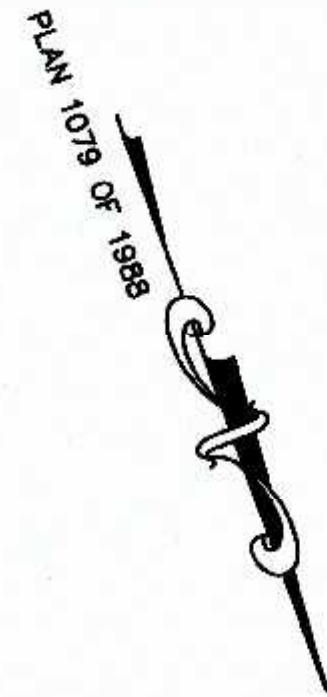


SITE PLAN MODIFICATION

70, 72, 88 AND 94 EAST CENTRAL STREET



LOCUS MAP
SCALE: 1" = 100'

70 AND 72 EAST CENTRAL STREET PROPERTY ARE LOCATED WITHIN A DOWNTOWN COMMERCIAL ZONE.
88 AND 94 EAST CENTRAL STREET PROPERTY ARE LOCATED WITHIN A COMMERCIAL I ZONE.
ZONING TABLE VALUES FOR #94 AND # 88 EAST CENTRAL STREET ARE BASED ON PARCELS "A" AND "B" BEING PART OF #94 EAST CENTRAL STREET AND ARE NOT REFLECTED AS PART OF # 88 EAST CENTRAL STREET.

#94 EAST CENTRAL STREET - COMMERCIAL I ZONING DISTRICT			
	REQUIREMENTS:	EXISTING	PROPOSED
AREA:	5,000 S.F.	33,725± S.F.	37,203± S.F.
FRONTAGE:	50'	49.02'	50.00'
DEPTH:	50'	268'	268'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	# 94 4 STORIES < 50' SEE ARCHITECTURAL PLANS
WIDTH:	45'	>45'	>45'
SETBACKS			
FRONT:	20' *1	160.3'	167.5'
SIDE:	10' *14	24.6'	10.5'
REAR:	15'	35.5'	22.0'
COVERAGE			
STRUCTURES:	80%	5%	25.6%
STRUC. & PAVING:	90%	27%	67.5%

#88 EAST CENTRAL STREET - COMMERCIAL I ZONING DISTRICT			
	REQUIREMENTS:	EXISTING	PROPOSED
AREA:	5,000 S.F.	20,889± S.F.	17,411± S.F.
FRONTAGE:	50'	110.41'	109.43'
DEPTH:	50'	212'	212'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	# 88 2 STORIES < 50' SEE ARCHITECTURAL PLANS
WIDTH:	45'	>45'	>45'
SETBACKS			
FRONT:	20' *1	51.8'	50.6'
SIDE:	10' *14	15.0'	10.5'
REAR:	15'	25.9'	46.1'
COVERAGE			
STRUCTURES:	80%	6.5%	19.4%
STRUC. & PAVING:	90%	17.1%	58.4%

#70-72 EAST CENTRAL STREET - DOWNTOWN COMMERCIAL ZONING DISTRICT			
	REQUIREMENTS:	EXISTING	PROPOSED
DOWNTOWN COM.	5,000 S.F.	32,810 S.F.	32,810± S.F.
AREA:	50'	186.07'	186.07'
FRONTAGE:	50'	266'	266'
DEPTH:	3 STORIES - 40' *9	2 STORIES	4 STORIES - 49.5'
WIDTH:	45'	>45'	>45'
SETBACKS-			
FRONT:	15' *10	20.7'	15.7'
SIDE:	0' *2	25.2'	15.0' & 5'
REAR:	15'	105'	23.3' & 17.5'
COVERAGE -			
STRUCTURES:	80%	7.6%	26%
STRUC. & PAVING:	90%	19.2%	65.5%

THE ABOVE INFORMATION WAS TAKEN FROM THE APPROVED SITE PLAN FOR 70 - 72 EAST CENTRAL STREET.

- *1 - BUT NO NEW STRUCTURE SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN EXISTED ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.
- *14 - THE 10-FOOT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF THE LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT, A 20-FOOT SETBACK IS REQUIRED ON THE ABUTTING SIDE.
- *15 - BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

REQUIREMENTS FOR 94 EAST CENTRAL STREET ZONE COMMERCIAL I EXISTING AND PROPOSED LOT AREA, FRONTAGE, DEPTH, WIDTH AND COVERAGE BASED ON THE LOTS BEING COMBINED, BUILDING HEIGHT, AND SETBACKS BASED ON EXISTING AND PROPOSED BUILDINGS LOCATED ON 88 AND 94 EAST CENTRAL STREET.
PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT.
THE PROPERTY IS LOCATED IN A ZONE C BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

94 EAST CENTRAL STREET:
EXISTING BUILDING USE RESIDENTIAL
PROPOSED BUILDING USE MIXED WITH RESIDENTIAL.

88 EAST CENTRAL STREET
EXISTING BUILDING USE RESIDENTIAL
PROPOSED BUILDING USE COMMERCIAL.

70-72 EAST CENTRAL STREET
CURRENT BUILDING USE MIXED WITH RESIDENTIAL.

DRAWING INDEX:

1. COVER SHEET
 2. EXISTING CONDITIONS PLAN
 3. SITE LAYOUT PLAN
 4. SITE GRADING AND UTILITY PLAN
 5. SITE PLANTING PLAN
 6. EROSION CONTROL PLAN
 7. CONSTRUCTION DETAILS
 8. CONSTRUCTION DETAILS
 9. CONSTRUCTION DETAILS
- SITE LIGHTING-LIGHTING PLAN,
PHOTOMETRICS AND SCHEDULES
BY SK & ASSOCIATES

OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION COVER SHEET

70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 100'

- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

- WAIVER REQUESTS:
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
 2. TO ALLOW THE USE OF HPDE PIPE FROM CATCH BASIN 92 TO THE UNDERGROUND POND, FROM THE UNDERGROUND POND TO DRAIN MANHOLE 93, THE ROOF LEADER COLLECTION SYSTEM AND FROM ROOF LEADER CONNECTION TO THE UNDERGROUND POND.
 3. TO ALLOW THE SITE LIGHTING TO EXTEND PAST THE PROPERTY LINE.

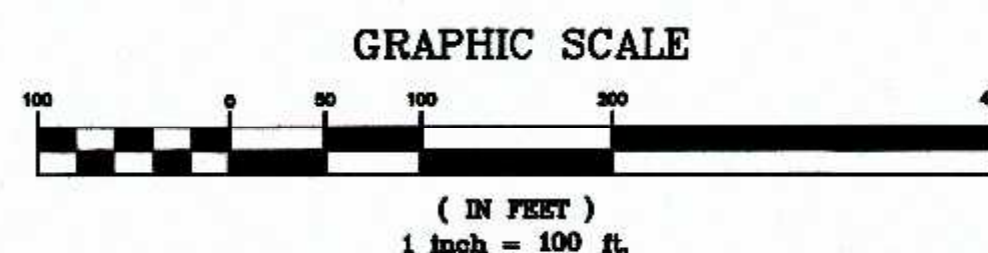
- REFERENCES:
- ASSESSORS MAP 286 PARCEL 32
 - DEED BOOK 36860 PAGE 516
 - DEED BOOK 35983 PAGE 116
 - DEED BOOK 24648 PAGE 492
 - PLAN 108 OF 1908
 - PLAN 576 OF 1900
 - OWNERS PLAN OF LAND BY GUERRIERE AND HALNON, INC DATED OCTOBER 22, 2018
 - PLAN 3334 OF 1913
 - PLAN 853 OF 1928



CARLOS A. QUINTAL P.E. #30812

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY
5	10/23/20	REVIEW COMMENTS	RRG
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
6/19	BL	
BK#	FIELD BOOK	PG#
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

**UNITED
CONSULTANTS
INC.**
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8560 FAX 508-384-8566

DATE	MAR. 4, 2020
SCALE	1" = 100'
PROJECT	UC1334
SHEET	1 of 9

MAP 286 PARCEL 44
79 CROSS STREET
N/F DESJARDINS
BOOK 36745 PAGE 271
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 42
54-60 SUMMER STREET
N/F THAYER
BOOK 8402 PAGE 188
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 32
70 EAST CENTRAL STREET
N/F 37 EAST CENTRAL STREET, LLC
BOOK 37054 PAGE 422
ZONE - COMMERCIAL 1
USE - SEE SHEET 1

MAP 286 PARCEL 41
48 SUMMER STREET
N/F THAYER
BOOK 17758 PAGE 488
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 40
38 SUMMER STREET
N/F RANIERI TRUST
BOOK 30861 PAGE 162
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 31
100 EAST CENTRAL STREET
N/F 100 EAST CENTRAL STREET, LLC
BOOK 22935 PAGE 214
ZONE - COMMERCIAL 1
USE - RESIDENTIAL

MAP 286 PARCEL 33
88 EAST CENTRAL STREET
N/F SHERRY
BOOK 24648 PAGE 492
ZONE - COMMERCIAL 1
USE RESIDENTIAL

MAP 286 PARCEL 34
70 EAST CENTRAL STREET
N/F 37 CENTRAL STREET, LLC
BOOK 37054 PAGE 422
ZONE - DOWNTOWN COMMERCIAL
USE - MIXED

MAP 286 PARCEL 39
8 SUMMER STREET
N/F G & K SIMON, INC.
BOOK 8449
PAGES 33 & 34
ZONE - DOWNTOWN COMMERCIAL
USE - RETAIL

MAP 286 PARCELS 32 AND 34
ARE TO BE COMBINED.
MAP 286 PARCEL 33 HAS A PROPOSED
EASEMENT FOR ACCESS AND UTILITIES.

REFERENCES:
ASSESSORS MAP 286 PARCEL 32
DEED BOOK 36860 PAGE 516
DEED BOOK 35983 PAGE 116
DEED BOOK 24648 PAGE 492
PLAN 108 OF 1908
PLAN 576 OF 1900
OWNERS PLAN OF LAND BY GUERRIERE AND HALNON, INC
DATED OCTOBER 22, 2018
PLAN 3334 OF 1913
PLAN 853 OF 1928

NOTES:
1. ELEVATIONS DATUM NGVD 1929.
2. EXISTING CONDITIONS SURVEY WAS COMPLETED BETWEEN JUNE 12, 2019 AND JANUARY 6, 2020.
3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

ANDREW C. MURPHY
P.L.S. #35042
1/26/2020

- LEGEND:
- DHSB DRILL HOLE STONE BOUND
 - 297- EXISTING COUNTOUR
 - 297- PROPOSED COUNTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - x274.3EX. SPOT GRADE - EXISTING
 - ⊕ 48M EXIST. TREE - DIAMETER - SPECIES
 - UP4-1 UTILITY POLE
 - OHW OVERHEAD WIRES
 - GAS GATE
 - WATER CURB STOP
 - WATER GATE
 - FIRE HYDRANT
 - DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING
 - VGC VERTICAL GRANITE CURBING
 - ⊕ HANDICAP PARKING SPACE
 - ⊕ BUILDING MOUNTED LIGHT
 - POLE MOUNTED LIGHT

OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

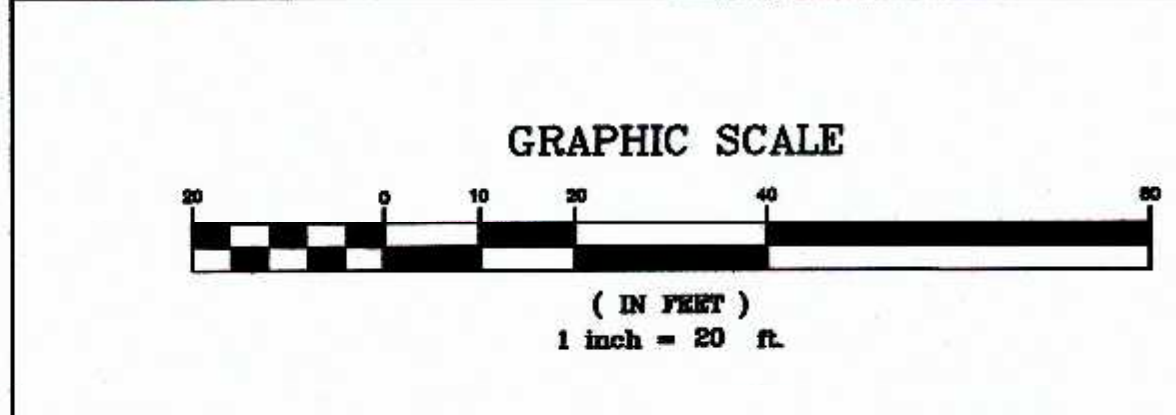
APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION
EXISTING CONDITIONS PLAN
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 20'

NOTE:
SEWER, DRAIN AND WATER LOCATIONS AND
ELEVATIONS WERE TAKEN FROM PLANS OF RECORD
AND ARE NOT THE RESULT OF A FIELD SURVEY.

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY
5	10/23/20	REVIEW COMMENTS	RRG
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG
NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
6/19	FIELD BOOK	BL
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

UNITED
CONSULTANTS
INC.

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6660 FAX 508-384-6666

DATE
MAR. 4, 2020

SCALE
1" = 20'

PROJECT
UC1334

SHEET
2 of 9

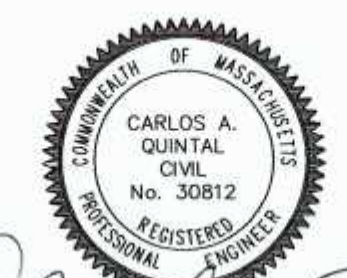
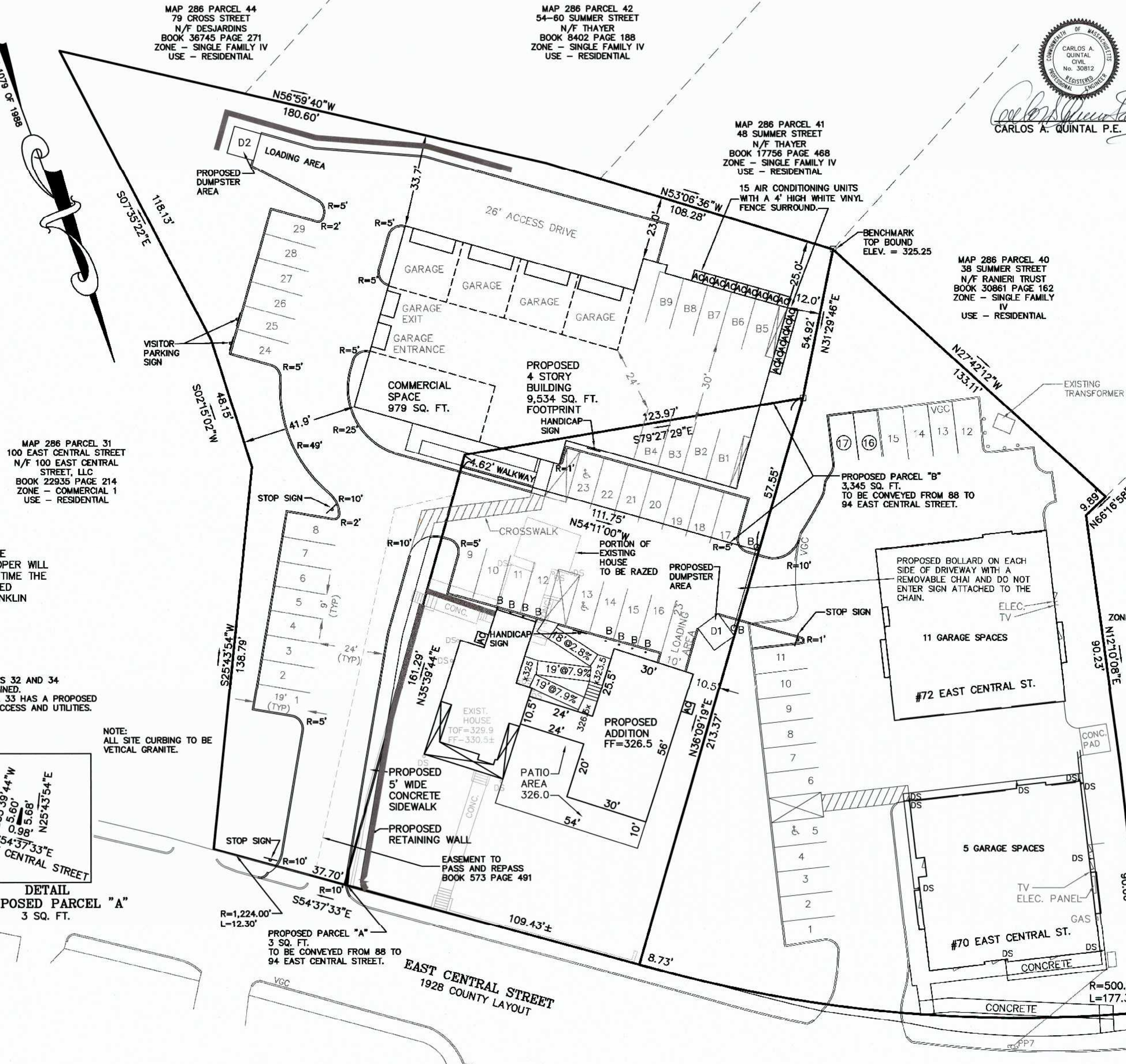
NOTE:
THE SITE USES ARE NOT ANTICIPATED TO REQUIRE A LOADING AREA HOWEVER THE FOLLOWING PROVISIONS HAVE BEEN LISTED.

A SU-30 TRUCK (LARGEST DELIVERY VEHICLE TO ACCESS THE SITE) WILL BE ABLE TO ACCESS THE SITE AND WOULD BE ABLE TO TRAVEL THROUGH THE 70 EAST CENTRAL STREET SITE DRIVEWAY. THE TRUCK COULD OFF LOAD AT THE DRIVEWAY CONNECTING THE PARKING AREAS.

OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS



CARLOS A. QUINTAL P.E. #30812

PARKING CALCULATIONS:
#88 AND #94 EAST CENTRAL STREET
COMMERCIAL 1 REQUIREMENTS (SECTIONS 185-21B.(2)(o))
#94 EAST CENTRAL STREET
1.5 SPACES PER RESIDENTIAL DWELLING UNIT.
14 RESIDENTIAL UNITS PROPOSED REQUIRES 21 SPACES
17 GARAGE SPACES ARE PROPOSED FOR THE RESIDENTIAL UNITS
COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500 SQ. FT. = 979 SQ. FT. / 500 = 2 SPACES REQUIRED
19 TOTAL SPACES REQUIRED.

#88 EAST CENTRAL STREET
NO RESIDENTIAL DWELLING UNITS PROPOSED
COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500 SQ. FT. = 3,106 SQ. FT. / 500 = 7 SPACES REQUIRED
7 TOTAL SPACES REQUIRED.

FOR #88 AND #94 EAST CENTRAL STREET A TOTAL OF 26 PARKING SPACES ARE REQUIRED.

46 TOTAL PARKING SPACES PROPOSED INCLUDING 2 HANDICAP SPACES.

PARKING CALCULATIONS 70 AND 72 EAST CENTRAL STREET
SITE PLAN APPROVAL:
DOWNTOWN COMMERCIAL REQUIREMENTS (SECTIONS 185-21(3)(a) & (b))
1.5 SPACES PER RESIDENTIAL DWELLING UNIT.
12 RESIDENTIAL UNITS PROPOSED REQUIRES 18 SPACES
20 GARAGE SPACES ARE PROPOSED FOR THE RESIDENTIAL UNITS.
14 SPACES PROPOSED INCLUDING 1 HANDICAP SPACE.
TOTAL OF 34 SPACES ORIGINALLY PROPOSED

REVISIONS PROPOSED FOR 70-72 EAST CENTRAL STREET PARKING WITH THE SITE PLAN FOR 70, 72, 88 AND 94 EAST CENTRAL STREET
ELIMINATE 4 GARAGE PARKING SPACES
ELIMINATED FORMER SPACE 12
ADDED 2 SPACES TO PARKING AREA
= 16 GARAGE SPACES AND 17 OUTDOOR SPACES
33 SPACES PROVIDED WHERE 18 SPACES ARE REQUIRED
AS REVISED 70 & 72 EAST CENTRAL STREET PARKING AREA HAS 15 SPACES ABOVE THE ZONING BYLAW PARKING REQUIREMENTS.

MAP 286 PARCEL 39
8 SUMMER STREET
N/F G & K SIMON, INC.
BOOK 8449
PAGES 33 & 34
ZONE - DOWNTOWN COMMERCIAL
USE - RETAIL

RESIDENTIAL DENSITY:
C-1 DISTRICT: 88 AND 94 EAST CENTRAL STREET
COMMERCIAL 1 REQUIREMENTS (185 ATTACHMENT 7 - 6.1*3)
*3 - NO MORE THAN ONE DWELLING UNIT PER 1,000 SQUARE FEET OF LOT AREA MAY BE PERMITTED.

CURRENT LOT AREA 94 EAST CENTRAL STREET - 33,725± SQ. FT. / 1,000 = 33 UNITS PERMISSIBLE
14 UNITS PROPOSED.

CURRENT LOT AREA 88 EAST CENTRAL STREET - 20,889± SQ. FT. / 1,000 = 20 UNITS PERMISSIBLE
0 UNITS PROPOSED.

NOTE: UPON COMPLETION OF AN APPROVAL NOT REQUIRED PLAN DIVIDING 88 AND 94 EAST CENTRAL STREET THE 94 EAST CENTRAL STREET LOT SHALL CONTAIN GREATER THAN 14,000 SQ. FT. OF AREA.

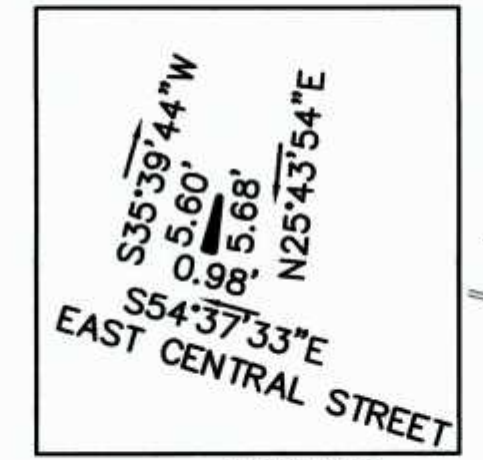
LOT AREA FOR 94 EAST CENTRAL STREET TO BE DC DISTRICT: 70 AND 72 EAST CENTRAL STREET
DOWNTOWN COMMERCIAL REQUIREMENTS (185 ATTACHMENT 7 - 6.1*6)
*6 - NO MORE THAN ONE DWELLING UNIT PER 2,000 SQUARE FEET OF LOT AREA MAY BE PERMITTED; ADDITIONAL DWELLING UNITS MAY BE ALLOWED BY SPECIAL PERMIT FROM THE PLANNING BOARD
LOT AREA - 32,810± SQ. FT. / 1,000 = 32 UNITS PERMISSIBLE
12 UNITS PROPOSED.

SITE PLAN MODIFICATION
SITE LAYOUT PLAN
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 20'

NOTES:
- NO SITE SIGNS ARE PROPOSED AT THIS TIME. ONCE TENANTS ARE SECURED THE TENANT AND OR DEVELOPER WILL SUBMIT AND OBTAIN APPROVAL FOR SIGNS. AT THIS TIME THE DEVELOPER IS PLANNING TO UTILIZE BUILDING MOUNTED SIGNAGE THAT WILL COMPLY WITH THE TOWN OF FRANKLIN REQUIREMENTS.

MAP 286 PARCELS 32 AND 34 ARE TO BE COMBINED.
MAP 286 PARCEL 33 HAS A PROPOSED EASEMENT FOR ACCESS AND UTILITIES.

- LEGEND:
- DHSB DRILL HOLE STONE BOUND
 - 297- EXISTING COUNTOUR
 - 297- PROPOSED COUNTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - x274.3EX. SPOT GRADE - EXISTING
 - 48M EXIST. TREE - DIAMETER - SPECIES
 - UP4-1 UTILITY POLE
 - OHW OVERHEAD WIRES
 - GAS GATE
 - WATER CURB STOP
 - WATER GATE
 - FIRE HYDRANT
 - DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING
 - VGC VERTICAL GRANITE CURBING
 - HANDICAP PARKING SPACE
 - BUILDING MOUNTED LIGHT
 - POLE MOUNTED LIGHT

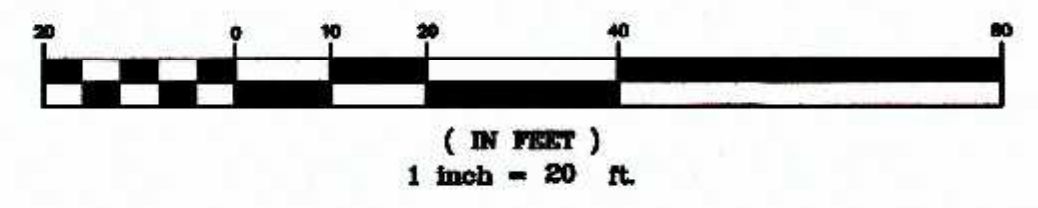


NOTE:
ALL SITE CURBING TO BE VERTICAL GRANITE.

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY
5	10/23/20	REVIEW COMMENTS	RRG
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
6/19		BL
BK#	FIELD BOOK	PG#
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE	SCALE	PROJECT	SHEET
MAR. 4, 2020	1" = 20'	UC1334	3 of 9

LEGEND:

- DHSB DRILL HOLE STONE BOUND
- 297- EXISTING COUNTOUR
- 297- PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX. SPOT GRADE - EXISTING
- 48M EXIST. TREE - DIAMETER - SPECIES
- UP4-1 UTILITY POLE
- OHW OVERHEAD WIRES
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- VCC VERTICAL CONCRETE CURBING
- VGC VERTICAL GRANITE CURBING
- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT

MARCH 13, 2019

PERFORMED BY CARLOS A. QUINTAL, P.E., SOIL EVALUATOR

TP 1 ELEV. = 324.24 - ABANDONED

TP 2 ELEV. = 324.75

0 - 8" A 10YR 3/3 SANDY LOAM

8" - 24" B 10YR 6/6 SANDY LOAM

24" - 60" C 2.5Y 5/6 SANDY LOAM

TP 3 ELEV. = 323.85

0 - 8" A 10YR 3/3 SANDY LOAM

8" - 24" B 10YR 6/6 SANDY LOAM

24" - 64" C 2.5Y 5/6 SANDY LOAM

TP 4 ELEV. = 317.52

0 - 12" A 10YR 3/3 SANDY LOAM

12" - 36" B 10YR 6/6 SANDY LOAM

36" - 90" C 2.5Y 4/3 GRAVELLY SANDY LOAM

NO GROUNDWATER

NO MOTILES AT 90" ELEV. = 310.02

TP 5 ELEV. = 318.53

0 - 18" A 10YR 3/3 SANDY LOAM

18" - 42" B 10YR 6/6 SANDY LOAM

42" - 109" C 2.5Y 5/6 SANDY LOAM

GROUNDWATER AT 100" ELEV. = 310.20

NO MOTILES OBSERVED

TP 6 ELEV. = 318.03

0 - 10" A 10YR 3/3 SANDY LOAM

10" - 42" B 10YR 6/6 SANDY LOAM

42" - 97" C 2.5Y 5/6 SANDY LOAM

NO GROUNDWATER OBSERVED

NO MOTILES OBSERVED AT 97" ELEV. = 309.94

ALL TEST PITS WERE DUG TO REFUSAL

ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% OR A RUNNING SLOPE GREATER THAN 5% SEE 521 CMR 20.9.

PAVEMENT RESTORATION WITHIN THE 140 RIGHT OF WAY SHALL MATCH THE EXISTING GRAVEL, DENSE GRADE, BINDER COURSE AND FINISH COURSE DEPTHS OF BITUMINOUS CONCRETE.

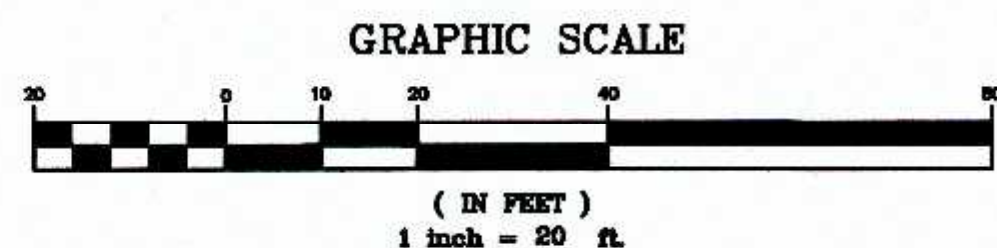
SIGHT DISTANCE BASED ON POSTED SPEED OF 25 MPH AT THE INTERSECTION OF EAST CENTRAL STREET AND ALPINE PLACE. PER MASDOT STOPPING SIGHT DISTANCE FOR 25 MPH AT 0% GRADE - 155 FEET. SIGHT DISTANCE WAS MEASURED 14.5 FEET FROM EDGE LINE. EXITING THE SITE: LOOKING WEST 200 + FEET. LOOKING EAST 300 + FEET.

REFERENCE MASS HIGHWAY EXHIBIT 3.8 200 FOOT SIGHT DISTANCE AT ZERO GRADE HAD A DESIGN SPEED OF 30 MPH.

CONSTRUCT A NEW CONCRETE SIDEWALK AT THE DRIVEWAY AREA. MATCH EXISTING GRAVEL, AND CONCRETE THICKNESS.

SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

DATE

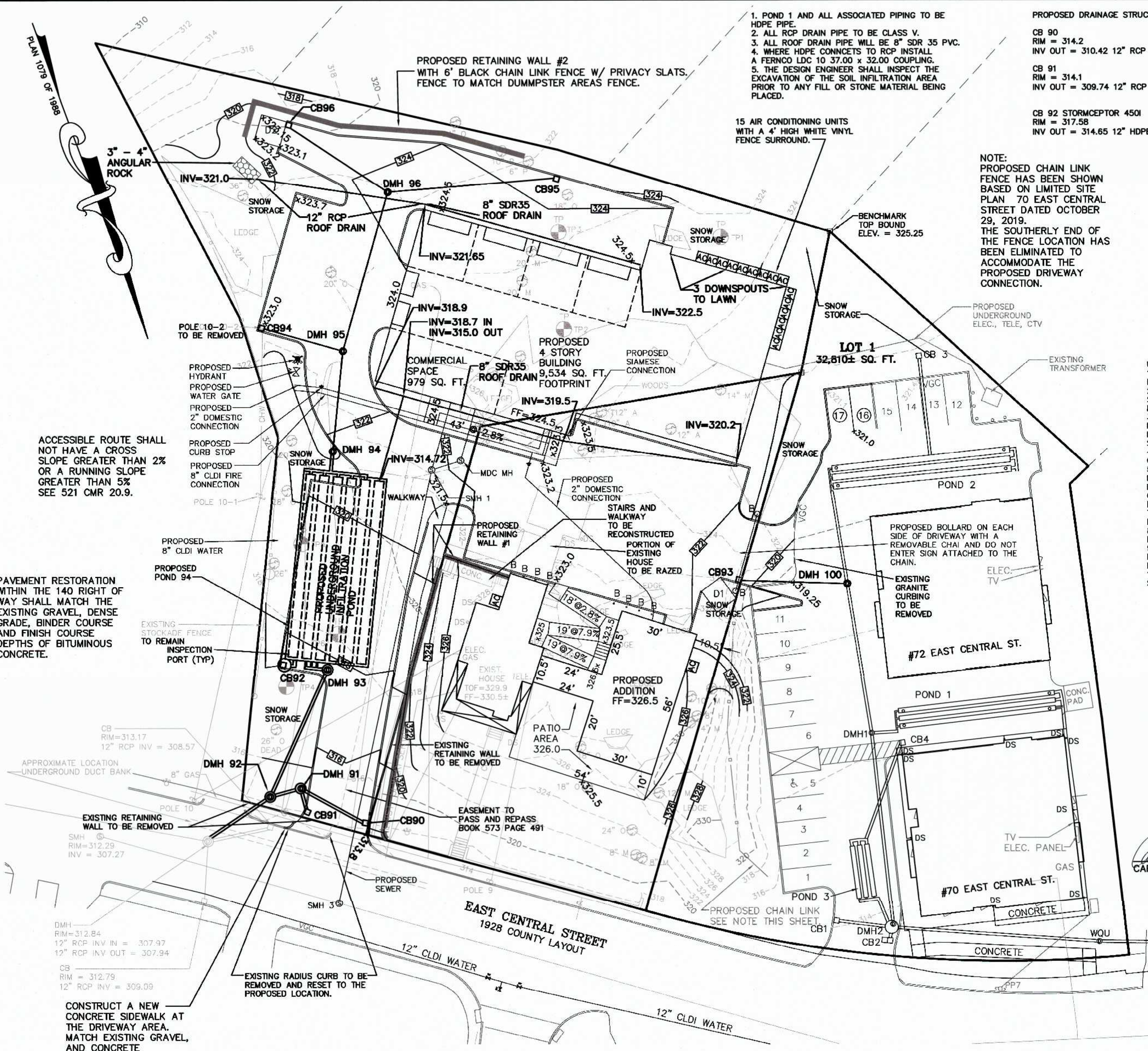


NO.	DATE	DESCRIPTION	BY
5	10/23/20	REVIEW COMMENTS	RRG
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
6/19	BL	PG# 63
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8560 FAX 508-384-8566

DATE	MAR. 4, 2020
SCALE	1" = 20'
PROJECT	UC1334
SHEET	4 of 9



1. POND 1 AND ALL ASSOCIATED PIPING TO BE HDPE PIPE.
2. ALL RCP DRAIN PIPE TO BE CLASS V.
3. ALL ROOF DRAIN PIPE WILL BE 8" SDR 35 PVC.
4. WHERE HDPE CONNECTS TO RCP INSTALL A FERRO LDC 10 37.00 x 32.00 COUPLING.
5. THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL OR STONE MATERIAL BEING PLACED.

PROPOSED DRAINAGE STRUCTURE SCHEDULE:

CB 90 RIM = 314.2 INV OUT = 310.42 12" RCP	CB 93 RIM = 320.4 INV OUT = 316.4 12" RCP	DMH 91 - CDS WQU RIM = 315.0 INV IN = 310.18 12" RCP - CB 90 INV IN = 309.68 12" RCP - CB 91 INV OUT = 309.58 12" RCP
CB 91 RIM = 314.1 INV OUT = 309.74 12" RCP	CB 94 RIM = 323.0 INV OUT = 318.02 12" RCP	DMH 92 RIM 314.5 INV IN = 309.5 12" RCP - DMH 91 INV IN = 310.5 12" RCP - DMH 93 INV OUT = 308.5 12" RCP
CB 92 STORMCEPTOR 450I RIM = 317.58 INV OUT = 314.65 12" HDPE	CB 95 RIM = 323.0 INV OUT = 319.00 12" RCP	DMH 93 RIM=317.9 INV IN =315.0 12" HDPE INV OUT = 312.46 12" RCP
	CB 96 RIM = 323.0 INV OUT = 319.00 12" RCP	DMH 94 WQU RIM = 322.1 INV IN = 314.82 12" RCP INV OUT = 314.82 12" RCP
		DMH 95 RIM = 323.5 INV IN = 316.62 12" RCP INV OUT = 316.52 12" RCP
		DMH 96 RIM = 324.2 INV IN = 318.39 12" RCP INV OUT = 318.29 12" RCP
		DMH 100 - DOGHOUSE MANHOLE RIM = 319.0 INV IN = 315.73 12" RCP INV OUT = 315.63 12" RCP

NOTE:
PROPOSED CHAIN LINK FENCE HAS BEEN SHOWN BASED ON LIMITED SITE PLAN 70 EAST CENTRAL STREET DATED OCTOBER 29, 2019. THE SOUTHERLY END OF THE FENCE LOCATION HAS BEEN ELIMINATED TO ACCOMMODATE THE PROPOSED DRIVEWAY CONNECTION.

UTILITY NOTES:

1. DOMESTIC WATER SUPPLY SHALL BE BASED ON PLUMBING ENGINEERS CALCULATIONS.
2. FIRE SUPPLY LINE TO BE CONNECTED TO EXISTING WATER MAIN IN STREET. LOCATION SHOWN APPROXIMATELY. FINAL SIZING AND LOCATION SHALL BE DETERMINED BY THE PLUMBING ENGINEER.
3. ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES. SERVICES ARE PROPOSED TO BE CONNECTED TO THE 70-72 EAST CENTRAL STREET SITE AND SHALL BE UNDERGROUND.
4. GAS SERVICE AND LOCATIONS TO BE DETERMINED BY THE GAS COMPANY.
5. PIV AND SIAMESE CONNECTIONS SHOWN APPROXIMATE. FINAL LOCATIONS TO BE DESIGNED BY PLUMBING ENGINEER AND APPROVED BY FIRE DEPARTMENT.
6. THE DRAINAGE INSTALLATION SHALL BE INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER PRIOR TO BACKFILLING.
7. EXISTING WATER SERVICE TO BE CUT AND CAPPED AT THE MAIN PER DPW REQUIREMENTS.
8. EXISTING SEWER SERVICE TO BE CUT AND CAPPED AT THE PROPERTY LINE.
9. EXISTING ELECTRIC, TELEPHONE AND CTV SERVICES TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANIES. POLE 10-2 TO BE REMOVED AS PERMITTED BY THE APPROPRIATE UTILITY COMPANY. 10 88 EAST CENTRAL STREET TO UTILIZE THE EXISTING SEWER SERVICE.

NOTES:

1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

MAP 286 PARCELS 32 AND 34 ARE TO BE COMBINED. MAP 286 PARCEL 33 HAS A PROPOSED EASEMENT FOR ACCESS AND UTILITIES.



OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

CARLOS A. QUINTAL, P.E. #30812

SITE PLAN MODIFICATION
GRADING & UTILITY PLAN
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 20'

GENERAL NOTES

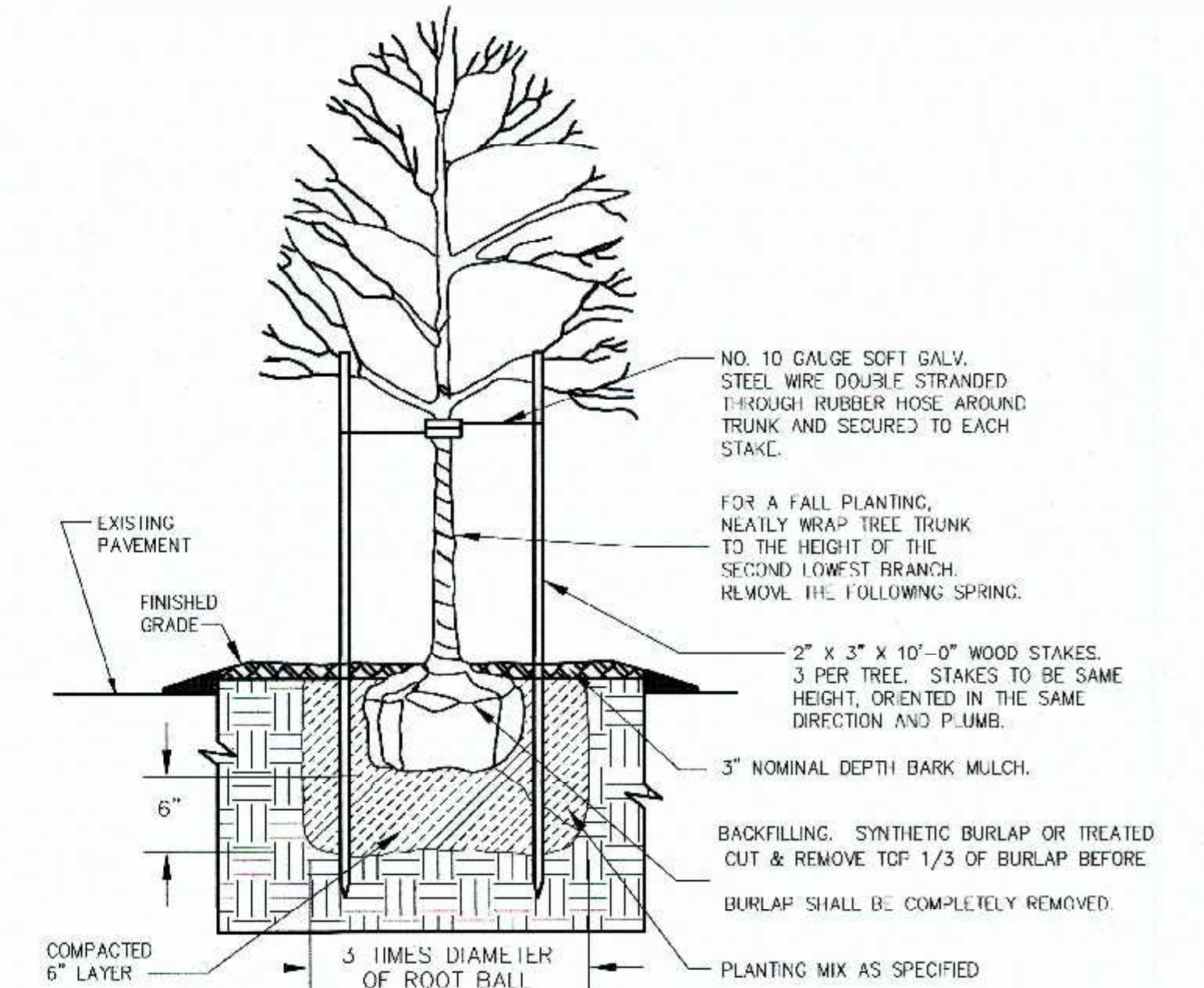
1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)

PLANTING SCHEDULE

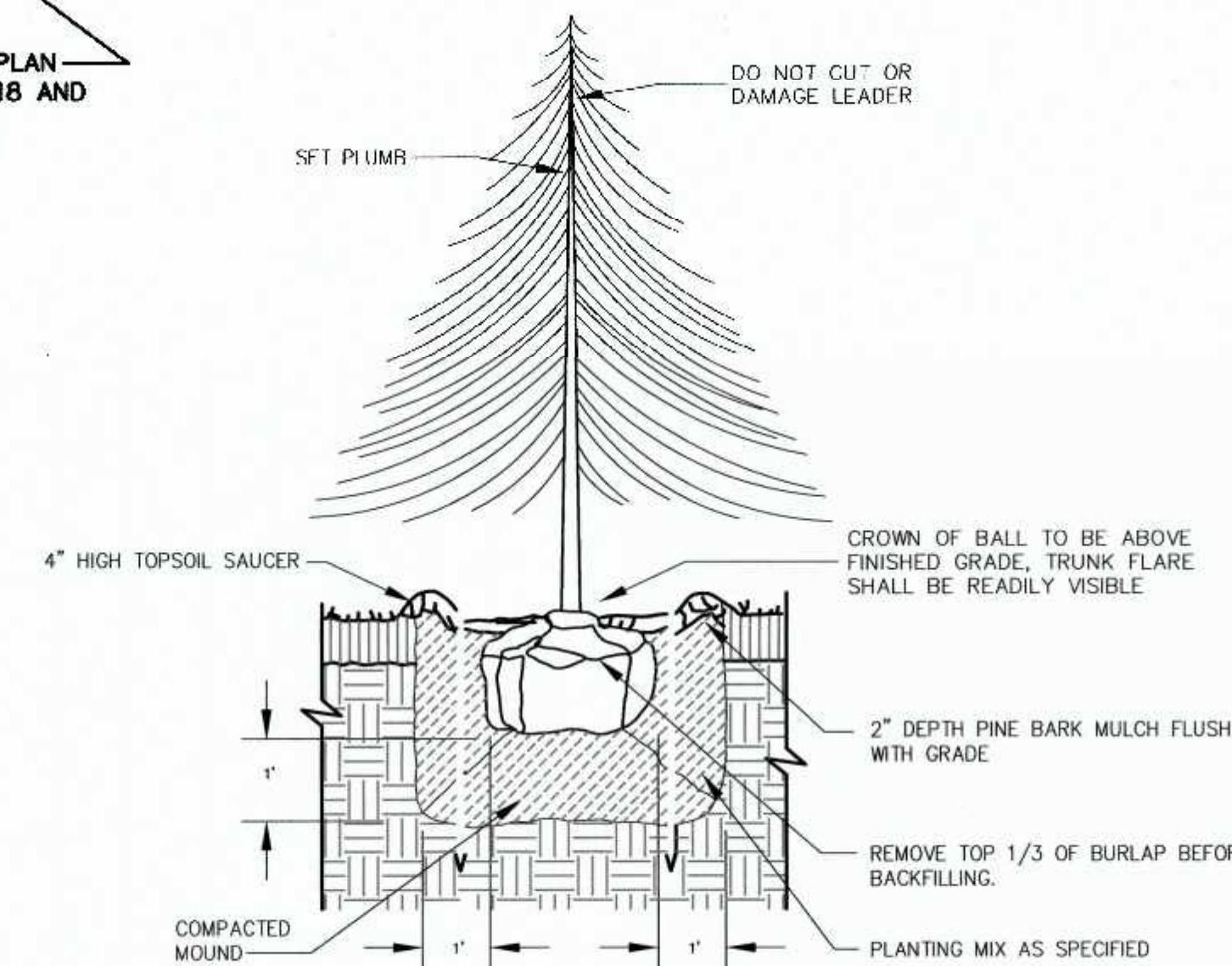
NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
2	AMERICAN ELM - AE	ULMUS AMERICANA	3"	B&B
3	RED MAPLE - RM	ACER RUBRUM	3"	B&B
28	ARBORVITAE - A	THUJA PLICATA	4 - 6 FEET	B&B

EXISTING TREE LEGEND:
 R - TO BE REMOVED
 K - TO REMAIN

PLANTINGS FOR 88 AND 94 EAST CENTRAL STREET AREAS - PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES
 - 48 PARKING SPACES LOCATED OUTSIDE OF BUILDING AND INSIDE OF BUILDING = 48 / 10 = 5 TREES
 5 TREES PROVIDED.
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.



DECIDUOUS TREE PLANTING



EVERGREEN TREE PLANTING

OWNER:
 MAP 286 PARCELS 32 AND 34
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
 JOHN AND CARMEL SHERRY
 88 EAST CENTRAL STREET

APPLICANT:
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

**SITE PLAN MODIFICATION
 PLANTING PLAN**

70, 72, 88 AND 94 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

PREPARED FOR
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

MARCH 4, 2020
 SCALE: 1" = 20'



MAP 286 PARCELS 32 AND 34 ARE TO BE COMBINED. MAP 286 PARCEL 33 HAS A PROPOSED EASEMENT FOR ACCESS AND UTILITIES.

CARLOS A. QUINTAL P.E. #30812

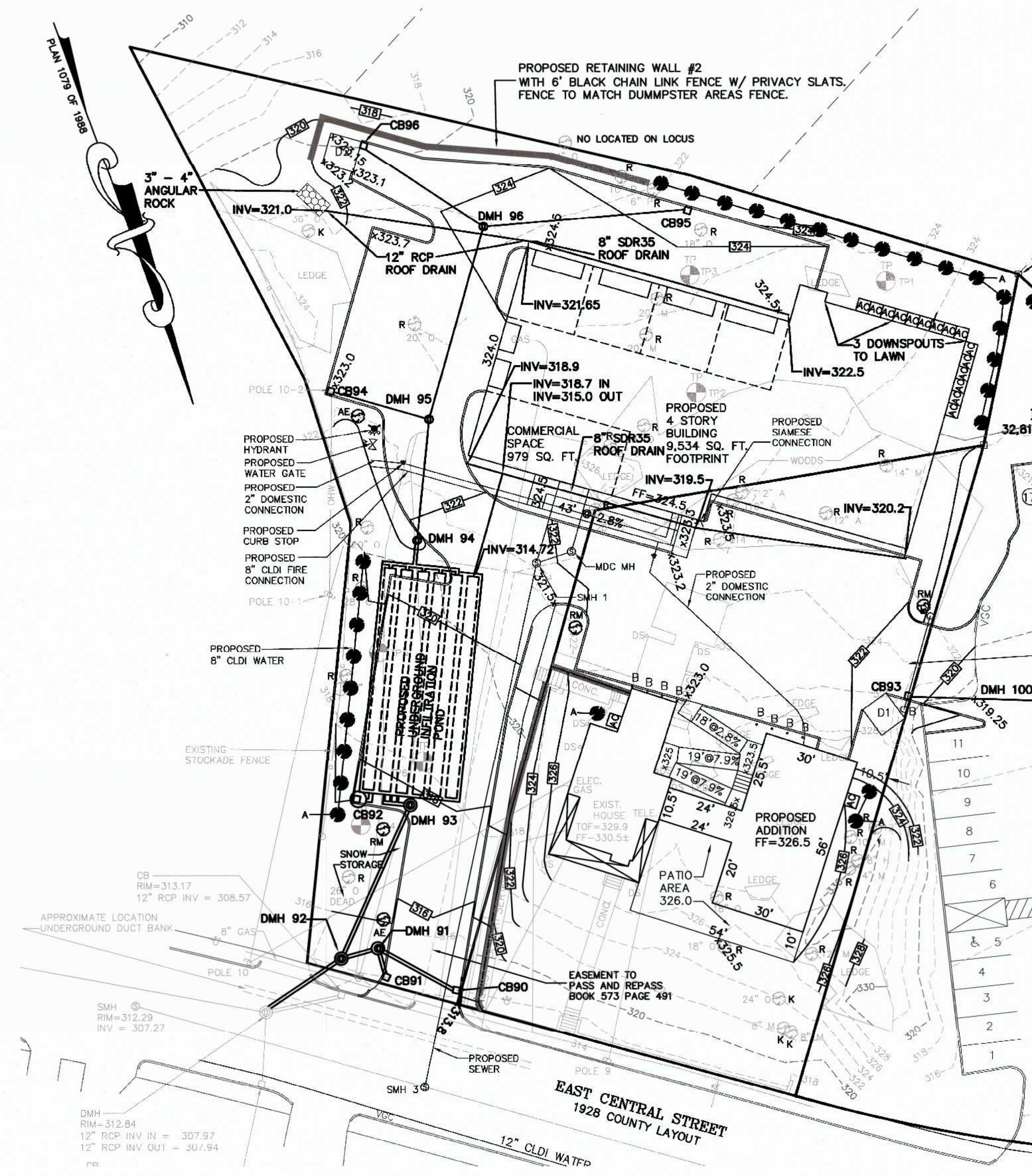
UNITED CONSULTANTS INC.

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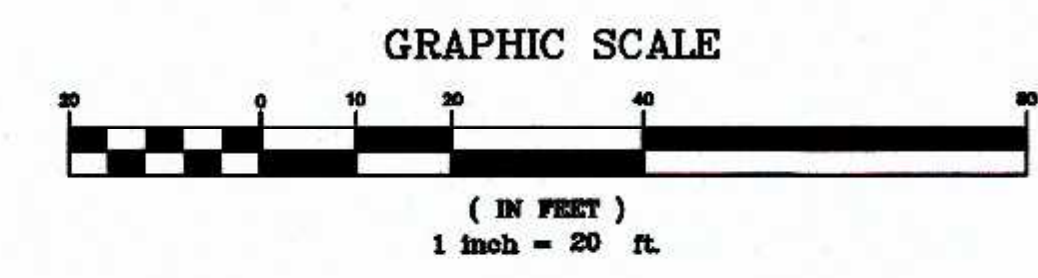
- LEGEND:**
- DHSB DRILL HOLE STONE BOUND
 - - - 297 - - EXISTING COUNTOUR
 - - - 297 - - PROPOSED COUNTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - x274.3EX. SPOT GRADE - EXISTING
 - ⊙ 48M EXIST. TREE - DIAMETER - SPECIES
 - ⊙ UP4- UTILITY POLE
 - OHW - OVERHEAD WIRES
 - ⊕ GAS GATE
 - ⊕ WATER CURB STOP
 - ⊕ WATER GATE
 - ⊕ FIRE HYDRANT
 - ⊕ DRAIN MANHOLE
 - ⊕ CATCH BASIN
 - ⊕ SEWER MANHOLE
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING
 - VGC VERTICAL GRANITE CURBING
 - ⊕ HANDICAP PARKING SPACE
 - ⊕ BUILDING MOUNTED LIGHT
 - ⊕ POLE MOUNTED LIGHT

12 PROPOSED ARBORVITAE TREES AS SHOWN ON ENDORSED SITE PLAN SHEET 5 OF 11 DATED DECEMBER 15M 2017 LAST REVISED 3/28/18 AND ENDORSED ON 5-7-18. TWO PROPOSED ARBORVITAE TREES WERE RELOCATED DUE TO THE INSTALLATION OF THE TRANSFORMER.



**SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD**

DATE



NO.	DATE	DESCRIPTION	BY
5	10/23/20	REVIEW COMMENTS	RRG
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
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DATE	SCALE	PROJECT	SHEET
MAR. 4, 2020	1" = 20'	UC1334	5 of 9

OPERATION AND MAINTENANCE PLAN



CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, BRAD CHAFFEE (1-508-331-6161), SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
9. THE STORMCEPTOR UNITS SHALL BE CLEANED WITH A VACUUM TRUCK.

INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENT ARE TO BE REMOVED.
3. INSPECTIONS OF THE STORMCEPTOR UNITS TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE EXISTING CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1, THE EXISTING POND AND THE RAIN GARDEN TO DETERMINE IF CLEANING IS NECESSARY.

OPERATION AND MAINTENANCE SCHEDULE

CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. ONCE THE PARKING LOT HAS BEEN PAVED DAILY INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT THE STORMCEPTOR UNITS, CATCH BASIN 91 AND CB97 AND THE TWO CATCH BASINS ON 70 - 72 EAST CENTRAL STREET SITE.
4. ONCE INSTALLED THEY SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
5. THE STORMCEPTOR UNITS SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
6. THE POND SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

LONG TERM:

1. THE PARKING LOT SHALL BE SWEEPED TWICE PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE STORMCEPTORS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES
3. THE POND SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

NOTES:

1. ANY AREA NOT BEING ACTIVELY WORKED FOR 14 DAYS SHALL BE TEMPORARILY STABILIZED.
2. UPON COMPLETION OF GRADING ACTIVITIES THE AREA SHALL BE STABILIZED OR PLANTED WITHIN 7 DAYS.
3. NON-PHOSPHORUS FERTILIZER SHALL BE APPLIED AS NECESSARY.
4. NON-HALOGENATED ICE MELT SHALL BE APPLIED AS NECESSARY.

PROJECT NARRATIVE:

THE PROJECT CONSISTS OF THE DEMOLITION OF AN EXISTING BUILDING AND IMPROVEMENTS. UPON RECEIPT OF ALL NECESSARY APPROVALS THE APPLICANT WILL FILE FOR AND OBTAIN THE NECESSARY ADDITIONAL PERMITS INCLUDING SEWER AND WATER CONNECTION PERMITS, STREET OPENING PERMITS AND BUILDING PERMIT. UPON SECURING ALL THE NECESSARY PERMITS THE PROJECT WILL MOVE TO THE CONSTRUCTION PHASE AND WILL BE COMPLETED BASED ON THE CONSTRUCTION SEQUENCE.

EROSION CONTROL NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. ENTRY MAT TO BE INSTALLED.
3. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
4. SLOPES GREATER THAN 3' HORIZONTAL TO 1' VERTICAL SHALL BE STABILIZED WITH HYDROSEED, SECURED GEOTEXTILE FABRIC OR RIPRAP AS REQUIRED TO PREVENT EROSION. ALL SLOPE FLATTER THAN 3' HORIZONTAL TO 1' VERTICAL SHALL BE HYDROSEED.
5. STORMCEPTOR UNITS, CATCH BASINS AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
6. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
8. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
10. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

CONSTRUCTION SEQUENCE:

1. INSTALL COMPOST SOCK, SILT SAKS AND ENTRY MAT.
2. DEMOLISH EXISTING BUILDING
3. LEDGE REMOVAL TO SUBGRADE.
4. EXCAVATE FOR BUILDING FOUNDATION.
5. FORM AND POUR BUILDING FOOTINGS AND FOUNDATION.
6. UPON ADEQUATE CURING OF THE FOUNDATION CONCRETE THE FOUNDATION SHALL BE BACKFILLED TO SUBGRADE.
7. CONSTRUCT BUILDING SIMULTANEOUSLY WITH THE FOLLOWING SITE WORK.
8. BRING THE REMAINDER OF THE SITE TO SUBGRADE.
9. INSTALL THE UNDERGROUND UTILITIES - WATER, SEWER, ELECTRIC AND DRAINAGE.
10. UPON COMPLETION OF THE UNDERGROUND UTILITIES, BRING THE PARKING AREAS TO PROPER GRADES WITH GRAVEL.
11. PAVE THE PARKING AREAS WITH THE BINDER COURSE.
12. INSTALL THE CURBING, THE DUMPSTER PAD AND THE FENCE.
13. LOAM ALL DISTURBED AREAS.
14. PLANT SITE TREES.
15. PAVE THE PARKING AREA WITH THE TOP COURSE.
16. IF NECESSARY COMPLETE AN AS-BUILT PLAN AND SUBMIT A FORM H.

OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

APPLICANT:
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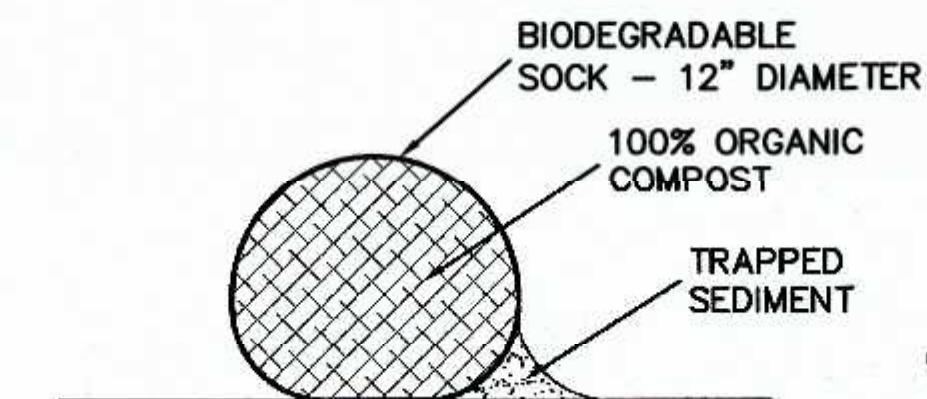
SITE PLAN MODIFICATION
EROSION CONTROL PLAN
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
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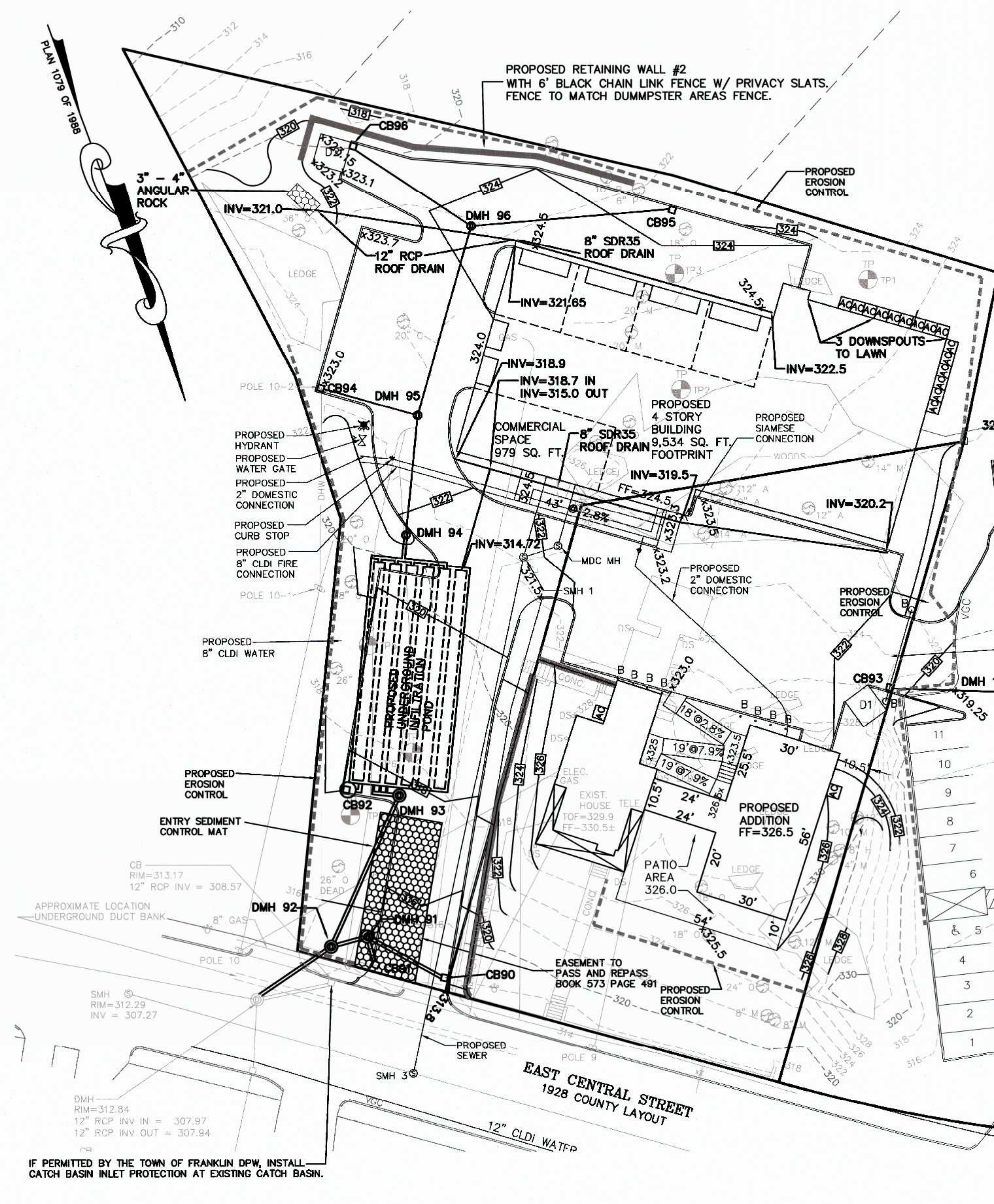
ENTRY SEDIMENTATION CONTROL
MAT SECTION
N.T.S.

NOTES:

1. PAD SHALL BE A MINIMUM OF 20 FEET IN WIDTH. EXISTING ASPHALT DRIVE TO REMAIN IN PLACE UNTIL FINAL PAVEMENT IS TO BE INSTALLED.
2. PAD SHALL CONSIST OF 4" STONE 8" MIN. DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.

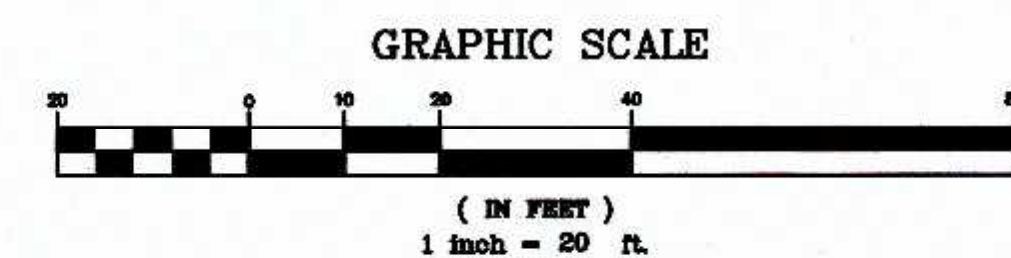


COMPOST SOCK DETAIL



SITE PLAN APPROVAL
REQUIRED
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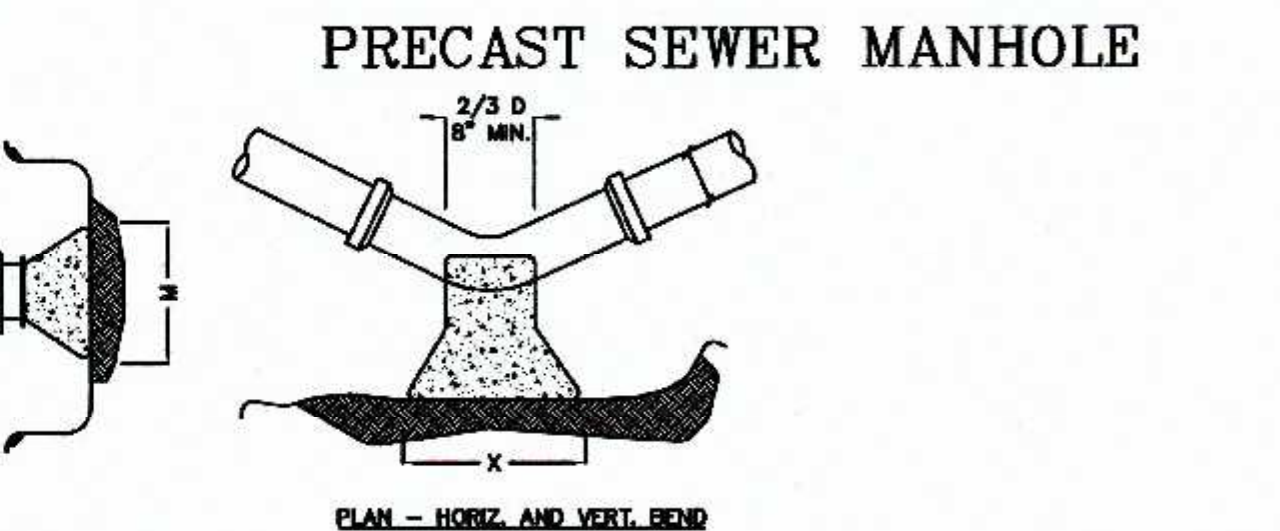
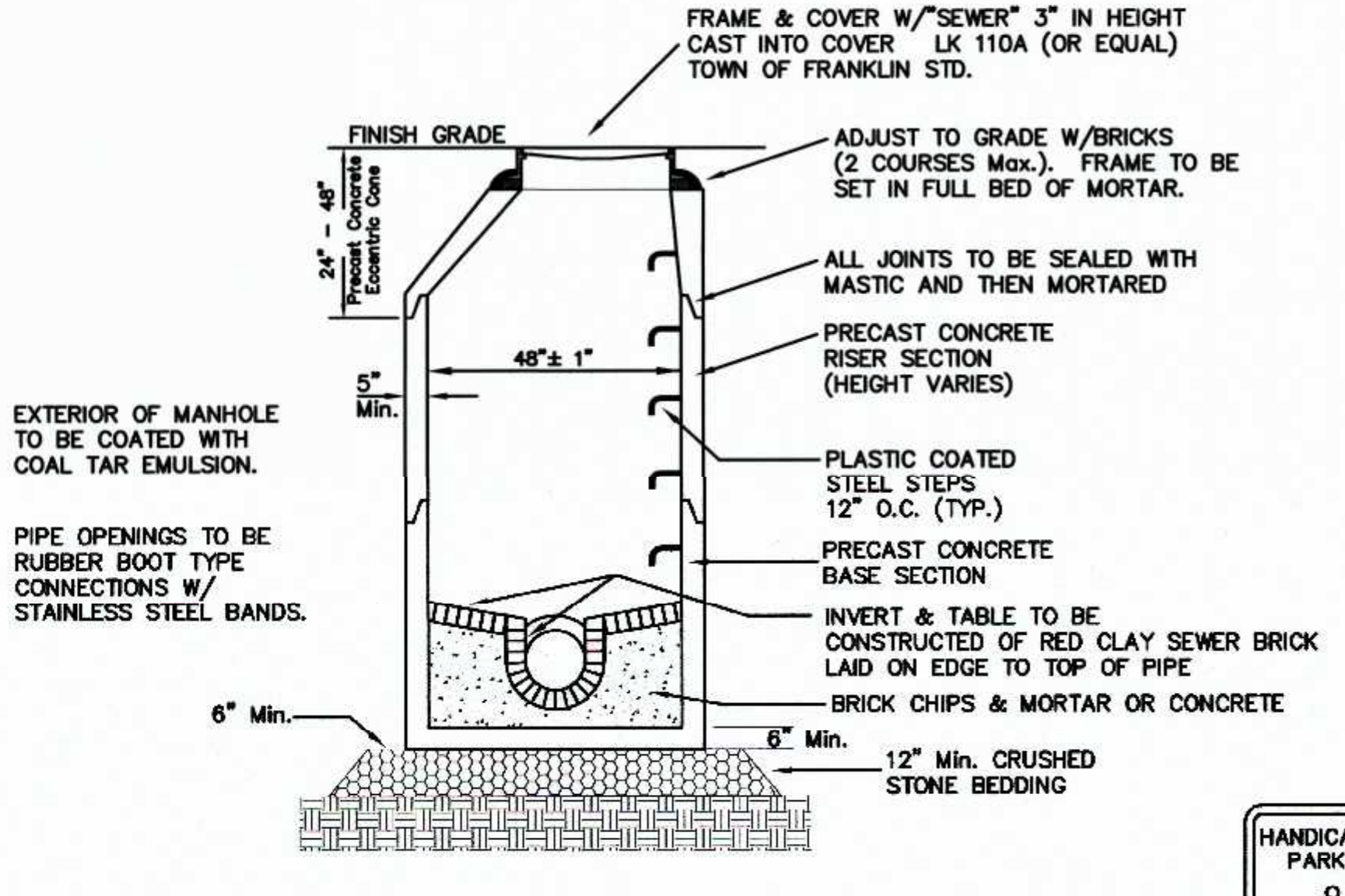
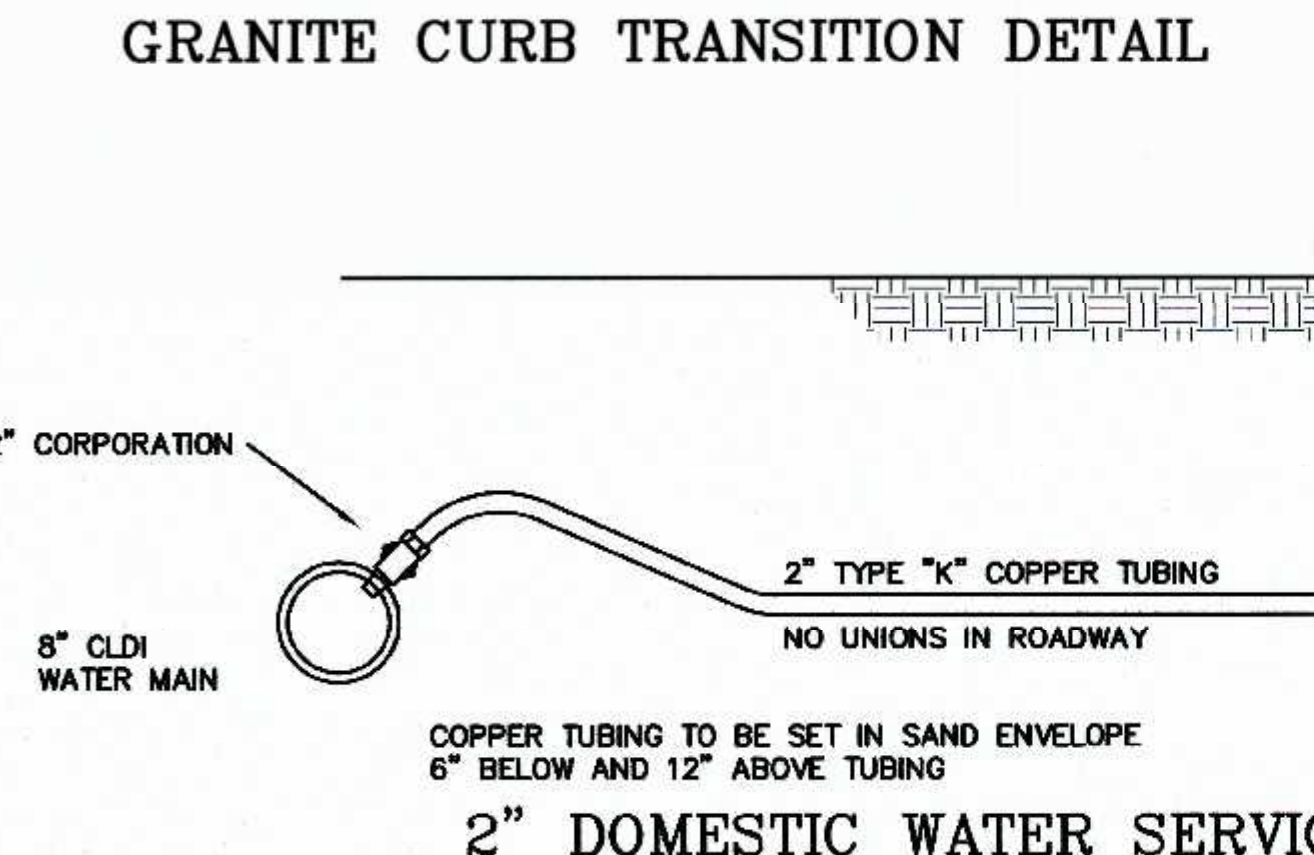
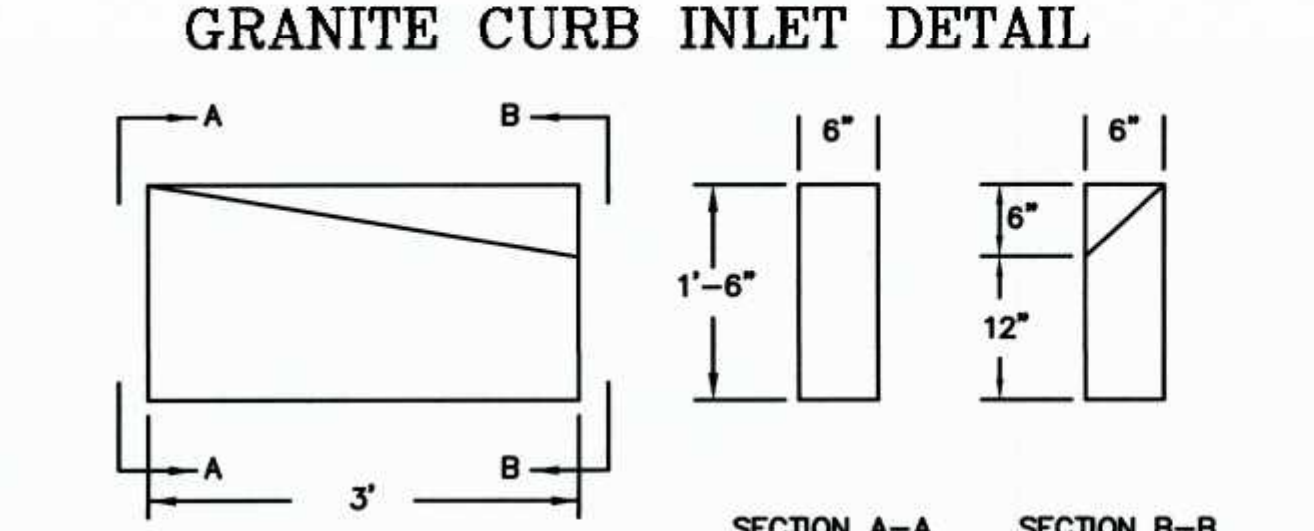
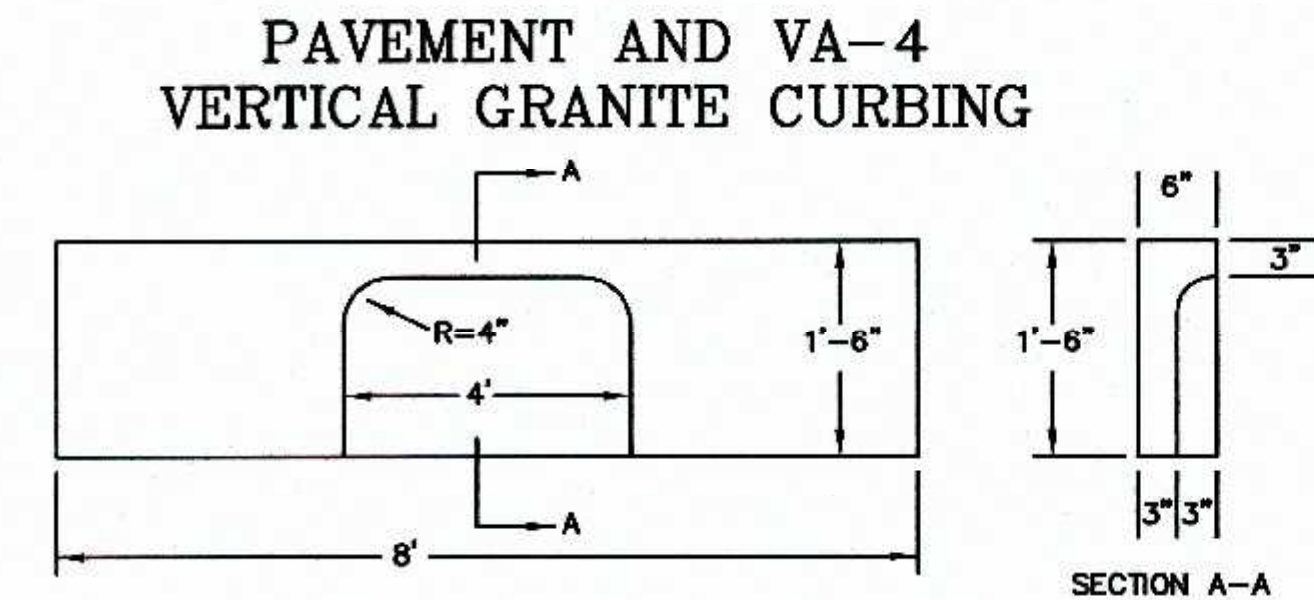
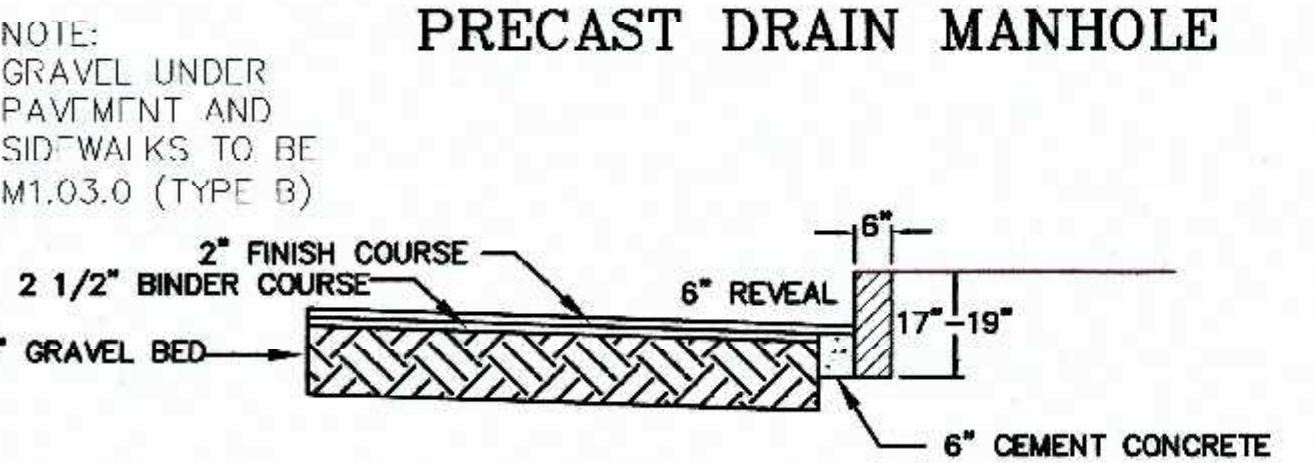
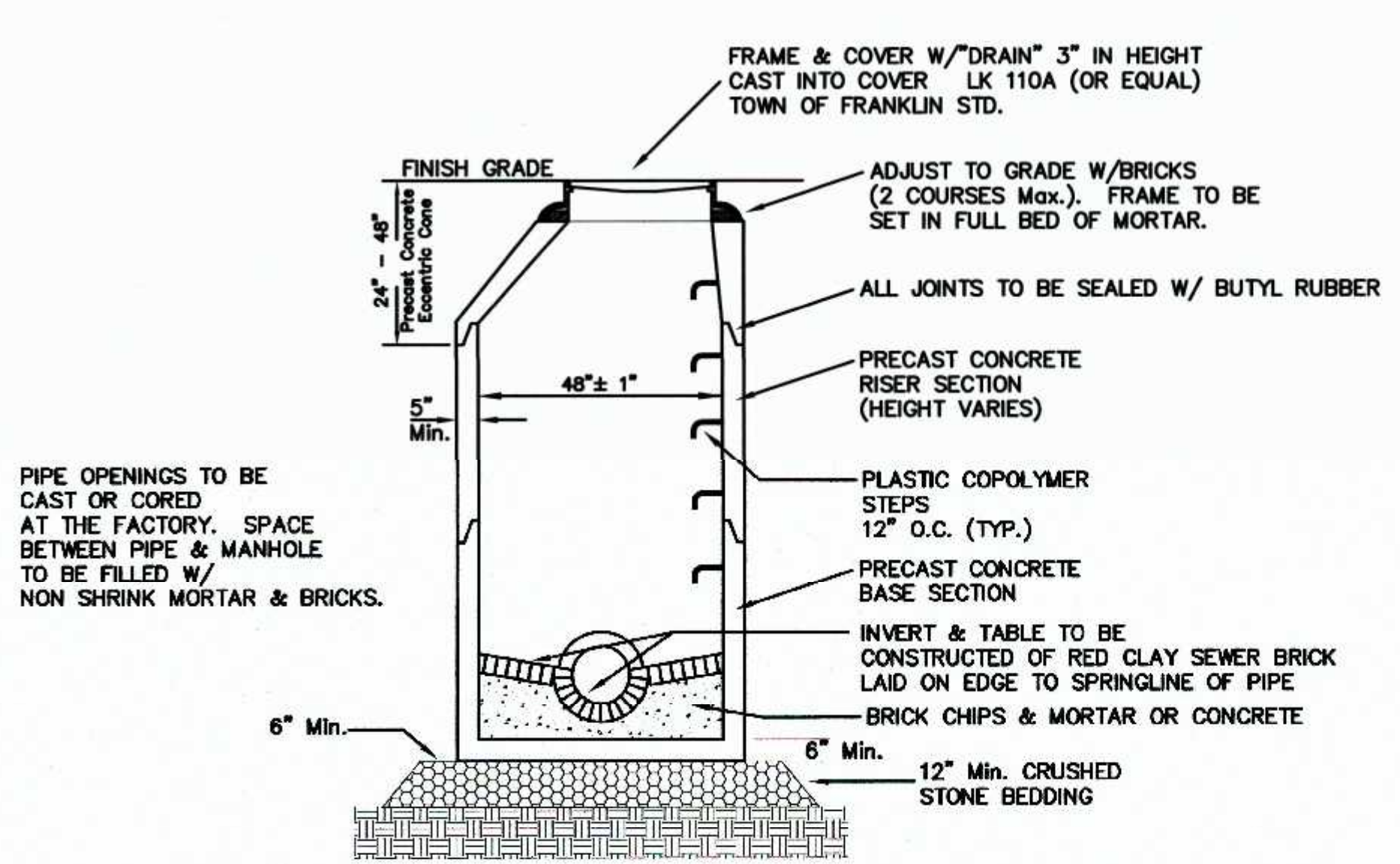


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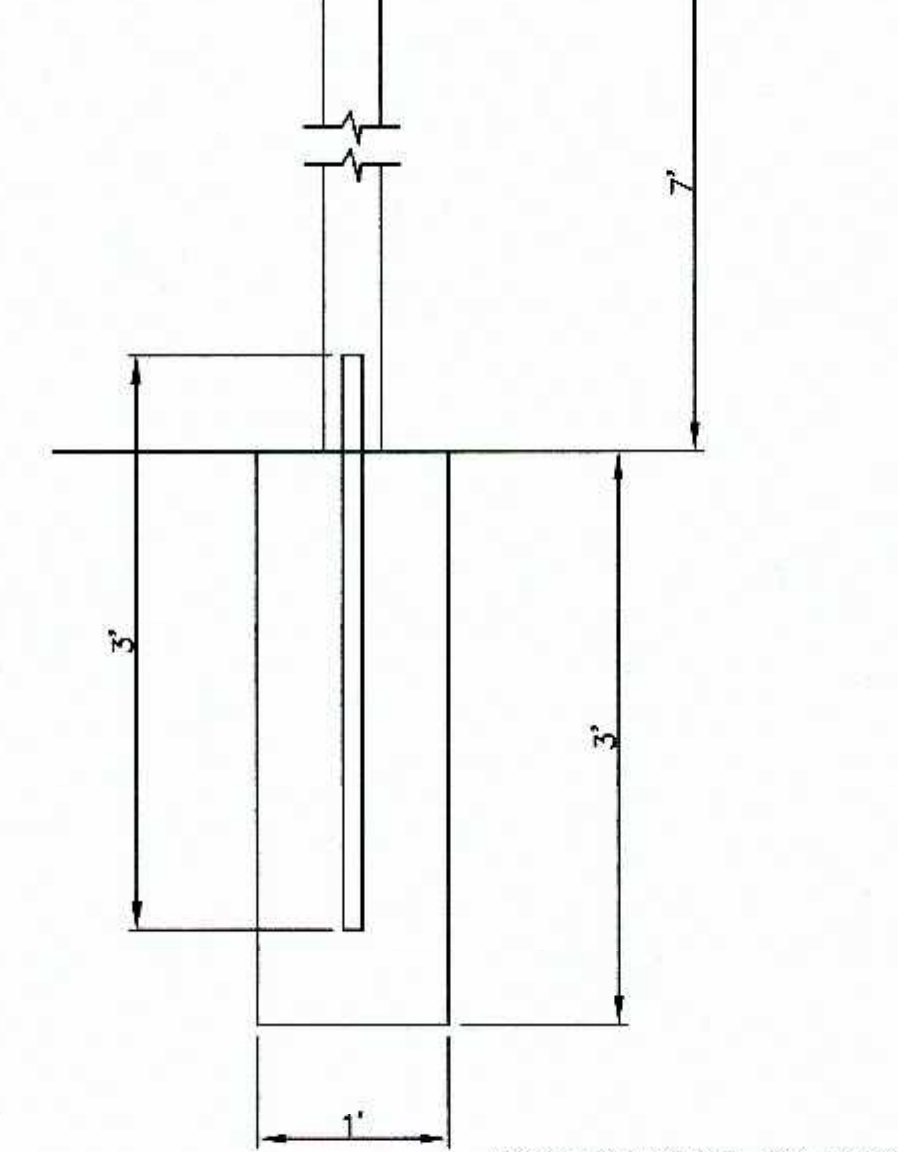
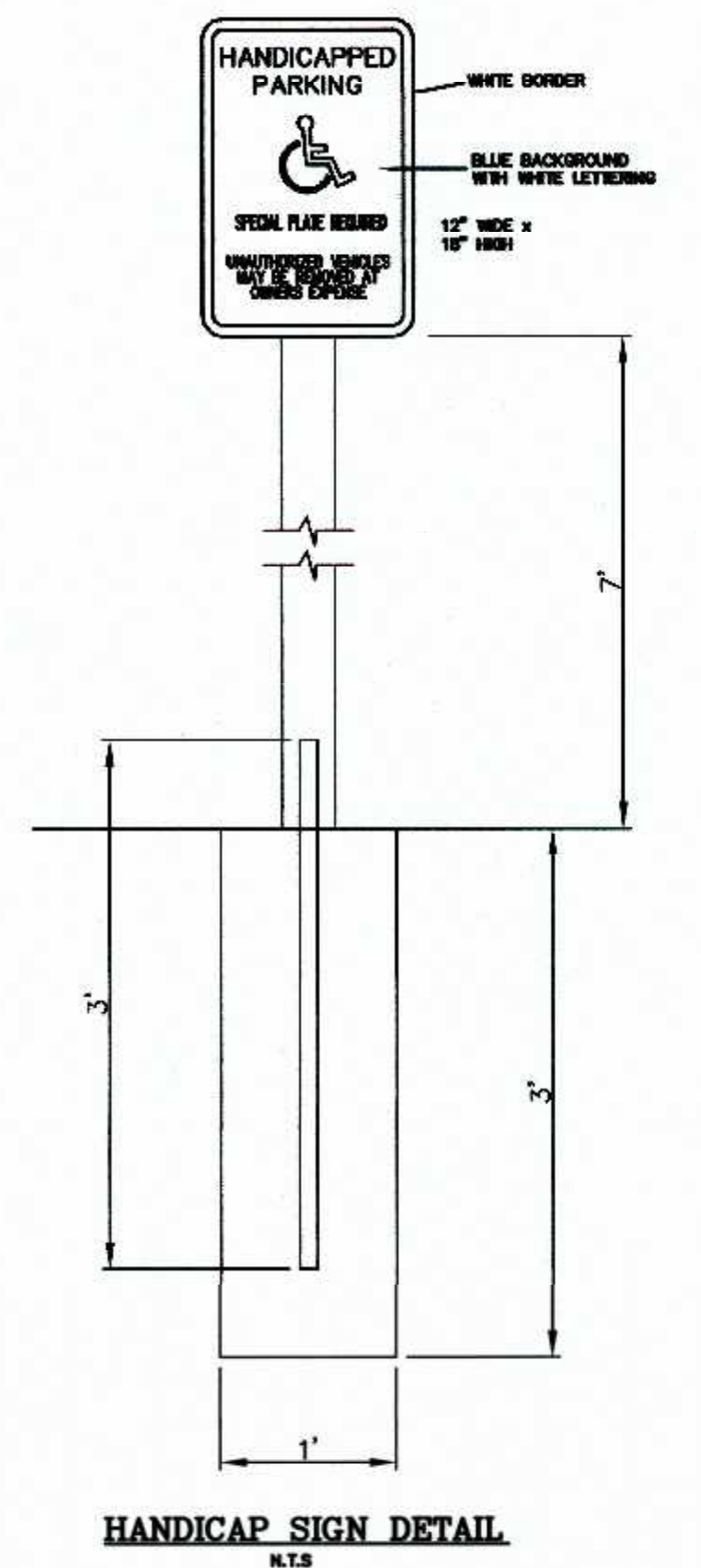
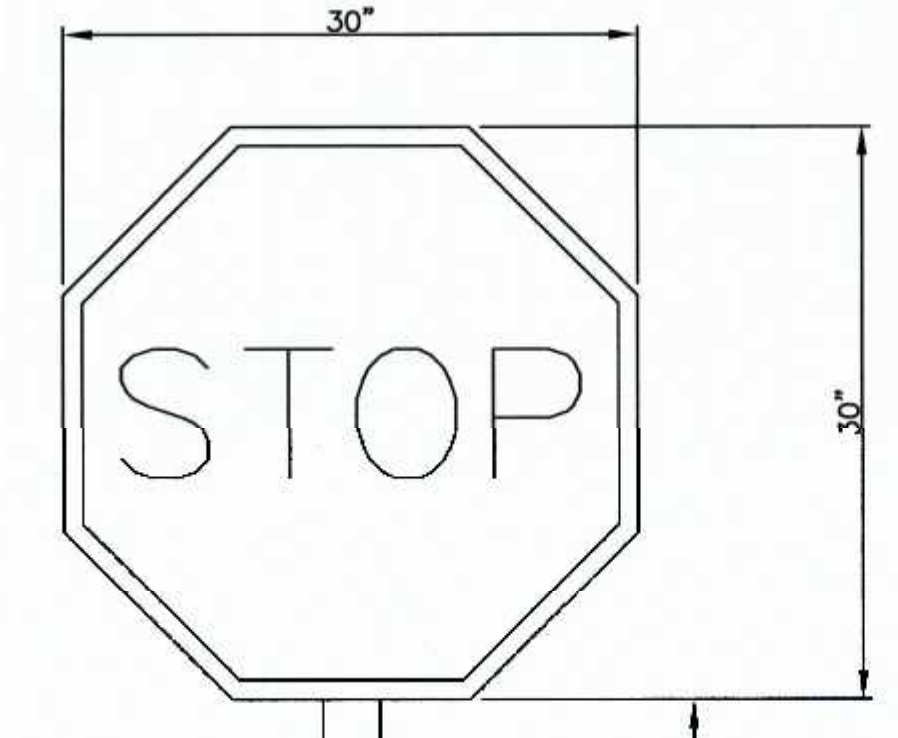
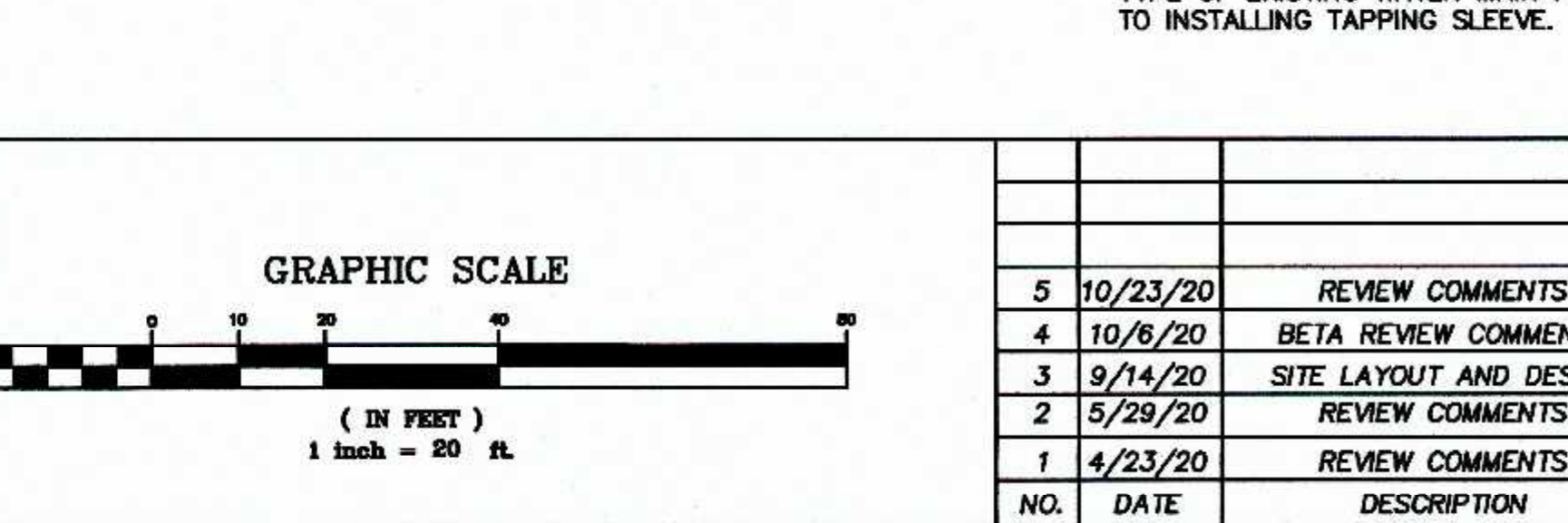
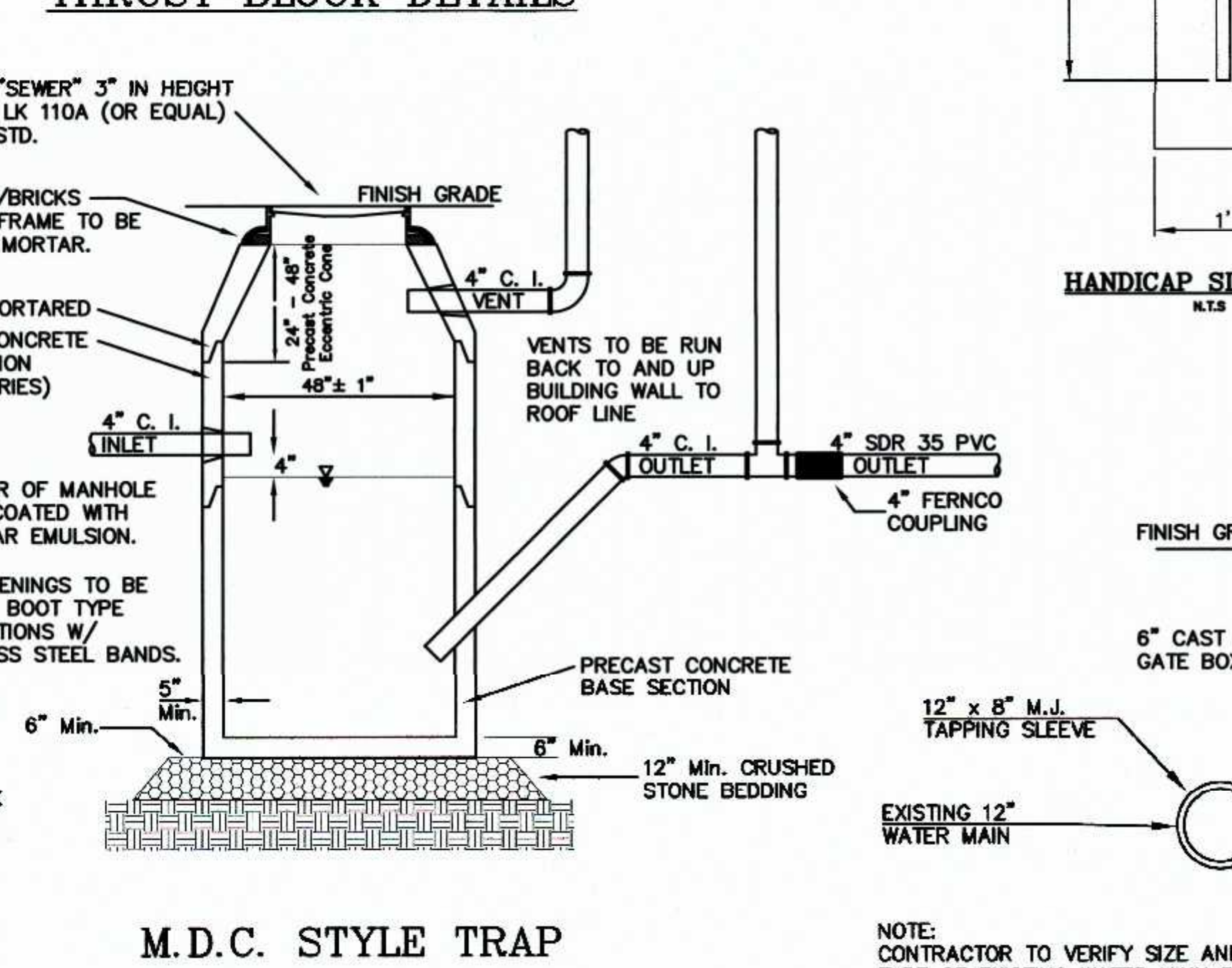
DATE	SCALE	PROJECT	SHEET
MAR. 4, 2020	1" = 20'	UC1334	6 of 9



SIZE OF BRANCH	J	K	L	M	N	O
4" TO 8"	10"	10"	1'-0"	2'-0"	1'-6"	10"
10" TO 16"	1'-0"	1'-0"	1'-8"	3'-10"	2'-10"	1'-8"
24"	1'-4"	2'-0"	2'-8"	5'-0"	3'-8"	1'-8"

TEES AND PLUGS	
D	4" TO 8"
X	1'-8"
Y	1'-2"

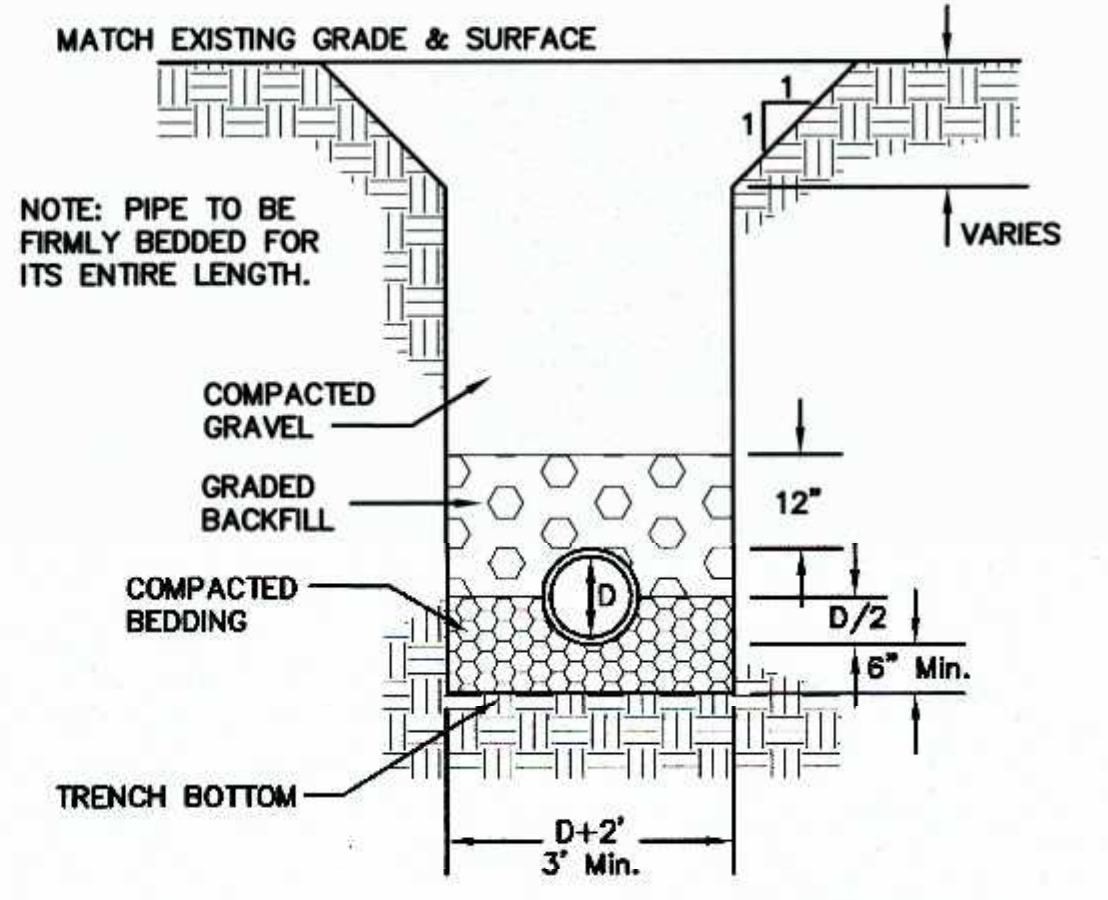
BENDS	
D	4" TO 8"
X	1'-8"
Y	1'-2"



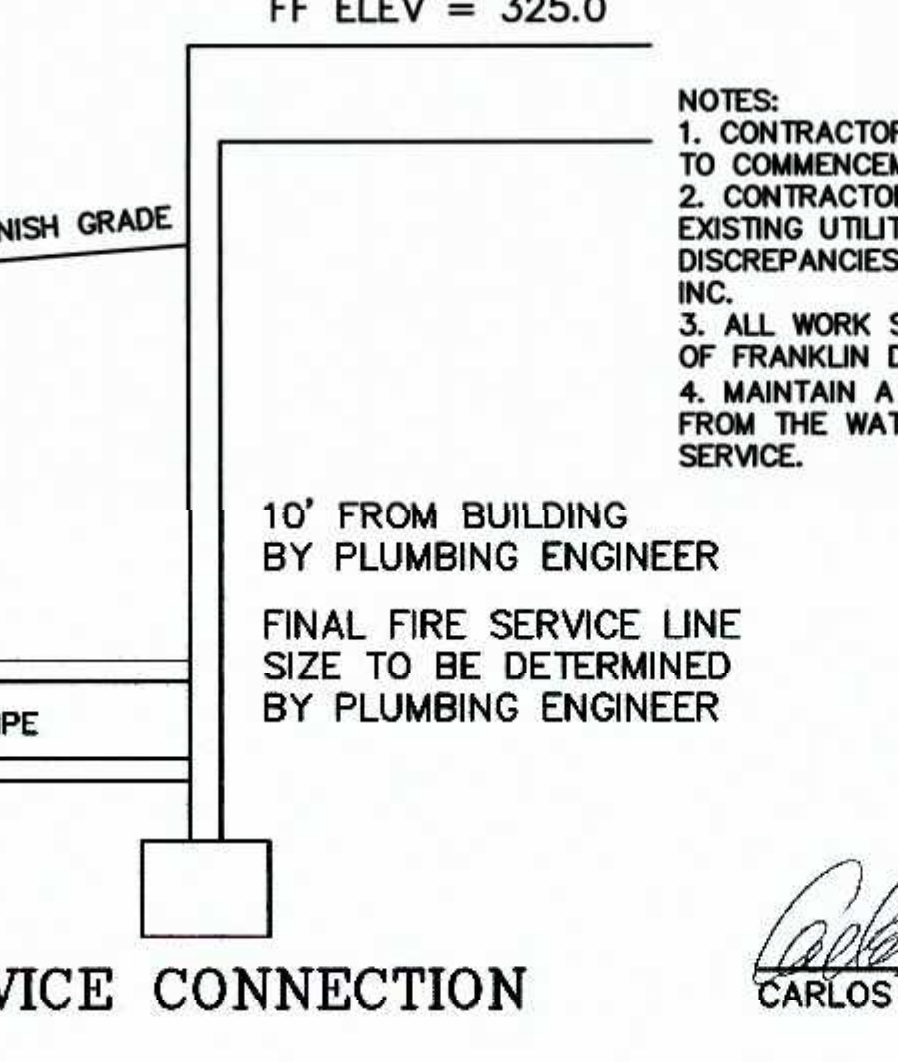
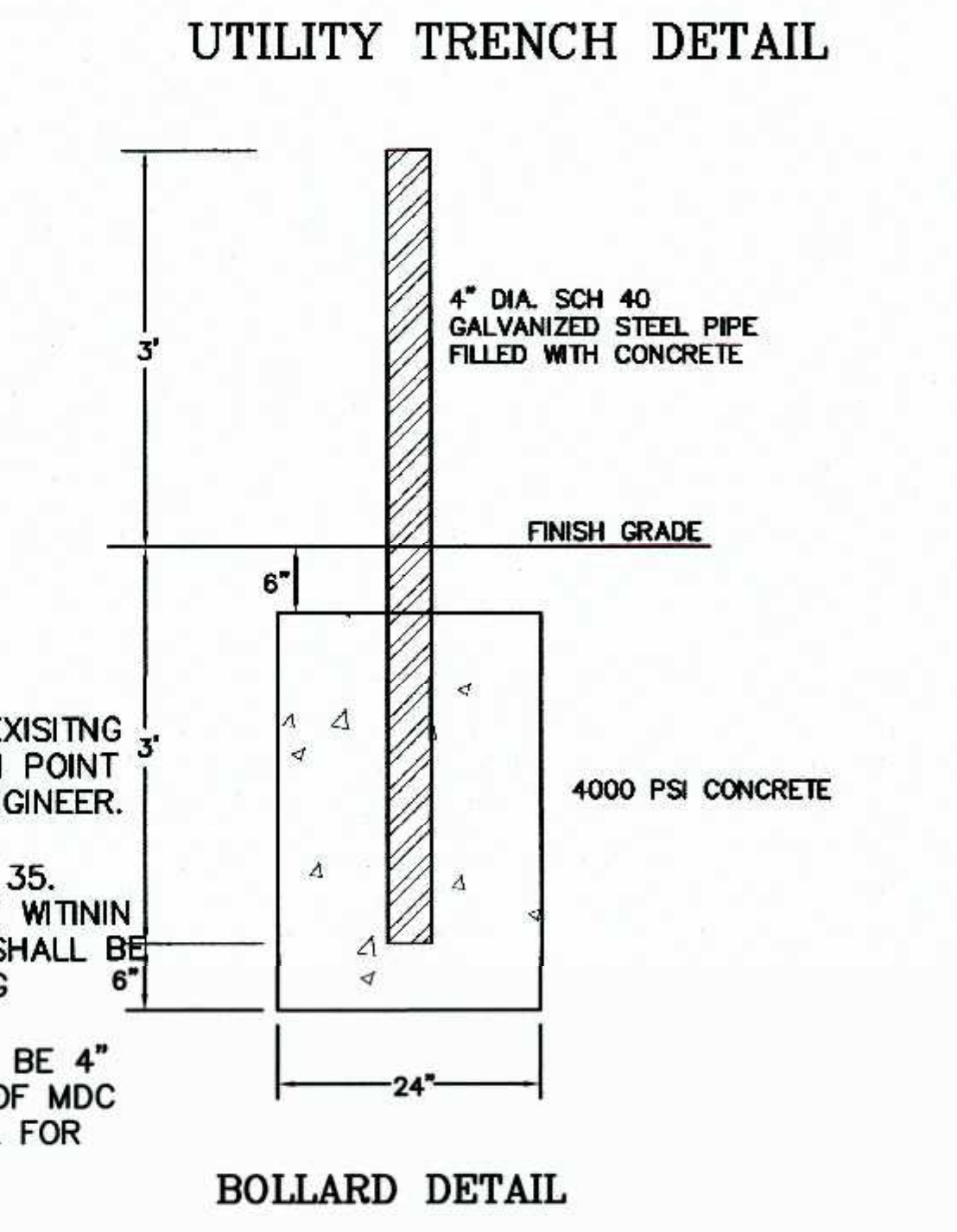
CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AT CONNECTION POINT AND NOTIFY THE DESIGN ENGINEER.

SEWER PIPE TO BE 8" SDR 35. SEWER PIPE SIZE AND TYPE WITHIN 10 FEET OF THE BUILDING SHALL BE PROVIDED BY THE PLUMBING ENGINEER.

SEWER PIPE TO MDC SHALL BE 4" CAST IRON INTO AND OUT OF MDC MANHOLE. REFER TO DETAIL FOR CONNECTION TO PVC.



TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING MATERIAL	GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE	3/8" STONE



- NOTES:
- CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
 - ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
 - MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

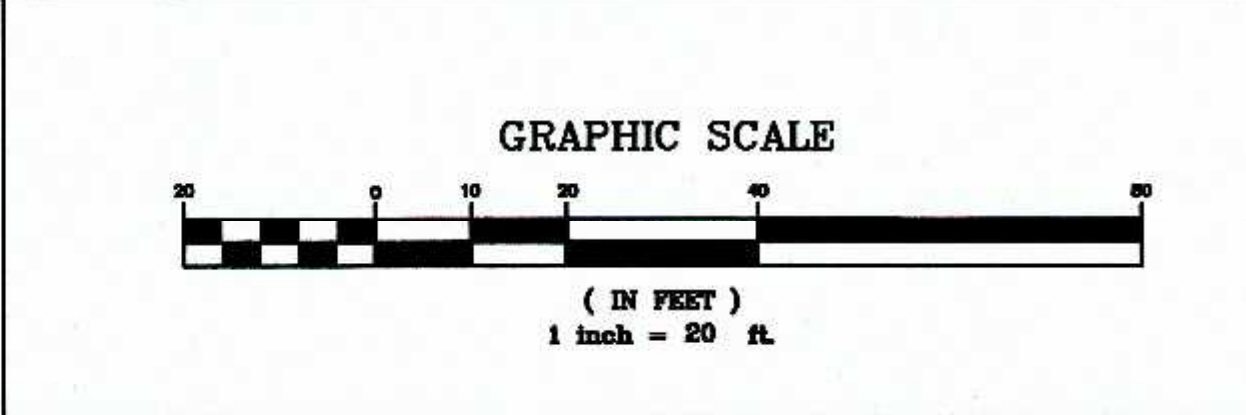
APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION
CONSTRUCTION DETAIL PLAN - 1
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 20'



SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

DATE _____

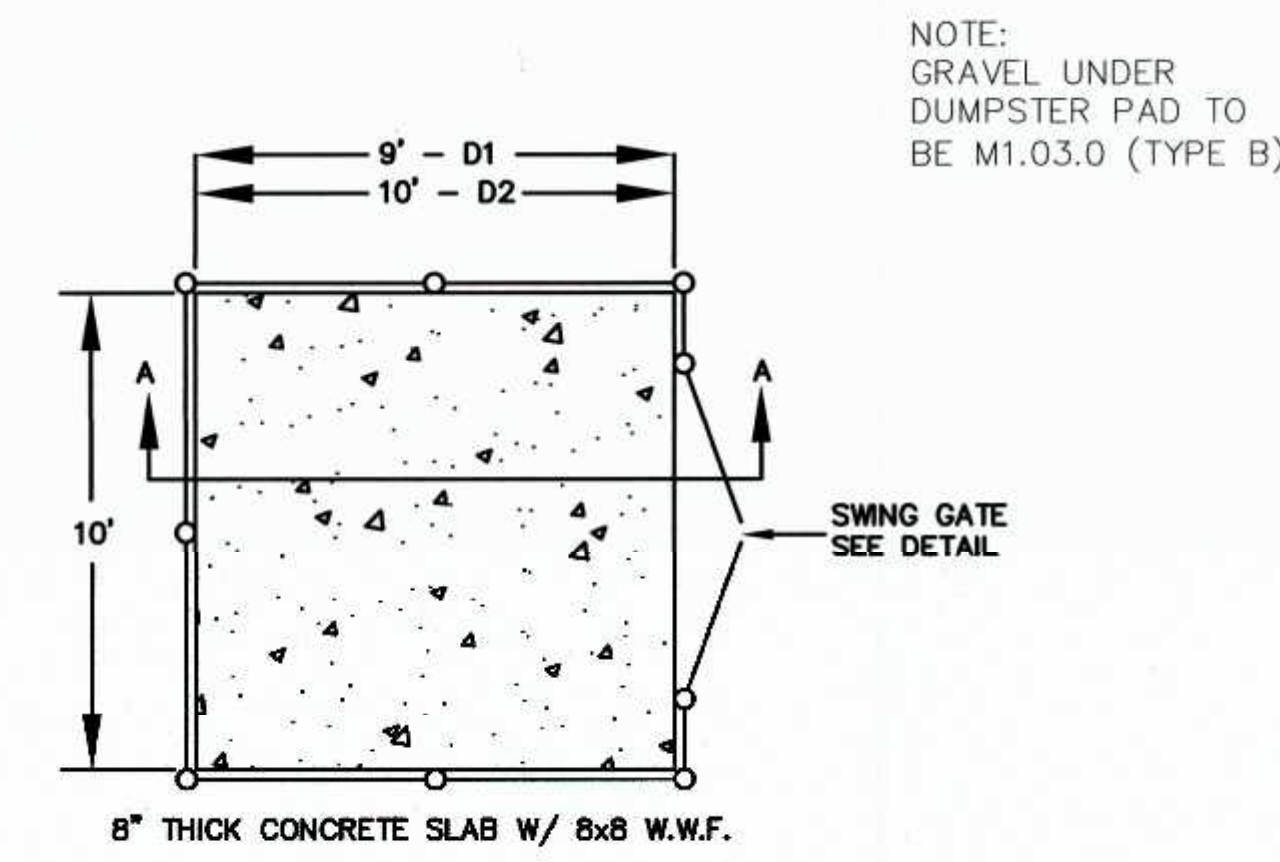


NO.	DATE	DESCRIPTION	BY
5	10/23/20	REVIEW COMMENTS	RRG
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
6/19		BL
BK# 74	FIELD BOOK	PG# 63
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

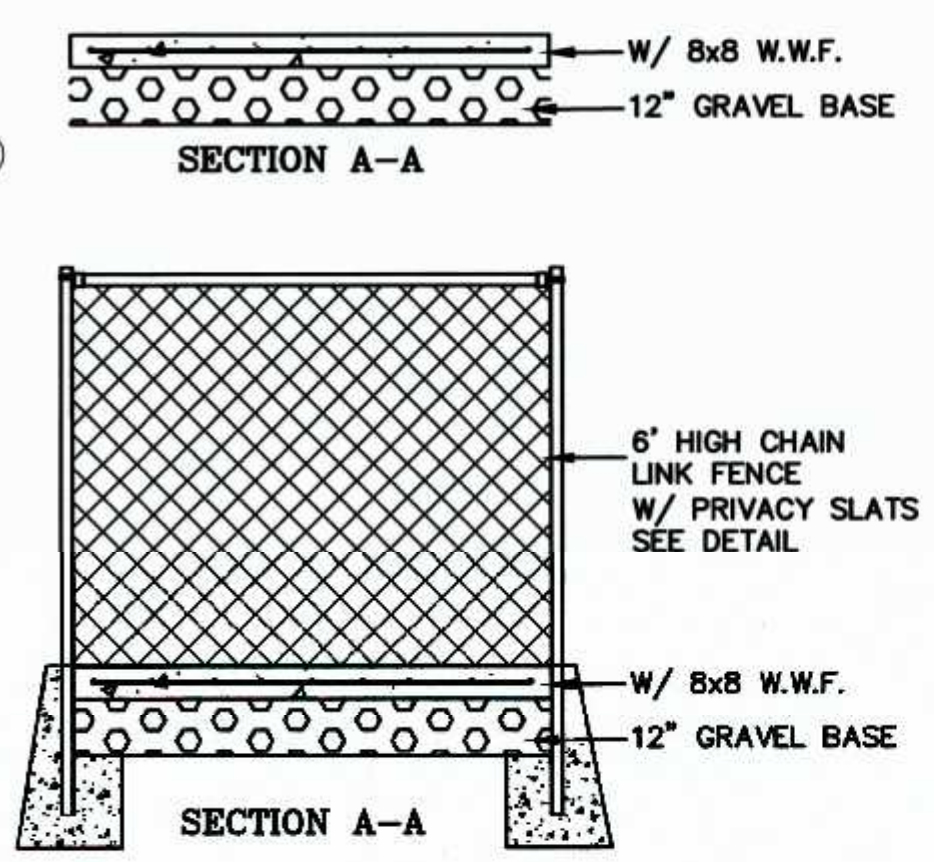
UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8588

DATE
MAR. 4, 2020
SCALE
1" = 20'
PROJECT
UC1334
SHEET
7 of 9



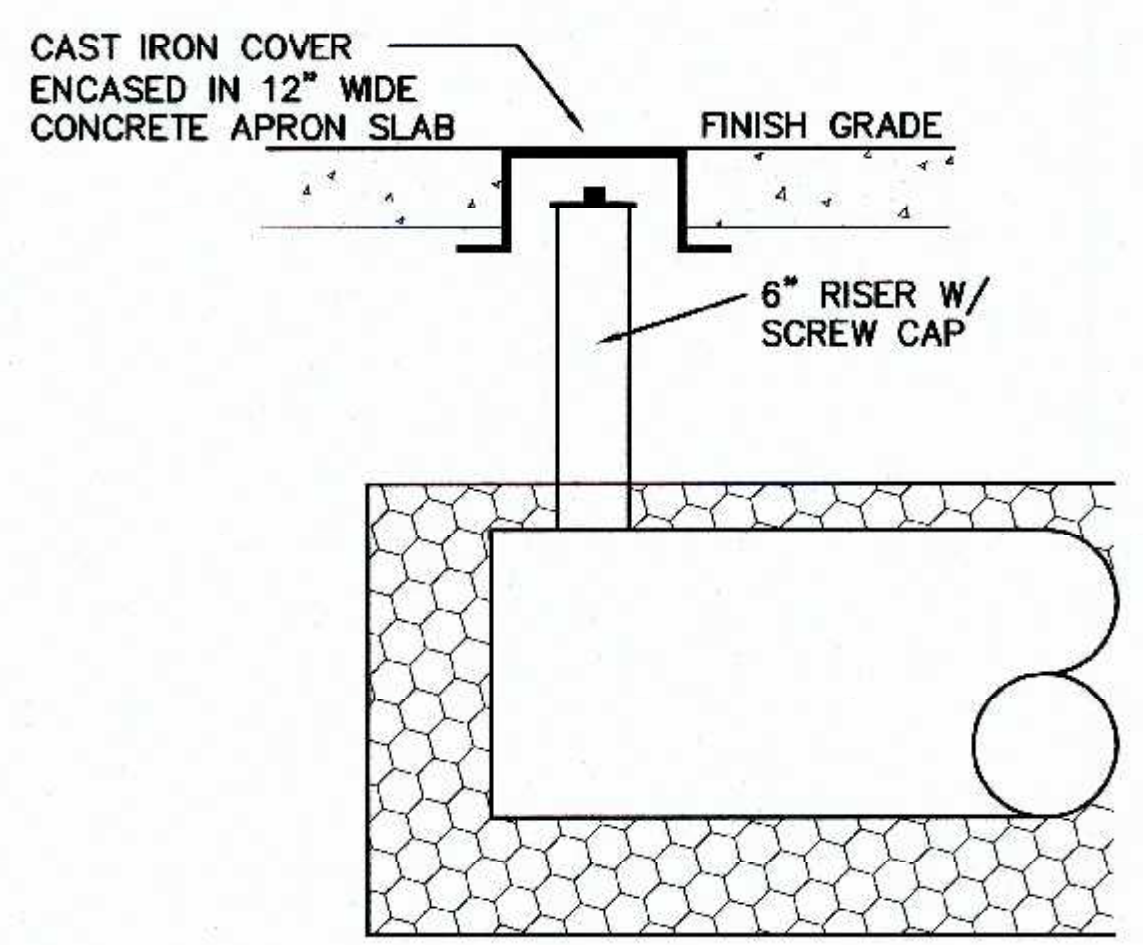
CONCRETE DUMPSTER PAD

NOTE:
GRAVEL UNDER
DUMPSTER PAD TO
BE M1.03.0 (TYPE B)

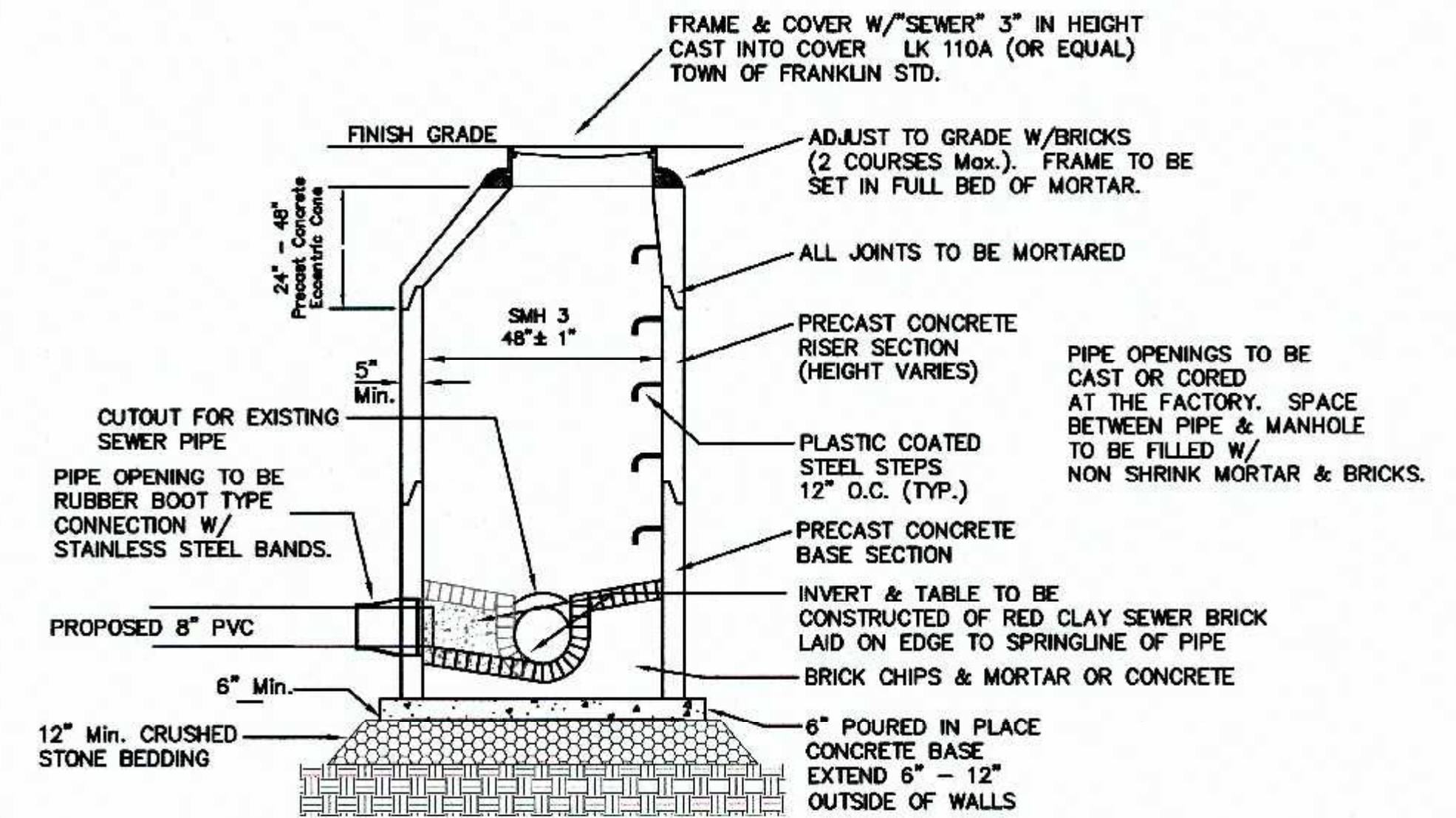


DUMPSTER AREA FENCE

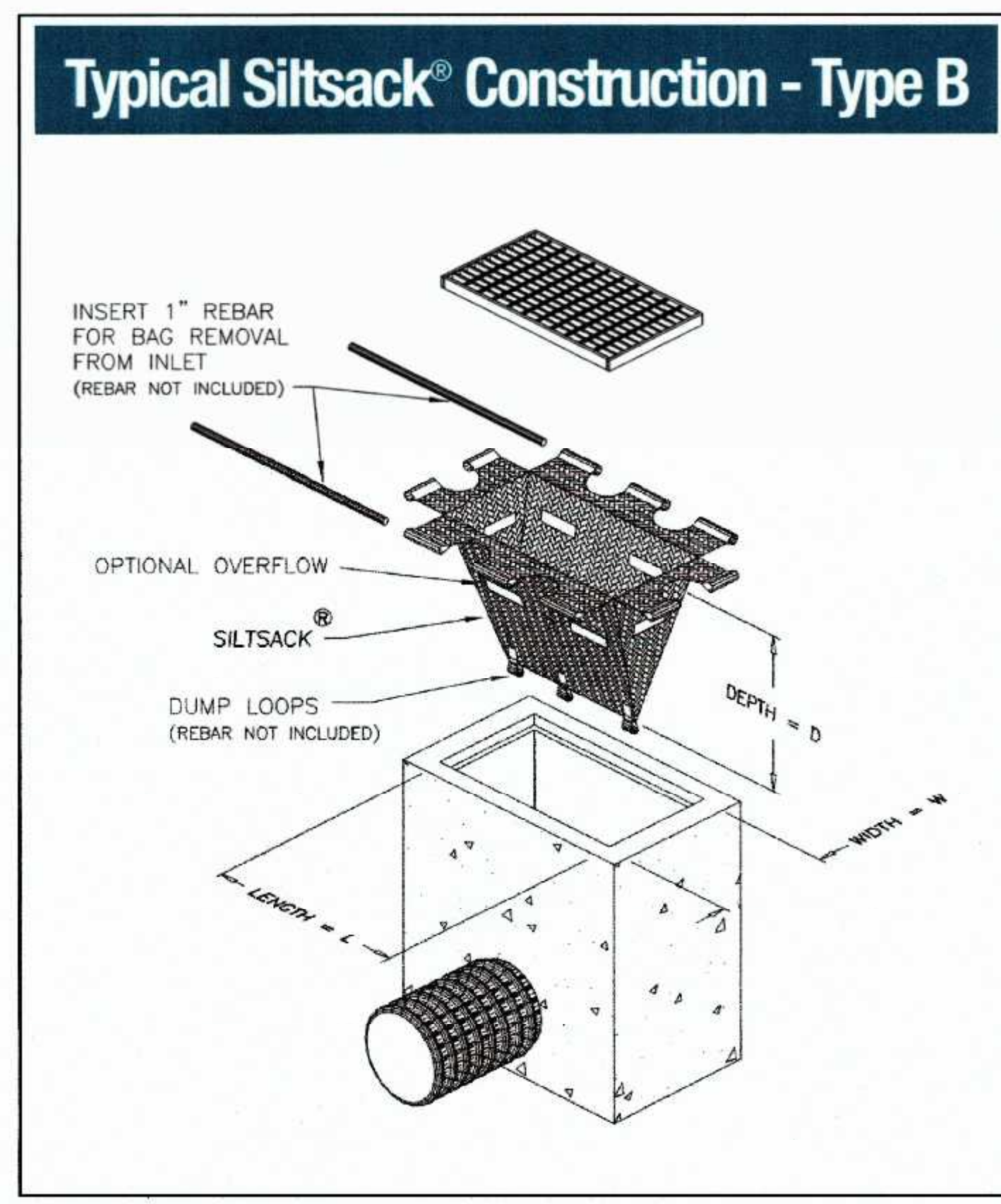
NOTES:
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2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
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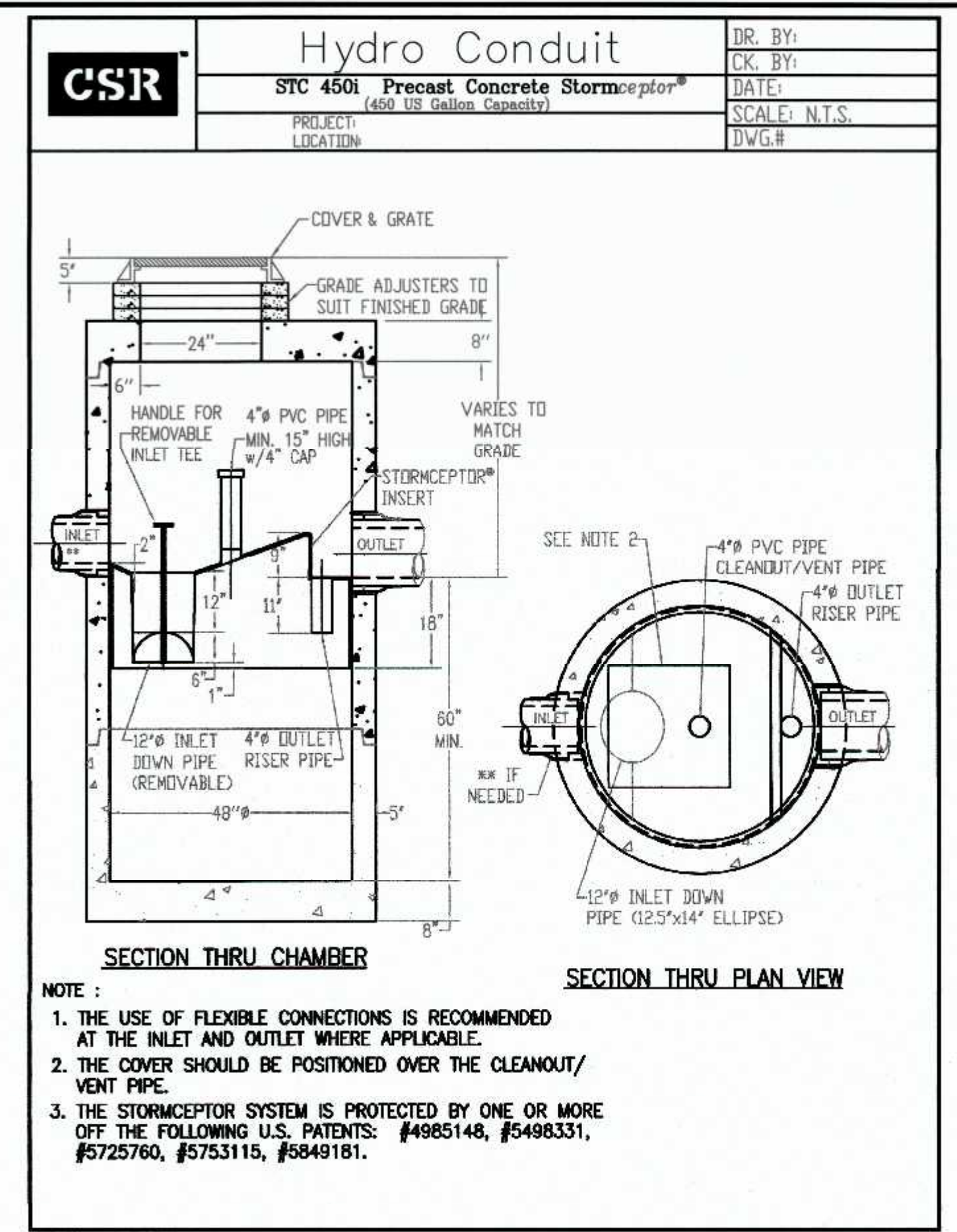
INSPECTION PORT DETAIL
DRAINAGE INFILTRATION AREAS
N.T.S.



PRECAST DOG HOUSE SEWER MANHOLE

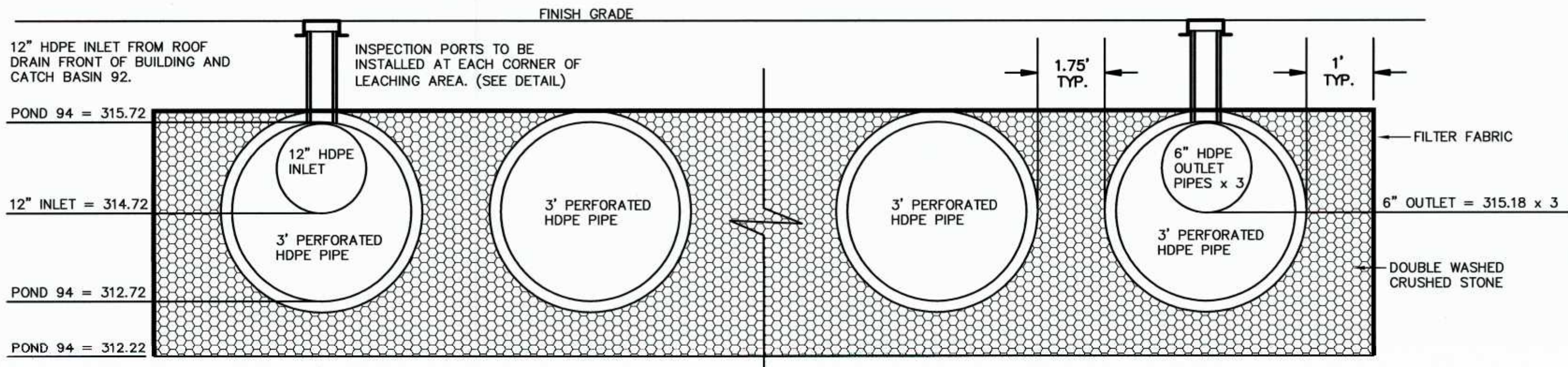


Typical Siltsack® Construction - Type B



Hydro Conduit
STC 450i Precast Concrete Stormceptor®
(450 US Gallon Capacity)
PROJECT LOCATION: _____
DATE: _____
SCALE: N.T.S.
DWG.# _____

NOTE:
1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE CLEANOUT/VENT PIPE.
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.



DRAINAGE INFILTRATION AREA

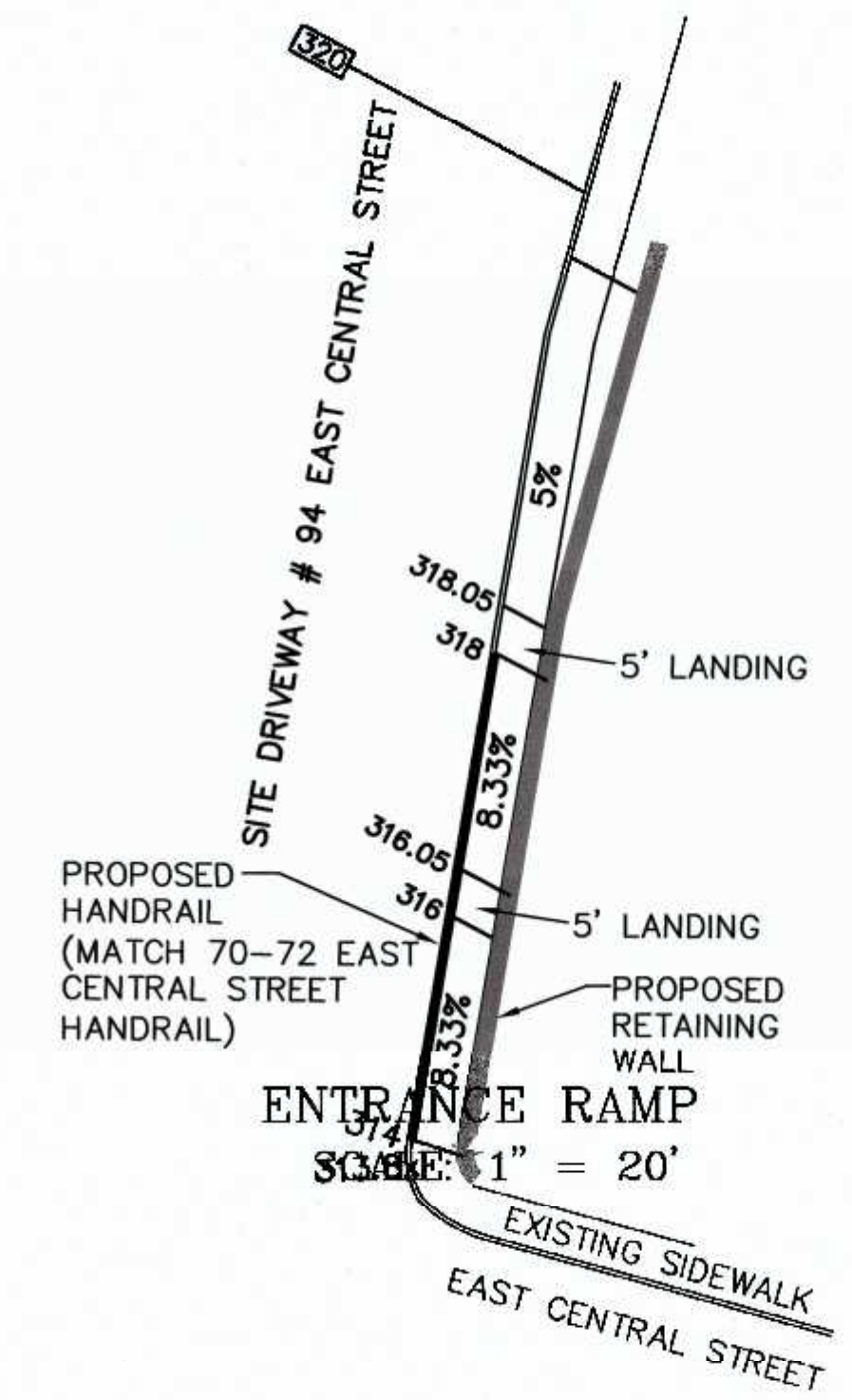
NOTE:
INFILTRATION POND 94
CONSISTS OF 6 ROWS OF 3'
DIAMETER PERFORATED HDPE
PIPE 70' IN LENGTH.
STONE EXTENTS 31.75' X 72'

THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL BEING PLACED.

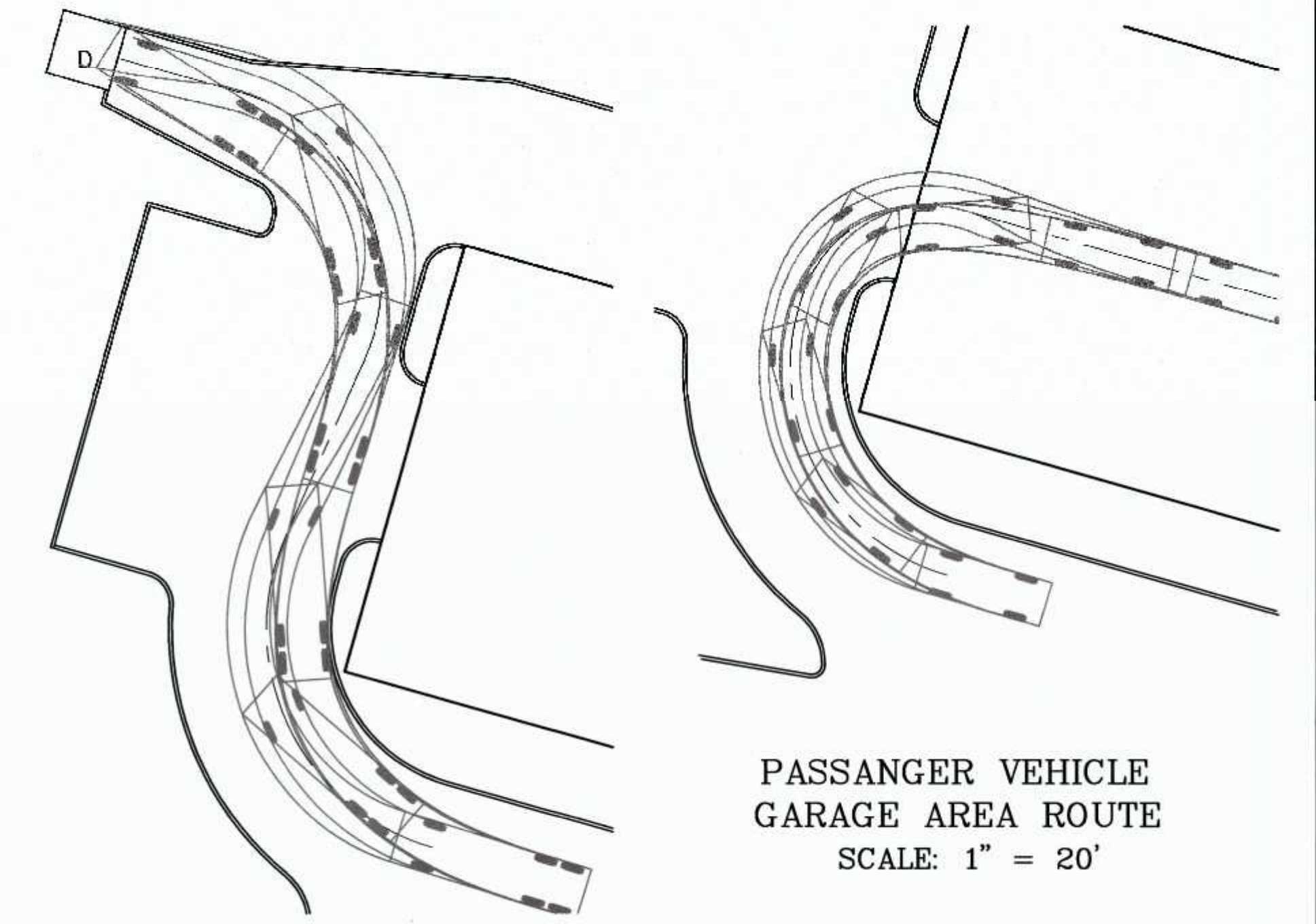
OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS



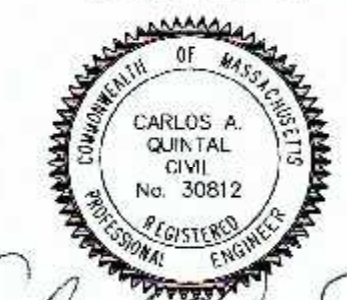
ENTRANCE RAMP
SCALE: 1" = 20'



PASSANGER VEHICLE
GARAGE AREA ROUTE
SCALE: 1" = 20'

WB-30 TRASH TRUCK
DUMPSTER AREA ROUTE
SCALE: 1" = 20'

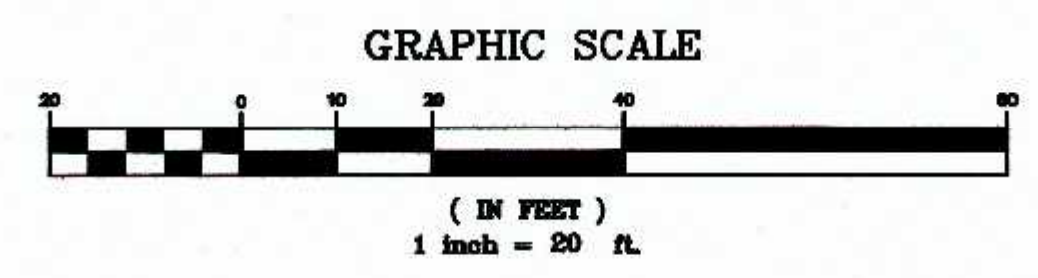
SITE PLAN MODIFICATION
CONSTRUCTION DETAIL PLAN - 2
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 20'



CARLOS A. QUINTAL P.E. #30812

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE _____

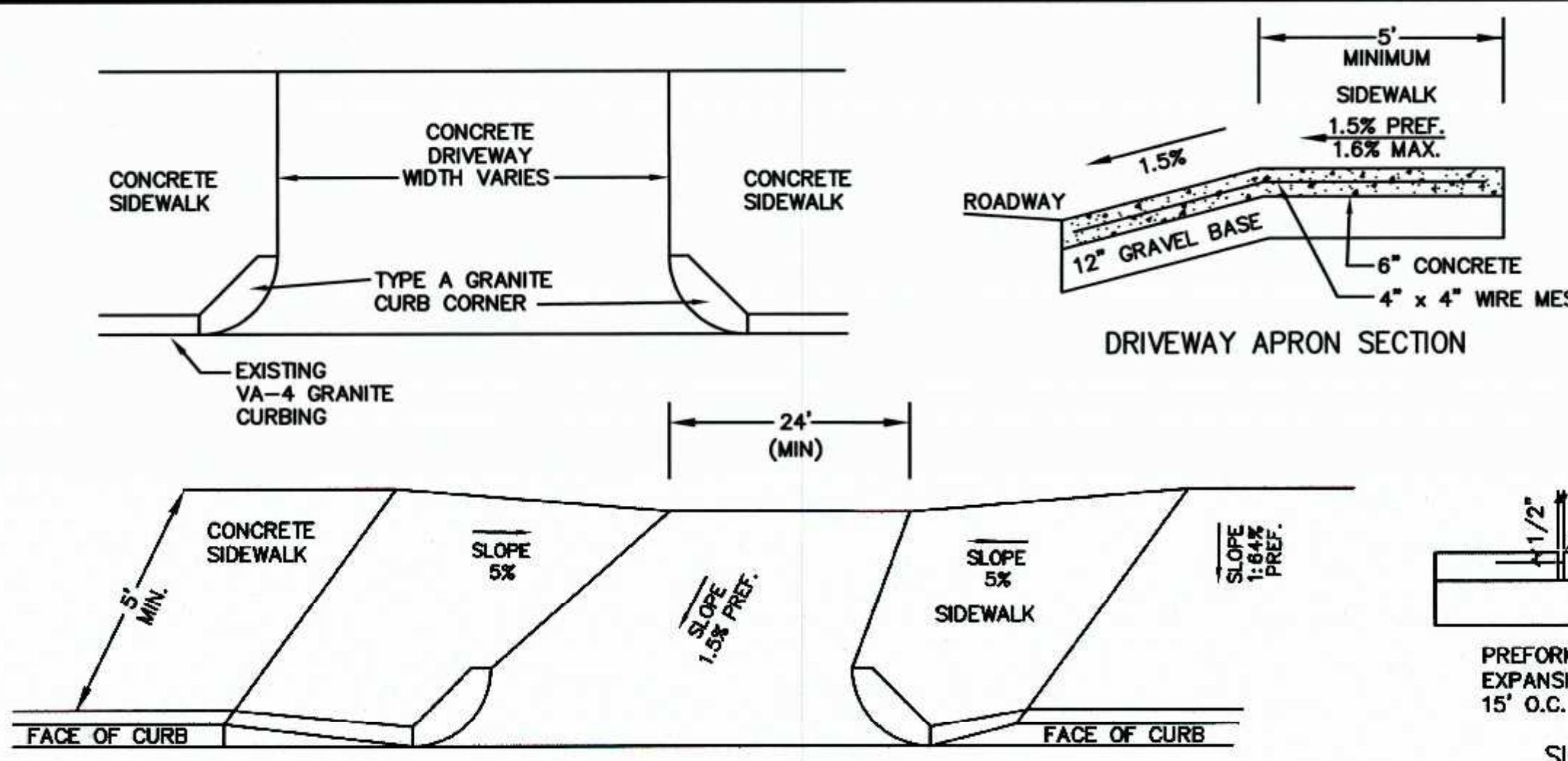


NO.	DATE	DESCRIPTION	BY
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3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

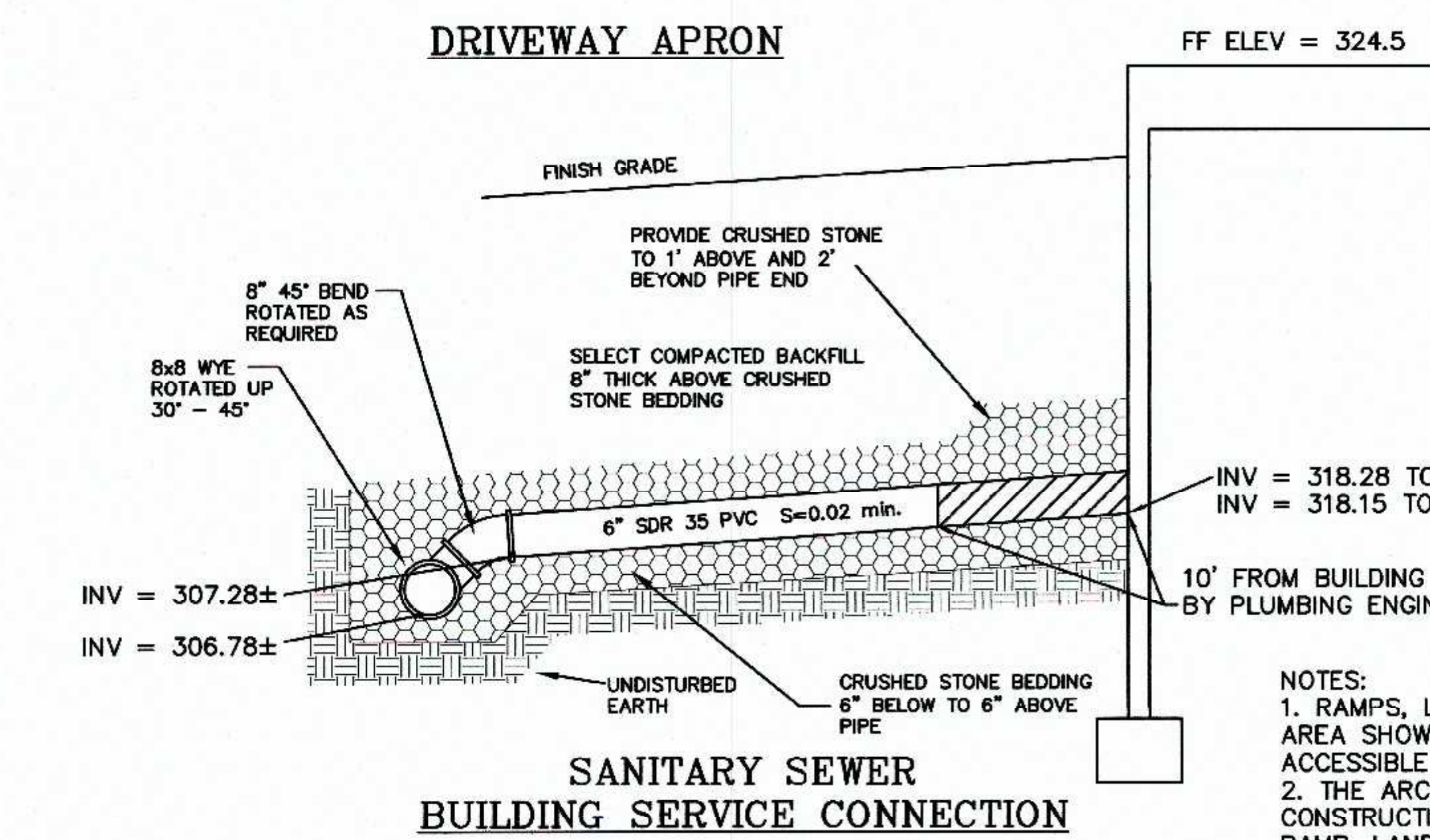
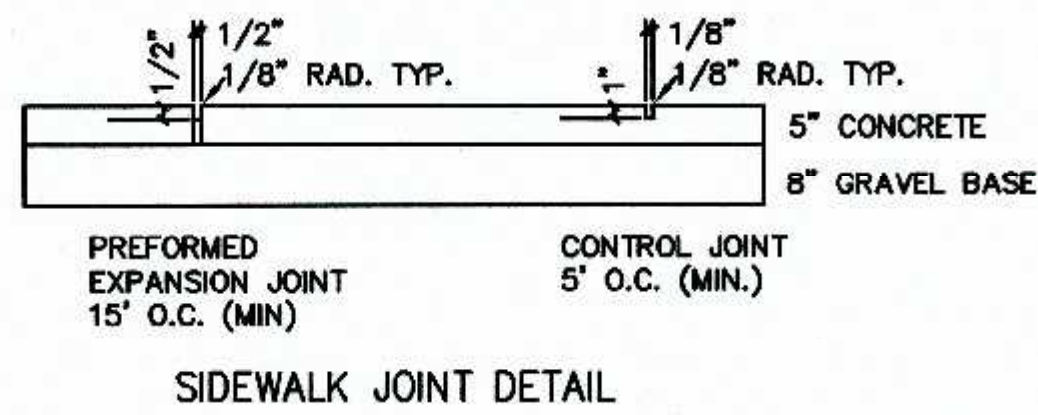
DATE	FIELD BY:	INT.
6/19	FIELD BOOK	BL
BK# 74	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

UNITED
CONSULTANTS
INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8588

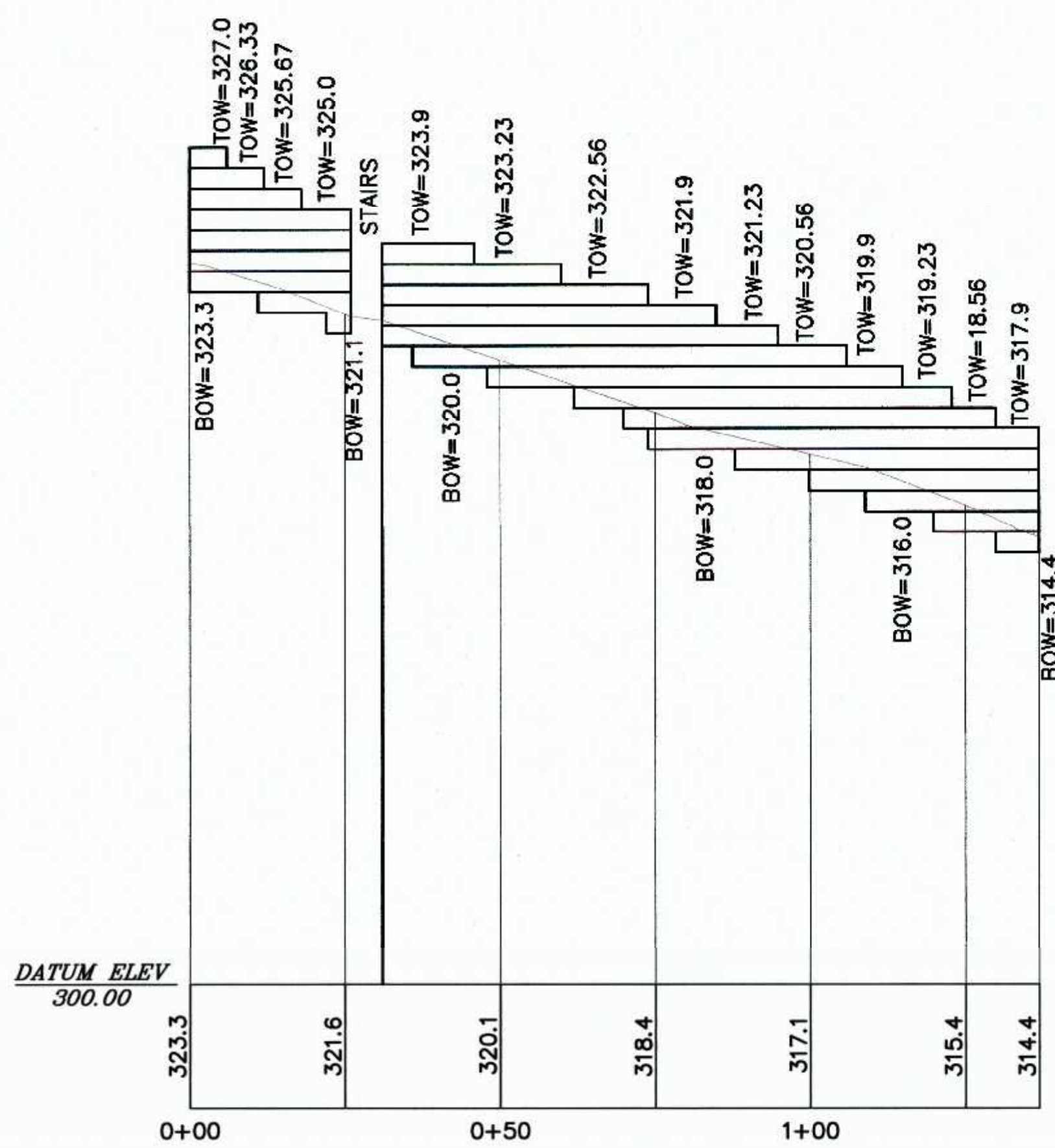
DATE
MAR. 4, 2020
SCALE
1" = 20'
PROJECT
UC1334
SHEET
8 of 9



NOTES:
 1. CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.
 2. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.
 3. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.
 4. GRAVEL UNDER SIDEWALK TO BE M1.03.0 (TYPE B)

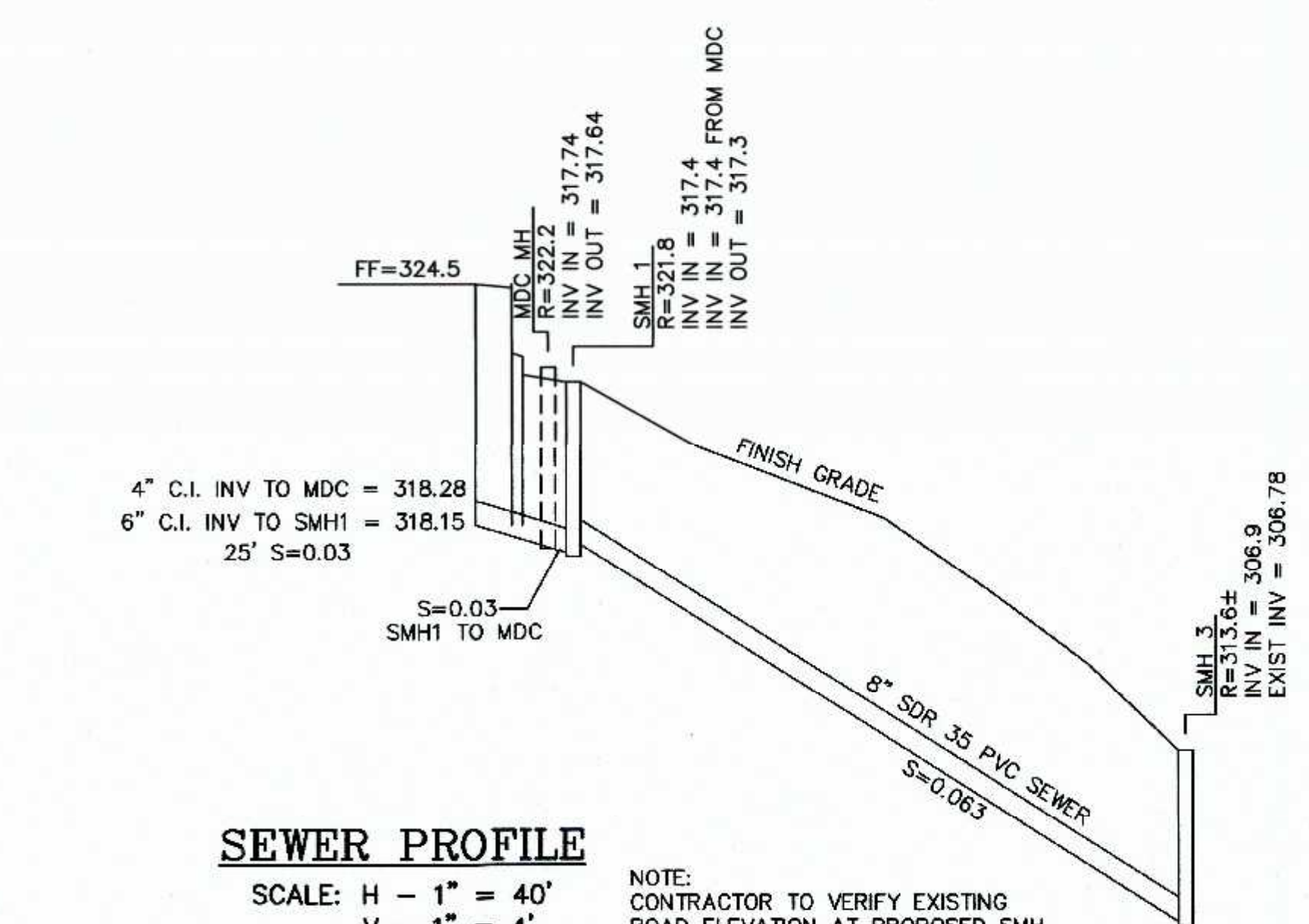


NOTES:
 1. RAMP, LANDINGS AND ENTRANCE AREA SHOWN FOR GRADING OF THE ACCESSIBLE ROUTE ONLY.
 2. THE ARCHITECT SHALL PROVIDE CONSTRUCTION DETAILS FOR THE RAMP, LANDINGS AND ENTRANCE AREA.
 3. RAMP TO INCLUDE HANDRAILS.



PROPOSED RETAINING WALL #1
 SCALE: H - 1" = 20'

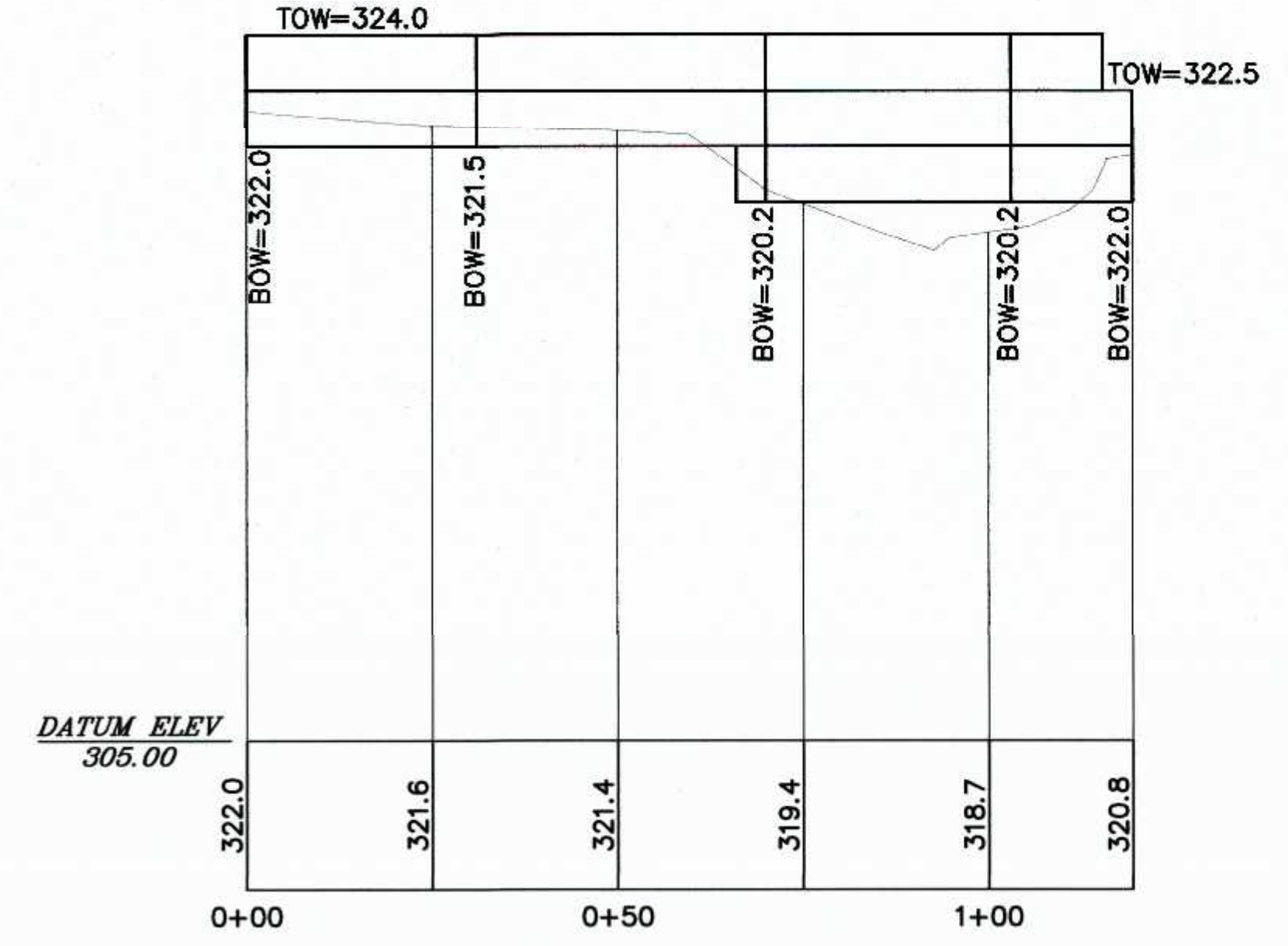
PROPOSED RETAINING WALL # 1 NOTES:
 1. PROPOSED RETAINING WALL SHOWN TO PROVIDE TOP OF WALL (TOW) AND BOTTOM OF WALL (BOW) ELEVATIONS.
 2. FINAL WALL DESIGNS TO BE COMPLETED BY A STRUCTURAL ENGINEER AND FILED WITH THE BUILDING DEPARTMENT, AS NECESSARY.
 3. PROPOSED RETAINING WALLS TO BE ALLEN BLOCKS. BLOCKS TO BE 0.67' IN HEIGHT.



SEWER PROFILE

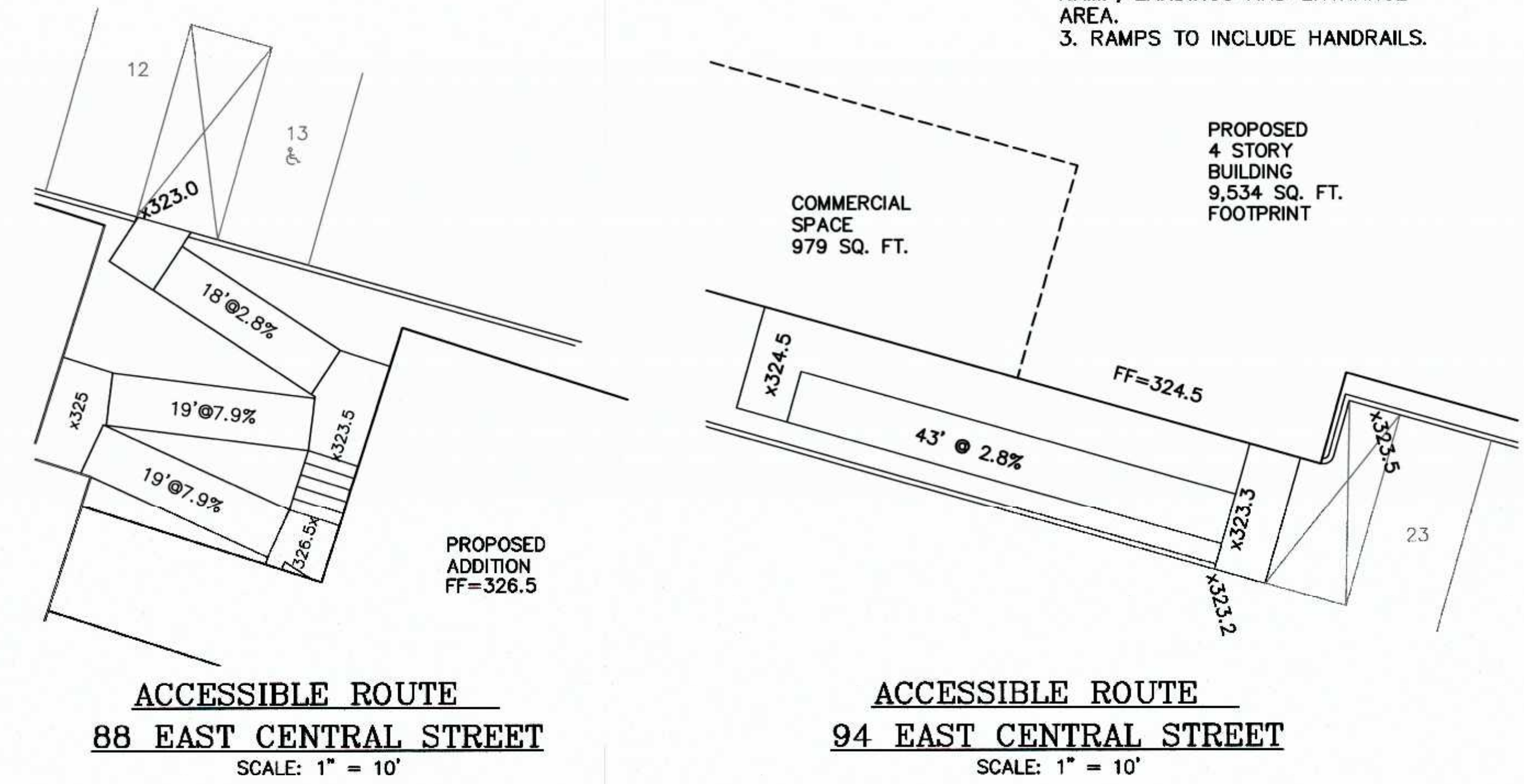
SCALE: H - 1" = 40'
 V - 1" = 4'

NOTE:
 CONTRACTOR TO VERIFY EXISTING ROAD ELEVATION AT PROPOSED SMH 3 PRIOR TO ORDERING THE PRECAST MANHOLE AND REPORT THE ELEVATION TO THE DESIGN ENGINEER.



PROPOSED RETAINING WALL #2

PROPOSED RETAINING WALL # 2 NOTES: SCALE: H - 1" = 20'
 1. PROPOSED RETAINING WALL SHOWN TO PROVIDE TOP OF WALL (TOW) AND BOTTOM OF WALL (BOW) ELEVATIONS.
 2. FINAL WALL DESIGNS TO BE COMPLETED BY A STRUCTURAL ENGINEER AND FILED WITH THE BUILDING DEPARTMENT, AS NECESSARY
 3. PROPOSED RETAINING WALLS TO BE REDI ROCK BLOCKS. BLOCK TO BE 1.5 FEET IN HEIGHT.



ACCESSIBLE ROUTE
 88 EAST CENTRAL STREET
 SCALE: 1" = 10'

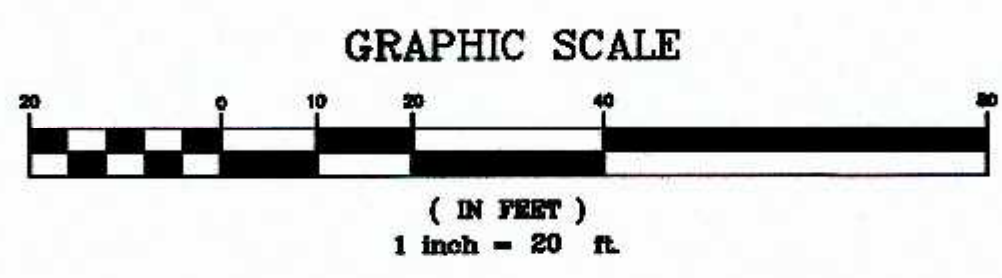
ACCESSIBLE ROUTE
 94 EAST CENTRAL STREET
 SCALE: 1" = 10'

CARLOS A. QUINTAL P.E. #30812

SITE PLAN MODIFICATION
 CONSTRUCTION DETAIL PLAN - 3
 70, 72, 88 AND 94 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 MARCH 4, 2020
 SCALE: 1" = 20'

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD

DATE



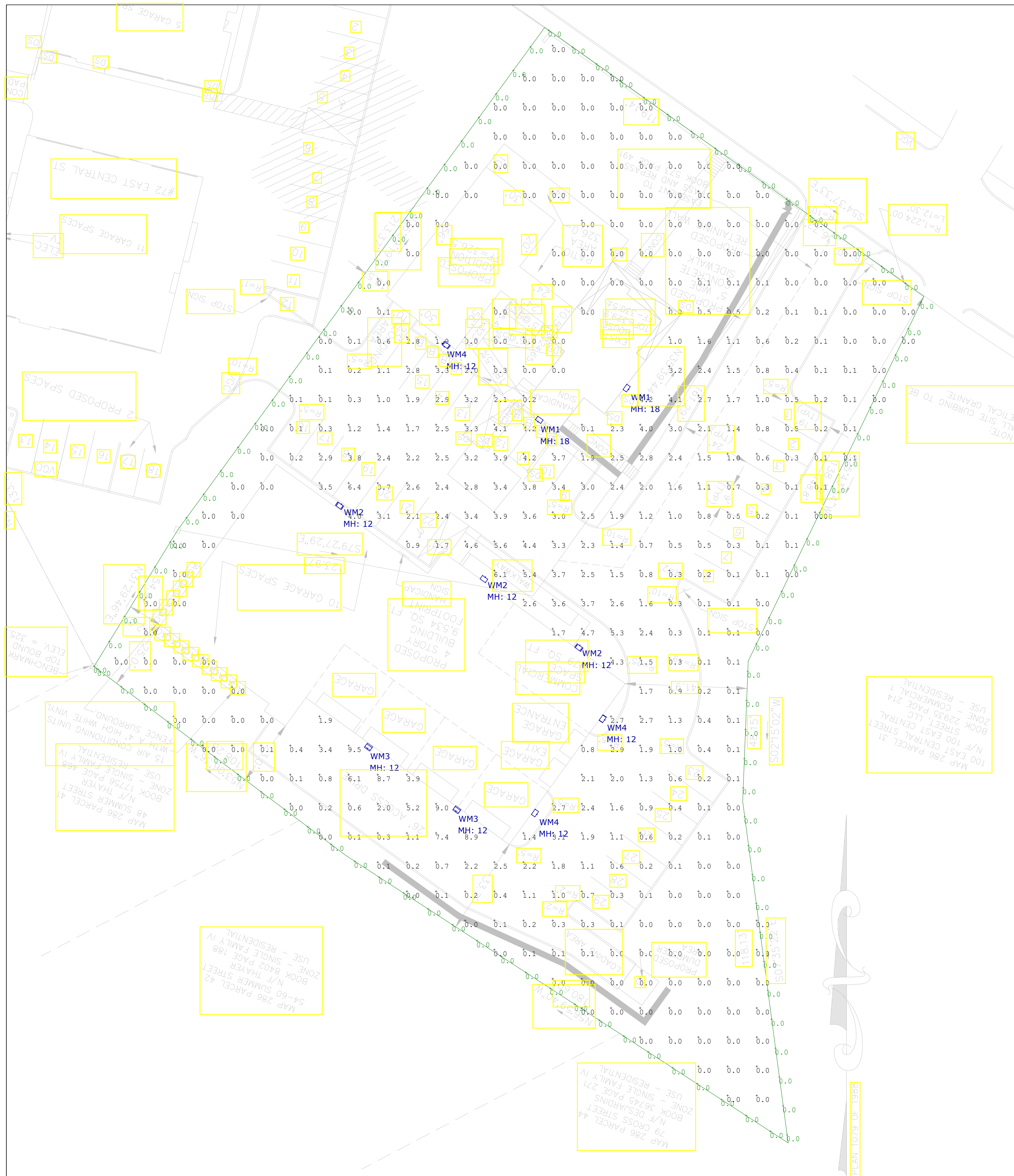
NO.	DATE	DESCRIPTION	BY
5	10/23/20	REVIEW COMMENTS	RRG
4	10/6/20	BETA REVIEW COMMENTS	RRG
3	9/14/20	SITE LAYOUT AND DESIGN	RRG
2	5/29/20	REVIEW COMMENTS	RRG
1	4/23/20	REVIEW COMMENTS	RRG

OWNER:
 MAP 286 PARCELS 32 AND 34
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 OWNER MAP 286 PARCEL 33
 JOHN AND CARMEL SHERRY
 88 EAST CENTRAL STREET
 APPLICANT:
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

DATE	FIELD BY:	INT.
6/19	FIELD BOOK:	BL
BK# 74	PG# 63	
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8560 FAX 508-384-8568

DATE
 MAR. 4, 2020
 SCALE
 1" = 20'
 PROJECT
 UC1334
 SHEET
 9 of 9



Luminaire Schedule						
Symbol	Label	Qty	Description	LLF	Lum. Watts	Lum. Lumens
□	WM1	2	Xtralight # VNTW-11000L-40K-DIM-4S-BZ	0.900	109.1	10678
□	WM2	3	Xtralight # VNTW-5500L-40K-DIM-4S-BZ	0.900	55.7	6017
□	WM3	2	Xtralight # VNTW-5500L-40K-DIM-2S-BZ	0.900	55.7	5969
□	WM4	3	Xtralight # VNTW-3500L-40K-DIM-4S-BZ	0.900	27.8	3521

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.
Site Points	Illuminance	Fc	1.00	9.5	0.0	N.A.

XtraLight
LED Lighting Solutions

VIENTO LED WALL PACK
VNTW 3500 - 11000L

APPLICATIONS

- Security Lighting
- Entry Lighting
- Accident Lighting
- General Exterior Lighting

PRODUCT PERFORMANCE

Model	IES Report	Lumens	Watts	LM/W
3500L	ATLAL06425	5069	52.39	967.7
3500L	ATLAL06424	8420	79.50	1059.8
4000L	ATLAL06422	8576	79.63	1063.2
4000L	ATLAL06421	9481	89.91	1054.7
4000L	ATLAL06420	6290	79.50	791.2
4000L	ATLAL06419	6680	79.63	838.6
4000L	ATLAL06418	8076	89.91	898.2

ORDER LOGIC

VNTW - [Model] - [CCT] - [Driver] - [Optics] - [Finish] - [Controls & Options]

VIENTO LED WALL PACK
VNTW 3500 - 11000L

IES DISTRIBUTION TYPES

Distance in Units of Mounting Height Values Based on 25 Foot Mounting Height.

Type II Short, Type II Medium, Type III Medium, Type IV Short

PHOTOMETRIC DATA

4000K CCT

Model	IES Report	Lumens	Watts	LM/W
3500L	ATLAL06425	5069	52.39	967.7
3500L	ATLAL06424	8420	79.50	1059.8
4000L	ATLAL06422	8576	79.63	1063.2
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4000L	ATLAL06419	6680	79.63	838.6
4000L	ATLAL06418	8076	89.91	898.2

Additional CCT Information

CCT	Multiplier
3000K	0.81
4000K	1.0
5000K	0.96

1 Xtralight Viento

- NOTES:**
- A LIGHT LOSS FACTOR OF 0.900 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
 - SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
 - CALCULATION POINTS ARE TAKEN AT GRADE.
 - CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.

DATE:	REVISIONS	DESCRIPTION	DATE
October 8, 2020	1	Updated for Town Comments	10/08/2020
PROJECT NUMBER:	2		
DRAWN BY: AD	3		
CHECKED BY: HD	4		
APPROVED BY: HD	5		
SCALE: 1"=20'-0"	6		
	7		