

# United Consultants, Inc.

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October 6, 2020

Mr. Anthony Padula, Chairman  
Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

**Re: 70, 72, 88 and 94 East Central Street  
Site Plan and Special Permit Application Peer Review**

Mr. Chairman and Board Members,

On behalf of the applicant 70 East Central Street, LLC we have provided a summary of the following comments from BETA Group, Inc. We have also provided comments received from the Town of Franklin Planning Board at the public hearing. Our responses are immediately following each comment and they have been italicized.

## **BETA Group, Inc.**

DR1. Revise lighting to eliminate spillage over the property line in the area of the 54-60 Summer Street property. Minor spillage is also anticipated along the easterly property line.

*Applicant to provide revised site lighting plan. Added waiver request. Sheet 1.*

DR2. Revise the Wheelchair Ramp detail to reflect that the proposed sidewalk will be concrete.

*The wheelchair ramp detail has been revised. Sheet 9.*

DR3. Clarify why there appears to be numerous angle points proposed in the granite curb line near space No. 17 on the existing #70/#72 lot.

*The plan depicts the existing vertical granite curb at that location.*

## **Zoning**

The Site is primarily located within the Commercial I (CI) District (#88 and #94) with the existing #70/#72 parcel located in the Downtown Commercial (DC) District. The proposed uses of the Site are multi-family residential (14 new units) and commercial. Multi-family use is permitted by Special Permit from the Planning Board, provided that no more than 1 unit per 1,000 sq. ft. of lot area is proposed. Based upon the proposed number of units and area of the lot, it is anticipated that this threshold will not be exceeded. Some commercial uses are permitted by right within the district, while others require Special Permits or are prohibited. No information has been provided for the specific use of the commercial space.

Z1. Revise the Residential Density calculations on Sheet 3, which should be reflective of any combined lot areas and the correct number of proposed and total dwelling units. The calculation should also reflect the differing densities permitted in the CI and DC districts.

*The Residential Density calculations have been revised and are based on the current lot sizes. Refer to calculations and notes on Sheet 3.*

- Z2. Clarify the intended use of the commercial spaces, if known.

*The commercial spaces use is not known at this time.*

- Z3. Confirm the proposed use of modified #88 East Central St. building will be entirely commercial.

*The 88 East Central Street building will be entirely commercial.*

#### Schedule of Lot, Area, Frontage, Yard and Height Requirements (§185 Attachment 9)

Based upon the information provided on the Zoning Legend the Site's proposed lot and buildings will comply with minimum lot area, depth, width, front, side, and rear yard dimensions, and maximum impervious coverage for structures and structures plus paving. The project will not comply with the maximum stories (3 permitted, 4 proposed) and maximum height (40 feet permitted, <50 feet proposed) permitted by right. Within the Commercial I District, buildings up to 50 feet in height, regardless of stories, are permitted by a Special Permit from the Planning Board. BETA notes the aforementioned parcels must be combined to comply the requirements for continuous frontage, as the parcel associated with #94 East Central Street does not meet subsections A.(1)(a) and (2) of Section §185-10 Nonconforming Lots.

- SCH1. Clarify if the proposed easement (Sheet 2) on Lot 286-33 is still required.

*It is anticipated that the existing easement will be no longer be necessary once the lots are combined.*

- SCH2. Recommend providing a draft ANR plan as part of the proposed development package.

*Proposed Parcels "A" and "B" have been added. Sheet 3. The applicant will have a draft ANR plan completed and filed if necessary.*

- SCH3. Revise the Zoning Table and notes on Sheet 1 to clearly reflect the current proposal. A note indicates that Map 286 Parcels 32 and 34 (#70/#72 and #94 East Central St. properties, respectively) are to be combined; however, it appears that Map 286 Parcel 33 (#88) is also to be included in the combination. Similarly, the note near the top of the Zoning Table indicates it is for the Commercial I district (#88 and #94), while the table includes the area and frontage for the parcel located in the Downtown Commercial District (#70/#72). The height requirements should be relocated to the section of the table applicable to the #88 and #94 lots.

*The note has been removed. Sheet 1.*

*The zoning table has been revised to provide the zoning information for 70-72 East Central Street and the proposed 88 and 94 East Central Street sites after property line adjustments.*

- SCH4. Revise setbacks to be reflective of the combined lots.

*The setbacks have been revised to reflect the three separate lots. Setbacks for # 88 and # 94 East Central Street are provided based on the proposed property line adjustments.*

- SCH5. Provide architectural plans for the new building layouts.

*The applicant will address this request.*

#### Parking, Loading and Driveway Requirements (§185-21)

Access to the Site will be provided through a 24' (minimum) wide paved driveway from a revised curb cut along East Central Street, which will connect to three small parking areas and the existing parking area associated with #70 and #72 East Central Street. The three new parking areas will provide 30 parking spaces and an additional 18 spaces will be provided within five garages in the proposed southerly building (48 total spaces). Minor revisions to the rear of the #70 and #72 East Central Street will result in the loss of one parking space from the Approved Limited Site Plan Modification, dated November 5, 2019. Proposed surface parking spaces are 9' wide by 19' long and two have been designed as accessible (one van), with associated signing and striping.

Section §185-21.B.(2) describes the number of parking spaces required for uses in the Commercial I District. For residential buildings 1.5 spaces must be provided per each dwelling unit and 1 space must be provided for every 500 sq. ft. of commercial space. As 14 dwelling units and 4,085 sq. ft. of commercial space are proposed as part of the new development, a minimum of 30 parking spaces are required. A total of 48 new parking spaces are proposed at the new development. Although one parking space will be lost at the existing #70 and #70 East Central Street site, calculations have been provided that indicate an excess of 15 spaces above the bylaw requirements will be provided.

The development proposes 30 new outdoor parking spaces and will be subject to the Screening requirements of §185-35.B. Vegetative screening (arborvitae) is provided to the south and an existing 4' high stockade fence is proposed to be retained along the eastern property line. Sections were provided in the previous submission to depict the existing fence and proposed plantings in general alignment with anticipated headlight glare. Based upon previous discussions, BETA assumes the Board is satisfied that the existing stockade fence is adequate for screening.

P1. Recommend reducing the spacing (currently 10' o.c.) of the arborvitaes to provide a denser line of screening.

*Arborvitaes spacing to be 10 feet on center. Additional arborvitaes have been added. Refer to BETA Landscape Architect suggested spacing.*

P2. Provide the layout for the proposed 10-space parking garage.

The nine parking spaces have been added to the garage area. Sheet 3.

P3. Confirm through turning movements that a passenger vehicle can adequately maneuver into the 10-space parking garage entrance and a waste collection vehicle can adequately access the dumpster area.

*Parking space 30 was eliminated and the dumpster access area was revised. Trash truck and passenger vehicle route details were added to Sheet 8.*

#### Sidewalks (§185-28)

The project is located within the Commercial I Zoning District and is required to provide concrete sidewalks along the street frontage unless the Board determines that site conditions preclude their usefulness. An existing sidewalk is located along the street frontage and is proposed to remain, except to accommodate the reconstructed driveway. An internal sidewalk is proposed to connect East Central Street to the #88 and #84 buildings.

S11. Recommend providing a striped crosswalk from the sidewalk wheelchair ramp to the 94 East Central Street accessible route.

*A cross walk has been added. Sheet 3.*

S12. Due to the proposed grading on the new sidewalk, handrails or landings may be required to comply with Massachusetts Architectural Access Board Regulations.

*A detail of the proposed entrance sidewalk has been added. Sheet 8.*

#### Curbing (§185-29)

Vertical granite curbing is proposed throughout the project.

#### Site Plan Review (§185-31)

The proposed development is subject to Site Plan Review and must comply with the requirements of this section. Drawing requirements per (§185-31.C(3)) are included in the plan set.

#### Utilities

The proposed development is shown to be serviced by water, sewer, gas and electric utilities. Detailed review of utilities is anticipated to be provided by the DPW.

U1. Consult the DPW and clarify how sewer lines will be connected on-site and in the Town right-of-way (e.g. tees or bends and wyes) and if any cleanouts are required.

*A sewer profile has been provided on sheet 9 which includes manholes at connection points from the proposed 94 building. The proposed sewer service from the proposed 88 building will include one bend*

*and a wye connection at the main. We have contacted the DPW and will address the sewer connection to 88 East Central Street prior to construction.*

## Stormwater Management

The project proposes to direct runoff from most impervious areas into closed drainage systems comprised of roof leaders, catch basins, manholes, stormwater quality units, and subsurface infiltration systems. A portion of the roof, which does not require treatment, will be discharged to the rear of the site. The majority of runoff from new impervious surfaces will be directed to a new subsurface infiltration system and a portion of the runoff will be directed to the existing stormwater systems located on the #70/#72 East Central Street site. Overflows from the new stormwater system will be directed to East Central Street through a direct connection to the Town drainage system.

### GENERAL

SW1. Provide the size/material for the roof leader connections to the subsurface infiltration system.

*Additional labels have been added. Sheet 4.*

SW2. Revise the waiver request on the cover sheet to include the proposed PVC pipe associated with the roof leaders at the rear of the site. BETA notes the Board may require the roof leader to transition to RCP as it crosses the driveway.

*The suggested waiver has been provided. Waiver request 2 sheet 1. The drain pipe material at the rear of the building has been revised to RCP.*

SW3. Include the missing 324 contour between the southerly garages (el. 324.5) and CB95 (el. 323.0).

*The contour has been added. Sheet 4.*

SW4. Provide spot grades at the concrete dumpster pad to show positive drainage toward CB96.

*Spot grades have been added. Sheet 4*

### Massachusetts Stormwater Management Standards:

The project is not located in proximity to wetland resources and will disturb greater than one acre; therefore, the project is subject to the Town of Franklin Stormwater Management Regulations (§300-11). The project must comply with all local, state, and federal requirements, including the Massachusetts Stormwater Management Standards, Town of Franklin's Subdivision of Land Stormwater Management Regulations, as applicable, and the Town of Franklin Best Development Practices Guidebook.

**No untreated stormwater (Standard Number 1):** *No new stormwater conveyances (e.g., outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.*

The project does not propose any new untreated stormwater discharges to wetlands – **complies with standard.**

**Post-development peak discharge rates (Standard Number 2):** *Stormwater management systems must be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.*

The project proposes an increase in impervious area and will use a subsurface infiltration system to mitigate increases in post-development peak discharge rates and total runoff volumes.

SW5. Although the provided calculations demonstrate a reduction in peak runoff rates and volumes directed to the rear of the site, the proposed roof discharge will create a concentrated flow toward the 79 Cross Street property, which does not exist today. Recommend providing separate discharges for each roof leader to spread the flow across the rear property line to mimic existing conditions.

*The proposed roof drain discharge pipe is for approximately 2,924 sq. ft. of the roof area. The remaining rear roof will discharge to three separate roof leader locations. The front of the roof will be directed to the underground pond.*

**Recharge to groundwater (Standard Number 3):** *Loss of annual recharge to groundwater should be minimized through the use of infiltration measures to maximum extent practicable.*

NRCS soil maps indicate the presence of Hollis-Rock outcrop-Charlton complex with a Hydrologic Soil Group (HSG) rating of D (very low infiltration potential) or Urban Land with no listed HSG rating. Test pit logs



indicate the presence of sandy loam in the vicinity of the proposed subsurface infiltration system and saturated hydraulic conductivity testing at these locates indicates exfiltration rates between 0.648 in/hr and 0.786 in/hr. The proponent proposes a subsurface infiltration system to provide groundwater recharge and has used an exfiltration rate of 0.324 in/hr (50% of the lowest measured value). BETA notes that an agent of the Town will confirm the subsurface soil conditions during construction. The infiltration system has been designed to provide a recharge volume in excess of that required and will drain within 72 hrs.

**80% TSS Removal (Standard Number 4):** *For new development, stormwater management systems must be designed to remove 80% of the annual load of Total Suspended Solids.*

The project proposes to direct runoff from most impervious areas into closed drainage systems comprised of roof leaders, catch basins, manholes, stormwater quality units, and subsurface infiltration systems. A portion of the roof, which does not require treatment, will be discharged to the rear of the site. The majority of runoff from new impervious surfaces will be directed to a new subsurface infiltration system and a portion of the runoff will be directed to the existing stormwater systems located on the #70/#72 East Central Street site. A long-term pollution prevention plan was included as part of the Drainage Analysis.

SW6. Provide TSS removal calculation for subwatershed 93 area.

*A copy of the TSS removal worksheet for 70 East Central Street dated 2/28/2018 is being provided.*

**Higher Potential Pollutant Loads (Standard Number 5):** *Stormwater discharges from Land Uses with Higher Potential Pollutant Loads require the use of specific stormwater management BMPs.*

The project does not propose any Land Uses with Higher Potential Pollutant Loads – **not applicable.**

**Critical Areas (Standard Number 6):** *Stormwater discharges to critical areas must utilize certain stormwater management BMPs approved for critical areas.*

The project does not propose any discharges to a critical area – **not applicable.**

**Redevelopment (Standard Number 7):** *Redevelopment of previously developed sites must meet the Stormwater Management Standards to the maximum extent practicable.*

The project is being designed as a new development – **not applicable.**

**Construction Period Erosion and Sediment Controls (Standard Number 8):** *Erosion and sediment controls must be implemented to prevent impacts during construction or land disturbance activities.*

The project as currently depicted will disturb greater than one acre of land; therefore, a Notice of Intent with EPA and a Stormwater Pollution Prevention Plan (SWPPP) is required. The project proposes the use of erosion control barrier (compost sock) and a stabilized construction entrance. An Erosion Control Plan with notes, construction sequence, and details are included in the Plan Set.

SW14. If permitted by the Town of Franklin, provide catch basin inlet protection for the catch basin located immediately east of the site entrance on East Central Street. BETA defers to the preference of the DPW on this issue.

*A note has been added. Sheet 6.*

SW15. Revise location of proposed erosion barrier along the #70/#72 property line to extend across the proposed driveway connection and to the bottom of slope on the regraded hill.

*The erosion control barrier has been extended. Sheet 6.*

SW16. Provide erosion control barrier along the front of the #88 East Central Street property, which will have soil disturbance associated with the building addition and retaining wall.

*The erosion control barrier has been added. Sheet 6.*

**Operations/maintenance plan (Standard Number 9):** *A Long-Term Operation and Maintenance Plan shall be developed and implemented to ensure that stormwater management systems function as designed.*

A Long-Term Operation and Maintenance (O&M) Plan has been provided as part of the Erosion Control Plan and within the Drainage Analysis.

**Illicit Discharges (Standard Number 10):** *All illicit discharges to the stormwater management systems are prohibited.*

An Illicit Discharge Compliance Statement was included in the Drainage Analysis.

**Town of Franklin Planning Board**

PB 1. Fire gate at connection of 70-72 and 88-94 parking areas.

*A chain connected to Two bollards with do not enter signs attached to the chain has been added to the plans sheets 3.*

PB 2. AC Unit noise levels.

*Additional arborvitae's have been added. Sheet 5.*

PB 3. Prior to Endorsement draft or final ANR plan.

*The applicant is proposing to crate two parcels Labeled as Parcel A and Parcel B on the site plans to create conforming lots for both 88 and 94 East Central Street. An ANR plan will be presented to the Planning Board.*

PB 4. Add Arborvitaes at the right rear building corner 94 ECS.

*Additional arborvitae's have been added. Sheet 5.*

PB 5. Separate dumpster for 88 ECS.

*Due to the applicant not having a tenant secured for the commercial spaces they have not proposed a separate dumpster area for 88 East Central Street. Areas have been identified such as expanding the current dumpster area as well as locating a dumpster area where excess parking spaces have been provided. The applicant can discuss this matter with the Planning Board at the time a tenant is secured.*

PB 6. Show AC units for 88 building.

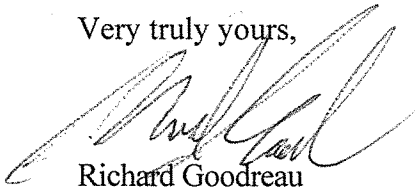
*Two AC units have been added for the 88 East Central Street building. Sheets 3 through 6.*

PB 7. Label visitor parking spaces.

*Visitor parking signs have been added to parking spots 24 and 25.*

We are looking forward to meeting with the Planning Board to discuss this project further.

Very truly yours,



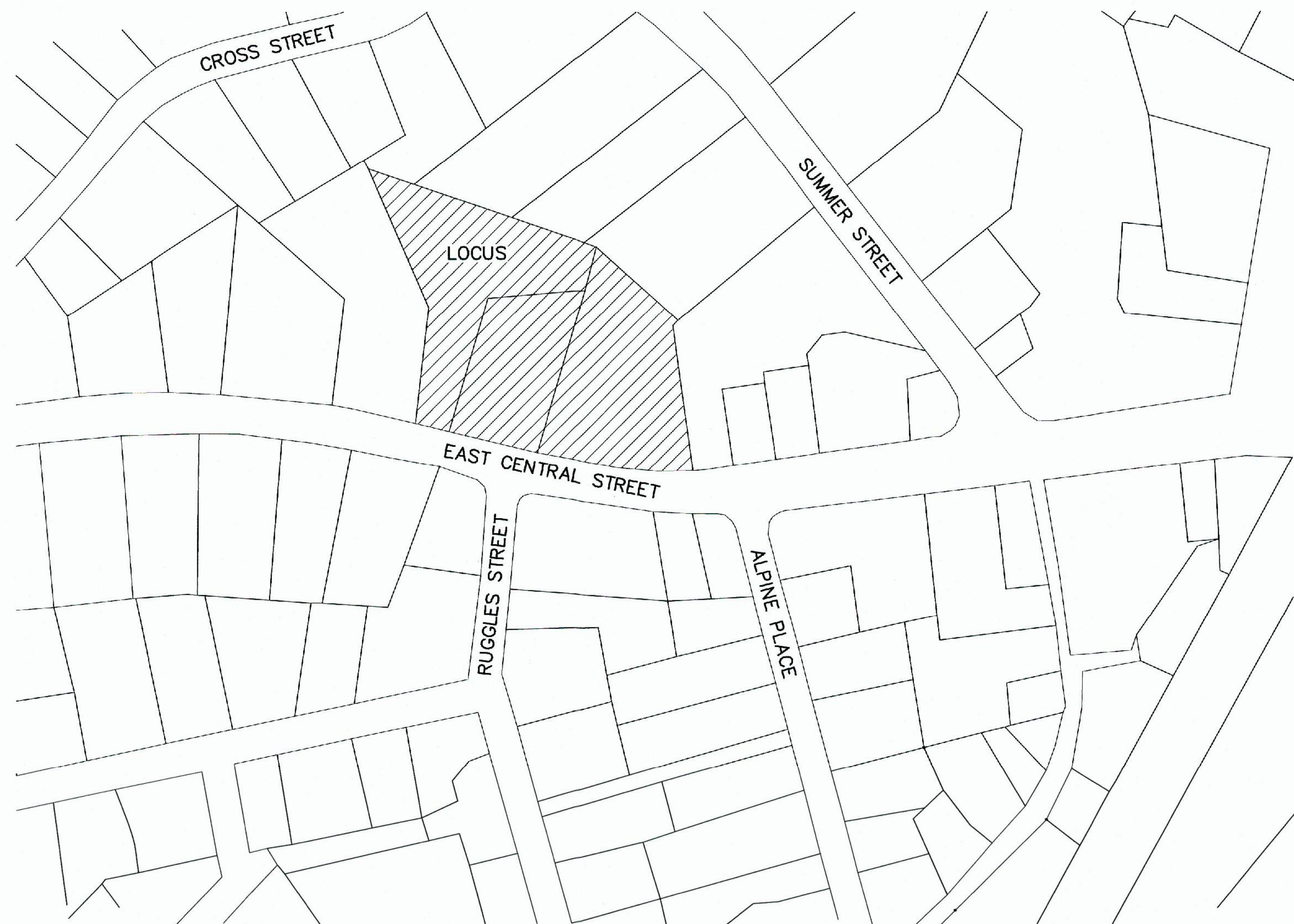
Richard Goodreau  
Project Manager



# SITE PLAN MODIFICATION

## 70, 72, 88 AND 94 EAST CENTRAL STREET

PLAN 101 OF 198



LOCUS MAP  
SCALE: 1" = 100'

70 AND 72 EAST CENTRAL STREET PROPERTY ARE LOCATED WITHIN A DOWNTOWN COMMERCIAL ZONE. 88 AND 94 EAST CENTRAL STREET PROPERTY ARE LOCATED WITHIN A COMMERCIAL I ZONE. ZONING TABLE VALUES FOR #94 AND # 88 EAST CENTRAL STREET ARE BASED ON PARCELS "A" AND "B" BEING PART OF #94 EAST CENTRAL STREET AND ARE NOT REFLECTED AS PART OF # 88 EAST CENTRAL STREET.

#94 EAST CENTRAL STREET - COMMERCIAL I ZONING DISTRICT			
REQUIREMENTS:	EXISTING	PROPOSED	
AREA:	5,000 S.F.	33,725± S.F.	37,203± S.F.
FRONTAGE:	50'	49.02'	50.00'
DEPTH:	50'	266'	268'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	# 94 4 STORIES < 50' SEE ARCHITECTURAL PLANS
WIDTH:	45'	>45'	>45'
SETBACKS			
FRONT:	20' *1	160.3'	167.5'
SIDE:	10' *14	24.6'	10.5'
REAR:	15'	35.5'	22.0'
COVERAGE			
STRUCTURES:	80%	5%	25.6%
STRUC. & PAVING:	90%	27%	67.5%

#88 EAST CENTRAL STREET - COMMERCIAL I ZONING DISTRICT			
REQUIREMENTS:	EXISTING	PROPOSED	
AREA:	5,000 S.F.	20,889± S.F.	17,411± S.F.
FRONTAGE:	50'	110.41'	109.43'
DEPTH:	50'	212'	212'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	# 88 2 STORIES < 50' SEE ARCHITECTURAL PLANS
WIDTH:	45'	>45'	>45'
SETBACKS			
FRONT:	20' *1	51.8'	50.6'
SIDE:	10' *14	15.0'	10.5'
REAR:	15'	25.9'	48.1'
COVERAGE			
STRUCTURES:	80%	6.5%	19.4%
STRUC. & PAVING:	90%	17.1%	58.4%

#70-72 EAST CENTRAL STREET - DOWNTOWN COMMERCIAL ZONING DISTRICT			
REQUIREMENTS:	EXISTING	PROPOSED	
DOWNTOWN COM.			
AREA:	5,000 S.F.	32,810 S.F.	32,810± S.F.
FRONTAGE:	50'	186.07'	186.07'
DEPTH:	50'	266'	266'
HEIGHT:	3 STORIES - 40' *9	2 STORIES	4 STORIES - 49.5'
WIDTH:	45'	>45'	>45'
COVERAGE -			
STRUCTURES:	80%	7.6%	26%
STRUC. & PAVING:	90%	19.2%	65.5%
SETBACKS-			
FRONT:	15' *10	20.7'	15.7'
SIDE:	0' *2	25.2'	15.0' & 5'
REAR:	15'	105'	23.3' & 17.5'

THE ABOVE INFORMATION WAS TAKEN FROM THE APPROVED SITE PLAN FOR 70 - 72 EAST CENTRAL STREET.

- \*1 - BUT NO NEW STRUCTURE SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN EXISTED ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.
- \*14 - THE 10-FOOT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF THE LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT, A 20-FOOT SETBACK IS REQUIRED ON THE ABUTTING SIDE.
- \*15 - BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

REQUIREMENTS FOR 94 EAST CENTRAL STREET ZONE COMMERCIAL I EXISTING AND PROPOSED LOT AREA, FRONTAGE, DEPTH, WIDTH AND COVERAGE BASED ON THE LOTS BEING COMBINED. BUILDING HEIGHT, AND SETBACKS BASED ON EXISTING AND PROPOSED BUILDINGS LOCATED ON 88 AND 94 EAST CENTRAL STREET.

PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT. THE PROPERTY IS LOCATED IN A ZONE C BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

94 EAST CENTRAL STREET:  
EXISTING BUILDING USE RESIDENTIAL.  
PROPOSED BUILDING USE MIXED WITH RESIDENTIAL.

88 EAST CENTRAL STREET  
EXISTING BUILDING USE RESIDENTIAL.  
PROPOSED BUILDING USE COMMERCIAL.

70-72 EAST CENTRAL STREET  
CURRENT BUILDING USE MIXED WITH RESIDENTIAL.

**DRAWING INDEX:**

1. COVER SHEET
  2. EXISTING CONDITIONS PLAN
  3. SITE LAYOUT PLAN
  4. SITE GRADING AND UTILITY PLAN
  5. SITE PLANTING PLAN
  6. EROSION CONTROL PLAN
  7. CONSTRUCTION DETAILS
  8. CONSTRUCTION DETAILS
  9. CONSTRUCTION DETAILS
  - SITE LIGHTING-LIGHTING PLAN, PHOTOMETRICS AND SCHEDULES
- BY SK & ASSOCIATES

OWNER:  
MAP 286 PARCELS 32 AND 34  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33  
JOHN AND CARMEL SHERRY  
88 EAST CENTRAL STREET

APPLICANT:  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

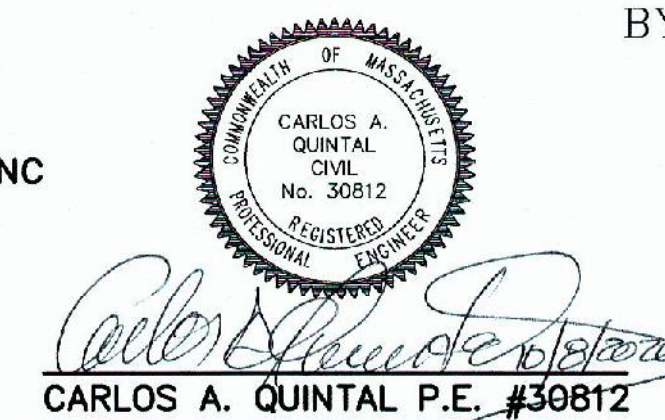
**SITE PLAN MODIFICATION  
COVER SHEET**

70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 100'

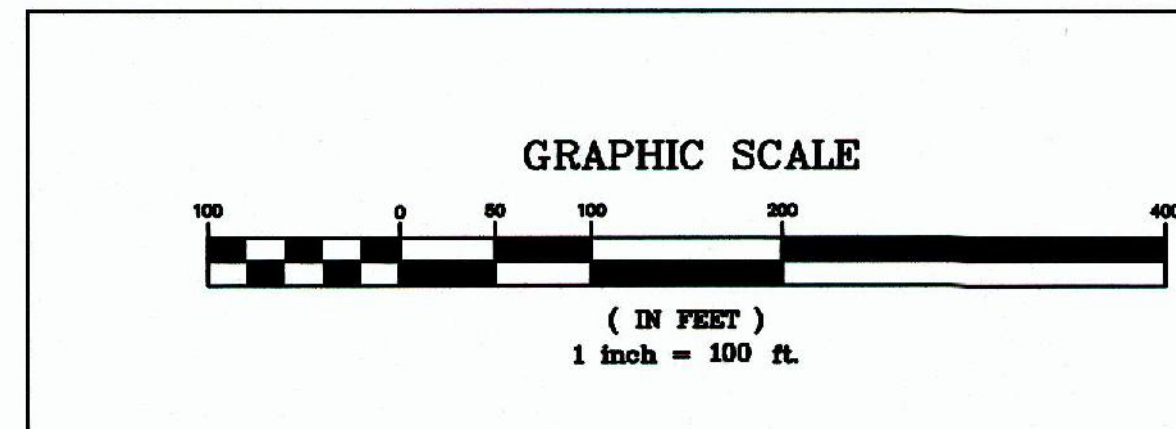
- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

- WAIVER REQUESTS:**
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
  2. TO ALLOW THE USE OF HPDE PIPE FROM CATCH BASIN 92 TO THE UNDERGROUND POND, FROM THE UNDERGROUND POND TO DRAIN MANHOLE 93, THE ROOF LEADER COLLECTION SYSTEM AND FROM ROOF LEADER CONNECTION TO THE UNDERGROUND POND.
  3. TO ALLOW THE SITE LIGHTING TO EXTEND PAST THE PROPERTY LINE.

- REFERENCES:**
- ASSESSORS MAP 286 PARCEL 32
  - DEED BOOK 36860 PAGE 516
  - DEED BOOK 35983 PAGE 116
  - DEED BOOK 24648 PAGE 492
  - PLAN 108 OF 1908
  - PLAN 576 OF 1900
  - OWNERS PLAN OF LAND BY GUERRIERE AND HALNON, INC DATED OCTOBER 22, 2018
  - PLAN 3334 OF 1913
  - PLAN 853 OF 1928



SITE PLAN APPROVAL REQUIRED FRANKLIN PLANNING BOARD	
DATE	



NO.	DATE	DESCRIPTION	BY
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

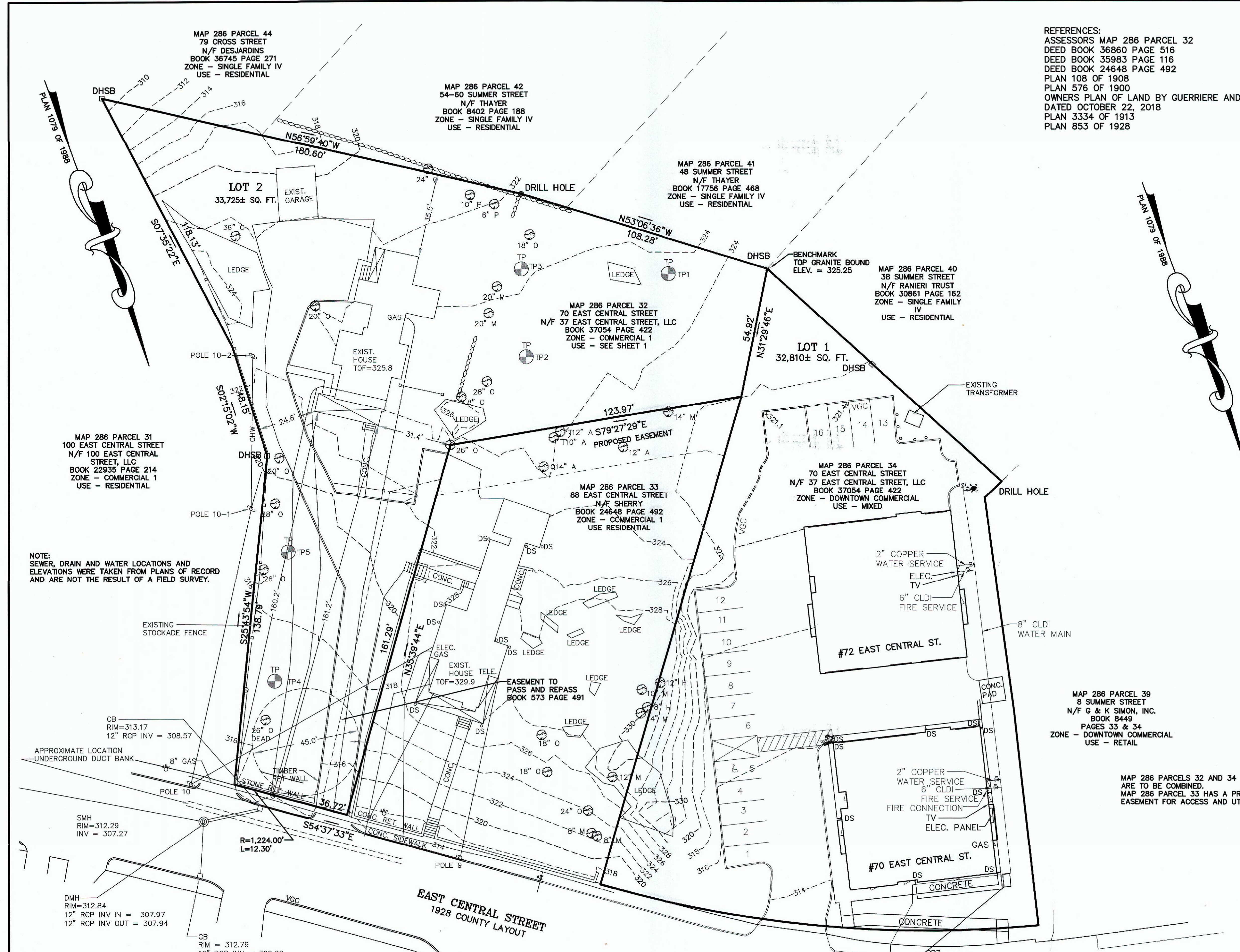
DATE	FIELD BY:	INT.
6/19	BL	BL
BK#	FIELD BOOK	PG#
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**

850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-8580 FAX 508-384-8586

DATE	MAR. 4, 2020
SCALE	1" = 100'
PROJECT	UC1334
SHEET	1 of 9





REFERENCES:  
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 PLAN 576 OF 1900  
 OWNERS PLAN OF LAND BY GUERRIERE AND HALNON, INC  
 DATED OCTOBER 22, 2018  
 PLAN 3334 OF 1913  
 PLAN 853 OF 1928

NOTES:  
 1. ELEVATIONS DATUM NGVD 1929.  
 2. EXISTING CONDITIONS SURVEY WAS COMPLETED BETWEEN JUNE 12, 2019 AND JANUARY 6, 2020.  
 3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

ANDREW C. MURPHY P.L.S. #35042  
 3/5/2020

- LEGEND:
- DHSB DRILL HOLE STONE BOUND
  - 297-- EXISTING COUNTOUR
  - 297- PROPOSED COUNTOUR
  - x274.3 SPOT GRADE - PROPOSED
  - x274.3EX SPOT GRADE - EXISTING
  - ⊙ 48M EXIST. TREE - DIAMETER - SPECIES
  - ⊙ UP4-1 UTILITY POLE
  - OHW — OVERHEAD WIRES
  - ⊕ GAS GATE
  - ⊕ WATER CURB STOP
  - ⊕ WATER GATE
  - ⊕ FIRE HYDRANT
  - ⊕ DRAIN MANHOLE
  - CATCH BASIN
  - ⊕ SEWER MANHOLE
  - D DUMPSTER
  - VCC VERTICAL CONCRETE CURBING
  - VGC VERTICAL GRANITE CURBING
  - ⊕ CCB CAPE COD BERM
  - ⊕ HANDICAP PARKING SPACE
  - ⊕ BUILDING MOUNTED LIGHT
  - POLE MOUNTED LIGHT

NOTE:  
 SEWER, DRAIN AND WATER LOCATIONS AND ELEVATIONS WERE TAKEN FROM PLANS OF RECORD AND ARE NOT THE RESULT OF A FIELD SURVEY.

OWNER:  
 MAP 286 PARCELS 32 AND 34  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

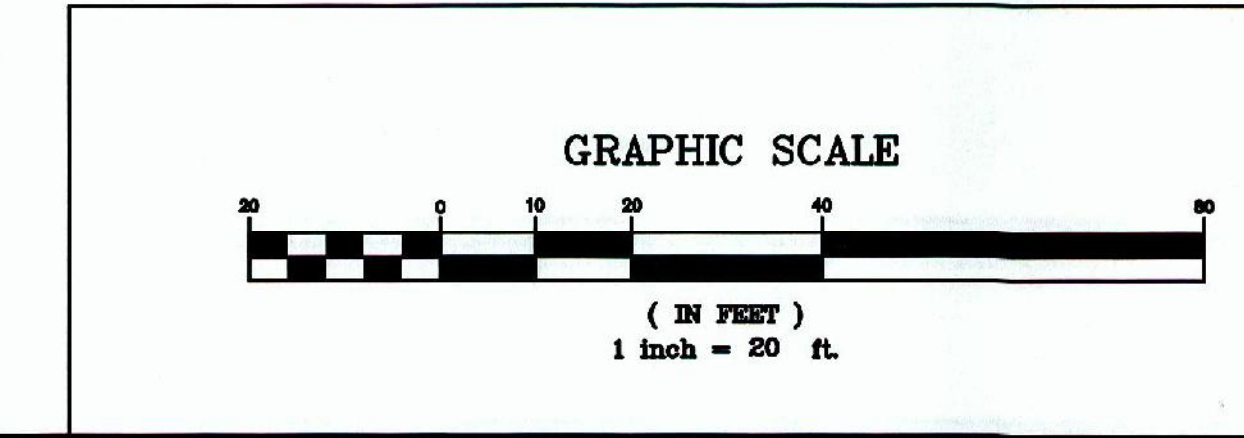
OWNER MAP 286 PARCEL 33  
 JOHN AND CARMEL SHERRY  
 88 EAST CENTRAL STREET

APPLICANT:  
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SITE PLAN MODIFICATION  
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 FRANKLIN, MASSACHUSETTS  
 MARCH 4, 2020  
 SCALE: 1" = 20'

**SITE PLAN APPROVAL REQUIRED**  
**FRANKLIN PLANNING BOARD**

DATE



NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
6/19		BL
BK#	FIELD BOOK	PG#
3/20		RRG
DATE	DESIGNED BY:	
3/20		RRG
DATE	DRAWN BY:	
3/20		COMP
DATE	CHECKED BY:	
3/20		CAQ

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-8560 FAX 508-384-8566

DATE
MAR. 4, 2020
SCALE
1" = 20'
PROJECT
UC1334
SHEET
2 of 9



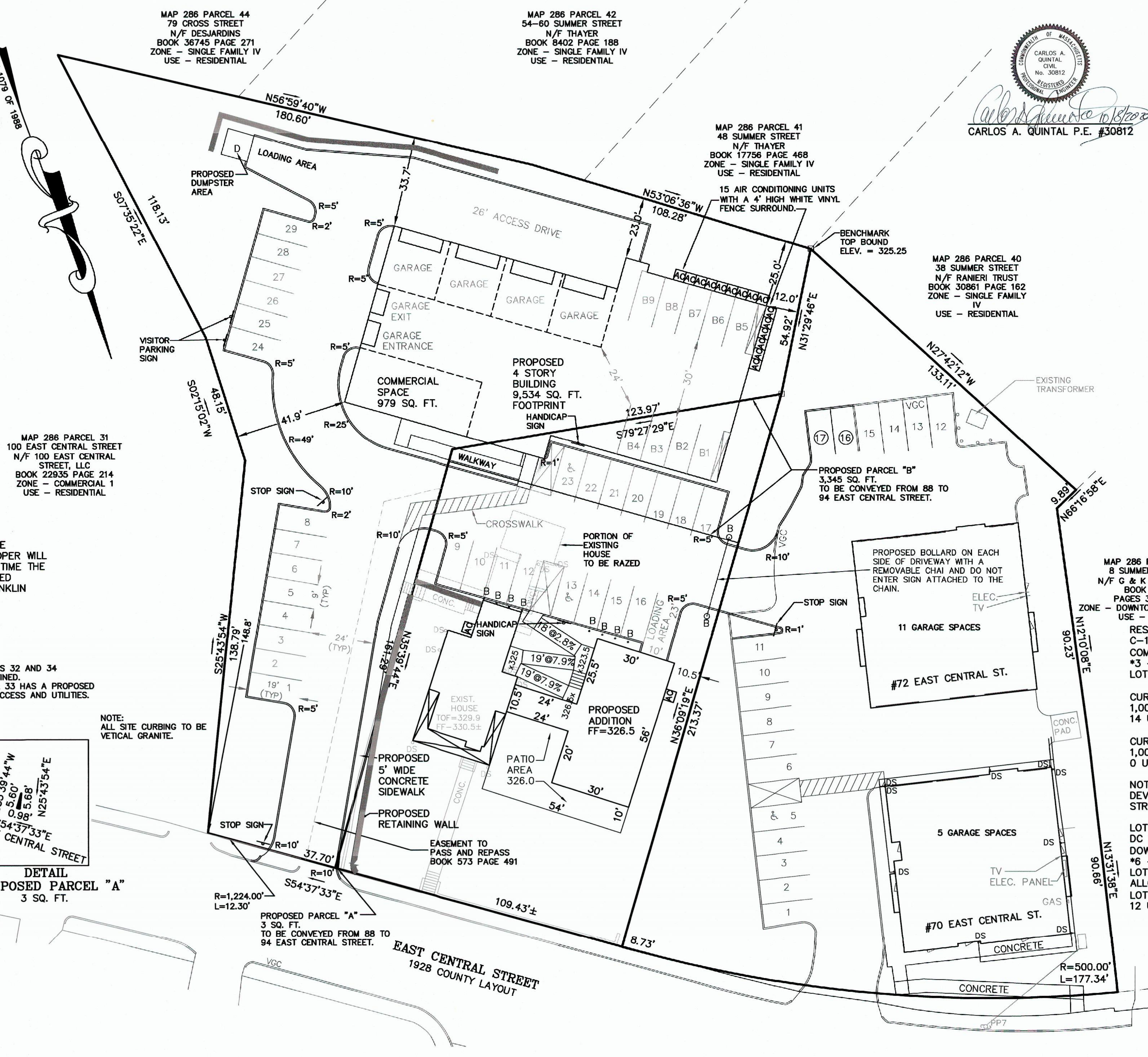
NOTE:  
THE SITE USES ARE NOT ANTICIPATED TO REQUIRE A LOADING AREA HOWEVER THE FOLLOWING PROVISIONS HAVE BEEN LISTED.

A SU-30 TRUCK (LARGEST DELIVERY VEHICLE TO ACCESS THE SITE) WILL BE ABLE TO ACCESS THE SITE AND WOULD BE ABLE TO TRAVEL THROUGH THE 70 EAST CENTRAL STREET SITE DRIVEWAY. THE TRUCK COULD OFF LOAD AT THE DRIVEWAY CONNECTING THE PARKING AREAS.

OWNER:  
MAP 286 PARCELS 32 AND 34  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33  
JOHN AND CARMEL SHERRY  
88 EAST CENTRAL STREET

APPLICANT:  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS



PARKING CALCULATIONS:  
#88 AND #94 EAST CENTRAL STREET  
COMMERCIAL 1 REQUIREMENTS (SECTIONS 185-21B.(2)(a)  
#94 EAST CENTRAL STREET  
1.5 SPACES PER RESIDENTIAL DWELLING UNIT.  
14 RESIDENTIAL UNITS PROPOSED REQUIRES 21 SPACES  
17 GARAGE SPACES ARE PROPOSED FOR THE RESIDENTIAL UNITS  
COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500 SQ. FT. = 979 SQ. FT. / 500 = 2 SPACES REQUIRED  
19 TOTAL SPACES REQUIRED.

#88 EAST CENTRAL STREET  
NO RESIDENTIAL DWELLING UNITS PROPOSED  
COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500 SQ. FT. = 3,106 SQ. FT. / 500 = 7 SPACES REQUIRED  
7 TOTAL SPACES REQUIRED.

FOR #88 AND #94 EAST CENTRAL TREET A TOTAL OF 26 PARKING SPACES ARE REQUIRED.

46 TOTAL PARKING SPACES PROPOSED INCLUDING 2 HANDICAP SPACES.

PARKING CALCULATIONS 70 AND 72 EAST CENTRAL STREET  
SITE PLAN APPROVAL:  
DOWNTOWN COMMERCIAL REQUIREMENTS (SECTIONS 185-21(3)(a) & (b)  
1.5 SPACES PER RESIDENTIAL DWELLING UNIT.  
12 RESIDENTIAL UNITS PROPOSED REQUIRES 18 SPACES  
20 GARAGE SPACES ARE PROPOSED FOR THE RESIDENTIAL UNITS.  
14 SPACES PROPOSED INCLUDING 1 HANDICAP SPACE.  
TOTAL OF 34 SPACES ORIGINALLY PROPOSED

REVISIONS PROPOSED FOR 70-72 EAST CENTRAL STREET PARKING WITH THE SITE PLAN FOR 70, 72, 88 AND 94 EAST CENTRAL STREET  
ELIMINATE 4 GARAGE PARKING SPACES  
ELIMINATED FORMER SPACE 12  
ADDED 2 SPACES TO PARKING AREA  
= 16 GARAGE SPACES AND 17 OUTDOOR SPACES  
33 SPACES PROVIDED WHERE 18 SPACES ARE REQUIRED  
AS REVISED 70 & 72 EAST CENTRAL STREET PARKING AREA HAS 15 SPACES ABOVE THE ZONING BYLAW PARKING REQUIREMENTS.

MAP 286 PARCEL 39  
8 SUMMER STREET  
N/F C & K SIMON, INC.  
BOOK 8449  
PAGES 33 & 34  
ZONE - DOWNTOWN COMMERCIAL  
USE - RETAIL

RESIDENTIAL DENSITY:  
C-1 DISTRICT: 88 AND 94 EAST CENTRAL STREET  
COMMERCIAL 1 REQUIREMENTS (185 ATTACHMENT 7 - 6.1\*3)  
\*3 - NO MORE THAN ONE DWELLING UNIT PER 1,000 SQUARE FEET OF LOT AREA MAY BE PERMITTED.

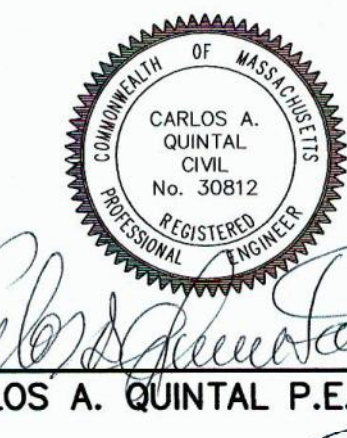
CURRENT LOT AREA 94 EAST CENTRAL STREET - 33,725± SQ. FT. / 1,000 = 33 UNITS PERMITTABLE  
14 UNITS PROPOSED.

CURRENT LOT AREA 88 EAST CENTRAL STREET - 20,889± SQ. FT. / 1,000 = 20 UNITS PERMITTABLE  
0 UNITS PROPOSED.

NOTE: UPON COMPLETION OF AN APPROVAL NOT REQUIRED PLAN DEVIDING 88 AND 94 EAST CENTRAL STREET THE 94 EAST CENTRAL STREET LOT SHALL CONTAIN GREATER THAN 14,000 SQ. FT. OF AREA.

LOT AREA FOR 94 EAST CENTRAL STREET TO BE DC DISTRICT: 70 AND 72 EAST CENTRAL STREET  
DOWNTOWN COMMERCIAL REQUIREMENTS (185 ATTACHMENT 7 - 6.1\*6)  
\*6 - NO MORE THAN ONE DWELLING UNIT PER 2,000 SQUARE FEET OF LOT AREA MAY BE PERMITTED; ADDITIONAL DWELLING UNITS MAY BE ALLOWED BY SPECIAL PERMIT FROM THE PLANNING BOARD  
LOT AREA - 32,810± SQ. FT. / 1,000 = 32 UNITS PERMITTABLE  
12 UNITS PROPOSED.

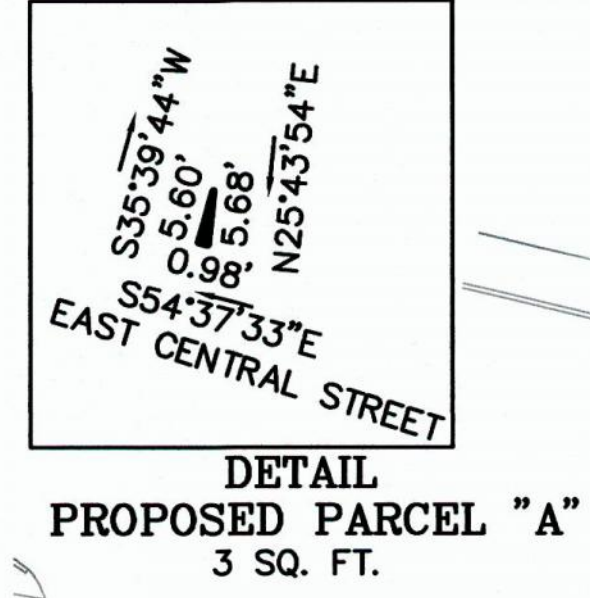
SITE PLAN MODIFICATION  
SITE LAYOUT PLAN  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 20'



NOTES:  
- NO SITE SIGNS ARE PROPOSED AT THIS TIME. ONCE TENANTS ARE SECURED THE TENANT AND OR DEVELOPER WILL SUBMIT AND OBTAIN APPROVAL FOR SIGNS. AT THIS TIME THE DEVELOPER IS PLANNING TO UTILIZE BUILDING MOUNTED SIGNAGE THAT WILL COMPLY WITH THE TOWN OF FRANKLIN REQUIREMENTS.

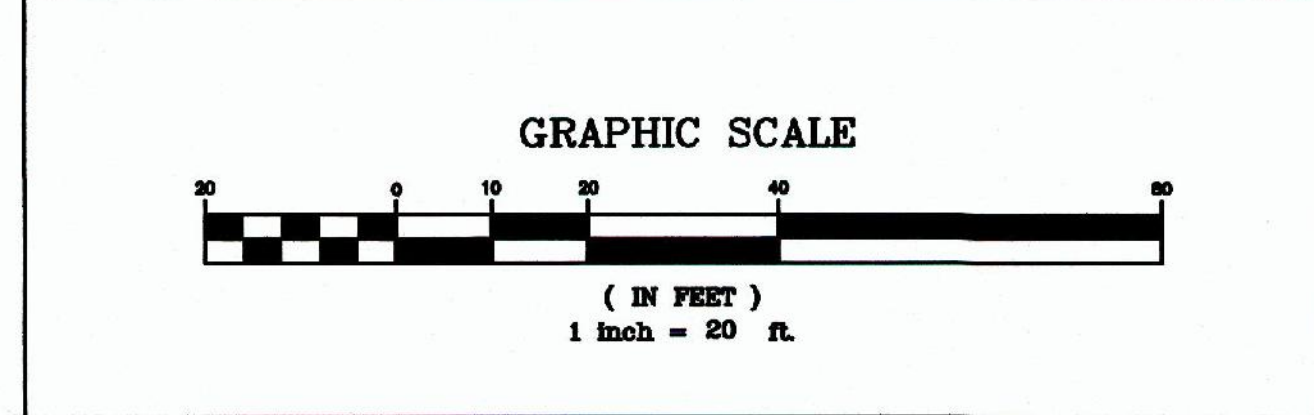
MAP 286 PARCELS 32 AND 34 ARE TO BE COMBINED.  
MAP 286 PARCEL 33 HAS A PROPOSED EASEMENT FOR ACCESS AND UTILITIES.

- LEGEND:
- DHSB DRILL HOLE STONE BOUND
  - 297- EXISTING COUNTOUR
  - 297- PROPOSED COUNTOUR
  - x274.3 SPOT GRADE - PROPOSED
  - x274.3EX SPOT GRADE - EXISTING
  - ⊕ 48M EXIST. TREE - DIAMETER - SPECIES
  - UP4-1 UTILITY POLE
  - OHW OVERHEAD WIRES
  - ⊕ GAS GATE
  - ⊕ WATER CURB STOP
  - ⊕ WATER GATE
  - ⊕ FIRE HYDRANT
  - ⊕ DRAIN MANHOLE
  - ⊕ CATCH BASIN
  - ⊕ SEWER MANHOLE
  - D DUMPSTER
  - VCC VERTICAL CONCRETE CURBING
  - VGC VERTICAL GRANITE CURBING
  - ⊕ HANDICAP PARKING SPACE
  - ⊕ BUILDING MOUNTED LIGHT
  - POLE MOUNTED LIGHT



NOTE: ALL SITE CURBING TO BE VETICAL GRANITE.

SITE PLAN APPROVAL REQUIRED	
FRANKLIN PLANNING BOARD	
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508-384-8560 FAX 508-384-8568

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SHEET	3 of 9



**LEGEND:**

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- ⊗ BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT

MARCH 13, 2019  
 PERFORMED BY CARLOS A. QUINTAL, P.E., SOIL EVALUATOR

TP 1 ELEV. = 324.24 - ABANDONED

TP 2 ELEV. = 324.75  
 0 - 8" A 10YR 3/3 SANDY LOAM  
 8" - 24" B 10YR 6/6 SANDY LOAM  
 24" - 60" C 2.5Y 5/6 SANDY LOAM

TP 3 ELEV. = 323.85  
 0 - 8" A 10YR 3/3 SANDY LOAM  
 8" - 24" B 10YR 6/6 SANDY LOAM  
 24" - 64" C 2.5Y 5/6 SANDY LOAM

TP 4 ELEV. = 317.52  
 0 - 12" A 10YR 3/3 SANDY LOAM  
 12" - 36" B 10YR 6/6 SANDY LOAM  
 36" - 90" C 2.5Y 4/3 GRAVELLY SANDY LOAM  
 NO GROUNDWATER  
 NO MOTILES AT 90" ELEV. = 310.02

TP 5 ELEV. = 318.53  
 0 - 18" A 10YR 3/3 SANDY LOAM  
 18" - 42" B 10YR 6/6 SANDY LOAM  
 42" - 109" C 2.5Y 5/6 SANDY LOAM  
 GROUNDWATER AT 100" ELEV. = 310.20  
 NO MOTILES OBSERVED

TP 6 ELEV. = 318.03  
 0 - 10" A 10YR 3/3 SANDY LOAM  
 10" - 42" B 10YR 6/6 SANDY LOAM  
 42" - 97" C 2.5Y 5/6 SANDY LOAM  
 NO GROUNDWATER OBSERVED  
 NO MOTILES OBSERVED AT 97" ELEV. = 309.94

ALL TEST PITS WERE DUG TO REFUSAL

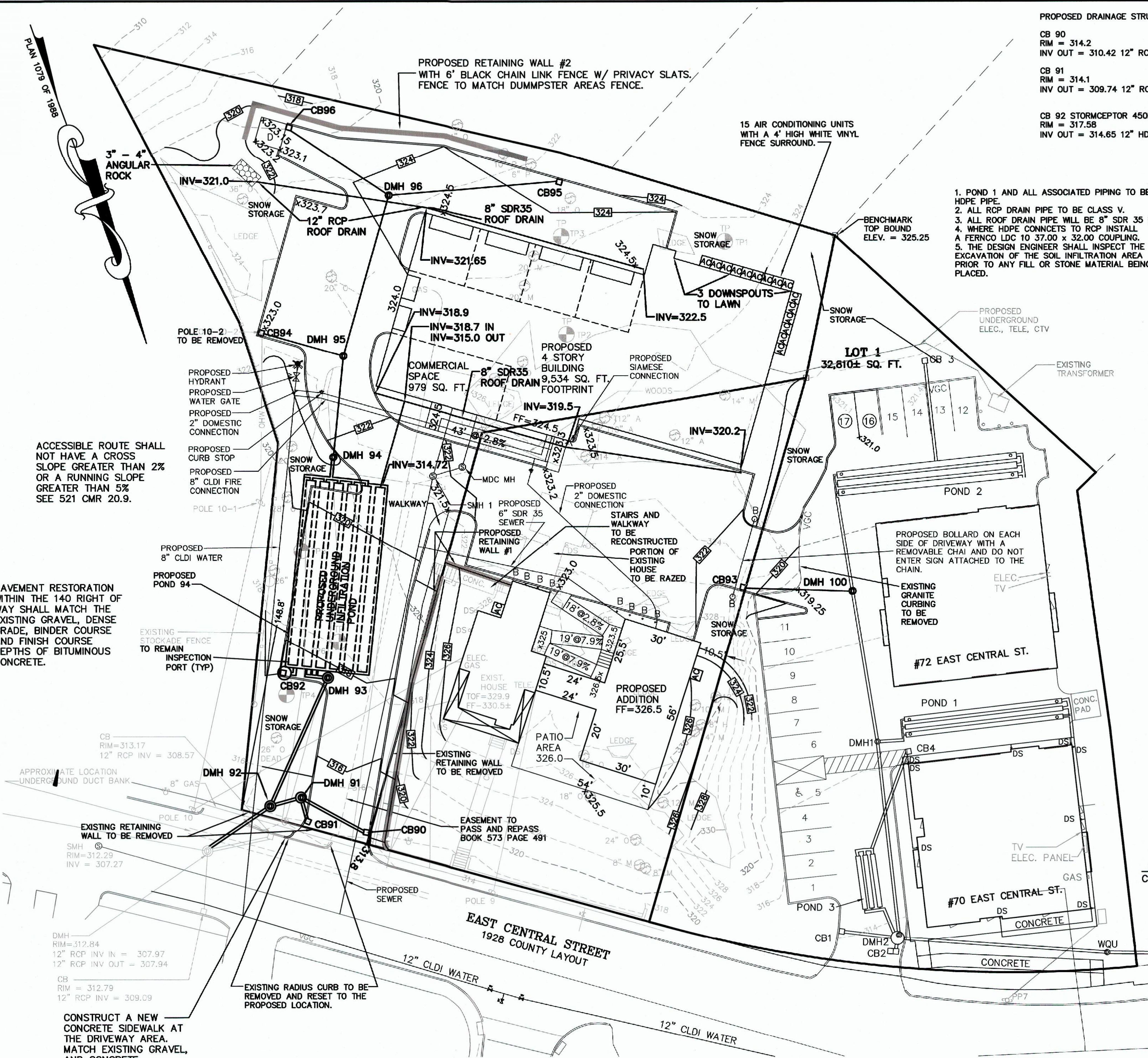
PAVEMENT RESTORATION WITHIN THE 140 RIGHT OF WAY SHALL MATCH THE EXISTING GRAVEL, DENSE GRADE, BINDER COURSE AND FINISH COURSE DEPTHS OF BITUMINOUS CONCRETE.

ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% OR A RUNNING SLOPE GREATER THAN 5% SEE 521 CMR 20.9.

SIGHT DISTANCE BASED ON POSTED SPEED OF 25 MPH AT THE INTERSECTION OF EAST CENTRAL STREET AND ALPINE PLACE.  
 PER MASDOT STOPPING SIGHT DISTANCE FOR 25 MPH AT 0% GRADE - 155 FEET.  
 SIGHT DISTANCE WAS MEASURED 14.5 FEET FROM EDGE LINE.  
 EXITING THE SITE:  
 LOOKING WEST 200 + FEET.  
 LOOKING EAST 300 + FEET.

REFERENCE MASS HIGHWAY EXHIBIT 3.8  
 200 FOOT SIGHT DISTANCE AT ZERO GRADE HAD A DESIGN SPEED OF 30 MPH.

CONSTRUCT A NEW CONCRETE SIDEWALK AT THE DRIVEWAY AREA. MATCH EXISTING GRAVEL AND CONCRETE THICKNESS.



**PROPOSED DRAINAGE STRUCTURE SCHEDULE:**

CB 90 RIM = 314.2 INV OUT = 310.42 12" RCP	CB 93 RIM = 320.4 INV OUT = 316.4 12" RCP	DMH 91 - CDS WQU RIM = 315.0 INV IN = 310.18 12" RCP - CB 90 INV IN = 309.68 12" RCP - CB 91 INV OUT = 309.58 12" RCP
CB 91 RIM = 314.1 INV OUT = 309.74 12" RCP	CB 94 RIM = 323.0 INV OUT = 318.02 12" RCP	DMH 92 RIM 314.5 INV IN = 309.5 12" RCP - DMH 91 INV IN = 310.5 12" RCP - DMH 93 INV OUT = 308.5 12" RCP
CB 92 STORMCEPTOR 450I RIM = 317.58 INV OUT = 314.65 12" HDPE	CB 95 RIM = 323.0 INV OUT = 319.00 12" RCP	DMH 93 RIM=317.9 INV IN =315.0 12" HDPE INV OUT = 312.46 12" RCP
	CB 96 RIM = 323.0 INV OUT = 319.00 12" RCP	DMH 94 WQU RIM = 322.1 INV IN = 314.82 12" RCP INV OUT = 314.82 12" RCP
		DMH 95 RIM = 323.5 INV IN = 316.82 12" RCP INV OUT = 316.52 12" RCP
		DMH 96 RIM = 324.2 INV IN = 318.39 12" RCP INV OUT = 318.29 12" RCP
		DMH 100 - DOGHOUSE MANHOLE RIM = 319.0 INV IN = 315.73 12" RCP INV OUT = 315.63 12" RCP

- POND 1 AND ALL ASSOCIATED PIPING TO BE HDPE PIPE
- ALL RCP DRAIN PIPE TO BE CLASS V.
- ALL ROOF DRAIN PIPE WILL BE 8" SDR 35 PVC.
- WHERE HDPE CONNECTS TO RCP INSTALL A FERRO LDC 10 37.00 x 32.00 COUPLING.
- THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL OR STONE MATERIAL BEING PLACED.

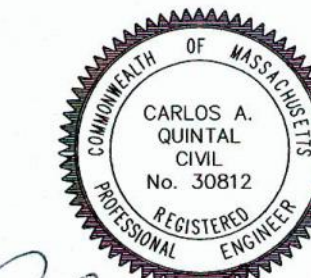
**UTILITY NOTES:**

- DOMESTIC WATER SUPPLY SHALL BE BASED ON PLUMBING ENGINEERS CALCULATIONS.
- FIRE SUPPLY LINE TO BE CONNECTED TO EXISTING WATER MAIN IN STREET. LOCATION SHOWN APPROXIMATELY. FINAL SIZING AND LOCATION SHALL BE DETERMINED BY THE PLUMBING ENGINEER.
- ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES. SERVICES ARE PROPOSED TO BE CONNECTED TO THE 70-72 EAST CENTRAL STREET SITE AND SHALL BE UNDERGROUND.
- GAS SERVICE AND LOCATIONS TO BE DETERMINED BY THE GAS COMPANY.
- PIV AND SIAMESE CONNECTIONS SHOWN APPROXIMATE. FINAL LOCATIONS TO BE DESIGNED BY PLUMBING ENGINEER AND APPROVED BY FIRE DEPARTMENT.
- THE DRAINAGE INSTALLATION SHALL BE INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER PRIOR TO BACKFILLING.
- EXISTING WATER SERVICE TO BE CUT AND CAPPED AT THE MAIN PER DPW REQUIREMENTS.
- EXISTING SEWER SERVICE TO BE CUT AND CAPPED AT THE PROPERTY LINE.
- EXISTING ELECTRIC, TELEPHONE AND CTV SERVICES TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANIES. POLE 10-2 TO BE REMOVED AS PERMITTED BY THE APPROPRIATE UTILITY COMPANY.

**NOTES:**

- CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
- ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
- MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

MAP 286 PARCELS 32 AND 34 ARE TO BE COMBINED.  
 MAP 286 PARCEL 33 HAS A PROPOSED EASEMENT FOR ACCESS AND UTILITIES.



OWNER:  
 MAP 286 PARCELS 32 AND 34  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33  
 JOHN AND CARMEL SHERRY  
 88 EAST CENTRAL STREET

APPLICANT:  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

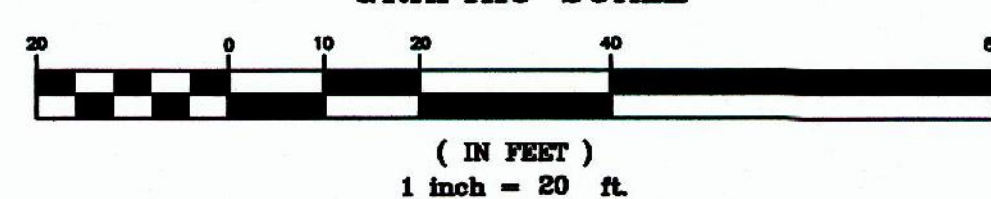
CARLOS A. QUINTAL P.E. #30812

**SITE PLAN MODIFICATION  
 GRADING & UTILITY PLAN**  
 70, 72, 88 AND 94 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
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**GRAPHIC SCALE**



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**UNITED  
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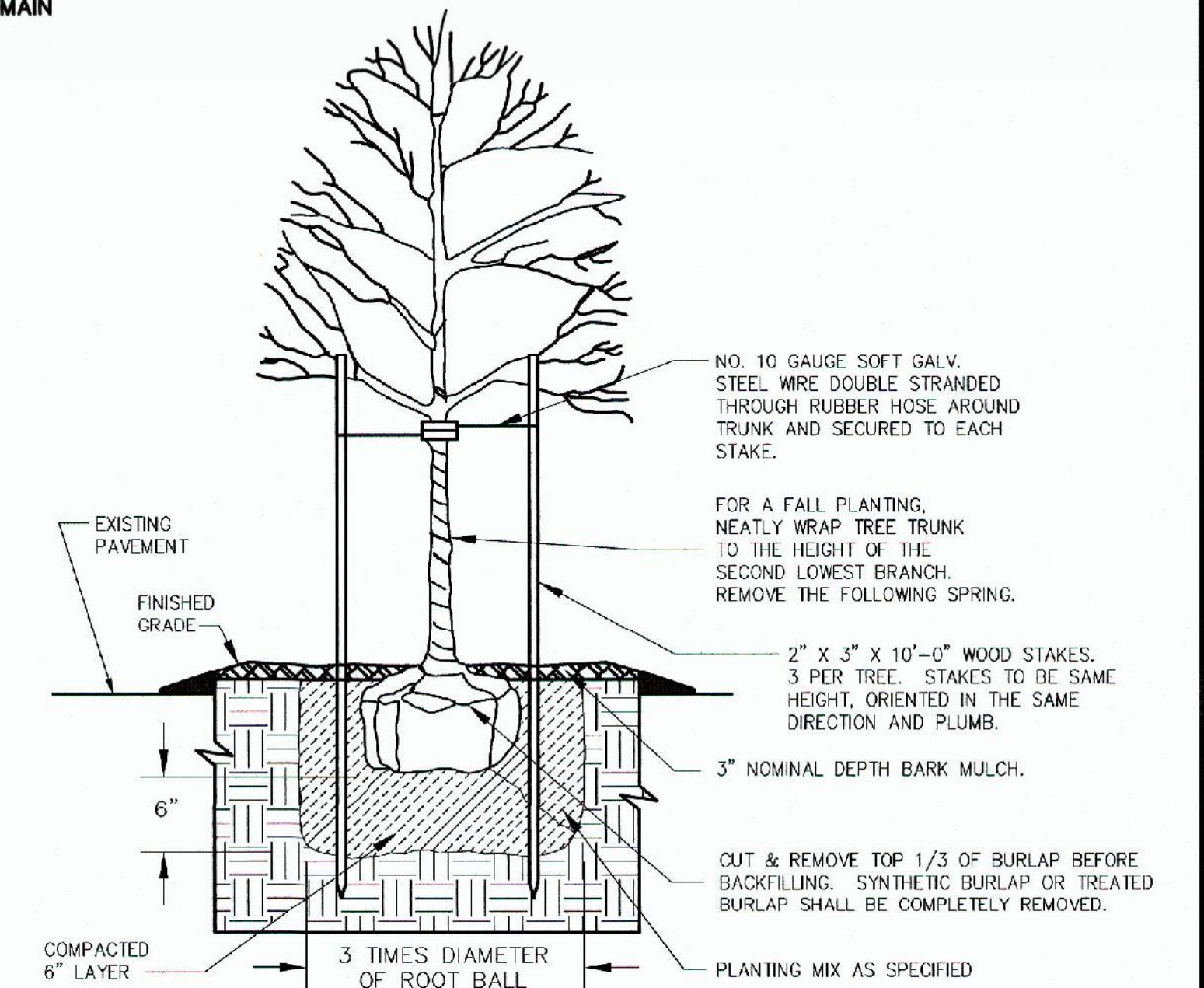
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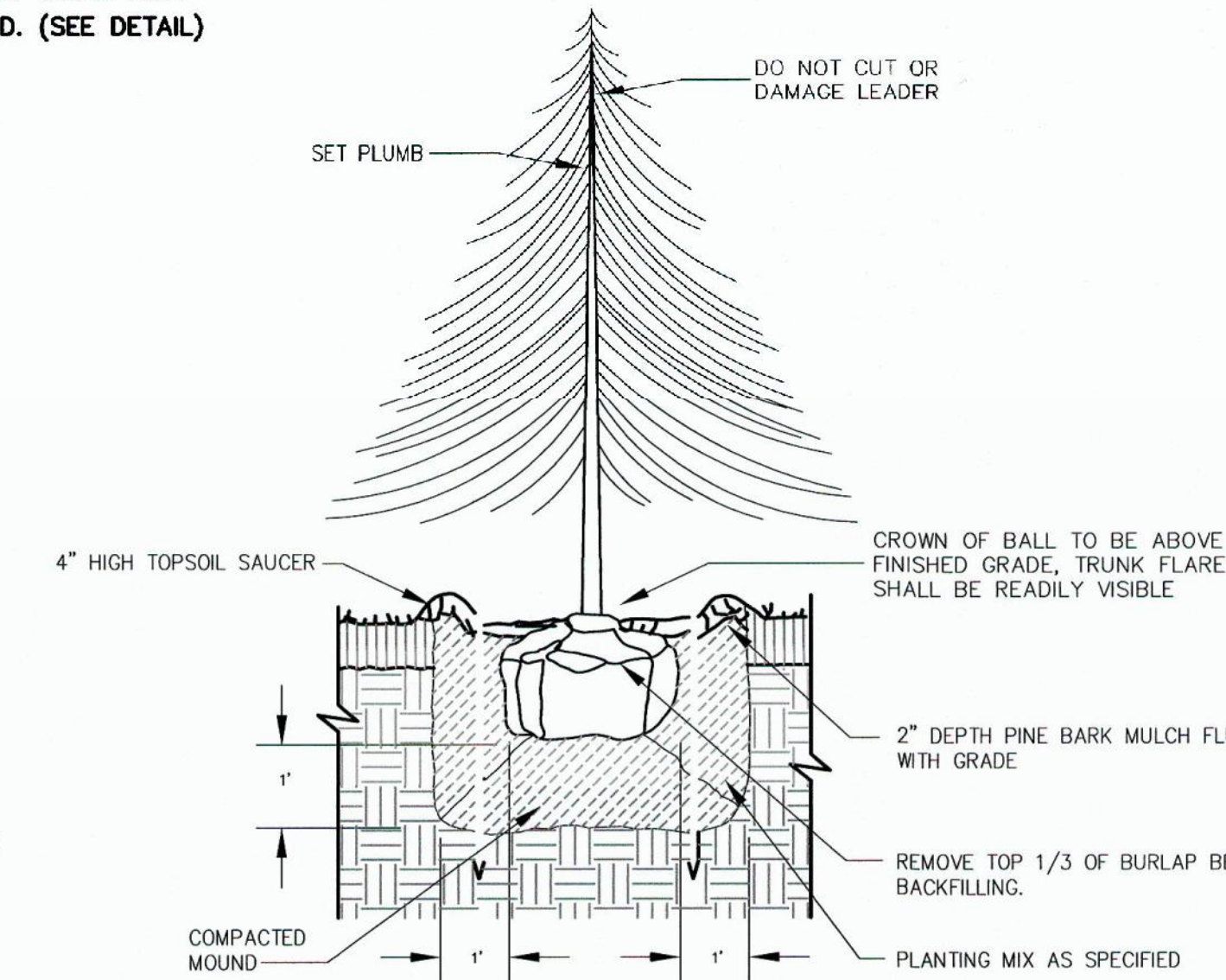
# PLANTING SCHEDULE

NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
2	AMERICAN ELM - AE	ULMUS AMERICANA	3"	B&B
3	RED MAPLE - RM	ACER RUBRUM	3"	B&B
19	ARBORVITAE - A	THUJA PLICATA	4 - 6 FEET	B&B

EXISTING TREE LEGEND:  
 R - TO BE REMOVED  
 K - TO REMAIN



DECIDUOUS TREE PLANTING



EVERGREEN TREE PLANTING

OWNER:  
 MAP 286 PARCELS 32 AND 34  
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 FRANKLIN, MASSACHUSETTS

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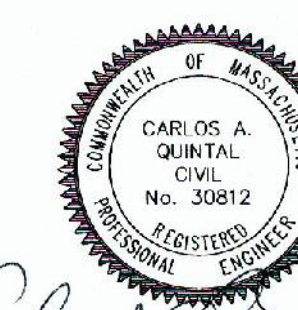
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 FRANKLIN, MASSACHUSETTS

## SITE PLAN MODIFICATION PLANTING PLAN

70, 72, 88 AND 94 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

PREPARED FOR  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

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Carlos A. Quintal P.E. #30812

MAP 286 PARCELS 32 AND 34  
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 MAP 286 PARCEL 33 HAS A PROPOSED  
 EASEMENT FOR ACCESS AND UTILITIES.

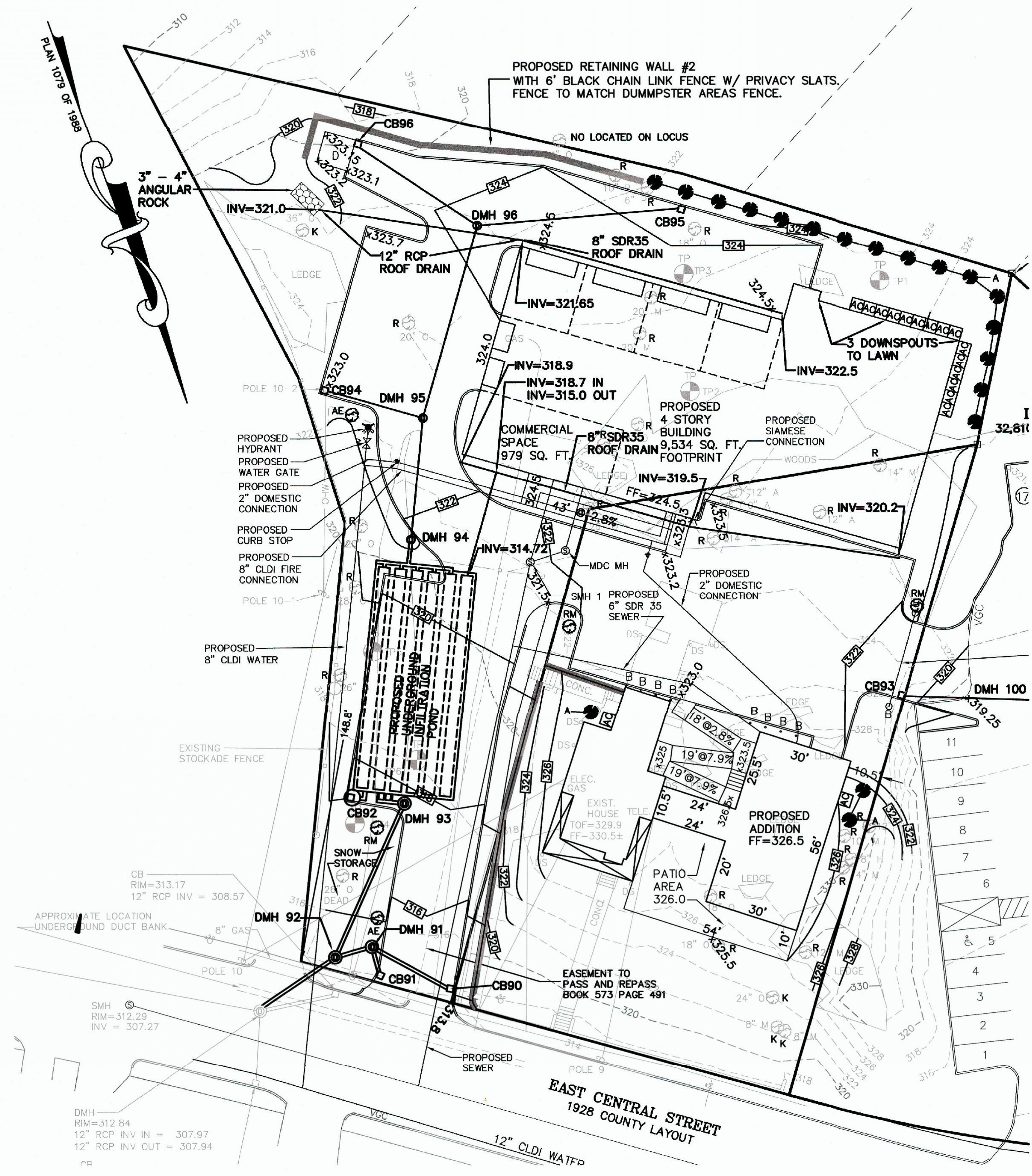
PLANTINGS FOR 88 AND 94 EAST CENTRAL STREET AREAS  
 - PER SECTION 185-210(5) PROVIDE 1 TREE PER 10 PARKING SPACES.  
 - 48 PARKING SPACES LOCATED OUTSIDE OF BUILDING AND INSIDE OF BUILDING = 48 / 10 = 5 TREES  
 5 TREES PROVIDED.  
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.

## GENERAL NOTES

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)

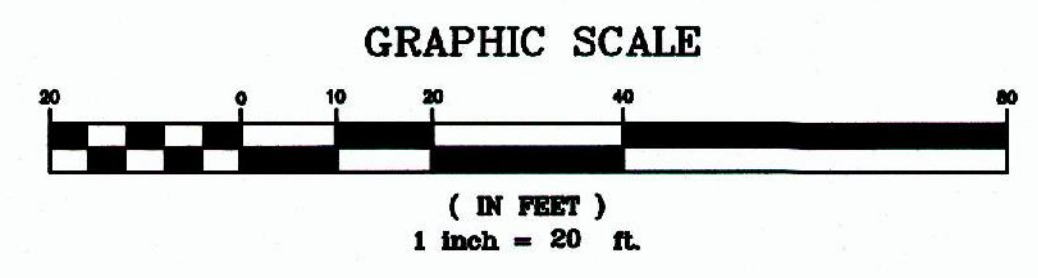
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- 297- PROPOSED COUNTOUR
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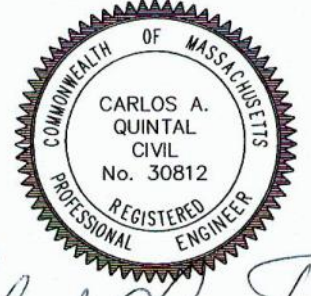
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DATE	SCALE	PROJECT	SHEET
MAR. 4, 2020	1" = 20'	UC1334	5 of 9



# OPERATION AND MAINTENANCE PLAN



Carlos A. Quintal P.E. #30812

## CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, BRAD CHAFFEE (1-508-331-6161), SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
9. THE STORMCEPTOR UNITS SHALL BE CLEANED WITH A VACUUM TRUCK.

## INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENT ARE TO BE REMOVED.
3. INSPECTIONS OF THE STORMCEPTOR UNITS TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE EXISTING CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1, THE EXISTING POND AND THE RAIN GARDEN TO DETERMINE IF CLEANING IS NECESSARY.

## OPERATION AND MAINTENANCE SCHEDULE

### CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. ONCE THE PARKING LOT HAS BEEN PAVED DAILY INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT THE STORMCEPTOR UNITS, CATCH BASIN 91 AND CB97 AND THE TWO CATCH BASINS ON 70 - 72 EAST CENTRAL STREET SITE. ONCE INSTALLED THEY SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
4. THE STORMCEPTOR UNITS SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
5. THE POND SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

### LONG TERM:

1. THE PARKING LOT SHALL BE SWEEPED TWICE PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE STORMCEPTORS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES
3. THE POND SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

### NOTES:

1. ANY AREA NOT BEING ACTIVELY WORKED FOR 14 DAYS SHALL BE TEMPORARILY STABILIZED.
2. UPON COMPLETION OF GRADING ACTIVITIES THE AREA SHALL BE STABILIZED OR PLANTED WITHIN 7 DAYS.
3. NON-PHOSPHORUS FERTILIZER SHALL BE APPLIED AS NECESSARY.
4. NON-HALOGENATED ICE MELT SHALL BE APPLIED AS NECESSARY.

### PROJECT NARRATIVE:

THE PROJECT CONSISTS OF THE DEMOLITION OF AN EXISTING BUILDING AND IMPROVEMENTS. UPON RECEIPT OF ALL NECESSARY APPROVALS THE APPLICANT WILL FILE FOR AND OBTAIN THE NECESSARY ADDITIONAL PERMITS INCLUDING SEWER AND WATER CONNECTION PERMITS, STREET OPENING PERMITS AND BUILDING PERMIT. UPON SECURING ALL THE NECESSARY PERMITS THE PROJECT WILL MOVE TO THE CONSTRUCTION PHASE AND WILL BE COMPLETED BASED ON THE CONSTRUCTION SEQUENCE.

## EROSION CONTROL NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. ENTRY MAT TO BE INSTALLED.
3. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
4. SLOPES GREATER THAN 3" HORIZONTAL TO 1" VERTICAL SHALL BE STABILIZED WITH HYDROSEED, SECURED GEOTEXTILE FABRIC OR RIPRAP AS REQUIRED TO PREVENT EROSION. ALL SLOPE FLATTER THAN 3" HORIZONTAL TO 1" VERTICAL SHALL BE HYDROSEEDDED.
5. STORMCEPTOR UNITS, CATCH BASINS AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
6. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
8. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
10. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

### CONSTRUCTION SEQUENCE:

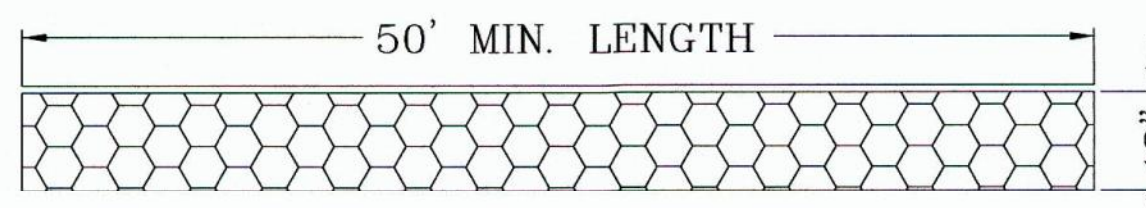
1. INSTALL COMPOST SOCK, SILT SAKS AND ENTRY MAT.
2. DEMOLISH EXISTING BUILDING
3. LEDGE REMOVAL TO SUBGRADE.
4. EXCAVATE FOR BUILDING FOUNDATION.
5. FORM AND POUR BUILDING FOOTINGS AND FOUNDATION.
6. UPON ADEQUATE CURING OF THE FOUNDATION CONCRETE THE FOUNDATION SHALL BE BACKFILLED TO SUBGRADE.
7. CONSTRUCT BUILDING SIMULTANEOUSLY WITH THE FOLLOWING SITE WORK.
8. BRING THE REMAINDER OF THE SITE TO SUBGRADE.
9. INSTALL THE UNDERGROUND UTILITIES - WATER, SEWER, ELECTRIC AND DRAINAGE.
10. UPON COMPLETION OF THE UNDERGROUND UTILITIES, BRING THE PARKING AREAS TO PROPER GRADES WITH GRAVEL.
11. PAVE THE PARKING AREAS WITH THE BINDER COURSE.
12. INSTALL THE CURBING, THE DUMPSTER PAD AND THE FENCE.
13. LOAM ALL DISTURBED AREAS.
14. PLANT SITE TREES.
15. PAVE THE PARKING AREA WITH THE TOP COURSE.
16. IF NECESSARY COMPLETE AN AS-BUILT PLAN AND SUBMIT A FORM H.

OWNER:  
MAP 286 PARCELS 32 AND 34  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33  
JOHN AND CARMEL SHERRY  
88 EAST CENTRAL STREET

APPLICANT:  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

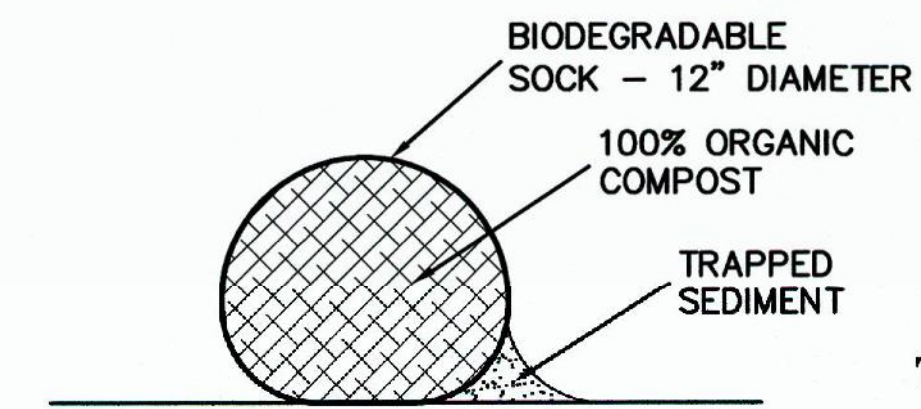
SITE PLAN MODIFICATION  
EROSION CONTROL PLAN  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 20'



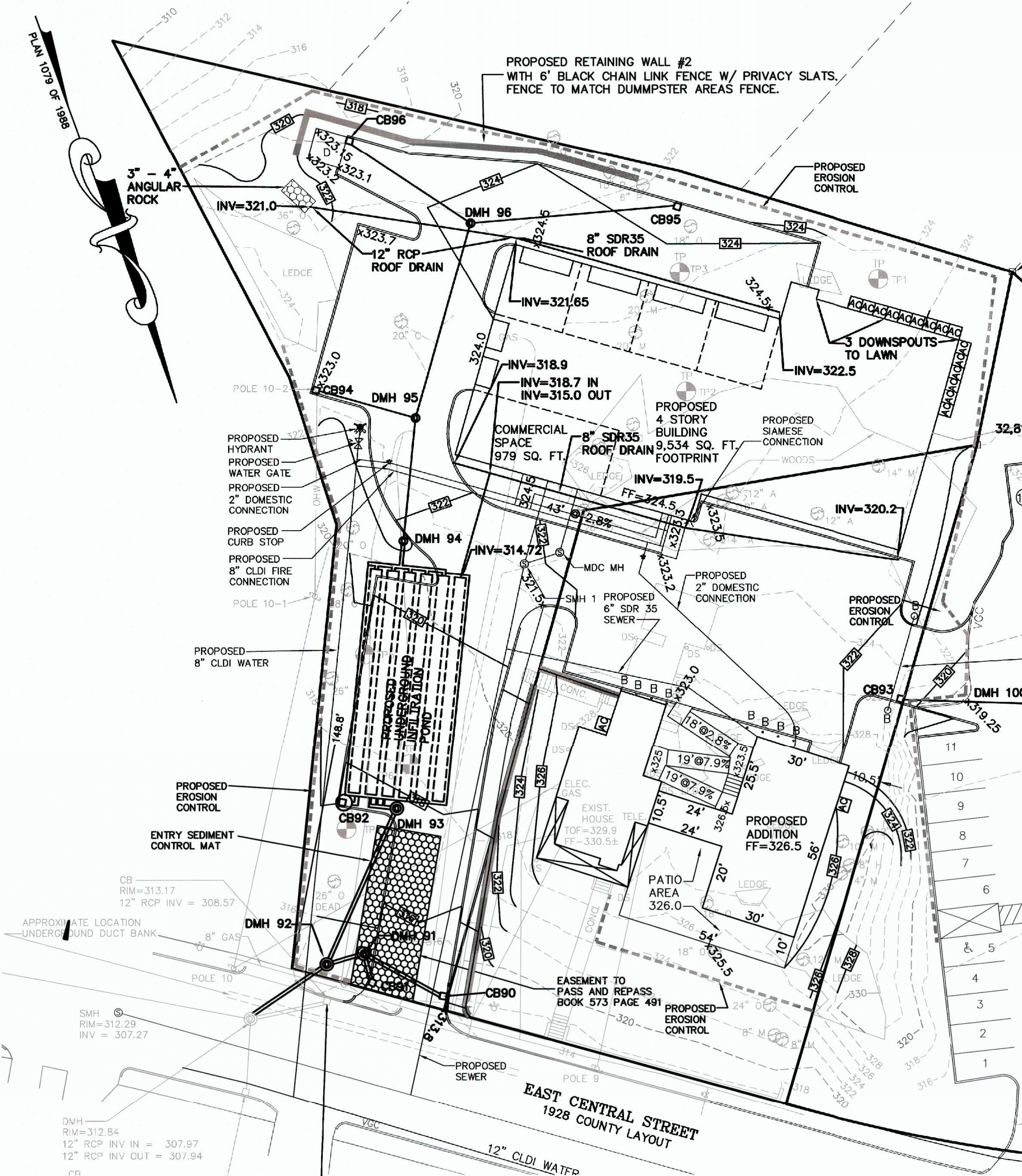
ENTRY SEDIMENTATION CONTROL  
MAT SECTION  
N.T.S.

### NOTES:

1. PAD SHALL BE A MINIMUM OF 20 FEET IN WIDTH. EXISTING ASPHALT DRIVE TO REMAIN IN PLACE UNTIL FINAL PAVEMENT IS TO BE INSTALLED.
2. PAD SHALL CONSIST OF 4" STONE 8" MIN. DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.



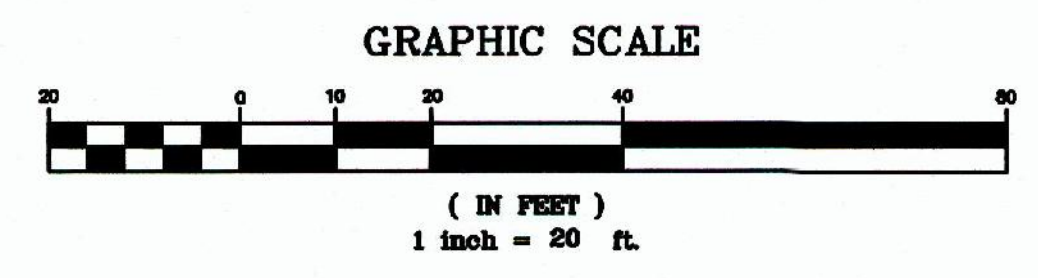
COMPOST SOCK DETAIL



IF PERMITTED BY THE TOWN OF FRANKLIN DPW, INSTALL CATCH BASIN INLET PROTECTION AT EXISTING CATCH BASIN.

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE



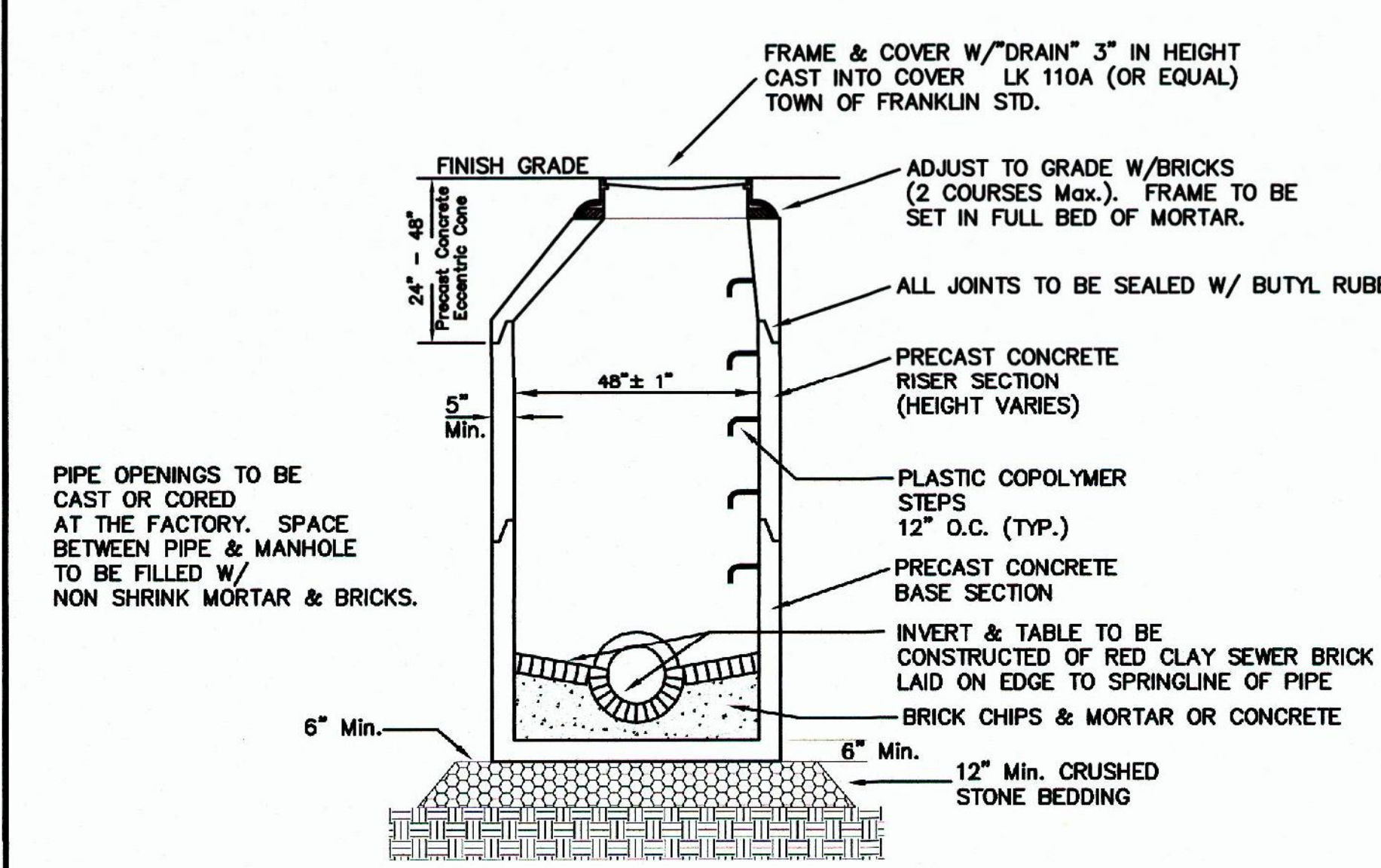
NO.	DATE	DESCRIPTION	BY
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
6/19	FIELD BOOK	BL
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6560 FAX 508-384-6566

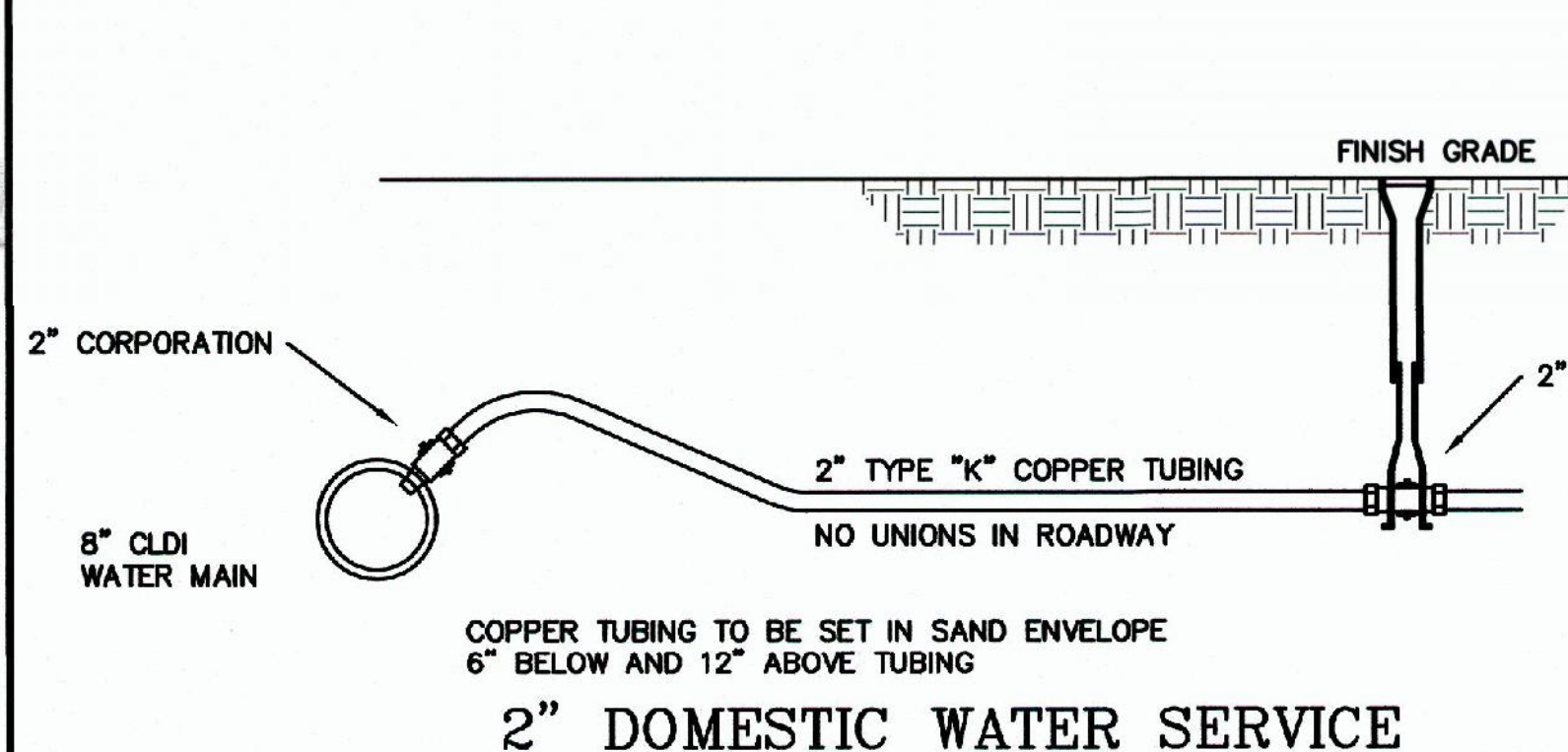
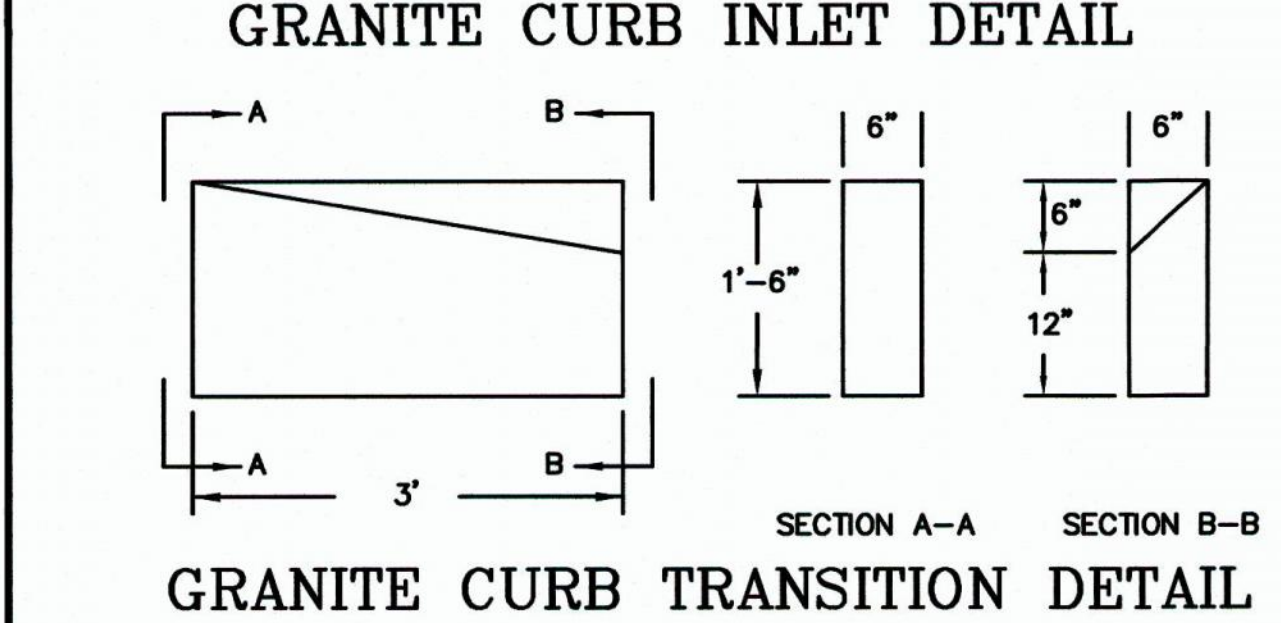
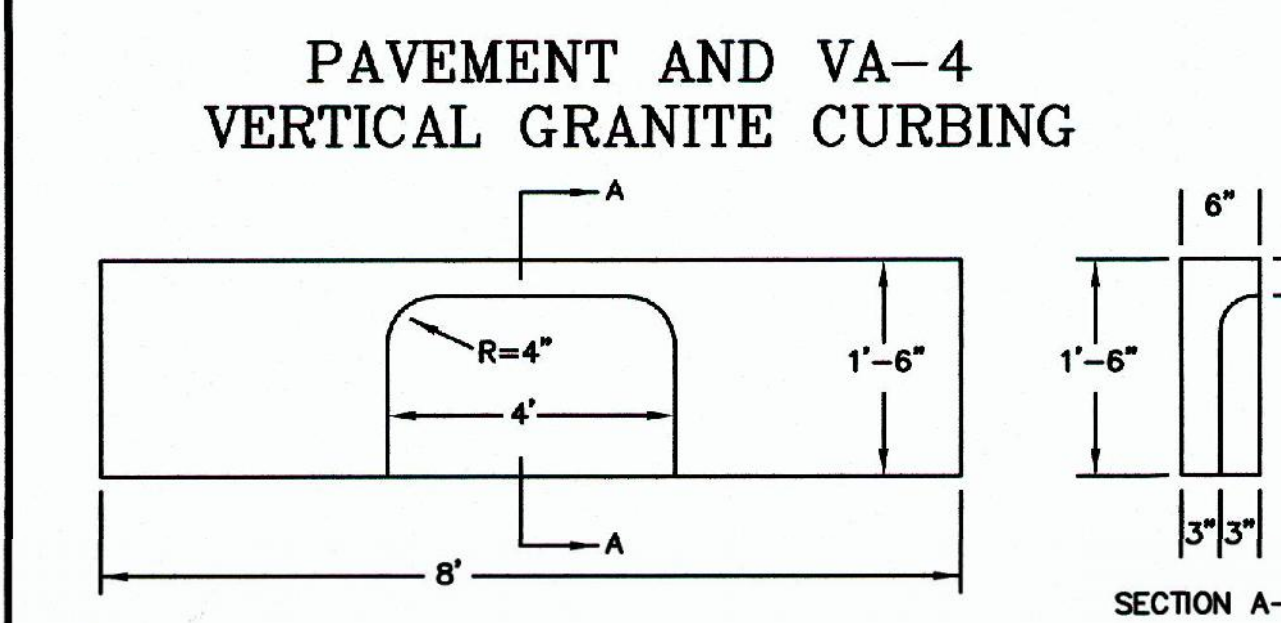
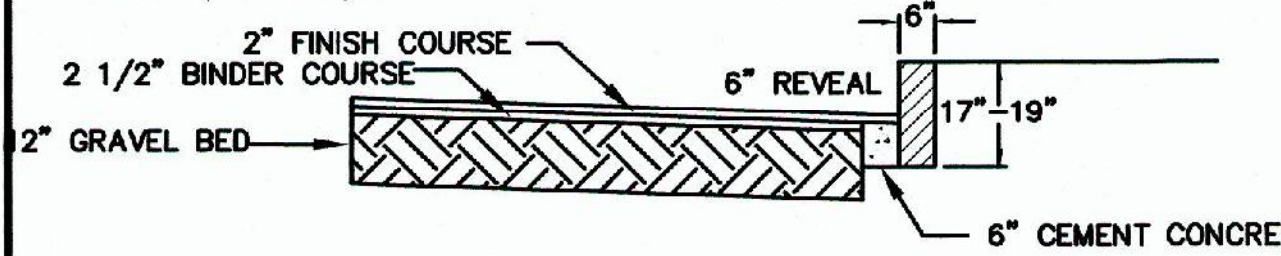
DATE	SCALE	PROJECT	SHEET
MAR. 4, 2020	1" = 20'	UC1334	6 of 9





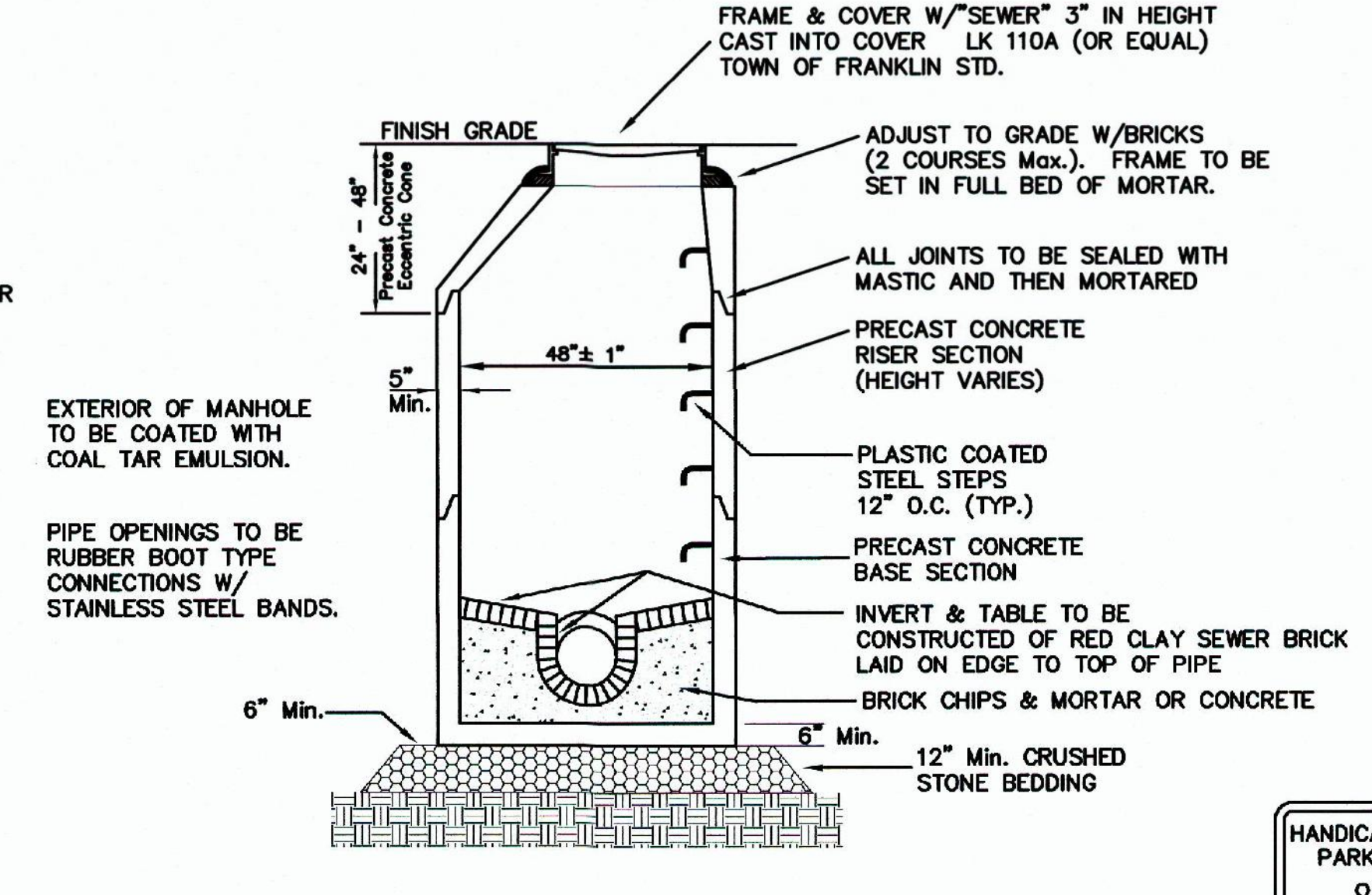
**PRECAST DRAIN MANHOLE**

NOTE: GRAVEL UNDER PAVEMENT AND SIDEWALKS TO BE M1.03.0 (TYPE B)

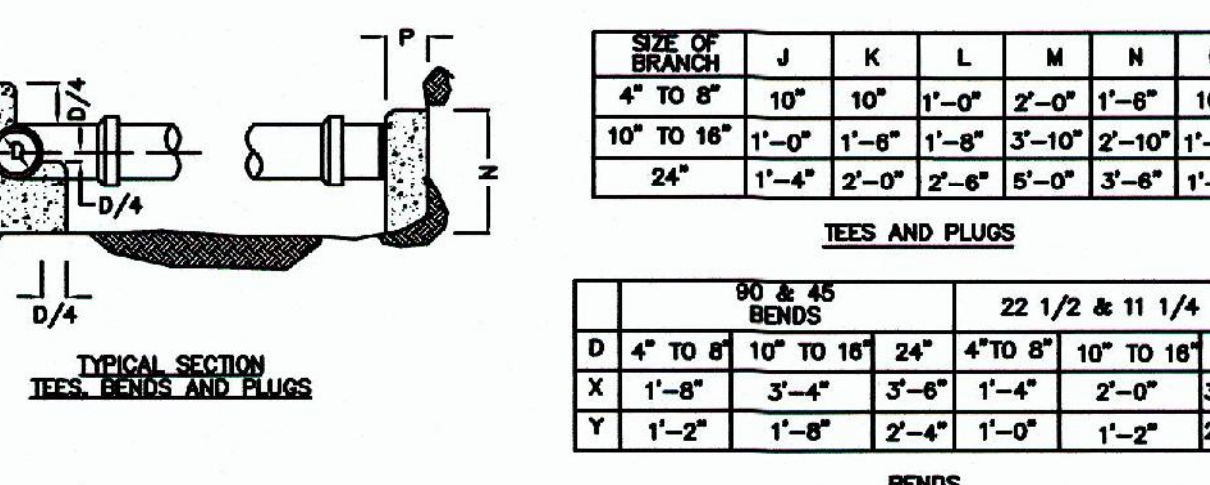
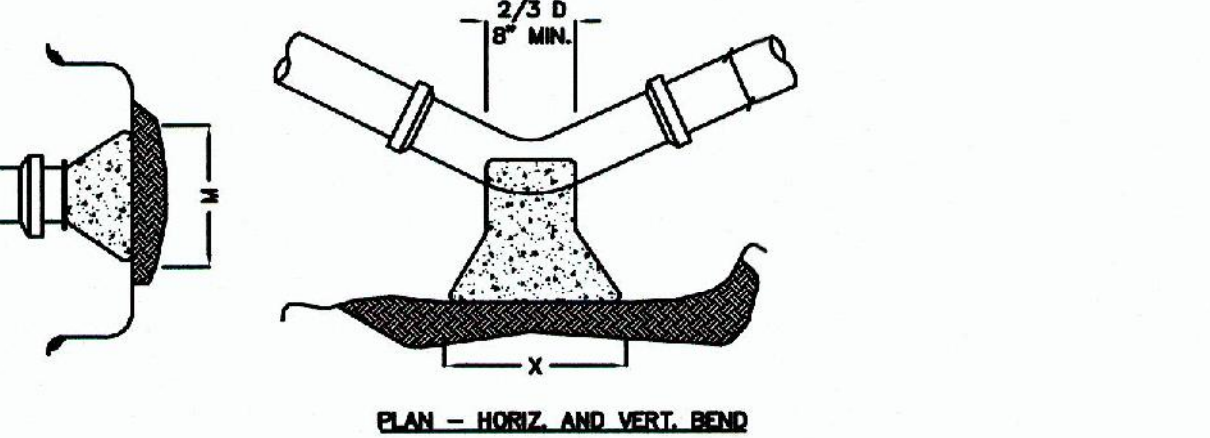


**SITE PLAN APPROVAL REQUIRED**  
FRANKLIN PLANNING BOARD

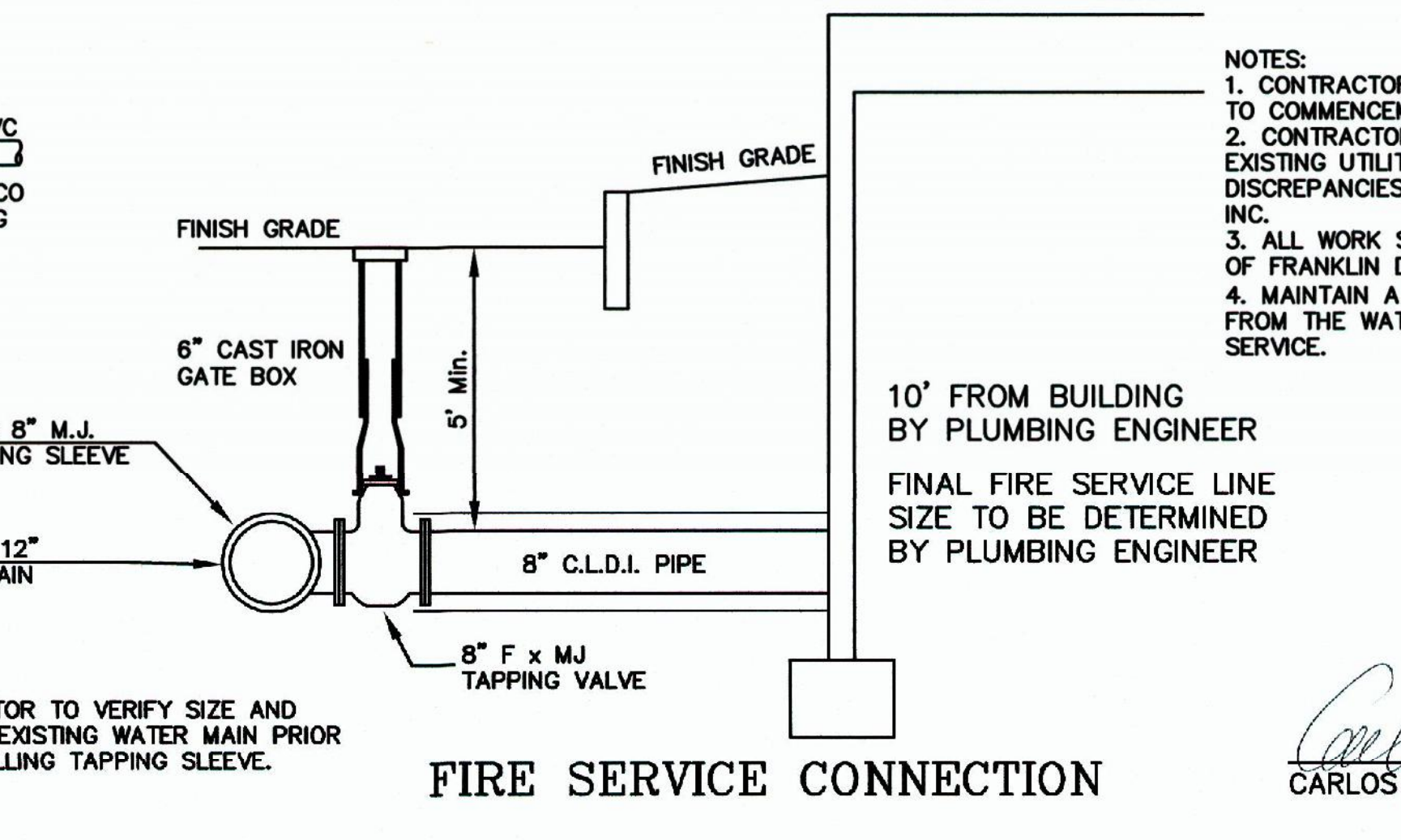
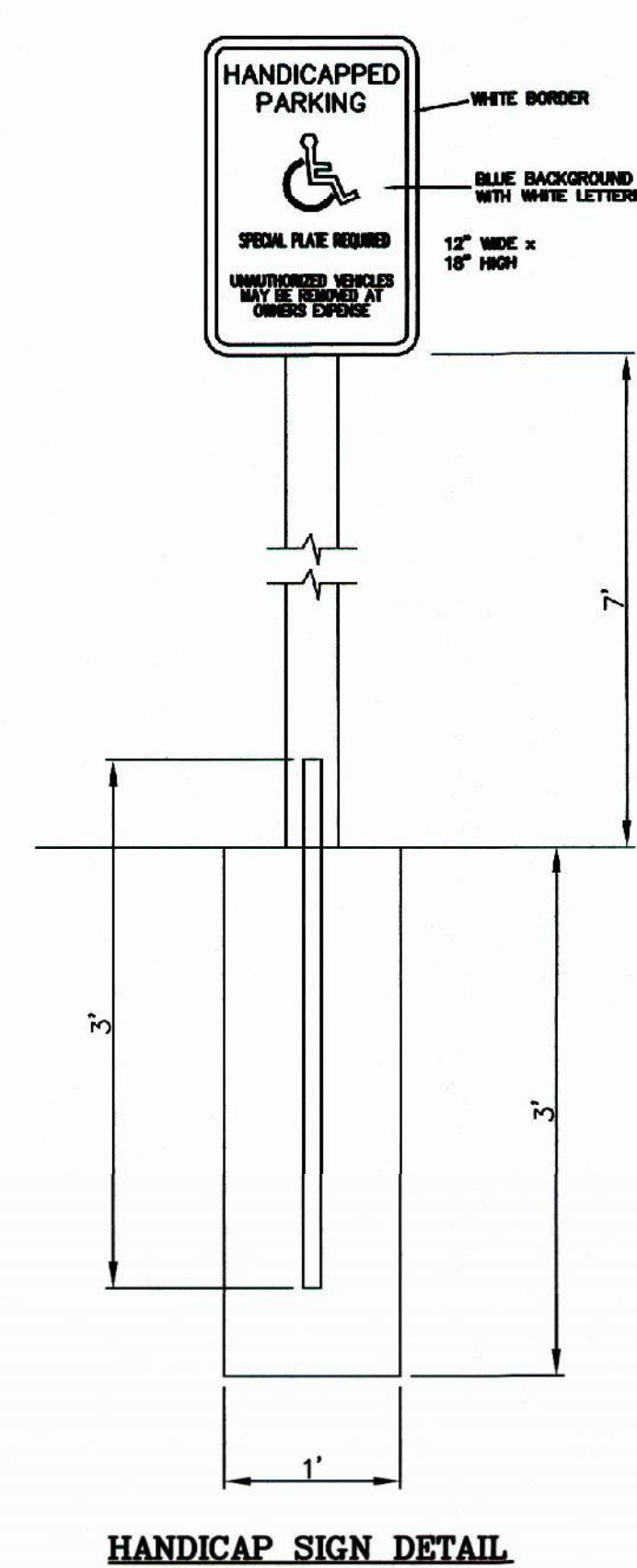
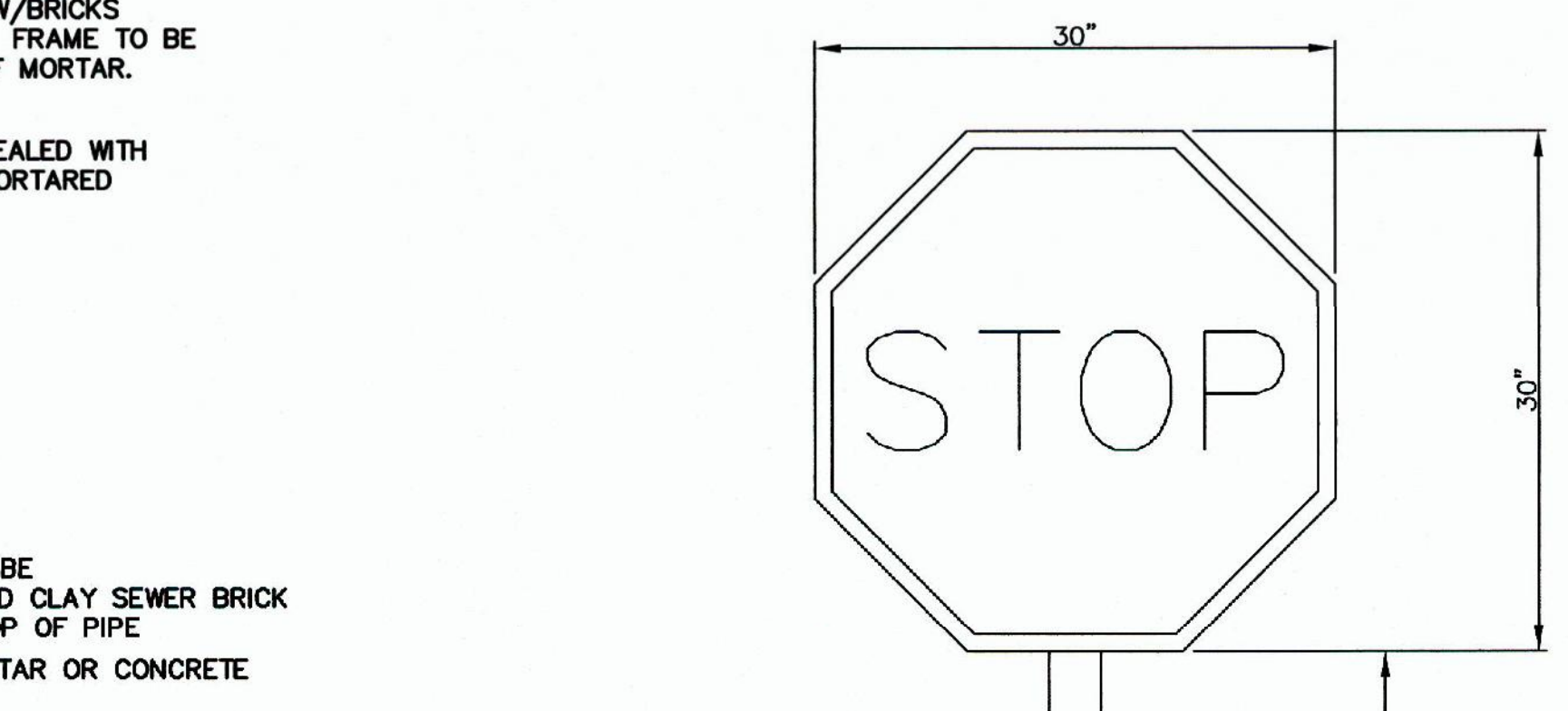
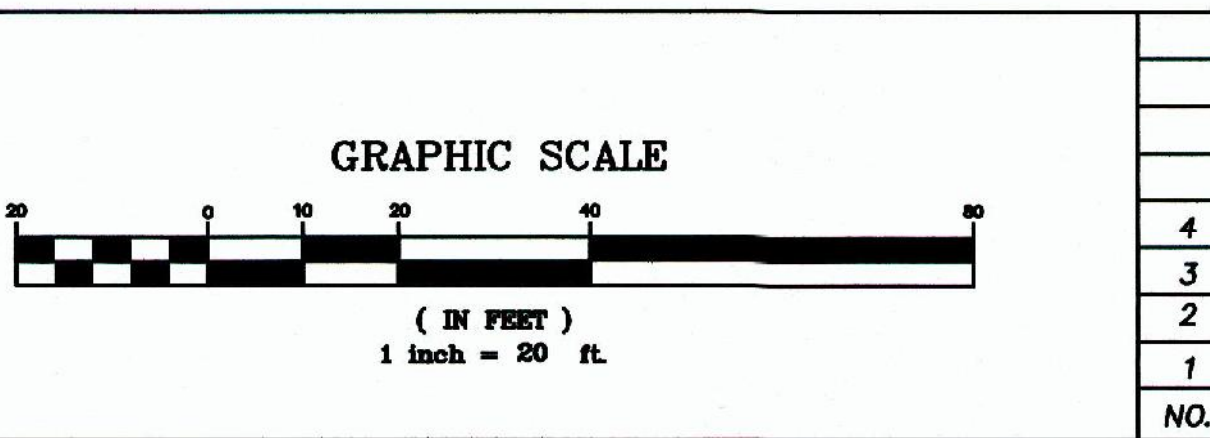
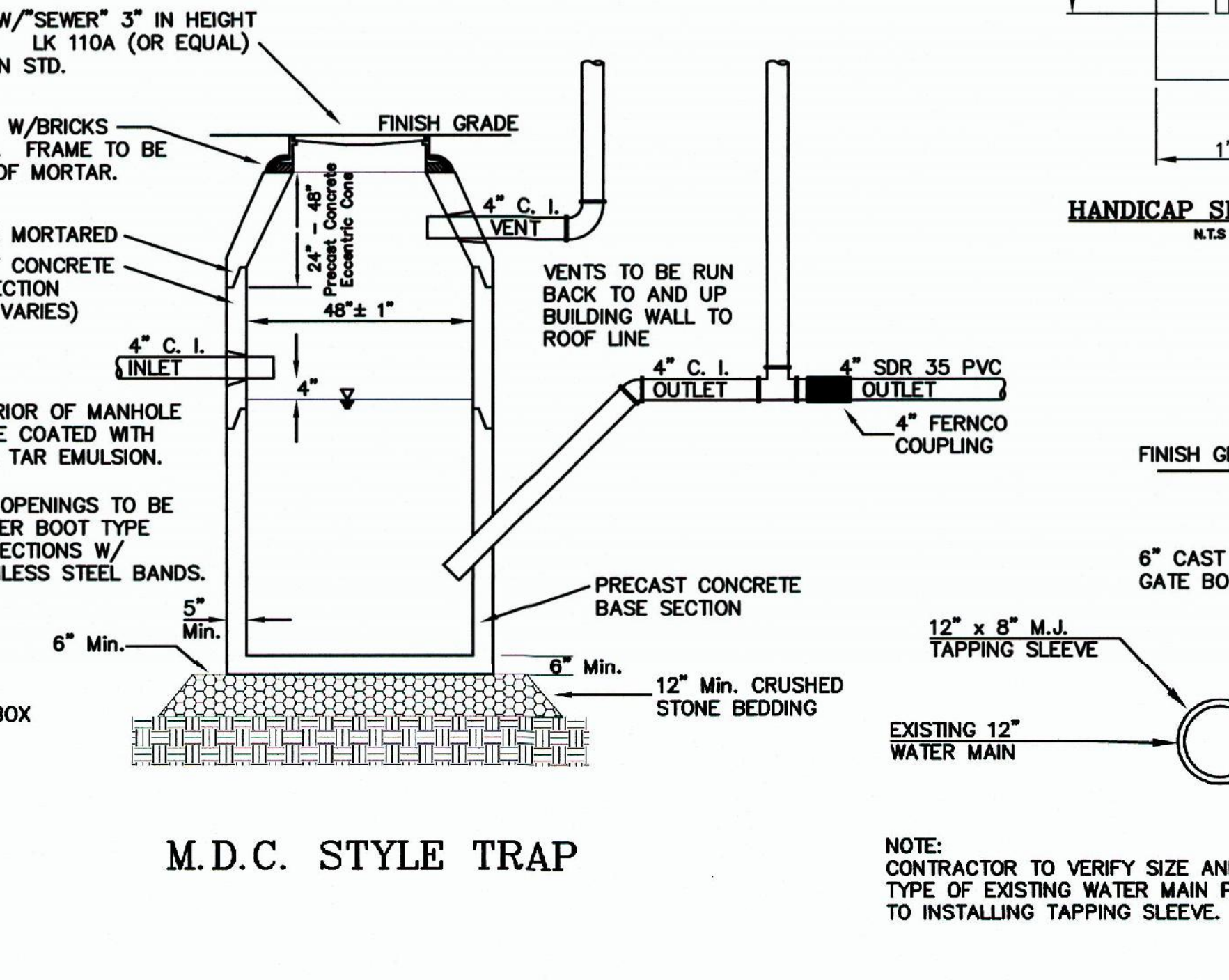
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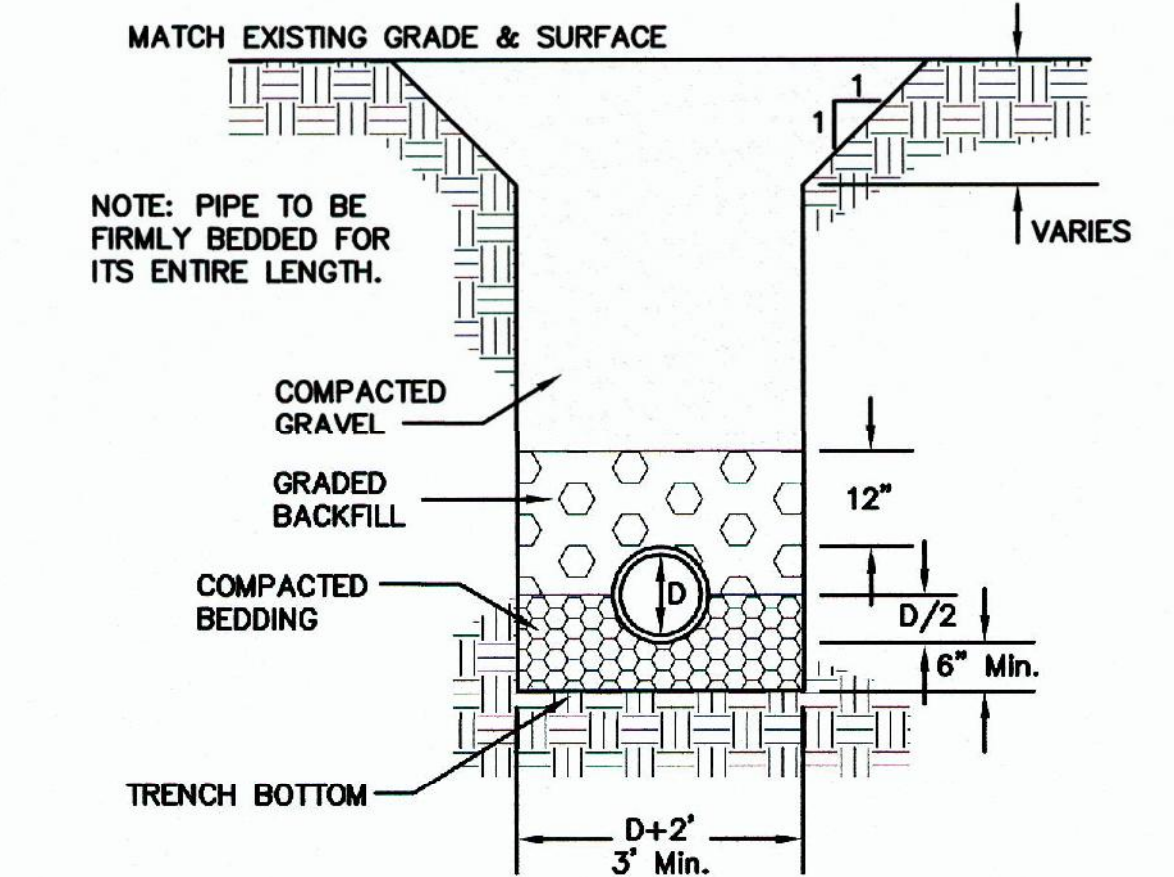
**PRECAST SEWER MANHOLE**



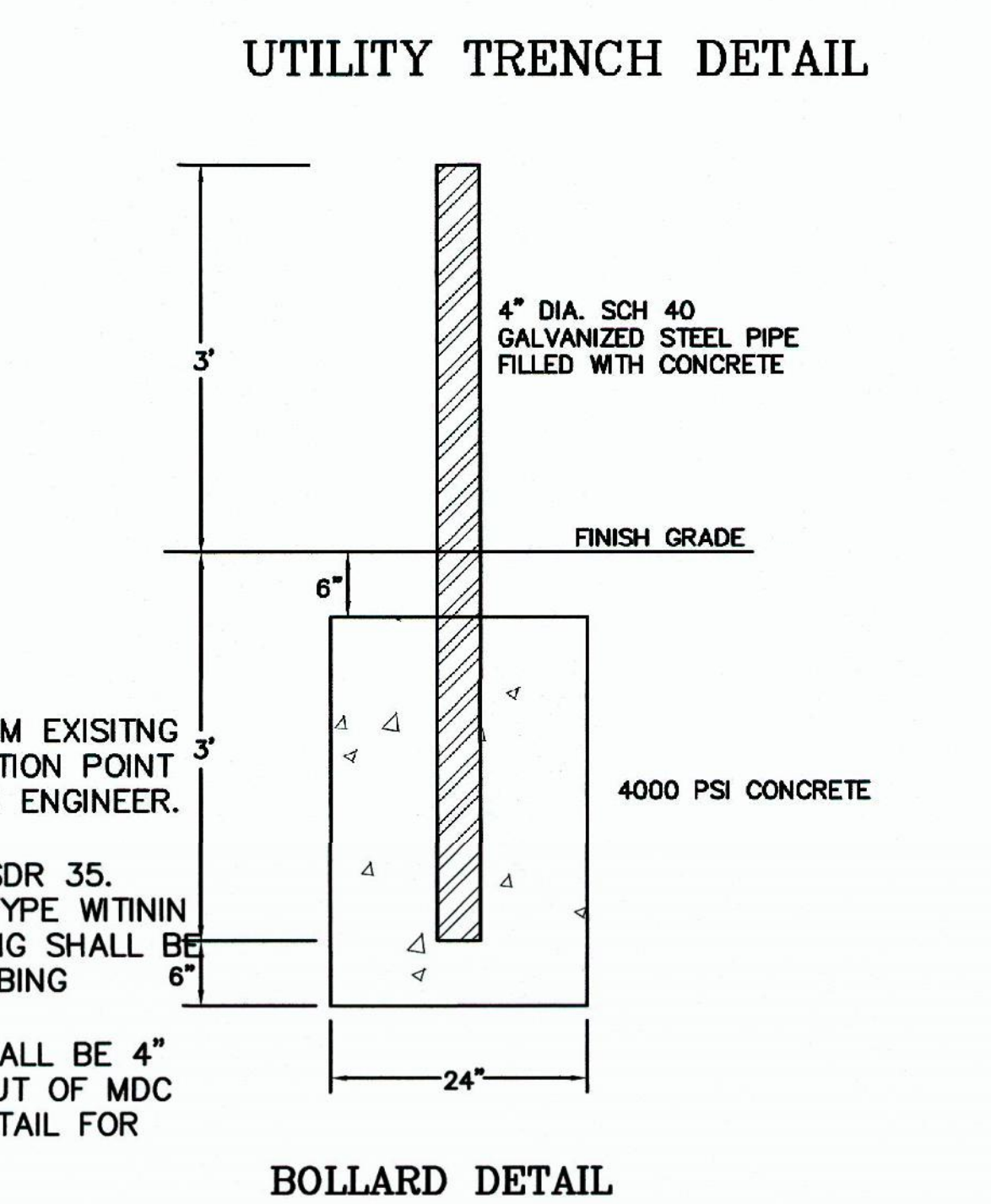
**THRUST BLOCK DETAILS**



NO.	DATE	DESCRIPTION	BY
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG



TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING	PROC. GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL	ORD. FILL	SAND	3/4" STONE	3/8" STONE



**UTILITY TRENCH DETAIL**

**BOLLARD DETAIL**

CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AT CONNECTION POINT

**STOP SIGN DETAIL**

SEWER PIPE TO BE 8" SDR 35. SEWER PIPE SIZE AND TYPE WITHIN 10 FEET OF THE BUILDING SHALL BE PROVIDED BY THE PLUMBING ENGINEER.

SEWER PIPE TO MDC SHALL BE 4" CAST IRON INTO AND OUT OF MDC MANHOLE. REFER TO DETAIL FOR CONNECTION TO PVC.

FF ELEV = 325.0

10' FROM BUILDING BY PLUMBING ENGINEER

FINAL FIRE SERVICE LINE SIZE TO BE DETERMINED BY PLUMBING ENGINEER

NOTE: CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NOTE: CONTRACTOR TO VERIFY SIZE AND TYPE OF EXISTING WATER MAIN PRIOR TO INSTALLING TAPPING SLEEVE.

OWNER: MAP 286 PARCELS 32 AND 34 70 EAST CENTRAL STREET, LLC 37 EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33 JOHN AND CARMEL SHERRY 88 EAST CENTRAL STREET

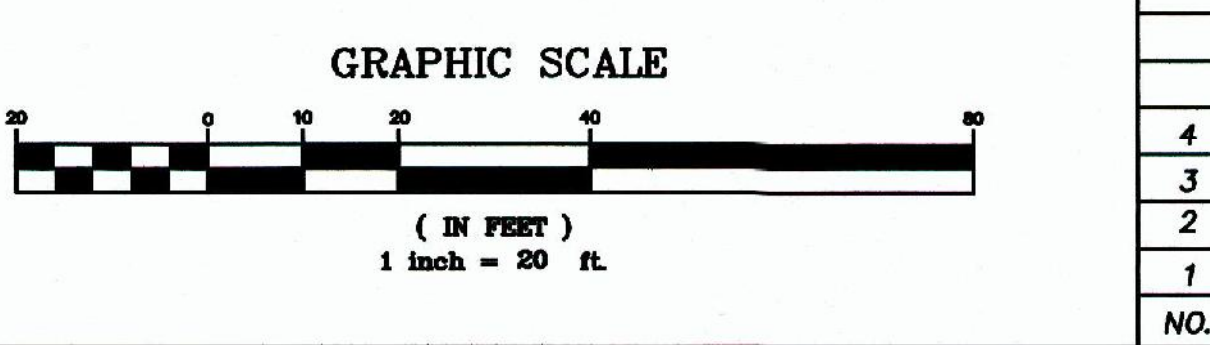
APPLICANT: 70 EAST CENTRAL STREET, LLC 37 EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS

**SITE PLAN MODIFICATION**  
**CONSTRUCTION DETAIL PLAN - 1**  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 20'

CARLOS A. QUINTAL P.E. #30812

**UNITED CONSULTANTS INC.**  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6560 FAX 508-384-6566

DATE: MAR. 4, 2020  
SCALE: 1" = 20'  
PROJECT: UC1334  
SHEET: 7 of 9





**Hydro Conduit**  
 STC 450i Precast Concrete Stormceptor®  
 (450 US Gallon Capacity)

PROJECT LOCATION: \_\_\_\_\_  
 DR. BY: \_\_\_\_\_  
 CK. BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SCALE: N.T.S.  
 DWG.#: \_\_\_\_\_

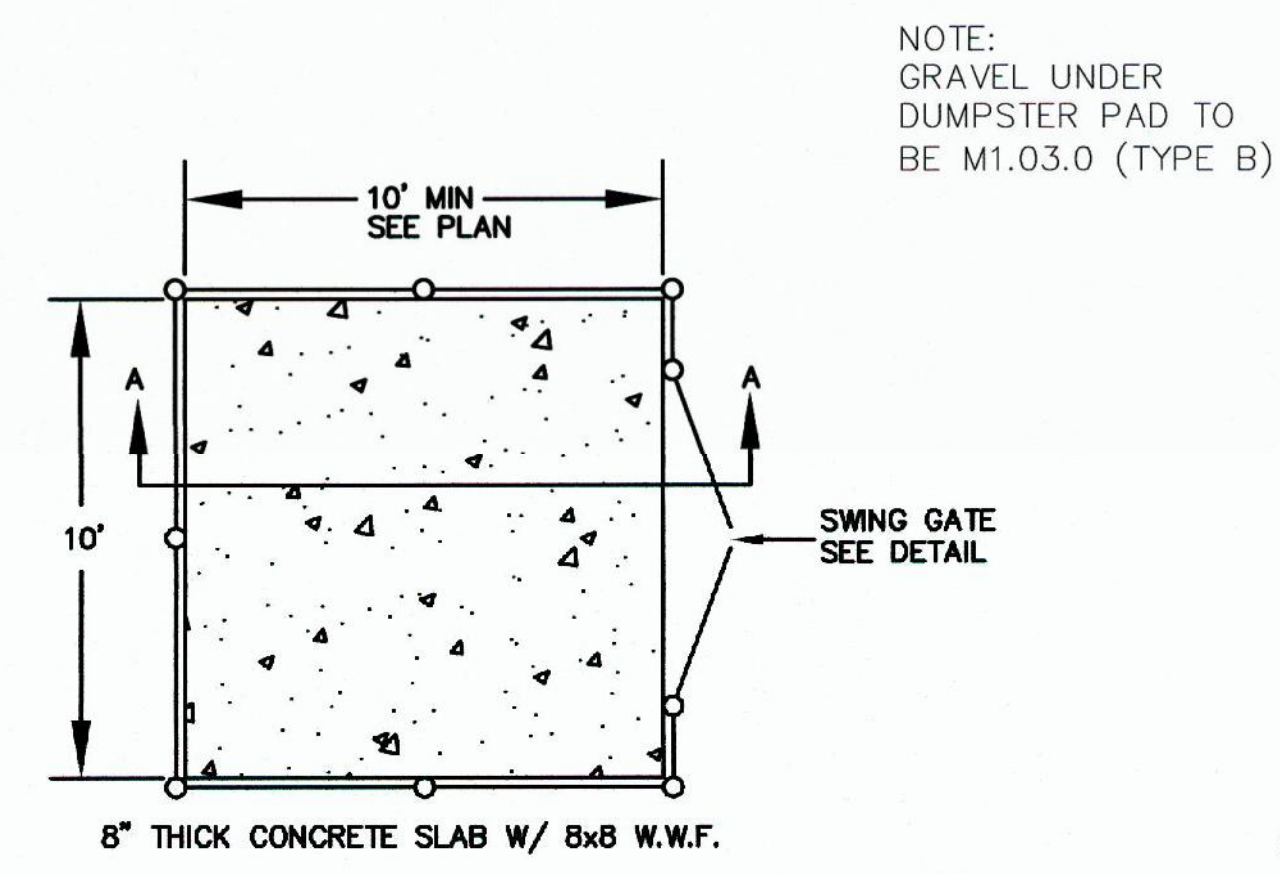
**SECTION THRU CHAMBER**  
**SECTION THRU PLAN VIEW**

NOTE:  
 1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.  
 2. THE COVER SHOULD BE POSITIONED OVER THE CLEANOUT/VENT PIPE.  
 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.

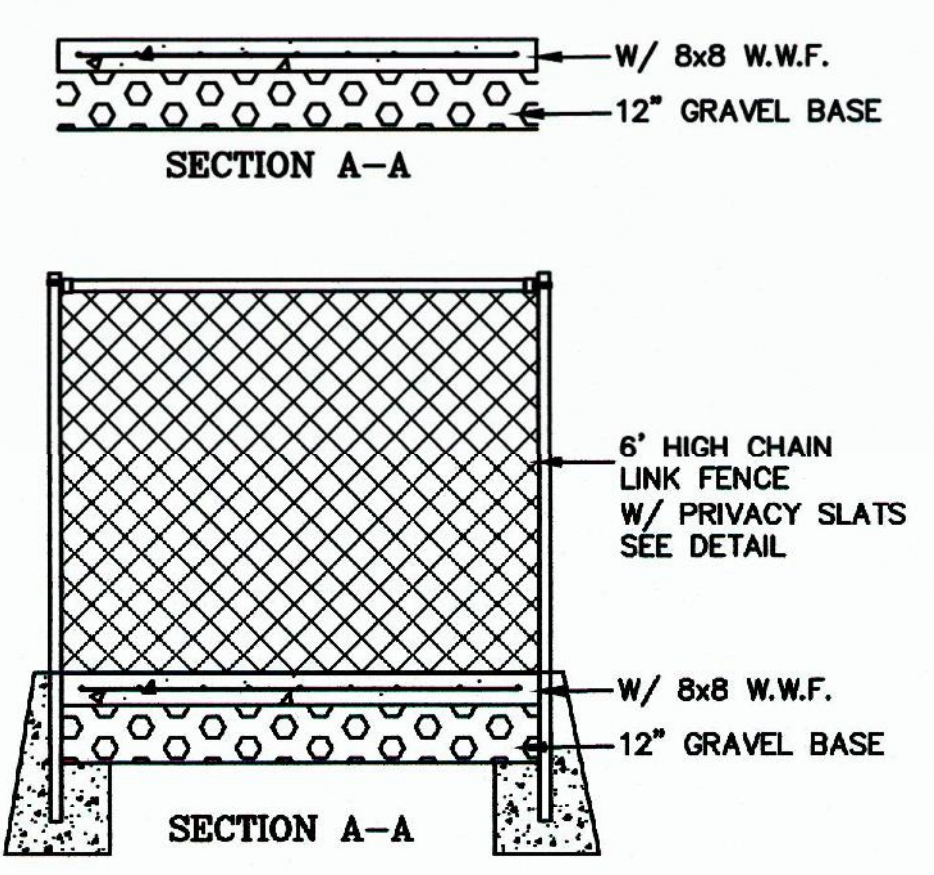
**Typical Siltsack® Construction - Type B**

INSERT 1" REBAR FOR BAG REMOVAL FROM INLET (REBAR NOT INCLUDED)  
 OPTIONAL OVERFLOW  
 SILTSACK®  
 DUMP LOOPS (REBAR NOT INCLUDED)  
 DEPTH = D  
 WIDTH = W

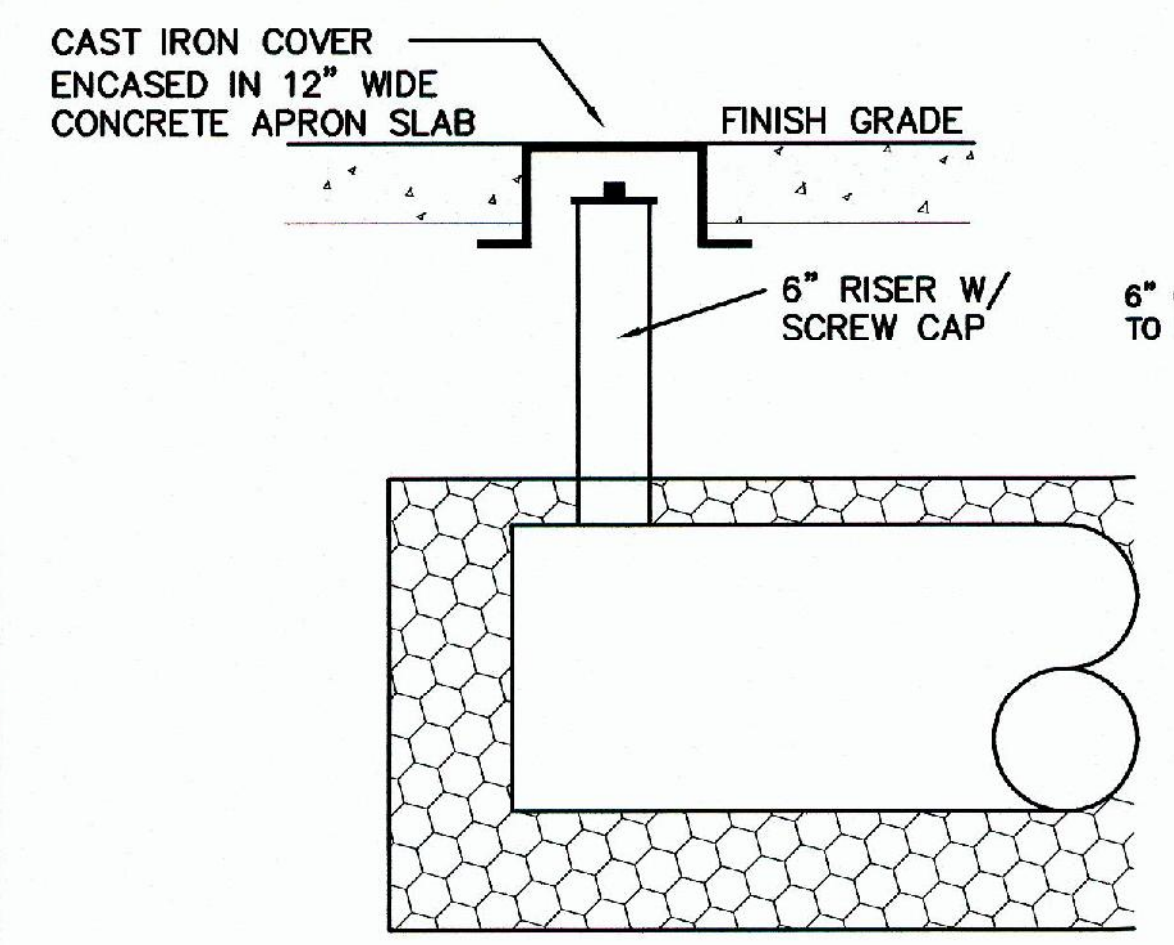
- NOTES:  
 1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
 2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.  
 3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.  
 4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.



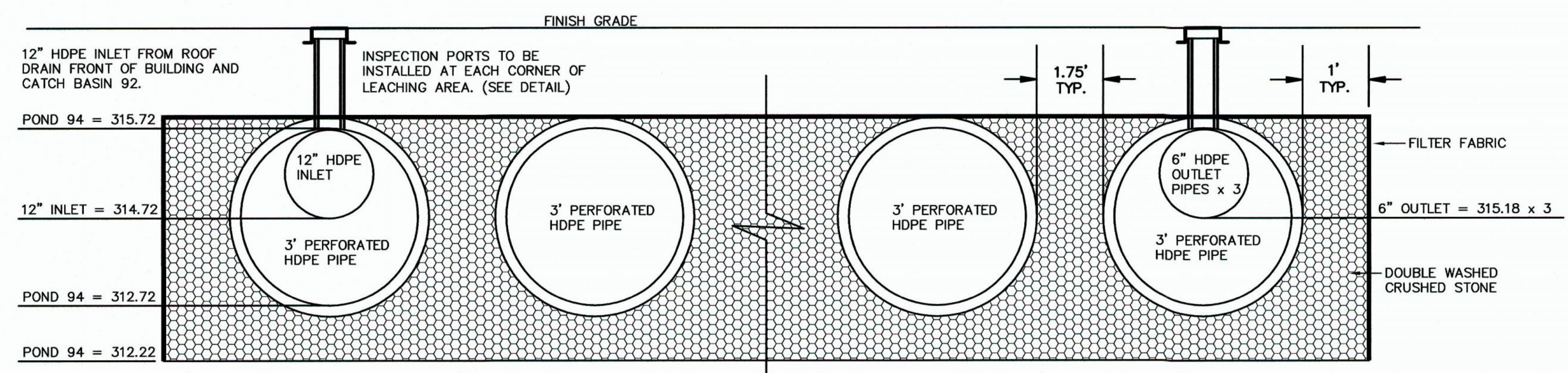
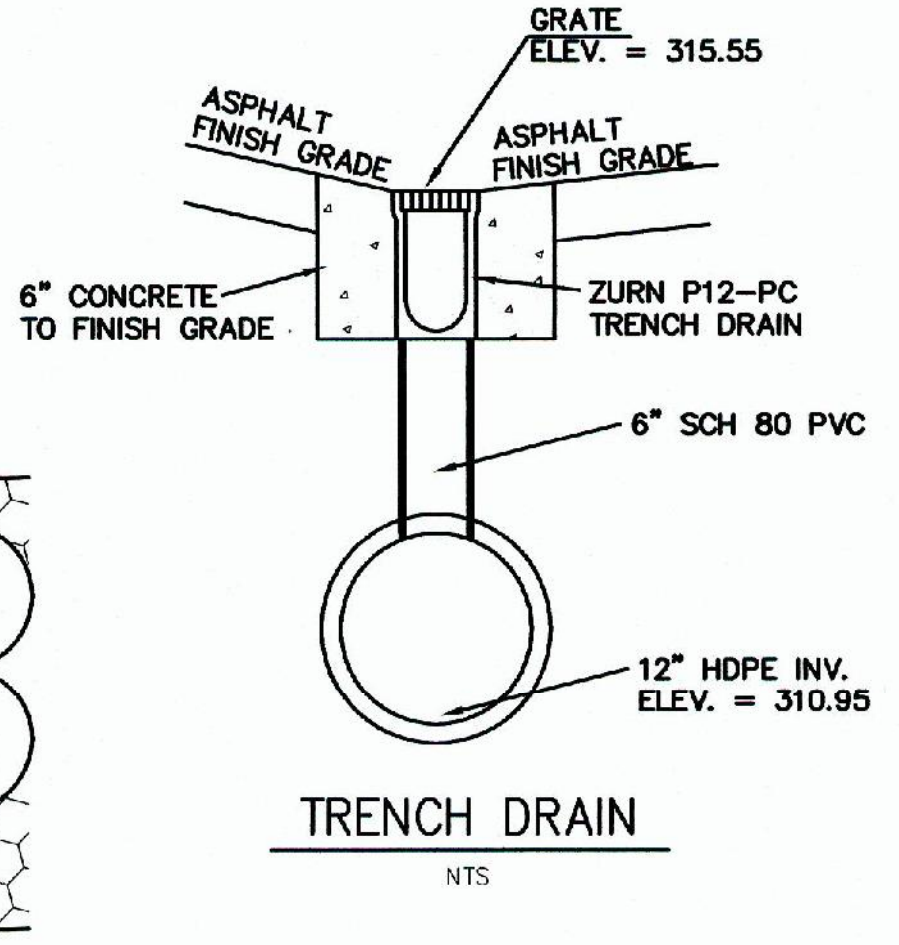
**CONCRETE DUMPSTER PAD**



**DUMPSTER AREA FENCE**



**INSPECTION PORT DETAIL DRAINAGE INFILTRATION AREAS**  
 N.T.S.



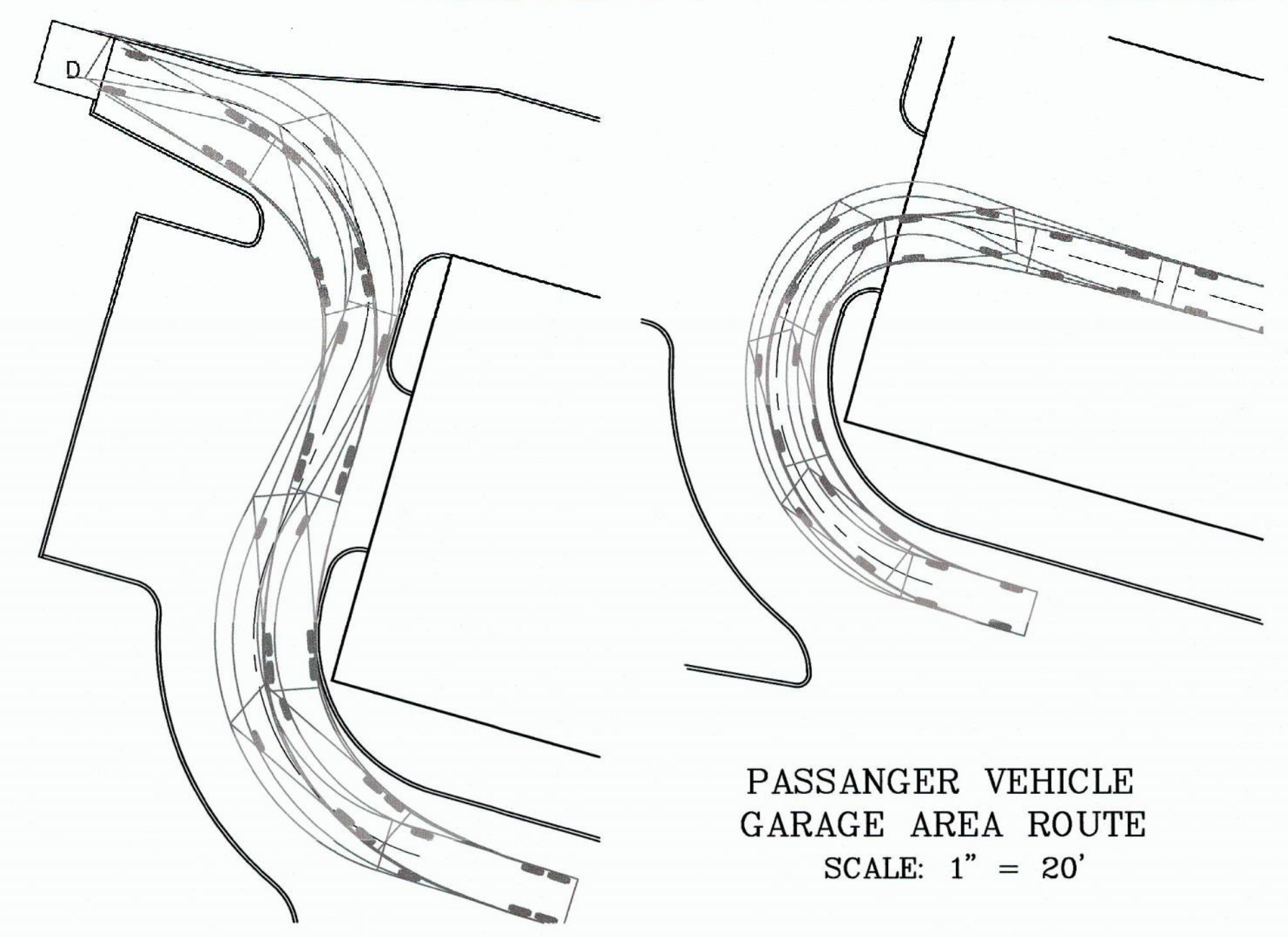
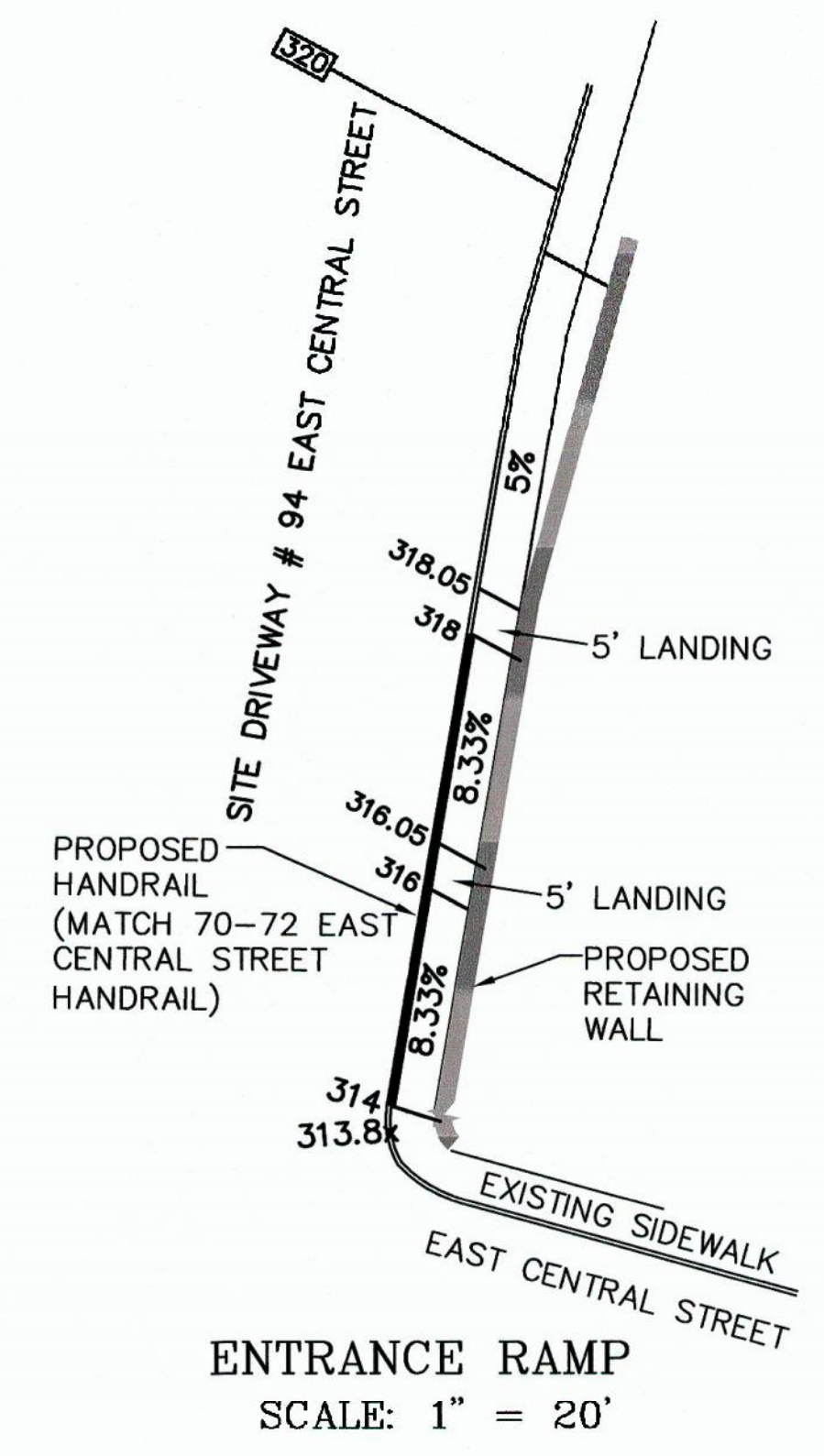
**DRAINAGE INFILTRATION AREA**

THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL BEING PLACED.

OWNER:  
 MAP 286 PARCELS 32 AND 34  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

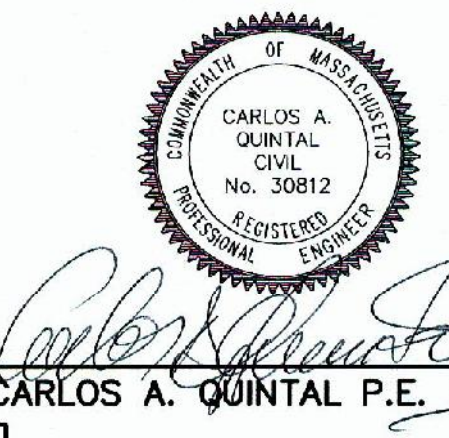
OWNER MAP 286 PARCEL 33  
 JOHN AND CARMEL SHERRY  
 88 EAST CENTRAL STREET

APPLICANT:  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS



**WB-30 TRASH TRUCK DUMPSTER AREA ROUTE**  
 SCALE: 1" = 20'

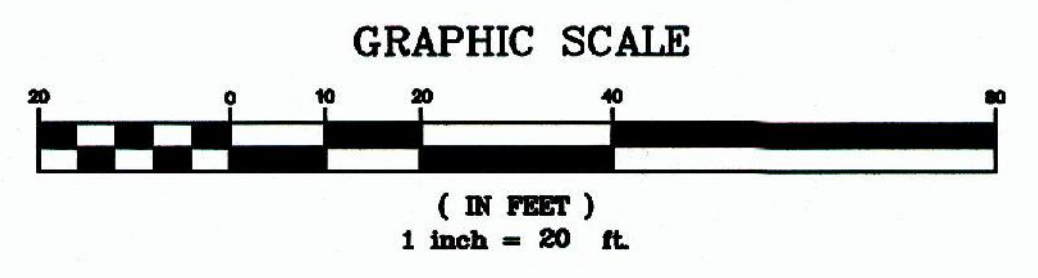
**SITE PLAN MODIFICATION CONSTRUCTION DETAIL PLAN - 2**  
 70, 72, 88 AND 94 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 MARCH 4, 2020  
 SCALE: 1" = 20'



Carlos A. Quintal P.E. #30812

**SITE PLAN APPROVAL REQUIRED FRANKLIN PLANNING BOARD**

DATE



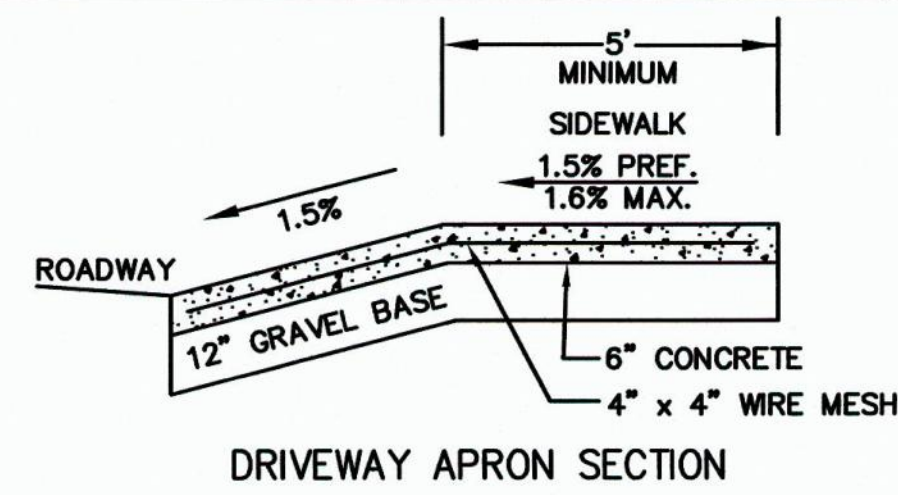
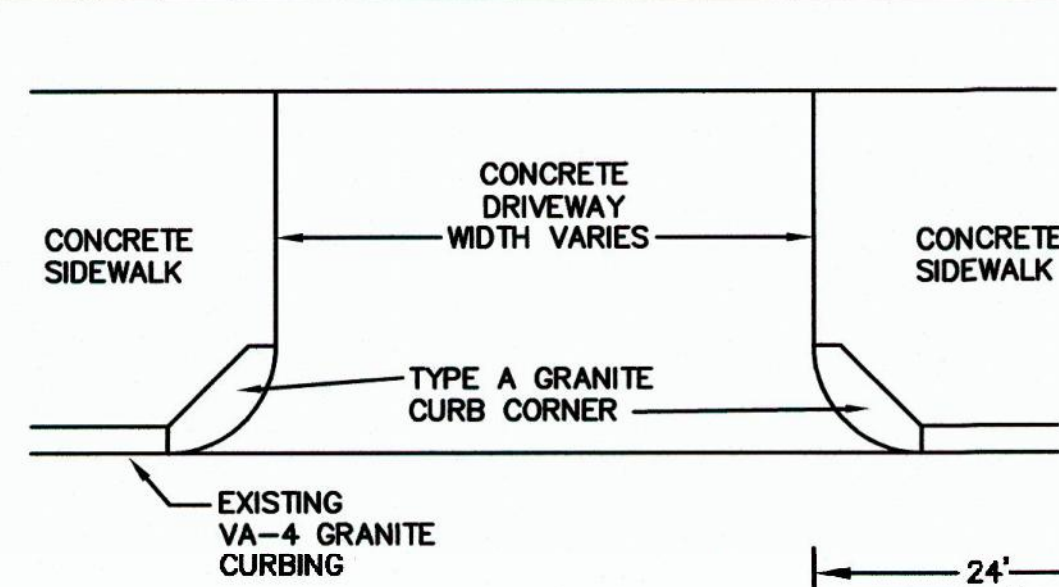
NO.	DATE	DESCRIPTION	BY
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
6/19		BL
BK# 74	FIELD BOOK	PG# 63
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

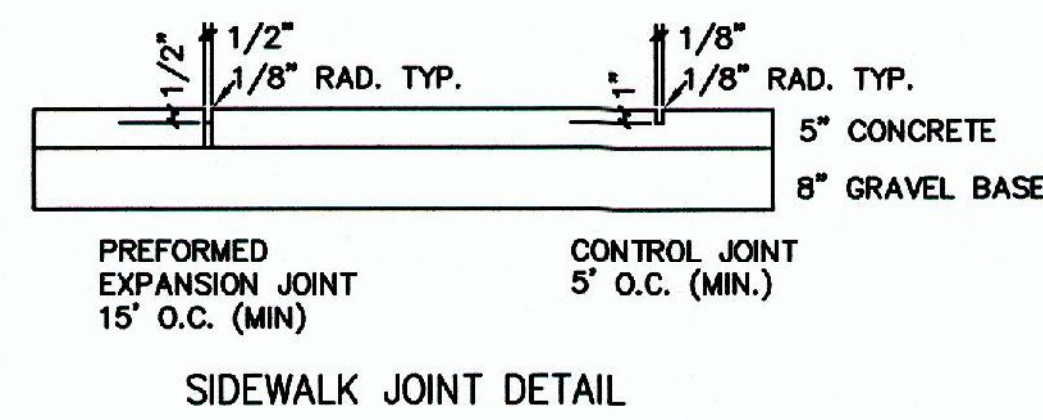
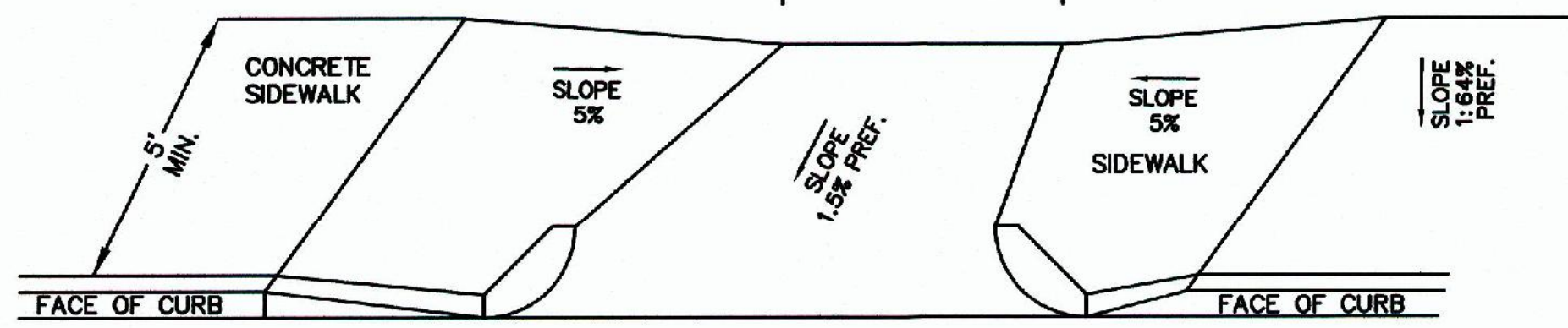
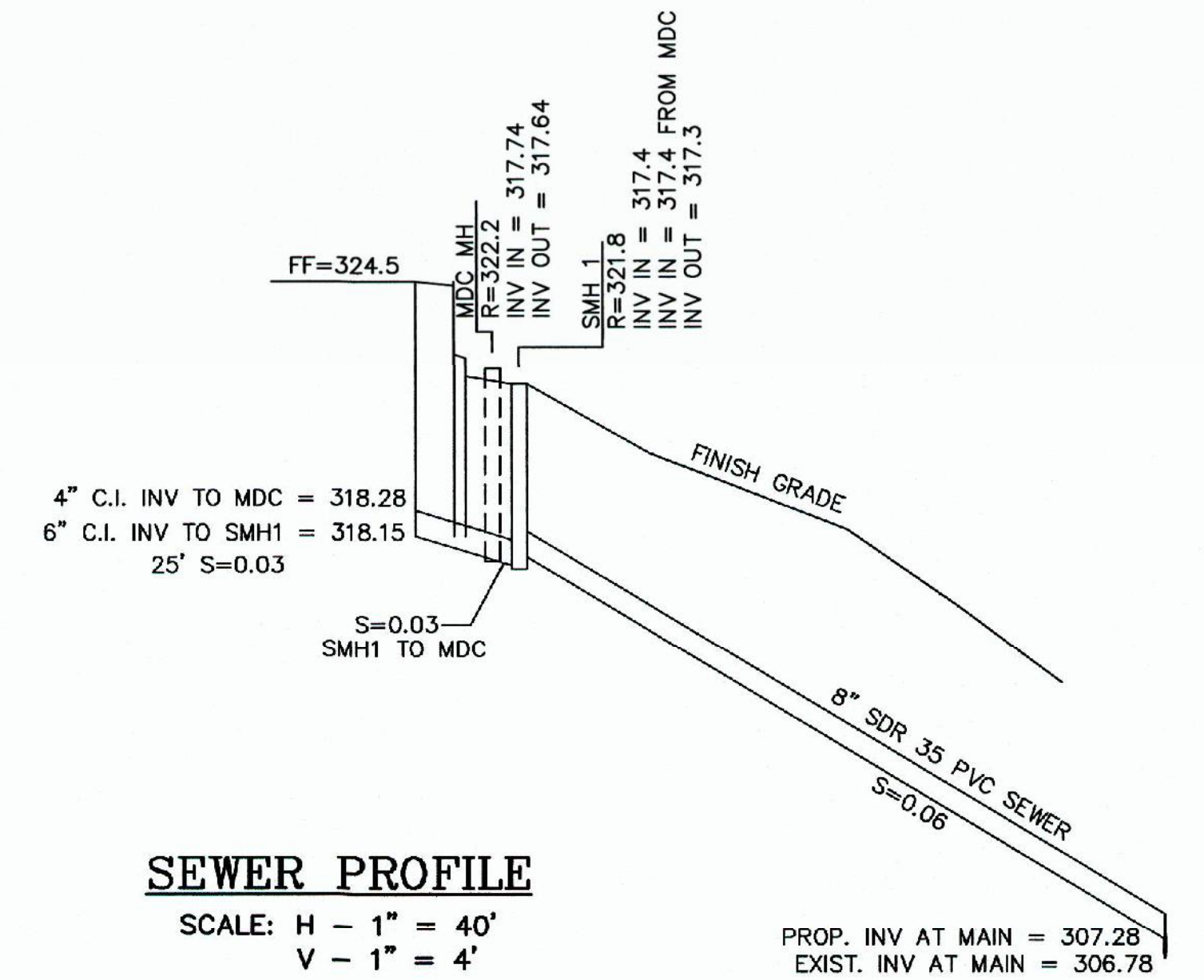
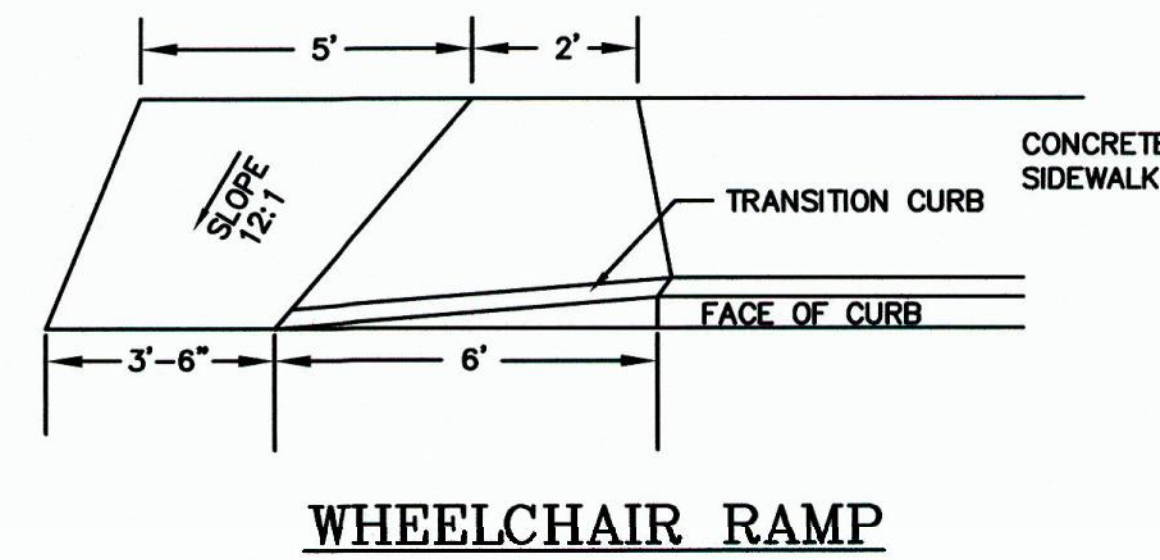
**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6560 FAX 508-384-6566

DATE	MAR. 4, 2020
SCALE	1" = 20'
PROJECT	UC1334
SHEET	8 of 9

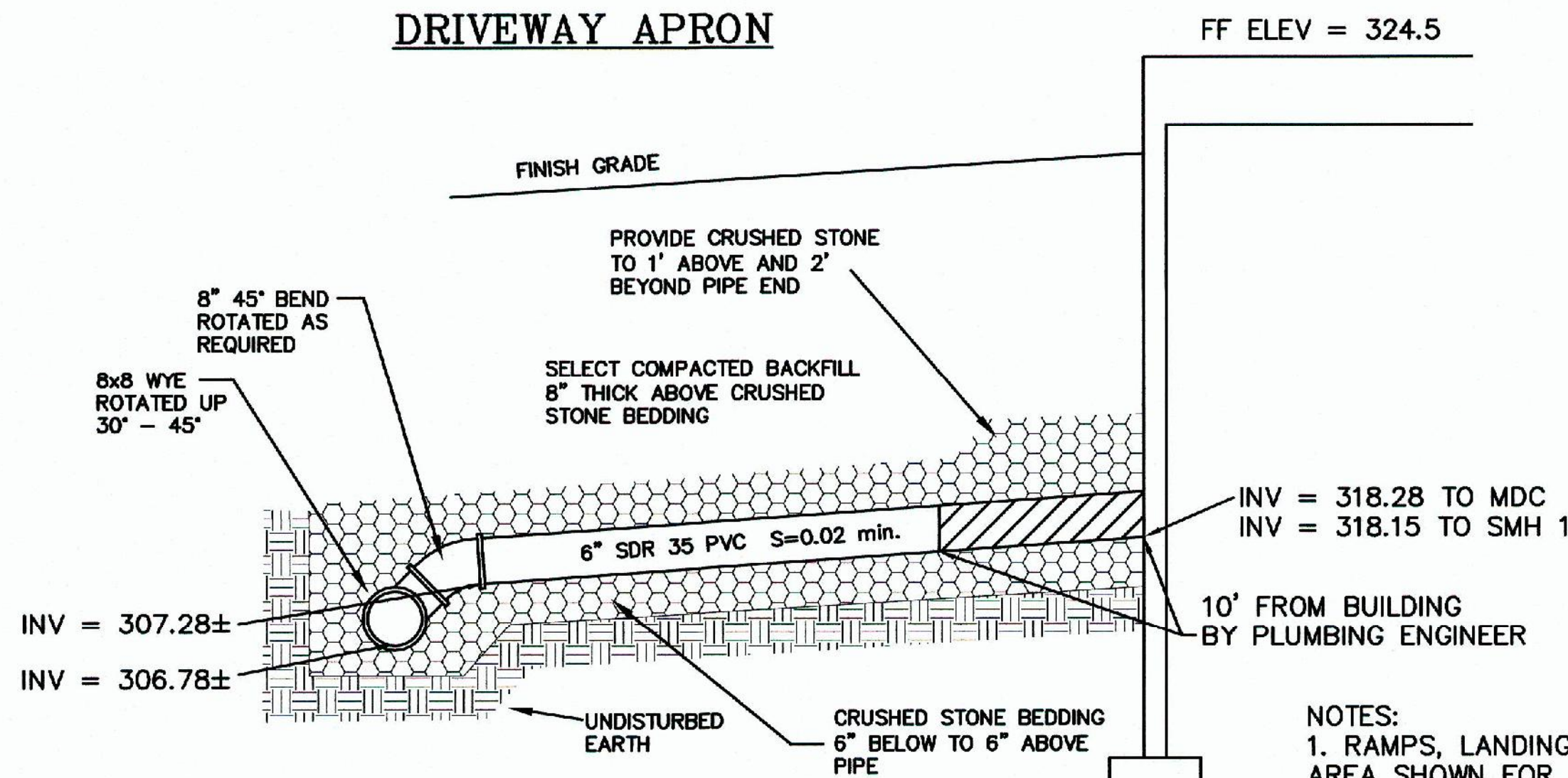




NOTES:  
 1. CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.  
 2. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.  
 3. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.  
 4. GRAVEL UNDER SIDEWALK TO BE M1.03.0 (TYPE B)

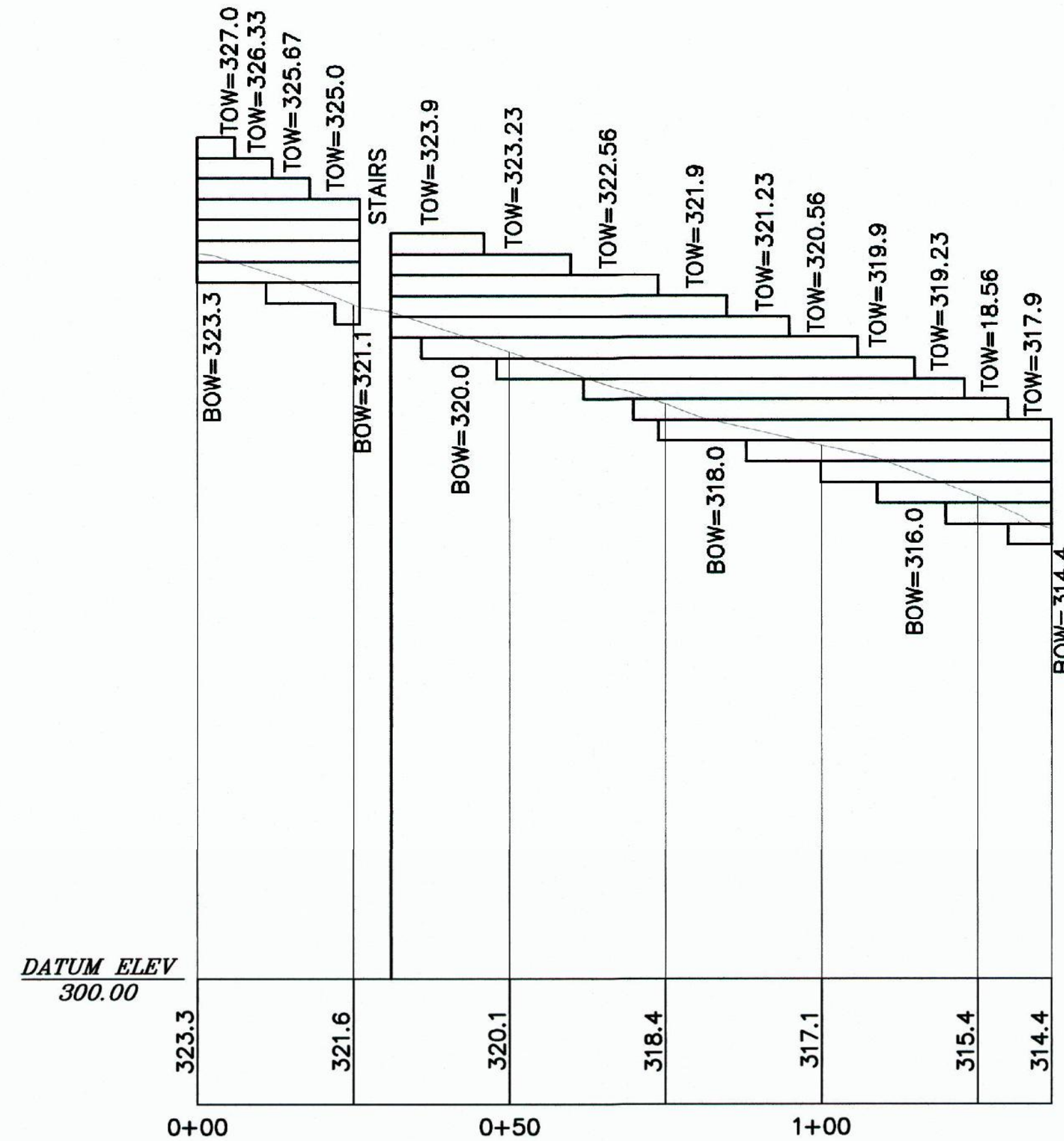


**DRIVEWAY APRON**



**SANITARY SEWER BUILDING SERVICE CONNECTION**

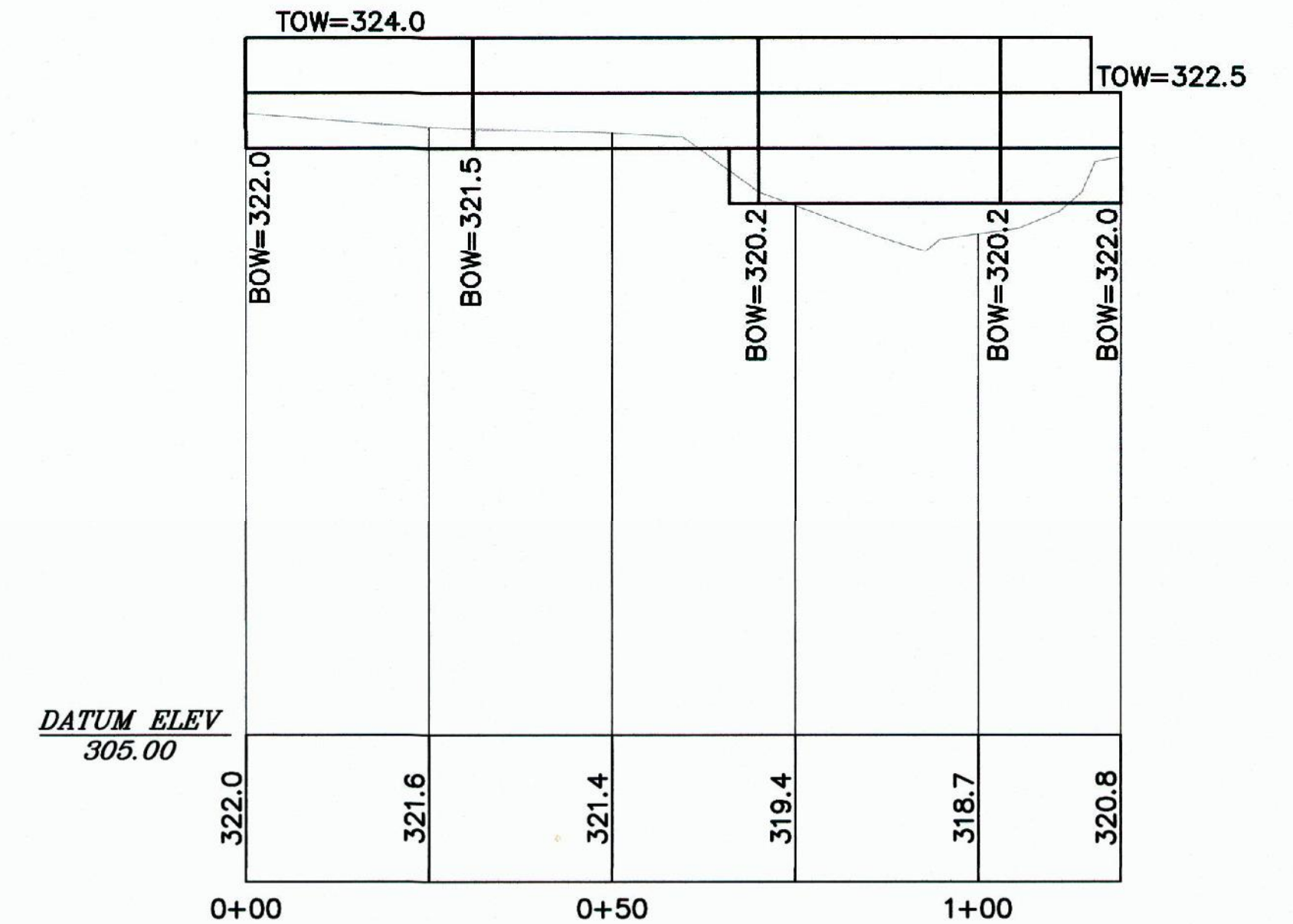
NOTES:  
 1. RAMP, LANDINGS AND ENTRANCE AREA SHOWN FOR GRADING OF THE ACCESSIBLE ROUTE ONLY.  
 2. THE ARCHITECT SHALL PROVIDE CONSTRUCTION DETAILS FOR THE RAMP, LANDINGS AND ENTRANCE AREA.  
 3. RAMP TO INCLUDE HANDRAILS.



**PROPOSED RETAINING WALL #1**

SCALE: H - 1" = 20'

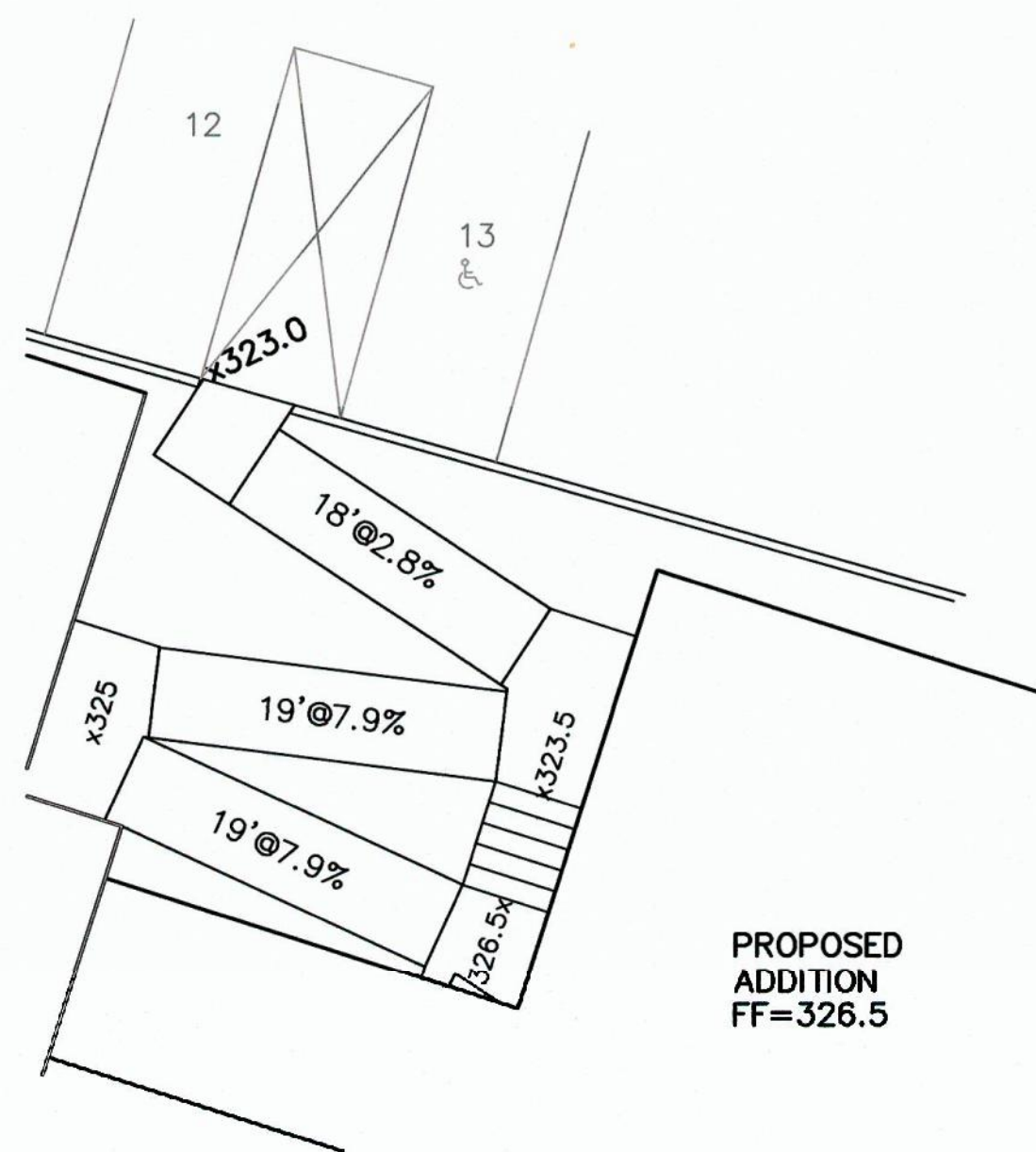
PROPOSED RETAINING WALL # 1 NOTES:  
 1. PROPOSED RETAINING WALL SHOWN TO PROVIDE TOP OF WALL (TOW) AND BOTTOM OF WALL (BOW) ELEVATIONS.  
 2. FINAL WALL DESIGNS TO BE COMPLETED BY A STRUCTURAL ENGINEER AND FILED WITH THE BUILDING DEPARTMENT. AS NECESSARY.  
 3. PROPOSED RETAINING WALLS TO BE ALLEN BLOCKS. BLOCKS TO BE 0.67' IN HEIGHT.



**PROPOSED RETAINING WALL #2**

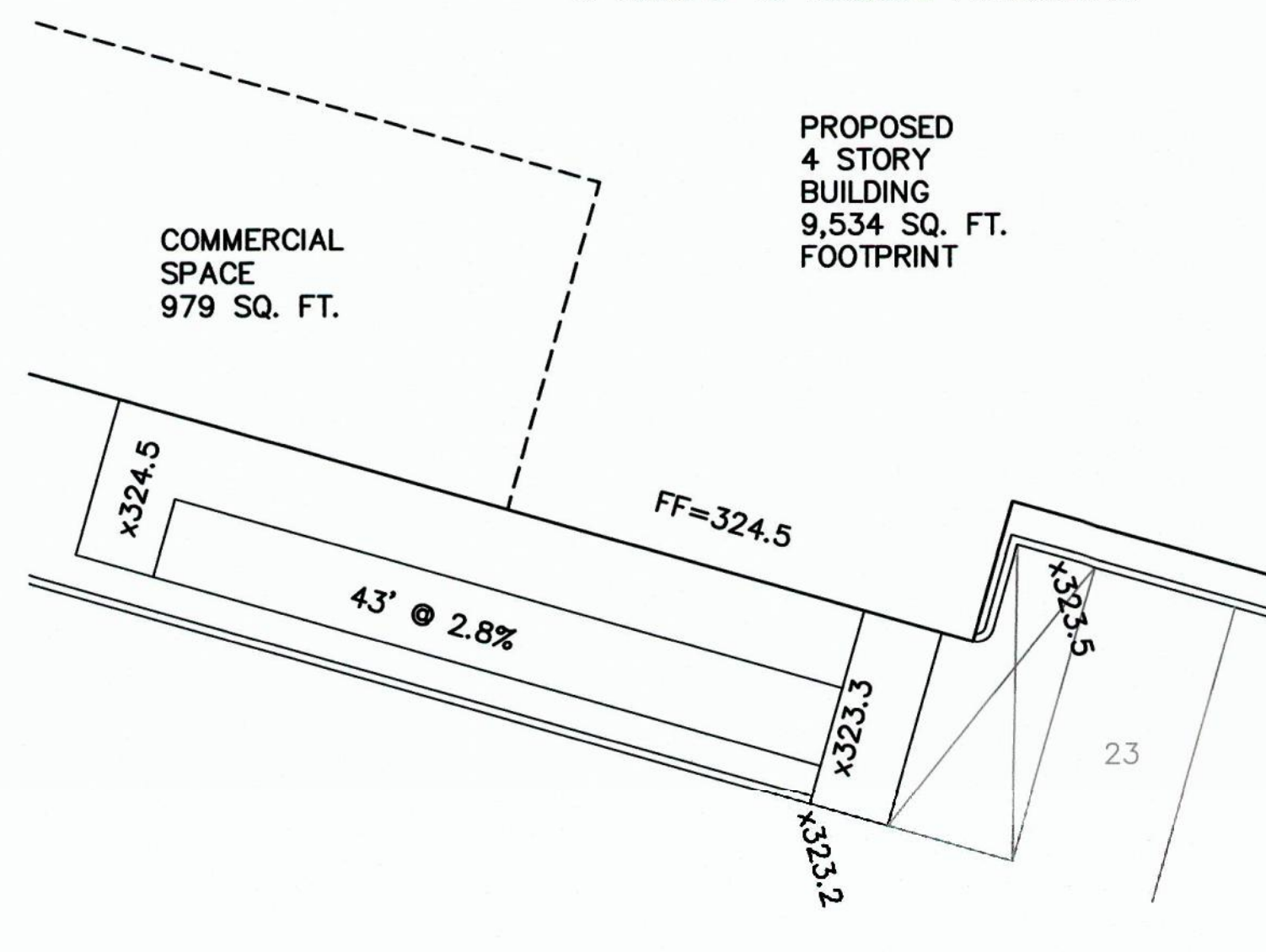
SCALE: H - 1" = 20'

PROPOSED RETAINING WALL # 2 NOTES:  
 1. PROPOSED RETAINING WALL SHOWN TO PROVIDE TOP OF WALL (TOW) AND BOTTOM OF WALL (BOW) ELEVATIONS.  
 2. FINAL WALL DESIGNS TO BE COMPLETED BY A STRUCTURAL ENGINEER AND FILED WITH THE BUILDING DEPARTMENT. AS NECESSARY.  
 3. PROPOSED RETAINING WALLS TO BE REDI ROCK BLOCKS. BLOCK TO BE 1.5 FEET IN HEIGHT.



**ACCESSIBLE ROUTE 88 EAST CENTRAL STREET**

SCALE: 1" = 10'



**ACCESSIBLE ROUTE 94 EAST CENTRAL STREET**

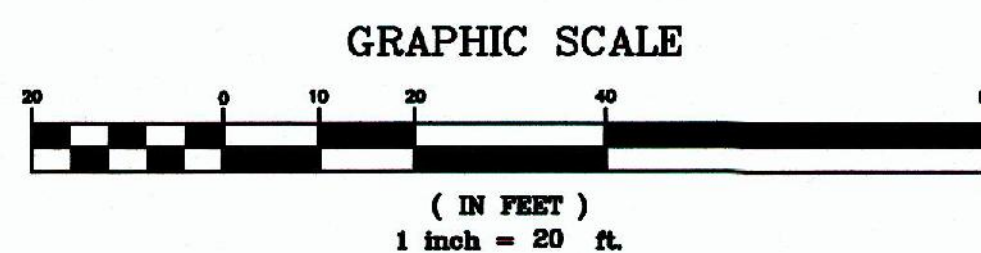
SCALE: 1" = 10'

CARLOS A. QUINTAL  
 CIVIL ENGINEER  
 No. 30812  
 REGISTERED PROFESSIONAL ENGINEER  
 CARLOS A. QUINTAL P.E. #30812

SITE PLAN MODIFICATION  
 CONSTRUCTION DETAIL PLAN - 3  
 70, 72, 88 AND 94 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 MARCH 4, 2020  
 SCALE: 1" = 20'

SITE PLAN APPROVAL  
 REQUIRED  
 FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

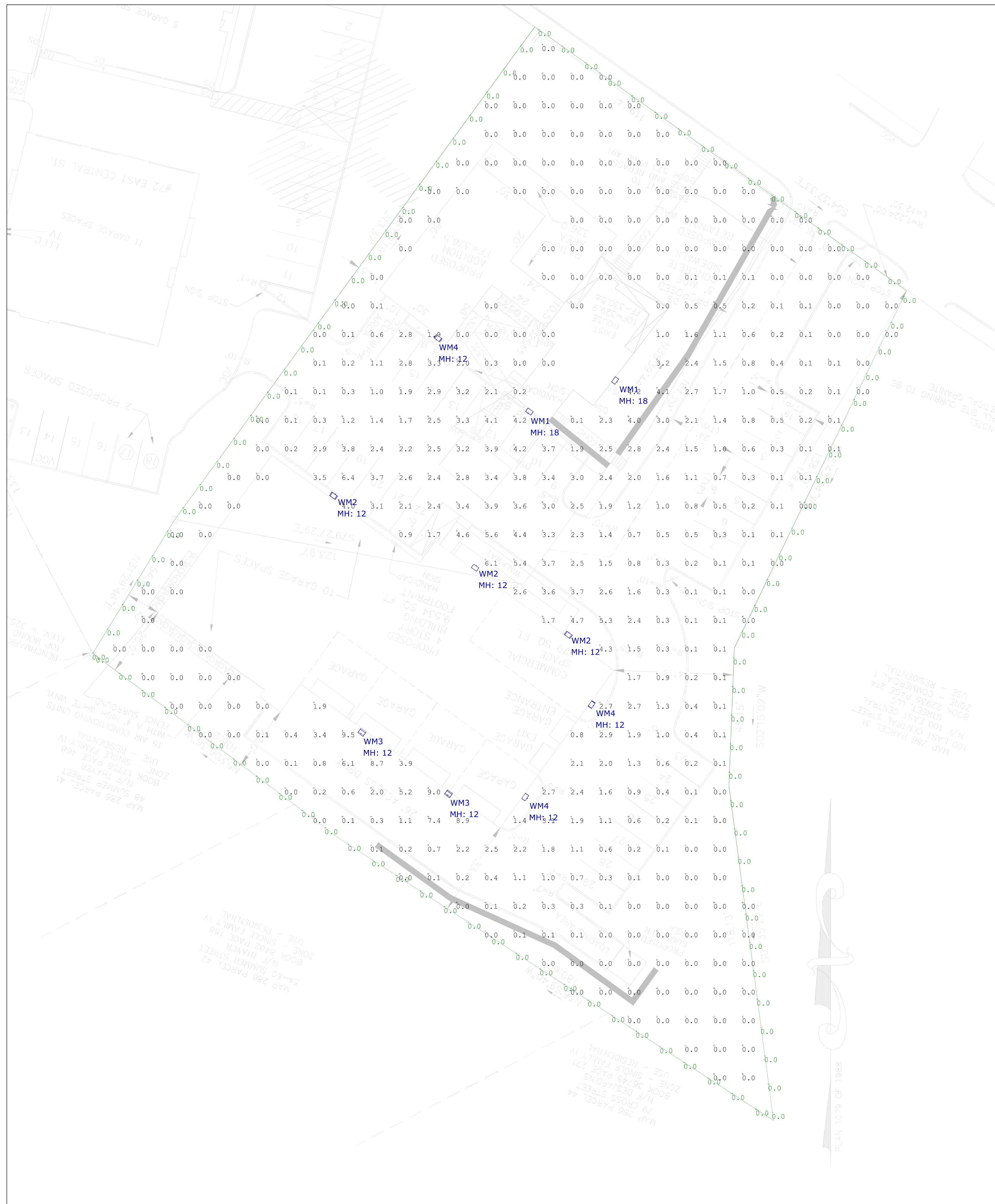
OWNER:  
 MAP 286 PARCELS 32 AND 34  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 OWNER MAP 286 PARCEL 33  
 JOHN AND CARMEL SHERRY  
 88 EAST CENTRAL STREET  
 APPLICANT:  
 70 EAST CENTRAL STREET, LLC  
 37 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

DATE	FIELD BY:	INT.
6/19		BL
BK# 74	FIELD BOOK	PG# 63
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6560 FAX 508-384-6566

DATE  
**MAR. 4, 2020**  
 SCALE  
**1" = 20'**  
 PROJECT  
**UC1334**  
 SHEET  
**9 of 9**





Luminaire Schedule						
Symbol	Label	Qty	Description	LLF	Lum. Watts	Lum. Lumens
□	WM1	2	Xtralight # VNTW-11000L-40K-DIM-4S-BZ	0.900	109.1	10678
□	WM2	3	Xtralight # VNTW-5500L-40K-DIM-4S-BZ	0.900	55.7	6017
□	WM3	2	Xtralight # VNTW-5500L-40K-DIM-2S-BZ	0.900	55.7	5969
□	WM4	3	Xtralight # VNTW-3500L-40K-DIM-4S-BZ	0.900	27.8	3521

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Site Points	Illuminance	Fc	1.00	9.5	0.0	N.A.	N.A.

1 Xtralight Viento

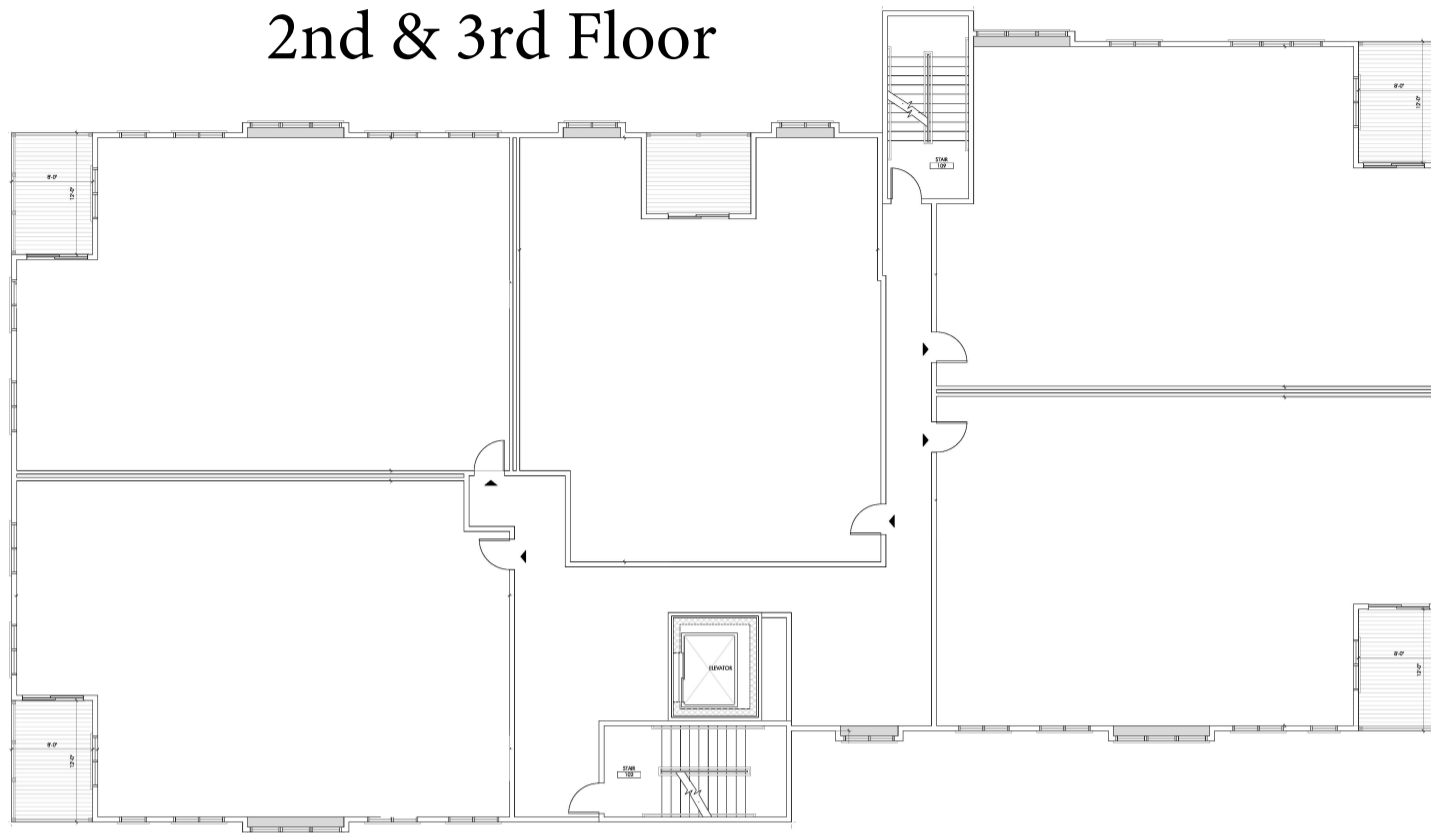
- NOTES:**
- A LIGHT LOSS FACTOR OF 0.900 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
  - SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
  - CALCULATION POINTS ARE TAKEN AT GRADE.
  - CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.

DATE:	REVISIONS	DESCRIPTION	DATE
October 8, 2020	1	Updated for Town Comments	10/08/2020
PROJECT NUMBER:	2		
DRAWN BY: AD	3		
CHECKED BY: HD	4		
APPROVED BY: HD	5		
SCALE: 1"=20'-0"	6		
	7		

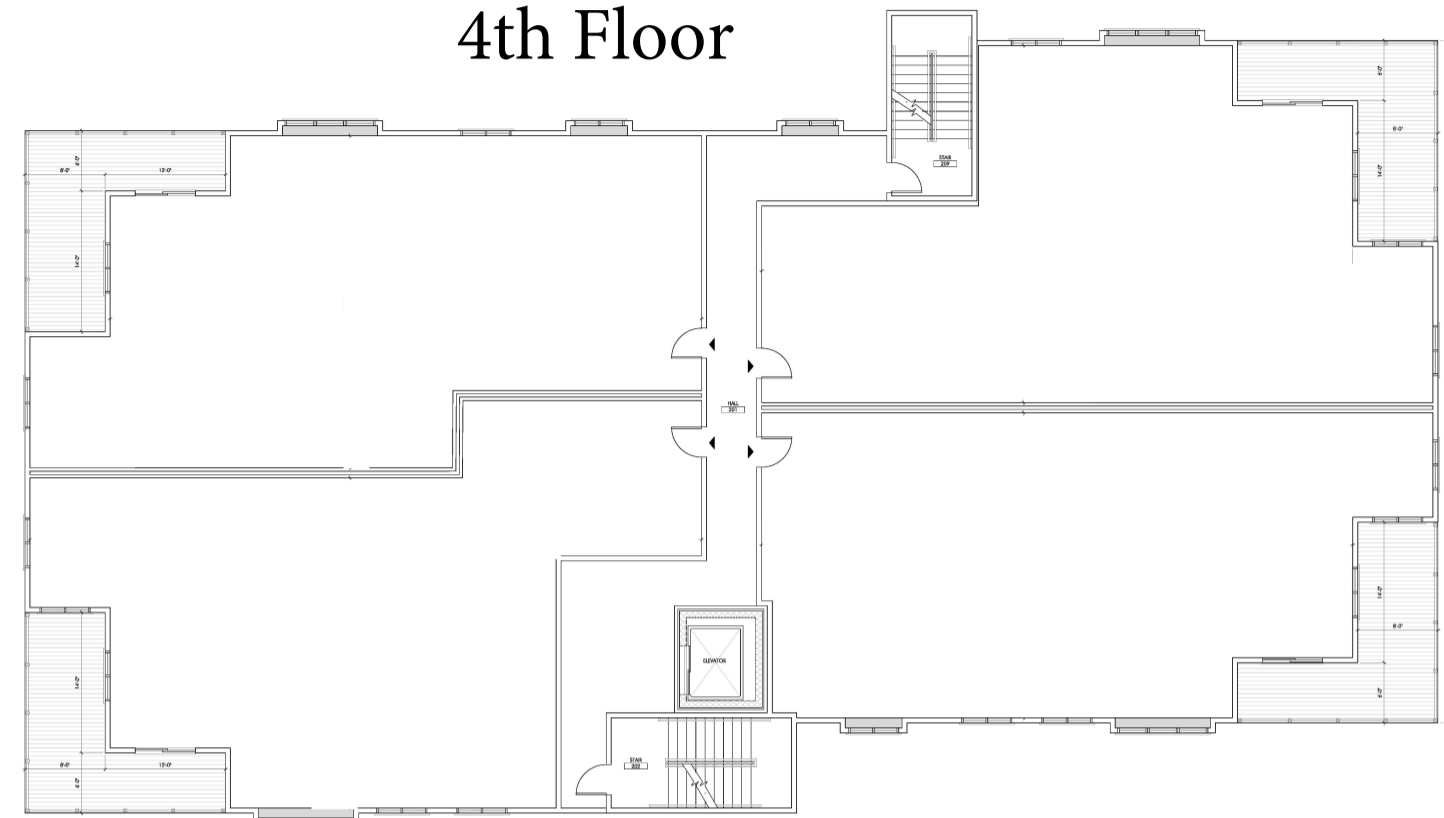


\*This rendering is to demonstrate balcony locations and structure massing

2nd & 3rd Floor



4th Floor





October 14, 2020

Mr. Anthony Padula, Chairman  
355 East Central Street  
Franklin, MA 02038

**Re: 70, 72, 88, and 94 East Central Street  
Site Plan Peer Review Update**

Dear Mr. Padula:

BETA Group, Inc. has reviewed revised documents for the proposed Site Plan Approval application entitled "70, 72, 88, and 94 East Central Street" located in Franklin, Massachusetts. This letter is provided to update findings, comments, and recommendations.

## **BASIS OF REVIEW**

The following documents were received by BETA and formed the basis of the review:

- Plans (10 Sheets) entitled **70, 72, 88, and 94 East Central Street**, revised October 6, 2020, prepared by United Consultants, Inc. of Wrentham, MA
- Drainage Analysis, revised September 14, 2020, prepared by United Consultants, Inc.

Review by BETA included the above items along with the following, as applicable:

- Site Visit
- **Zoning Chapter 185 From the Code of the Town of Franklin**, current through October 2019.
- **Zoning Map of the Town of Franklin, Massachusetts**, attested to April 30, 2019
- **Stormwater Management Chapter 153 From the Code of the Town of Franklin**, Adopted May 2, 2007
- **Subdivision Regulations Chapter 300 From the Code of the Town of Franklin**, current through January 1, 2016.
- **Wetlands Protection Chapter 181 From the Code of the Town of Franklin**, dated August 20, 1997.
- **Town of Franklin Best Development Practices Guidebook**, dated September 2016.

## **INTRODUCTION**

The project area includes three parcels located along East Central Street in the Town of Franklin (the "Site"). Parcel 286-34 includes #70 and #72 East Central Street and is located within the Downtown Commercial District. Parcels 286-33 and 286-32 include #88 and #94 East Central Street, respectively, and are located within the Commercial I District. Surrounding zoning districts include the Downtown Commercial district to the west, the Commercial I district to the east and north, and the Single-Family IV district to the south.

Plans indicate the existing lots are developed with several structures. Numbers 70 and 72 East Central Street are mixed use buildings, with associated site improvements including parking areas, driveways,

water, fire-service, electric, and telecommunications utilities, and landscaping. Numbers 88 and 94 East Central Street are each developed with a single-family residence with associated driveways and walkways.

Topography at the Site is moderate, sloping away from an elevated area within #88 East Central Street. Most of the Site is graded either towards East Central Street or off-site to the southeast. The project is not located within or in proximity to a DEP mapped wetland resource area, an estimated habitat of rare or endangered species, or any other critical area. The site is not located within the Water Resources District or a FEMA-Mapped 100-year flood zone. NRCS soil maps indicate the presence of Hollis-Rock outcrop-Charlton complex with a Hydrologic Soil Group (HSG) rating of D (very low infiltration potential) or Urban Land with no listed HSG rating.

The project proposes to remove the existing residential structure at #94 East Central Street to construct a four story, 9,534 +/- SF structure with mixed residential and commercial uses. The project also proposes to modify #88 East Central Street by demolishing the northernmost portion of the building and constructing a 1,950 +/- SF addition. Access to the buildings will be provided through a reconstructed access driveway from East Central Street that is proposed to run along the western side of the Site. The driveway connects to three parking areas located at the southeast, northeast, and central portions of the Site, respectively and will also connect to the #70/#72 East Central Street site. Associated site developments include new paved parking areas, grading, and lighting. Proposed utilities include domestic water, fire service, and sanitary sewer. Stormwater management is proposed through catch basins, water quality units and a subsurface infiltration system.

## SUMMARY OF CHANGES

The Applicant previously submitted a similar project on the subject lot entitled “70, 72, and 94 East Central Street” which was reviewed by BETA. This revised submission generally includes the following modifications:

- Modification of the existing structure at 88 East Central Street, including demolition of portions of the building and construction of a building addition.
- Adjustment of layout for the proposed building in the northwest portion of the Site.
- Expansion of proposed parking to the northwest portion of the Site and the 88 East Central Street lot.
- Revisions to proposed drainage system to accommodate newly proposed parking areas.

## FINDINGS, COMMENTS AND RECOMMENDATIONS

### GENERAL COMMENTS

- G1. Revise lighting to eliminate spillage over the property line in the area of the 54-60 Summer Street property. Minor spillage is also anticipated along the easterly property line. *UCI: Applicant to provide revised site lighting plan. Added waiver request. Sheet 1. BETA2: The revised lighting plan indicates no spillage at the property lines and the requested waiver appears unnecessary – issue resolved.*



- G2. Revise the Wheelchair Ramp detail to reflect that the proposed sidewalk will be concrete. *UCI: The wheelchair ramp detail has been revised. Sheet 9. BETA2: Detail revised – issue resolved.*
- G3. Clarify why there appears to be numerous angle points proposed in the granite curb line near space No. 17 on the existing #70/#72 lot. *UCI: The plan depicts the existing vertical granite curb at that location. BETA2: Information provided – issue dismissed.*

## ZONING

The Site is primarily located within the Commercial I (CI) District (#88 and #94) with the existing #70/#72 parcel located in the Downtown Commercial (DC) District. The proposed uses of the Site are multi-family residential (14 new units) and commercial. Multi-family use is permitted by Special Permit from the Planning Board, provided that no more than 1 unit per 1,000 sq. ft. of lot area is proposed. Based upon the proposed number of units and area of the lot, it is anticipated that this threshold will not be exceeded. Some commercial uses are permitted by right within the district, while others require Special Permits or are prohibited. No information has been provided for the specific use of the commercial space.

- Z1. Revise the Residential Density calculations on Sheet 3, which should be reflective of any combined lot areas and the correct number of proposed and total dwelling units. The calculation should also reflect the differing densities permitted in the CI and DC districts. *UCI: The Residential Density calculations have been revised and are based on the current lot sizes. Refer to calculations and notes on Sheet 3. BETA2: Calculation provided indicating permitted densities will not be exceeded – issue resolved.*
- Z2. Clarify the intended use of the commercial spaces, if known. *UCI: The commercial spaces use is not known at this time. BETA2: Information provided. BETA defers to the preference of the Board to require limited Site Plan to be filed for commercial tenants.*
- Z3. Confirm the proposed use of modified #88 East Central St. building will be entirely commercial. *UCI: The 88 East Central Street building will be entirely commercial. BETA2: Information provided – issue resolved.*

## SCHEDULE OF LOT, AREA, FRONTAGE, YARD AND HEIGHT REQUIREMENTS (§185 ATTACHMENT 9)

Based upon the information provided on the Zoning Legend the Site's proposed lot and buildings will comply with minimum lot area, frontage, depth, width, front, side, and rear yard dimensions, and maximum impervious coverage for structures and structures plus paving. The project will not comply with the maximum stories (3 permitted, 4 proposed) and maximum height (40 feet permitted, <50 feet proposed) permitted by right. Within the Commercial I District, buildings up to 50 feet in height, regardless of stories, are permitted by a Special Permit from the Planning Board.

- SCH1. Clarify if the proposed easement (Sheet 2) on Lot 286-33 is still required. *UCI: It is anticipated that the existing easement will be no longer necessary once the lots are combined. BETA2: A proposed easement is still shown on the Existing Conditions Plan – issue remains outstanding.*
- SCH2. Recommend providing a draft ANR plan as part of the proposed development package. *UCI: Proposed Parcels "A" and "B" have been added. Sheet 3. The applicant will have draft ANR plan completed and filed if necessary. BETA2: The project no longer proposes to combine any lots and instead proposes several land conveyances, which are required to legally construct the project. The Board may wish to consider a condition of approval that requires the ANR plan to be filed at the Registry prior to endorsement.*



- SCH3. Revise the Zoning Table and notes on Sheet 1 to clearly reflect the current proposal. A note indicates that Map 286 Parcels 32 and 34 (#70/#72 and #94 East Central St. properties, respectively) are to be combined; however, it appears that Map 286 Parcel 33 (#88) is also to be included in the combination. Similarly, the note near the top of the Zoning Table indicates it is for the Commercial I district (#88 and #94), while the table includes the area and frontage for the parcel located in the Downtown Commercial District (#70/#72). The height requirements should be relocated to the section of the table applicable to the #88 and #94 lots. *UCI: The notes has been removed. Sheet 1. The zoning table has been revised to provide the zoning information for 70-72 East Central Street and the proposed 88 and 94 East Central Street sites after property line adjustments. BETA2: Table and notes revised – issue resolved.*
- SCH4. Revise setbacks to be reflective of the combined lots. *UCI: The setbacks have been revised to reflect the three separate lots. Setbacks for #88 and #94 East Central Street are provided based on the property line adjustments. BETA2: Setbacks revised to reflect proposed lot lines – issue resolved.*
- SCH5. Provide architectural plans for the new building layouts. *UCI: The applicant will address this request. BETA2: The Applicant has indicated that the architectural layout of the buildings and site have not changed substantially from the last submission. BETA defers to the preference of the Board and Design Review Commission for requested new or additional information.*

### **PARKING, LOADING AND DRIVEWAY REQUIREMENTS (§185-21)**

Access to the Site will be provided through a 24' (minimum) wide paved driveway from a revised curb cut along East Central Street, which will connect to three small parking areas and the existing parking area associated with #70 and #72 East Central Street. The three new parking areas will provide 29 surface parking spaces and an additional 17 spaces will be provided within five garages in the proposed southerly building (46 total spaces). Minor revisions to the rear of the #70 and #72 East Central Street will result in the loss of one parking space from the Approved Limited Site Plan Modification, dated November 5, 2019. Proposed surface parking spaces are 9' wide by 19' long and two have been designed as accessible (one van), with associated signing and striping.

Section §185-21.B.(2) describes the number of parking spaces required for uses in the Commercial I District. For residential buildings 1.5 spaces must be provided per each dwelling unit and 1 space must be provided for every 500 sq. ft. of commercial space. As 14 dwelling units and 4,085 sq. ft. of commercial space are proposed as part of the new development, a minimum of 30 parking spaces are required. A total of 46 new parking spaces are proposed at the new development. Although one parking space will be lost at the existing #70 and #70 East Central Street site, calculations have been provided that indicate an excess of 15 spaces above the bylaw requirements will be provided.

The development proposes 30 new outdoor parking spaces and will be subject to the Screening requirements of §185-35.B. Vegetative screening (arborvitae) is provided to the south and an existing 4' high stockade fence is proposed to be retained along the eastern property line. Sections were provided in the previous submission to depict the existing fence and proposed plantings in general alignment with anticipated headlight glare. Based upon previous discussions, BETA assumes the Board is satisfied that the existing stockade fence is adequate for screening.

- P1. Recommend reducing the spacing (currently 10' o.c.) of the arborvitaes to provide a denser line of screening. *UCI: Arborvitaes spacing to be 10 feet on center. Additional arborvitaes have been*

*added. Refer to BETA Landscape Architect suggested spacing. BETA2: After consultation with our landscape architect the proposed spacing was determined to be adequate – issue dismissed.*

- P2. Provide the layout for the proposed 10-space parking garage. *UCI: The nine parking spaces have been added to the garage area. Sheet 3. BETA2: Layout provided – issue resolved.*
- P3. Confirm through turning movements that a passenger vehicle can adequately maneuver into the 10-space parking garage entrance and a waste collection vehicle can adequately access the dumpster area. *UCI: Parking space 30 was eliminated and the dumpster access area was revised. Trash truck and passenger vehicle route details were added to Sheet 8. BETA2: Layout modified and turning movements provided – issue resolved.*
- P3A. Since lots are no longer proposed be combined, provide any required easements rights for parking, site, and dumpster access.

### **SIDEWALKS (§185-28)**

The project is located within the Commercial I Zoning District and is required to provide concrete sidewalks along the street frontage unless the Board determines that site conditions preclude their usefulness. An existing sidewalk is located along the street frontage and is proposed to remain, except to accommodate the reconstructed driveway. An internal sidewalk is proposed to connect East Central Street to the #88 and #84 buildings.

- SI1. Recommend providing a striped crosswalk from the sidewalk wheelchair ramp to the 94 East Central Street accessible route. *UCI: A cross walk has been added. Sheet 3. BETA2: Crosswalk provided – issue resolved.*
- SI2. Due to the proposed grading on the new sidewalk, handrails or landings may be required to comply with Massachusetts Architectural Access Board Regulations. *UCI: A detail of the proposed entrance sidewalk has been added. Sheet 8. BETA2: Detail provided that depicts compliance with MAAB regulations – issue resolved.*

### **CURBING (§185-29)**

Vertical granite curbing is proposed throughout the project.

### **SITE PLAN REVIEW (§185-31)**

The proposed development is subject to Site Plan Review and must comply with the requirements of this section. Drawing requirements per (§185-31.C(3)) are included in the plan set.

### **UTILITIES**

The proposed development is shown to be serviced by water, sewer, gas and electric utilities. Detailed review of utilities is anticipated to be provided by the DPW.

- U1. Consult the DPW and clarify how sewer lines will be connected on-site and in the Town right-of-way (e.g. tees or bends and wyes) and if any cleanouts are required. *UCI: A sewer profile has been provided on Sheet 9 which includes manholes at connection points from the proposed 94 building. The proposed sewer service from the proposed 88 building will include one bend and a wye connection at the main. We have contacted the DPW and will address the sewer connection to 88 East Central Street prior to construction. BETA2: Information provided. Recommend to note*

**locations of proposed bend and wye connections on final plans. BETA defers to the DPW for additional comment.**

## STORMWATER MANAGEMENT

The project proposes to direct runoff from most impervious areas into closed drainage systems comprised of roof leaders, catch basins, manholes, stormwater quality units, and subsurface infiltration systems. A portion of the roof, which does not require treatment, will be discharged to the rear of the site. The majority of runoff from new impervious surfaces will be directed to a new subsurface infiltration system and a portion of the runoff will be directed to the existing stormwater systems located on the #70/#72 East Central Street site. Overflows from the new stormwater system will be directed to East Central Street through a direct connection to the Town drainage system.

### GENERAL

- SW1. Provide the size/material for the roof leader connections to the subsurface infiltration system. *UCI: Additional labels have been added. Sheet 4. BETA2: Information provided – issue resolved.*
- SW2. Revise the waiver request on the cover sheet to include the proposed PVC pipe associated with the roof leaders at the rear of the site. BETA notes the Board may require the roof leader to transition to RCP as it crosses the driveway. *UCI: The suggested waiver has been provided. Waiver request 2 sheet 1. The drain pipe material at the rear of the building has been revised to RCP. BETA2: Material labels provided – issue resolved.*
- SW3. Include the missing 324 contour between the southerly garages (el. 324.5) and CB95 (el. 323.0). *UCI: The contour has been added. Sheet 4. BETA2: Contour provided – issue resolved.*
- SW4. Provide spot grades at the concrete dumpster pad to show positive drainage toward CB96. *UCI: Spot grades have been added. Sheet 4. BETA2: Grading information provided – issue resolved.*

### MASSACHUSETTS STORMWATER MANAGEMENT STANDARDS:

The project is not located in proximity to wetland resources and will disturb greater than one acre; therefore, the project is subject to the Town of Franklin Stormwater Management Regulations (§300-11). The project must comply with all local, state, and federal requirements, including the Massachusetts Stormwater Management Standards, Town of Franklin's Subdivision of Land Stormwater Management Regulations, as applicable, and the Town of Franklin Best Development Practices Guidebook.

**No untreated stormwater (Standard Number 1):** *No new stormwater conveyances (e.g., outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.*

The project does not propose any new untreated stormwater discharges to wetlands – **complies with standard.**

**Post-development peak discharge rates (Standard Number 2):** *Stormwater management systems must be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.*

The project proposes an increase in impervious area and will use a subsurface infiltration system to mitigate increases in post-development peak discharge rates and total runoff volumes.

SW5. Although the provided calculations demonstrate a reduction in peak runoff rates and volumes directed to the rear of the site, the proposed roof discharge will create a concentrated flow toward the 79 Cross Street property, which does not exist today. Recommend providing separate discharges for each roof leader to spread the flow across the rear property line to mimic existing conditions. *UCI: The proposed roof drain discharge pipe is for approximately 2,924 sq. ft. or the roof area. The remaining rear roof will discharge to three separate roof leader locations. The front of the roof will be directed to the underground pond.* **BETA2: Information provided – issue dismissed.**

**Recharge to groundwater (Standard Number 3):** *Loss of annual recharge to groundwater should be minimized through the use of infiltration measures to maximum extent practicable.*

NRCS soil maps indicate the presence of Hollis-Rock outcrop-Charlton complex with a Hydrologic Soil Group (HSG) rating of D (very low infiltration potential) or Urban Land with no listed HSG rating. Test pit logs indicate the presence of sandy loam in the vicinity of the proposed subsurface infiltration system and saturated hydraulic conductivity testing at these locates indicates exfiltration rates between 0.648 in/hr and 0.786 in/hr. The proponent proposes a subsurface infiltration system to provide groundwater recharge and has used an exfiltration rate of 0.324 in/hr (50% of the lowest measured value). BETA notes that an agent of the Town will confirm the subsurface soil conditions during construction. The infiltration system has been designed to provide a recharge volume in excess of that required and will drain within 72 hrs.

**80% TSS Removal (Standard Number 4):** *For new development, stormwater management systems must be designed to remove 80% of the annual load of Total Suspended Solids.*

The project proposes to direct runoff from most impervious areas into closed drainage systems comprised of roof leaders, catch basins, manholes, stormwater quality units, and subsurface infiltration systems. A portion of the roof, which does not require treatment, will be discharged to the rear of the site. The majority of runoff from new impervious surfaces will be directed to a new subsurface infiltration system and a portion of the runoff will be directed to the existing stormwater systems located on the #70/#72 East Central Street site. A long-term pollution prevention plan was included as part of the Drainage Analysis.

SW6. Provide TSS removal calculation for subwatershed 93 area. *UCI: A copy of the TSS removal worksheet for 70 East Central Street dated 2/28/2018 is being provided.* **BETA2: Information provided – issue resolved.**

**Higher Potential Pollutant Loads (Standard Number 5):** *Stormwater discharges from Land Uses with Higher Potential Pollutant Loads require the use of specific stormwater management BMPs.*

The project does not propose any Land Uses with Higher Potential Pollutant Loads – **not applicable.**

**Critical Areas (Standard Number 6):** *Stormwater discharges to critical areas must utilize certain stormwater management BMPs approved for critical areas.*

The project does not propose any discharges to a critical area – **not applicable.**

**Redevelopment (Standard Number 7):** *Redevelopment of previously developed sites must meet the Stormwater Management Standards to the maximum extent practicable.*

The project is being designed as a new development – **not applicable.**

Mr. Anthony Padula, Chairman

October 14, 2020

Page 8 of 8

**Construction Period Erosion and Sediment Controls (Standard Number 8):** *Erosion and sediment controls must be implemented to prevent impacts during construction or land disturbance activities.*

The project as currently depicted will disturb greater than one acre of land; therefore, a Notice of Intent with EPA and a Stormwater Pollution Prevention Plan (SWPPP) is required. The project proposes the use of erosion control barrier (compost sock) and a stabilized construction entrance. An Erosion Control Plan with notes, construction sequence, and details are included in the Plan Set.

SW14. If permitted by the Town of Franklin, provide catch basin inlet protection for the catch basin located immediately east of the site entrance on East Central Street. BETA defers to the preference of the DPW on this issue. *UCI: A noted has been added. Sheet 6. BETA2: Note provided – issue resolved.*

SW15. Revise location of proposed erosion barrier along the #70/#72 property line to extend across the proposed driveway connection and to the bottom of slope on the regraded hill. *UCI: The erosion control barrier has been extended. Sheet 6. BETA2: Erosion control barrier location revised – issue resolved.*

SW16. Provide erosion control barrier along the front of the #88 East Central Street property, which will have soil disturbance associated with the building addition and retaining wall. *UCI: The erosion control barrier has been added. Sheet 6. BETA2: Erosion control barrier location revised – issue resolved.*

**Operations/maintenance plan (Standard Number 9):** *A Long-Term Operation and Maintenance Plan shall be developed and implemented to ensure that stormwater management systems function as designed.*

A Long-Term Operation and Maintenance (O&M) Plan has been provided as part of the Erosion Control Plan and within the Drainage Analysis.

**Illicit Discharges (Standard Number 10):** *All illicit discharges to the stormwater management systems are prohibited.*

An Illicit Discharge Compliance Statement was included in the Drainage Analysis.

If we can be of any further assistance regarding this matter, please contact us at our office.

Very truly yours,  
BETA Group, Inc.



Matthew J. Crowley, PE  
Project Manager



Stephen Borgatti  
Staff Engineer

cc: Amy Love, Planner



# TOWN OF FRANKLIN

## DEPARTMENT OF PUBLIC WORKS

Franklin Municipal Building

257 Fisher Street

Franklin, MA 02038-3026

October 15, 2020

Mr. Anthony Padula, Chairman  
Members of the Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

**RE: Special Permit and Site Plan Review –  
Mixed Use Commercial and Residential Building, 94 East Central St**

Dear Mr. Chairman and Members:

We have recently met with the applicant to review the proposed utility connections for the project and the applicant has agreed to incorporate changes into the final plans to be endorsed if the project is approved.

We do not have any further comments at this time.

Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

Michael Maglio, P.E.  
Town Engineer



## **FRANKLIN PLANNING & COMMUNITY DEVELOPMENT**

355 EAST CENTRAL STREET  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907  
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**DATE:** October 14, 2020  
**TO:** Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 70, 72 88 & 94 East Central Street  
Special Permit and Site Plan – Mixed Use

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The DPCD has reviewed the above reference Special Permit and Site Plan Application for a Mixed-Use development for the Monday, October 19, 2020 Planning Board meeting and offers the following commentary:

### **General**

1. The project is located at 70 East Central Street in the Commercial I Zoning District (Assessor's Map 286, Lot 032).
2. The applicant is proposing to construct a four (4) story, mixed used building and single family house with, a total of Fourteen (14) residential units and, with retail/office on the first floor with drainage, grading, parking and other associated infrastructure. There are two existing single-family residential houses which one will be demolished and the second is included in the plans.
3. Two Special Permits have been filed
  - Zoning By-Law §185 Attachment 9: Maximum Height of Building: (Note 9) – requires applicant to file a Special Permit for Stories and/or feet of the structure. The Applicant is proposing a four story, 49.5 foot building.
  - Zoning By-Law §185 Attachment 7: Multifamily authorized under Special Permit Planning Board for Commercial I zoning District.

### **Waiver Requests:**

1. To allow less than 42" of cover over the RCP drain pipe proposed class V RCP.
2. To allow the use of HDPE pipe from catch basin 92 to the pond, from the pond to drain manhole 93, from the trench drain to drain manhole 91 and the roof leader collection system to the pond.

### **Comments:**

1. DPW and BETA have provided comments.
2. Color Renderings should be included in the endorsed plans.
3. DPCD has no further comments.



**ROLE CALL VOTE:**

This determination shall be in addition to the following specific findings:

1. **Special Permits VOTE:** §185 Attachment 9: Maximum Height of Building and §185 Attachment 7: Multifamily.

*If you vote NO on any of the following, please state reason why you are voting NO:*

- (a) Proposed project addresses or is consistent with neighborhood or Town need.

Joseph Halligan	YES	NO	Rick Power	YES	NO
William David	YES	NO	Gregory Rondeau	YES	NO

- (b) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.

Joseph Halligan	YES	NO	Rick Power	YES	NO
William David	YES	NO	Gregory Rondeau	YES	NO

- (c) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.

Joseph Halligan	YES	NO	Rick Power	YES	NO
William David	YES	NO	Gregory Rondeau	YES	NO

- (d) Neighborhood character and social structure will not be negatively impacted.

Joseph Halligan	YES	NO	Rick Power	YES	NO
William David	YES	NO	Gregory Rondeau	YES	NO

- (e) Project will not destroy or cause substantial damage to any environmentally-significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication or compensatory measures are adequate.

Joseph Halligan	YES	NO	Rick Power	YES	NO
William David	YES	NO	Gregory Rondeau	YES	NO

- (f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.

Joseph Halligan	YES	NO	Rick Power	YES	NO
William David	YES	NO	Gregory Rondeau	YES	NO

- (g) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.

Joseph Halligan	YES	NO	Rick Power	YES	NO
William David	YES	NO	Gregory Rondeau	YES	NO



The proposed use will not have adverse effects which overbalance its beneficial effects on either the neighborhood or the Town, in view of the particular characteristics of the site and of the proposal in relation to that site.

Joseph Halligan	YES	NO	Rick Power	YES	NO
William David	YES	NO	Gregory Rondeau	YES	NO

**Suggested Standard Conditions of Approval:**

1. This Special Permit shall not be construed to run with the land and shall run with the Site Plan as endorsed by the Planning Board. A new Special Permit shall be required from the Planning Board if any major change of use or major change to the site plan is proposed.
2. This Special Permit shall lapse if a substantial use or construction has not begun, except for good cause, within twenty four (24) months of approval, unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the Special Permit have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #4.
3. Construction or operations under this Special Permit shall conform to any subsequent amendment of the Town of Franklin Zoning Bylaw (§185) unless the use or construction is commenced within a period of six (6) months after the issuance of this Special Permit and, in cases involving construction, unless such construction is continued through to completion as continuously and expeditiously as is reasonable.
4. The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
5. Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form H). Said inspection is further outlined in condition #4.
6. No alteration of the Special Permit and the plans associated with it shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
7. All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
8. Prior to the endorsement of the site plan, the following shall be done:
  - The owner/applicant shall make a notation on the site plan that references the Special Permit and the conditions and dates of this Certificate of Vote.

- A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
  - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
  - The owner/applicant shall submit a minimum of six copies of the approved version of the plan.
9. Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
  10. The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.

**INSTRUCTIONS:**

1. Sheet is nonautomated. Print sheet and complete using hand calculations. Column A and B: See MassDEP Structural BMP Table
2. The calculations must be completed using the Column Headings specified in Chart and Not the Excel Column Headings
3. To complete Chart Column D, multiple Column B value within Row x Column C value within Row
4. To complete Chart Column E value, subtract Column D value within Row from Column C value within Row
5. Total TSS Removal = Sum All Values in Column D

Location: 70 East Carroll St. Franklin

A	B	C	D	E
BMP <sup>1</sup>	TSS Removal Rate <sup>1</sup>	Starting TSS Load*	Removed (B*C)	Remaining Load (C-D)
Deep Sump Hooded Catch Basin	25%	1.00	25%	75%
CDS UNIT	69%	75%	52%	23%

Separate Form Needs to be Completed for Each Outlet or BMP Train

Total TSS Removal = 77

Project: 70 East Carroll  
 Prepared By: RPT  
 Date: 2/24/18

\*Equals remaining load from previous BMP (E) which enters the BMP