - Universal Voltage (120-277V)	DM - 0-10V Dimming (0-10%)
		18L-18,000 lms	18,000 lms	SW - Type 5 Wide	(blank) - standard	UNV - Universal Voltage (120-277V)	DM - 0-10V Dimming (0-10%)
		36L-30,000 lms	30,000 lms	FT - Forward Throw	(blank) - standard	UNV - Universal Voltage (120-277V)	DM - 0-10V Dimming (0-10%)
		48L-48,000 lms	48,000 lms	FT - Forward Throw	(blank) - standard	UNV - Universal Voltage (120-277V)	DM - 0-10V Dimming (0-10%)
		48L-48,000 lms	48,000 lms	AM - Automatic Meridian	(blank) - standard	UNV - Universal Voltage (120-277V)	DM - 0-10V Dimming (0-10%)

Color Temp **Color Rendering** **Finish** **Options**

70CRI-70 CRI 90CRI-90 CRI (blank)-None (blank)-None

MRM - Matte Grey BRZ - Dark Bronze (blank)-None (blank)-None

OP - Matte Grey GPT - Granite (blank)-None (blank)-None

MRM - Metallic Silver PFP - Polished Flag (blank)-None (blank)-None

MRM - Matte Silver SVG - Sate Verde Green (blank)-None (blank)-None

WHT - White WHT - White (blank)-None (blank)-None

Accessory Ordering Information*

Description	Order Number
DC120 Protocol fixture with CDP option (120V)	120514
DC120 Protocol fixture with CDP option (200V, 240V, 277V)	120515
Test Lock Protocol (480V) fixture with CDP*	120516
Arctic 5 Pin Test Lock Controller*	86146
Factor 7 Pin Test Lock Controller*	68146
MAG124-24V Photometric Oscilloscope Sensor (24V)	66124SLR
Shoring Cap for use with CDP*	148328

Mounting Accessories*

Description	Order Number
Universal Mounting Bracket	60469SLR
Adjustable Slip Bracket (2" Slip Track)	60194SLR
Hexagon Slip Bracket (2" Slip Track)	60276SLR
Quick Mount Post Bracket (Square Post)	60702SLR
Quick Mount Post Bracket (Round Post)	60902SLR
Factor 7 Pin Quick Mount Post Bracket (Square Post)	60902SLR
Factor 7 Pin Quick Mount Post Bracket (Round Post)	60902SLR
Wall Mount Bracket	30213SLR
Wall Post Bracket (2" Minimum Pole Diameter)	75025SLR

Mounting Accessories

Description	Order Number
Single Flange (100V)	60469
Double Flange (270V)	74415
Double Flange (200V, 240V)	74415
Double Flange (480V)	75162
Double Flange (145V)	75162

HI-LITE MFG. CO., INC.
13450 Monie Vista Avenue
Chino, California 91710
Telephone: (909) 985-1999
Fax: (909) 466-0907

Warehouse Shade Collection

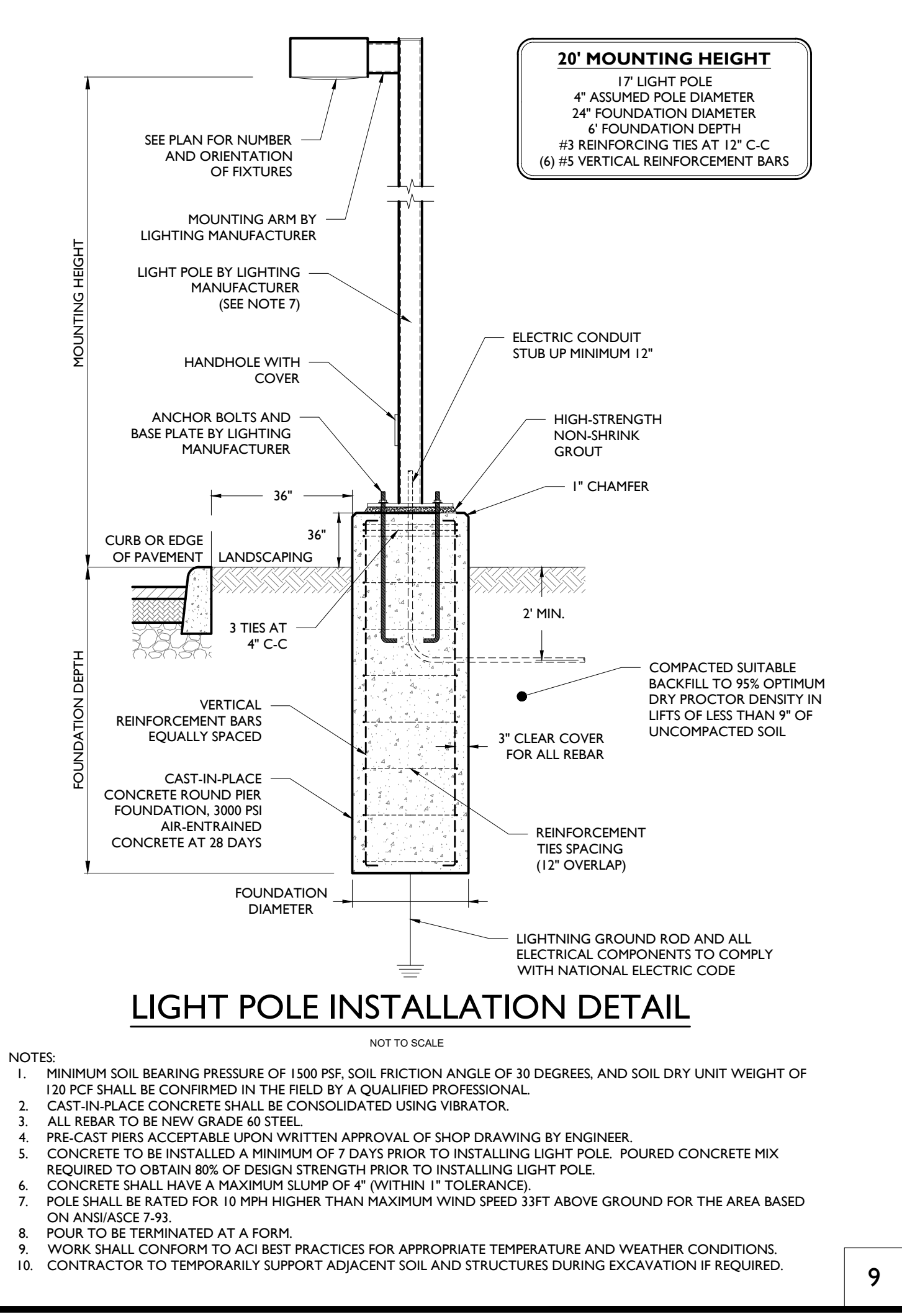
For Wall Mount Only

Fixture No.	Fixture Color	Optional Accessories	Accessory Color	Wattage/Lamp Options	Ballast Options	Voltage
H-15106-B	Black	Standard (S) (Red, White, Blue, Green, Yellow, Purple, Orange, Pink, Silver, Gold, Bronze, Copper, Nickel, Chrome, Gunmetal, Matte Black, Gloss Black, Gloss White, Gloss Silver, Gloss Gold, Gloss Bronze, Gloss Copper, Gloss Nickel, Gloss Chrome, Gloss Gunmetal)	Standard (S) (Red, White, Blue, Green, Yellow, Purple, Orange, Pink, Silver, Gold, Bronze, Copper, Nickel, Chrome, Gunmetal, Matte Black, Gloss Black, Gloss White, Gloss Silver, Gloss Gold, Gloss Bronze, Gloss Copper, Gloss Nickel, Gloss Chrome, Gloss Gunmetal)	Standard (S) (Red, White, Blue, Green, Yellow, Purple, Orange, Pink, Silver, Gold, Bronze, Copper, Nickel, Chrome, Gunmetal, Matte Black, Gloss Black, Gloss White, Gloss Silver, Gloss Gold, Gloss Bronze, Gloss Copper, Gloss Nickel, Gloss Chrome, Gloss Gunmetal)	Standard (S) (Red, White, Blue, Green, Yellow, Purple, Orange, Pink, Silver, Gold, Bronze, Copper, Nickel, Chrome, Gunmetal, Matte Black, Gloss Black, Gloss White, Gloss Silver, Gloss Gold, Gloss Bronze, Gloss Copper, Gloss Nickel, Gloss Chrome, Gloss Gunmetal)	Standard (S) (Red, White, Blue, Green, Yellow, Purple, Orange, Pink, Silver, Gold, Bronze, Copper, Nickel, Chrome, Gunmetal, Matte Black, Gloss Black, Gloss White, Gloss Silver, Gloss Gold, Gloss Bronze, Gloss Copper, Gloss Nickel, Gloss Chrome, Gloss Gunmetal)

ORDER EXAMPLE
(H-1512-B) - 91 / WGR - 91 / 13CFL - BCM - M

NOTE:

- H-15106-B available for 70W Max Inc only and not available with glass enclosure.
- H-15106-B and H-15110-B available for 120W Max Inc only and not available with glass enclosure.
- Requires Globe Option (See pages 336-341 for Globe Options) OGU and WGU Max. Wattage 100W INC, 100W HID and 32W CFL.
- LVGL, LEGU, AKN and APR Max Wattage 200W INC, 150W HID and 67W CFL.
- Standard ballast not available for Fluorescent Lamping.
- Socket Base: INC and HID are medium base, CFL are GX24.



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NOT APPROVED FOR CONSTRUCTION

DESIGN REVIEW COMMISSION SUBMISSION

DATE: 06/22/2023

ISSUE: 1

BY:

PRIMROSE SCHOOL FRANCHISING COMPANY

PROPOSED CHILD DAY CARE FACILITY

MAP 303, LOTS 4 & 47
700-712 UNION STREET
TOWN OF FRANKLIN
NORFOLK COUNTY, MASSACHUSETTS

STONEFIELD engineering & design

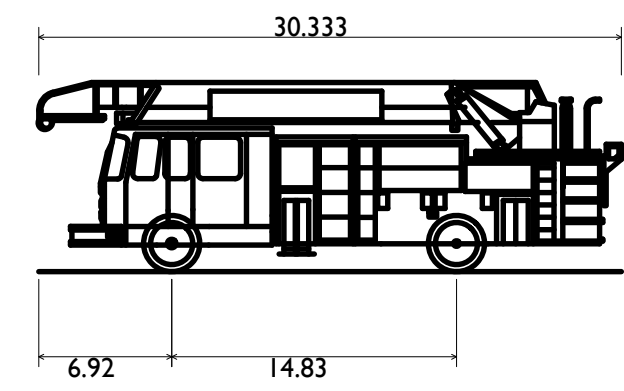
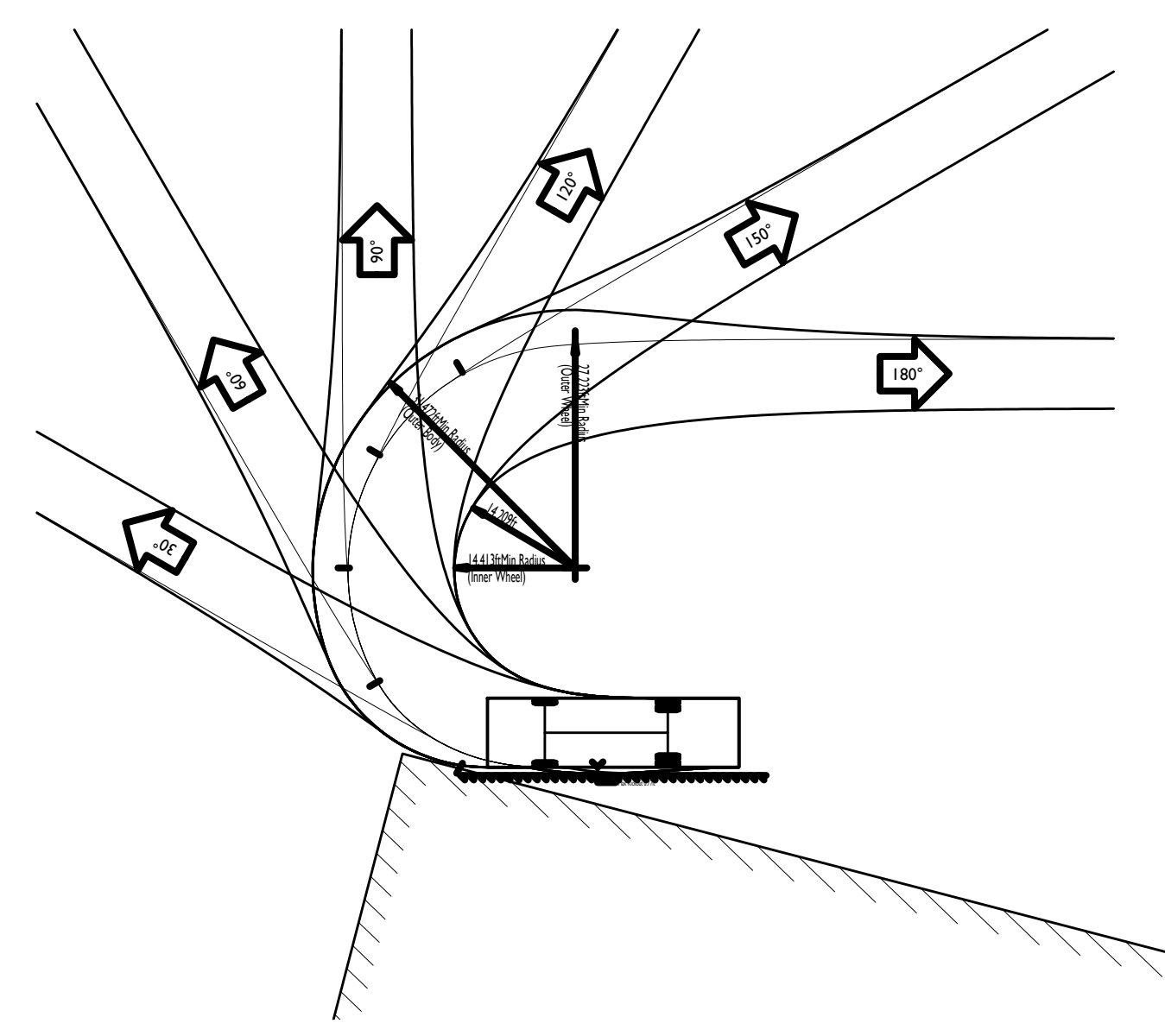
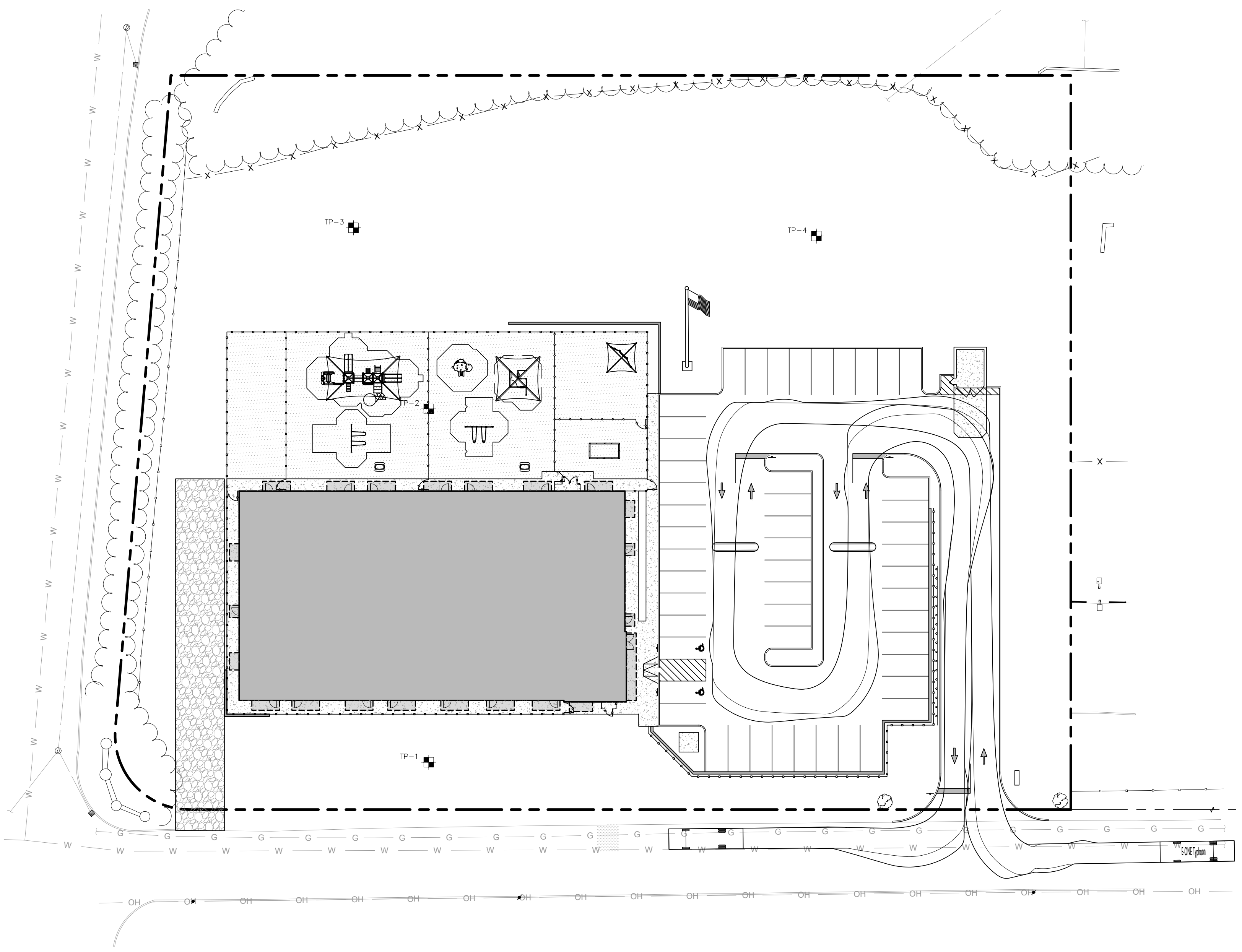
JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE No. 53936
LICENSED PROFESSIONAL ENGINEER

SCALE: AS SHOWN PROJECT ID: BOS-210005

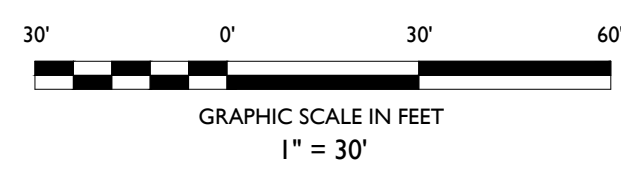
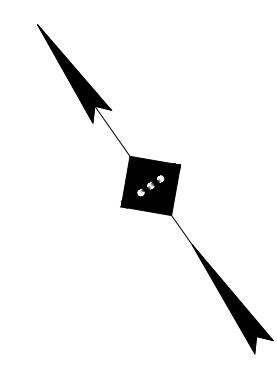
TITLE: CONSTRUCTION DETAILS

DRAWING: C-15

Z:\0107\1802\180210000_Primrose EC-H001 - 700-712 UNION STREET - FRANKLIN, MA\CAD\DWG\TOP-15.TXD.dwg



E-ONE Typhoon
 Overall Length 30.333ft
 Overall Width 8.333ft
 Overall Body Height 9.851ft
 Min Body Ground Clearance 0.920ft
 Track Width 8.333ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°



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SITE PLAN SET

**PRIMROSE SCHOOL
 FRANCHISING COMPANY**

**PROPOSED CHILD DAY
 CARE FACILITY**

MAP 303, LOTS 46 & 47
 700-712 UNION STREET
 TOWN OF FRANKLIN
 NORFOLK COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
 MASSACHUSETTS LICENSE No. 53936
 LICENSED PROFESSIONAL ENGINEER

STONEFIELD
 engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-210005

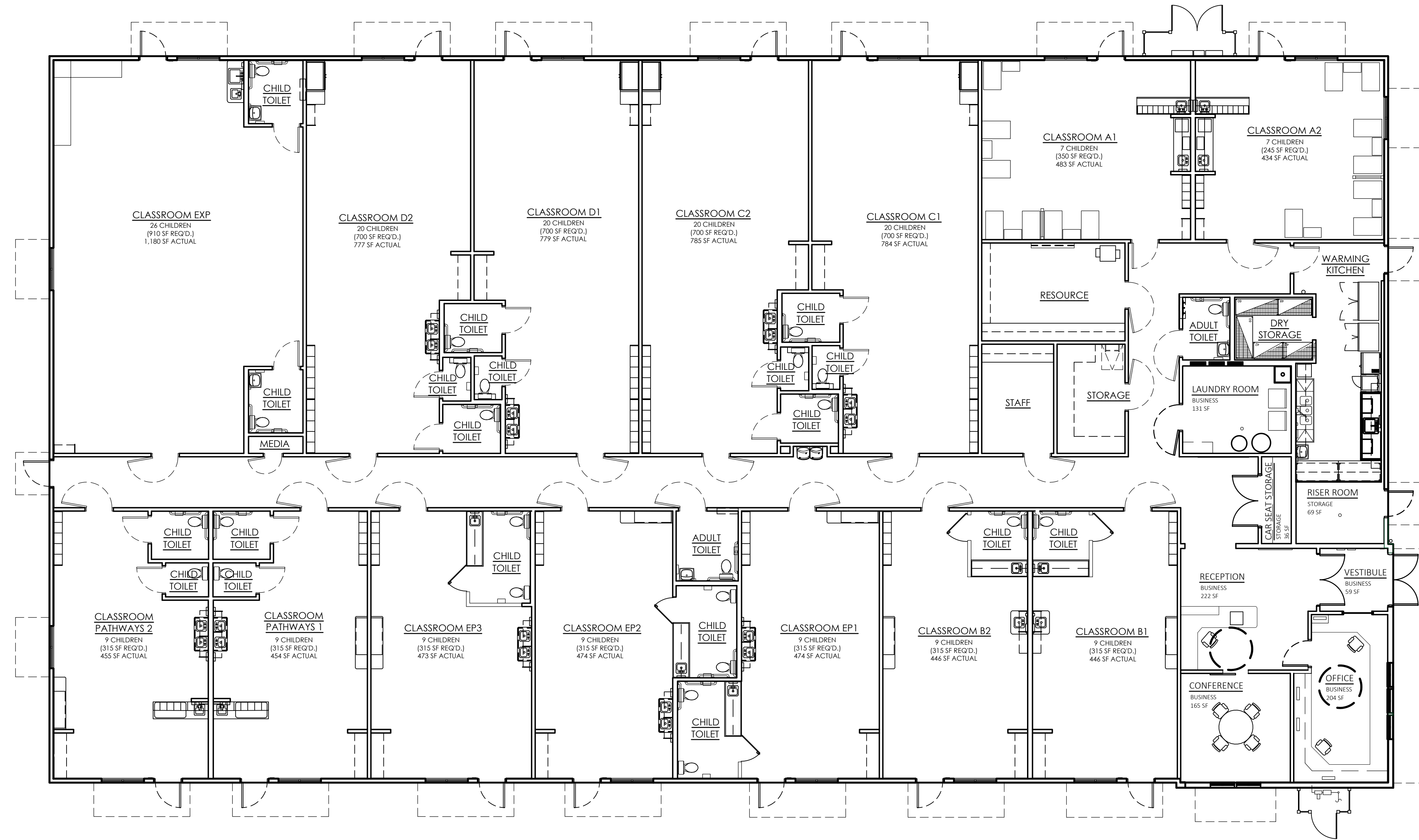
TITLE:
**TRUCK TURN EXHIBIT
 (TYPHOON)**

DRAWING:
C-16

ISSUE	DATE	BY	DESCRIPTION
1	06/22/2023	NRK	DESIGN REVIEW COMMISSION SUBMISSION

ROOM:	MA AGES:	PRIMROSE AGES:	MA SF PER CHILD:	PRIMROSE SF PER CHILD:	MA RATIO:	MAX GROUP SIZE:	PSFC STAFF RATIO:	PROPOSED ROOM CAPACITY:	STAFF REQ'D:	REQ'D AREA SF:	ACTUAL AREA SF:
A1 - INFANTS	BIRTH-15MOS	6WK-15MOS	35	50	1:3.5	7	1:3.5	7	2	350	483
A2 - INFANTS	BIRTH-15MOS	6WK-15MOS	35	35	1:3.5	7	1:3.5	7	2	245	434
B1 - TODDLERS	15MOS-33MOS	15MOS-24MOS	35	35	1:4.5	9	1:4.5	9	2	315	446
B2 - TODDLERS	15MOS-33MOS	15MOS-24MOS	35	35	1:4.5	9	1:4.5	9	2	315	446
EP1 - EARLY PRESCHOOL	15MOS-33MOS	24MOS-33MOS	35	35	1:4.5	9	1:4.5	9	2	315	474
EP2 - EARLY PRESCHOOL	15MOS-33MOS	24MOS-33MOS	35	35	1:4.5	9	1:4.5	9	2	315	474
EP3 - EARLY PRESCHOOL	15MOS-33MOS	24MOS-33MOS	35	35	1:4.5	9	1:4.5	9	2	315	473
PRESCHOOL PATHWAYS 1	15MOS-33MOS	24MOS-33MOS	35	35	1:4.5	9	1:4.5	9	2	315	454
PRESCHOOL PATHWAYS 2	15MOS-33MOS	30MOS-42MOS	35	35	1:4.5	9	1:4.5	9	2	315	455
C1 - PRESCHOOL	33MOS-5YO	3YO	35	35	1:10	20	1:10	20	2	700	784
C2 - PRESCHOOL	33MOS-5YO	3YO	35	35	1:10	20	1:10	20	2	700	785
D1 - PRE-KINDERGARTEN	33MOS-5YO	4YO	35	35	1:10	20	1:10	20	2	700	779
D2 - PRE-KINDERGARTEN	33MOS-5YO	4YO	35	35	1:10	20	1:10	20	2	700	777
EXP - KINDERGRTN/AFTERSCHOOL	5YO-6YO	5YO+	35	35	1:13	26	1:13	26	2	910	1,180
TOTALS:								183	28	6,510	8,444

BUILDING: ±13,524 SF
 PLAYGROUND: AT LEAST 75 SQUARE FEET PER CHILD WHO IS OUTSIDE AT ANY ONE TIME.
 PLAYGROUND PROVIDED: ±10,614 SF

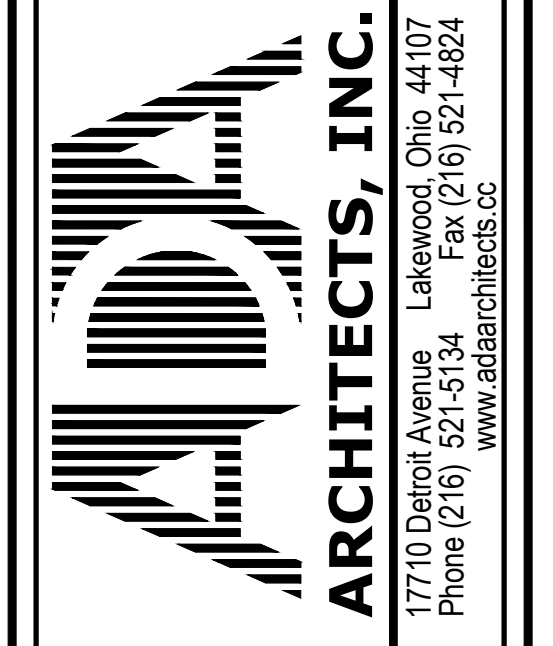


PRIMROSE SCHOOLS:

FRANKLIN, MA

FRANKLIN, MA
 700/712 UNION ST.

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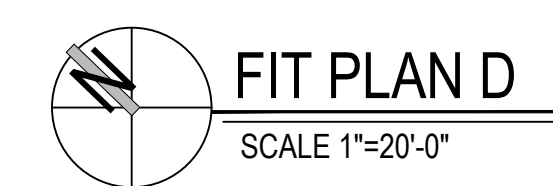


#	DATE	TYPE
1	10/31/2022	FIT PLAN B
2	04/14/2022	FIT PLAN C
3	05/31/2022	FIT PLAN D
4		
5		
6		
7		
8		
9		

FIT PLAN

DATE 10/07/2020
 JOB NO. 20332

FP-1.0
 SHEET NO.



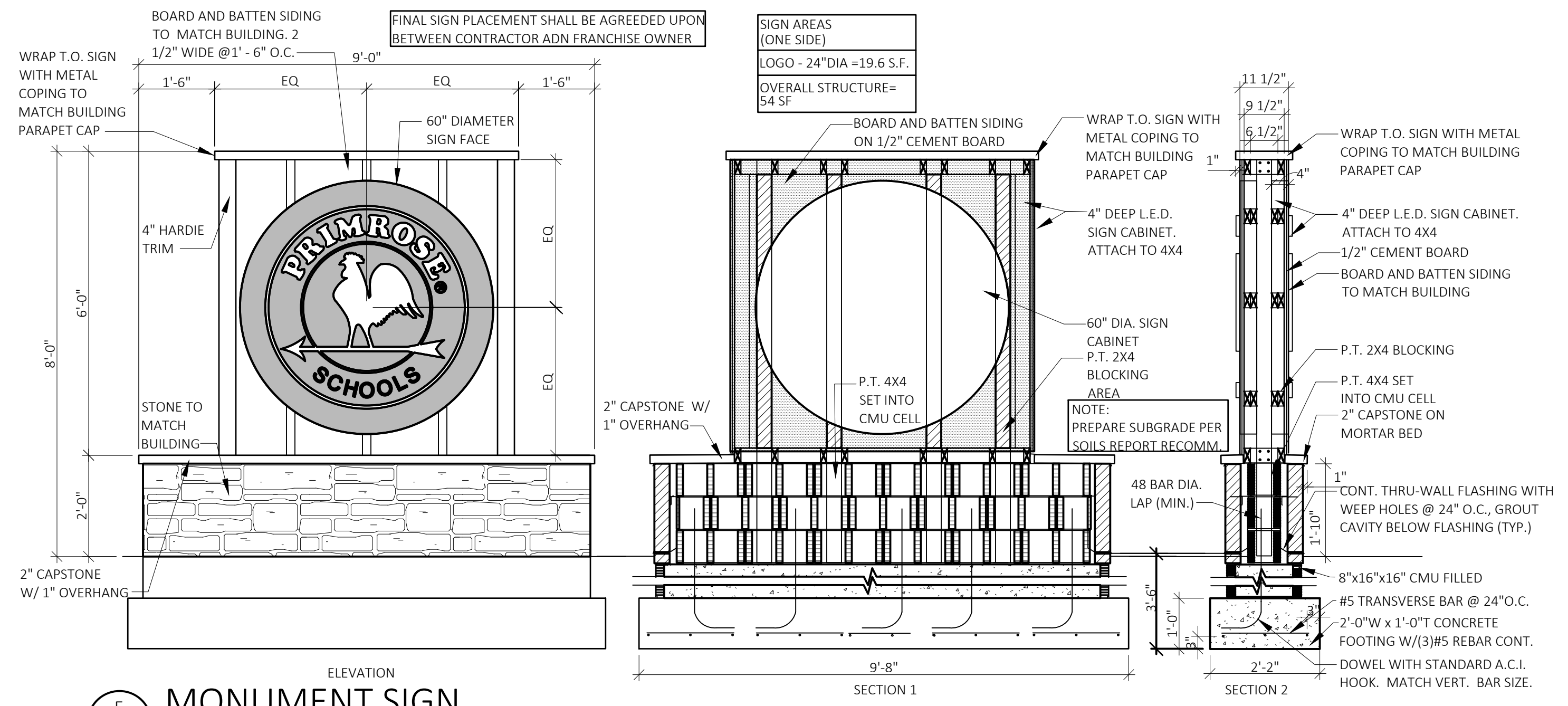
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ELEVATION KEYED NOTES

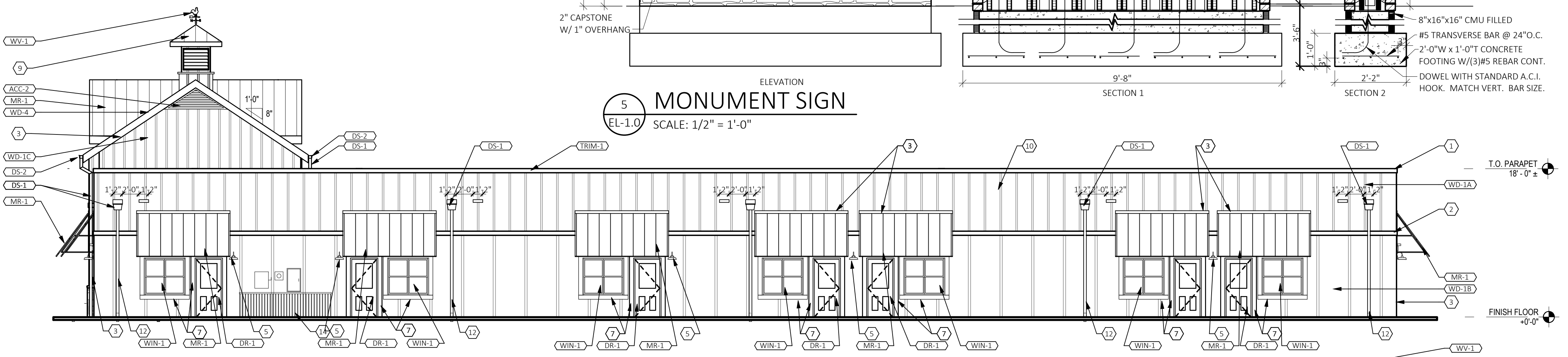
- 5/4 x 8 TRIMBOARD, WD - 2
- 5/4 x 6 TRIMBOARD, WD - 2
- 5/4 x 4 TRIMBOARD, WD - 2
- 42" ROUND LED LIGHTED SIGN (INTERNALLY LIT). SEE 6/A2.4 FOR MOUNTING DETAIL.
- LIGHTING, REFER TO ELECTRICAL DRAWINGS.
- TRIMBOARD AT OFFICE & CONF ROOM WINDOWS: HORIZ TO BE 5/4 x 6, VERT TO BE 5/4 x 4, BOTH WD-3
- TRIMBOARD AT ALL EXTERIOR DOORS AND CLASSROOM WINDOWS TO BE 5/4 x 6, WD - 3
- 60" ROUND LED LIGHTED SIGN (INTERNALLY LIT). SEE 6/A2.4 FOR MOUNTING DETAIL.
- CUPOLA WITH WEATHER VANE. PAINT ALL SURFACES TO MATCH "ARCTIC WHITE", ROOF TO BE MR - 1. REFER TO 1A/A6.3 FOR CONSTRUCTION.
- ROOF LINE BEHIND PARAPET WALL.
- GLAZING TO RECEIVE WINDOW FILM, TINT-1. SEE FINISH SCHEDULE, SHEET A2.2.
- DOWNSPOUTS TIED INTO UNDERGROUND STORM SEWER BELOW GRADE.
- KNOX BOX OR APPROVED EQUAL. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL.
- 4' - 0" HIGH SOLID VINYL FENCE WITH (2) 3' - 0" W GATES.
- BEIGE ALUMINUM PLAQUE W/6" REFLECTIVE BLACK VINYL NUMBERS. PROVIDED BY 1 HOUR SIGN. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL.

EXTERIOR FINISH LEGEND

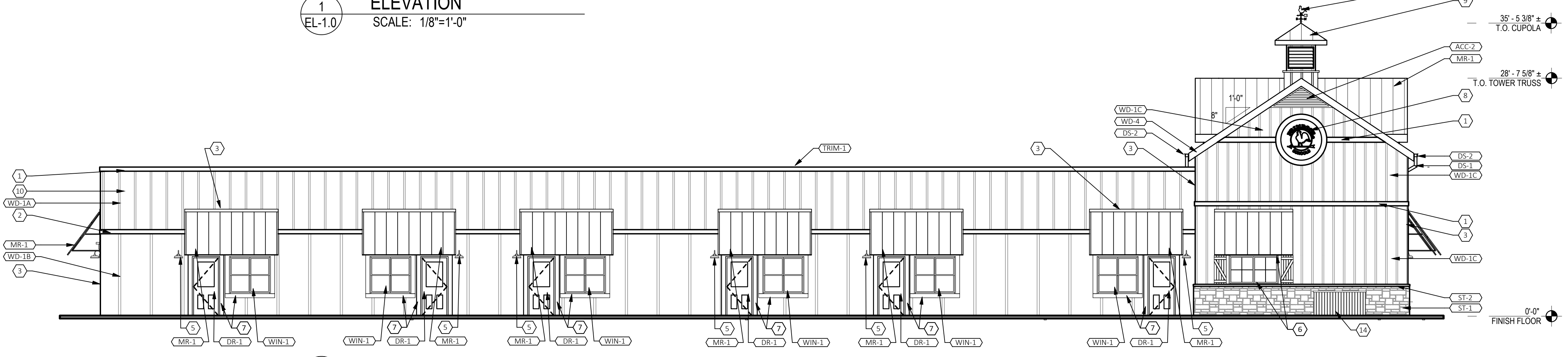
MARK	DESCRIPTION	SPECIFICATION
MR-1	METAL ROOF	BERRIDGE CEE-LOCK SYSTEM. COLOR: DARK BRONZE.
ST-1	STONE WAINSCOT	CORONADO: EASTERN MOUNTAIN LEDGE, HURON
ST-2	STONE CAP @ WAINSCOT	CORONADO: CHISELED STONE SILL. COLOR: TWILIGHT.
TRIM	MISC METAL TRIM & FLASHING	ANY MISC METAL FLASHING AND TRIM NOT NOTED ASTRIM-1 OR TRIM-2 SHOULD MATCH COLOR OF ADJACENT SURFACE. CONTACT ARCHITECT FOR DIRECTION AS REQ'D.
TRIM-1	MTL TRIM @ METAL ROOF	BM COLOR REVIEW HOC - 21 WINTER WHITE. (COLOR TO MATCH "ARCTIC WHITE")
TRIM-2	MTL TRIM @ METAL ROOF	COLOR: TO MATCH "MR-1"
WD-1A	BOARD & BATTEN SIDING (ABOVE 10' - 0")	HARDIE PANEL (4' X 10') & HARDIE TRIM BATTEN BOARDS (2 1/2" WIDE @ 2' - 0" O.C.) FINISH: SMOOTH COLOR: ARCTIC WHITE
WD-1B	BOARD & BATTEN SIDING (BELOW 10' - 0")	HARDIE PANEL (4' X 10') & HARDIE TRIM BATTEN BOARDS (3 1/2" WIDE @ 4' - 0" O.C.) FINISH: SMOOTH COLOR: ARCTIC WHITE
WD-1C	BOARD & BATTEN SIDING (@ENTER TOWER)	HARDIE PANEL (4' X 10') & HARDIE TRIM BATTEN BOARDS (2 1/2" WIDE @ 16" O.C.) FINISH: SMOOTH COLOR: ARCTIC WHITE
WD-2	TRIM (FASCIA, FRIEZE, RUNNINGTRIM)	HARDIE TRIM BOARDS, 5/4 NT3 SMOOTH, VARIOUS WIDTHS AS REQUIRED (SEE ELEVATIONS). COLOR: ARCTIC WHITE
WD-3	TRIM (DOOR AND WINDOWTRIM)	HARDIE TRIM BOARDS, 5/4 NT3 SMOOTH, VARIOUS WIDTHS AS REQUIRED (SEE ELEVATIONS) COLOR: AGED PEWTER
WD-4	TRIM (FASCIA TRIM @ METALROOF)	HARDIE TRIM BOARDS, 5/4 NT3 SMOOTH, SEE WALL SECTIONS FOR WIDTH. COLOR: PAINT TO MATCH MR-1
ACC-1	SHUTTERS	EKEMA MILLWORK: TWO BATTEN W/2-BAR BOARD & BATTEN COMPOSITE SHUTTERS. 3' - 6" X 1' - 6" W. SHUTTERS TO BE ORDERED PRIMED, PAINT TO MATCH "AGED PEWTER"
ACC-2	LOUVERS	AMERICAN LOUVER & VENT COMPANY, TGV81260 OR APPROVED EQUAL. BM COLOR REVIEW HOC - 21 WINTER WHITE (COLOR TO MATCH "ARCTIC WHITE")
WV-1	WEATHER VANE	LARGE COPPER ROOSTER WEATHERVANE. SEE 1A/A6.3 FOR ADDITIONAL INFORMATION.
DS-1	GUTTERS, DOWNSPOUTS & GABLED ROOF	BM COLOR REVIEW HOC - 21 WINTER WHITE. (COLOR TO MATCH "ARCTIC WHITE"); 6" GUTTERS AND DOWNSPOUTS U.N.O.
DS-2	GUTTERS ALONG METAL ROOF	COLOR: TO MATCH "MR - 1"
DR-1	HALF LITE DOORS	EXTERIOR INSULATED METAL HALF LITE DOOR; COLOR (INTERIOR & EXTERIOR): WHITE. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
DR-2	FULL LITE DOOR	EXTERIOR INSULATED METAL FULL LITE DOOR : COLOR (INTERIOR & EXTERIOR): WHITE. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
WIN-1	VINYL WINDOWS	ANDERSEN: SILVERLINE 2200 SERIES. COLOR: WHITE. SEE WINDOW SCHEDULE.
WIN-2	VINYL WINDOWS (@ OFFICE)	ANDERSEN: 100 SERIES. COLOR: WHITE. SEE WINDOW SCHEDULE.



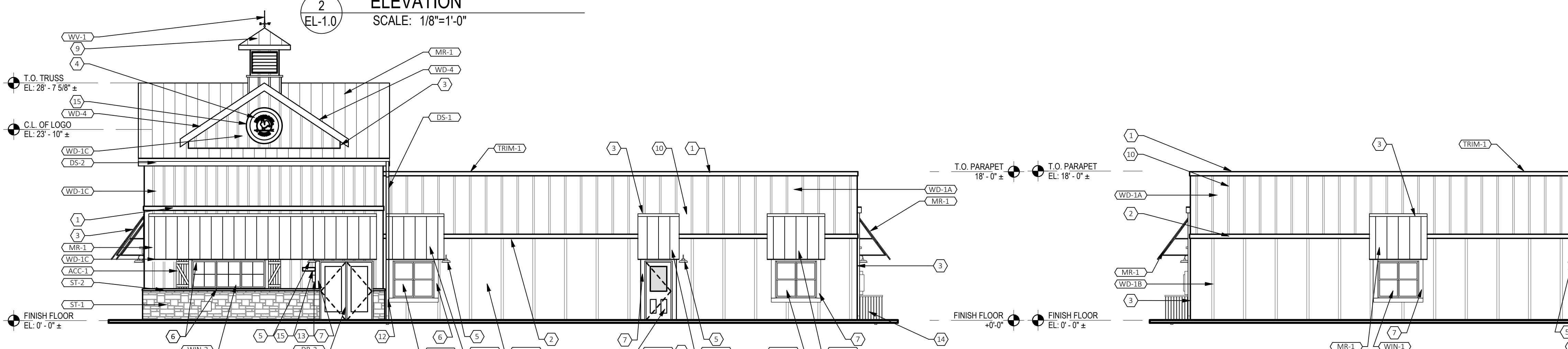
5 MONUMENT SIGN
EL-1.0 SCALE: 1/2" = 1'-0"



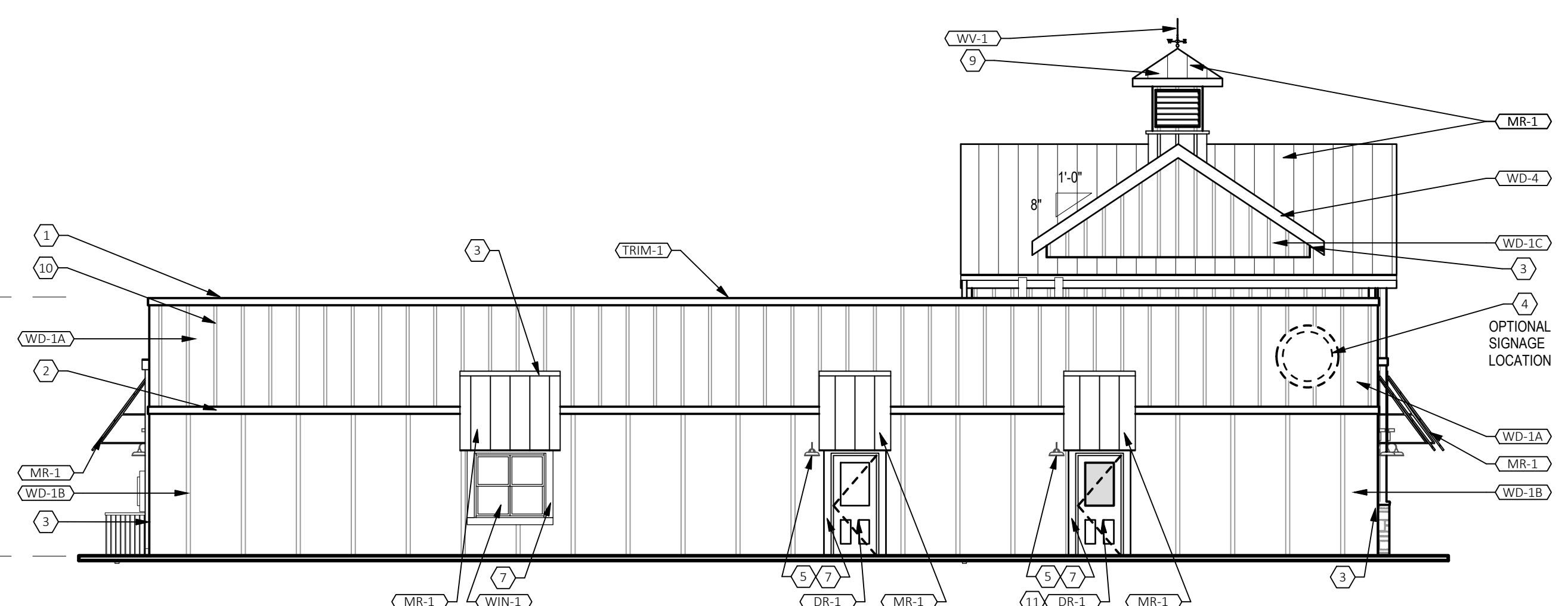
1 ELEVATION
EL-1.0 SCALE: 1/8" = 1'-0"



2 ELEVATION
EL-1.0 SCALE: 1/8" = 1'-0"



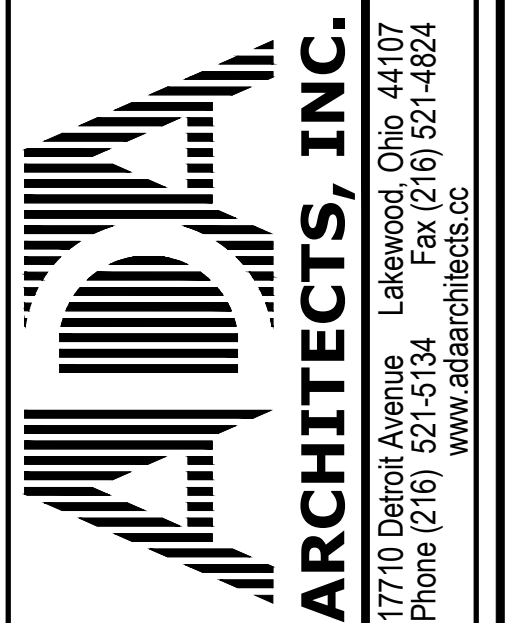
3 ELEVATION
EL-1.0 SCALE: 1/8" = 1'-0"



4 ELEVATION
EL-1.0 SCALE: 1/8" = 1'-0"



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PRIMROSE SCHOOLS:
FRANKLIN, MA

FRANKLIN, MA
700/712 UNION ST.

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REVISIONS

#	DATE	TYPE
1	06/06/2022	EXTERIOR RENDERINGS
2		
3		
4		
5		
6		
7		
8		
9		

EXTERIOR
RENDERINGS

DATE 03/29/2022
JOB NO. 20332

RE-1.0
SHEET NO.

NOTES:

- PROPERTY KNOWN AS MAP 303, LOTS 46 & 47 AS SHOWN ON THE GIS MAPS OF THE TOWN OF FRANKLIN, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS.
- AREA OF LOT 46 = 58,744 SF OR 1.349 AC.
AREA OF LOT 47 = 55,158 SF OR 1.266 AC.
TOTAL = 113,902 SF OR 2.615 AC.
- THE BEARING BASIS OF THIS SURVEY IS BASED ON PLAN 1581 OF 1989.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY LEVESQUE GEOMATICS INC AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, CASE No. BLC-27428, WITH AN EFFECTIVE DATE OF FEBRUARY 3, 2021 (REVISED 3/5/2021), WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, PART II:
 - EASEMENTS SET FORTH IN A GRANT TO MASSACHUSETTS ELECTRIC COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY DATED OCTOBER 6, 1966, RECORDED WITH SAID DEEDS, BOOK 4392, PAGE 318. - AFFECTS PROPERTY - SPECIFIC LOCATION OR POLE NUMBERS NOT DESCRIBED - NOT SHOWN.
 - EASEMENTS SET FORTH IN A GRANT TO MASSACHUSETTS ELECTRIC COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY DATED APRIL 21, 1988, RECORDED WITH SAID DEEDS, BOOK 7053, PAGE 524. - AFFECTS PROPERTY - SPECIFIC LOCATION OR POLE NUMBERS NOT DESCRIBED - NOT SHOWN.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THE ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- NO OFFSITE IMPROVEMENTS WERE LOCATED AND NO MONUMENTS WERE PLACED AT AN OFFSITE EASEMENT OR SERVITUDE AT TIME OF SURVEY.
- CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED REVEALED IN THE TITLE REPORT AND REFERENCED MAPS HAVE BEEN SHOWN.
- NO OFFSITE IMPROVEMENTS WERE LOCATED AND NO MONUMENTS WERE PLACED AT AN OFFSITE EASEMENT OR SERVITUDE AT TIME OF SURVEY.
- THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- BY GRAPHIC PLOTTING ONLY THE PROPERTY SHOWN IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA MAP #25021C0309E, WITH AN EFFECTIVE DATE OF JULY 17, 2012.
- TITLE EXCEPTIONS 8 & 9 ARE INTENTIONALLY OMITTED.

EXHIBIT 'A'

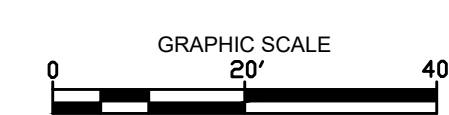
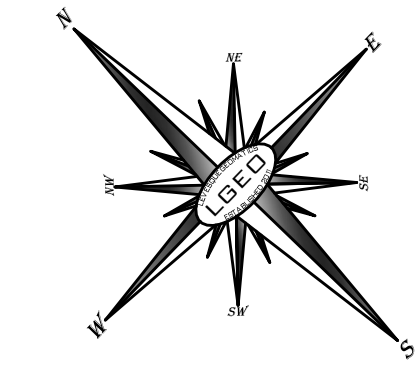
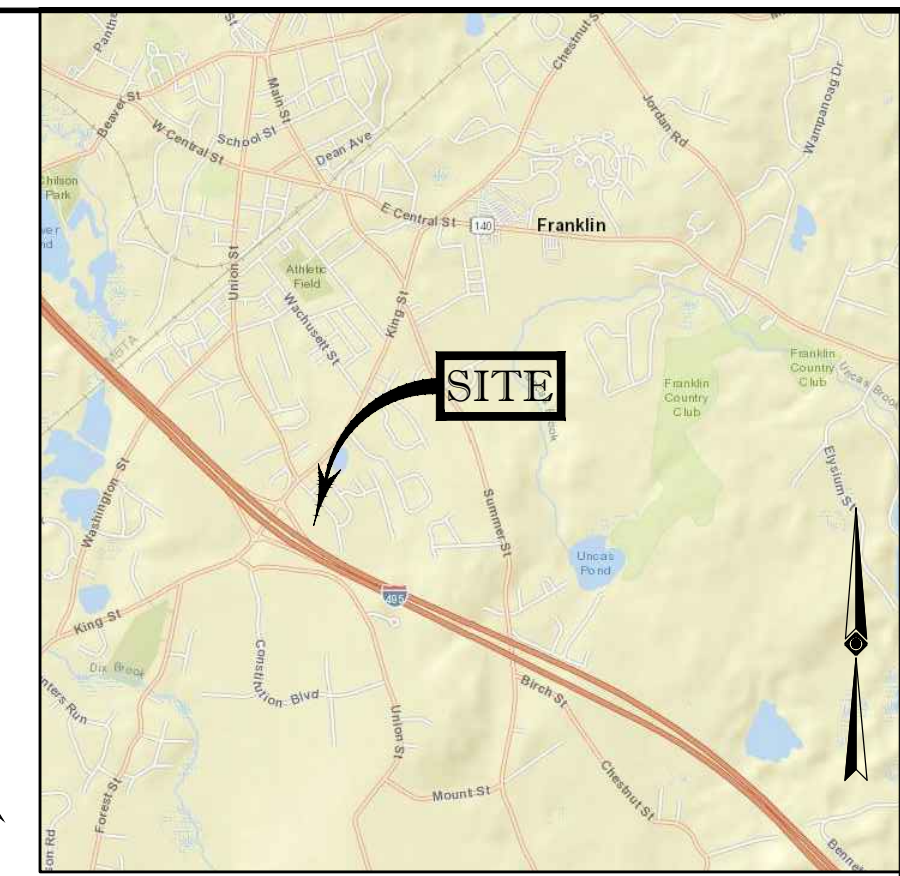
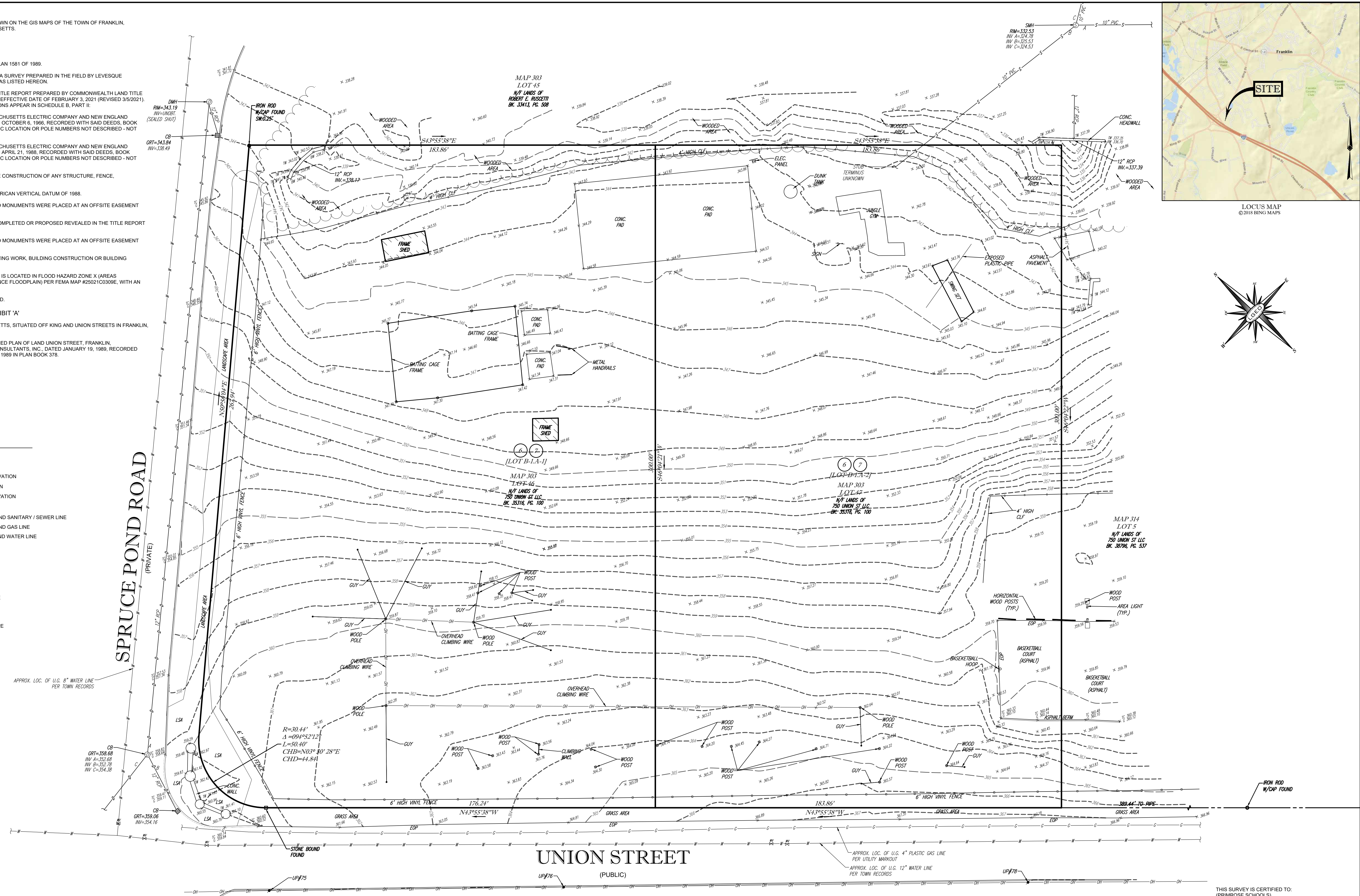
THE LAND IN FRANKLIN, NORFOLK COUNTY, MASSACHUSETTS, SITUATED OFF KING AND UNION STREETS IN FRANKLIN, AS BEING SHOWN AS:

LOT B-1, A1 AND LOT B-1, A2 ON A PLAN ENTITLED "COMPLIED PLAN OF LAND UNION STREET, FRANKLIN, MASSACHUSETTS" BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC., DATED JANUARY 19, 1989, RECORDED WITH NORFOLK REGISTRY OF DEEDS AS PLAN NO. 223 OF 1989 IN PLAN BOOK 378.

LEGEND

- 124 --- EXISTING CONTOUR
- 125 --- EXISTING SPOT ELEVATION
- × 123.45 EXISTING TOP OF CURB ELEVATION
- × 123.45 EXISTING GUTTER ELEVATION
- × 123.45 EXISTING TOP OF WALL ELEVATION
- OH --- OVERHEAD WIRES
- S --- APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
- G --- APPROX. LOC. UNDERGROUND GAS LINE
- W --- APPROX. LOC. UNDERGROUND WATER LINE
- UP --- UTILITY POLE
- --- AREA LIGHT
- SIGN
- Pc --- POST
- UG --- UNDER GROUND
- EDP --- EDGE OF PAVEMENT
- DMH --- DRAINAGE/TORM MANHOLE
- SMH --- SANITARY/SEWER MANHOLE
- CB --- CATCH BASIN OR INLET
- RCP --- REINFORCED CONCRETE PIPE
- CLF --- CHAIN LINK FENCE

PLAN	YEAR
309	1987
576	1988
927	1986
1316	1985
223	1989



THIS SURVEY IS CERTIFIED TO:
(PRIMROSE SCHOOLS)
(COMMONWEALTH LAND TITLE INSURANCE COMPANY)

REVISIONS		
NO.	DATE	DESCRIPTION
1	4/7/2022	REVISED PER REFLECT UPDATED TITLE COMMITMENT

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY
OF
MAP 303, LOTS 46 & 47
PREPARED FOR PRIMROSE SCHOOLS
UNION STREET & SPRUCE POND ROAD
TOWN OF FRANKLIN
NORFOLK COUNTY
COMMONWEALTH OF MASSACHUSETTS

LEVESQUE GEOMATICS INC
43 GLENDALE ROAD
STURBRIDGE, MA 01518
PHONE: (508) 868-0041



THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(A)(1), 7(C), 8, 9, 11, 13, 16, 17, 18, & 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 26, 2021.

Joseph I. Levesque III
JOSEPH I. LEVESQUE III
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #53840

DATE: 4/7/2022

DATE	FEBRUARY 12, 2021	JOB NO.
SCALE	1" = 20'	SF-032
DRAWN	JIL	SHEET NO.
CHKD.	JIL	1 of 1