

Town of Franklin



Planning Board

Due to the growing concerns regarding the COVID-19 virus, we will be conducting a remote/virtual Planning Board Meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number (Cell phone or Landline Required) OR citizens can participate by copying the link (Phone, Computer, or Tablet required).

Please click on the link <https://us02web.zoom.us/j/85696848238> or call on your phone at 312-626-6799, meeting # 85696848238.

September 21, 2020

7:00 PM Commencement/General Business

GENERAL BUSINESS:

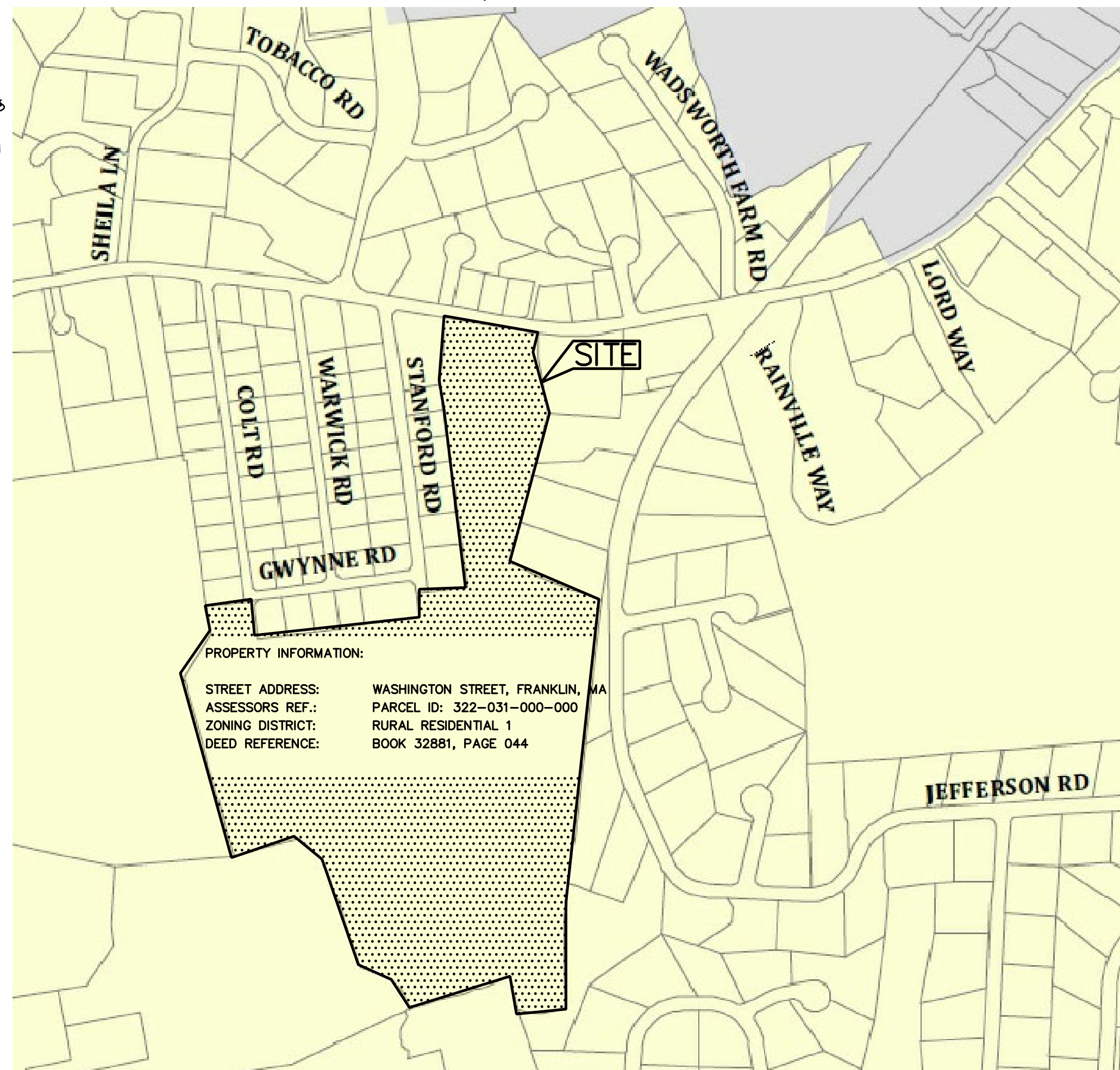
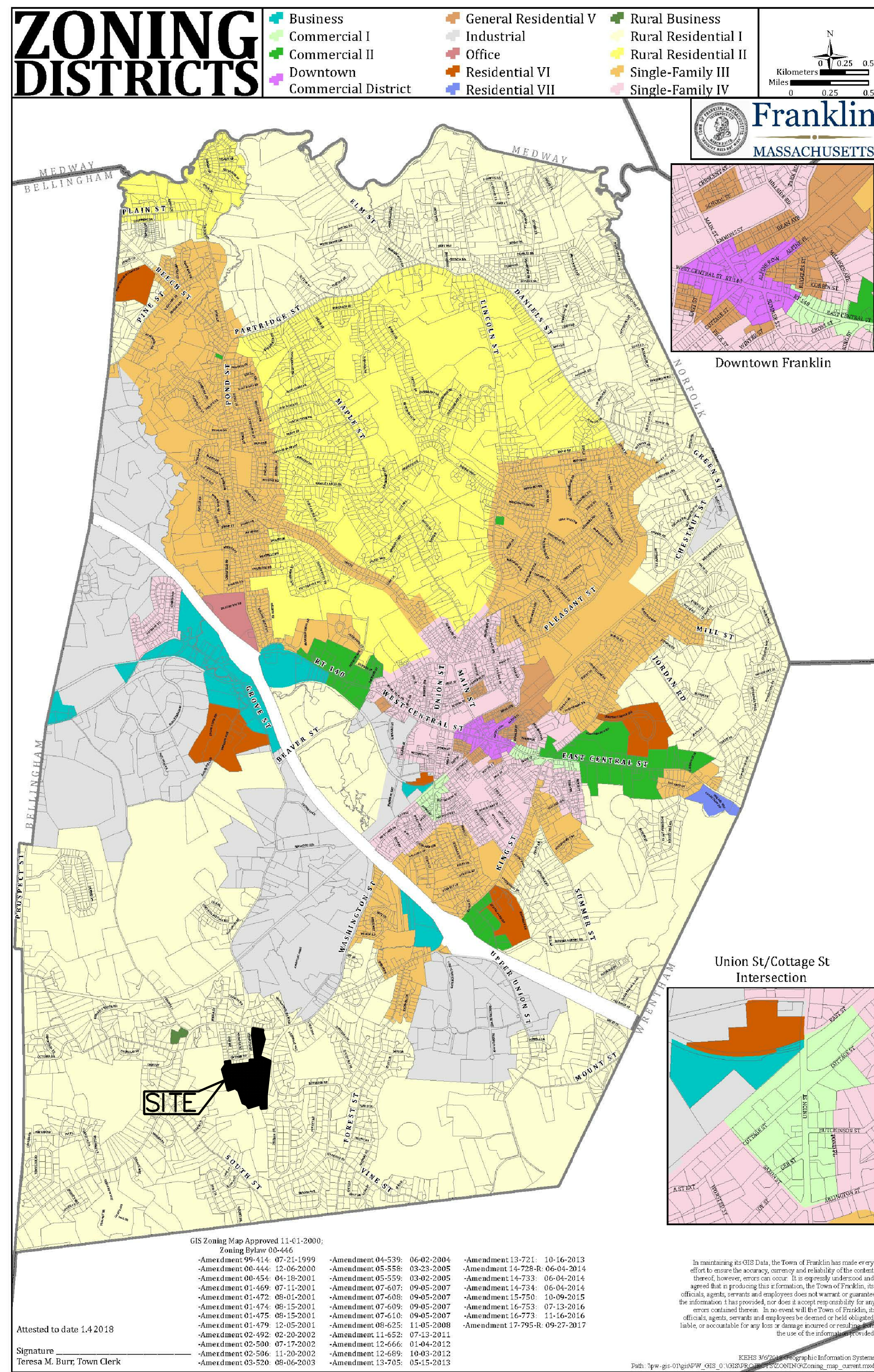
- A. Endorsement: Amego – Washington St Site Plan
- B. Bond Release: Sandy Knoll Estates
- C. 81-P ANR: 300 West Central St
- D. 81-P ANR: 176-210 Grove St
- E. Discussion: 176-210 Grove St Site Plan Revisions
- F. Final Form H: Villages at Cook's Farm
- G. Street Acceptance: Union Meadows Road
- H. Discussion: Franklin Country Club
- I. Meeting Minutes: August 12, August 17 & August 24, 2020

This agenda is subject to change. Last updated: September 15, 2020

The next meeting of the Planning Board is scheduled for September 28, 2020.

SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET

FEBRUARY 1, 2019



TOWN OF FRANKLIN ZONING MAP - PARTIAL
SCALE: NOT TO SCALE



SITE PHOTOGRAPH
SCALE: NOT TO SCALE

SHEET INDEX:

SHEET 1	COVER SHEET
SHEET 2	ABUTTERS MAP AND ABUTTERS LISTING
SHEET 3	PROPERTY PLAN
SHEET 4	EXISTING CONDITIONS PLAN WITH DRAINAGE CATCHMENTS
SHEET 5	SITE PLAN AND NOTES
SHEET 6	GRADING PLAN AND NOTES
SHEET 7	UTILITY PLAN AND NOTES
SHEET 8	SEDIMENT AND EROSION CONTROL PLAN WITH DRAINAGE CATCHMENTS
SHEET 9	SURFACE COVER AND LAYOUT DETAIL PLAN
SHEET 10	TYPICAL DETAILS
SHEET 11	TYPICAL DETAILS
SHEET 12	TYPICAL DETAILS
SHEET 13	CONSTRUCTION GENERAL PERMIT AND SWPPP NOTES
SHEET 14	TYPICAL DETAILS AND NOTES

PROJECT INFO:

1. PROPERTY INFORMATION:
STREET ADDRESS: WASHINGTON STREET, FRANKLIN, MA
ASSESSORS REF.: PARCEL ID: 322-031-000-000
ZONING DISTRICT: RURAL RESIDENTIAL 1
DEED REFERENCE: BOOK 32881, PAGE 044

2. ZONING INFORMATION:
DISTRICT: RURAL RESIDENTIAL 1
USE: EDUCATIONAL

	REQUIRED	PROPOSED
MIN. AREA:	40,000 SF	2,271,721 SF
MIN. FRONTAGE:	200'	370'
MIN. FRONT YARD:	40'	40'
MIN. SIDE YARD:	40'	40'
MIN. REAR YARD:	40'	58'
MAX. HEIGHT:	35'	32'
MIN. LOT WIDTH:	180'	300'
MIN. LOT DEPTH:	200'	1000'
MAX. IMPERVIOUS LOT COVERAGE:	25%	3%
MAX. IMPERVIOUS UPLAND ONLY:	15%	12.5%

3. APPLICANT: AMEGO, INC.
33 PERRY AVE
ATTLEBORO, MA 02703
4. ARCHITECT: WILLIAM A MASIELLO ARCHITECT INC.
389 CENTRAL STREET
BOYLSTON, MA 01505
(508)869-0597
5. ENGINEER: QUINN ENGINEERING, INC.
PO BOX 107
PAXTON, MA 01612
(508)753-7999
6. SURVEYOR: JARVIS LAND SURVEY
29 GRAFTON CIRCLE
SHREWSBURY, MA 01545
(508)842-8087
7. LIGHTING CONSULTANT: SHEPHERD ENGINEERING
1308 GRAFTON STREET
WORCESTER, MA 01604
(508)757-7793
8. EMERGENCY CONTACT INFO
PERSON RESPONSIBLE FOR MAINTENANCE OF STORMWATER: JOHN RANDALL
AMEGO, INC.
33 PERRY AVE
ATTLEBORO, MA 02703

PARKING AND LOADING REQUIREMENTS

FROM SECTION 185-21 OF THE ZONING BYLAW

USE:	PARKING REQUIREMENT:	LOADING REQUIREMENT:
RESIDENTIAL	2 SPACES PER DWELLING	PROVIDE LOADING AREA
EDUCATIONAL OFFICE	1 SPACE PER 250 SF GROSS	PROVIDE LOADING AREA

6 NEW DWELLINGS, A SMALL MAINTENANCE BLDG., AND A SMALL EDUCATIONAL USE BLDG. ARE PROPOSED.

(6 DWELLINGS)(2 SPACES) + (3,000 SF)(1 SPACE/250 SF) = 24 SPACES REQUIRED

44 SPACES PROVIDED* > 24 SPACES REQUIRED

* THE 44 SPACES PROVIDED ARE BASED ON PROPOSED BUSINESS OPERATIONS AND IS INTENDED TO PROVIDE SUFFICIENT PARKING FOR RESIDENTS, STAFF, AND VISITORS WITH AMPLE LOADING SPACE FOR DROP OFF AND PICKUP OF DISABLED RESIDENTS.

CERTIFICATE OF VOTE

Site Plan
Washington Street - Amego, Inc.

Site Plan: "Site Plan of Land, Washington Street, in Franklin, Massachusetts"

Owner: Hession
7410 Bucklin Trail North
Jacksonville, FL 32202

Applicant: Amego, Inc.
33 Perry Ave
Attleboro, MA 02703

Prepared By: Quinn Engineering, 579 Pleasant St, Paxton, MA
Surveyor/ Engineer: February 1, 2019
Dated: Washington St
Property Location: Map 322, Lot 031

Dear Mrs. Burr:

Please be advised that at its meeting on Monday, June 17, 2019 the Planning Board voted (4-0), upon motion duly made and seconded to APPROVE, with conditions, the above referenced Site Plan. The Conditions of Approval are listed on page 2-3, attached hereto. Both the Certificate of Vote as well as the conditions of approval shall be recorded on the site plan.

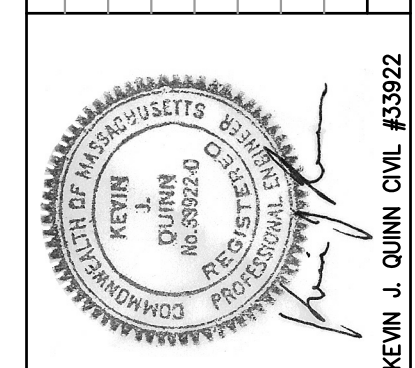
Sincerely,
Anthony Fuchs, Chairman
Franklin Planning Board

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

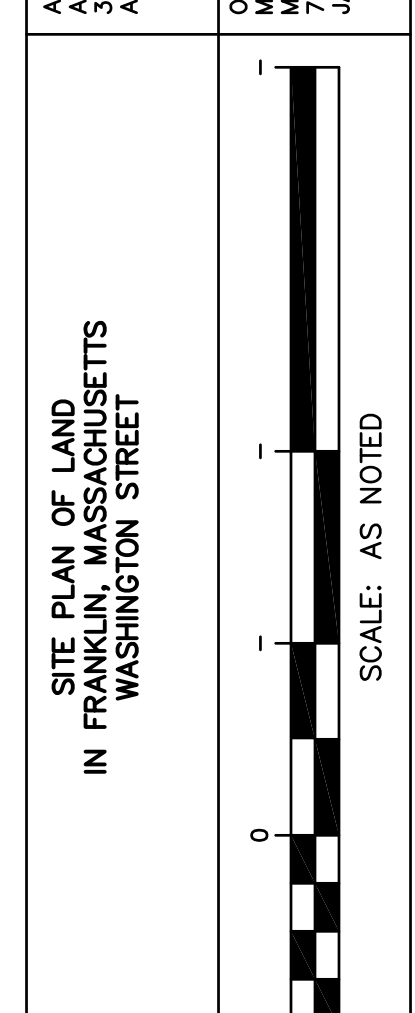


NO.	REVISION	DATE
4	ISSUED FOR ENDORSEMENT	9/5/19
3	ISSUED FOR PERMIT	6/7/19
2	TOWN/BETA COMMENTS	5/23/19
1	TOWN/BETA COMMENTS	4/25/19



USP CLAIM: AMEGO, INC.
33 PERRY AVE
ATTLEBORO, MA 02703

OWNER: JAMES HESSON
MARGHERITA RAMMER
7410 BUCKLIN TRAIL NORTH
JACKSONVILLE, FL 32202



WILLIAM J. MASIELLO ARCHITECT INC.
508-869-0597
masielloarchitect.com

QUINN ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019

COVER SHEET 1



300' ABUTTERS

Franklin, MA

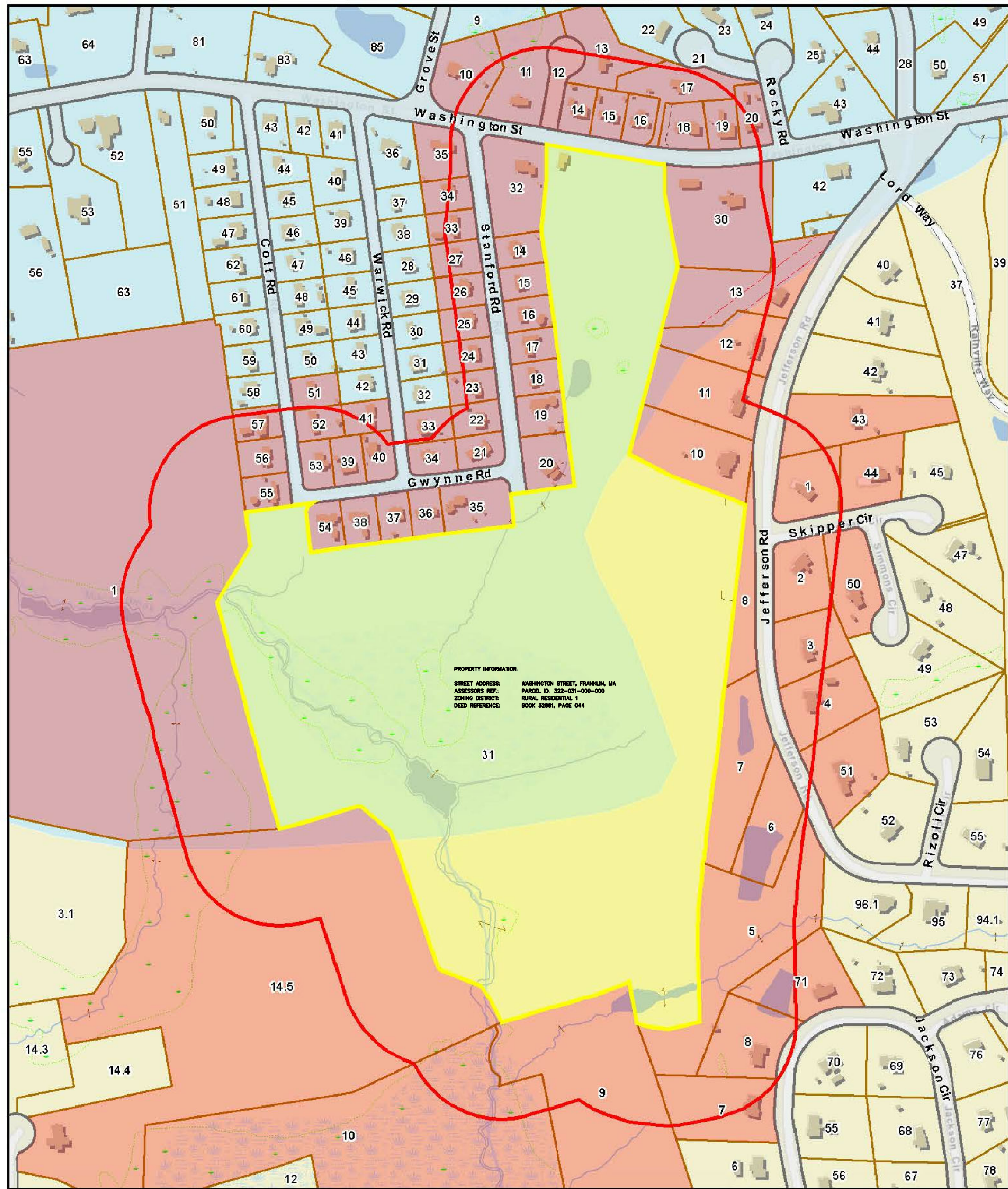


www.cai-tech.com

December 7, 2018

1 inch = 300 Feet

0 300 600 900



PROPERTY INFORMATION:
STREET ADDRESS: WASHINGTON STREET, FRANKLIN, MA
PARCEL ID: 322-031-000-000
ZONING DISTRICT: RURAL RESIDENTIAL 1
BOOK: 2008, PAGE: 044

Town Poly	Private Road ROW	Zone II
Street Names	Right of Way	
Private Road	Utility	
Property Line	Building Polys	
Public Road	Shadow	
Property Hook	Right of Ways	
Property TIC	Wet Areas	
Tract Line	Water Lines	
Wetland	Water-poly	

This information is believed to be correct but is subject to change and is not warranted.

TOWN OF FRANKLIN ABUTTERS MAP

SCALE: NOT TO SCALE

Subject Property:

Parcel Number: 322-031-000
CAMA Number: 322-031-000-000
Property Address: WASHINGTON ST

Mailing Address: HESSON MARY M & JAMES W JR
RIMMER MARGHERITA G
7410 BUCKSKIN TRAIL NORTH
JACKSONVILLE, FL 32202

Parcel Number: 327-013-000
CAMA Number: 327-013-000-000
Property Address: 7 JEFFERSON RD

Mailing Address: SEIFERT MARK E SEIFERT JULIE A
7 JEFFERSON RD
FRANKLIN, MA 02038

Abutters:

Parcel Number: 322-010-000 CAMA Number: 322-010-000-000 Property Address: 970 GROVE ST	Mailing Address: SEAWARD PHILIP SEAWARD MEGHAN 370 GROVE ST FRANKLIN, MA 02038
Parcel Number: 322-011-000 CAMA Number: 322-011-000-000 Property Address: 727 WASHINGTON ST	Mailing Address: CIAMPOLILLO VITO M JR 727 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 322-012-000 CAMA Number: 322-012-000-000 Property Address: BECKY LN	Mailing Address: CIO MODAK SUSAN 723 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 322-013-000 CAMA Number: 322-013-000-000 Property Address: 723 WASHINGTON ST	Mailing Address: MODAK SUSAN MODAK IRANI 723 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 322-014-000 CAMA Number: 322-014-000-000 Property Address: 719 WASHINGTON ST	Mailing Address: FOVEL LEO A FOVEL REALTY TRUST PROVIDENCE 719 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 322-015-000 CAMA Number: 322-015-000-000 Property Address: 717 WASHINGTON ST	Mailing Address: MORGANTE STEVEN M MORGANTE MORGAN C 717 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 322-016-000 CAMA Number: 322-016-000-000 Property Address: 715 WASHINGTON ST	Mailing Address: LABOSSIER FRANCIS L LABOSSIER COTILDA 715 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 322-017-000 CAMA Number: 322-017-000-000 Property Address: 713 WASHINGTON ST	Mailing Address: LICHTENSTEIN JAY LICHTENSTEIN AMY 713 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 322-018-000 CAMA Number: 322-018-000-000 Property Address: 711 WASHINGTON ST	Mailing Address: SCIOLTO YOLANDA C L/E SCIOLTO DAVID J P O BOX 44 FRANKLIN, MA 02038
Parcel Number: 322-019-000 CAMA Number: 322-019-000-000 Property Address: 701 WASHINGTON ST	Mailing Address: BOYLE YOLANDA L/E FREDERICK G BOYLE 701 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 322-020-000 CAMA Number: 322-020-000-000 Property Address: 697 WASHINGTON ST	Mailing Address: UMPHREY MARK S II ZUNIGA ANGEE SANTOS 697 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 322-030-000 CAMA Number: 322-030-000-000 Property Address: 704 WASHINGTON ST	Mailing Address: LAJERO LLC 120 LEWIS ST FRANKLIN, MA 02038
Parcel Number: 322-032-000 CAMA Number: 322-032-000-000 Property Address: 724 WASHINGTON ST	Mailing Address: PADULA RALPH A PADULA ELIZABETH C 724 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 322-033-000 CAMA Number: 322-033-000-000 Property Address: 3 STANFORD RD	Mailing Address: ROHAN SUSAN C 3 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-034-000 CAMA Number: 322-034-000-000 Property Address: 1 STANFORD RD	Mailing Address: SHUAUGHNESSY JOHN J DEXTER KAREN M 1 STANFORD RD FRANKLIN, MA 02038
Parcel Number: 322-035-000 CAMA Number: 322-035-000-000 Property Address: 732 WASHINGTON ST	Mailing Address: GORDON MATTHEW GORDON A ROFINO 732 WASHINGTON ST FRANKLIN, MA 02038
Parcel Number: 326-001-000 CAMA Number: 326-001-000-000 Property Address: WASHINGTON ST	Mailing Address: COOK MARILYN E 2200 WEST ST WRENTHAM, MA 02093
Parcel Number: 327-001-000 CAMA Number: 327-001-000-000 Property Address: 14 JEFFERSON RD	Mailing Address: NIEMI RALPH A NIEMI THERESA P 14 JEFFERSON RD FRANKLIN, MA 02038
Parcel Number: 327-002-000 CAMA Number: 327-002-000-000 Property Address: 15 JEFFERSON RD	Mailing Address: SBORDON JAMES V TIBBS-SBORDON DAWN 15 JEFFERSON RD FRANKLIN, MA 02038
Parcel Number: 327-003-000 CAMA Number: 327-003-000-000 Property Address: 18 JEFFERSON RD	Mailing Address: WATSON LANE WILLIAM STURTEVANT ANABELA 1178 BOSTON PROVIDENCE TPKE NORWOOD, MA 02062-5019
Parcel Number: 327-004-000 CAMA Number: 327-004-000-000 Property Address: 20 JEFFERSON RD	Mailing Address: SCHARLAND MICHAEL J & HOLLY M SCHARLAND FAMILY LIVING TRUST 20 JEFFERSON RD FRANKLIN, MA 02038
Parcel Number: 327-005-000 CAMA Number: 327-005-000-000 Property Address: JEFFERSON RD	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038
Parcel Number: 327-006-000 CAMA Number: 327-006-000-000 Property Address: 17 JEFFERSON RD	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038
Parcel Number: 327-007-000 CAMA Number: 327-007-000-000 Property Address: 15 JEFFERSON RD	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038
Parcel Number: 327-008-000 CAMA Number: 327-008-000-000 Property Address: JEFFERSON RD	Mailing Address: FRANKLIN TOWN OF 355 EAST CENTRAL STREET FRANKLIN, MA 02038
Parcel Number: 327-010-000 CAMA Number: 327-010-000-000 Property Address: 13 JEFFERSON RD	Mailing Address: MOLLO STEVEN J MOLLO WENDY L 13 JEFFERSON RD FRANKLIN, MA 02038
Parcel Number: 327-011-000 CAMA Number: 327-011-000-000 Property Address: 11 JEFFERSON RD	Mailing Address: ZHANG MENGTAO 11 JEFFERSON RD FRANKLIN, MA 02038
Parcel Number: 327-012-000 CAMA Number: 327-012-000-000 Property Address: 9 JEFFERSON RD	Mailing Address: NARDUCCI STEVEN P NARDUCCI CHERI A 9 JEFFERSON RD FRANKLIN, MA 02038

Parcel Number: 327-014-000
CAMA Number: 327-014-000-000
Property Address: 6 STANFORD RD

Mailing Address: FRASER CHRISTOPHER P
6 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-015-000
CAMA Number: 327-015-000-000
Property Address: 8 STANFORD RD

Mailing Address: WINTERS ROBERT L WINTERS SUSAN
M
8 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-016-000
CAMA Number: 327-016-000-000
Property Address: 10 STANFORD RD

Mailing Address: RICHARDS EUGENE RICHARDS DIANA
L
10 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-017-000
CAMA Number: 327-017-000-000
Property Address: 12 STANFORD RD

Mailing Address: LOULACHE FOUAD B & HELEN R TRS
BAYSIDE MEADOWS REALTY TRUST
12 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-018-000
CAMA Number: 327-018-000-000
Property Address: 14 STANFORD RD

Mailing Address: CASHMAN DANIEL J CASHMAN
ROSEMARIE R
14 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-019-000
CAMA Number: 327-019-000-000
Property Address: 16 STANFORD RD

Mailing Address: FONTENAROSA SCOTT TR
FONTENAROSA REALTY TRUST SONIE
25 BUCKHILL ROAD
PASCOAG, RI 02859

Parcel Number: 327-020-000
CAMA Number: 327-020-000-000
Property Address: 18 STANFORD RD

Mailing Address: SMITH KEVIN D
18 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-021-000
CAMA Number: 327-021-000-000
Property Address: 17 STANFORD RD

Mailing Address: SMITH KIRK A & PAMELA A TRS
SMITH FAMILY IRREVOC TRST
17 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-022-000
CAMA Number: 327-022-000-000
Property Address: 15 STANFORD RD

Mailing Address: LAURENCE MARIA
15 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-023-000
CAMA Number: 327-023-000-000
Property Address: 13 STANFORD RD

Mailing Address: OBRIEN CHARLES A III&PAMELA J M&M
FAMILY REALTY TRUST
13 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-024-000
CAMA Number: 327-024-000-000
Property Address: 11 STANFORD RD

Mailing Address: CONLEY KEVIN J CONLEY JENNIFER A
11 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-025-000
CAMA Number: 327-025-000-000
Property Address: 9 STANFORD RD

Mailing Address: NUTTER BENJAMIN NUTTER JESSICA
9 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-026-000
CAMA Number: 327-026-000-000
Property Address: 7 STANFORD RD

Mailing Address: RIPLEY ROBERT B RIPLEY ANN E
7 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-027-000
CAMA Number: 327-027-000-000
Property Address: 5 STANFORD RD

Mailing Address: EKSTROM BRETT MACESIC LAURA
5 STANFORD RD
FRANKLIN, MA 02038

Parcel Number: 327-033-000
CAMA Number: 327-033-000-000
Property Address: 16 WARWICK RD

Mailing Address: DOHERTY WILLIAM J DOHERTY ROSE A
16 WARWICK RD
FRANKLIN, MA 02038

Parcel Number: 327-034-000
CAMA Number: 327-034-000-000
Property Address: 10 GWYNNE RD

Mailing Address: COHEN HOWARD J COHEN DIANE S
10 GWYNNE RD
FRANKLIN, MA 02038

Parcel Number: 327-035-000
CAMA Number: 327-035-000-000
Property Address: 9 GWYNNE RD

Mailing Address: WETMORE CHRISTOPHER J WETMORE
NICOLE A
9 GWYNNE RD
FRANKLIN, MA 02038

Parcel Number: 327-036-000
CAMA Number: 327-036-000-000
Property Address: 7 GWYNNE RD

Mailing Address: SCHARLACKEN RAYMOND J
SCHARLACKEN DARLA J
7 GWYNNE RD
FRANKLIN, MA 02038

Parcel Number: 327-037-000
CAMA Number: 327-037-000-000
Property Address: 5 GWYNNE RD

Mailing Address: DOLINSKI BRIAN M STADNICK J L
5 MERCER LANE
FRANKLIN, MA 02038

Parcel Number: 327-038-000
CAMA Number: 327-038-000-000
Property Address: 3 GWYNNE RD

Mailing Address: DREW LORRAINE
3 GWYNNE RD
FRANKLIN, MA 02038

Parcel Number: 327-039-000
CAMA Number: 327-039-000-000
Property Address: 2 GWYNNE RD

Mailing Address: HARN MICHAEL HARN CHARLENE
2 GWYNNE RD
FRANKLIN, MA 02038

Parcel Number: 327-040-000
CAMA Number: 327-040-000-000
Property Address: 17 WARWICK RD

Mailing Address: SOUZA RICHARD JOSEPH SOUZA
MARILYN
17 WARWICK RD
FRANKLIN, MA 02038

Parcel Number: 327-041-000
CAMA Number: 327-041-000-000
Property Address: 15 WARWICK RD

Mailing Address: WARNER CHRISTOPHER E WARNER
JULIE A
15 WARWICK RD
FRANKLIN, MA 02038

Parcel Number: 327-051-000
CAMA Number: 327-051-000-000
Property Address: 16 COLT RD

Mailing Address: WOOD JENNIFER WOOD ROBERT
16 COLT RD
FRANKLIN, MA 02038

Parcel Number: 327-052-000
CAMA Number: 327-052-000-000
Property Address: 18 COLT RD

Mailing Address: DEPEDRO DENISE DEPEDRO MICHAEL
18 COLT RD
FRANKLIN, MA 02038

Parcel Number: 327-053-000
CAMA Number: 327-053-000-000
Property Address: 20 COLT RD

Mailing Address: GAGNON STEFAN C GAGNON EMILY K
20 COLT RD
FRANKLIN, MA 02038

Parcel Number: 327-054-000
CAMA Number: 327-054-000-000
Property Address: 1 GWYNNE RD

Mailing Address: ROGERS ANTONY A ROGERS KAREN Z
1 GWYNNE RD
FRANKLIN, MA 02038

Parcel Number: 327-055-000
CAMA Number: 327-055-000-000
Property Address: 21 COLT RD

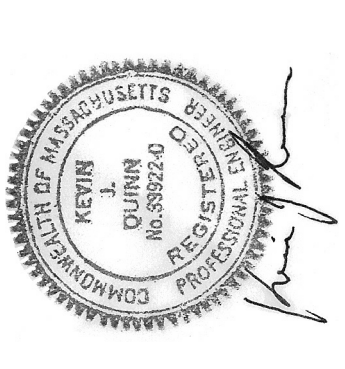
Mailing Address: MOGAURO STEPHEN MOGAURO
JENNIFER
21 COLT RD
FRANKLIN, MA 02038

Parcel Number: 327-056-000
CAMA Number: 327-056-000-000
Property Address: 19 COLT RD

Mailing Address: SHEEHY EDWARD M MALIFF
CHARLOTTE
19 COLT RD
FRANKLIN, MA 02038

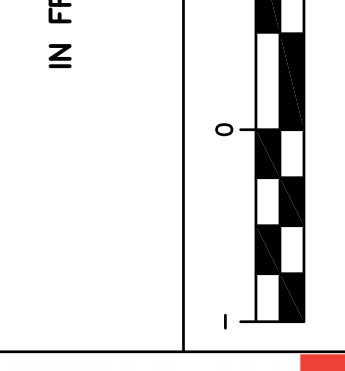


ISSUED FOR ENDORSEMENT	9/5/19
ISSUED FOR PERMIT	6/7/19
TOWN/BETA COMMENTS	5/23/19
TOWN/BETA COMMENTS	4/25/19
NO.	4
REVISION	
DATE	



APPLICANT: ANTHONY J. QUINN, 33 PERRY AVE, ATTLEBORO, MA 02703
OWNER: JAMES HESSON, MARGHERITA G. RIMMER, 7410 BUCKSKIN TRAIL NORTH, JACKSONVILLE, FL 32202

SITE PLAN OF LAND IN FRANKLIN, MASSACHUSETTS WASHINGTON STREET
SCALE: AS NOTED



WILLIAM J. MASIELLO ARCHITECT INC. 508.869.0597 masielloarchitect.com

QUINN ENGINEERING, INC. P.O. Box 107 Paxton, Massachusetts 01612 (508)753-7999 Fax: (508)795-0939

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

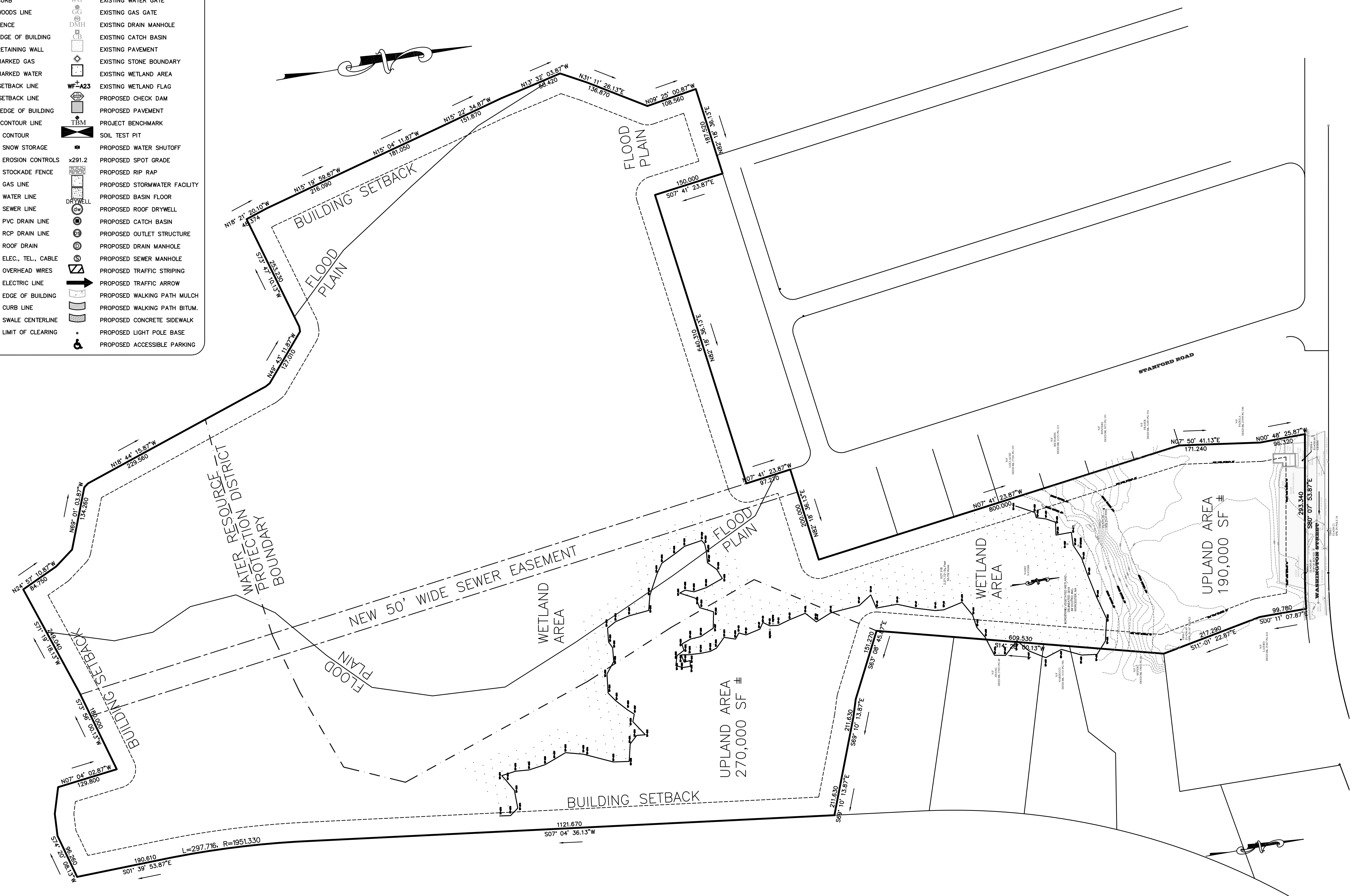
DATE: _____
BEING A MAJORITY

300' ABUTTERS LISTING

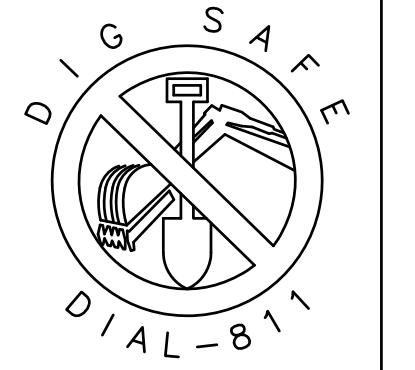
SCALE: NOT TO SCALE

LEGEND

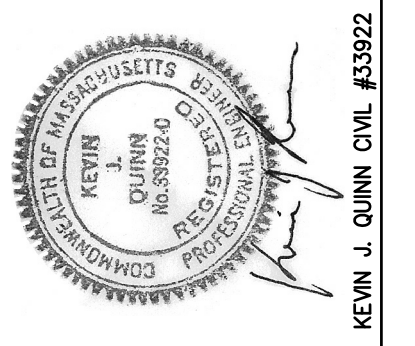
- | | | | |
|------------------------------|-----------------------------|-----|------------------------------|
| L=36.37
S85°15'00"W
99 | PROPERTY LINE | HYD | EXISTING FIRE HYDRANT |
| | EXISTING CONTOUR | UP | EXISTING UTILITY POLE |
| | EXISTING CURB | WG | EXISTING WATER GATE |
| | EXISTING WOODS LINE | GG | EXISTING GAS GATE |
| | EXISTING FENCE | DMH | EXISTING DRAIN MANHOLE |
| | EXISTING EDGE OF BUILDING | | EXISTING CATCH BASIN |
| | EXISTING MARKED GAS | | EXISTING PAVEMENT |
| | WETLAND OFFSET | | EXISTING STONE BOUNDARY |
| | WETLAND SETBACK LINE | | EXISTING WETLAND AREA |
| | TOWN GIS EDGE OF BUILDING | | EXISTING WETLAND FLAG |
| | TOWN GIS CONTOUR LINE | | PROPOSED CHECK DAM |
| | PROPOSED CONTOUR | | PROPOSED PAVEMENT |
| | PROPOSED SNOW STORAGE | | PROJECT BENCHMARK |
| | PROPOSED EROSION CONTROLS | | SOIL TEST PIT |
| | PROPOSED STOCKADE FENCE | | PROPOSED WATER SHUTOFF |
| | PROPOSED GAS LINE | | PROPOSED SPOT GRADE |
| | PROPOSED WATER LINE | | PROPOSED RIP RAP |
| | PROPOSED SEWER LINE | | PROPOSED STORMWATER FACILITY |
| | PROPOSED PVC DRAIN LINE | | PROPOSED BASIN FLOOR |
| | PROPOSED RCP DRAIN LINE | | PROPOSED ROOF DRYWELL |
| | PROPOSED ROOF DRAIN | | PROPOSED CATCH BASIN |
| | PROPOSED ELEC., TEL., CABLE | | PROPOSED OUTLET STRUCTURE |
| | PROPOSED OVERHEAD WIRES | | PROPOSED SEWER MANHOLE |
| | PROPOSED ELECTRIC LINE | | PROPOSED DRAIN MANHOLE |
| | PROPOSED EDGE OF BUILDING | | PROPOSED TRAFFIC STRIPING |
| | PROPOSED CURB LINE | | PROPOSED TRAFFIC ARROW |
| | PROPOSED SWALE CENTERLINE | | PROPOSED WALKING PATH MULCH |
| | PROPOSED LIMIT OF CLEARING | | PROPOSED WALKING PATH BITUM. |
| | | | PROPOSED CONCRETE SIDEWALK |
| | | | PROPOSED LIGHT POLE BASE |
| | | | PROPOSED ACCESSIBLE PARKING |



PROPERTY PLAN
SCALE: 1"=100'

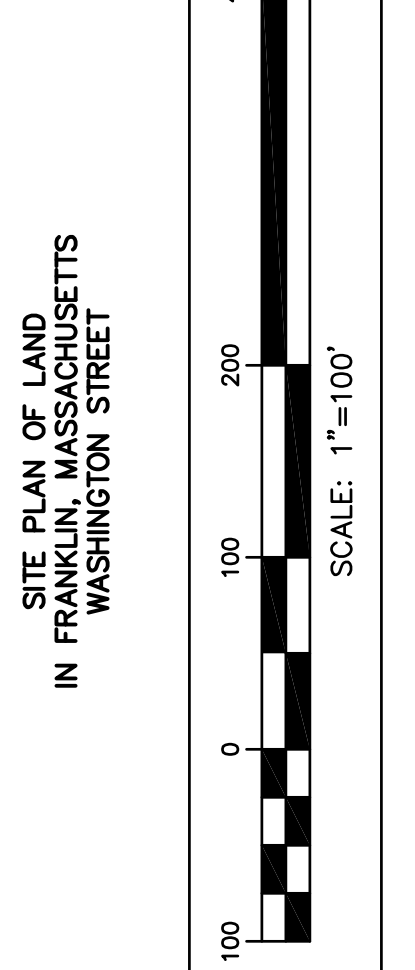


NO.	REVISION	DATE
4	ISSUED FOR ENDORSEMENT	9/5/19
3	ISSUED FOR PERMIT	6/7/19
2	TOWN/BETA COMMENTS	5/25/19
1	TOWN/BETA COMMENTS	4/25/19



APPLICANT:
33 PERRY AVE
ATTLEBORO, MA 02703

OWNER:
JAMES HESSON
MASCHEITA TRAIL NORTH
JACKSONVILLE, FL 32202



SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET

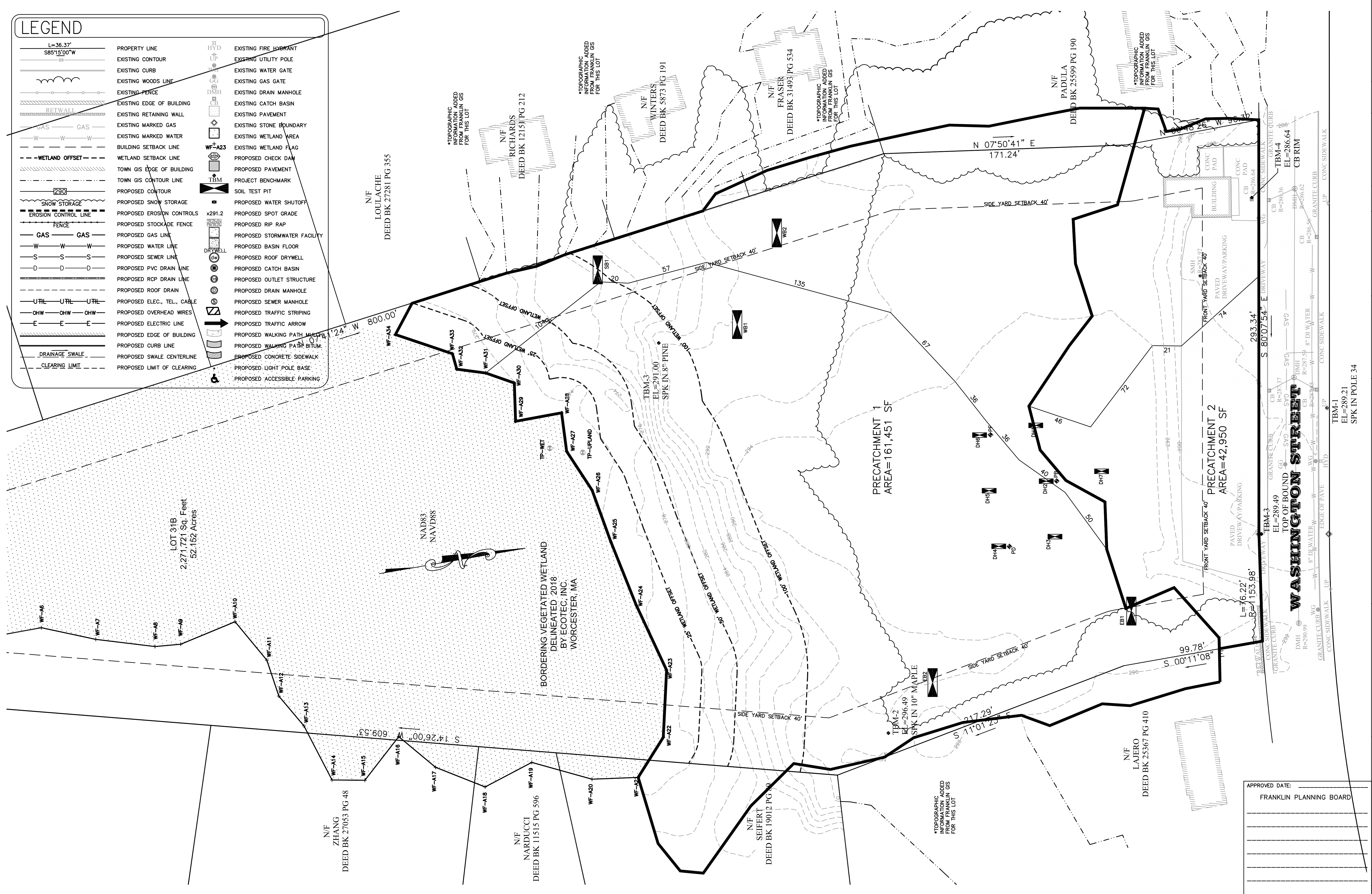
WILLIAM J.
MASIELLO ARCHITECT
INC.
508.869.0597
masielloarchitect.com

QUINN ENGINEERING, INC.
P.O. Box 107
Faxon, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019
PROPERTY PLAN SHEET 3


LEGEND

- | | | | |
|--|-----------------------------|--|------------------------------|
| | PROPERTY LINE | | EXISTING FIRE HYDRANT |
| | EXISTING CONTOUR | | EXISTING UTILITY POLE |
| | EXISTING CURB | | EXISTING WATER GATE |
| | EXISTING WOODS LINE | | EXISTING GAS GATE |
| | EXISTING FENCE | | EXISTING DRAIN MANHOLE |
| | EXISTING EDGE OF BUILDING | | EXISTING CATCH BASIN |
| | EXISTING RETAINING WALL | | EXISTING PAVEMENT |
| | EXISTING MARKED GAS | | EXISTING STONE BOUNDARY |
| | EXISTING MARKED WATER | | EXISTING WETLAND AREA |
| | BUILDING SETBACK LINE | | EXISTING WETLAND FLAG |
| | WETLAND SETBACK LINE | | PROPOSED CHECK DAM |
| | TOWN GIS EDGE OF BUILDING | | PROPOSED PAVEMENT |
| | TOWN GIS CONTOUR LINE | | PROJECT BENCHMARK |
| | PROPOSED CONTOUR | | SOIL TEST PIT |
| | PROPOSED SNOW STORAGE | | PROPOSED WATER SHUTOFF |
| | PROPOSED EROSION CONTROLS | | PROPOSED SPOT GRADE |
| | PROPOSED STOCKADE FENCE | | PROPOSED RIP RAP |
| | PROPOSED GAS LINE | | PROPOSED STORMWATER FACILITY |
| | PROPOSED WATER LINE | | PROPOSED BASIN FLOOR |
| | PROPOSED SEWER LINE | | PROPOSED ROOF DRYWELL |
| | PROPOSED PVC DRAIN LINE | | PROPOSED CATCH BASIN |
| | PROPOSED RCP DRAIN LINE | | PROPOSED OUTLET STRUCTURE |
| | PROPOSED ROOF DRAIN | | PROPOSED DRAIN MANHOLE |
| | PROPOSED ELEC., TEL., CABLE | | PROPOSED SEWER MANHOLE |
| | PROPOSED OVERHEAD WIRES | | PROPOSED TRAFFIC STRIPING |
| | PROPOSED ELECTRIC LINE | | PROPOSED TRAFFIC ARROW |
| | PROPOSED EDGE OF BUILDING | | PROPOSED WALKING PATH MULCH |
| | PROPOSED CURB LINE | | PROPOSED WALKING PATH BITUM. |
| | PROPOSED SWALE CENTERLINE | | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED LIMIT OF CLEARING | | PROPOSED LIGHT POLE BASE |
| | PROPOSED ACCESSIBLE PARKING | | PROPOSED ACCESSIBLE PARKING |

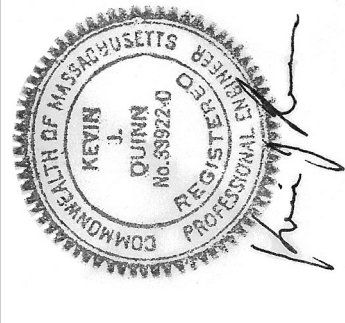


EXISTING CONDITIONS PLAN
SCALE: 1"=30'

APPROVED DATE:	FRANKLIN PLANNING BOARD
DATE:	BEING A MAJORITY



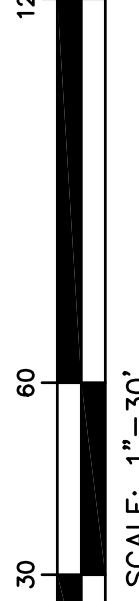
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	NO.	REVISION		




KEVIN J. QUINN CIVIL #33922

APPLICANT: JAMES HESSON 33 PERRY AVE ATTLEBORO, MA 02703	OWNER: JAMES HESSON MARCHESSA TRAIL NORTH 7410 BUCKLIN TRAIL NORTH JACKSONVILLE, FL 32202
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SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET



SCALE: 1"=30'



WILLIAM J. MASIELLO ARCHITECT INC.
508.869.0597
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QUINN ENGINEERING, INC. P.O. Box 107 Paxton, Massachusetts 01612 (508)753-7999 Fax:(508)795-0939	DATE: FEBRUARY 1, 2019 EXISTING CONDITIONS PLAN SHEET 4
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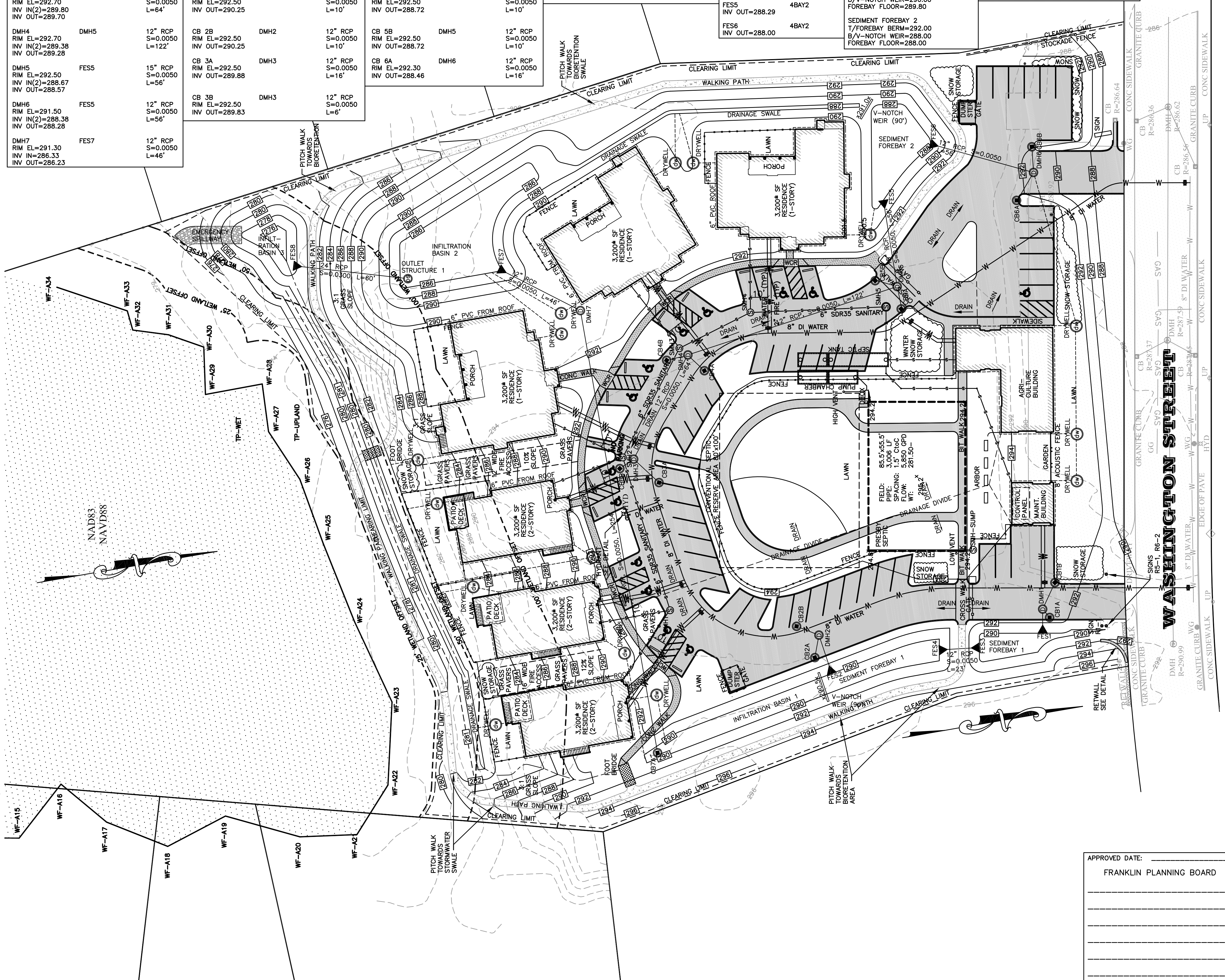
LEGEND

	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
	EXISTING FENCE		EXISTING DRAIN MANHOLE
	EXISTING EDGE OF BUILDING		EXISTING CATCH BASIN
	EXISTING RETAINING WALL		EXISTING PAVEMENT
	EXISTING MARKED GAS		EXISTING STONE BOUNDARY
	EXISTING MARKED WATER		EXISTING WETLAND AREA
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	WETLAND SETBACK LINE		PROPOSED CHECK DAM
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	PROPOSED RCP DRAIN LINE		PROPOSED OUTLET STRUCTURE
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	PROPOSED EDGE OF BUILDING		PROPOSED WALKING PATH MULCH
	PROPOSED CURB LINE		PROPOSED WALKING PATH BITUM.
	PROPOSED SWALE CENTERLINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED LIMIT OF CLEARING		PROPOSED LIGHT POLE BASE
	PROPOSED ACCESSIBLE PARKING		

STRUCTURE	TO STRUCTURE	CULVERT	STRUCTURE	TO STRUCTURE	CULVERT	STRUCTURE	TO STRUCTURE	CULVERT	STRUCTURE	TO STRUCTURE	CULVERT	STRUCTURE	TO STRUCTURE	CULVERT	STRUCTURE	TO STRUCTURE	CULVERT		
DMH1 RIM EL=292.66 INV IN(2)=290.16 INV OUT=290.06	FES 4BAY1	12" RCP S=0.0050 L=12'	CB 1A RIM EL=292.50 INV OUT=290.22	DMH1	12" RCP S=0.0300 L=2'	CB 4A RIM EL=292.50 INV OUT=289.43	DMH4	12" RCP S=0.0050 L=10'	CB 6B RIM EL=292.30 INV OUT=288.45	DMH6	12" RCP S=0.0050 L=14'	FES1 INV OUT=290.00	4BAY1	FES7 INV OUT=286.00	INF BASIN 2	INFIL. BASIN 1 BASIN FLOOR=289.00 T/BASIN BERM=291.70	CB 7A		
DMH2 RIM EL=292.70 INV IN(2)=290.20 INV OUT=290.10	FES 4BAY1	12" RCP S=0.0050 L=20'	CB 1B RIM EL=292.75 INV OUT=290.23	DMH1	12" RCP S=0.0050 L=14'	CB 4B RIM EL=292.50 INV OUT=289.43	DMH4	12" RCP S=0.0050 L=10'	CB 7A RIM EL=290.60 INV OUT=287.60	DMH7	12" RCP S=0.0050 L=254'	FES2 INV OUT=290.00	4BAY1	FES8 INV OUT=277.00	INF BASIN 3	INFIL. BASIN 2 BASIN FLOOR=286.00 T/BASIN BERM=290.50	OUTLET STRUCTURE 1		
DMH3 RIM EL=292.70 INV IN(2)=289.80 INV OUT=289.70	DMH4	12" RCP S=0.0050 L=64'	CB 2A RIM EL=292.50 INV OUT=290.25	DMH2	12" RCP S=0.0050 L=10'	CB 5A RIM EL=292.50 INV OUT=288.72	DMH5	12" RCP S=0.0050 L=10'	OUTLET STRUCT 1 RIM EL=289.20 INV OUT=278.50	FES8	24" RCP S=0.0300 L=60'	FES3 INV OUT=290.00	4BAY1	FES4 INV OUT=289.88	4BAY1	SEDIMENT FOREBAY 1 T/FOREBAY BERM=292.00 B/V-NOTCH WEIR=290.00 FOREBAY FLOOR=289.80	INFIL. BASIN 3 BASIN FLOOR=276.00 T/BASIN BERM=280.30	EMERGENCY SPILLWAY	
DMH4 RIM EL=292.70 INV IN(2)=289.38 INV OUT=289.28	DMH5	12" RCP S=0.0050 L=122'	CB 2B RIM EL=292.50 INV OUT=290.25	DMH2	12" RCP S=0.0050 L=10'	CB 5B RIM EL=292.50 INV OUT=288.72	DMH5	12" RCP S=0.0050 L=10'	CB 6A RIM EL=292.30 INV OUT=288.46	DMH6	12" RCP S=0.0050 L=16'	FES5 INV OUT=288.29	4BAY2	FES6 INV OUT=288.00	4BAY2	SEDIMENT FOREBAY 2 T/FOREBAY BERM=292.00 B/V-NOTCH WEIR=288.00 FOREBAY FLOOR=288.00			
DMH5 RIM EL=292.50 INV IN(2)=288.67 INV OUT=288.57	FES5	15" RCP S=0.0050 L=56'	CB 3A RIM EL=292.50 INV OUT=289.88	DMH3	12" RCP S=0.0050 L=16'	CB 6A RIM EL=292.30 INV OUT=288.46	DMH6	12" RCP S=0.0050 L=16'											
DMH6 RIM EL=291.50 INV IN(2)=288.38 INV OUT=288.28	FES5	12" RCP S=0.0050 L=56'	CB 3B RIM EL=292.50 INV OUT=289.83	DMH3	12" RCP S=0.0050 L=6'														
DMH7 RIM EL=291.30 INV IN(2)=286.33 INV OUT=286.23	FES7	12" RCP S=0.0050 L=46'																	

GENERAL NOTES:

- ALL REQUIRED PERMITS SHALL BE SECURED PRIOR TO COMMENCING WORK. PRIOR TO COMMENCING ANY WORK ONSITE, CONTRACTOR SHALL NOTIFY THE TOWN OF FRANKLIN PLANNING AND ENGINEERING DEPARTMENTS, BUILDING DEPARTMENT, CONSERVATION COMMISSION, DEPARTMENT OF PUBLIC WORKS, SCHOOL DEPARTMENT, POLICE AND FIRE DEPARTMENTS.
- ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN REGULATIONS, ZONING BY-LAW, CONSERVATION COMMISSION LOCAL BY-LAW OR OTHER REGULATIONS AS APPLICABLE. ALL REQUIREMENTS OF THE TOWN OF FRANKLIN ARE HEREBY MADE CONDITIONS OF THIS WORK.
- CONTRACTOR SHALL CONTROL AIRBORNE DUST WITH USE OF SPRAYED WATER AS REQUIRED TO MINIMIZE IMPACT ON NEIGHBORING PROPERTIES. USE OF CALCIUM CHLORIDE OR OTHER CHEMICALS IS NOT PERMITTED.
- CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO LAY OUT THE SITE CONSTRUCTION, WHO CERTIFY THAT ALL LOCATIONS ARE AS PER PLAN.
- PROVIDE DEEP SUMPS AT ALL CATCH BASINS ONSITE.
- SEVENTY TWO HOURS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 811. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW UTILITIES WITH THE VICINITY OF EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) WITH THE APPROPRIATE UTILITY.
- INTERIM AND/OR PERMANENT SOIL STABILIZATION MEASURE SHALL BE INSTITUTED AS SOON AS PRACTICABLE, BUT NO MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED ON THAT PORTION OF THE SITE.
- REMOVE ALL TOPSOIL, SUBSOIL, PRIOR TO PLACING ANY FILL ONSITE. WHERE GRAVEL IS CALLED FOR ONSITE, CONTRACTOR MAY UTILIZE ONSITE MATERIALS, IF APPROVED BY OWNER.
- CONTRACTOR SHALL MAINTAIN COMPLETE RECORDS OF AS-BUILT LOCATIONS OF ALL UNDERGROUND AND ABOVE GROUND FACILITIES. PROVIDE THE OWNER WITH COMPLETE AS-BUILT PLANS UPON COMPLETION OF PROJECT, INCLUDING UTILITIES NOT INDICATED ON THIS PLAN.
- CONSTRUCTION SEQUENCE:
ALL WORK OF THIS PROJECT SHALL PROCEED ACCORDING TO THE FOLLOWING PROPOSED SEQUENCE:
1.) EROSION CONTROL PROVISIONS IN PLACE
2.) CLEARING/GRUBBING
3.) CONSTRUCTION OF STORMWATER FACILITIES AND THEN SITE DEVELOPMENT CONSTRUCTION.
- CONTRACTOR SHALL PLACE A MINIMUM OF 6" (COMPACTED DEPTH) OF GOOD QUALITY LOAM AND GRASS SEED IN ALL AREAS NOT SUBJECT TO RESTORATION BY ANY OTHER MEANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS WORK WITH MUNICIPALITY TO LIMIT THE POTENTIAL DISRUPTIONS TO THE GENERAL PUBLIC. SHALL EMPLOY DUE CARE AND CAUTION TO PROTECT THE PUBLIC FROM DANGERS ASSOCIATED WITH THE OPERATION. SHALL INSTALL TEMPORARY FENCES, BARRICADES AND SIGNAGE TO ENSURE THAT NO PERSONS ENTER THE WORK AREA. SHALL COORDINATE POLICE DETAILS AS REQUIRED FOR WORK TO BE CONDUCTED IN THE STREET. SHALL EMPLOY DUE CARE WHEN WORKING AROUND PEDESTRIAN AND VEHICLE TRAFFIC.
- NO EXCAVATION SHALL TAKE PLACE ONSITE UNTIL ALL SEDIMENTATION CONTROLS (HAYBALE & SILT, FENCE, ETC.) ARE FULLY INSTALLED AS PER PLAN. FOLLOWING COMPLETION OF GRADING IN ANY AREA CONTRACTOR SHALL ACT TO PLACE PERMANENT SURFACE FINISH OR TO STABILIZE SURFACE SOILS AGAINST EROSION. LOAM AND SEED SHALL BE PLACED IMMEDIATELY UPON FINAL GRADING.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE PROPOSED CONSTRUCTION ACTIVITIES DO NOT DAMAGE OR UNDERMINE EXISTING SLOPES, BUILDINGS, WALLS, STRUCTURES, ETC. IN THE AREA AROUND THE CONSTRUCTION. REPAIR OF EXISTING SLOPES, BUILDINGS, WALLS, STRUCTURES, ETC. THAT ARE DAMAGED OR UNDERMINED BY THE CONTRACTORS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE ARE TO BE FIELD VERIFIED. QUINN ENGINEERING, INC. DOES NOT WARRANT THAT ALL EXISTING UTILITIES HAVE BEEN INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE EXISTING UTILITY LOCATIONS AND ENSURING THAT THE PROPOSED WORK DOES NOT CONFLICT WITH THE EXISTING UTILITIES NOT SHOWN.
- SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHOULD BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHOULD BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CAN NOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHOULD BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH SEWER AND WATER MAIN SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING, IN ACCORDANCE WITH 780 CMR 1813.7, AT A SLOPE OF NOT LESS THAN 1:12 FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. OTHER APPROVED ALTERNATE METHODS OF DIVERTING WATER AWAY FROM THE FOUNDATION MAY BE ACCEPTABLE.
- REINFORCED CONCRETE PIPE:
A. SHALL BE CLASS V CONCRETE.
B. SHALL CONFORM TO ASTM C76, WALL B.
C. JOINT MATERIAL TO BE RUBBER GASKET CONFORMING TO ASTM C443 OR MORTAR REINFORCED.
- PRECAST CONCRETE MANHOLE/CATCH BASIN BASE, BARREL, AND CONE STRUCTURES:
A. SHALL CONFORM TO ASTM C478.
B. SHALL BE CAPABLE OF WITHSTANDING H20 LOADING CONDITIONS.
C. MANHOLE STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC.
D. STEEL REINFORCING SHALL BE GRADE 60 AND CONFORM TO ASTM A185 AND A615.
- ALL SDR35 PVC SEWER PIPE & FITTINGS SHALL CONFORM TO ASTM D3034 OR ASTM F679.
- ALL SCH. 40 & SCH. 80 PVC PIPE & FITTINGS SHALL CONFORM TO ASTM D178M D3915, -4, ASTM D 1785, ASTM D3915, ASTM D4396



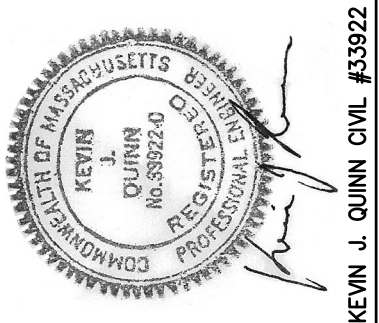
SITE PLAN
SCALE: 1"=30'

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

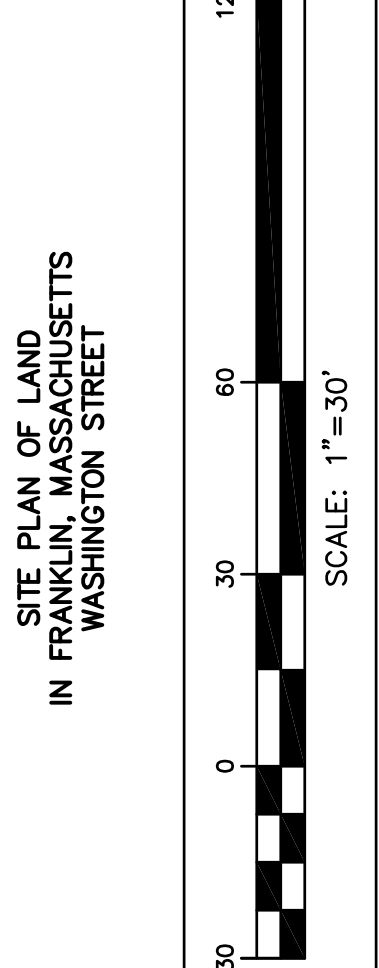


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DATE: FEBRUARY 1, 2019

SITE PLAN, DRAINAGE SCHEDULE, NOTES SHEET 5

LEGEND

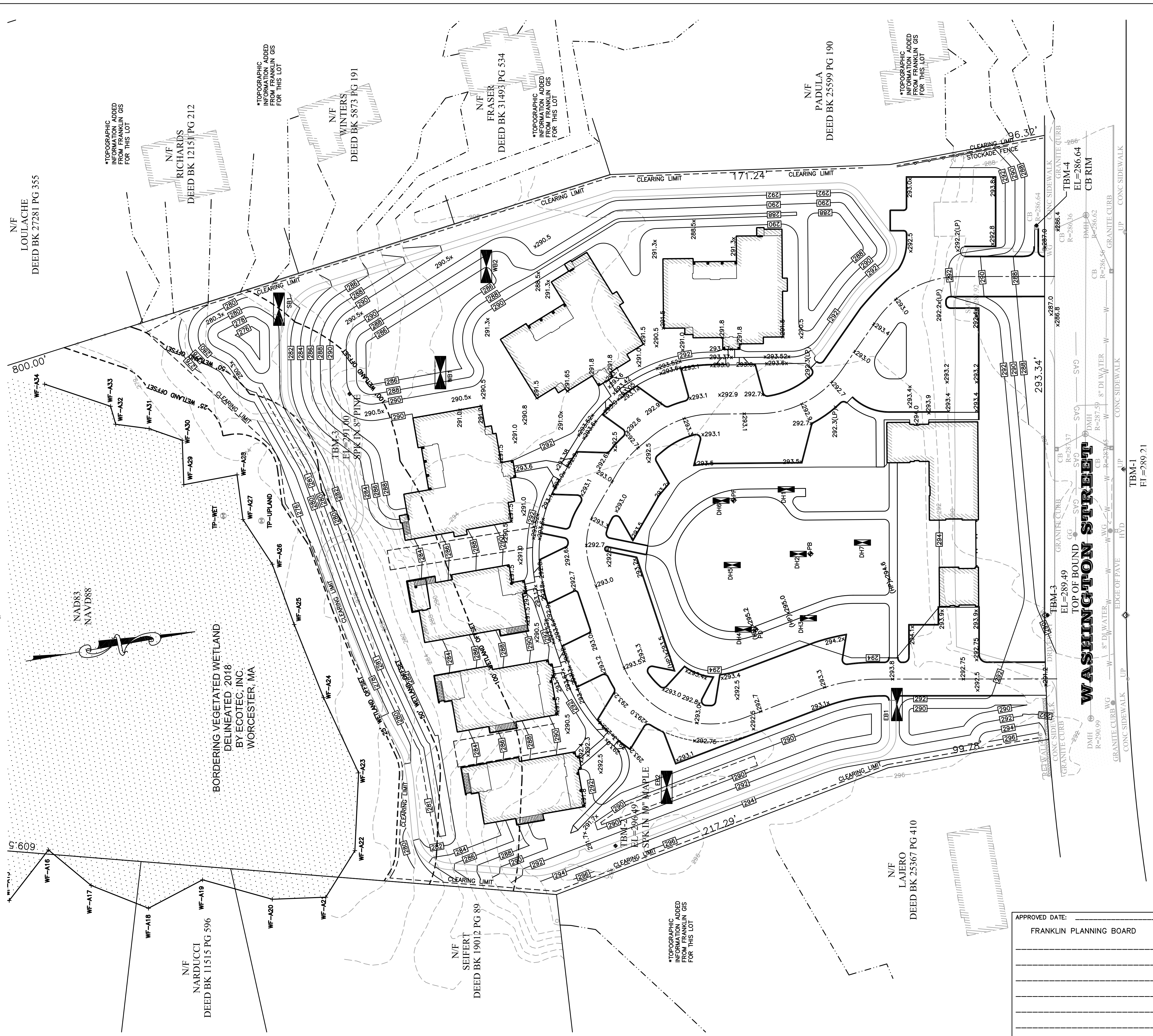
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	EXISTING RETAINING WALL		EXISTING PAVEMENT
	EXISTING MARKED GAS		EXISTING STONE BOUNDARY
	EXISTING MARKED WATER		EXISTING WETLAND AREA
	BUILDING SETBACK LINE		EXISTING WETLAND FLAG
	WETLAND OFFSET		PROPOSED WETLAND CHECK DAM
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	PROPOSED SWALE CENTERLINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED LIMIT OF CLEARING		PROPOSED LIGHT POLE BASE
			PROPOSED ACCESSIBLE PARKING

GENERAL NOTES - CONT'D:

- THE SITE IS LOCATED WITHIN A TOWN OF FRANKLIN WATERSHED RESOURCE PROTECTION DISTRICT.
- SUITABLE FILL SHALL CONSIST OF MATERIAL SOIL FREE OF ORGANIC MATERIALS, LOAM, AND ANY DELETERIOUS (CAN SUITABLE) MATERIALS. SUITABLE CONFORMABLE FILL SHALL NOT CONTAIN STONES LARGER THAN 10" IN ANY DIMENSION, AND SHALL HAVE LESS THAN 75% PASSING THE NO. 4 SIEVE AND A MAXIMUM OF 20% PASSING THE NO. 200 SIEVE. SUITABLE FILL SHALL NOT CONTAIN ANY BUILDING RUBBLE, GRANITE, OR CONCRETE BLOCK, ROOFING MATERIALS, OR OTHER CONSTRUCTION REFUSE. AT THE TIME OF PLACEMENT SUITABLE FILL SHALL NOT CONTAIN FROST, SNOW, OR ICE AND SHALL NOT CONTAIN WATER GREATER THAN THE OPTIMAL MOISTURE CONTENT.
- ALL SITE LIGHTING SHALL MEET THE TOWN OF FRANKLIN DESIGN STANDARDS AND SHALL INCORPORATE DARK SKIES ELEMENTS WITH NO UPWARD PROJECTING LIGHTING, ENERGY SAVING FIXTURES, AND TIMING CONTROLS TO EXTINGUISH ALL LIGHTING NOT USED FOR SECURITY PURPOSES ONE-HALF HOUR AFTER PROPOSED LIGHTING SHOULD CONFORM TO THE STANDARDS OUTLINED IN BUSINESS HOURS. THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA AND SHALL NOT BE ILLUMINATED DURING NON-OPERATING HOURS WITH THE EXCEPTION OF SECURITY LIGHTING.
- PROPOSED WORK SHALL CONFORM TO REGULATIONS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) AND BY THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB).
- THE QUANTITY OF MATERIAL ESTIMATED FOR REMOVAL FOR THIS PROJECT IS LESS THAN 500 CUBIC YARDS. SUITABILITY OF EXISTING SOILS TO SUPPORT PROPOSED TRAFFIC LOADS IS ASSUMED.
- THE HAY BALE LINE SHALL BE STAKED BY A MA REGISTERED SURVEYOR PRIOR TO THE INSTALLATION OF HAY BALES. THE HAY BALE LINE SHALL SERVE AS THE LIMIT OF WORK.
- SITE OPERATIONS SHALL NOT DIRECT HAZARDOUS MATERIALS IN QUANTITIES SUBSTANTIALLY GREATER THAN THOSE ASSOCIATE WITH NORMAL HOUSEHOLD USE TO THE SOIL ABSORPTION SYSTEM.
- PLACEMENT OF MORE THAN 15 CY OF FILL IN A ZONE II WATER RESOURCE DISTRICT REQUIRES CERTIFICATION THAT THE FILL DOES NOT EXCEED MCP STANDARDS.

LONG TERM POLLUTION PREVENTION PLAN MEASURES:

- GOOD HOUSEKEEPING PRACTICES SHALL BE EMPLOYED IN MAINTENANCE OF THE STORMWATER SYSTEM AND ON SITE AREAS. THE MINIMUM HOUSEKEEPING PRACTICES ARE IDENTIFIED IN THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN.
- STORAGE OF MATERIALS AND WASTE PRODUCTS SHALL BE STORED IN A MANNER THAT MINIMIZES EXPOSURE TO STORMWATER. IF USE OF TARPULINS, INSIDE STORAGE, ETC. MATERIALS AND WASTE SHALL BE MAINTAINED IN AN ORDERLY MANNER AND SHALL BE COLLECTED IMMEDIATELY UPON SPILLS OR DISPERSION.
- VEHICLE WASHING SHOULD OCCUR IN ACCORDANCE WITH THE "ILLICIT AND NON STORMWATER DISCHARGES" PORTION OF THE STORMWATER POLLUTION PREVENTION PLAN NOTES.
- LONG TERM MAINTENANCE OF THE STORMWATER SYSTEM SHALL FOLLOW THE OPERATION AND MAINTENANCE REQUIREMENTS ON THESE PLANS AT A MINIMUM.
- PARTIES RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM SHOULD BE FAMILIAR WITH "CLEAN UP OF SITES AND SPILLS" INFORMATION AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/cleanup/laws/spillmngn.doc>) AND SHOULD BE PREPARED TO ACT ACCORDINGLY IN THE EVENT OF A SPILL.
- THE MINIMUM PRACTICES EMPLOYED IN INSPECTION AND MAINTENANCE OF THE ON SITE AREAS AND STORMWATER SYSTEM COMPONENTS ARE IDENTIFIED IN THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN.
- THE MASSACHUSETTS BUREAU OF FARM PRODUCTS & PLANT INDUSTRIES FACT SHEET FOR "PROTECTING WATER RESOURCES FROM FERTILIZER" RECOMMENDS THAT:
UNUSED FERTILIZER SHOULD BE REMOVED FROM THE SPREADER AND RETURNED TO THE ORIGINAL BAG OR CONTAINER FOR FUTURE USE. STORE UNUSED FERTILIZER IN A DRY PLACE AWAY FROM ANY WATER SOURCE. IF STORED FERTILIZER GETS WET YOU NOT ONLY LOSE NUTRIENT VALUE, THERE IS POTENTIAL FOR NITRATES TO LEACH INTO WATER SOURCES.
THE HANDLING OF HERBICIDES AND PESTICIDES SHOULD BE CONDUCTED IN ACCORDANCE WITH GUIDELINES AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/recycle/hazardous/pesticide.htm>)
- MANAGEMENT OF PET WASTE SHOULD BE CONDUCTED IN ACCORDANCE WITH THE GUIDELINES AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/resources/petwaste.pdf>)
- OPERATION AND MAINTENANCE OF ANY ON SITE SEPTIC SYSTEM SHOULD BE CONDUCTED IN ACCORDANCE 310 CMR 15.00.
- SOLID WASTE SHOULD BE MANAGED IN ACCORDANCE WITH LOCAL, STATE, FEDERAL REGULATIONS AND GUIDELINES.
- SNOW DISPOSAL SHALL BE CONDUCTED IN ACCORDANCE WITH THE MA DEP GUIDELINE BRP01-01 (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/laws/snowdisp.htm>)
- USE OF SALT ON ROADS AND WALKS IS TO BE MINIMIZED. STORAGE OF SNOW SALT AND OTHER DE-ICING MATERIALS SHALL BE IN ACCORDANCE WITH MA DEP POLICY DWS097-1 (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/laws/saltgui.doc>)
- THE FOLLOWING PAVEMENT SWEEPING SCHEDULE IS RECOMMENDED WITH SWEEPING SCHEDULED PRIMARILY IN THE SPRING AND FALL:
- QUARTERLY AVERAGE USING A HIGH EFFICIENCY VACUUM SWEEPER
- QUARTERLY AVERAGE USING A REGENERATIVE AIR SWEEPER
- MONTHLY AVERAGE USING A MECHANICAL SWEEPER (ROTARY BROOM)
SWEEPINGS SHOULD BE HANDLED IN ACCORDANCE WITH MA DEP POLICY BRP-94-092.
- ILLICIT DISCHARGES TO THE STORMWATER SYSTEM ARE PROHIBITED.
- FOR LAND USES NEAR CRITICAL AREAS OR FROM LAND USED WITH HIGHER POTENTIAL POLLUTANT LOADS THE STORMWATER SYSTEM SHOULD BE PROVIDED WITH A SHUTDOWN DEVICE.
- PARTIES RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM SHOULD BECOME FAMILIAR WITH THE REQUIREMENTS OF:
- THE STORMWATER POLLUTION PREVENTION PLAN AND NOTES
- THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN
- THESE LONG TERM POLLUTION PREVENTION PLAN MEASURES
- IN THE CASE OF AN EMERGENCY DIAL 911 OR CONTACT:
MASS DEP CENTRAL REGION
8 NEW BOND STREET
WORCESTER, MA 01606
(508) 792-7650



GRADING PLAN
SCALE: 1"=30'

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

QUINN ENGINEERING, INC.
P.O. Box 107
Faxon, Massachusetts 01612
(508) 753-7999 Fax: (508) 795-0939

NO.	REVISION	DATE
4	ISSUED FOR ENDORSEMENT	9/5/19
3	ISSUED FOR PERMIT	6/7/19
2	TOWN/BETA COMMENTS	5/23/19
1	TOWN/BETA COMMENTS	4/25/19

KEVIN J. QUINN CIVIL #23922

APPLICANT:
33 PERRY AVE
ATTLEBORO, MA 02703

OWNER: JAMES HESSON
MARGHERITA RAMMER
7410 BUCKLIN TRAIL NORTH
JACKSONVILLE, FL 32202

SCALE: 1"=30'

WILLIAM J. MASELLO ARCHITECT INC.
508-869-0597
masselloathitect.com

QUINN ENGINEERING, INC.
P.O. Box 107
Faxon, Massachusetts 01612
(508) 753-7999 Fax: (508) 795-0939

DATE: FEBRUARY 1, 2019

GRADING PLAN AND NOTES SHEET 6

LEGEND

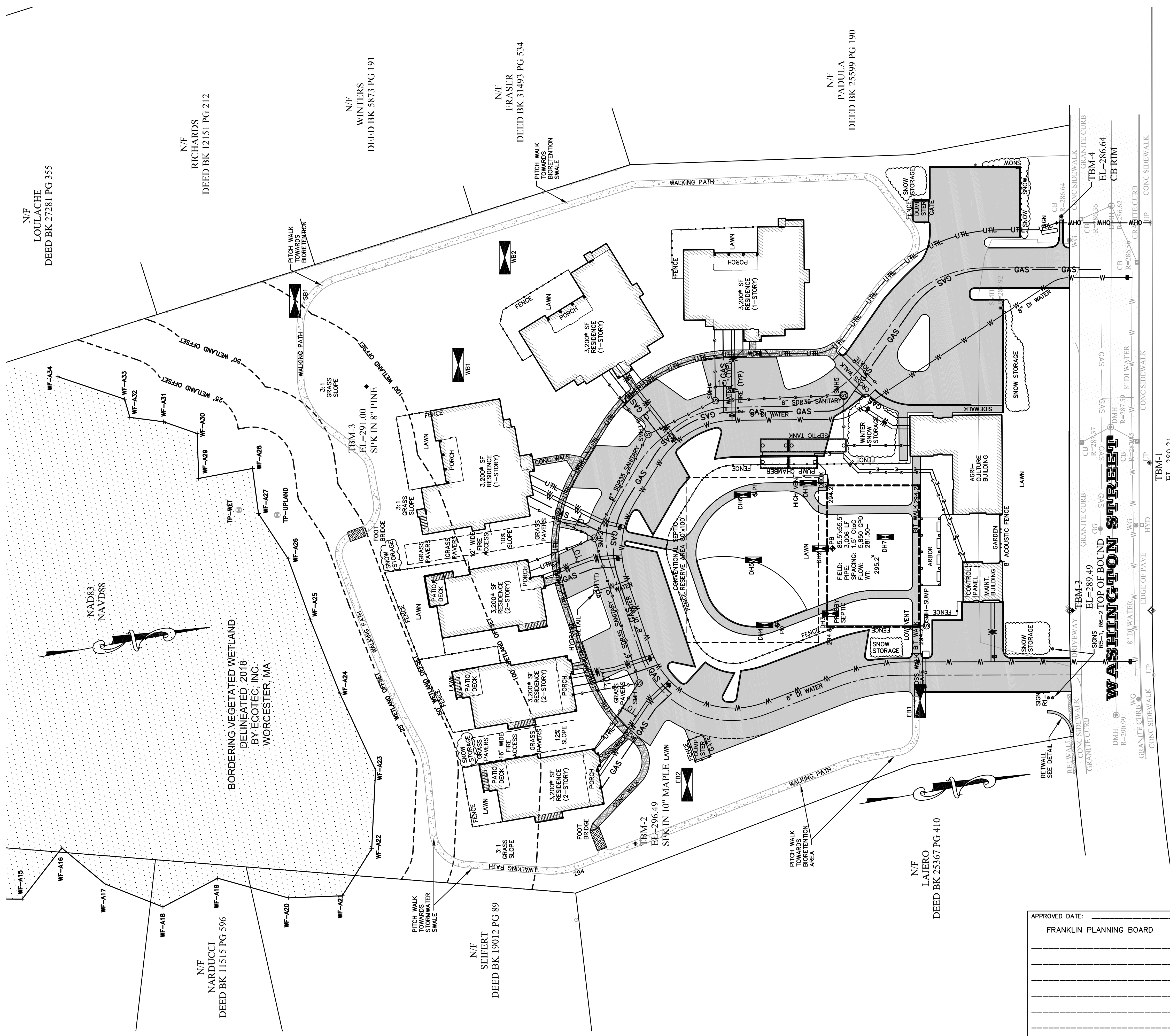
	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
	EXISTING FENCE		EXISTING DRAIN MANHOLE
	EXISTING EDGE OF BUILDING		EXISTING CATCH BASIN
	EXISTING RETAINING WALL		EXISTING PAVEMENT
	EXISTING MARKED GAS		EXISTING STONE BOUNDARY
	EXISTING MARKED WATER		EXISTING WETLAND AREA
	BUILDING SETBACK LINE		EXISTING WETLAND FLAG
	WETLAND SETBACK LINE		PROPOSED CHECK DAM
	TOWN GIS EDGE OF BUILDING		PROPOSED PAVEMENT
	TOWN GIS CONTOUR LINE		PROJECT BENCHMARK
	PROPOSED CONTOUR		SOIL TEST PIT
	PROPOSED SNOW STORAGE		PROPOSED WATER SHUTOFF
	PROPOSED EROSION CONTROLS		PROPOSED SPOT GRADE
	PROPOSED STOCKADE FENCE		PROPOSED RIP RAP
	PROPOSED GAS LINE		PROPOSED STORMWATER FACILITY
	PROPOSED WATER LINE		PROPOSED BASIN FLOOR
	PROPOSED SEWER LINE		PROPOSED ROOF DRYWELL
	PROPOSED PVC DRAIN LINE		PROPOSED CATCH BASIN
	PROPOSED RCP DRAIN LINE		PROPOSED OUTLET STRUCTURE
	PROPOSED ROOF DRAIN		PROPOSED SEWER MANHOLE
	PROPOSED ELEC., TEL., CABLE		PROPOSED TRAFFIC STRIPING
	PROPOSED OVERHEAD WIRES		PROPOSED TRAFFIC ARROW
	PROPOSED ELECTRIC LINE		PROPOSED WALKING PATH MULCH
	PROPOSED EDGE OF BUILDING		PROPOSED WALKING PATH BITUM.
	PROPOSED CURB LINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED SWALE CENTERLINE		PROPOSED LIGHT POLE BASE
	PROPOSED LIMIT OF CLEARING		PROPOSED ACCESSIBLE PARKING

SANITARY SEWER SCHEDULE:

STRUCTURE	TO	CULVERT
SMH1 RIM EL= 293.3 INV IN(B1)=289.62 INV IN(S2)=289.54 INV OUT= 289.50	SMH2	6" SDR 35 PVC L=88' S=0.0050
SMH2 RIM EL= 292.7 INV IN(B3)=289.58 INV IN(B4)=289.56 INV IN(S1)=289.06 INV OUT= 289.01	SMH3	6" SDR 35 PVC L=68' S=0.0050
SMH3 RIM EL= 292.7 INV IN(S1)=289.56 INV IN(S2)=288.67 INV OUT= 288.63	SMH4	6" SDR 35 PVC L=42' S=0.0050
SMH4 RIM EL= 293.2 INV IN(B6)=289.58 INV IN(S3)=288.42 INV OUT= 288.38	SMH5	6" SDR 35 PVC L=74' S=0.0050
SMH5 RIM EL= 292.8 INV IN(S4)=288.01 INV OUT= 287.97	SEPTIC TANK	6" SDR 35 PVC L=24' S=0.0050
SEPTIC TANK RIM EL= 293.4* T/TANK= 291.9* INV IN(A)=289.88 INV IN(M)=288.82 INV IN(S5)=287.85 INV OUT= 287.60	PUMP CHAMBER	6" SDR 35 PVC L=5' S=0.0100
PUMP CHAMBER RIM EL= 294.0* T/CHAM= 291.0* INV IN= 287.55 INV OUT= 287.55	DIST. BOX	2" SDR 35 PVC L=48' SLOPE UP
DISTRIBUTION BOX FIN GRADE=294.2* INV IN= 292.65 INV OUT= 292.48	LEACH FIELD	4" SDR 35 PVC L=VARIES S=0.02+

UTILITY NOTES:

- SEVENTY TWO HOURS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY LOCATION SERVICES TO IDENTIFY ANY UNDERGROUND UTILITIES IN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UTILITIES FOUND DIFFER FROM WHAT HAS BEEN INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW UTILITIES WITHIN THE VICINITY OF EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) WITH THE APPROPRIATE UTILITY PROVIDER.
- ALL UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH TOWN OF FRANKLIN DPW STANDARDS AND REQUIREMENTS.



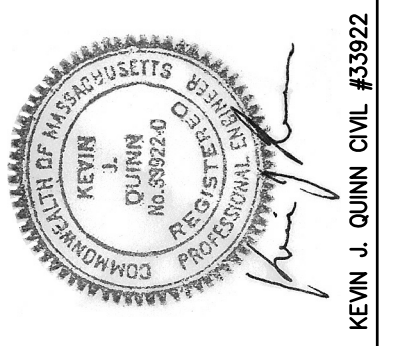
UTILITY PLAN
SCALE: 1"=30'

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

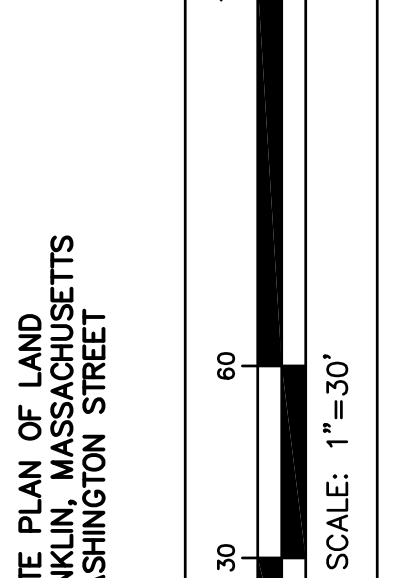


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APPLICANT:
33 PERRY AVE
ATLANTIC, MA 02703

OWNER:
JAMES HESSON
MARGHERITA RAMER
7410 BUCKLIN TRAIL NORTH
JACKSONVILLE, FL 32202



SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET



QUINN ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019
UTILITY PLAN AND NOTES SHEET 7

LEGEND

	PROPERTY LINE		EXISTING FIRE HYDRANT
	EXISTING CONTOUR		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING WATER GATE
	EXISTING WOODS LINE		EXISTING GAS GATE
	EXISTING FENCE		EXISTING DRAIN MANHOLE
	EXISTING EDGE OF BUILDING		EXISTING CATCH BASIN
	EXISTING RETAINING WALL		EXISTING PAVEMENT
	EXISTING MARKED GAS		EXISTING STONE BOUNDARY
	EXISTING MARKED WATER		EXISTING WETLAND AREA
	BUILDING SETBACK LINE		EXISTING WETLAND FLAG
	WETLAND OFFSET		PROPOSED CHECK DAM
	TOWN GIS EDGE OF BUILDING		PROPOSED PAVEMENT
	TOWN GIS CONTOUR LINE		PROJECT BENCHMARK
	PROPOSED CONTOUR		SOIL TEST PIT
	PROPOSED SNOW STORAGE		PROPOSED WATER SHUTOFF
	PROPOSED EROSION CONTROLS		PROPOSED SPOT GRADE
	FENCE		PROPOSED RIP RAP
	PROPOSED GAS LINE		PROPOSED STORMWATER FACILITY
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	PROPOSED ELECTRIC LINE		PROPOSED WALKING PATH MULCH
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	PROPOSED CURB LINE		PROPOSED CONCRETE SIDEWALK
	PROPOSED SWALE CENTERLINE		PROPOSED LIGHT POLE BASE
	PROPOSED LIMIT OF CLEARING		PROPOSED ACCESSIBLE PARKING

CONSTRUCTION PERIOD POLLUTION PREVENTION PLAN NOTES:

- CONTROLS TO REDUCE POLLUTANTS:
 - THE FOLLOWING IS A BRIEF DESCRIPTION OF EACH BMP IMPLEMENTED TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES.
 - HAY BALES & SILT FENCE: HAY BALES AND SILT FENCE PROVIDE MEASURES OF CONTROLLING EROSION AND SEDIMENTATION AND SHALL BE IMPLEMENTED BY THE CONTRACTOR WHERE NEEDED TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE.
 - EARTH DIKES, TEMPORARY DRAINAGE SWALES, INTERCEPTOR DIKES AND/OR SWALES SHALL BE EMPLOYED BY THE SITE CONTRACTOR TO DIRECT STORMWATER RUNOFF FROM DISTURBED AREAS TO AREAS WHERE DISCHARGE IS ACCEPTABLE.
 - TEMPORARY CONSTRUCTION ENTRANCES OF CRUSHED STONE SHALL BE IMPLEMENTED BY THE CONTRACTOR WHEN NEEDED TO PREVENT SEDIMENT FROM TRACKING OFF-SITE AND INTO EXISTING ROADWAYS.
 - DISTURBED AREAS NOT SUBJECT TO RESTORATION BY OTHER MEANS SHALL BE STABILIZED UPON FINISH GRADING WITH 4" OF LOAM AND GRASS SEED. AREAS SLOPED AT GREATER THAN 3:1 SHALL BE STABILIZED WITH GEOTEXTILE FABRIC.
 - THE FOLLOWING RECORD SHOULD BE MAINTAINED BY THE OPERATOR AS PART OF THE POLLUTION PREVENTION PLAN.
 - DATES WHEN MAJOR GRADING ACTIVITIES OCCUR.
 - DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE.
 - DATES WHEN STABILIZATION MEASURES ARE INITIATED.
 - HAY BALES, SILT FENCE, STONE CONSTRUCTION ENTRANCES, EARTH DIKES, TEMPORARY DRAINAGE SWALES, INTERCEPTOR DIKES AND SWALES, AND OTHER STRUCTURAL PRACTICES SHALL BE EMPLOYED BY THE SITE CONTRACTOR TO DIRECT STORMWATER RUNOFF FROM DISTURBED AREAS TO AREAS WHERE DISCHARGE IS ACCEPTABLE. THE APPROPRIATE LOCATION AND INSTALLATION TIMING SHALL BE DETERMINED BY THE SITE CONTRACTOR.
 - THE DISCHARGE OF SOLID MATERIALS, INCLUDING BUILDING MATERIALS, TO ANY WETLAND AREAS, CATCH BASIN, STORMWATER BASIN, ETC. ARE PROHIBITED.
 - THE CONTRACTOR SHALL MINIMIZE VEHICLE TRACKED SEDIMENT ONTO THE SURROUNDING ROADWAYS. AIRBORNE DUST SHALL BE CONTROLLED WITH WATER.
 - CONSTRUCTION MATERIALS AND CONSTRUCTION WASTE MATERIALS ASSOCIATED WITH THE PROPOSED DEVELOPMENT SHALL BE STORED IN A MANNER THAT MINIMIZES EXPOSURE TO STORMWATER, IE USE OF TARPULINS, INSIDE STORAGE, ETC. MATERIALS AND WASTE SHALL BE MAINTAINED IN AN ORDERLY MANNER AND SHALL BE COLLECTED IMMEDIATELY UPON SPILLS OR DISPERSION.
 - DURING CONSTRUCTION, POLLUTANTS FROM SOURCES OTHER THAN THE CONSTRUCTION ACTIVITIES ARE NOT EXPECTED.
- ILLICIT AND NON STORMWATER DISCHARGES:
 - IN ACCORDANCE WITH THE DEP MASSACHUSETTS STORMWATER HANDBOOK, AN ILLICIT DISCHARGE DOES NOT INCLUDE DISCHARGES FROM THE FOLLOWING ACTIVITIES OR FACILITIES: FIRE FIGHTING, WATER LINE FLUSHING, LANDSCAPE IRRIGATION, UNCONTAMINATED GROUNDWATER, POTABLE WATER SOURCES, FOUNDATION DRAINS, AIR CONDITIONING CONDENSATION, FOOTING DRAINS, INDIVIDUAL RESIDENT CAR WASHING, FLOWS FROM RIPARIAN HABITATS AND WETLANDS, DECHLORINATED WATER FROM SWIMMING POOLS, WATER USED FOR STREET WASHING AND WATER USED TO CLEAN RESIDENTIAL BUILDINGS WITHOUT DETERGENTS.
 - ILLICIT DISCHARGES TO THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROHIBITED. ILLICIT DISCHARGES INCLUDE WASTEWATER DISCHARGES AND DISCHARGES OF STORMWATER CONTAMINATED BY CONTACT WITH PROCESS WASTES, RAW MATERIALS, TOXIC POLLUTANTS, HAZARDOUS SUBSTANCES, OIL, OR GREASE.
- MAINTENANCE AND CONTROLS:
 - DURING CONSTRUCTION, ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION, IN THE EVENT THAT THE MEASURES ARE NOT WORKING PROPERLY OR IF ADDITIONAL MEASURES ARE REQUIRED, MAINTENANCE AND ADJUSTMENTS SHALL BE MADE BY THE OPERATOR AS SOON AS POSSIBLE BEFORE THE NEXT RAIN STORM.
 - DURING CONSTRUCTION, IN THE EVENT THAT MAINTENANCE OR IMPLEMENTATION CANNOT BE MADE PRIOR TO THE NEXT RAIN STORM, THE SITUATION SHALL BE DOCUMENTED BY THE OPERATOR AND ALTERNATIVE BMP'S IMPLEMENTED AS SOON AS POSSIBLE.
 - DURING CONSTRUCTION, CATCH BASINS SLUMPS AND SEDIMENT TRAPS SHALL BE CLEANED OF SEDIMENT WHEN THE CAPACITY HAS BEEN REDUCED BY 50%.
- MANAGEMENT PRACTICES:
 - ALL CONTROL MEASURES SHALL BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND GOOD PRACTICES. INAPPROPRIATE OR INCORRECT USE OF THE CONTROL SHALL BE MODIFIED AS SOON AS PRACTICABLE.
 - OFF-SITE ACCUMULATION OF SEDIMENT MUST BE REMOVED IMMEDIATELY.
 - LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED PRIOR TO AND DURING WINTER CONDITIONS.
 - A VEGETATED BUFFER SHALL BE MAINTAINED WHEREVER POSSIBLE BETWEEN THE WORK AREA AND DOWNSTREAM RESOURCE AREAS AND PROPERTY BOUNDARIES.
 - PROVIDE VELOCITY DISSIPATORS OR RIP RAP AT ALL TEMPORARY AND PERMANENT STORMWATER POINT DISCHARGES.



EROSION CONTROL PLAN WITH POST CONSTRUCTION DRAINAGE CATCHMENTS

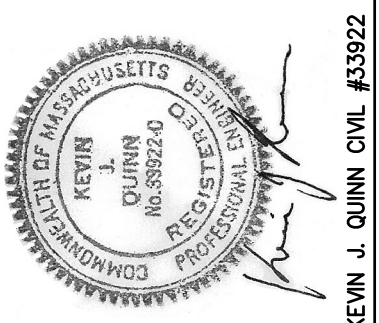
SCALE: 1"=30'

APPROVED DATE: _____
 FRANKLIN PLANNING BOARD

DATE: _____
 BEING A MAJORITY

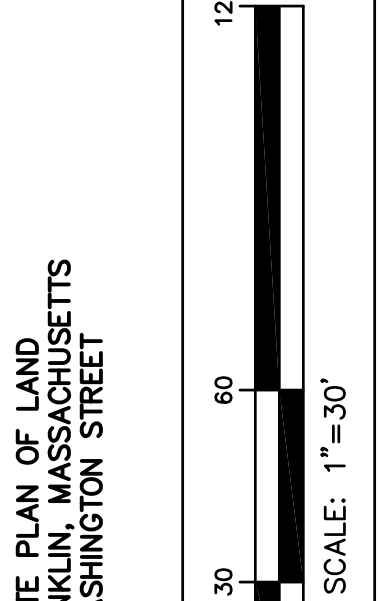


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APPLICANT:
 MASIELLO ARCHITECT INC.
 33 PERRY AVE
 ATTLEBORO, MA 02703

OWNER:
 JAMES HESSON
 MARGHERITA RAMER
 7410 BUCKLIN TRAIL NORTH
 JACKSONVILLE, FL 32202



SITE PLAN OF LAND
 IN FRANKLIN, MASSACHUSETTS
 WASHINGTON STREET

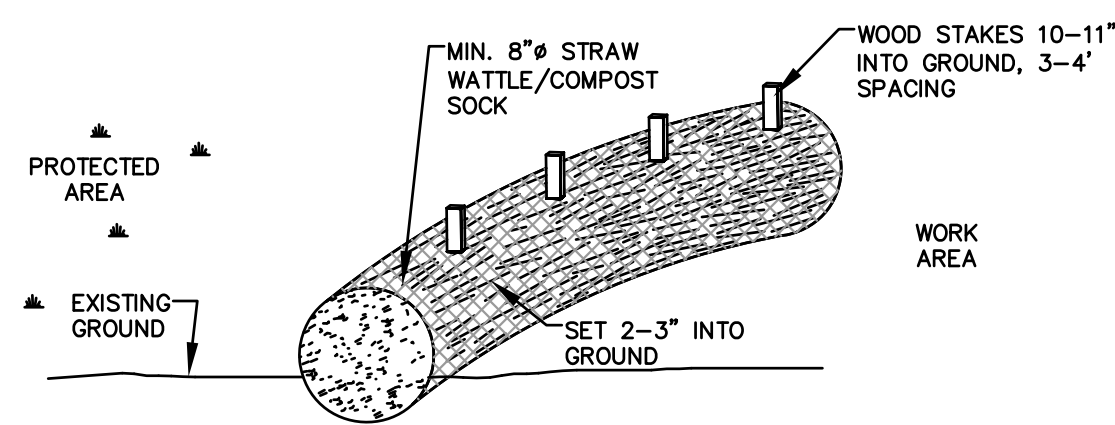


WILLIAM J.
MASIELLO
 ARCHITECT
 INC.

508.869.0597
 masielloarchitect.com

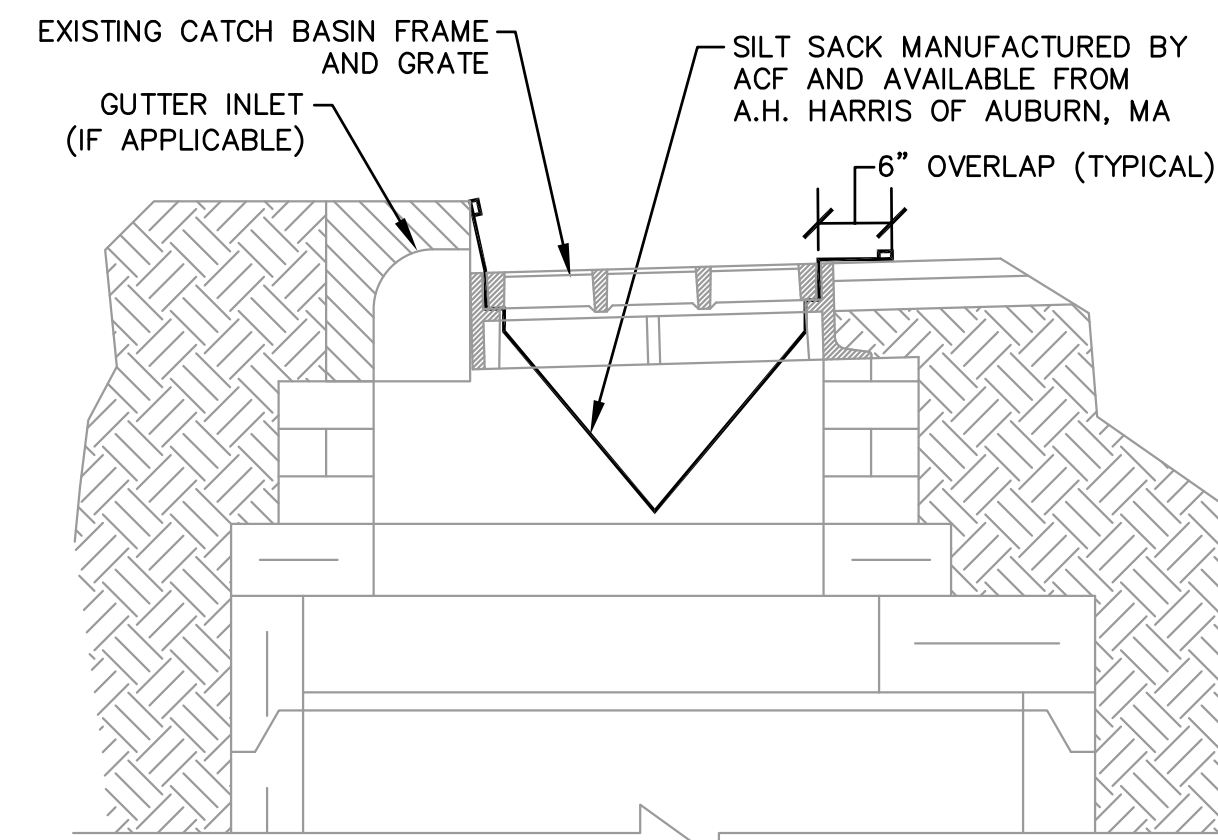
QUINN ENGINEERING, INC.
 P.O. Box 107
 Paxton, Massachusetts 01612
 (508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019
 EROSION CONTROL PLAN WITH POSTCATCHMENTS SHEET 8

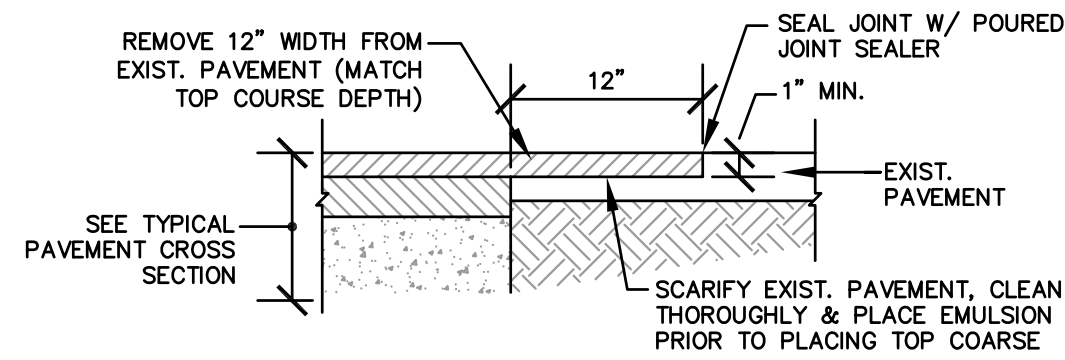


**EROSION CONTROL DETAIL
STRAW WATTLE/COMPOST SOCK**
SCALE: NOT TO SCALE

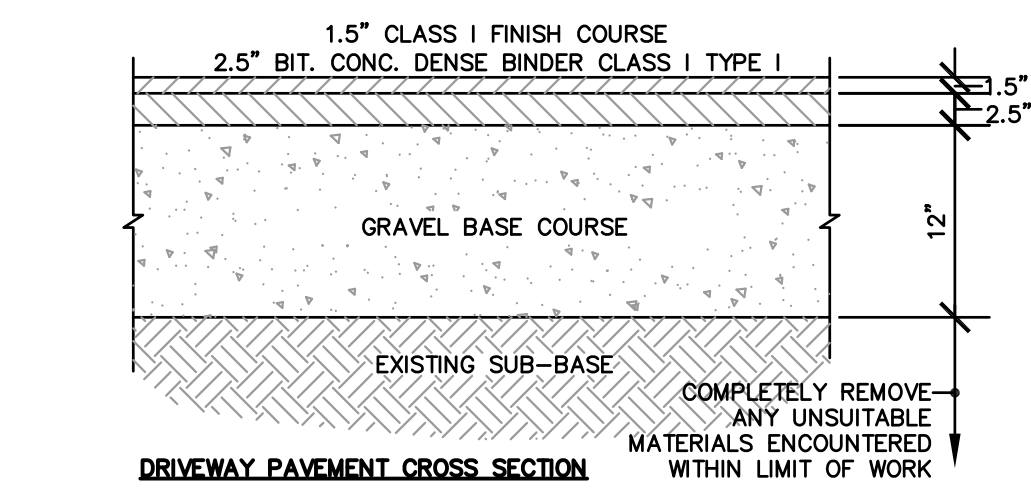
- NOTES:**
- THIS DETAIL APPLIES TO ALL CATCH BASINS IDENTIFIED ON THE EROSION & SEDIMENT CONTROL PLAN.
 - SILT SACK SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - INSPECT SILT SACKS WEEKLY OR AFTER EVERY RAIN EVENT OF MORE THAN 0.25". REPLACE WHEN VOLUME IS REDUCED BY 50% OR PER MANUFACTURER'S REQUIREMENTS.



SILT SACK DETAIL
SCALE: NOT TO SCALE



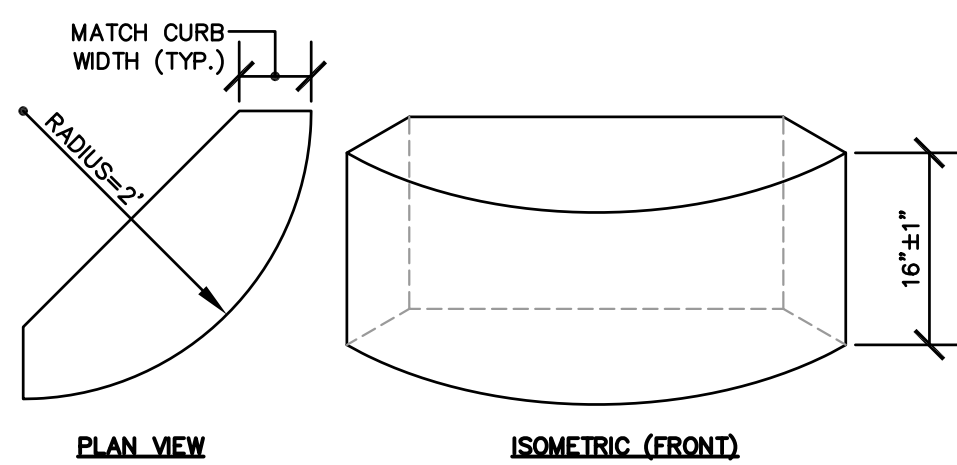
PAVEMENT JOINT DETAIL
SCALE: 1"=1'-0"



DRIVEWAY PAVEMENT CROSS SECTION

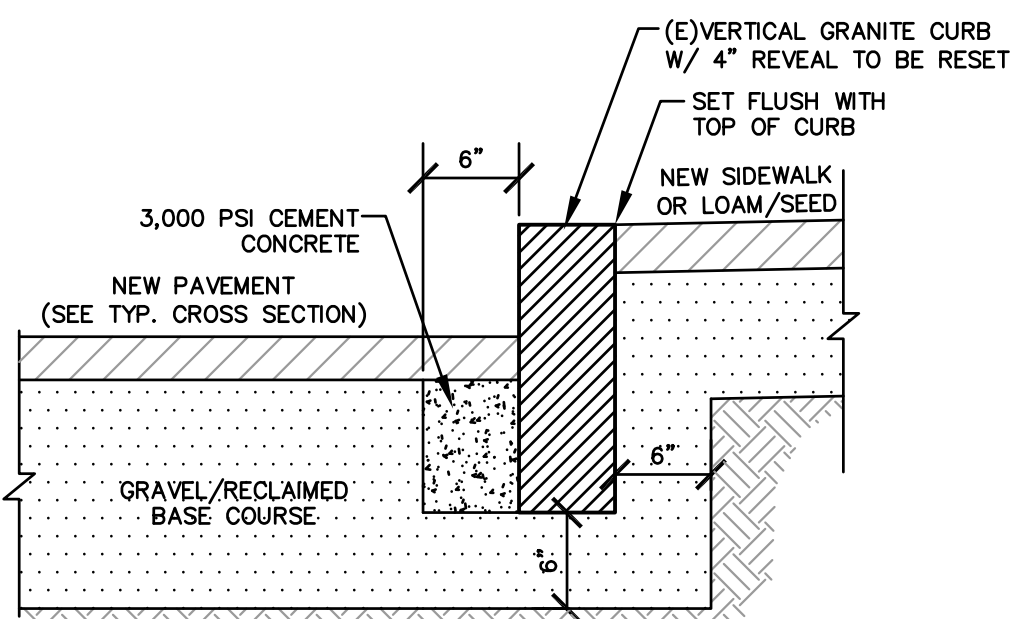
- NOTES:**
- IMPORTED GRAVEL USED AS BASE MATERIAL SHALL CONFORM TO MA DOT STANDARD SPECIFICATION M1.03.0 TYPE b.
 - GRAVEL BASE SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS, AND DELETERIOUS MATERIALS.
 - GRADATION REQUIREMENTS FOR IMPORTED GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:
- | SEIVE DESIGNATION: | % PASSING: |
|--------------------|------------|
| 1/2 IN. | 50-85 |
| NO. 4 | 40-75 |
| NO. 50 | 8-28 |
| NO. 200 | 0-10 |
- THE MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 3" LARGEST DIMENSION FOR M1.03.0 TYPE b.
 - ALL PAVEMENT SHALL HAVE A CONTINUOUS LONGITUDINAL SLOPE OR SHALL BE CROSS PITCHED TO ADEQUATELY SHED SURFACE WATER.

BITUMINOUS PAVEMENT CROSS SECTION
SCALE: 1"=1'-0"

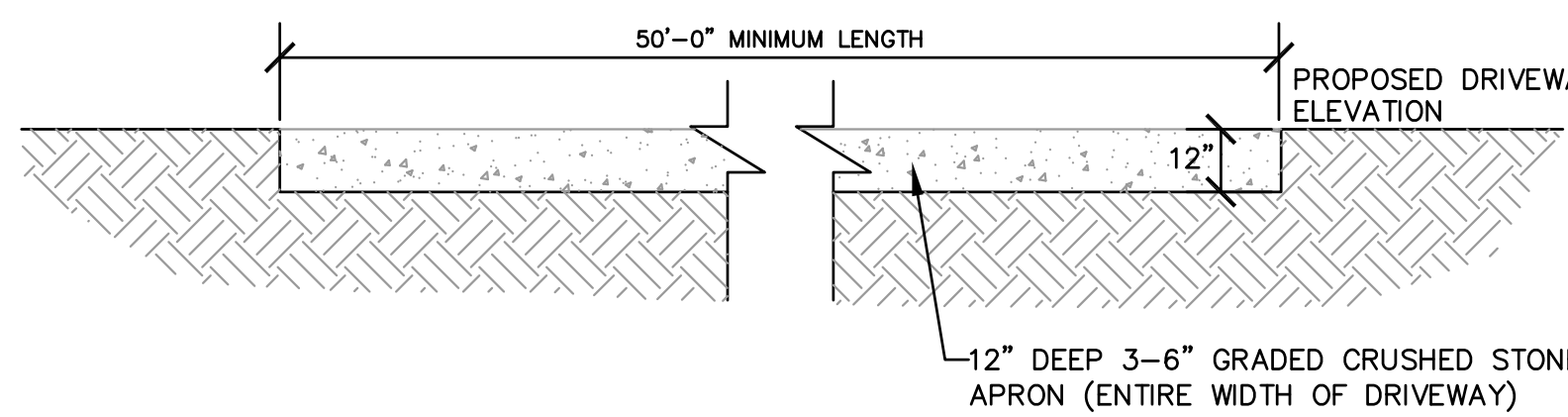


- NOTES:**
- SEE GRANITE CURB DETAIL FOR INSTALLATION REQUIREMENTS.

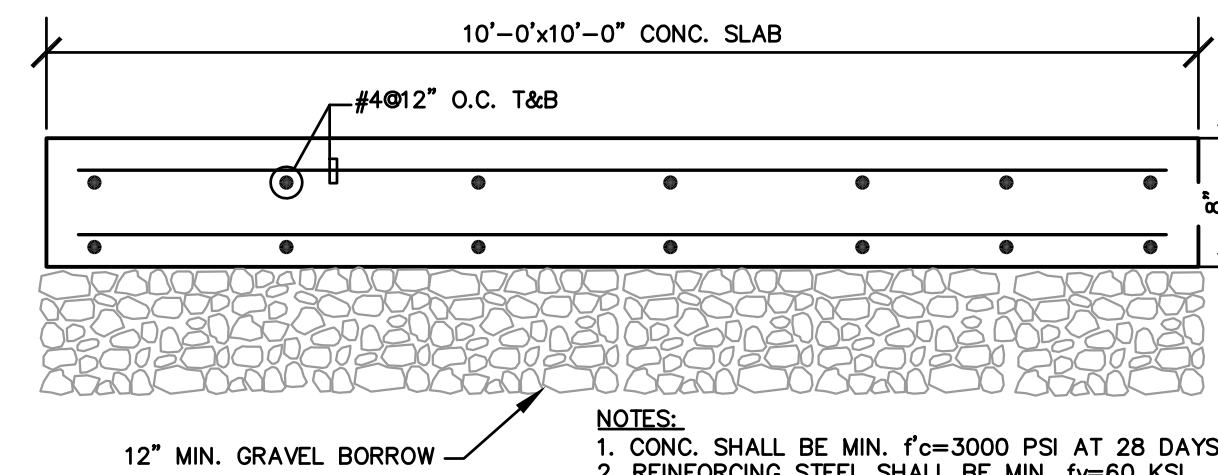
90° GRANITE CURB
SCALE: 3/4"=1'-0"



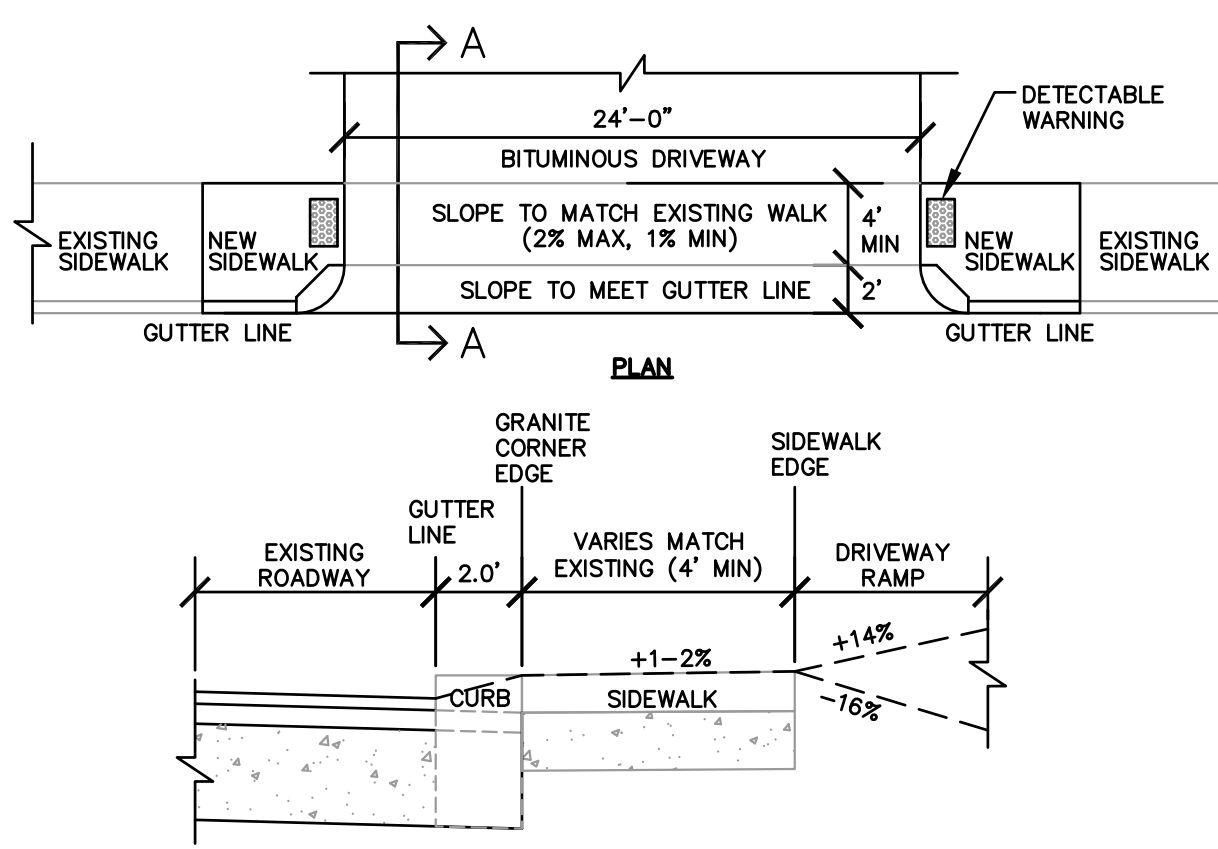
VERTICAL GRANITE CURB (VGC) DETAILS
SCALE: 1"=1'-0"



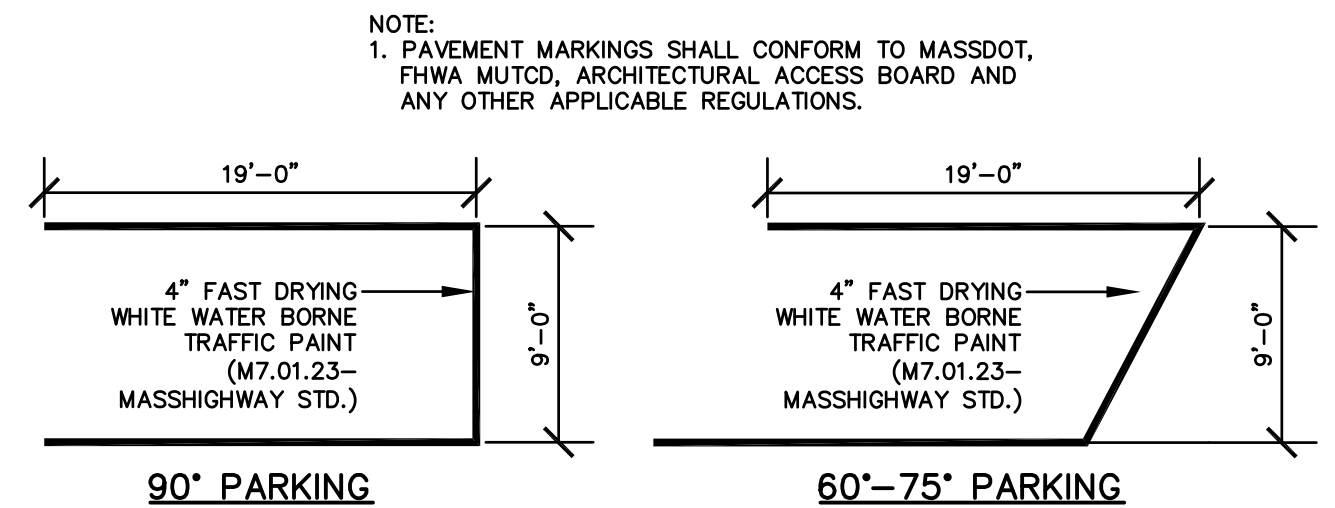
STABILIZED ENTRANCE DETAIL
SCALE: NOT TO SCALE



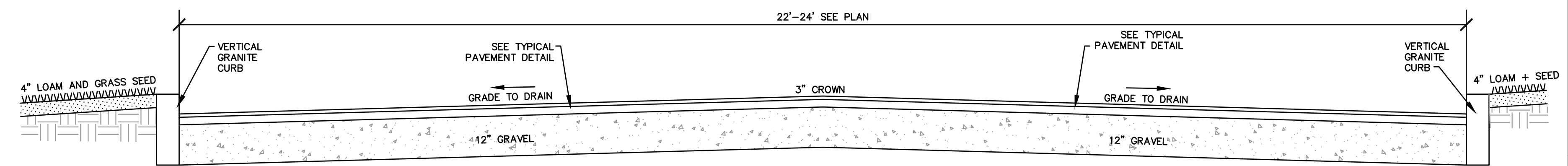
DUMPSTER PAD DETAIL
SCALE: NOT TO SCALE



DRIVEWAY CURB CUT DETAIL
SCALE: NOT TO SCALE

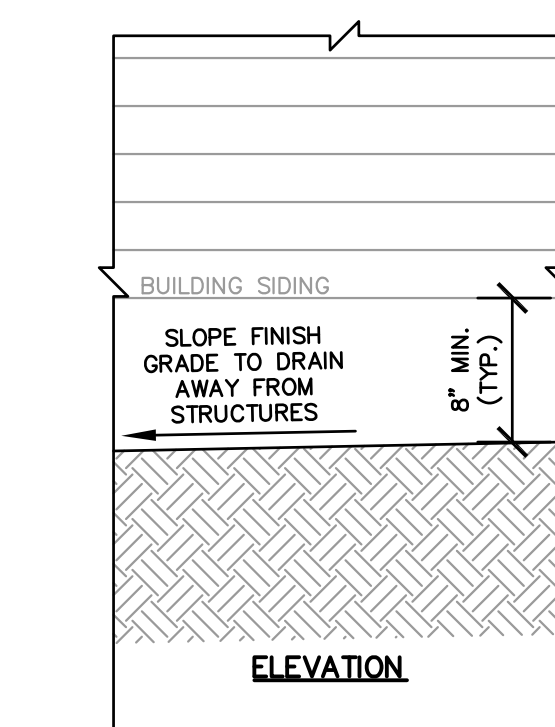


PARKING SPACE DETAILS
SCALE: 1/8"=1'-0"

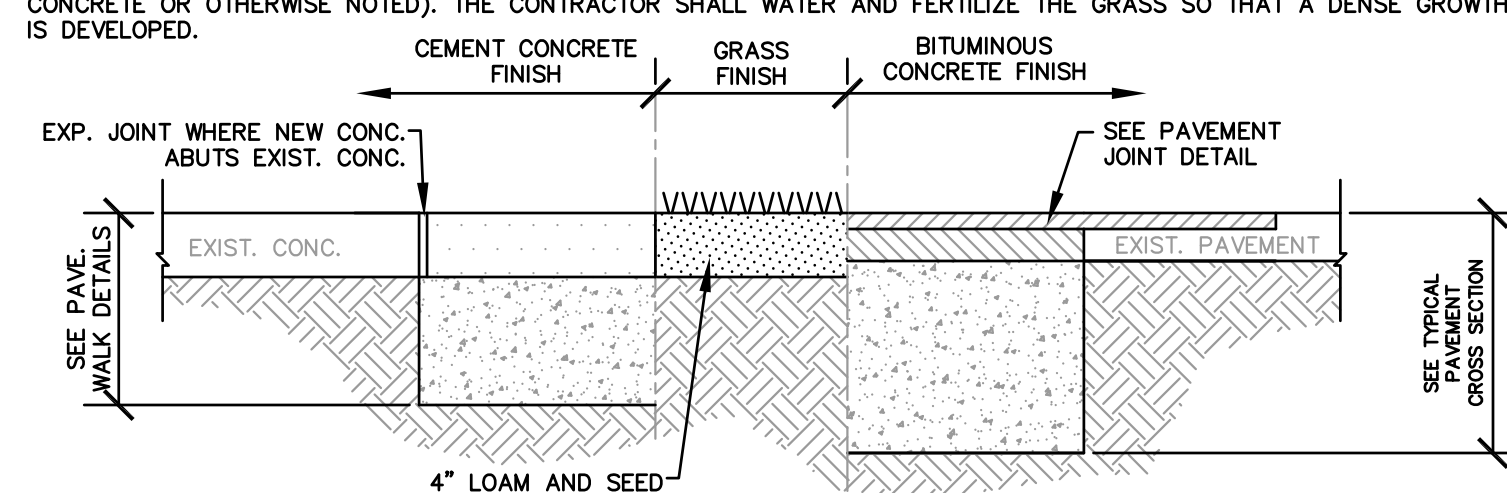


SECTION THROUGH LOOP DRIVEWAY
SCALE: 1/2"=1'-0"

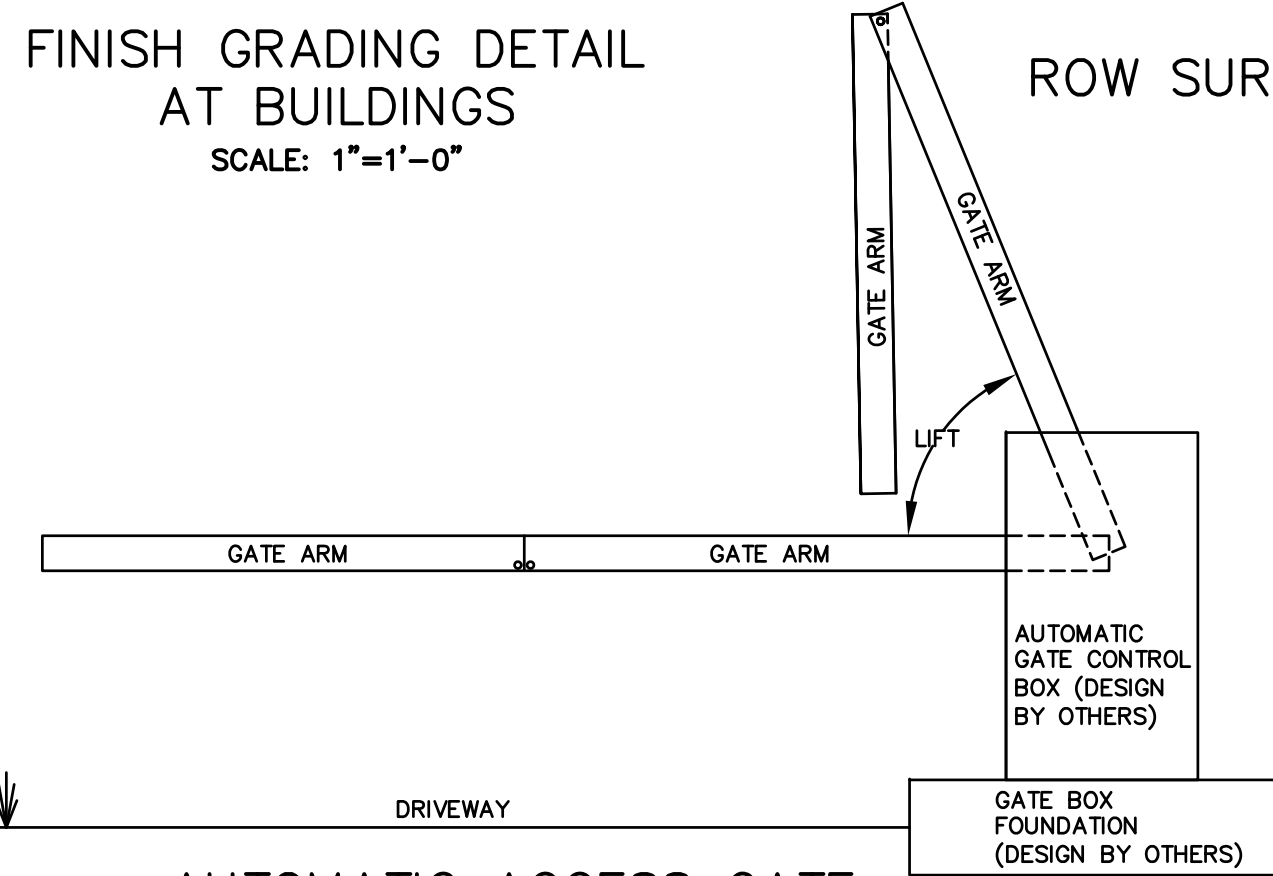
- NOTE:**
- ALL AREAS WITHIN THE TOWN RIGHT OF WAY DISTURBED BY THE PROPOSED WORK SHALL BE SUBJECT TO RESTORATION.
 - ALL FINISH SURFACES SHALL:
 - BE CONSTRUCTED FLUSH WITH THE ADJACENT FINISH SURFACES.
 - HAVE UNIFORM SLOPES AND SHALL NOT CONTAIN ANY IRREGULARITIES.
 - SHALL SLOPE AWAY FROM THE EXISTING BUILDINGS (UNLESS OTHERWISE NOTED).
 - SHALL SLOPE TOWARDS THE EXISTING SURFACE DRAINS (UNLESS OTHERWISE NOTED).
 - SHALL BE FINISHED WITH 4 INCHES OF TOP SOIL AND GRASS (UNLESS FINISHED WITH BITUMINOUS CONCRETE, CEMENT CONCRETE OR OTHERWISE NOTED). THE CONTRACTOR SHALL WATER AND FERTILIZE THE GRASS SO THAT A DENSE GROWTH IS DEVELOPED.



FINISH GRADING DETAIL AT BUILDINGS
SCALE: 1"=1'-0"

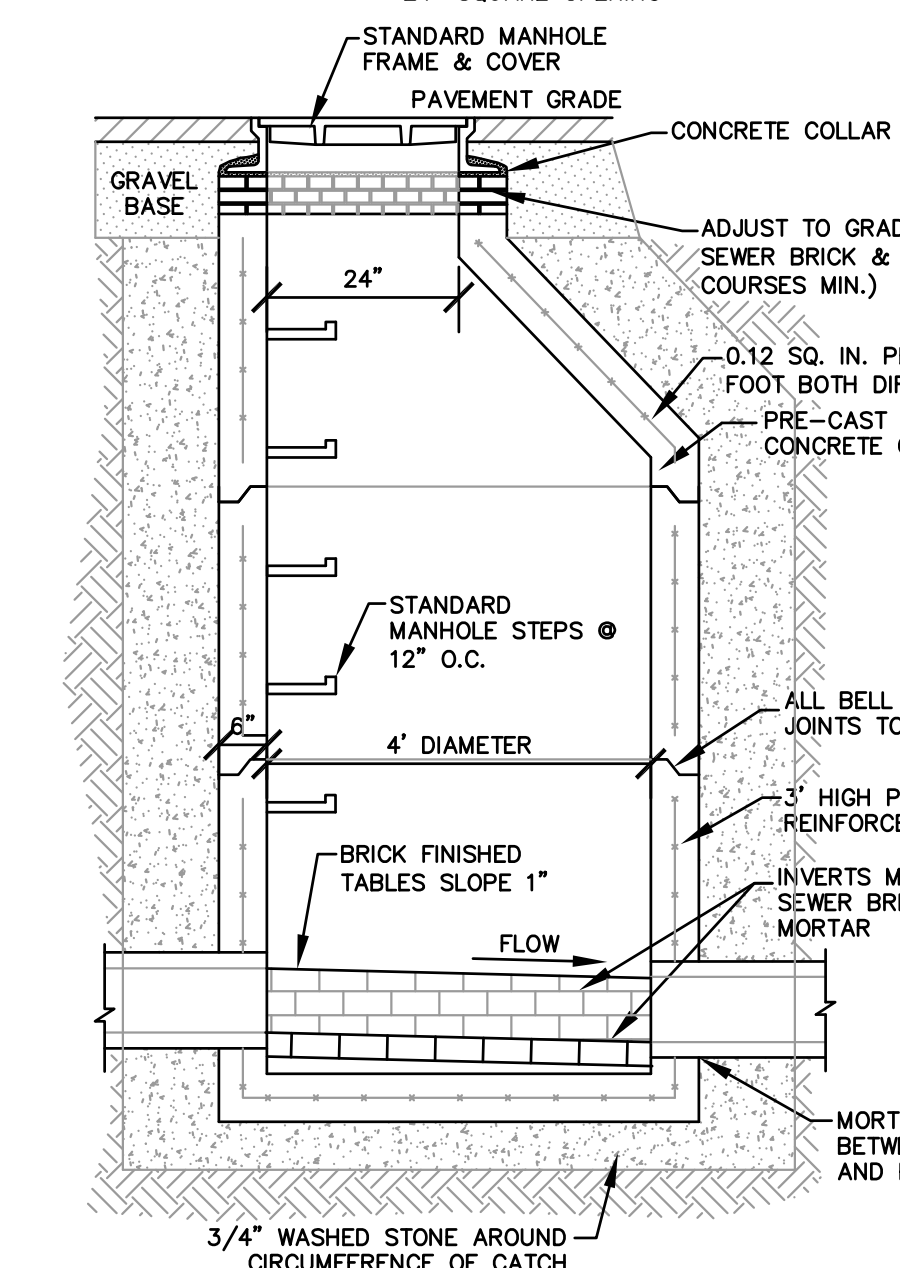
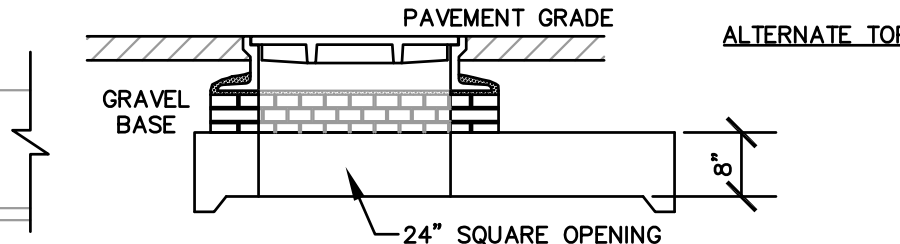


ROW SURFACE RESTORATION DETAIL
SCALE: 1"=1'-0"

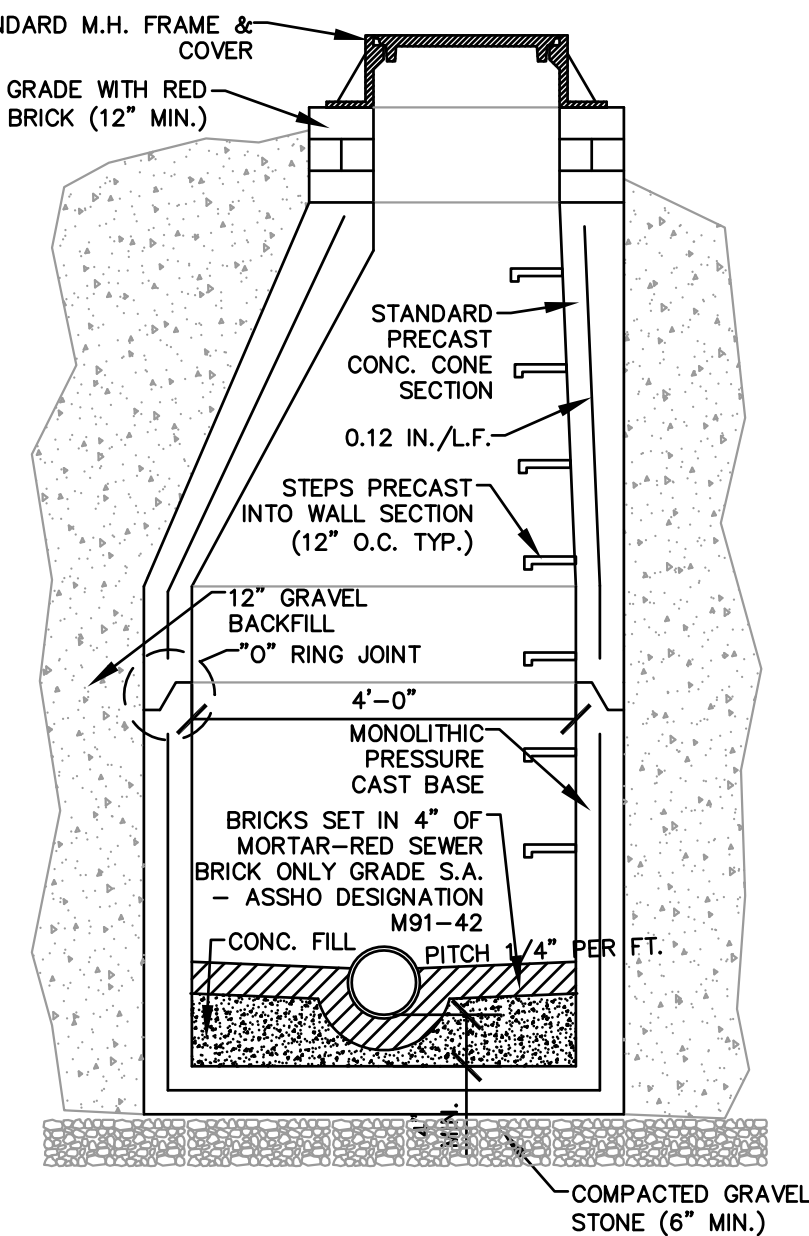
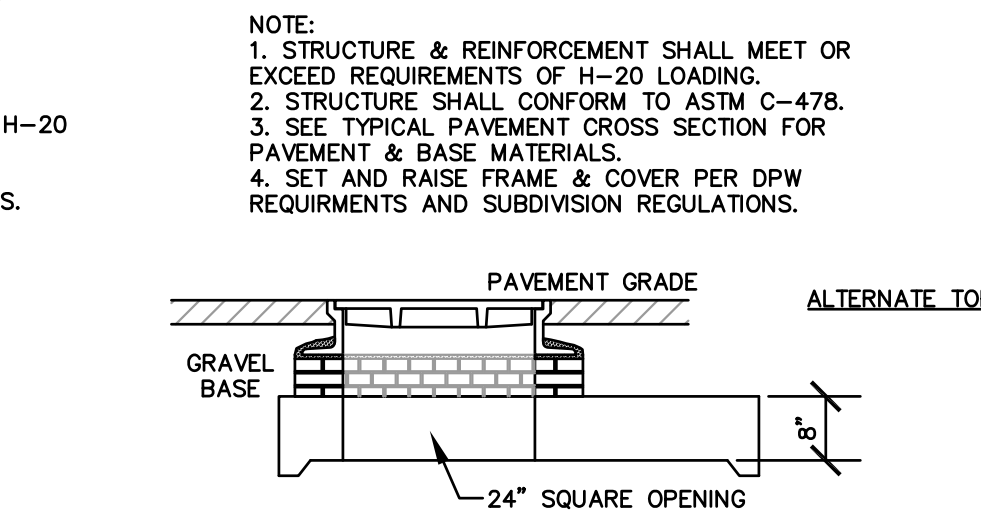


AUTOMATIC ACCESS GATE SCHEMATIC DETAIL
SCALE: NOT TO SCALE

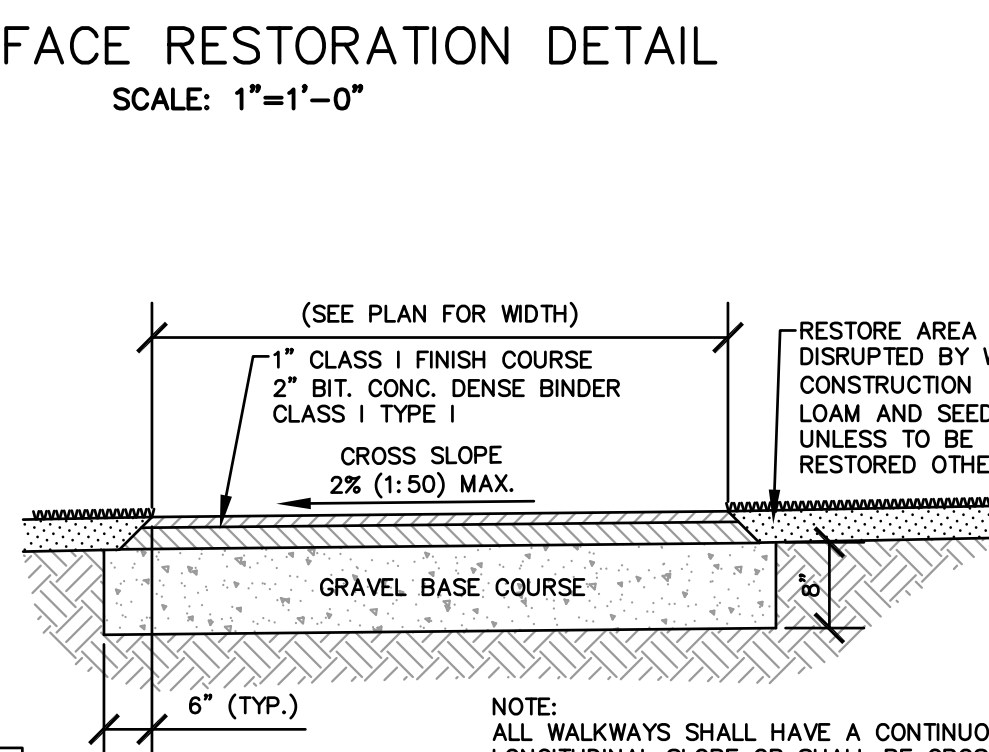
- NOTE:**
- STRUCTURE & REINFORCEMENT SHALL MEET OR EXCEED REQUIREMENTS OF H-20 LOADING.
 - STRUCTURE SHALL CONFORM TO ASTM C-478.
 - SEE TYPICAL PAVEMENT CROSS SECTION FOR PAVEMENT & BASE MATERIALS.
 - SET AND RAISE FRAME & COVER PER DPW REQUIREMENTS AND SUBDIVISION REGULATIONS.



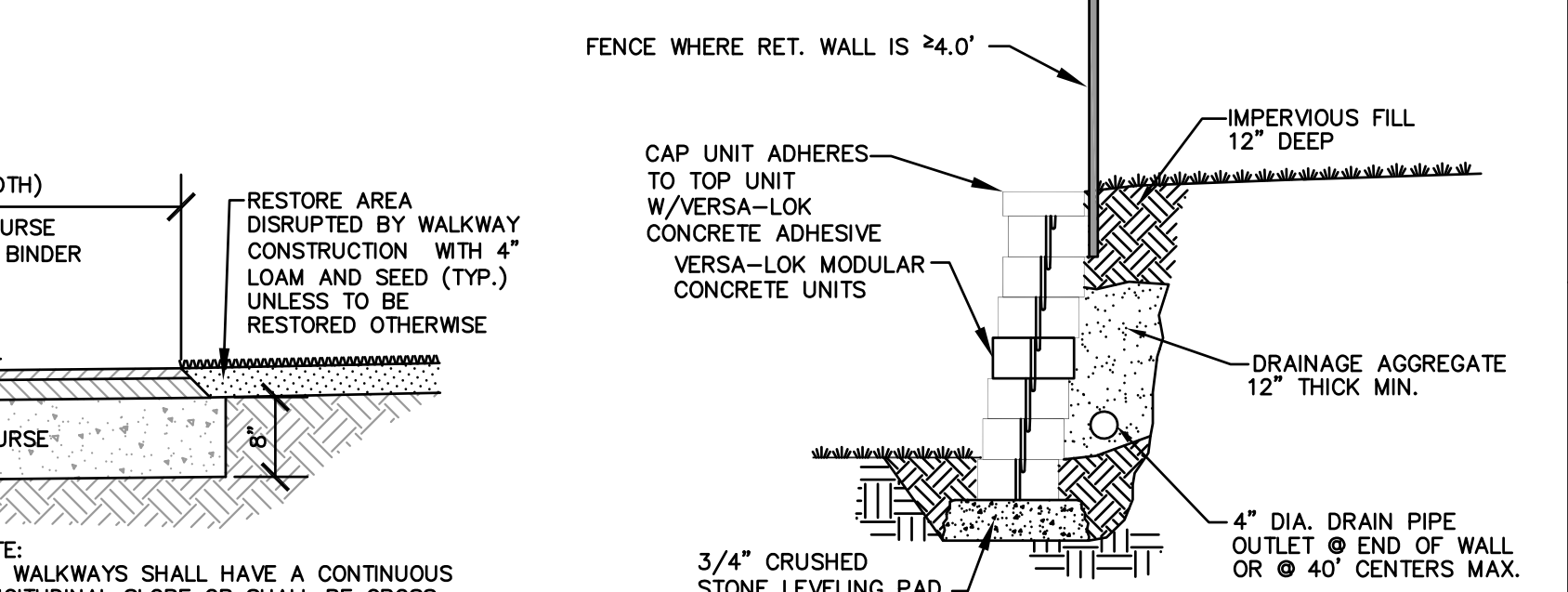
DRAIN MANHOLE DETAIL
SCALE: NOT TO SCALE



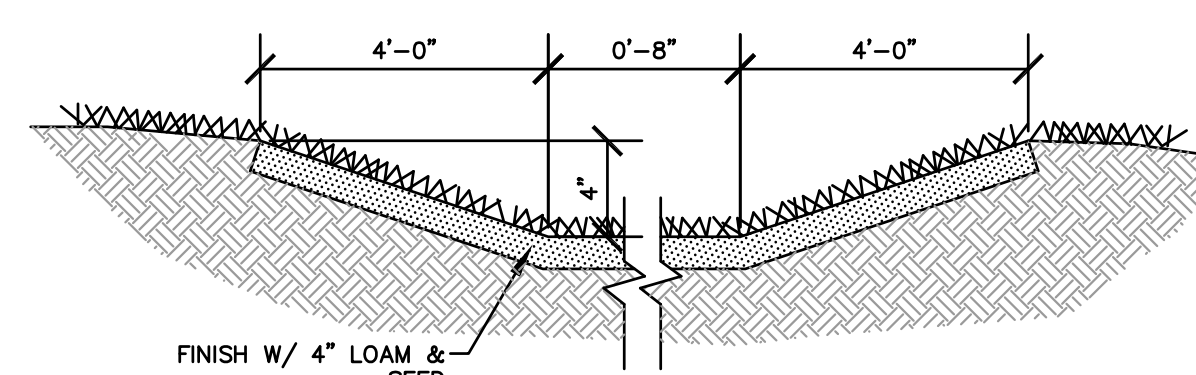
SEWER MANHOLE DETAIL
SCALE: NOT TO SCALE



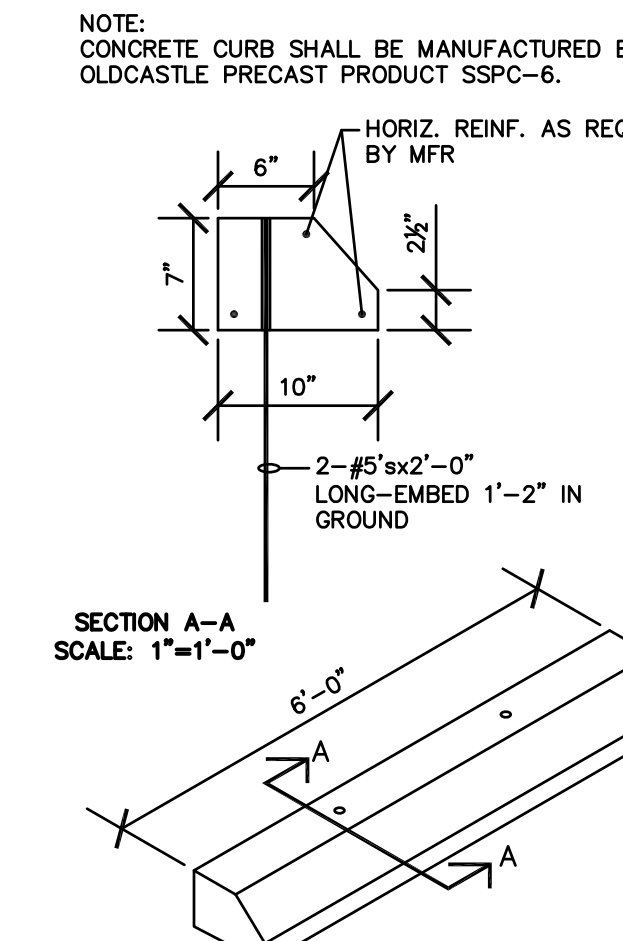
BIT. CONC. WALKWAY DETAIL
SCALE: NOT TO SCALE



TYPICAL RETAINING WALL
SCALE: NOT TO SCALE



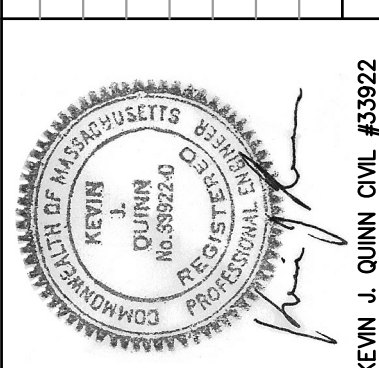
GRASSED DRAINAGE SWALE DETAIL
SCALE: NTS



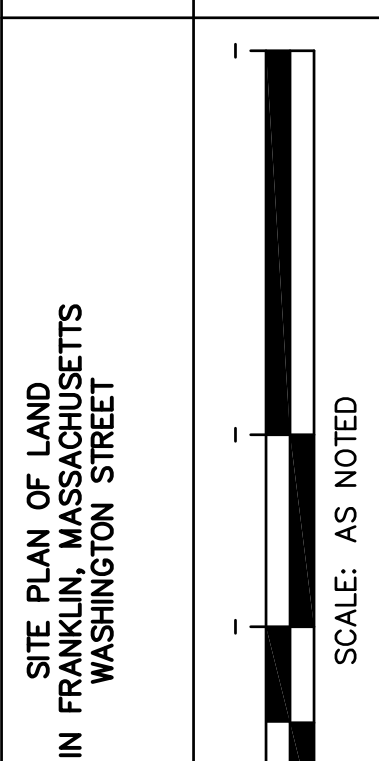
CONCRETE PARKING CURB
SCALE: 1/2"=1'-0"



NO.	REVISION	DATE
4	ISSUED FOR ENDORSEMENT	9/5/19
3	ISSUED FOR PERMIT	6/7/19
2	TOWN/BETA COMMENTS	5/23/19
1	TOWN/BETA COMMENTS	4/25/19



APPLICANT: MC CONE PAVING ATTLEBORO, MA 02703
OWNER: MARY + JAMES HESSON 7410 BUCKLIN TRAIL NORTH JACKSONVILLE, FL 32202



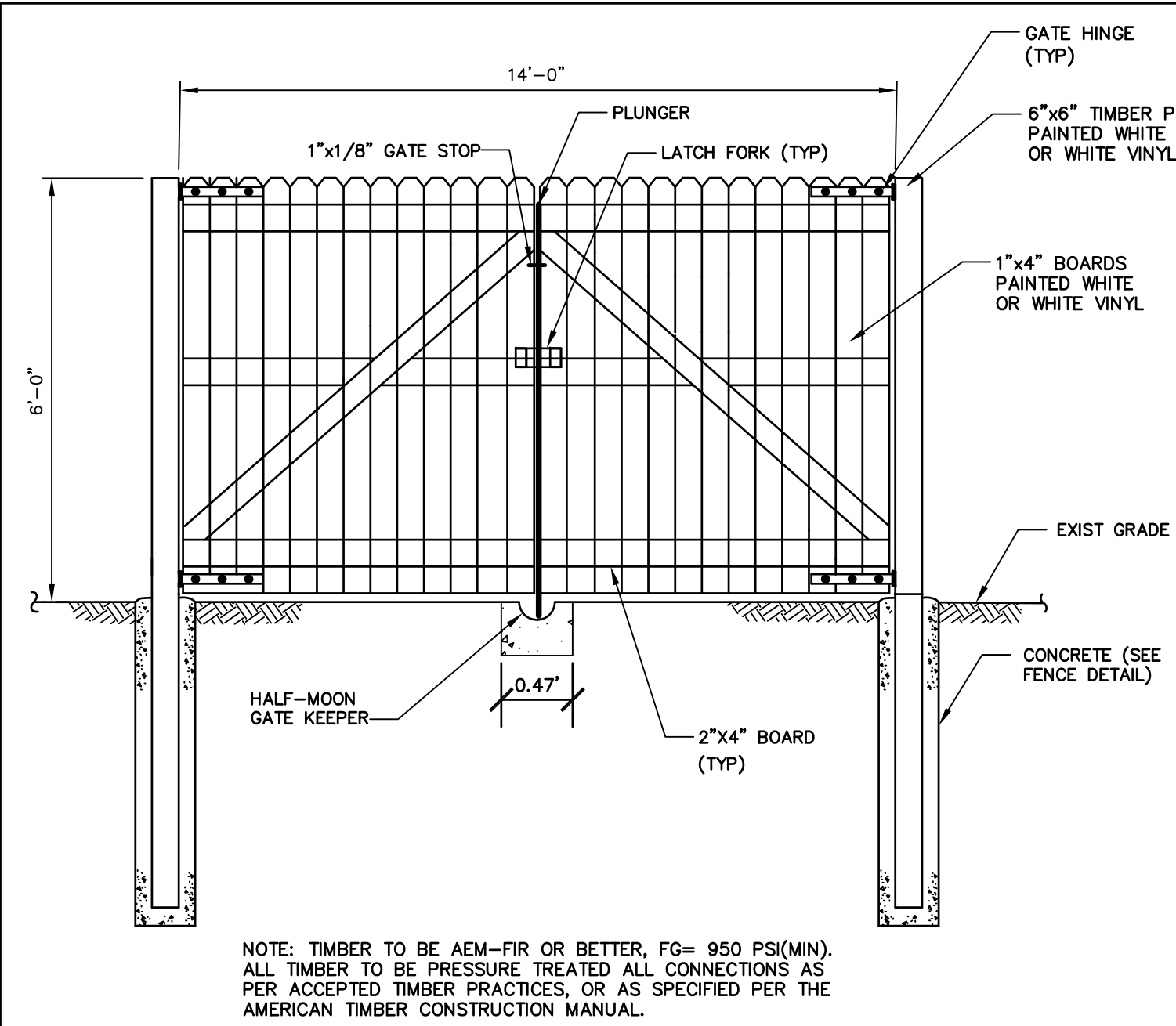
SCALE: AS NOTED

WILLIAM I. MASIELLO ARCHITECT INC. 508.869.0597 masielloarchitect.com

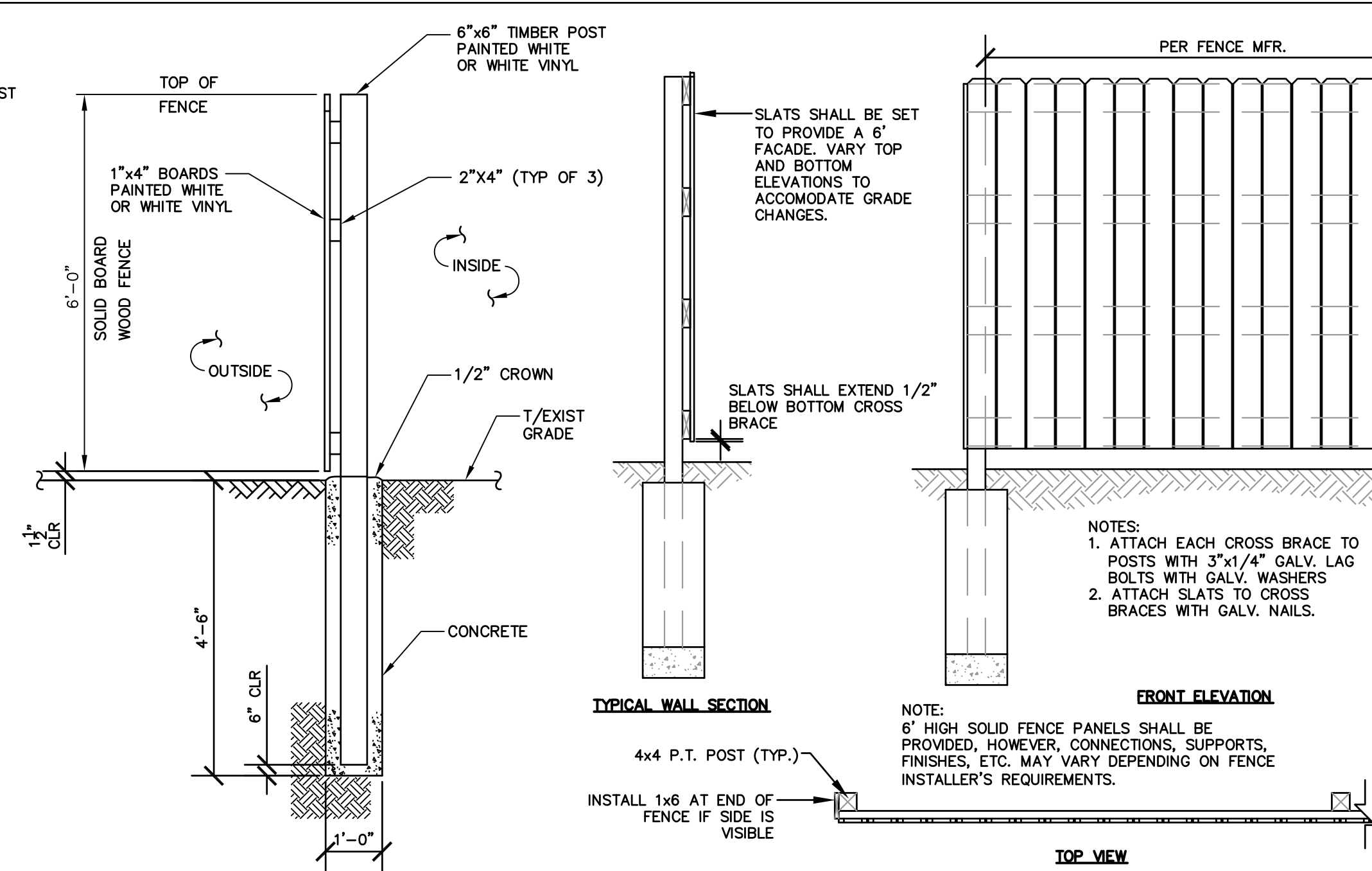
QUINN ENGINEERING, INC. P.O. Box 107 Faxon, Massachusetts 01612 (508)753-7999 Fax: (508)795-0939

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

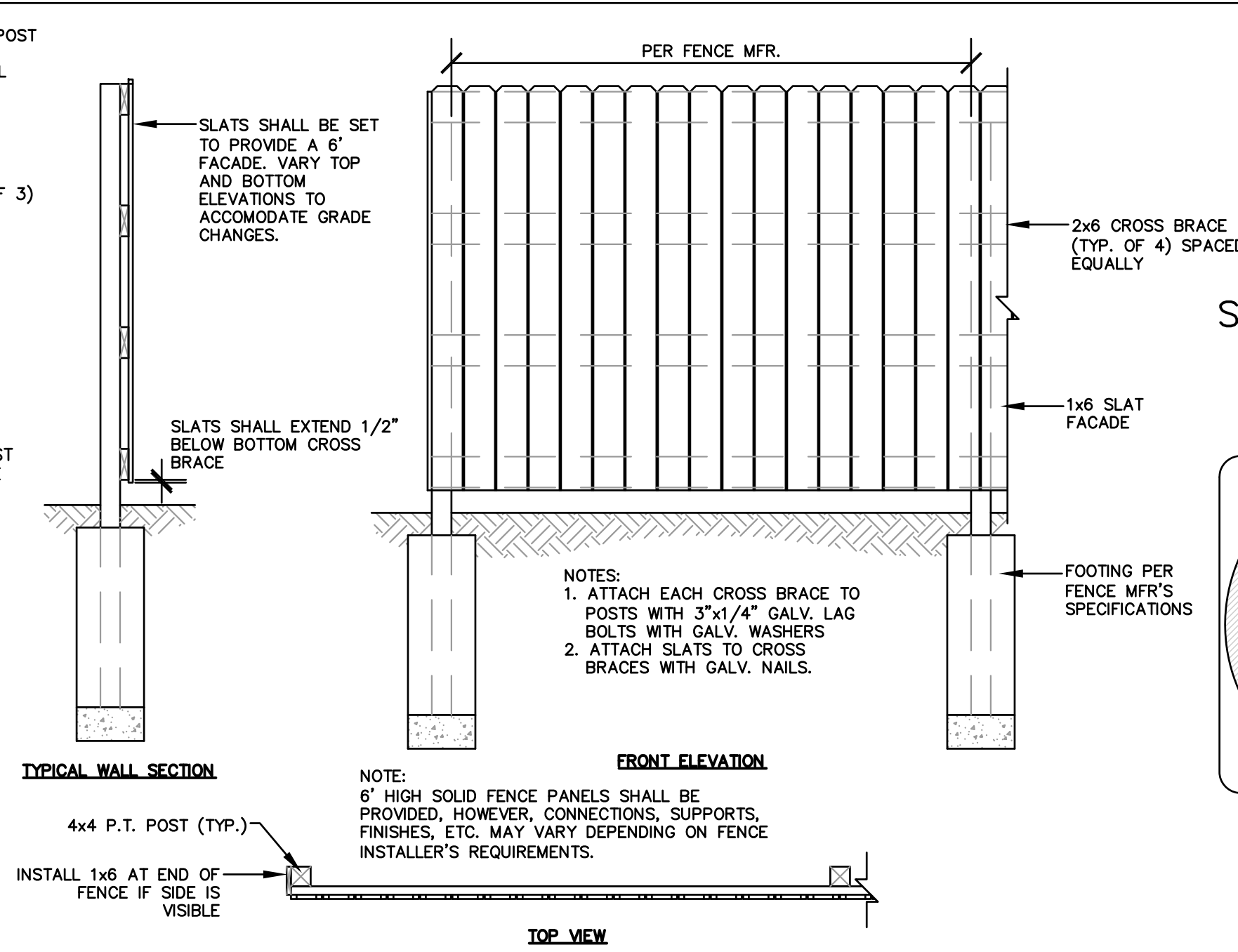
DATE: _____
BEING A MAJORITY



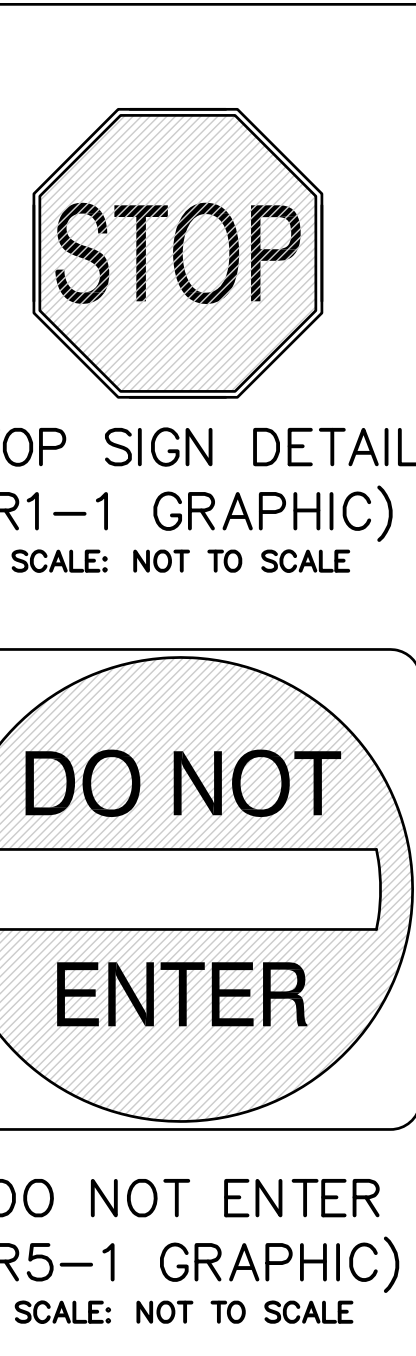
DUMPSTER GATE DETAIL
SCALE: NOT TO SCALE



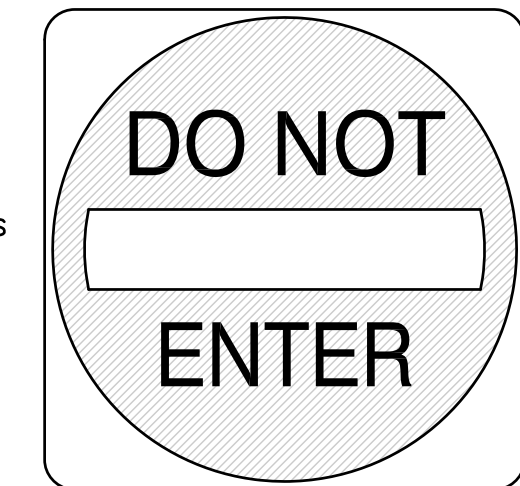
DUMPSTER ENCLOSURE DETAIL
SCALE: NOT TO SCALE



STOCKADE FENCE DETAILS
SCALE: NOT TO SCALE



STOP SIGN DETAIL
(R1-1 GRAPHIC)
SCALE: NOT TO SCALE

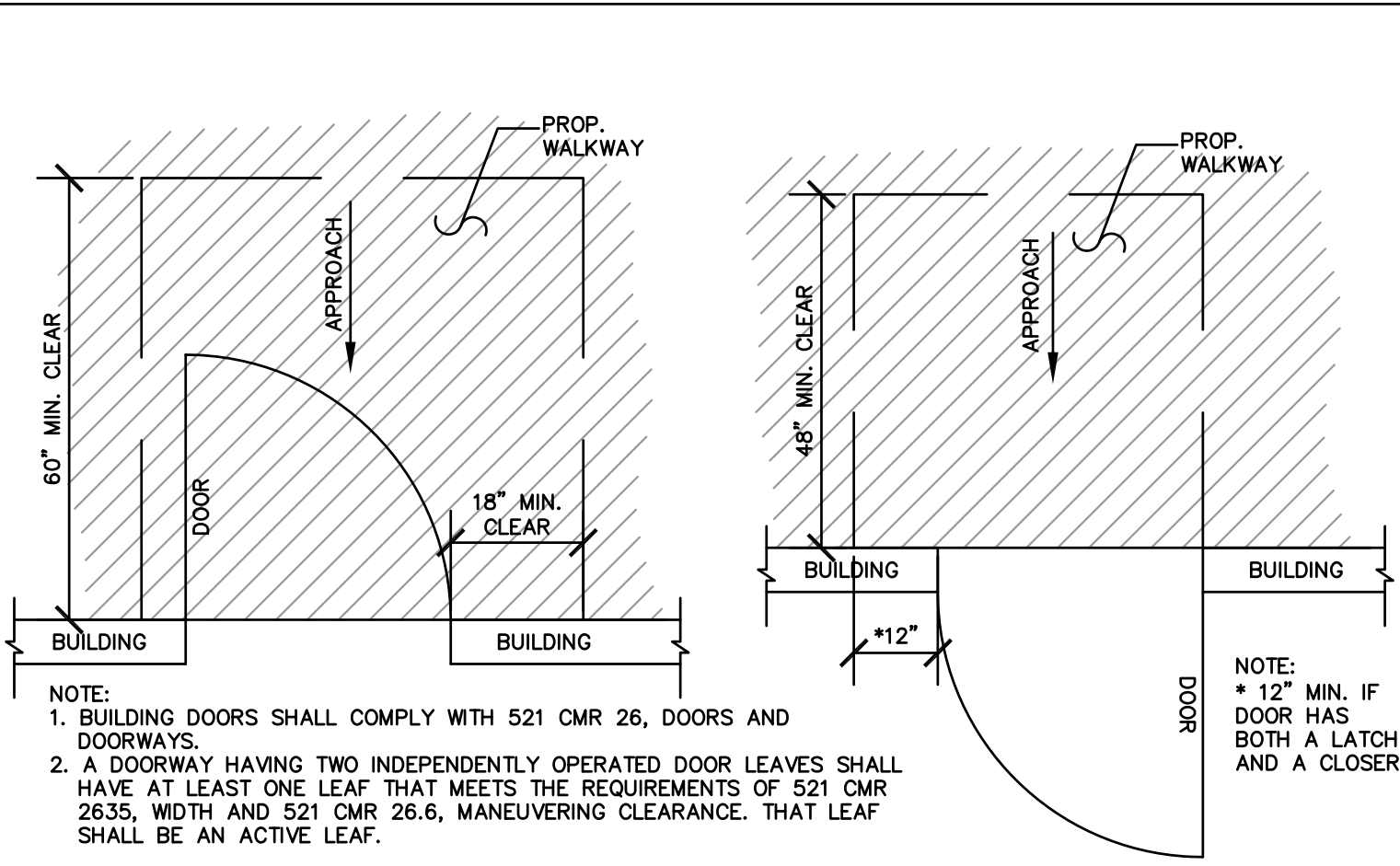


DO NOT ENTER
(R5-1 GRAPHIC)
SCALE: NOT TO SCALE

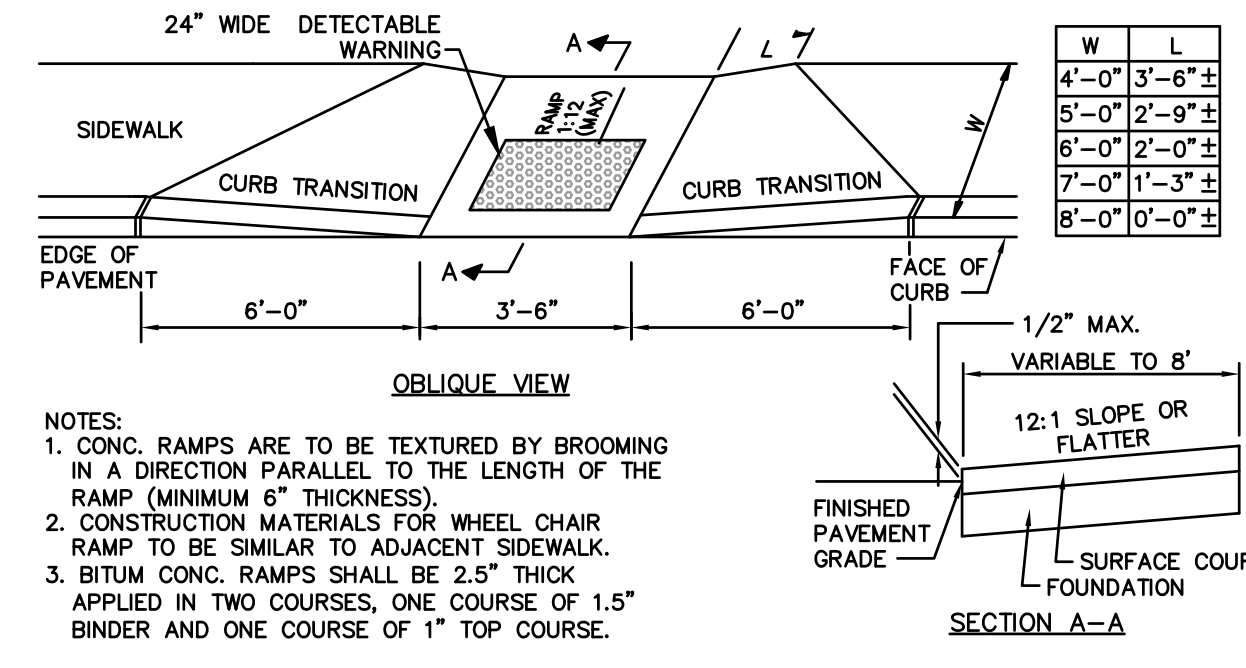


ONE WAY
(R6-2 GRAPHIC)
SCALE: NOT TO SCALE

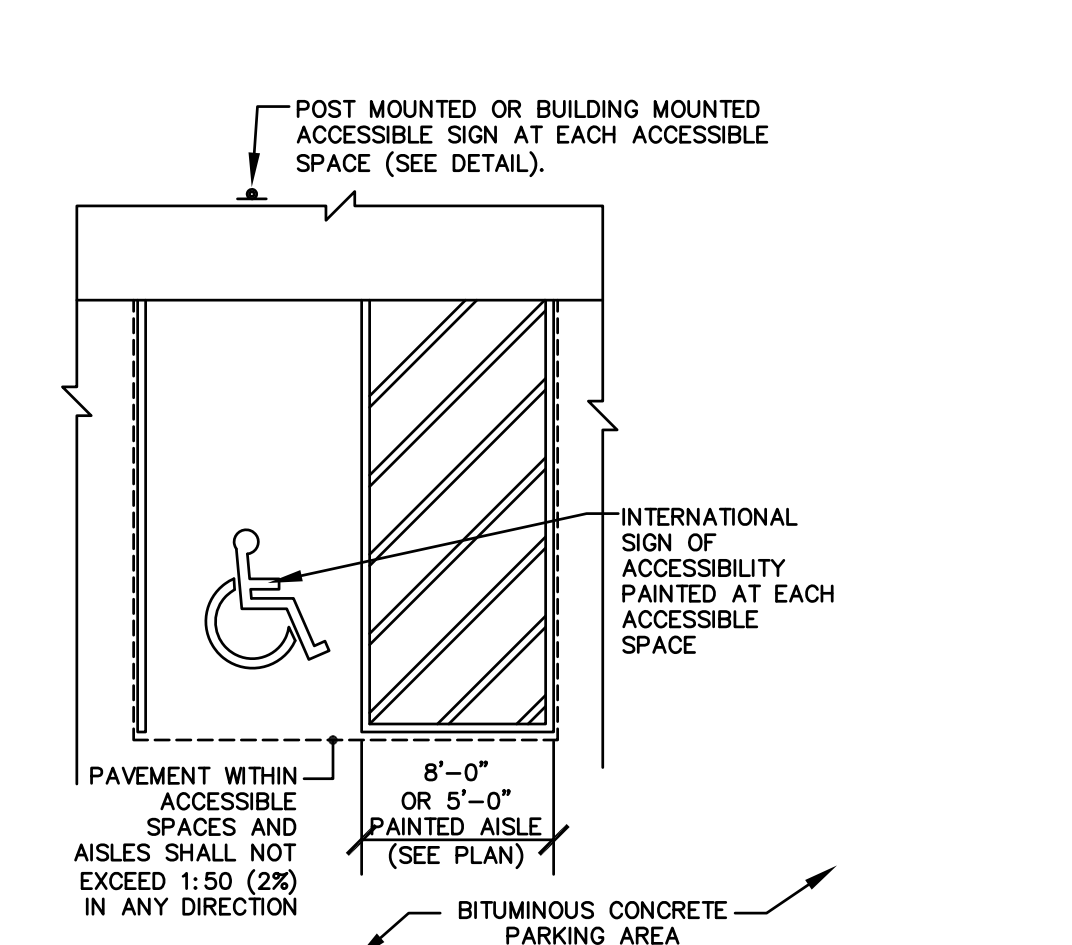
SIGN DETAILS
SCALE: NOT TO SCALE



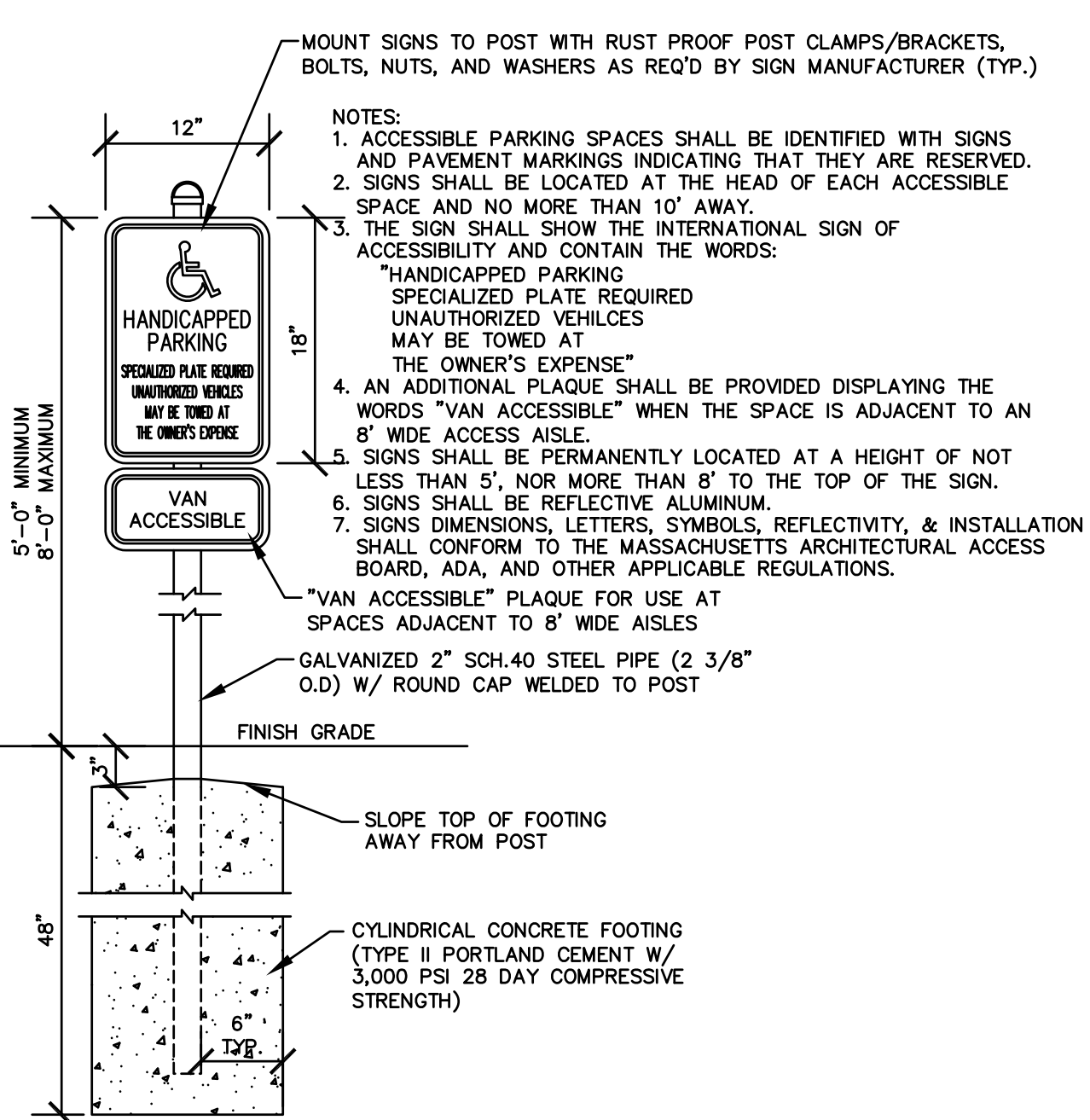
DOOR CLEARANCE DETAILS
SCALE: 1/2"=1'-0"



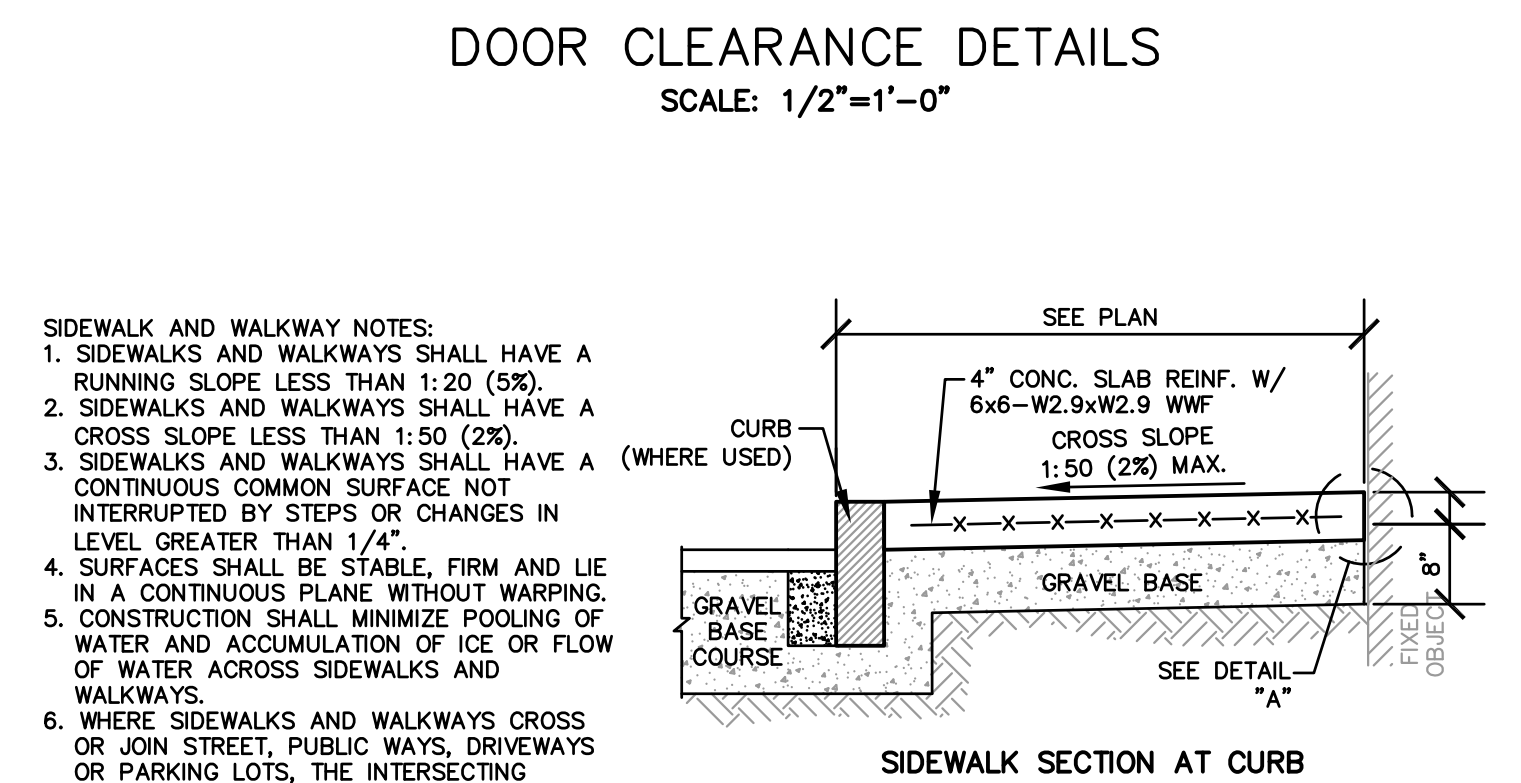
WHEELCHAIR RAMP DETAILS
SCALE: NOT TO SCALE



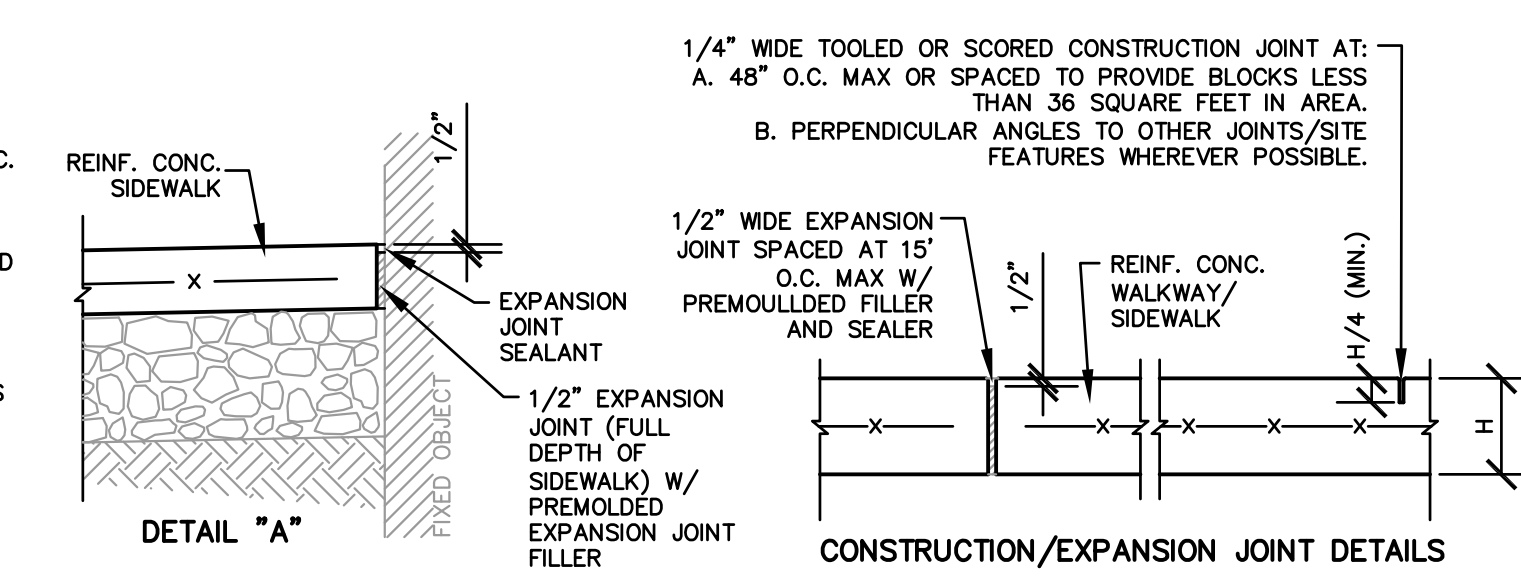
TYPICAL ACCESSIBLE PARKING SPACE DETAIL
SCALE: NOT TO SCALE



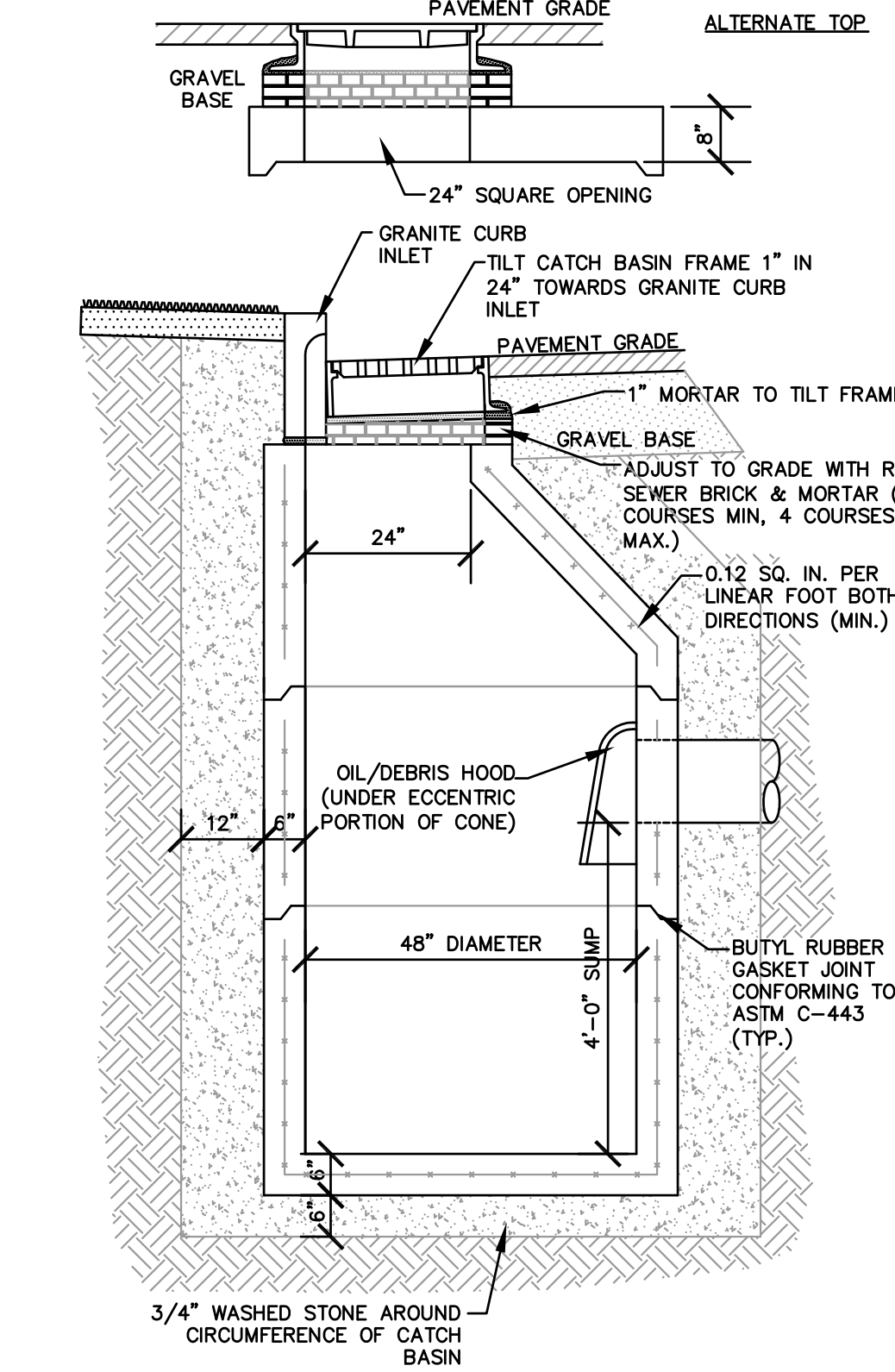
ACCESSIBLE SIGN DETAIL
SCALE: NOT TO SCALE



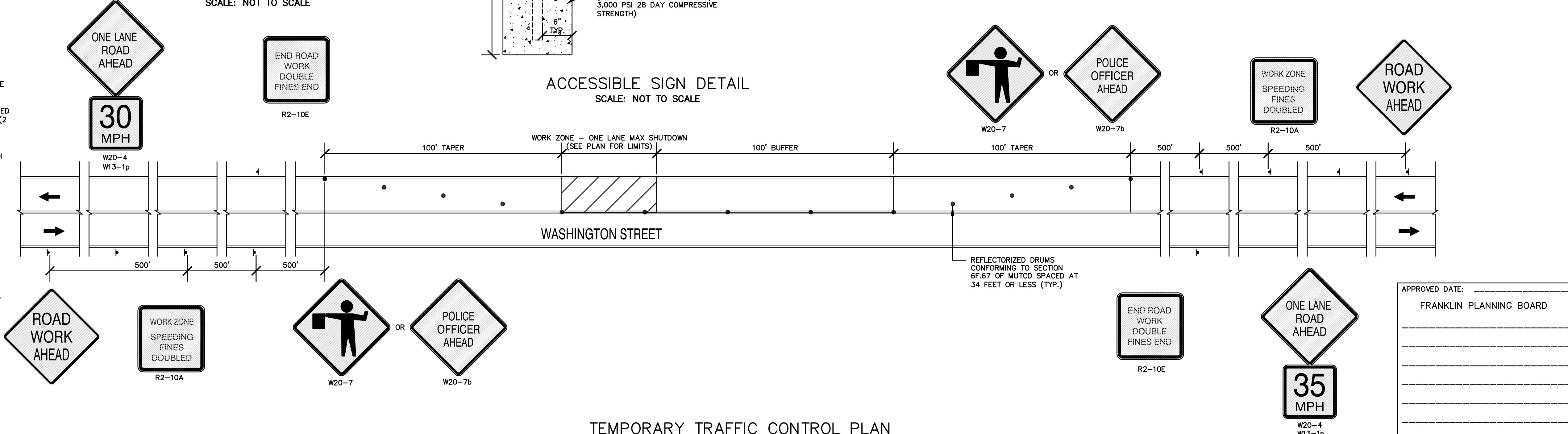
SIDEWALK SECTION AT CURB
SCALE: AS NOTED



CEMENT CONCRETE WALKWAY/SIDEWALK DETAILS
SCALE: NOT TO SCALE



DEEP SUMP CATCH BASIN
SCALE: NOT TO SCALE

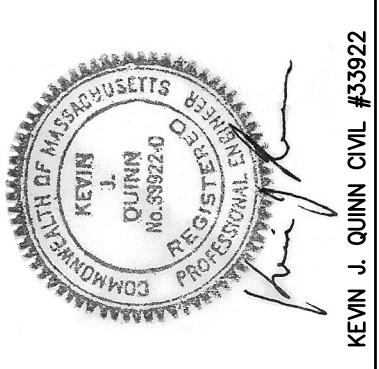


TEMPORARY TRAFFIC CONTROL PLAN
SCALE: NOT TO SCALE

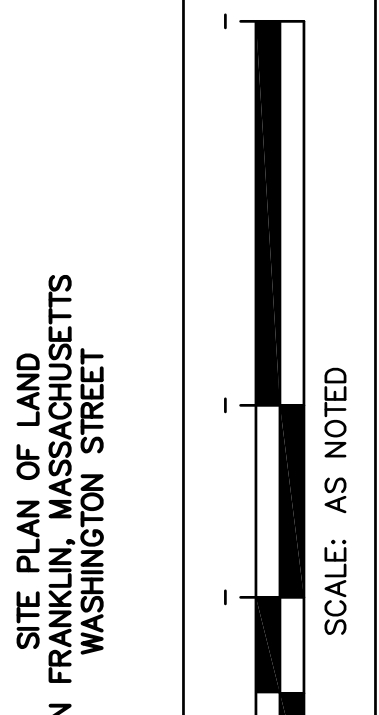
APPROVED DATE: _____
FRANKLIN PLANNING BOARD
DATE: _____
BEING A MAJORITY



NO.	REVISION	DATE
4	ISSUED FOR ENDORSEMENT	9/5/19
3	ISSUED FOR PERMIT	6/7/19
2	TOWN/BETA COMMENTS	5/25/19
1	TOWN/BETA COMMENTS	4/25/19



OWNER: JAMES HESSON
MARGHERITA RAMMER
7410 BUCKINGHAM TRAIL NORTH
JACKSONVILLE, FL 32202



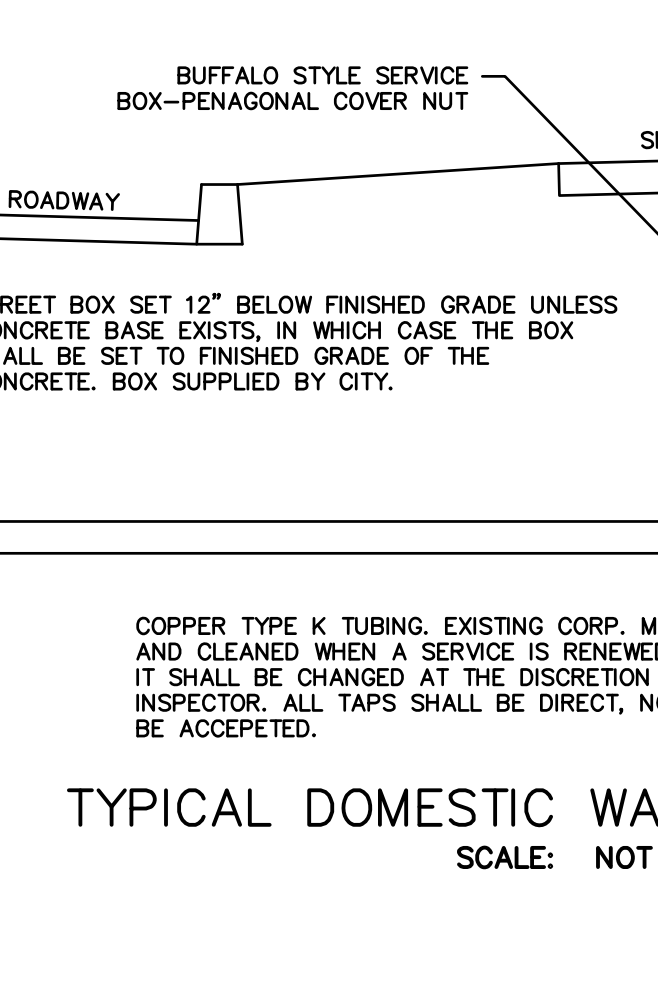
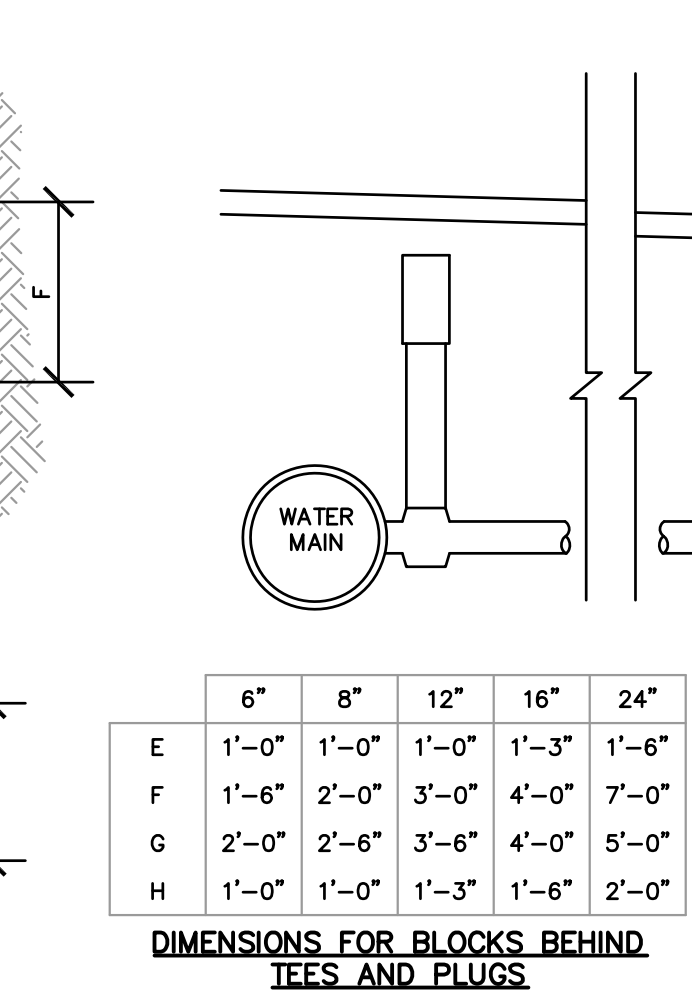
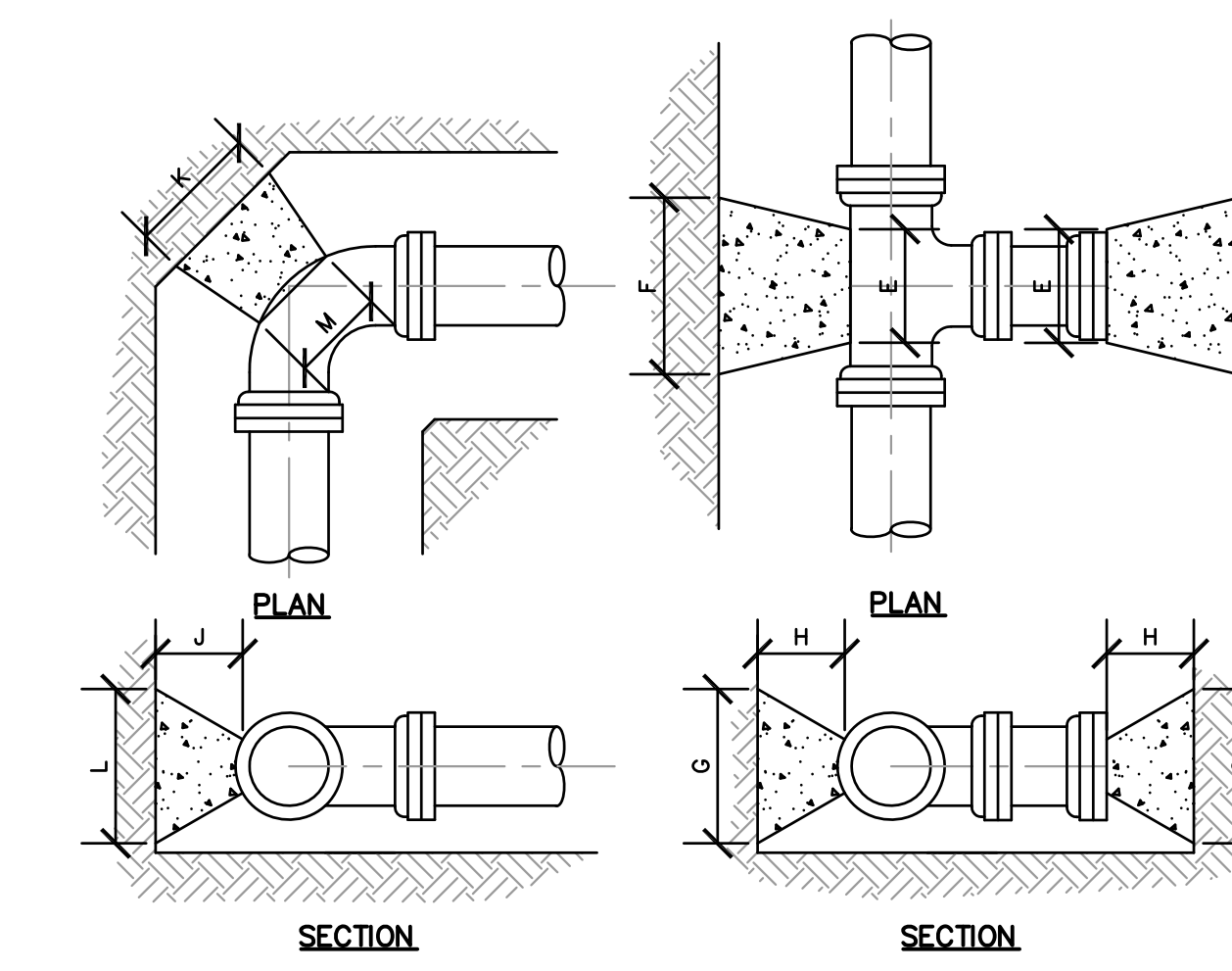
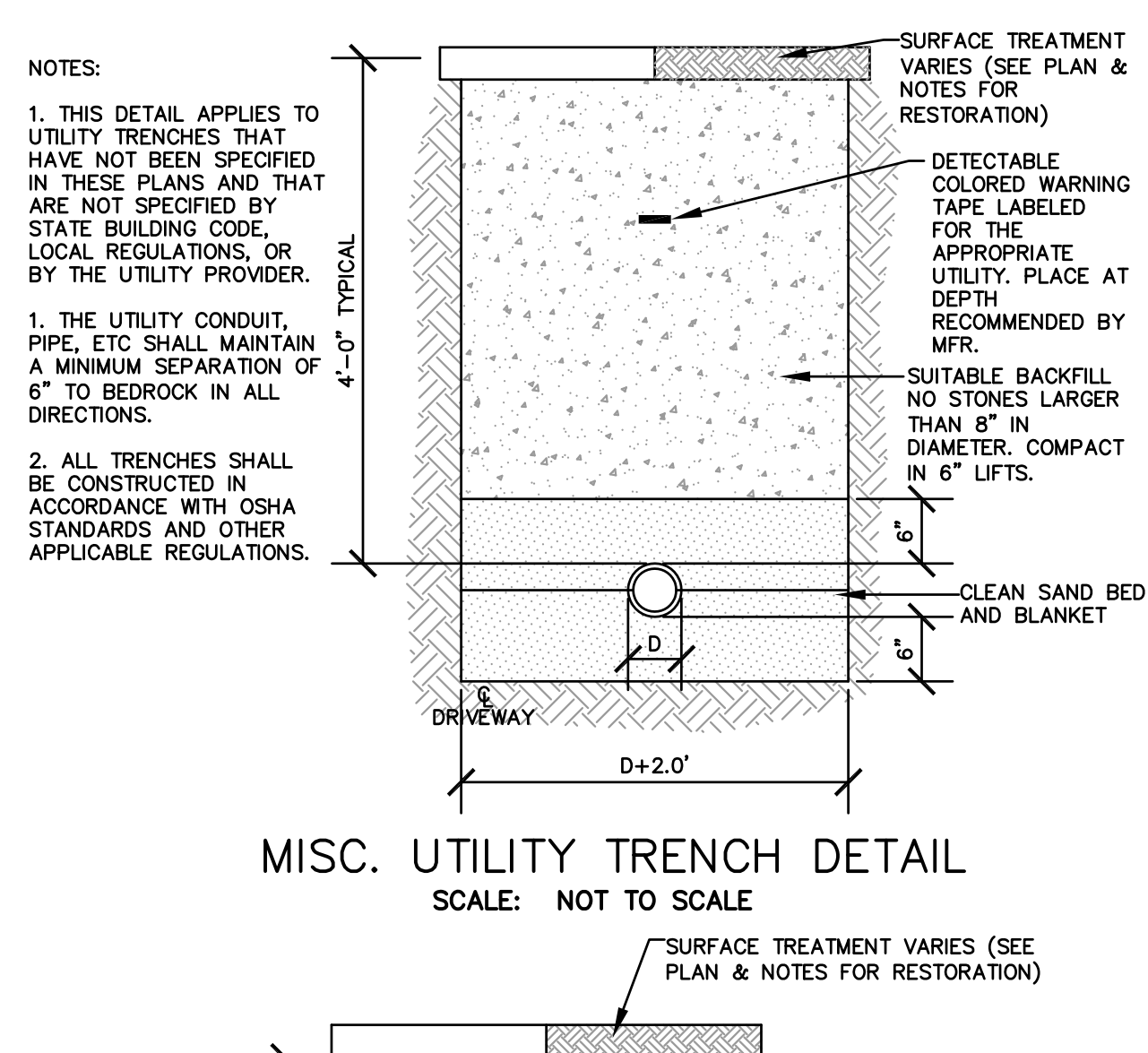
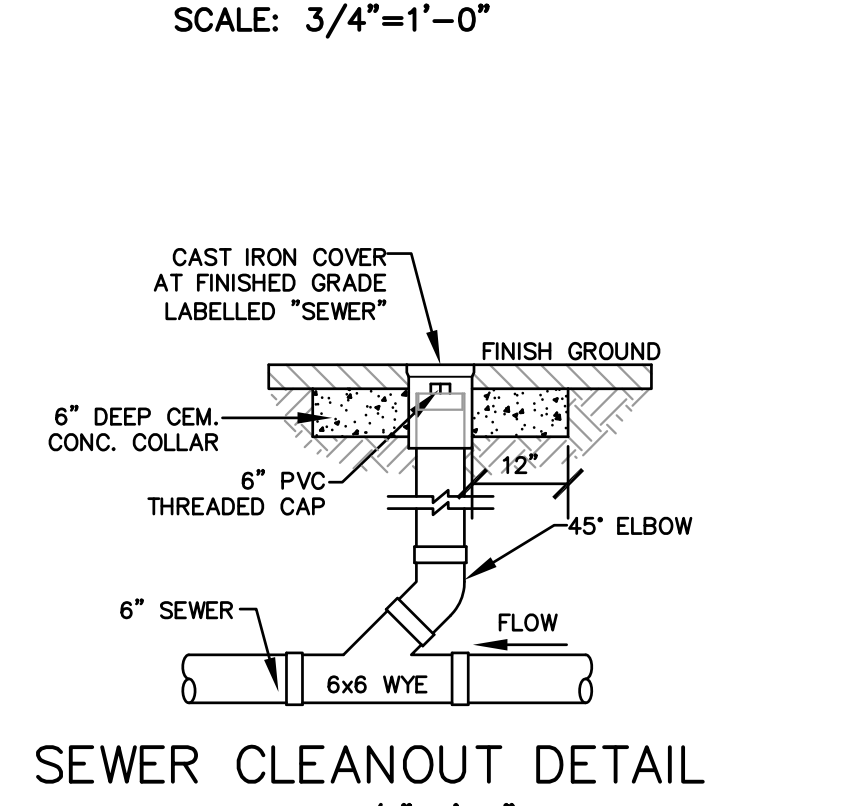
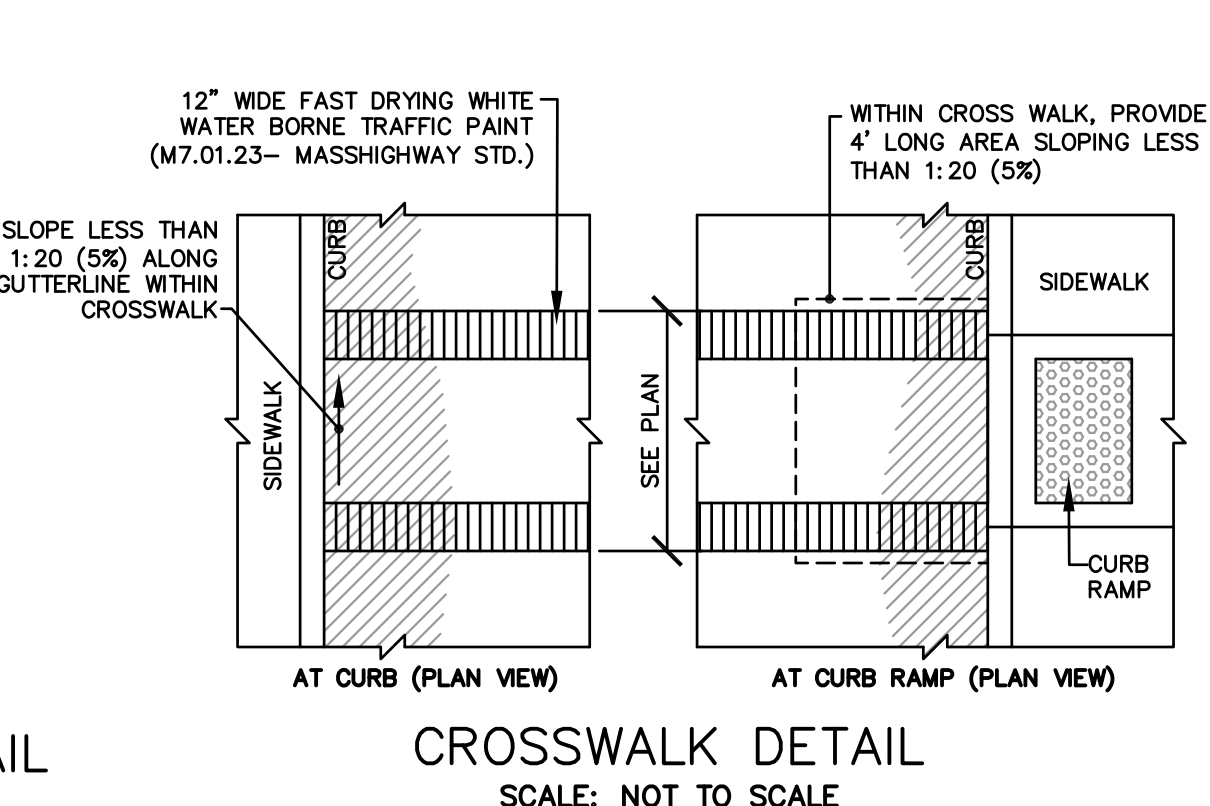
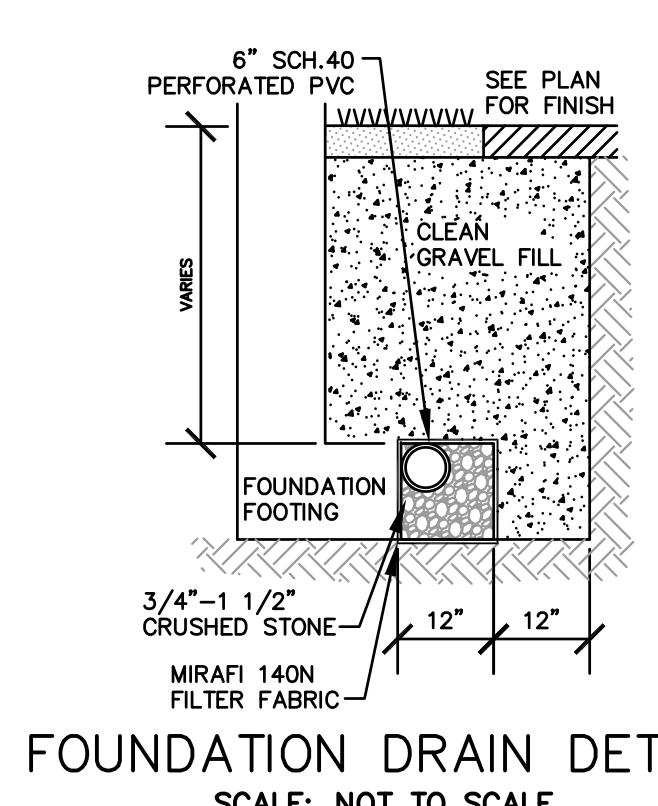
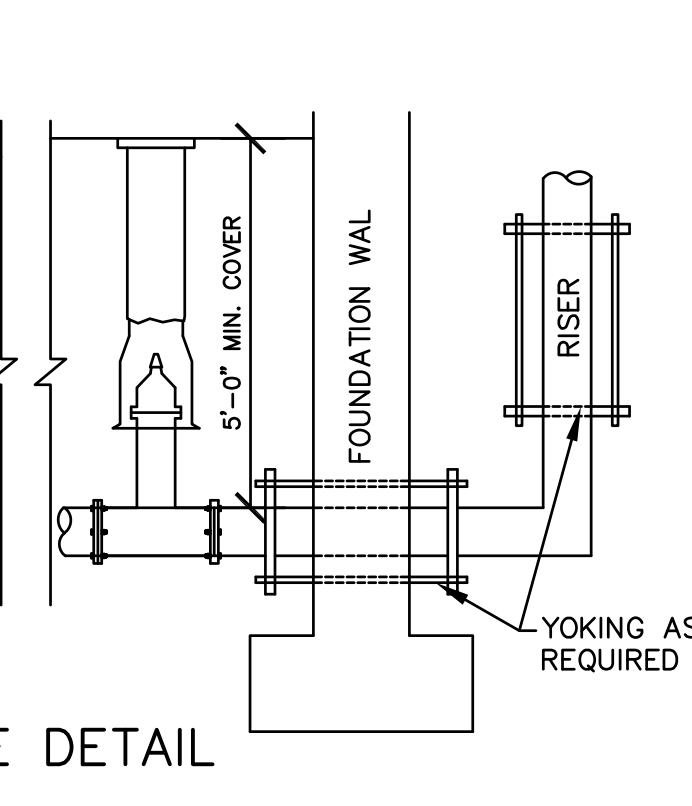
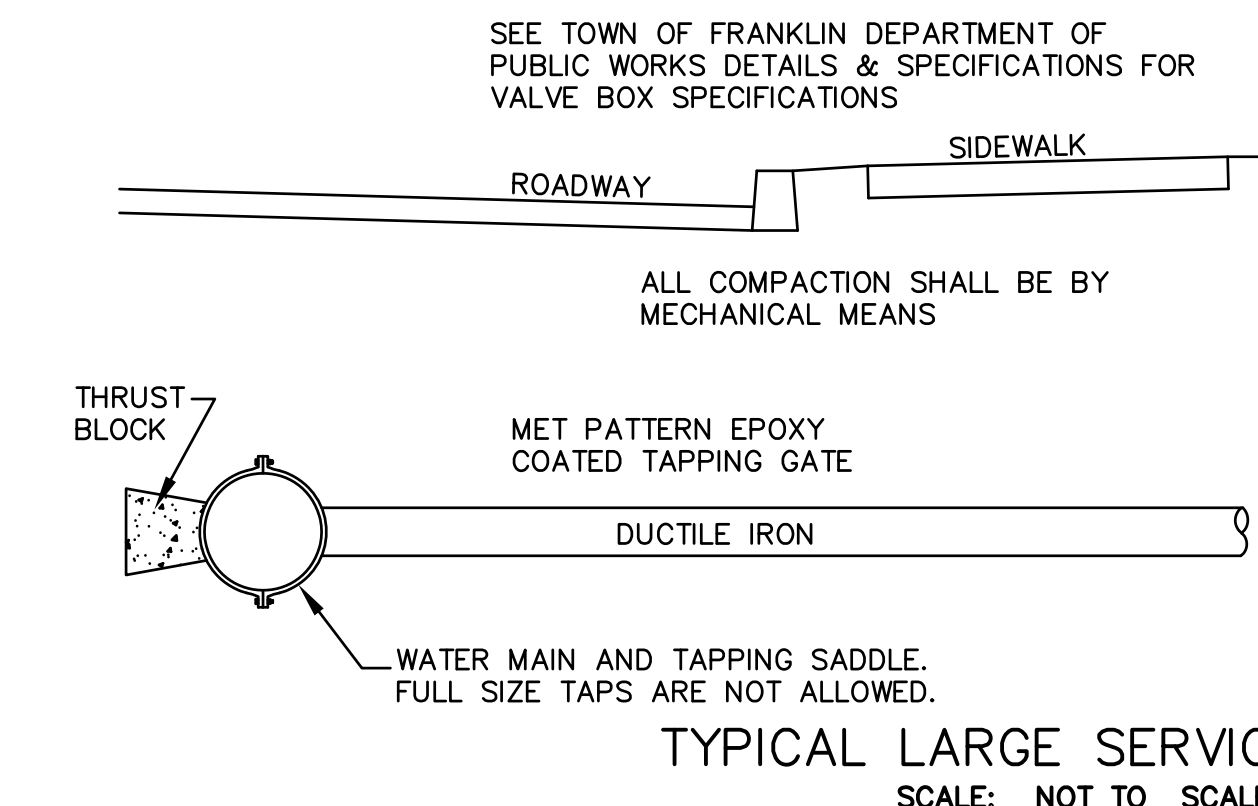
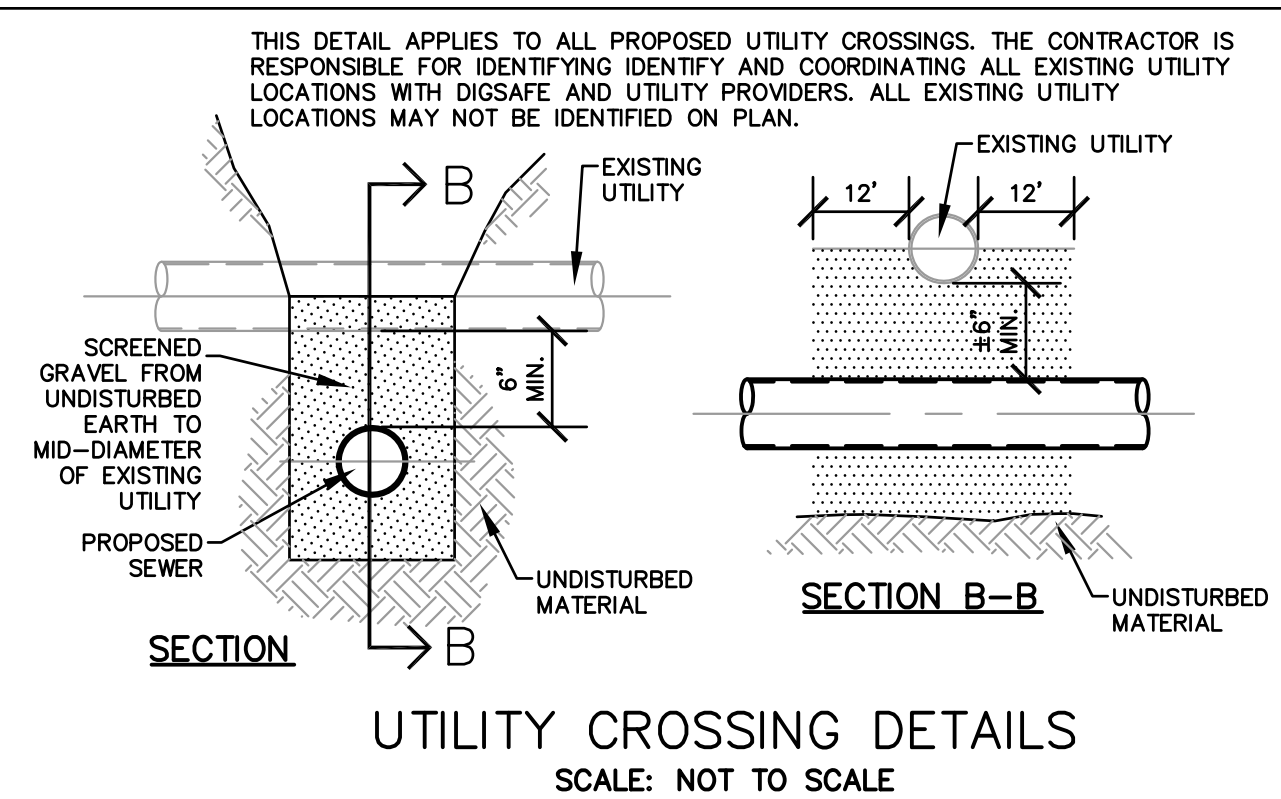
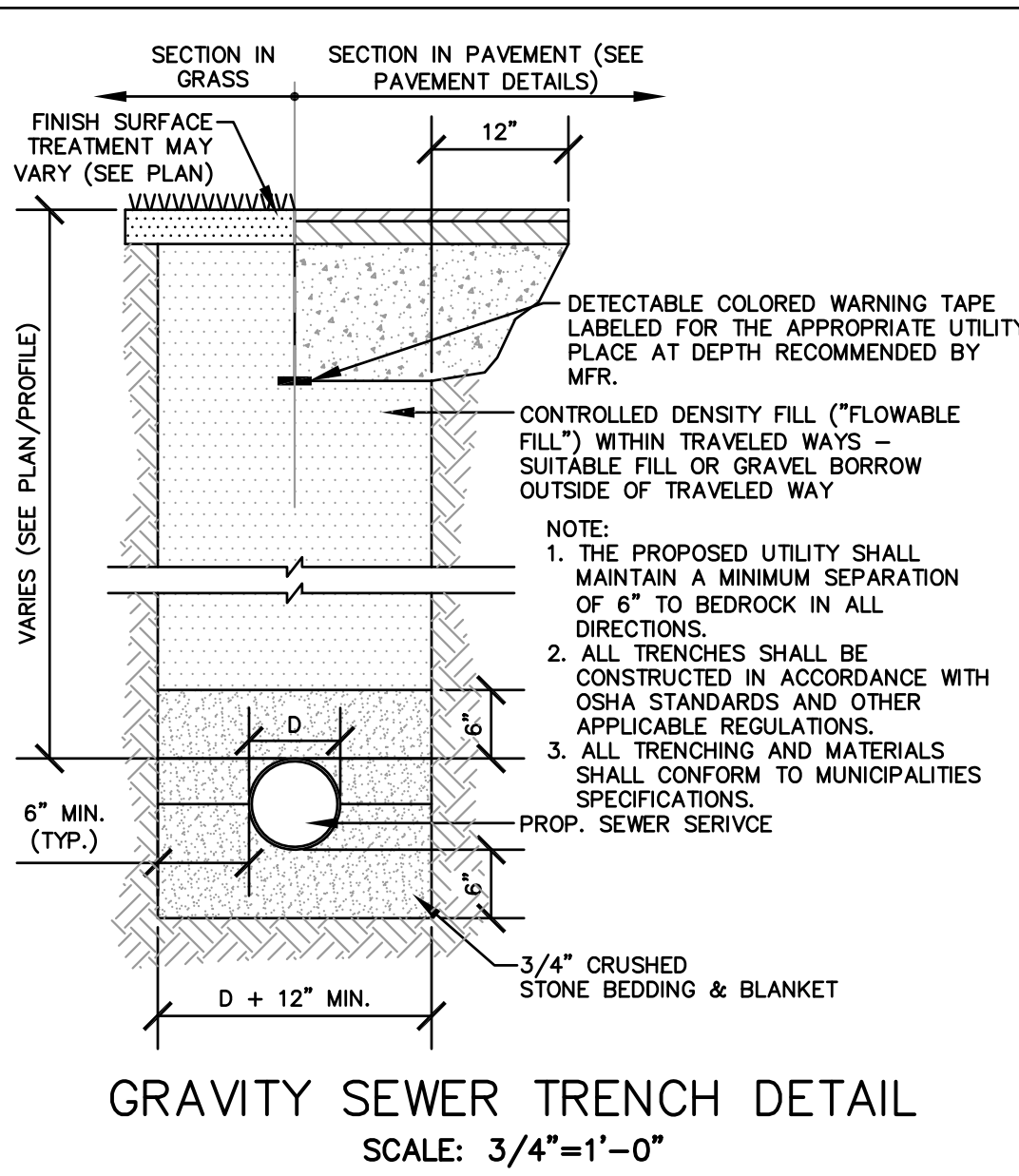
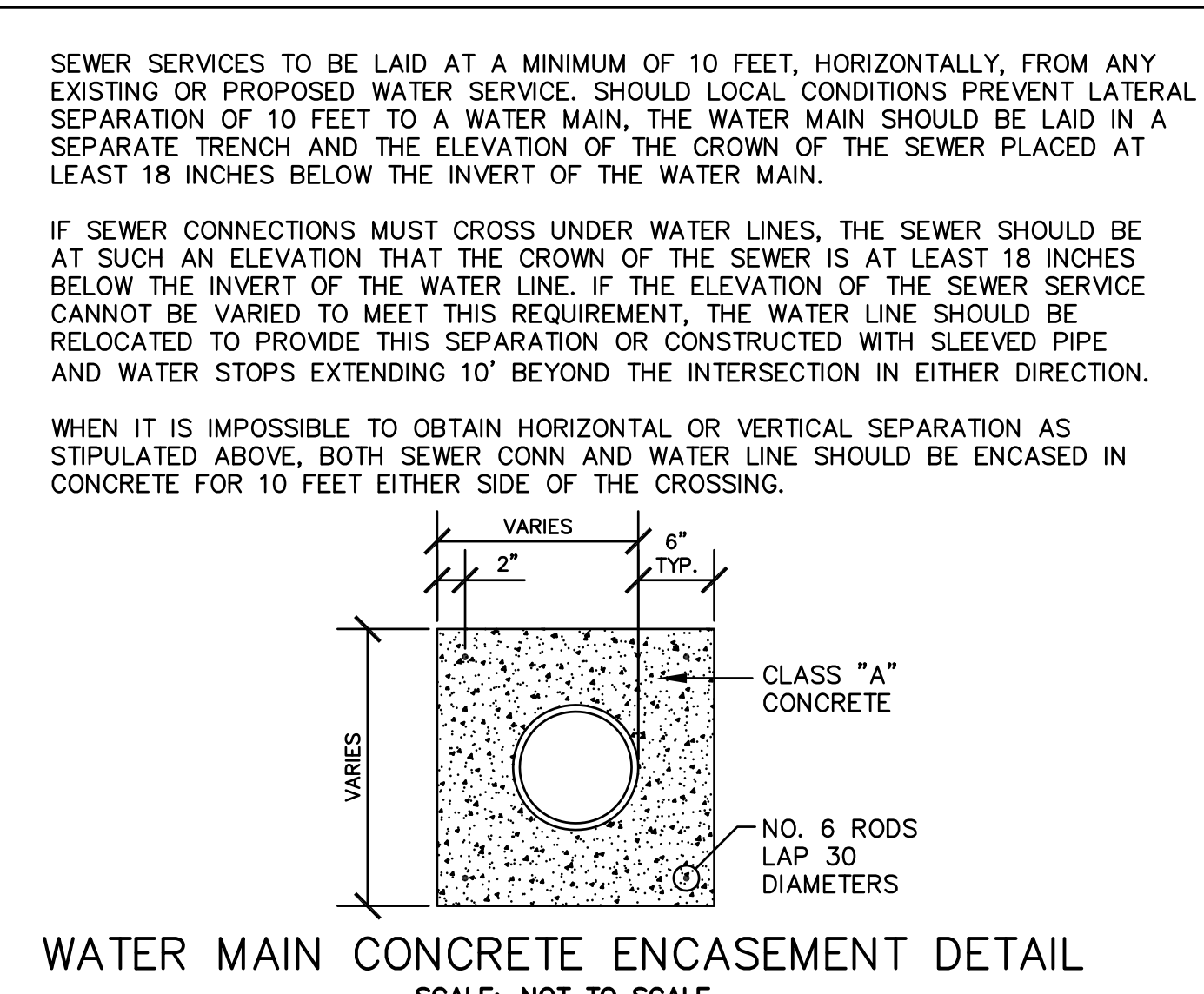
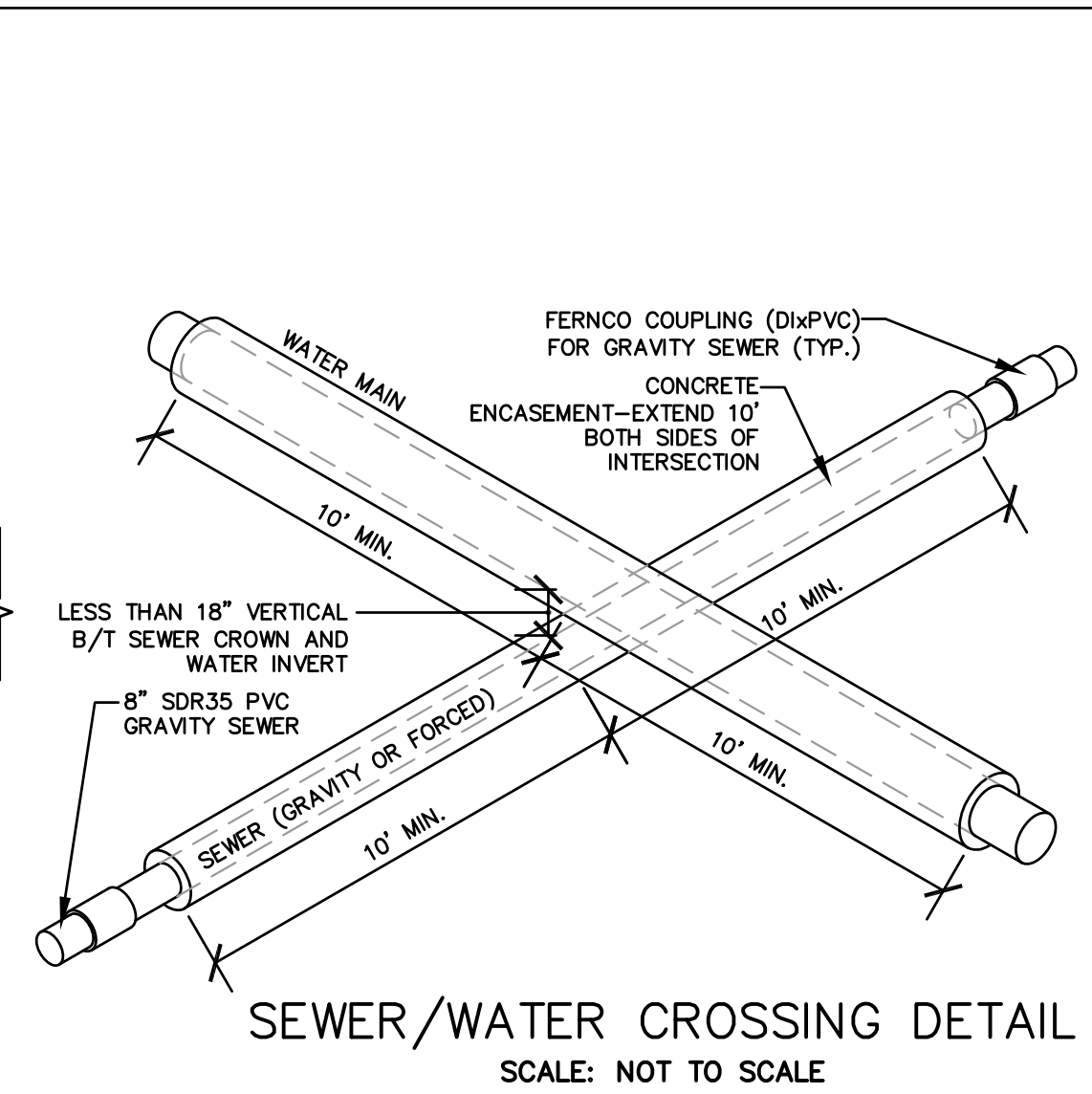
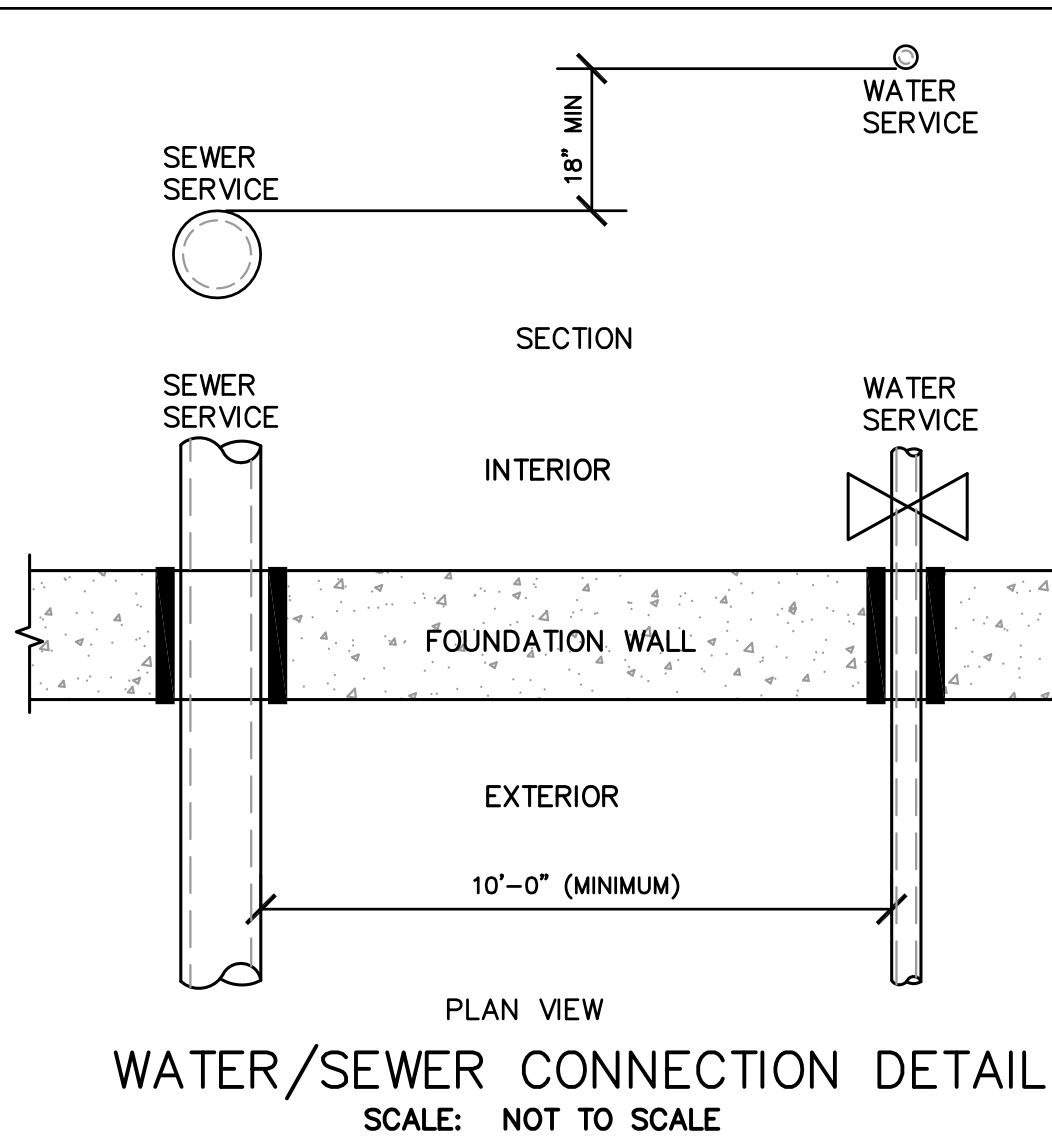
SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET

WILLIAM J. MASIELLO ARCHITECT INC.
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masielloarchitect.com

QUINN ENGINEERING, INC.
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Paxton, Massachusetts 01612
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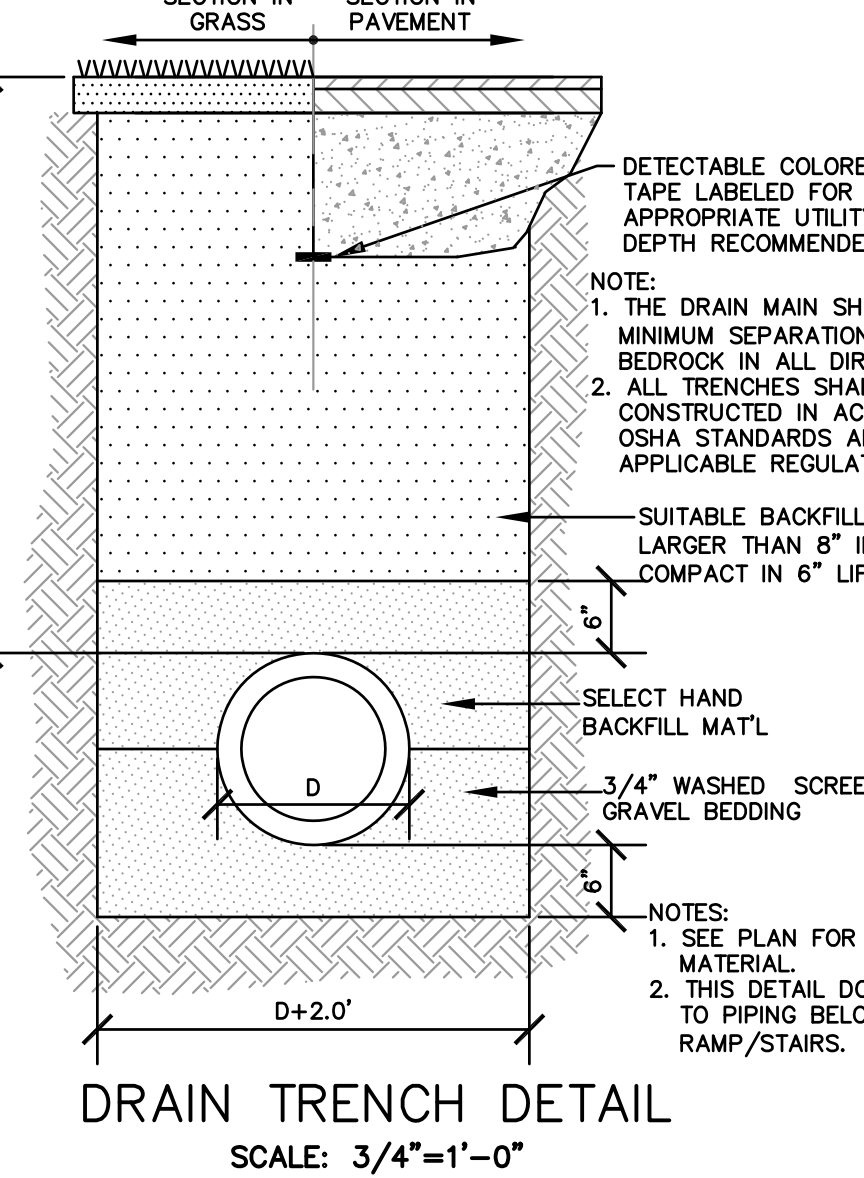
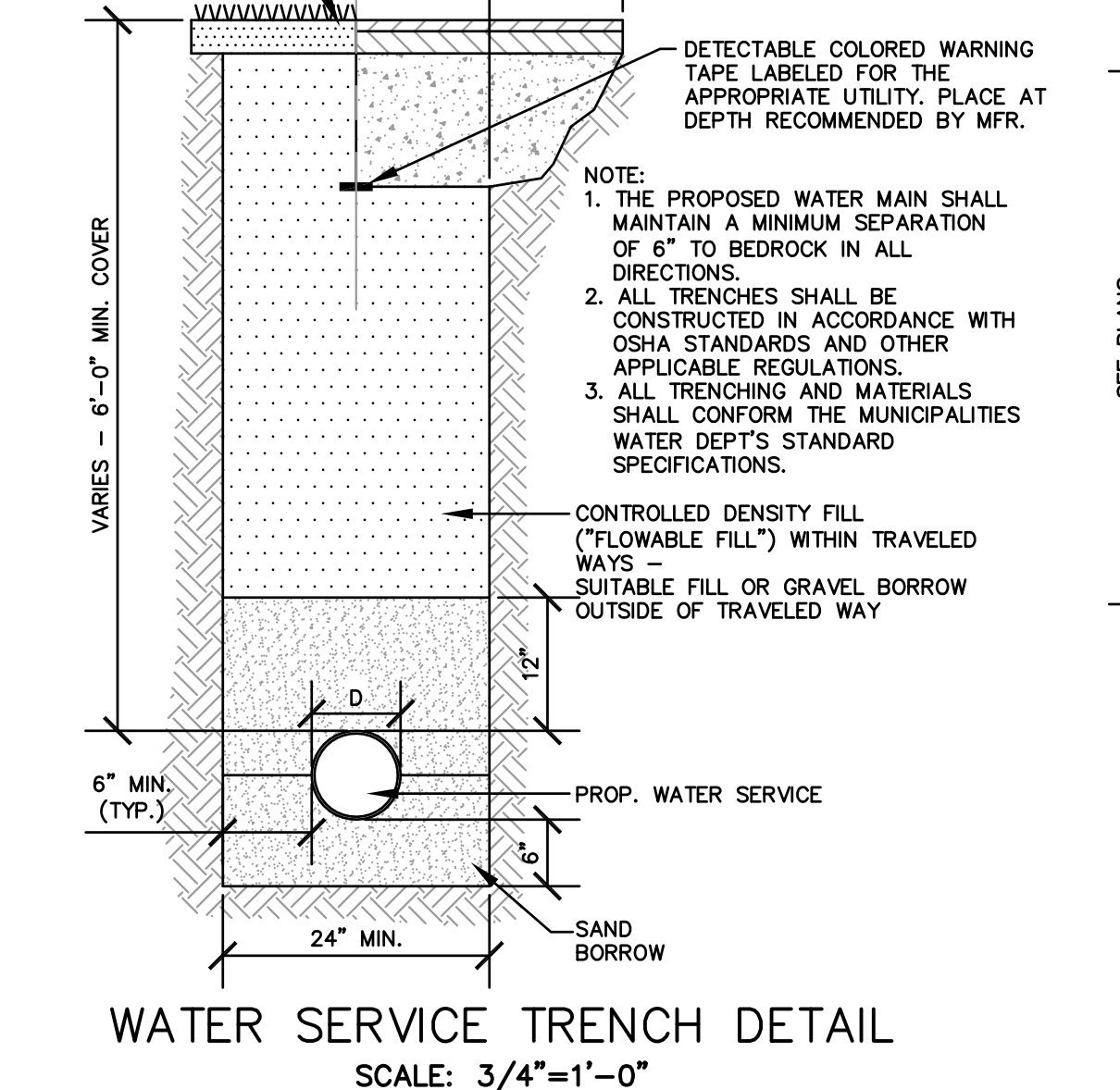
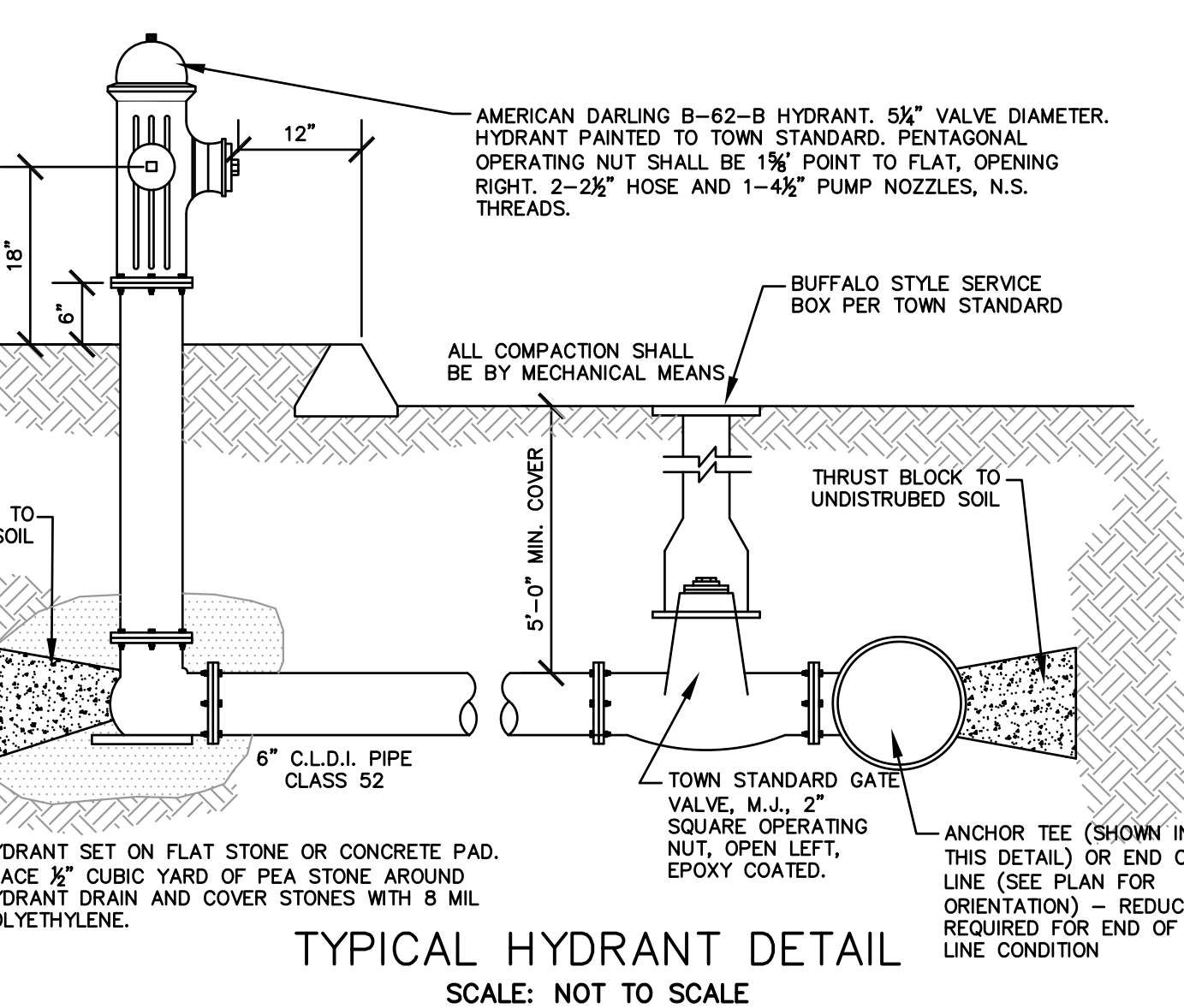
DATE: FEBRUARY 1, 2019

TYPICAL DETAILS SHEET 11



TYPICAL PLACEMENT ON BENDS

	1/4 BEND	1/8 BEND	1/16 BEND	1/32 BEND
6"	J	1'-0"	1'-0"	1'-0"
	K	2'-0"	1'-0"	1'-0"
	L	2'-0"	2'-0"	1'-0"
	M	1'-0"	1'-0"	1'-0"
8"	J	1'-0"	1'-0"	1'-0"
	K	2'-6"	1'-6"	1'-0"
	L	3'-0"	2'-6"	2'-0"
12"	J	1'-3"	1'-3"	1'-3"
	K	3'-6"	2'-6"	1'-0"
	L	3'-0"	3'-0"	2'-0"
16"	J	1'-0"	1'-0"	1'-0"
	K	4'-6"	3'-0"	1'-6"
	L	5'-0"	4'-0"	2'-6"
24"	J	1'-3"	1'-3"	1'-3"
	K	7'-0"	4'-6"	2'-6"
	L	7'-0"	6'-0"	3'-0"



THRUST BLOCK DETAILS
SCALE: NOT TO SCALE

TYPICAL HYDRANT DETAIL
SCALE: NOT TO SCALE

WATER SERVICE TRENCH DETAIL
SCALE: 3/4"=1'-0"

DRAIN TRENCH DETAIL
SCALE: 3/4"=1'-0"

SEWER SERVICES TO BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER SERVICE. SHOULD LOCAL CONDITIONS PREVENT LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHOULD BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.

IF SEWER CONNECTIONS MUST CROSS UNDER WATER LINES, THE SEWER SHOULD BE AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER LINE. IF THE ELEVATION OF THE SEWER SERVICE CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER LINE SHOULD BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH SLEEVED PIPE AND WATER STOPS EXTENDING 10' BEYOND THE INTERSECTION IN EITHER DIRECTION.

WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH SEWER CONN AND WATER LINE SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.

NOTES:
1. THIS DETAIL APPLIES TO ALL PROPOSED UTILITY CROSSINGS. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND COORDINATING ALL EXISTING UTILITY LOCATIONS WITH DISSE AND UTILITY PROVIDERS. ALL EXISTING UTILITY LOCATIONS MAY NOT BE IDENTIFIED ON PLAN.
2. THE UTILITY CONDUIT, PIPE, ETC SHALL MAINTAIN A MINIMUM SEPARATION OF 6" TO BEDROCK IN ALL DIRECTIONS.
3. ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA STANDARDS AND OTHER APPLICABLE REGULATIONS.


NOTES:
1. THE PROPOSED SEWER LINES SHALL MAINTAIN A MINIMUM SEPARATION OF 6" TO BEDROCK IN ALL DIRECTIONS.
2. ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA STANDARDS AND OTHER APPLICABLE REGULATIONS.

NOTES:
1. THE PROPOSED WATER MAIN SHALL MAINTAIN A MINIMUM SEPARATION OF 6" TO BEDROCK IN ALL DIRECTIONS.
2. ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA STANDARDS AND OTHER APPLICABLE REGULATIONS.
3. ALL TRENCHING AND MATERIALS SHALL CONFORM TO MUNICIPALITIES WATER DEPT'S STANDARD SPECIFICATIONS.

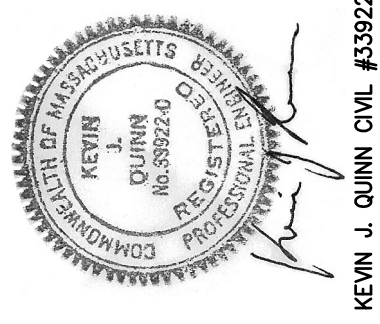
NOTES:
1. THE DRAIN MAIN SHALL MAINTAIN A MINIMUM SEPARATION OF 6" TO BEDROCK IN ALL DIRECTIONS.
2. ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA STANDARDS AND OTHER APPLICABLE REGULATIONS.

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY




NO.	REVISION	DATE
4	ISSUED FOR ENDORSEMENT	9/5/19
3	ISSUED FOR PERMIT	6/7/19
2	TOWN/BETA COMMENTS	5/23/19
1	TOWN/BETA COMMENTS	4/25/19



KEVIN J. QUINN CIVIL #33922


APPLICANT: JAMES HESSON
33 PERRY AVE
ATTLEBORO, MA 02703

OWNER: JAMES HESSON
MASCARBERG TRAIL NORTH
7410 BUCKLIN TRAIL NORTH
JACKSONVILLE, FL 32202



SCALE: AS NOTED

SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET



WILLIAM J. MASIELLO ARCHITECT INC.
508.869.0597
masielloarchitect.com

QUINN ENGINEERING, INC.
P.O. Box 107
Faxon, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019

TYPICAL DETAILS SHEET 12

PART 8:
 UNTIL TERMINATING COVERAGE UNDER THE PERMIT, THE CONTRACTOR IS REQUIRED TO COMPLY WITH ALL CONDITIONS AND EFFLUENT LIMITATIONS IN THE PERMIT. TO TERMINATE PERMIT COVERAGE, THE CONTRACTOR MUST SUBMIT TO EPA A COMPLETE AND ACCURATE NOTICE OF TERMINATION (NOT) WHICH CERTIFIES THAT THE REQUIREMENTS FOR TERMINATING IN PART 8 ARE MET.
 8.1. THE FOLLOWING IS REQUIRED IN THE NOT:
 8.1.1. NPDES PERMIT TRACKING NUMBER PROVIDED BY EPA WHEN COVERAGE UNDER THE PERMIT WAS RECEIVED;
 8.1.2. BASIS FOR SUBMISSION OF THE NOT (SEE PART 8.2);
 8.1.3. OPERATOR CONTACT INFORMATION;
 8.1.4. NAME OF PROJECT AND ADDRESS (OR A DESCRIPTION OF LOCATION IF NO STREET ADDRESS IS AVAILABLE); AND
 8.1.5. NOT CERTIFICATION.
 8.2. THE CONTRACTOR MAY TERMINATE PERMIT COVERAGE ONLY IF ONE OF THE FOLLOWING CONDITIONS OCCURS AT THE SITE:
 8.2.1. THE CONTRACTOR HAS COMPLETED ALL EARTH-DISTURBING ACTIVITIES AT THE SITE AND, IF APPLICABLE, CONSTRUCTION SUPPORT ACTIVITIES COVERED BY THE PERMIT (SEE PART 1.3.C), AND THE CONTRACTOR HAS MET THE FOLLOWING REQUIREMENTS:
 8.2.1.1. FOR ANY AREAS THAT (1) WERE DISTURBED DURING CONSTRUCTION, (2) ARE NOT COVERED OVER BY PERMANENT STRUCTURES, AND (3) OVER WHICH THE CONTRACTOR HAD CONTROL DURING THE CONSTRUCTION ACTIVITIES, THE CONTRACTOR HAS MET THE REQUIREMENTS FOR FINAL VEGETATIVE OR NON-VEGETATIVE STABILIZATION IN PART 2.2.2;
 8.2.1.2. THE CONTRACTOR HAS DISPOSED OF ALL CONSTRUCTION MATERIALS, WASTE AND WASTE HANDLING DEVICES, AND HAD REMOVED ALL EQUIPMENT AND VEHICLES THAT WERE USED DURING CONSTRUCTION, UNLESS INTENDED FOR LONG-TERM USE FOLLOWING THE TERMINATION OF PERMIT COVERAGE;
 8.2.1.3. THE CONTRACTOR HAS REMOVED ALL STORMWATER CONTROLS THAT WERE INSTALLED AND MAINTAINED DURING CONSTRUCTION, EXCEPT THOSE THAT ARE INTENDED FOR LONG-TERM USE FOLLOWING THE TERMINATION OF PERMIT COVERAGE OR THOSE THAT ARE BIOGEOGRAPHICAL;
 8.2.1.4. THE CONTRACTOR HAS REMOVED ALL POTENTIAL POLLUTANTS AND POLLUTANT-GENERATING ACTIVITIES ASSOCIATED WITH CONSTRUCTION, UNLESS NEEDED FOR LONG-TERM USE FOLLOWING THE TERMINATION OF PERMIT COVERAGE; OR
 8.2.2. THE CONTRACTOR HAS TRANSFERRED CONTROL OF ALL AREAS OF THE SITE FOR WHICH THE CONTRACTOR IS RESPONSIBLE UNDER THE PERMIT TO ANOTHER OPERATOR, AND THAT OPERATOR HAS SUBMITTED AN NOI AND OBTAINED COVERAGE UNDER THE PERMIT; OR
 8.2.3. COVERAGE UNDER AN INDIVIDUAL OR ALTERNATIVE GENERAL NPDES PERMIT HAS BEEN OBTAINED.
 8.3. THE CONTRACTOR IS REQUIRED TO USE EPA'S ELECTRONIC NOI SYSTEM, OR "NOI SYSTEM", TO PREPARE AND SUBMIT THE NOT. THE ELECTRONIC NOT FORM THE CONTRACTOR IS REQUIRED TO COMPLETE IS FOUND AT WWW.EPA.GOV/NPDES. THE CONTRACTOR WILL USE THE NOI TRACKING NUMBER (I.E., THE EPA NUMBER THE CONTRACTOR WERE ASSIGNED UPON AUTHORIZATION UNDER THE PERMIT) TO UPLOAD THE FILLABLE NOT FORM, WHICH WILL ENSURE THAT EPA PROPERLY RECORDS THE TERMINATION OF COVERAGE. THE CONTRACTOR HAS A PROBLEM WITH THE USE OF THE NOI SYSTEM, CONTACT THE EPA REGIONAL OFFICE THAT CORRELATES TO THE LOCATION OF THE SITE. IF THE CONTRACTOR IS GIVEN APPROVAL BY THE EPA REGIONAL OFFICE TO USE A PAPER NOT, THE CONTRACTOR MUST COMPLETE ALL PORTIONS OF THE NOT.
 8.4. THE CONTRACTOR MUST SUBMIT THE NOT WITHIN 30 CALENDAR DAYS AFTER ANY ONE OF THE TRIGGERING CONDITIONS IN PART 8.2 OCCUR.
 8.5. THE AUTHORIZATION TO DISCHARGE UNDER THE PERMIT TERMINATES AT MIDNIGHT OF THE CALENDAR DAY THAT A COMPLETE NOT IS PROCESSED AND POSTED ON EPA'S WEBSITE (WWW.EPA.GOV/NPDES/STORMWATER/CGPNOISEARCH).

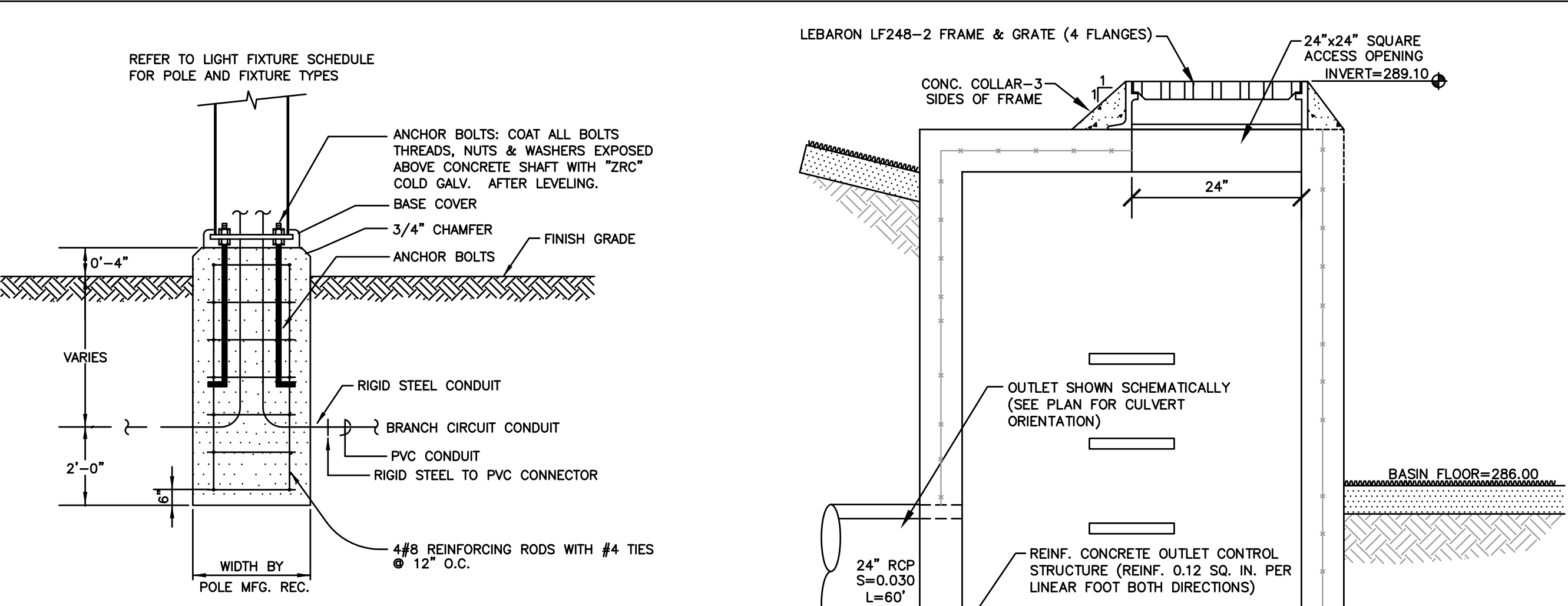
PART 9:
 THE PROVISIONS IN THIS PART PROVIDE MODIFICATIONS OR ADDITIONS TO THE APPLICABLE CONDITIONS OF THE PERMIT TO REFLECT SPECIFIC ADDITIONAL CONDITIONS REQUIRED AS PART OF TRIBAL CWA SECTION 401 CERTIFICATION PROCESS, OR THE COASTAL ZONE MANAGEMENT ACT (CZMA) CERTIFICATION PROCESS, OR AS OTHERWISE ESTABLISHED BY THE PERMITTING AUTHORITY. THE SPECIFIC ADDITIONAL REVISIONS AND REQUIREMENTS ONLY APPLY TO ACTIVITIES IN THOSE SPECIFIC STATES, INDIAN COUNTRY, AND AREAS IN CERTAIN STATES SUBJECT TO CONSTRUCTION PROJECTS BY FEDERAL OPERATORS, STATES, INDIAN COUNTRY, AND AREAS SUBJECT TO CONSTRUCTION BY FEDERAL OPERATORS NOT INCLUDED IN THIS PART DO NOT HAVE ANY MODIFICATIONS OR ADDITIONS TO THE APPLICABLE CONDITIONS OF THE PERMIT.

9.1.1. MARI20000: COMMONWEALTH OF MASSACHUSETTS (EXCEPT INDIAN COUNTRY).
 9.1.1.1. COMPLY WITH THE MASSACHUSETTS CLEAN WATERS ACT (CH. 21, SS. 26-33).
 9.1.1.2. COMPLY WITH THE MASSACHUSETTS CLEAN WATERS ACT (CH. 21, SS. 26-33).
 9.1.1.3. COMPLY WITH THE CONDITIONS IN 314 CMR 3.00 - MASSACHUSETTS SURFACE WATER DISCHARGE PERMIT PROGRAM.
 9.1.1.4. COMPLY WITH THE MASSACHUSETTS CLEAN WATERS ACT (CH. 21, SS. 26-33) AND ANY ORDER OF CONDITIONS ISSUED BY A CONSERVATION COMMISSION OR A SUPERSEDING ORDER OF DISCHARGE PERMITTED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 9.1.1.5. COMPLY WITH THE MASSACHUSETTS STORM WATER PERFORMANCE STANDARDS, AS PRESCRIBED BY STATE REGULATIONS PROMULGATED UNDER THE AUTHORITY OF THE MASSACHUSETTS CLEAN WATERS ACT, MGL CH. 21, SS. 26-53 AND THE WETLANDS PROTECTION ACT, CH. 131, S. 4A.
 9.1.1.6. COMPLY WITH THE CONDITIONS IN 314 CMR 9.00 - WATER QUALITY CERTIFICATION FOR DISCHARGES OF DREDGED OR FILL MATERIAL, DREDGING, AND DREDGED MATERIAL DISPOSAL IN WATERS OF THE UNITED STATES WITHIN THE COMMONWEALTH.
 9.1.1.7. COMPLY WITH THE MASSACHUSETTS WETLANDS PROTECTION ACT (MGL CH. 131A AND REGULATIONS AT 321 CMR 10.00 AND ANY ACTIONS UNDERTAKEN TO COMPLY WITH THIS STORMWATER GENERAL PERMIT SHALL NOT RESULT IN NON-COMPLIANCE WITH THE MESA.
 9.1.1.8. ACTIVITIES COVERED UNDER THIS GENERAL PERMIT SHALL NOT INTERFERE WITH THE IMPLEMENTATION OF MOSQUITO CONTROL WORK CONDUCTED IN ACCORDANCE WITH CHAPTER 252 INCLUDING S. 5A THEREUNDER AND MASSDEP GUIDELINE NUMBER BRP 001-02, WEST NILE VIRUS APPLICATION OF PESTICIDES TO WETLAND RESOURCE AREAS AND BUFFER ZONES, AND PUBLIC WATER SUPPLIES.
 9.1.1.9. THE DEPARTMENT MAY REQUEST A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE PERMITTEE IS REQUIRED TO SUBMIT THE SWPPP TO THE DEPARTMENT WITHIN 14 DAYS OF SUCH REQUEST. THE DEPARTMENT MAY CONDUCT AN INSPECTION OF ANY FACILITY COVERED BY THE PERMIT TO ENSURE COMPLIANCE WITH STATE LAW REQUIREMENTS, INCLUDING STATE WATER QUALITY STANDARDS. THE DEPARTMENT MAY ENFORCE ITS CERTIFICATION CONDITIONS.
 9.1.1.10. THE DEPARTMENT MAY REQUIRE THE PERMIT HOLDER TO PERFORM WATER QUALITY MONITORING DURING THE PERMIT TERM IF MONITORING IS NECESSARY FOR THE PROTECTION OF PUBLIC HEALTH OR THE ENVIRONMENT AS DESIGNATED UNDER THE AUTHORITY AT 314 CMR 3.00.
 9.1.1.11. THE DEPARTMENT MAY REQUIRE THE PERMIT HOLDER TO PROVIDE MEASURABLE VERIFICATION OF THE EFFECTIVENESS OF BEST MANAGEMENT PRACTICES (BMPs) AND OTHER CONTROL MEASURES USED IN THE STORMWATER MANAGEMENT PROGRAM, INCLUDING WATER QUALITY MONITORING.
 9.1.1.12. THE DEPARTMENT HAS DETERMINED THAT COMPLIANCE WITH THE PERMIT DOES NOT PROTECT THE PERMIT HOLDER FROM ENFORCEMENT ACTIONS DEEMED NECESSARY BY THE DEPARTMENT UNDER ITS ASSOCIATED REGULATIONS TO ADDRESS AN IMMINENT THREAT TO PUBLIC HEALTH OR A SIGNIFICANT ADVERSE ENVIRONMENTAL IMPACT WHICH RESULTS IN A VIOLATION OF THE MASSACHUSETTS CLEAN WATERS ACT, CH. 21, SS. 26-53.
 9.1.1.13. THE DEPARTMENT RESERVES THE RIGHT TO MODIFY THIS 401 WATER QUALITY CERTIFICATION IF ANY CHANGES, MODIFICATIONS, OR DELETIONS ARE MADE TO THIS GENERAL PERMIT. IN ADDITION, THE DEPARTMENT RESERVES THE RIGHT TO ADD AND/OR ALTER THE TERMS AND CONDITIONS OF THIS 401 WATER QUALITY CERTIFICATION TO CARRY OUT ITS RESPONSIBILITIES DURING THE TERM OF THIS GENERAL PERMIT WITH RESPECT TO WATER QUALITY, INCLUDING ANY REVISIONS TO 314 CMR 4.00, MASSACHUSETTS SURFACE WATER QUALITY STANDARDS.
 9.1.1.14. SHOULD ANY VIOLATION OF THE MASSACHUSETTS SURFACE WATER QUALITY STANDARDS, 314 CMR 4.00, OR THE CONDITIONS OF THIS 401 WATER QUALITY CERTIFICATION OCCUR, THE DEPARTMENT WILL DIRECT THE PERMIT HOLDER TO CORRECT THE VIOLATION(S). THE DEPARTMENT HAS THE RIGHT TO TAKE ANY ACTION AUTHORIZED BY THE GENERAL LAWS OF THE COMMONWEALTH TO ADDRESS THE VIOLATION(S) OF THE PERMIT OR THE MASSACHUSETTS CLEAN WATERS ACT AND THE REGULATIONS PROMULGATED THEREUNDER. SUBSTANTIAL CIVIL AND CRIMINAL PENALTIES ARE AUTHORIZED UNDER MGL CH. 21, S. 42 FOR DISCHARGING INTO MASSACHUSETTS WATERS IN VIOLATION OF AN ORDER OR PERMIT ISSUED BY THIS DEPARTMENT. THIS 401 WATER QUALITY CERTIFICATION DOES NOT RELIEVE THE PERMIT HOLDER OF THE DUTY TO COMPLY WITH OTHER APPLICABLE MASSACHUSETTS STATUTES AND REGULATIONS.

SITE SPECIFIC SWPPP NOTES:
 1. THE SITE COORDINATES ARE 42 02 18.35 N (LATITUDE) 71 25 32.20W (LONGITUDE) TAKEN FROM GOOGLE EARTH SOFTWARE.
 2. THE SITE DOES NOT LIE WITHIN INDIAN COUNTRY LANDS OR LOCATED ON A PROPERTY OF RELIGIOUS OR CULTURAL SIGNIFICANCE TO AN INDIAN TRIBE.
 3. THE SITE IS NOT ON AN AREA CONSIDERED A "FEDERAL FACILITY".
 4. THE AREA PROPOSED TO BE DISTURBED ON THIS PLAN IS APPROXIMATELY 4 ACRES.
 5. THE RUNOFF FROM THE SITE IS TRIBUTARY TO THE ON-SITE WETLAND AND MISCOE BROOK.
 6. THE EPA'S WEBSITE DOES NOT IDENTIFY AN ESTABLISHED TRAIL FOR THIS WATER BODY.
 7. THE USE OF CATIONIC TREATMENT CHEMICALS (I.E. POLYMERS, FLOCCULANT OR OTHER TREATMENT CHEMICAL THAT CONTAIN AN OVERALL POSITIVE CHARGE) IS NOT ALLOWED.
 10. BASED ON REVIEW OF THE USFWS WEBSITE, THERE ARE NO KNOWN FEDERALLY LISTED ENDANGERED AND THREATENED SPECIES.
 11. BASED ON NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM MAPPING THE SITE DOES NOT LIE WITHIN A MAPPED ESTIMATED HABITAT OF RARE WILDLIFE OR A PRIORITY HABITAT OF RARE SPECIES.
 11. THE SUBJECT PROPERTY IS NOT KNOWN TO BE A HISTORIC PROPERTY.

HAZARDOUS SPILL IMPLEMENTATION PLAN MEASURES:

- A. IDENTIFICATION:**
 1. A MAP OR DRAWING LOCATING AREAS WHERE HAZARDOUS MATERIALS ARE STORED, HANDLED, AND/OR IN USE. THE MAP SHALL BE DRAWN TO SCALE, ON 8 1/2" X 11" PAPER (OR AN AS BUILT PLAN OF THE FACILITY MAY BE SUBSTITUTED), WITH A NORTH ARROW AND NAMES OF BORDERING STREETS CLEARLY NOTED. IF STORAGE OCCURS BOTH INDOORS AND OUTDOORS, A MAP FOR EACH OF THE INDOOR AND OUTDOOR STORAGE AREAS SHALL BE SUBMITTED. AREAS IN WHICH EMERGENCY EQUIPMENT SUCH AS SPILL KITS AND MEDICAL SUPPLIES ARE KEPT MUST ALSO BE IDENTIFIED ON THE MAP, AND SUBMITTED TO THE BOARD OF HEALTH AS WELL AS THE FIRE DEPARTMENT.
 2. A WRITTEN DESCRIPTION SHALL ACCOMPANY THE MAP AND SPECIFY: PRODUCT NAMES (CHEMICAL NAMES OR TYPES MAY BE SUBSTITUTED HERE); MSDS SHEETS FOR EACH PRODUCT; QUANTITIES OF MATERIALS IN EACH LOCATION; THE TYPE OF STORAGE CONTAINER (E.G., 55 GALLON DRUM, UNDERGROUND STORAGE TANK); AND ANTICIPATED ON-SITE ADDITIONS, OF HAZARDOUS MATERIALS.
 3. INFORMATION PERTAINING TO THE DISPOSAL OF HAZARDOUS WASTES: HAZARDOUS WASTE GENERATOR ID NUMBER, NAME OF THE HAZARDOUS WASTE TRANSPORTER(S), AND METHODS OF HANDLING SPILLS OF A VOLUME UNDER THE REPORTABLE QUANTITY (AS DEFINED IN THIS DOCUMENT). FACILITIES WITHOUT AN ID MAY CONTACT THE DEPARTMENT AT 1-800-343-3420 TO OBTAIN ONE.
- B. NOTIFICATION:**
 1. IN CASE OF A SPILL AND/OR LOSS OF HAZARDOUS MATERIAL OF ANY QUANTITY AT THE FACILITY, THE OWNER/OPERATOR MUST IMMEDIATELY REPORT THE SPILL OR LOSS TO THE FIRE DEPARTMENT. NOTIFICATION TO THE BOARD OF HEALTH SHALL OCCUR WITHIN 24 HOURS OF THE SPILL. NOTIFICATION TO THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION EMERGENCY RESPONSE SECTION SHALL BE IN ACCORDANCE WITH 310 CMR 40.000.
 2. REPORT ANY OIL SPILLS OF 10 GALLONS OR MORE INTO THE ENVIRONMENT TO MASS DEP WITHIN TWO HOURS. CALL 1-888-304-1133. SPILLS OF LESS THAN 10 GALLONS STILL REQUIRE CLEANUP, BUT DO NOT NEED TO BE REPORTED TO MASS DEP. PROCEDURES FOR CLEANING UP RELEASES OF OIL AND HAZARDOUS MATERIALS TO THE ENVIRONMENT ARE ESTABLISHED BY THE MASSACHUSETTS CONTINGENCY PLAN (310 CMR 40.000), WHICH ALSO ESTABLISHES SPECIFIC REPORTABLE QUANTITIES OR CONCENTRATIONS FOR OTHER HAZARDOUS MATERIALS.
- C. PLANNING:**
 THE FOLLOWING PRECAUTIONS SHALL BE TAKEN BY THE FACILITY:
 1. THE MAP AND WRITTEN DESCRIPTION SPECIFIED ABOVE MUST ALSO BE POSTED AT ONE OF THE FOLLOWING ON-SITE LOCATIONS: GUARD SHACK, FIRE ALARM BOX, SPRINKLER RISER, OR OTHER LOCATION ACCEPTABLE TO THE HEAD OF THE FIRE DEPARTMENT.
 2. MSDS SHEETS MUST BE KEPT ON FILE AT ALL TIMES AT AN ON-SITE LOCATION, AND MUST BE READILY AVAILABLE DURING ROUTINE INSPECTIONS AND IN THE EVENT OF AN EMERGENCY.
 3. FACILITIES SHALL PROVIDE ADEQUATE AND REASONABLE EMPLOYEE TRAINING PROGRAMS TO ENSURE THE PROPER USE, STORAGE, TRANSPORTATION AND HANDLING OF HAZARDOUS MATERIALS.
 4. FACILITIES SHALL PROVIDE EMERGENCY SPILL CONTAINMENT KITS ON SITE AND IN ACCESSIBLE AREAS, AND ALL EMPLOYEES SHALL BE TRAINED IN THEIR USE. EMERGENCY SPILL CONTAINMENT KITS SHALL INCLUDE ITEMS SUCH AS:
 -SORBENT MATERIALS (PILLOWS, GRANULES, SOCKS, PADS, ETC.)
 -NITRILE GLOVES
 -SAFETY GOGGLES
 -DISPOSAL CONTAINERS
 -INFLATABLE BOOMS
 -EPOXY STICKY/REPAIR PUTTY
 5. ANY SPILL REMEDIATION REQUIRED SHALL BE CONDUCTED UNDER THE DIRECTION OF A LICENSED SITE PROFESSIONAL (LSP).

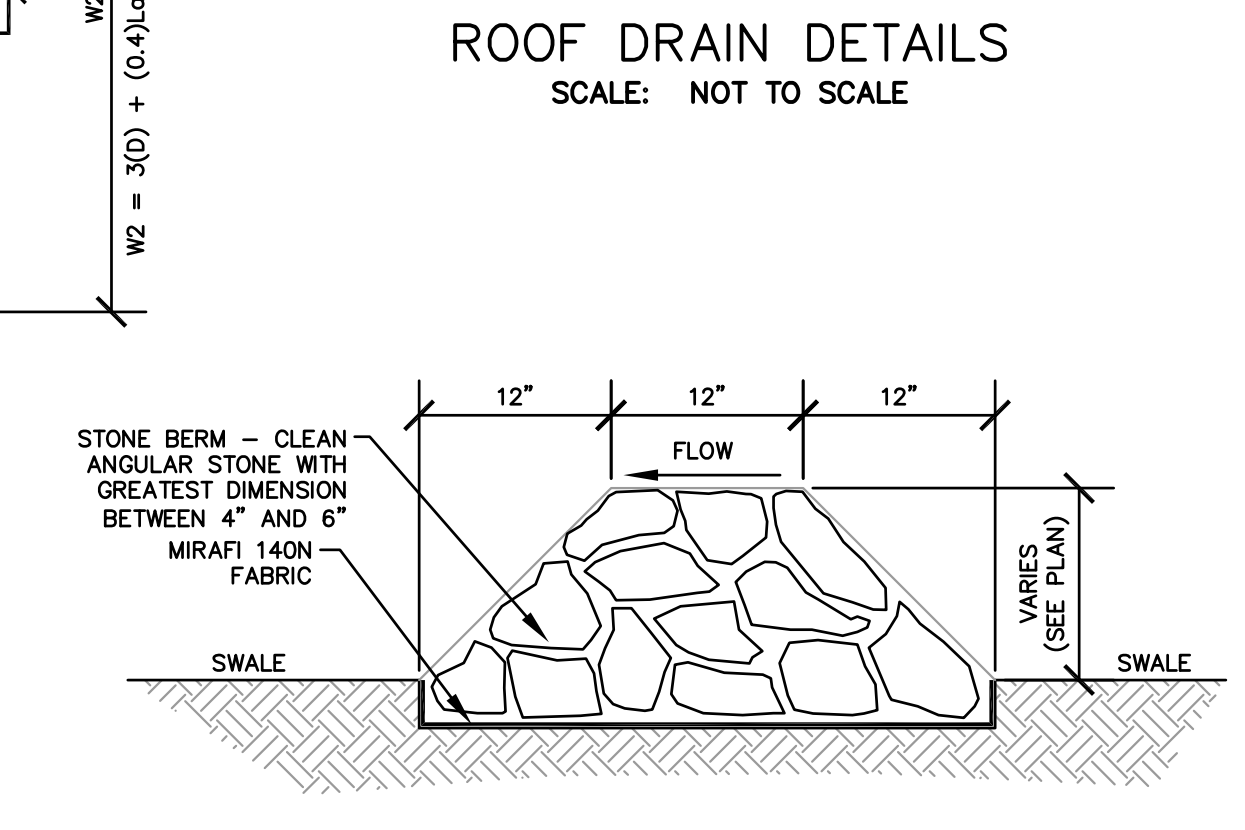
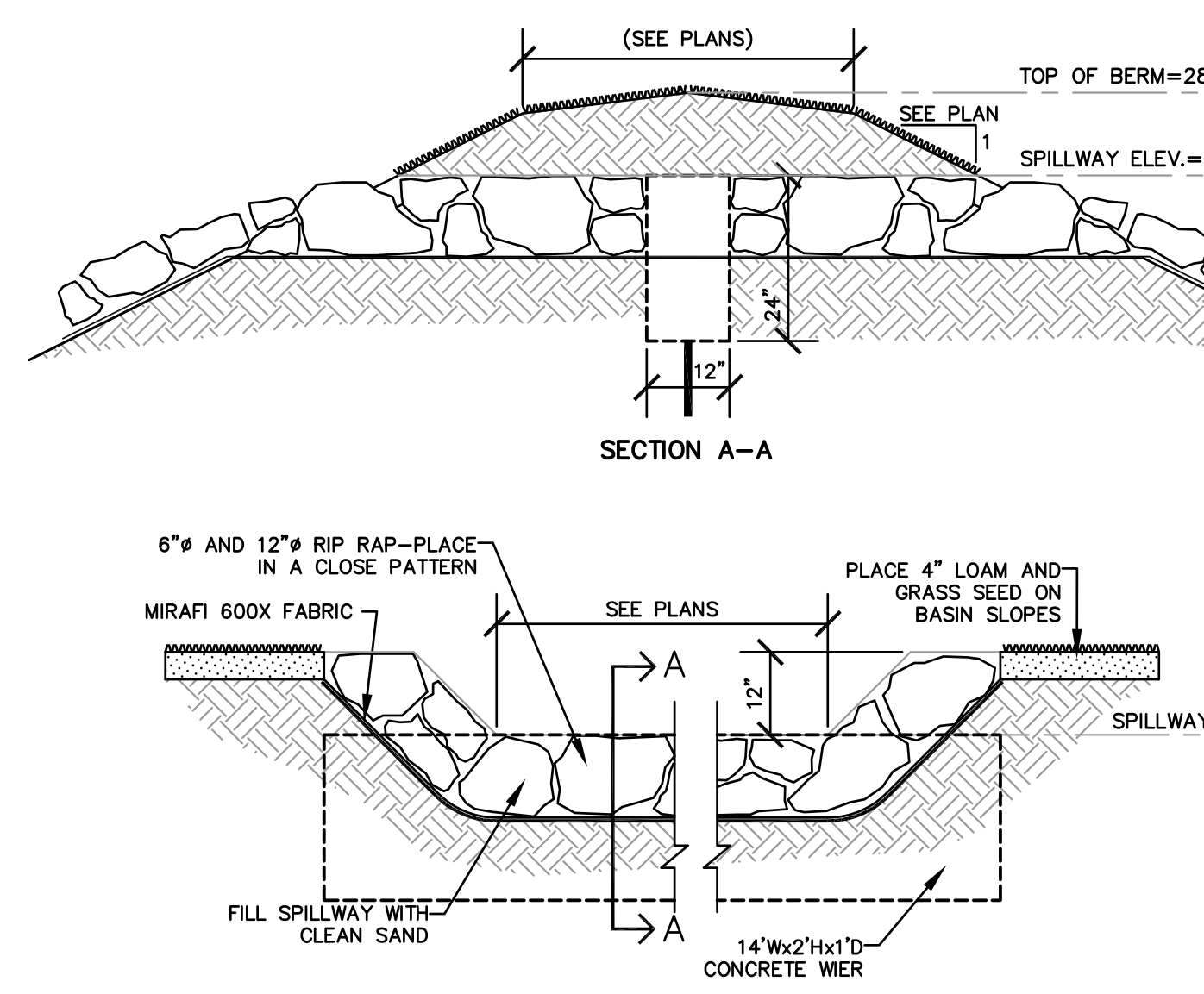
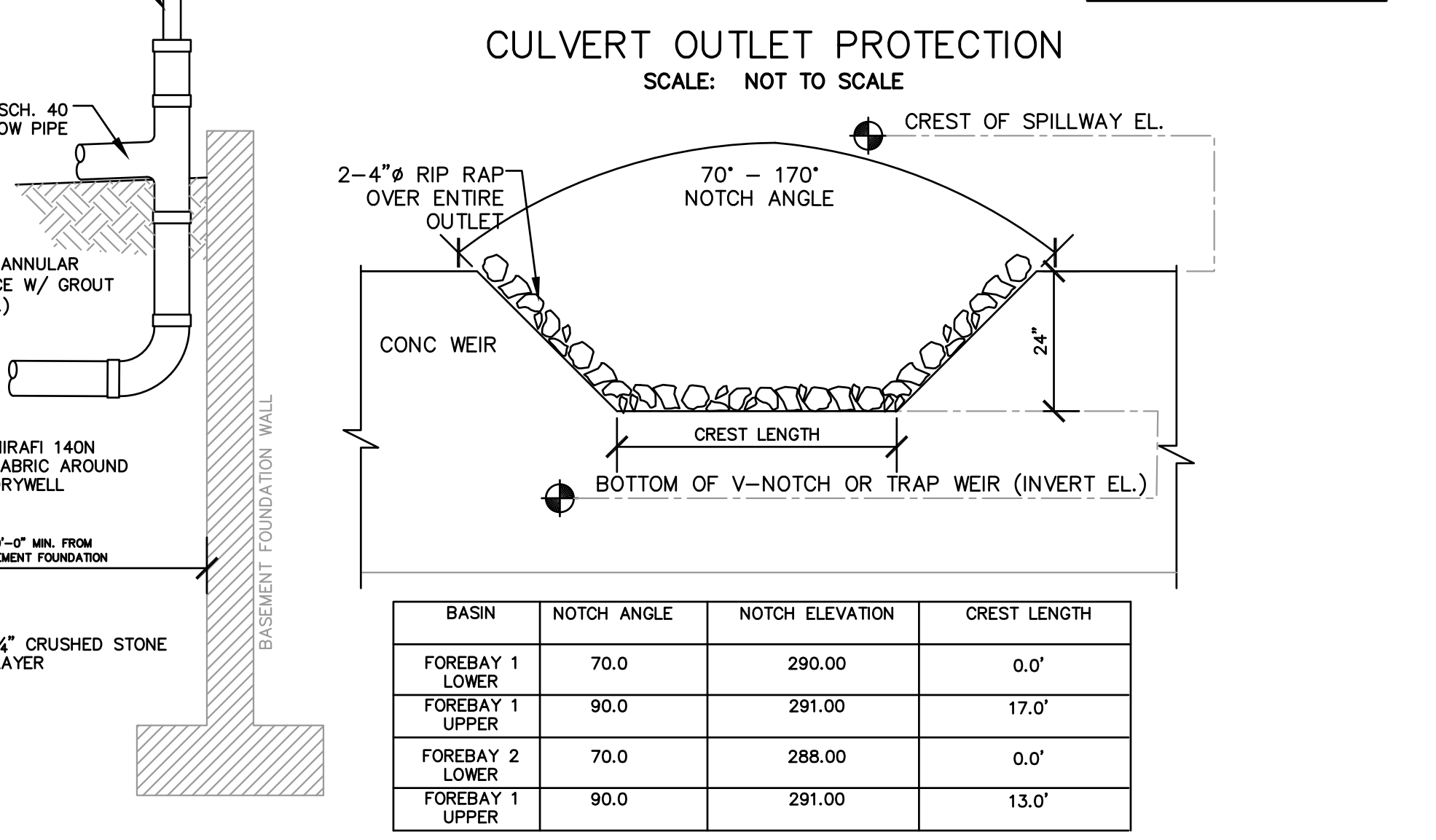
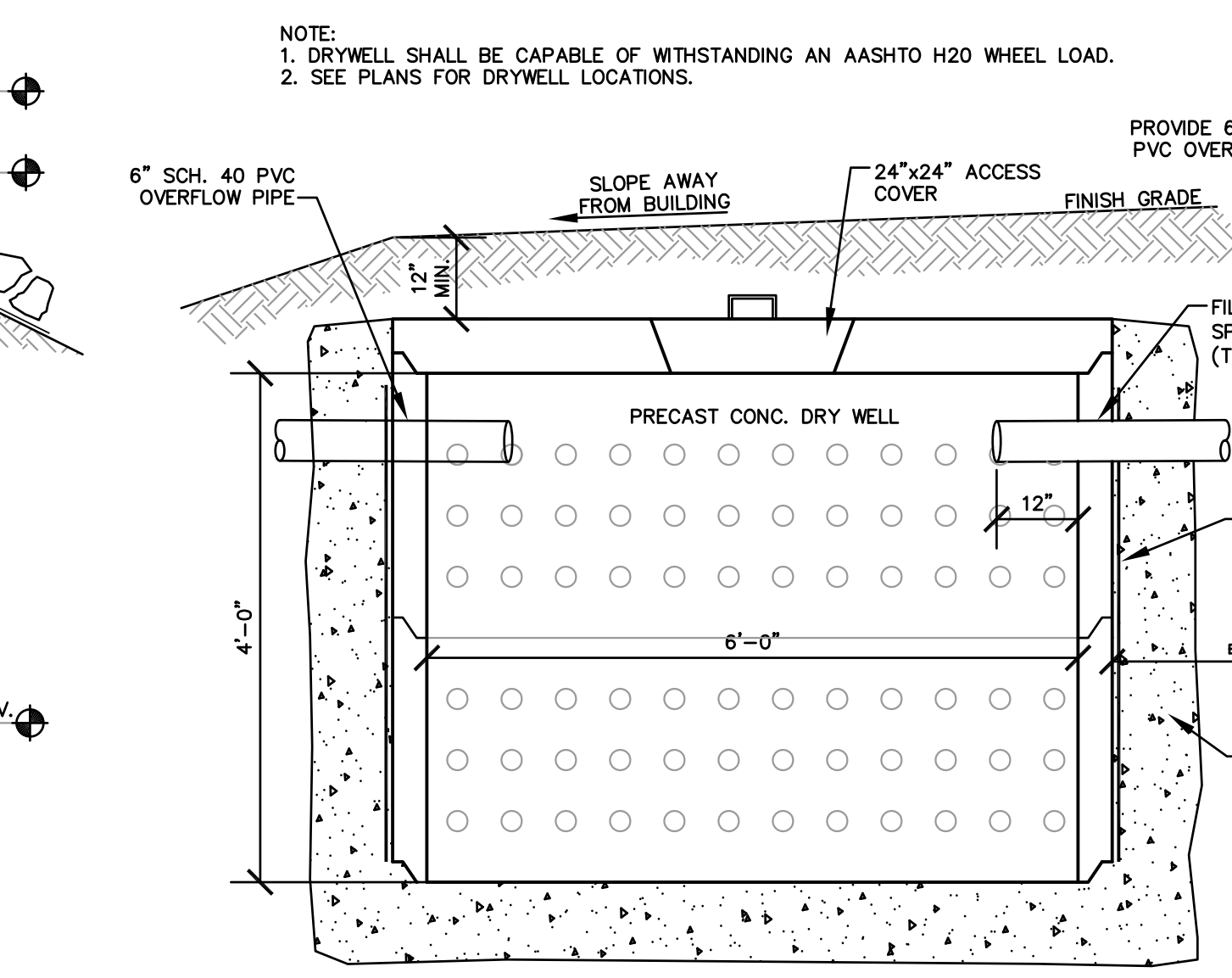
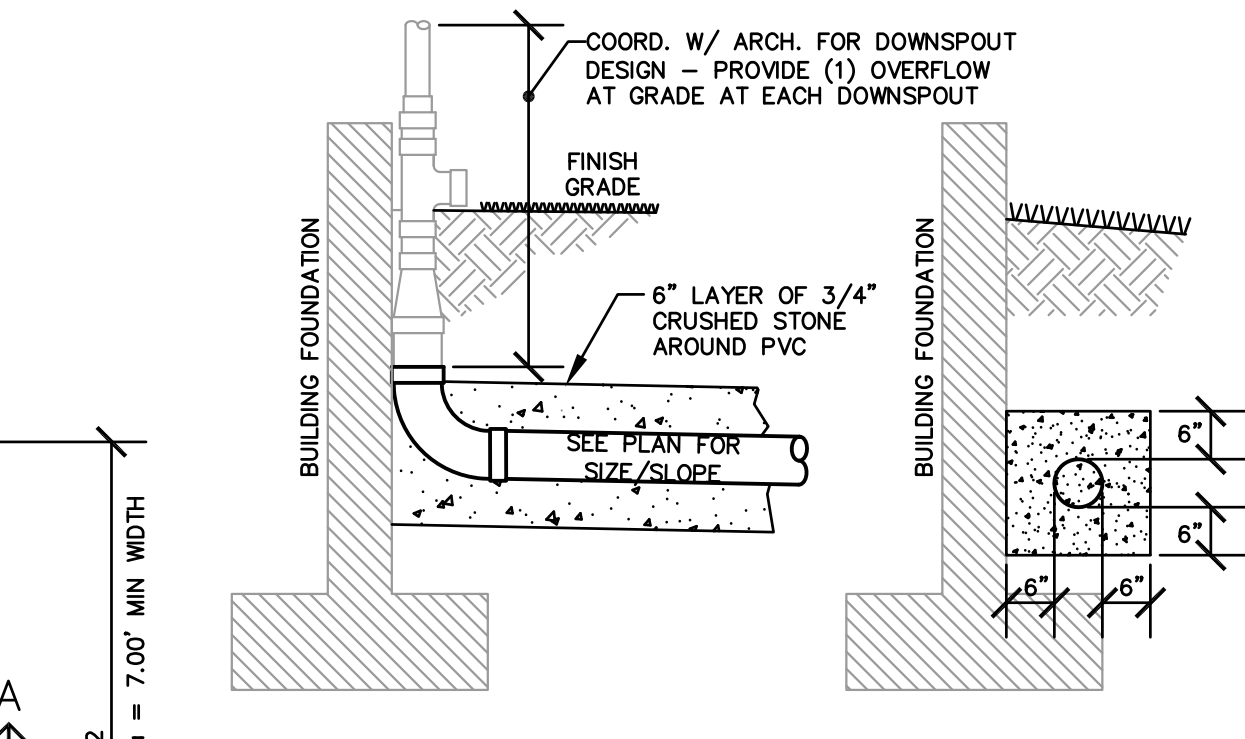
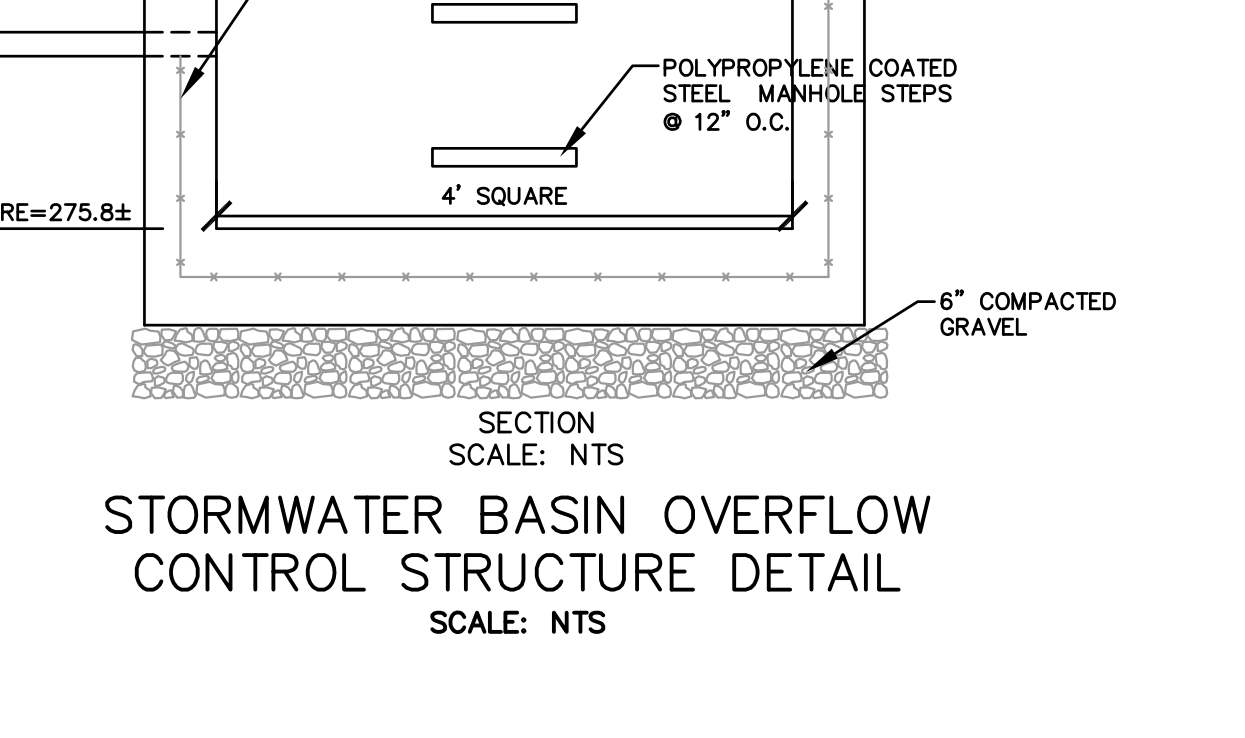
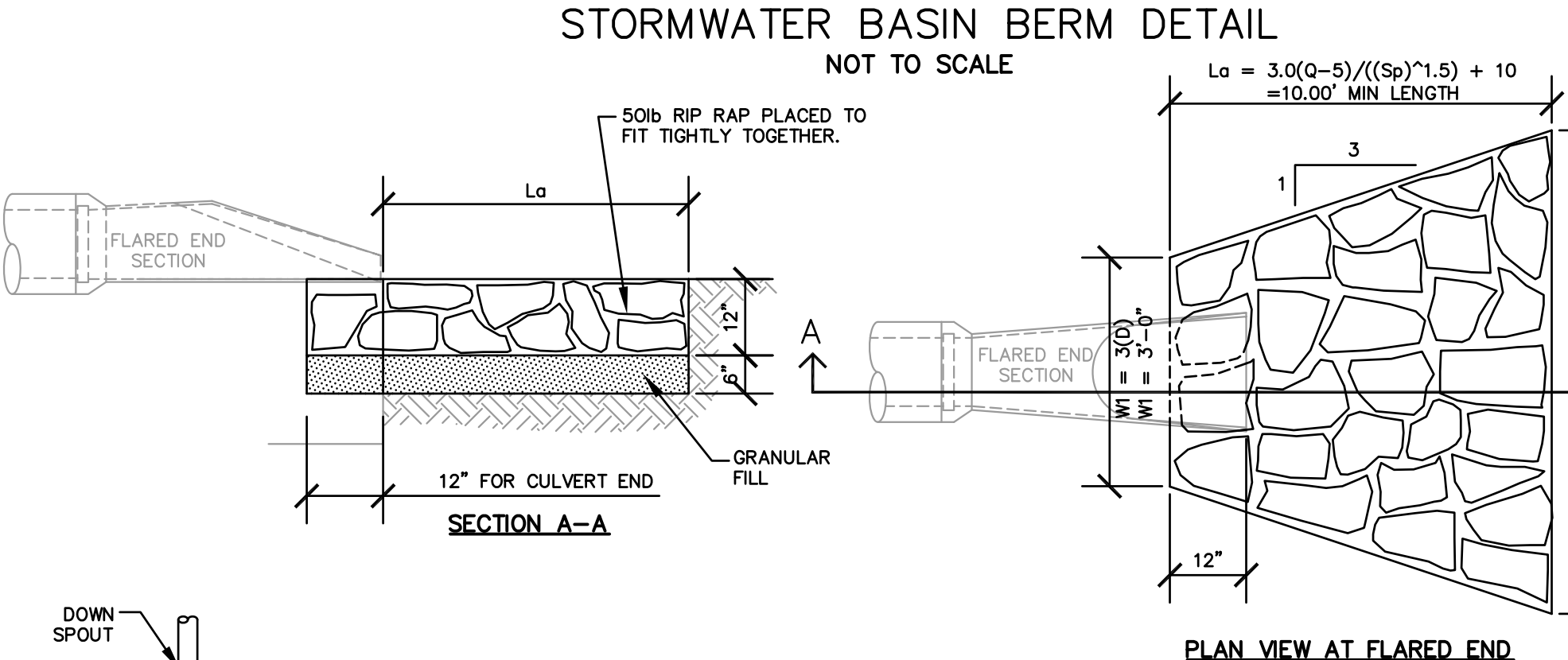
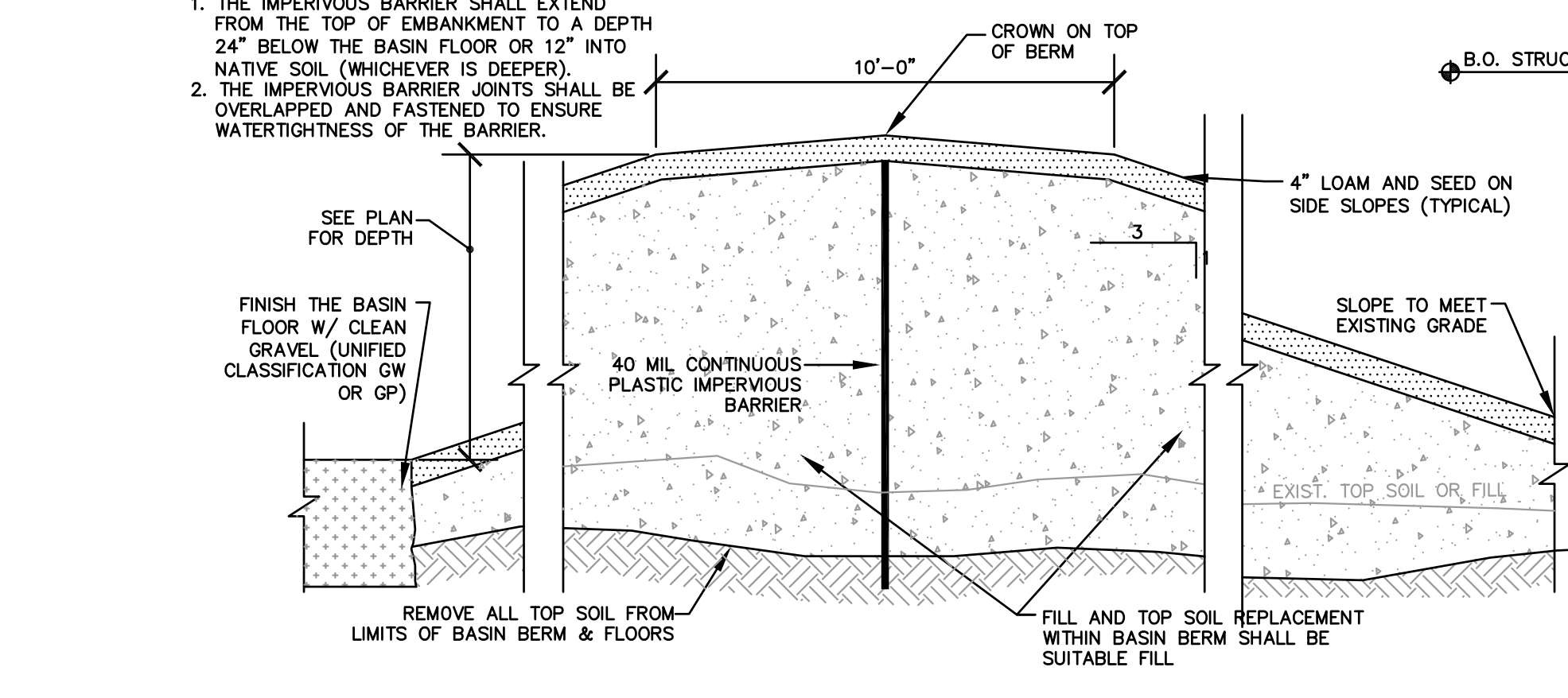


SNOW AND ICE MANAGEMENT PLAN:

- 1.) THIS PLAN DEFINES:
 - SITE PROVISIONS FOR STORAGE AND DISPOSAL OF SNOW AND ICE.
 - ANTICIPATED OPERATIONS NECESSARY FOR THE REMOVAL, STORAGE AND DISPOSAL OF SNOW AND ICE.
- 2.) ON THIS SITE, PARKING IS PROPOSED IN THREE DISTINCT AREAS. IN ORDER TO REMOVE SNOW FROM PAVED AREAS, AND PLACE IT IN NON-PAVED AREAS, A FRONT-END LOADER MUST BE USED. SNOW PLOWING MAY BE EMPLOYED IN COLLECTING SNOW, HOWEVER, A LOADER MUST BE USED TO MOVE THE SNOW FROM THE PAVED SURFACE.
- 3.) DURING SOME WINTERS, IT MAY BE NECESSARY TO TRANSFER SNOW STOCKPILED IN THE SNOW STORAGE AREAS TO THE DESIGNATED SNOW DISPOSAL AREA, IN THE LOWER PARKING AREA. THIS MAY BE ACCOMPLISHED BY EITHER A FRONT-END LOADER WITH A TRUCK OR BY LOADER OPERATING ALONE.

WETLAND/STORMWATER NOTES:

1. WETLAND DELINEATION BY ECOTEC, INC., OF WORCESTER MA.
2. EROSION CONTROLS INCLUDING TEMPORARY BASINS SHALL BE IMPLEMENTED AND INSPECTED BY A TOWN REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION.
3. APPROVAL FROM THE FRANKLIN CONSERVATION COMMISSION IS REQUIRED FOR THIS PROJECT. WETLAND AREAS IDENTIFIED IN THIS PLAN SET QUALIFY AS WETLANDS UNDER 310 CMR 10.00.
4. NO EXCAVATION SHALL TAKE PLACE ON-SITE UNTIL ALL SEDIMENTATION CONTROLS (WATTLES, SILT FENCE, ETC.) ARE FULLY INSTALLED PER PLAN.
5. FOLLOWING COMPLETION OF GRADING IN ANY AREA, CONTRACTOR SHALL ACT TO PLACE PERMANENT SURFACE FINISH OR TO STABILIZE SOILS AGAINST EROSION. LOAM AND SEED SHALL BE PLACED IMMEDIATELY UPON FINAL GRADING.
6. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL ALL DISTURBED SURFACES HAVE BEEN FULLY STABILIZED WITH VEGETATION.
7. EXISTING ROADS CONNECTED TO THE PROJECT SITE WILL BE KEPT CLEAR OF SILT AND DEBRIS AT ALL TIMES.
8. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE AS INDICATED ON NFIP FIRM MAPS.
9. THE SITE DOES LIE WITHIN A ZONE II WATER SUPPLY PROTECTION AREA AS MAPPED ON THE MASS GIS WEBSITE.
10. THE SITE DOES NOT LIE WITHIN AN ESTIMATED HABITAT OR RARE WILDLIFE OR PRIORITY HABITAT OF RARE SPECIES.

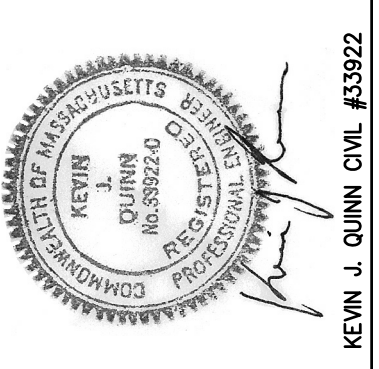


APPROVED DATE: _____
 FRANKLIN PLANNING BOARD

DATE: _____
 BEING A MAJORITY

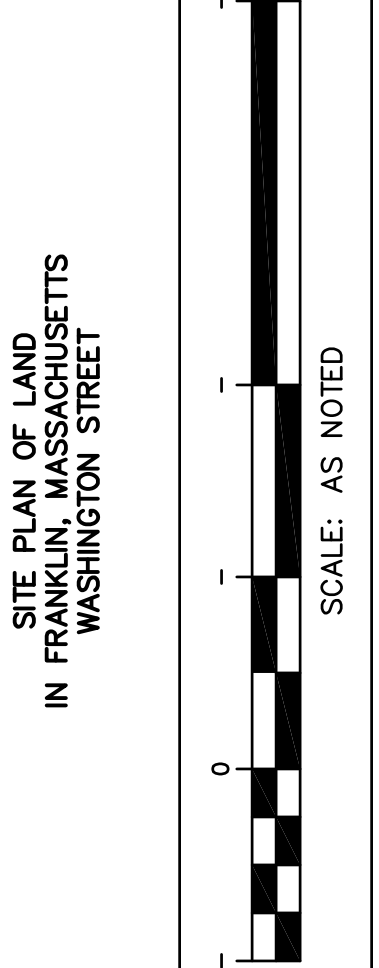


NO.	REVISION	DATE
4	ISSUED FOR ENDORSEMENT	9/5/19
3	ISSUED FOR PERMIT	6/7/19
2	TOWN/BETA COMMENTS	5/23/19
1	TOWN/BETA COMMENTS	4/25/19



APPLICANT:
 AMECO, INC.
 33 PERRY AVE.
 ATLEBORO, MA 02703

OWNER:
 JAMES HESSON
 MARGHERITA RAMER
 7410 BUCKINGHAM TRAIL NORTH
 JACKSONVILLE, FL 32202



WILLIAM J. MASTELLO ARCHITECT INC. 508.869.0597 mastelloarchitect.com

QUINN ENGINEERING, INC. P.O. Box 107 Paxton, Massachusetts 01612 (508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019

TYPICAL DETAILS AND NOTES SHEET 14



VIEW OF TYPE "A" HOUSES



VIEW OF TYPE "B" AND "C" HOUSES

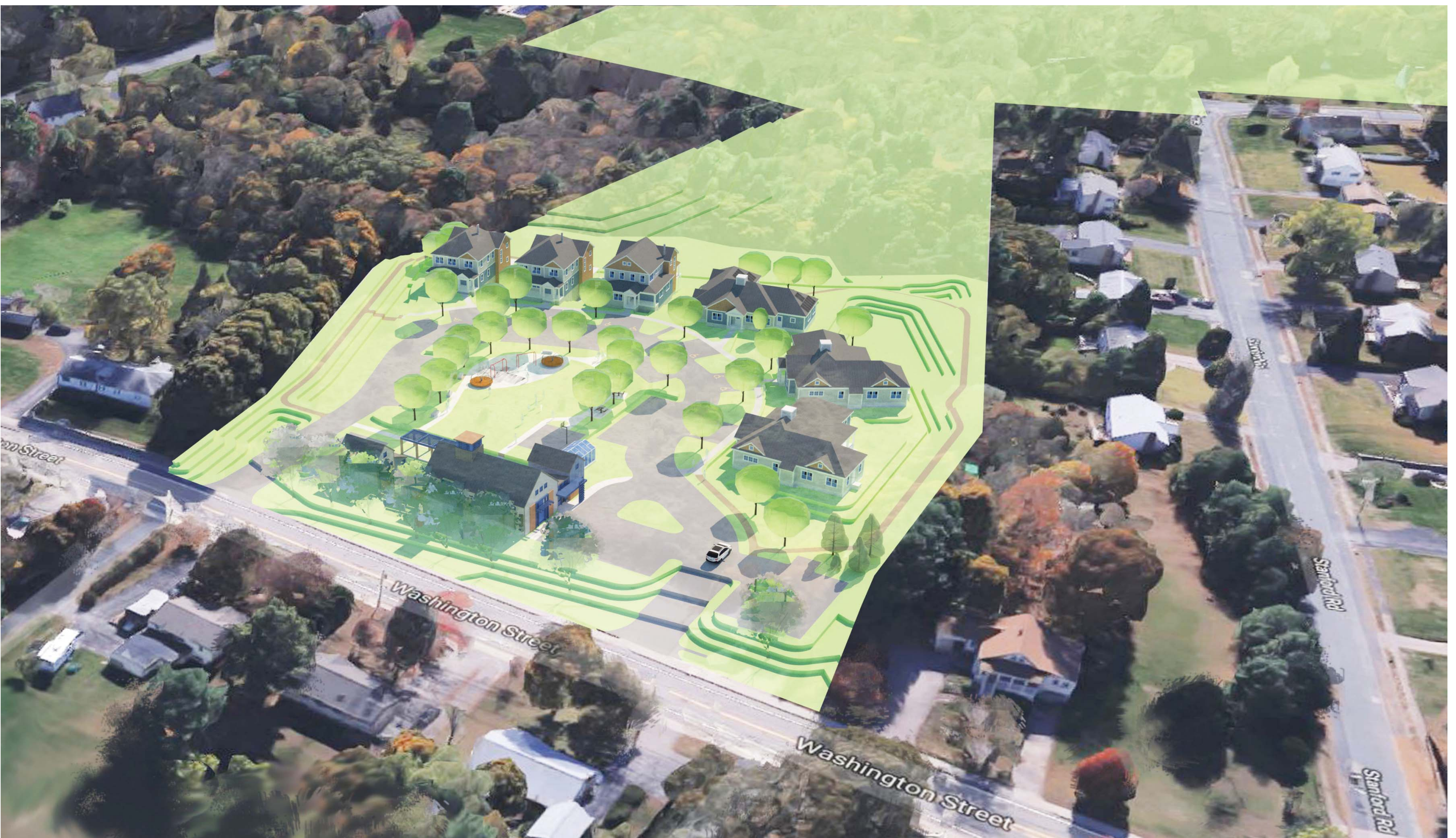
NEW RESIDENCES FOR:
AMEGO SCHOOL
 FRANKLIN, MASSACHUSETTS

ARTISTIC AND CONCEPTUAL DESIGN VIEWS OF COMPLETED PROJECT ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY. ACTUAL COMPLETED DESIGN ELEMENTS MAY VARY BASED ON PROGRAM CHANGES, SITE CONDITIONS, AND/OR BUDGET CONSTRAINTS





AERIAL VIEW OF EXISTING CONDITIONS



AERIAL VIEW OF DEVELOPMENT

NEW RESIDENCES FOR:
AMEGO SCHOOL
 FRANKLIN, MASSACHUSETTS

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WASHINGTON STREET VIEW FACING SOUTHEAST- EXISTING CONDITIONS

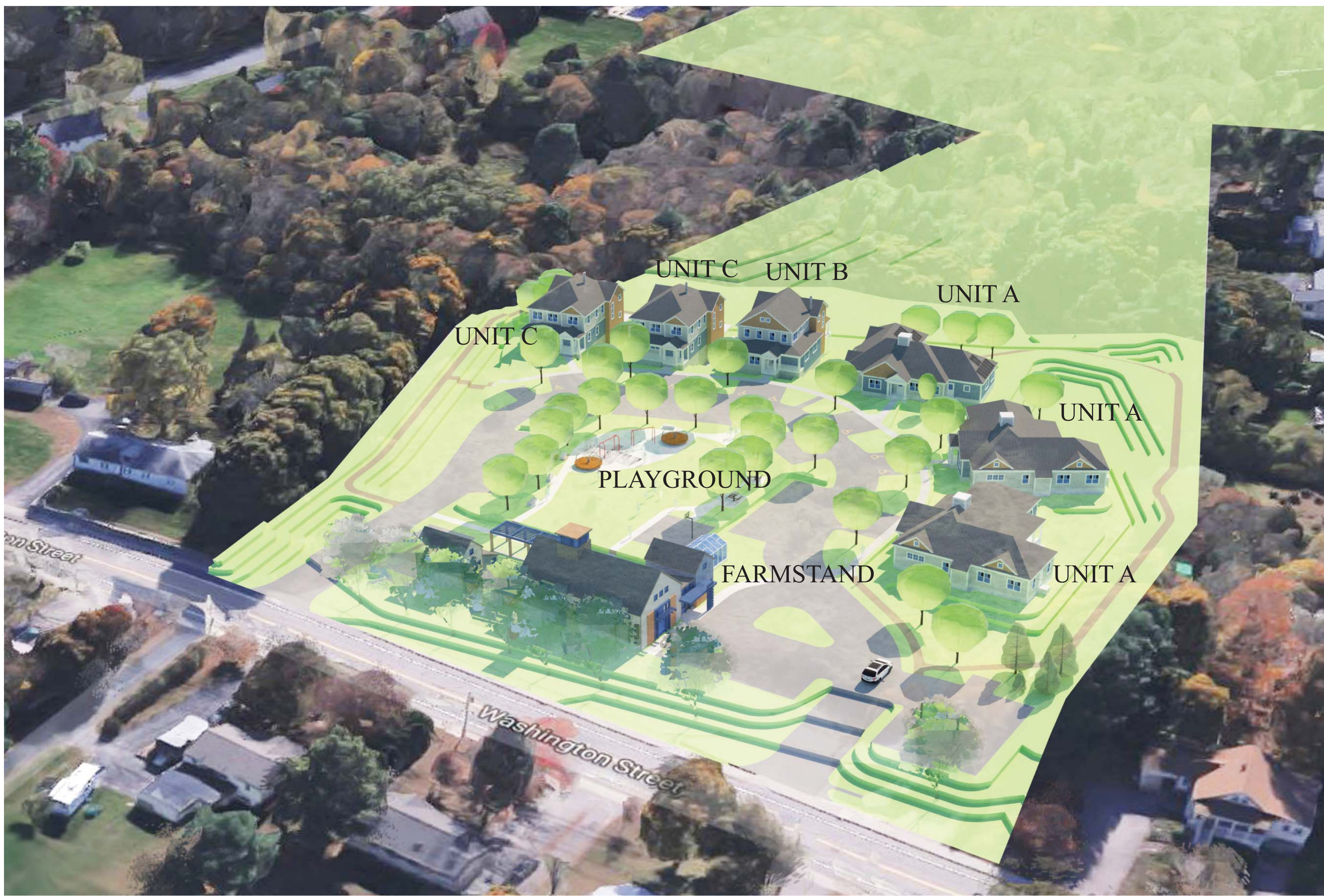


WASHINGTON STREET VIEW FACING SOUTHEAST- PROPOSED PROJECT ENTRANCE

ARTISTIC AND CONCEPTUAL DESIGN VIEWS OF COMPLETED PROJECT ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY. ACTUAL COMPLETED DESIGN ELEMENTS MAY VARY BASED ON PROGRAM CHANGES, SITE CONDITIONS, AND/OR BUDGET CONSTRAINTS

NEW RESIDENCES FOR:
AMEGO SCHOOL
 FRANKLIN, MASSACHUSETTS





AERIAL VIEW OF DEVELOPMENT

FLOOR PLAN - UNIT A
SCALE: 1/8"=1'-0"



KEY

- COMMON SPACE
- OFFICE SPACE
- BATHROOMS/LAUNDRY/
STORAGE
- BEDROOMS
- CIRCULATION

LEGEND

- 1 FOYER
- 2 KITCHEN
- 3 PANTRY
- 4 DINING
- 5 COMMON ROOM
- 6 SITTING SPACE
- 7 OFFICE
- 8 FULL BATH
- 9 HALF-BATH
- 10 LAUNDRY
- 11 CLOSET
- 12 BEDROOM
- 13 HALL
- 14 STAIR
- 15 FRONT PORCH
- 16 PORCH OR DECK

NEW RESIDENCES FOR:
AMEGO SCHOOL
FRANKLIN, MASSACHUSETTS



WILLIAM J.

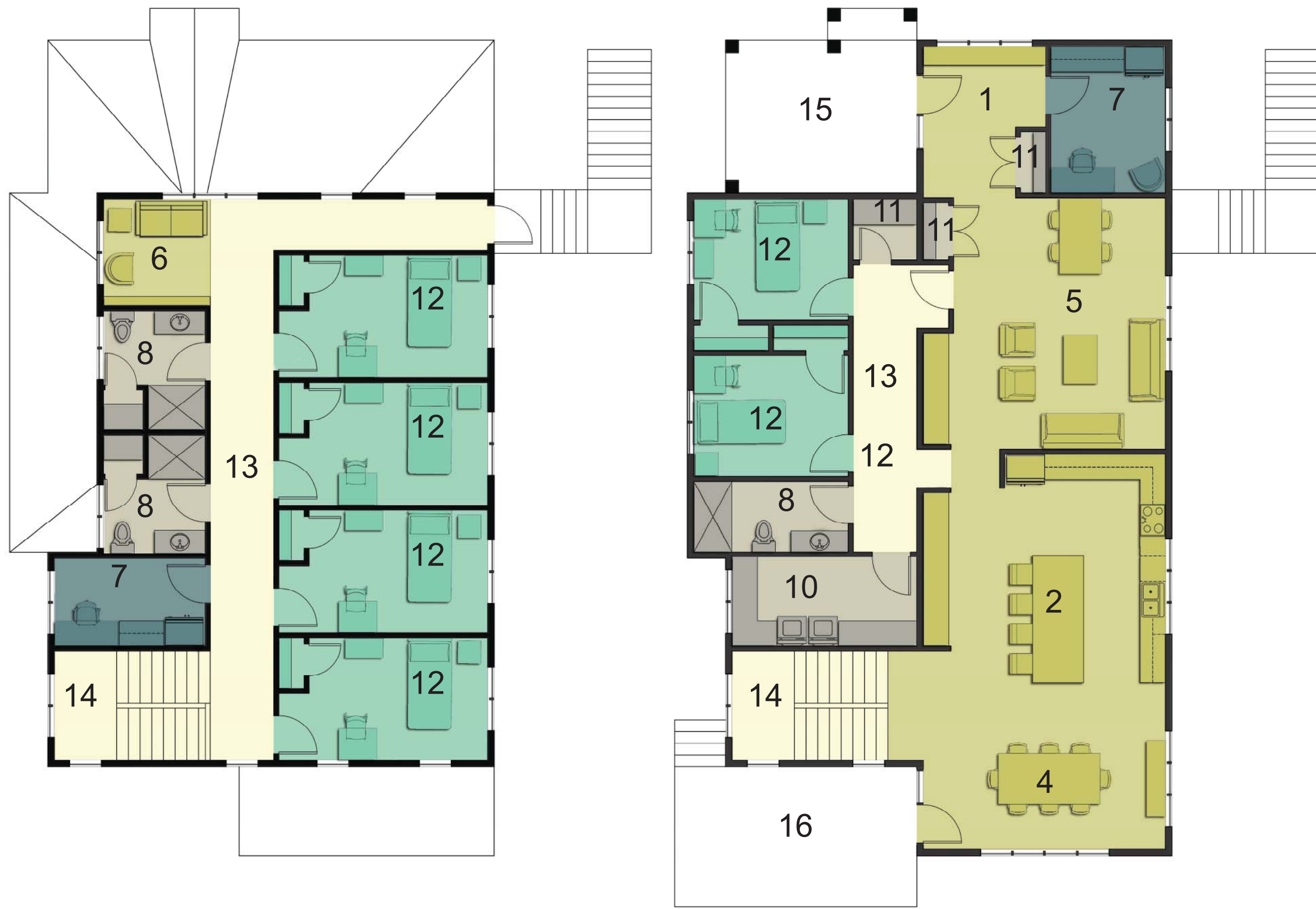
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ARCHITECT
INC.

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FLOOR PLAN - UNIT B
SCALE: 1/8"=1'-0"



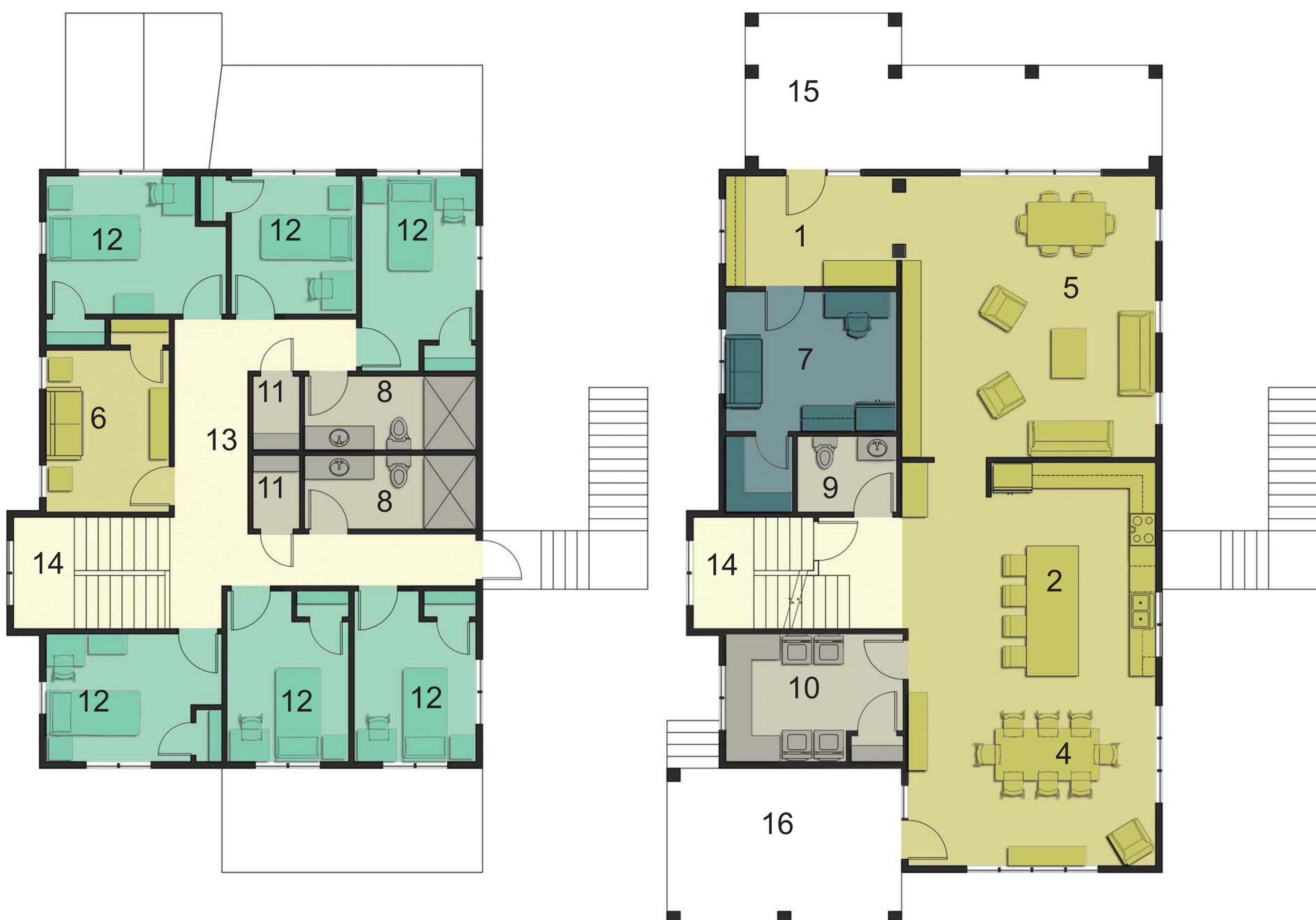
KEY

- COMMON SPACE
- OFFICE SPACE
- BATHROOMS/LAUNDRY/STORAGE
- BEDROOMS
- CIRCULATION

LEGEND

- 1 FOYER
- 2 KITCHEN
- 3 PANTRY
- 4 DINING
- 5 COMMON ROOM
- 6 SITTING SPACE
- 7 OFFICE
- 8 FULL BATH
- 9 HALF-BATH
- 10 LAUNDRY
- 11 CLOSET
- 12 BEDROOM
- 13 HALL
- 14 STAIR
- 15 FRONT PORCH
- 16 PORCH OR DECK

FLOOR PLAN - UNIT C
SCALE: 1/8"=1'-0"



NEW RESIDENCES FOR:
AMEGO SCHOOL
FRANKLIN, MASSACHUSETTS



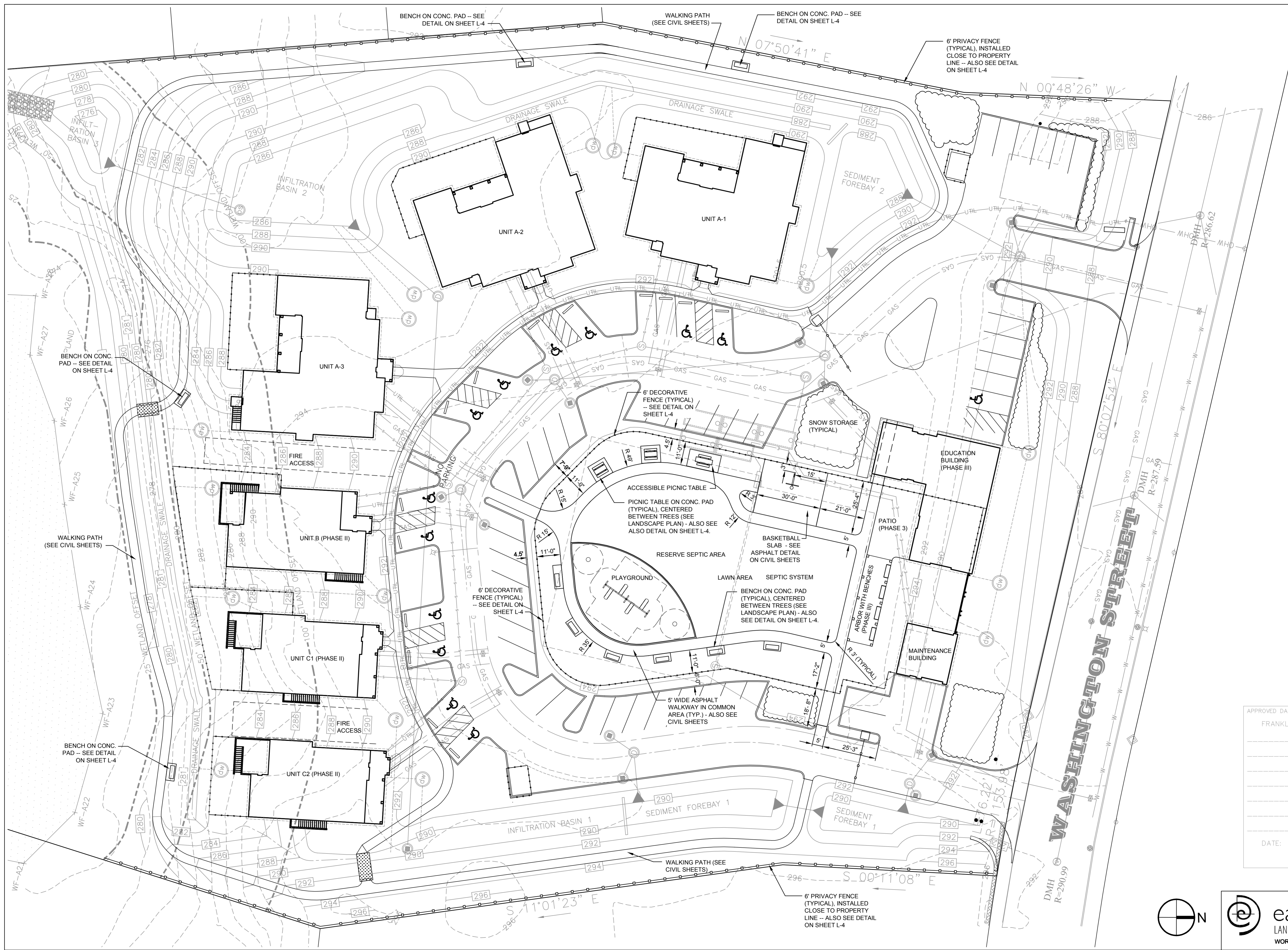
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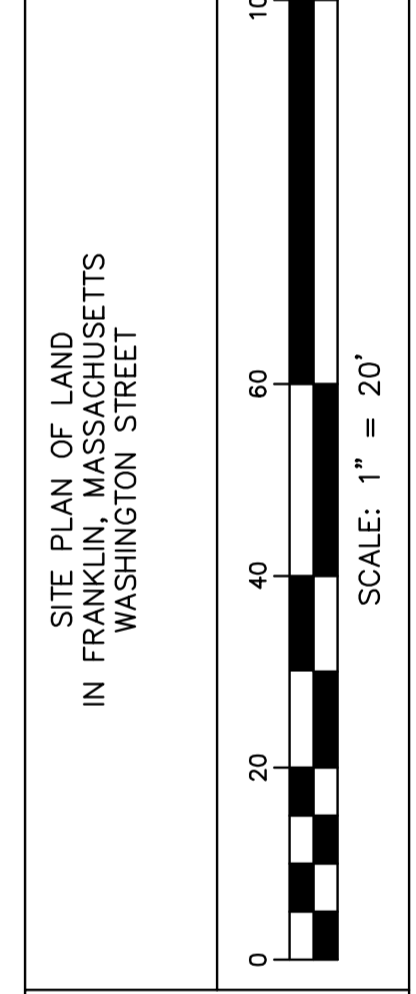


PLANNING BRD. REVISIONS	5-17-19	NO.	REVISION	DATE
1				



APPLICANT:
AMERCO, INC.
 33 PERRY AVE.
 ATTLEBORO, MA 02703

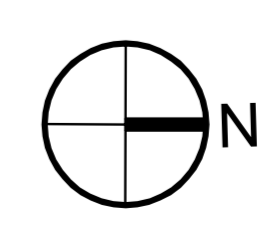
OWNER:
JAMES HESSON
MARGHERITA RAMMER
 7410 BUCKLIN TRAIL NORTH
 JACKSONVILLE, FL 32202



SITE PLAN OF LAND
 IN FRANKLIN, MASSACHUSETTS
 WASHINGTON STREET

APPROVED DATE: _____
 FRANKLIN PLANNING BOARD

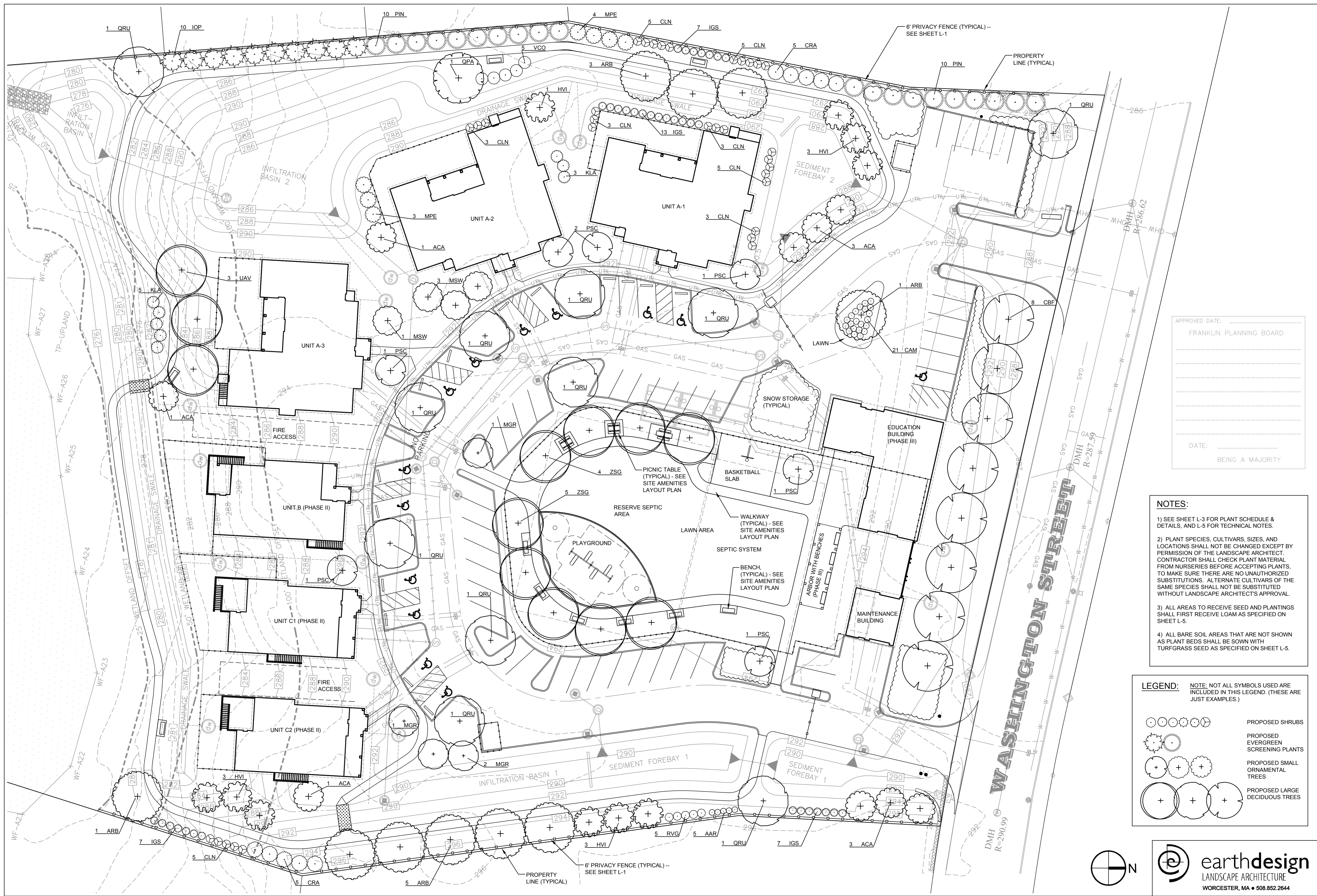
DATE: _____
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 LANDSCAPE ARCHITECTURE
 WORCESTER, MA • 508.852.2644

QUINN ENGINEERING, INC.
 P.O. Box 107
 Paxton, Massachusetts 01612
 (508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019
 SITE AMENITIES LAYOUT PLAN
 SHEET L-1



APPROVED DATE: _____
 FRANKLIN PLANNING BOARD

DATE: _____
 BEING A MAJORITY

- NOTES:**
- SEE SHEET L-3 FOR PLANT SCHEDULE & DETAILS, AND L-5 FOR TECHNICAL NOTES.
 - PLANT SPECIES, CULTIVARS, SIZES, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS. TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL.
 - ALL AREAS TO RECEIVE SEED AND PLANTINGS SHALL FIRST RECEIVE LOAM AS SPECIFIED ON SHEET L-5.
 - ALL BARE SOIL AREAS THAT ARE NOT SHOWN AS PLANT BEDS SHALL BE SOWN WITH TURFGRASS SEED AS SPECIFIED ON SHEET L-5.

LEGEND: NOTE: NOT ALL SYMBOLS USED ARE INCLUDED IN THIS LEGEND. (THESE ARE JUST EXAMPLES.)

- PROPOSED SHRUBS
- PROPOSED EVERGREEN SCREENING PLANTS
- PROPOSED SMALL ORNAMENTAL TREES
- PROPOSED LARGE DECIDUOUS TREES

N

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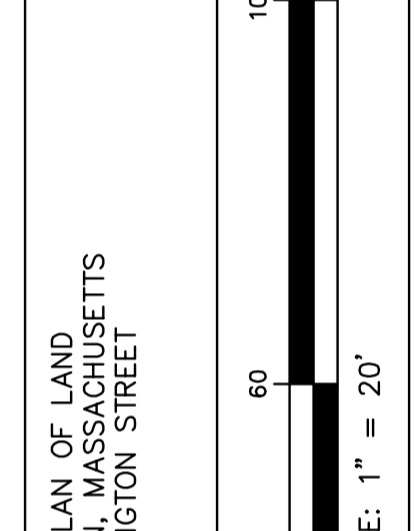


PLANNING BRD. REVISIONS	NO.	REVISION	DATE
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APPLICANT:
 AMEGG, INC.
 33 PERRY AVE.
 ATTLEBORO, MA 02703

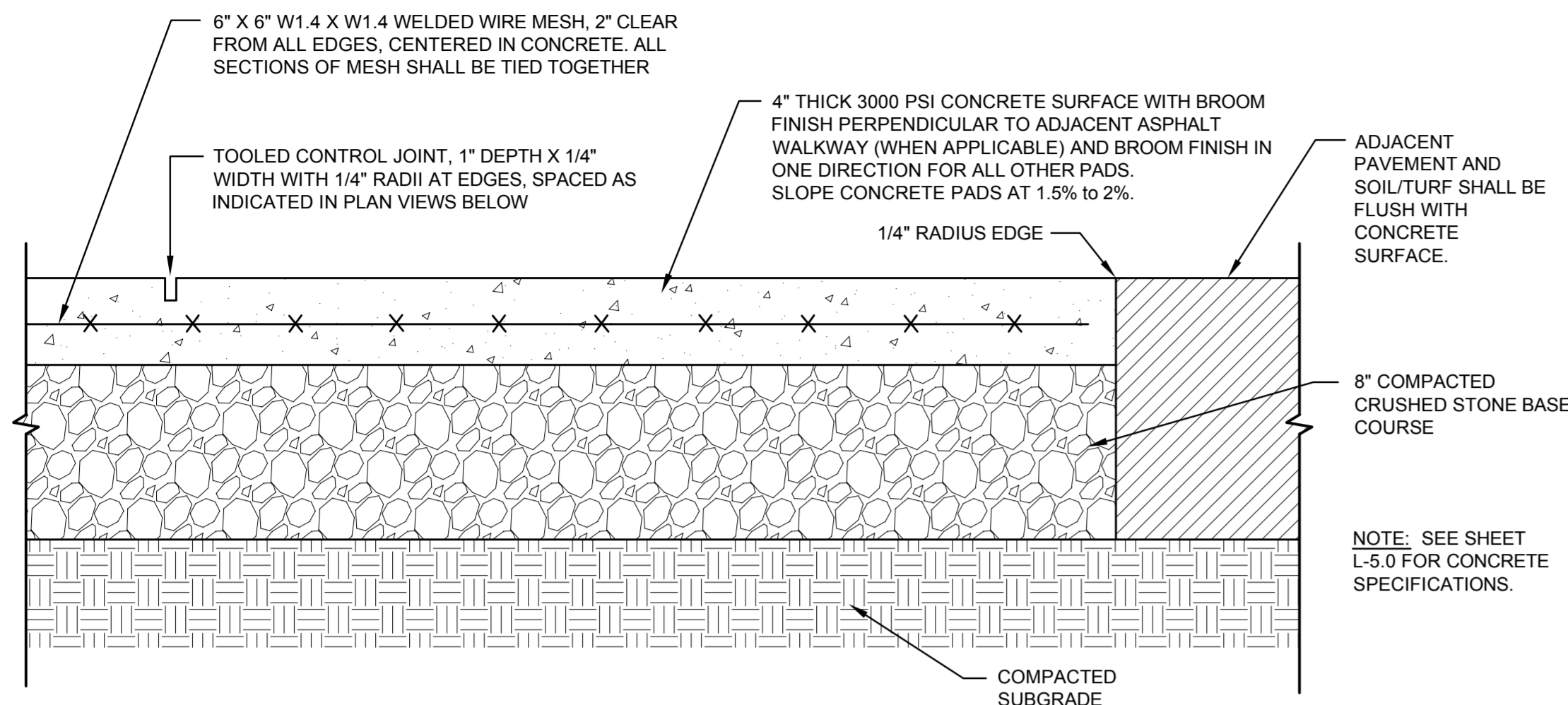
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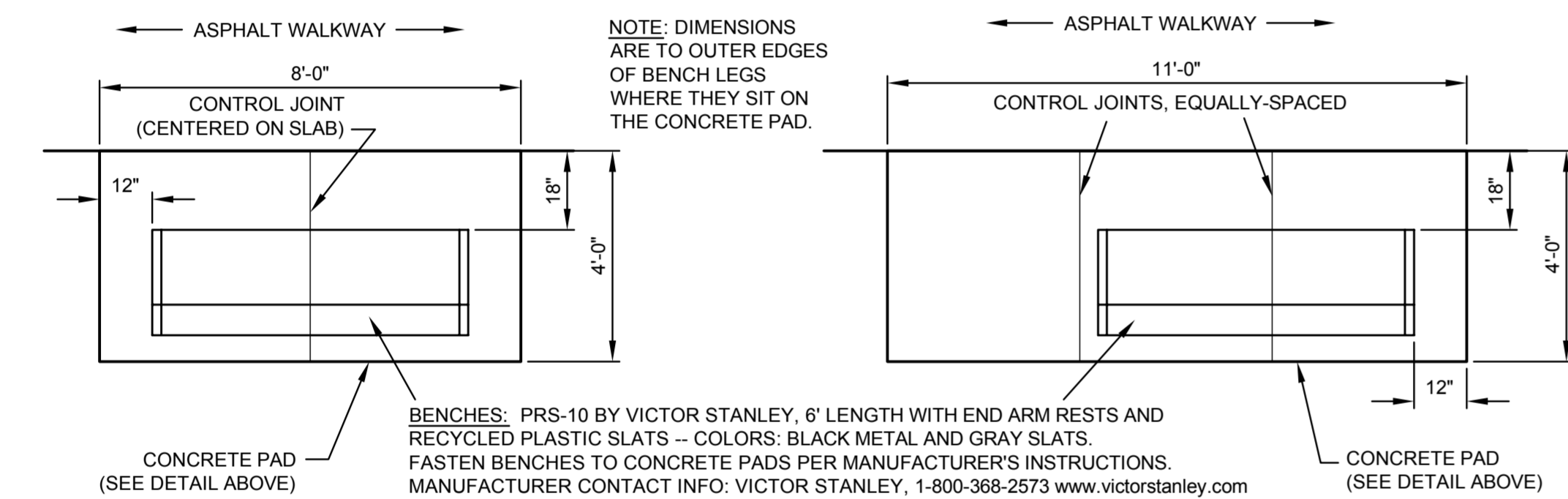
SITE PLAN OF LAND
 IN FRANKLIN, MASSACHUSETTS
 WASHINGTON STREET

QUINN ENGINEERING, INC.
 P.O. Box 107
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 (508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019
 LANDSCAPE PLAN
 SHEET L-2

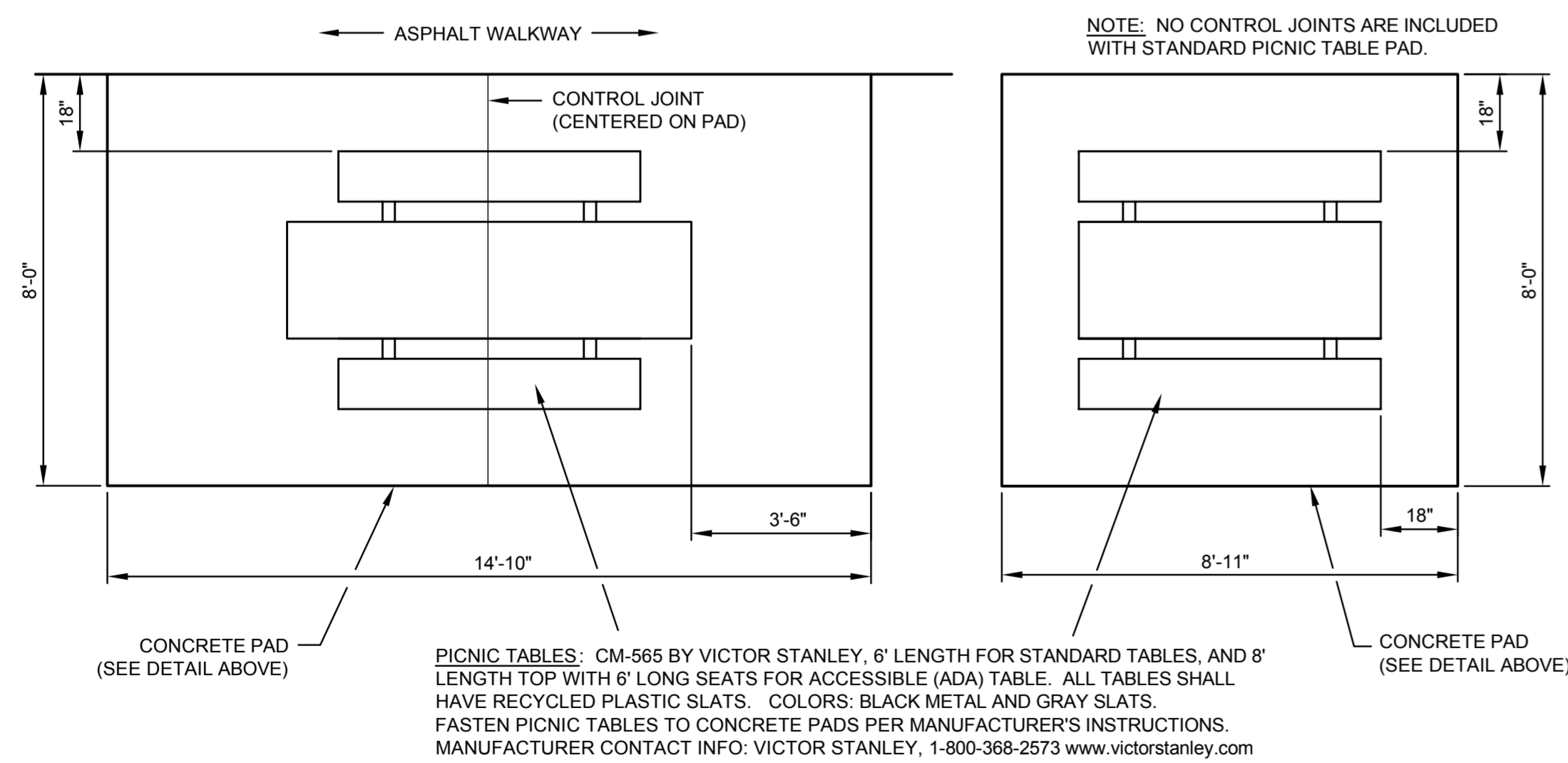


PORTLAND CEMENT CONCRETE PAVEMENT - FOR BENCH & PICNIC TABLE PADS
SECTION NOT TO SCALE



BENCH ON STANDARD PAD

BENCH ON ACCESSIBLE (ADA) PAD

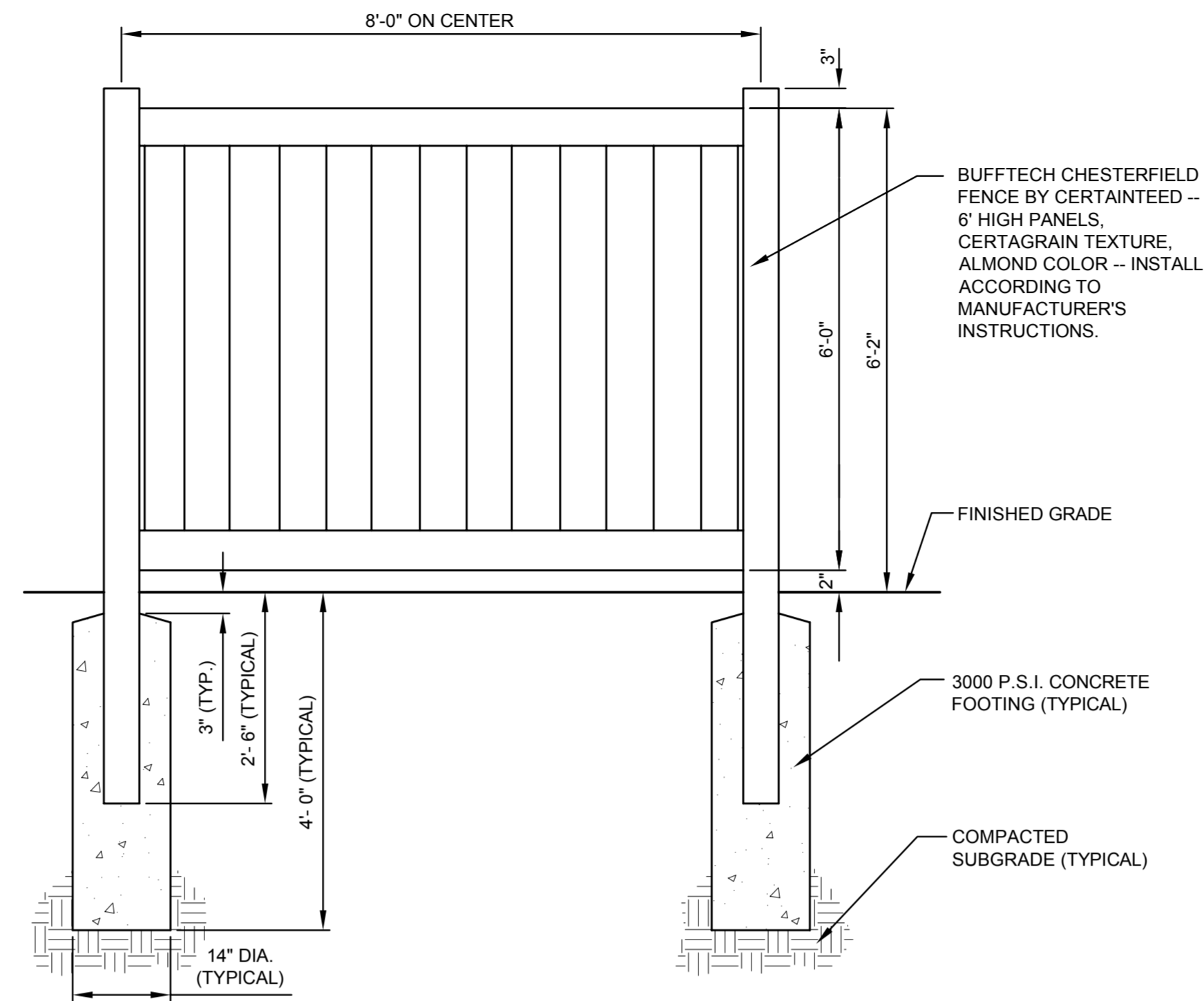


ADA PICNIC TABLE ON ACCESSIBLE PAD

STANDARD PICNIC TABLE ON PAD

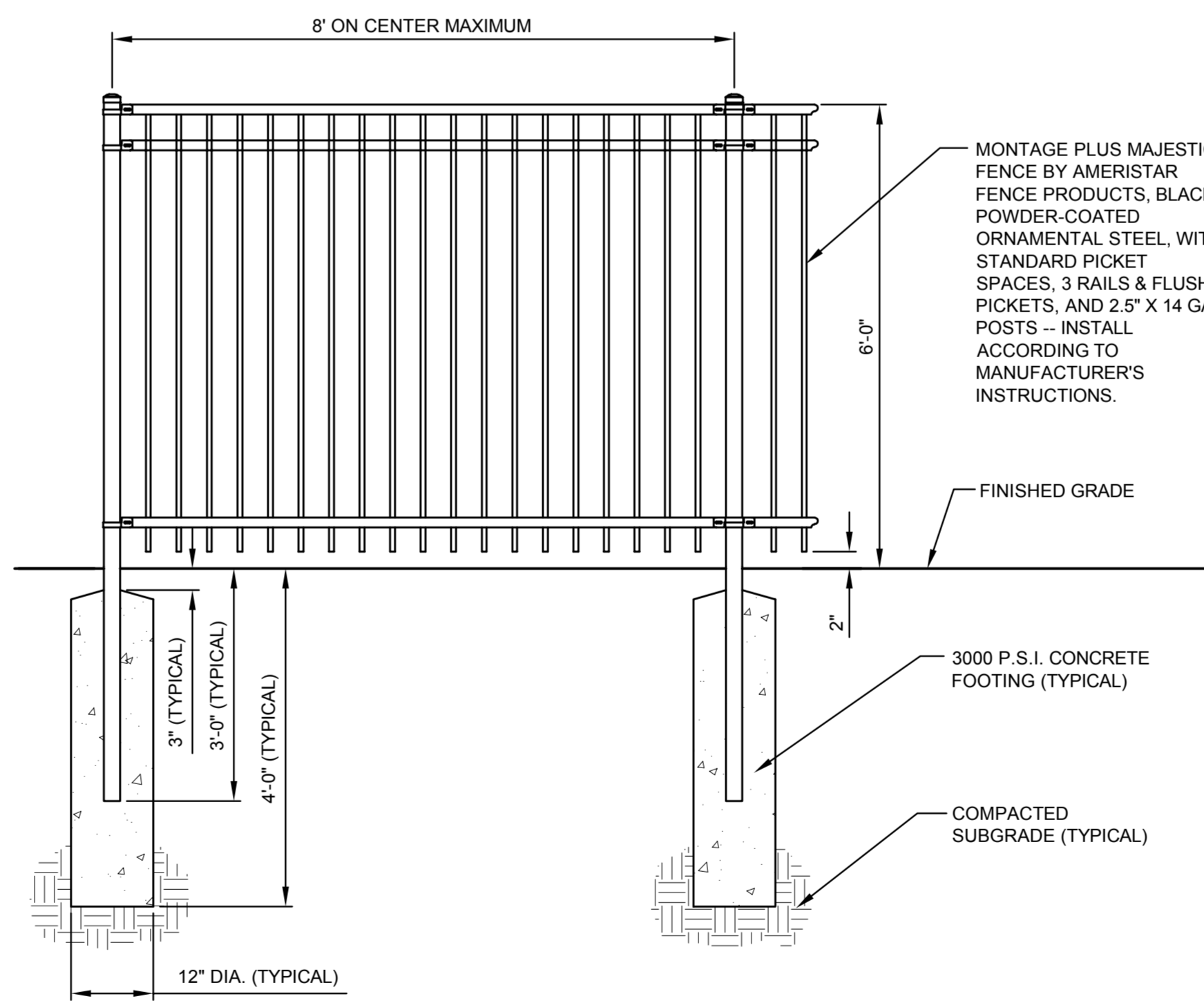
BENCHES AND PICNIC TABLES ON CONCRETE PADS

PLAN VIEW NOT TO SCALE



PRIVACY FENCING (AT SOME PROPERTY LINES)

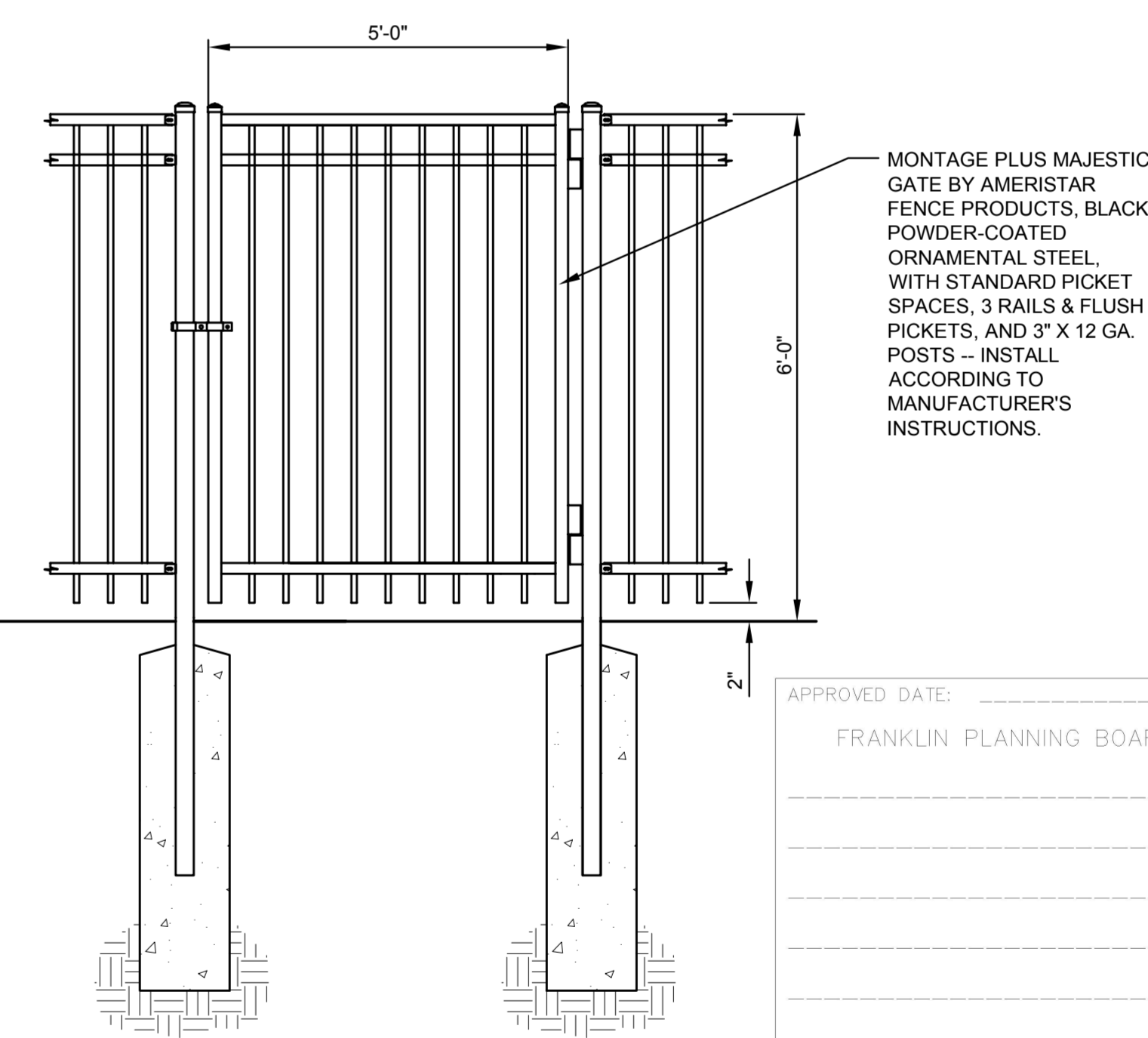
SECTION NOT TO SCALE



FENCE

DECORATIVE FENCING (AT COMMON AREA)

SECTION



GATE

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

NOT TO SCALE

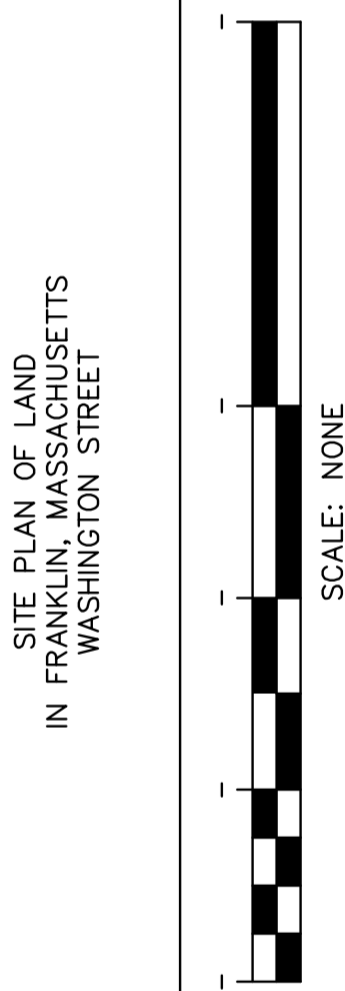


PLANNING BRD. REVISIONS	5-17-19	NO.	REVISION	DATE
1				



APPLICANT:
AMGEO, INC.
33 PERRY AVE.
ATTLEBORO, MA 02703

OWNER:
JAMES HESSON
MARGHERITA RAMMER
7410 BUCKLIN TRAIL NORTH
JACKSONVILLE, FL 32202



SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET

QUINN
ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1,
2019

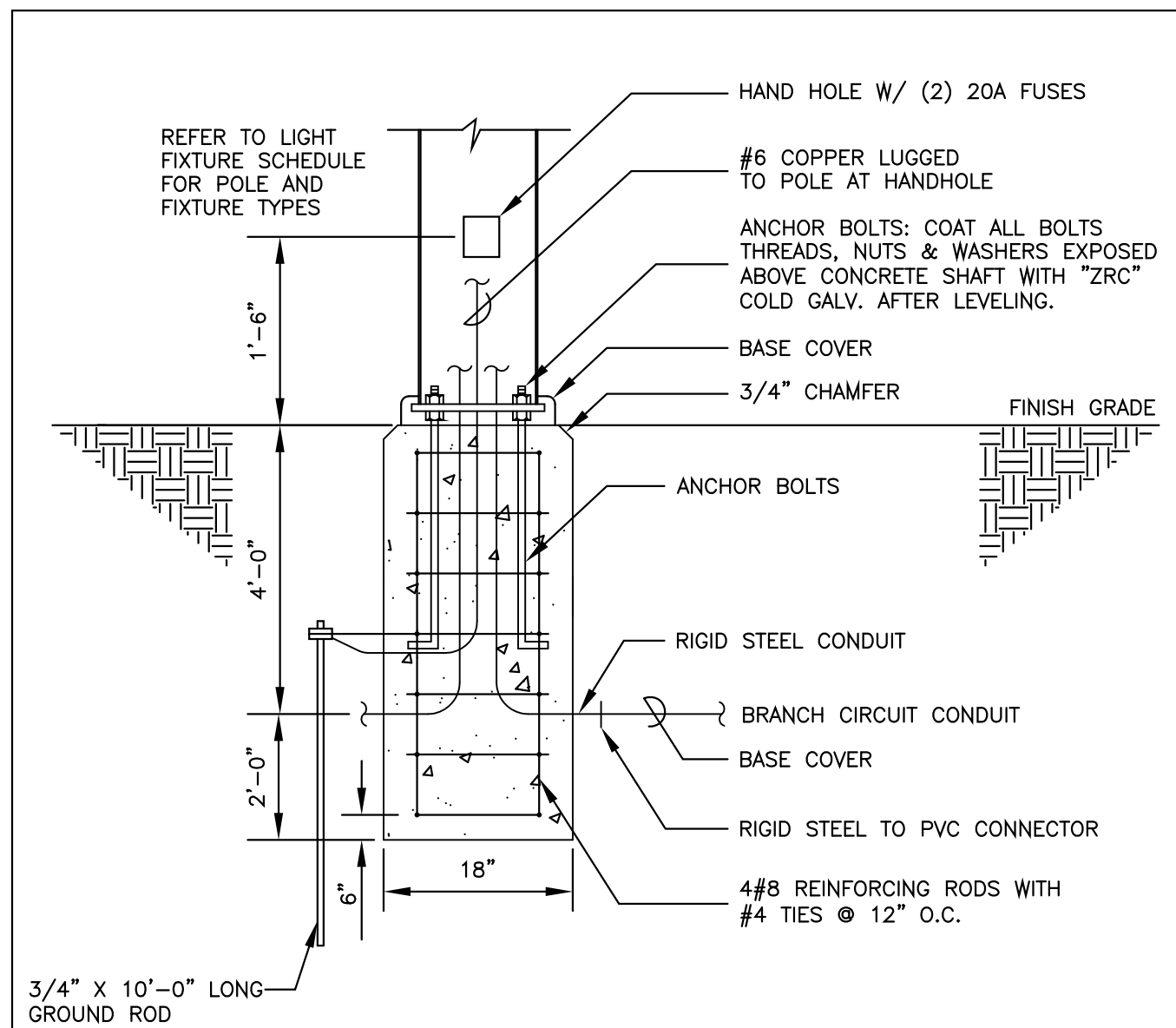
SITE AMENITY
DETAILS

SHEET L-4



N/F
SEIFERT
DEED BK 19012 PG 89

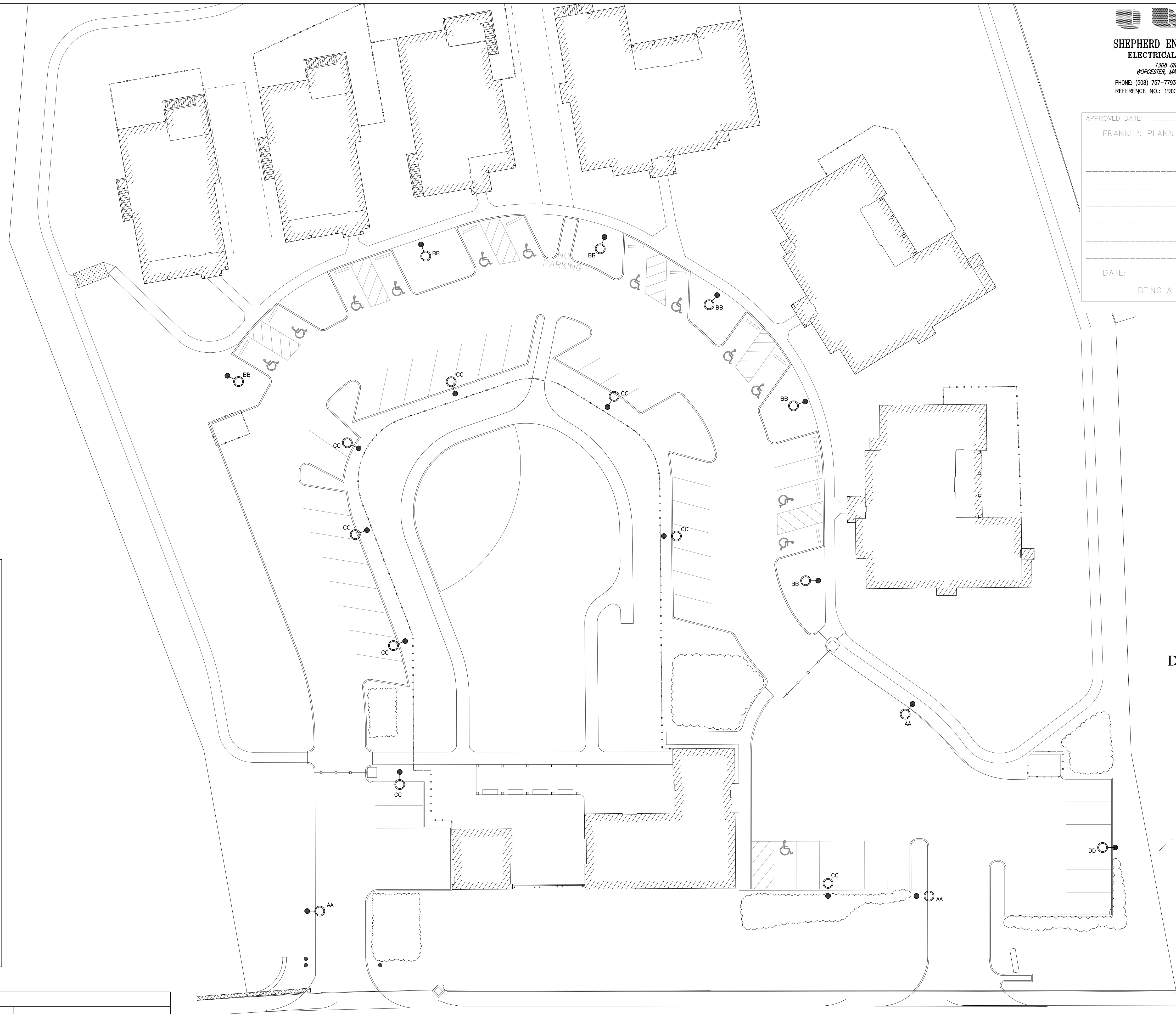
*TOPOGRAPHIC
INFORMATION ADDED
FROM FRANKLIN GIS
FOR THIS LOT



FLUSH MOUNTED CONCRETE BASE POLE DETAIL
NOT TO SCALE

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCHING, BACK FILL, PAVING, CONCRETE ENCASMENT. ELECTRICAL CONTRACTOR TO INSTALL CONDUITS, SPACERS, ETC.

LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOGUE #	LAMPING		MOUNTING	REMARKS
			TYPE	WATTAGE		
AA	INVUE LIGHTING	ECM-E02-LED-E1-SL3-VA6154-XX	LED	52W	POLE	
BB	INVUE LIGHTING	ECM-E02-LED-E1-SL3-HSS-VA6154-XX	LED	52W	POLE	
CC	INVUE LIGHTING	ECM-E02-LED-E1-SL4-VA6154-XX	LED	52W	POLE	
DD	INVUE LIGHTING	ECM-E02-LED-E1-SL4-HSS-VA6154-XX	LED	52W	POLE	
POLE	ULS	RSA-4121				4" O.D. ROUND 12'-0" POLE MOUNTED ON FLUSH BASE



WASHINGTON STREET

SITE PLAN- LIGHTING
Scale: 1"=20'-0"

SHEPHERD ENGINEERING, INC.
ELECTRICAL CONSULTANTS
1309 GRAFTON STREET
WORCESTER, MASSACHUSETTS 01604
PHONE: (508) 757-7793 • FAX: (508) 753-2309
REFERENCE NO.: 19033



APPROVED DATE: _____
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

NO.	REVISION	DATE
1	TOWN REVIEW	06/03/19

KEVIN J. QUINN CIVIL #3392

USPI DATE: _____
AMERICAN ENGINEERING INC.
33 PERRY AVE
ATTLEBORO, MA 02703
OWNER: JAMES HESSON
MARGHERITA RAMMER
7410 BUCKLIN TRAIL NORTH
JACKSONVILLE, FL 32202



QUINN ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019
SITE PLAN- LIGHTING
ES.1

N/F
SEIFERT
DEED BK 19012 PG 89

SHEPHERD ENGINEERING, INC.
ELECTRICAL CONSULTANTS
1309 GRAFTON STREET
WORCESTER, MASSACHUSETTS 01604
PHONE: (508) 757-7793 • FAX: (508) 753-2309
REFERENCE NO.: 19033



APPROVED DATE: _____
FRANKLIN PLANNING BOARD

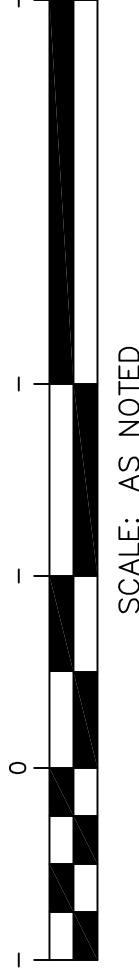
DATE: _____
BEING A MAJORITY

NO.	REVISION	DATE
1	TOWN REVIEW REVIS	06/03/19

KEVIN J. QUINN CIVIL #3392

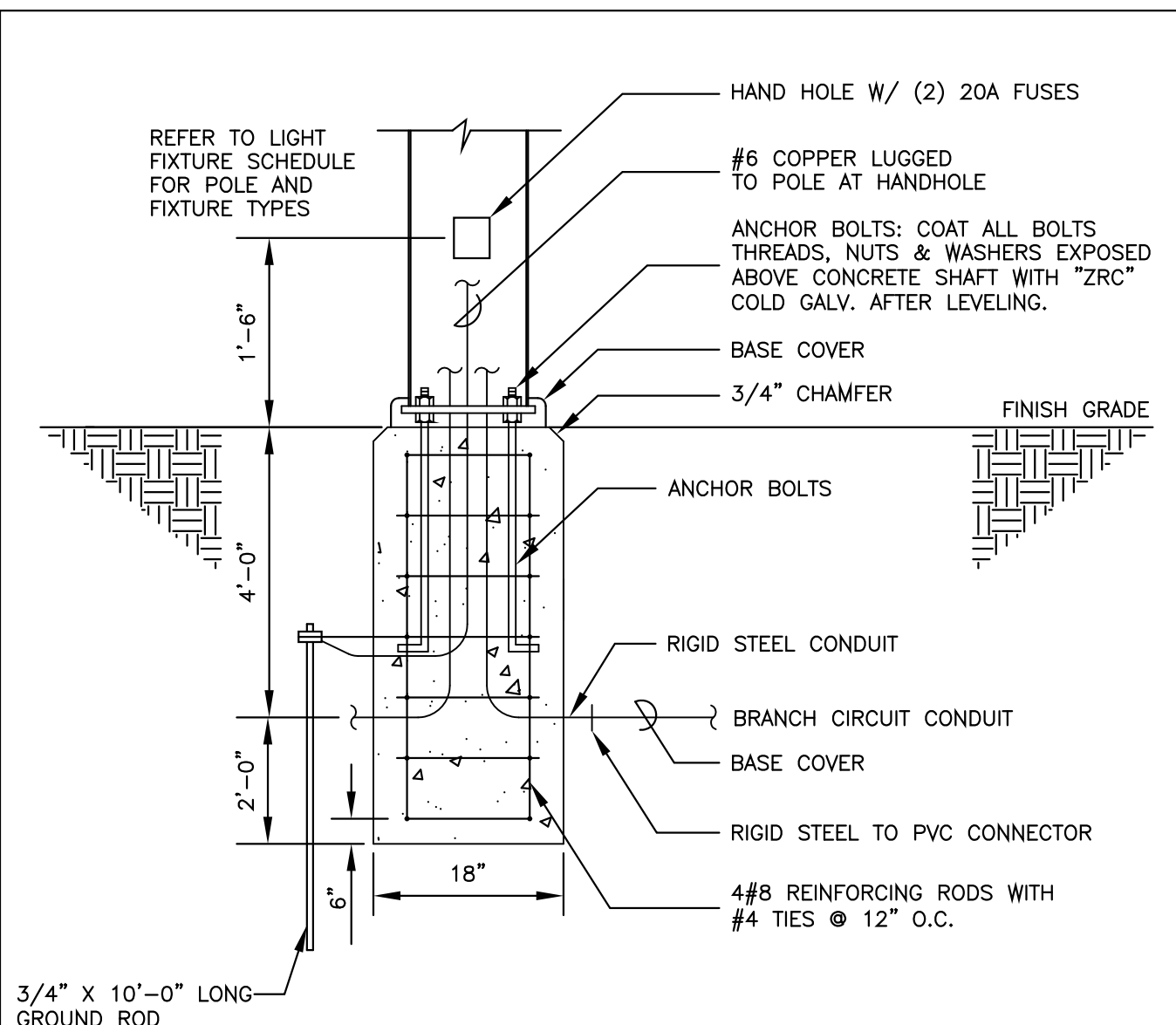
UPPER CANAL
AMERICAN
33 PERRY AVE
ATTLEBORO, MA 02703
OWNER: JAMES HESSON
MARGHERITA RAMMER
7410 BUCKLIN TRAIL NORTH
JACKSONVILLE, FL 32202

SITE PLAN OF LAND
IN FRANKLIN, MASSACHUSETTS
WASHINGTON STREET



SCALE: AS NOTED

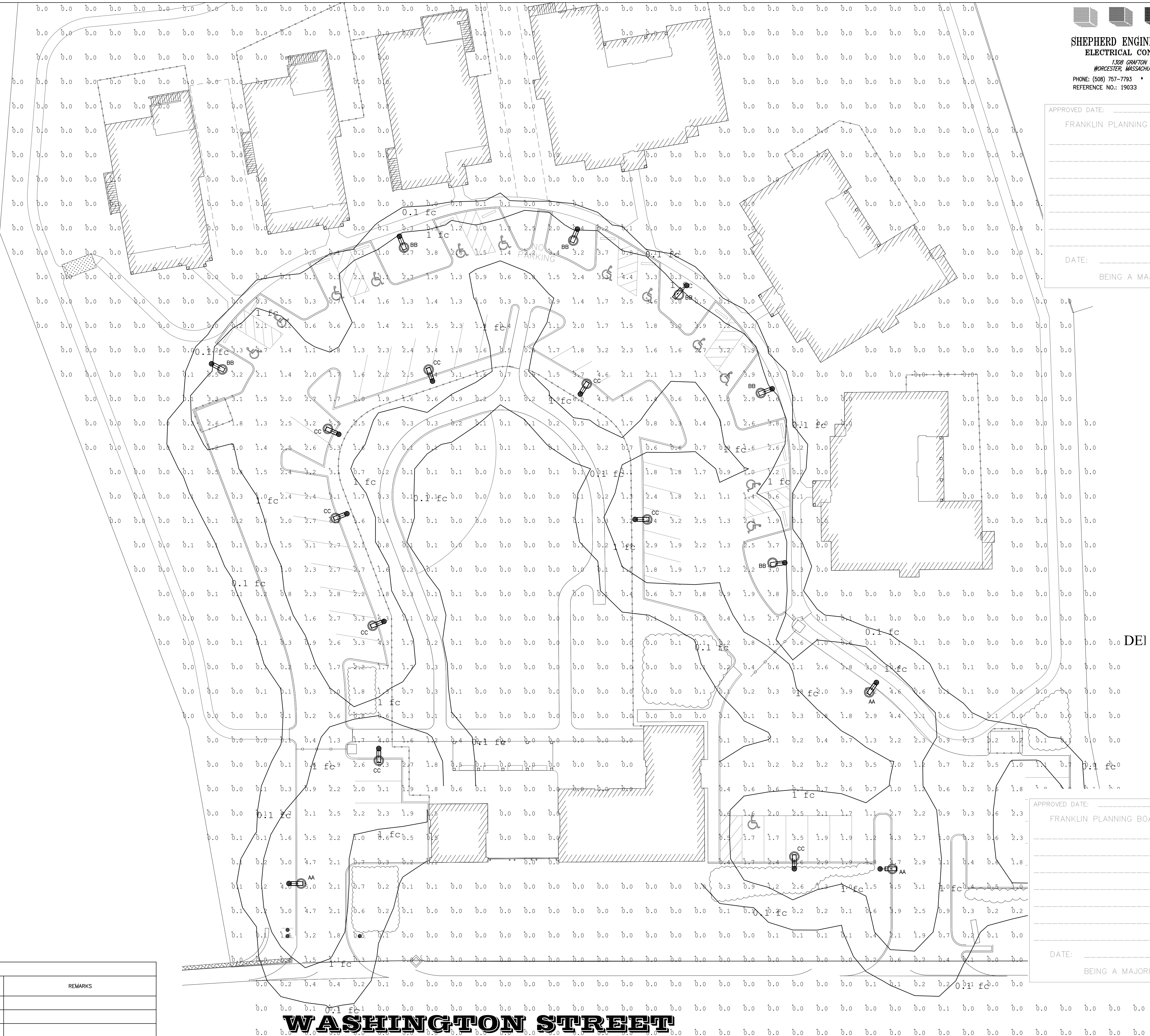
*TOPOGRAPHIC
INFORMATION ADDED
FROM FRANKLIN GIS
FOR THIS LOT



FLUSH MOUNTED CONCRETE BASE POLE DETAIL
NOT TO SCALE

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCHING, BACK FILL, PAVING, CONCRETE ENGASEMENT. ELECTRICAL CONTRACTOR TO INSTALL CONDUITS, SPACERS, ETC.

LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOGUE #	LAMPING		MOUNTING	REMARKS
			TYPE	WATTAGE		
AA	INVUE LIGHTING	ECM-E02-LED-E1-SL3-VA6154-XX	LED	52W	POLE	
BB	INVUE LIGHTING	ECM-E02-LED-E1-SL3-HSS-VA6154-XX	LED	52W	POLE	
CC	INVUE LIGHTING	ECM-E02-LED-E1-SL4-VA6154-XX	LED	52W	POLE	
DD	INVUE LIGHTING	ECM-E02-LED-E1-SL4-HSS-VA6154-XX	LED	52W	POLE	
POLE	ULS	RSA-4121				4" O.D. ROUND 12'-0" POLE MOUNTED ON FLUSH BASE



WASHINGTON STREET

SITE PLAN- PHOTOMETRIC LIGHTING
Scale: 1"=20'-0"

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

DATE: _____
BEING A MAJORITY

QUINN ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 1, 2019
SITE PLAN- PHOTOMETRIC LIGHTING
ES.2



**FRANKLIN PLANNING & COMMUNITY
DEVELOPMENT**

355 EAST CENTRAL STREET, ROOM 120
FRANKLIN, MA 02038-1352
TELEPHONE: 508-520-4907

MEMORANDUM

DATE: September 17, 2020
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: Washington Street - Amego
Site Plan

General

1. The applicant has submitted Final Plans for endorsement for a Site Plan known as “Washington Street”.
2. The Planning Board approved the Site Plan on June 17, 2019.
3. The applicant has referenced the Certificate of Vote and Conditions of Approval on the front page of the plans. The Applicant has included color renderings, that were recommended to the Board by Design Review Commission.
4. An Endorsement box has been added to the Site Plan on all pages.

Recommendation

DPCD recommends **endorsement** of the Site Plan.



FRANKLIN PLANNING & COMMUNITY DEVELOPMENT

355 EAST CENTRAL STREET, ROOM 120
FRANKLIN, MA 02038-1352
TELEPHONE: 508-520-4907
FAX: 508-520-4906

MEMORANDUM

DATE: September 16, 2020
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: Bond Release - Retainage
Sandy Knoll Estates

General

1. The Planning Board voted at the June 8, 2020 to release all Bond monies except \$10,000, to be retained until the plans are filed at the Registry of Deeds. Plans are filed after the Town Council accepts the roadway. There are several steps, as outlined below, before the Town Council accepts the roadway.
2. The Planning Board requested this be reviewed in 3 months.
3. Due to COVID and the Registry of Deeds being closed, there has been no progress on the moving forward with the road acceptance at the Town Council level.
4. The remaining bond of \$10,000 is for the as-built costs for the plans as outlined below:
 - a. Silver Fox 0+00-0+12 Bond Amount \$136,673 - **\$4,000** was to be held for As-Built Completion
 - b. Cotton Tail 5+00-10+50 Bond Amount \$24,050 - **\$2,000** was to be held for As-Built Completion
 - c. Blueberry Land 13+00-20+50 Bond Amount \$22,860 – No As-Built line item
 - d. Cotton Tail 0+00-5+00 Bond Amount \$10,000 - **\$4,000** was to be held for As-Built Completion
5. The Town Attorney still has the following outstanding items to complete:
 - Review acceptance plan(s)/ review with Mike from title/Registry compliance standpoint.
 - Receipt and review of deed, transfer doc(s) from developer's atty.
 - Depending upon acceptance process being used, possible notice to abutters
 - Prepare Town Council acceptance resolution
 - Place on Town Council agenda for public hearing (prior newspaper notice of hearing), legislation for action (acceptance resolution)

Summary

- DPCD recommends holding \$10,000 until streets are accepted by Town Council and recorded at the Registry of deeds.

CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Type of Plan (circle one) ANR 81-P; Preliminary Subdivision

Definitive Subdivision.; Site Plan; Special Permit

Title of Plan: Plan of Land 300 West Central Street Franklin Massachusetts

Date of Plan: September 2, 2020 Assessor's Information: 278-035-000-000

Prepared by: Guerriere & Halnon, Inc.

Applicant Name & Address: Joel D'Errico
72 Deerview Way
Franklin, MA 02038

SECTION B:

Name of Record Owner(s): Foley Family Trust, Dennis R. Foley, Trustee

Address of Record Owner(s): 300 West Central Street

Franklin, MA 02038

****Attach Property Deed matching the owner name's listed above.**

*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s): Dennis R. Foley

*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation:

Dennis R. Foley and David A. Foley

*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation:

October 31, 2012, Deed Bk. 30650 Pg. 16

Executed as a sealed instrument this 3rd day of September 2020

[Signature]

Signature of Applicant

Joel D'Errico

Print name of Applicant

[Signature]

Signature of Owner

Dennis R. Foley

Print name of Owner

COMMONWEALTH OF MASSACHUSETTS

Norfolk ss.

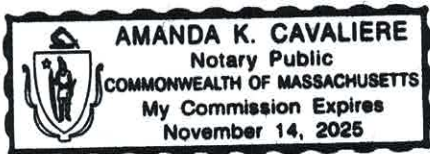
2020

On this 3rd day of September 2020, before me, the undersigned notary public, personally appeared Dennis Foley (name of owner), proved to me through satisfactory evidence of identification, which were SC Licence to be the person whose name is signed on the preceding document in my presence.

Amanda K. Cavaliere
(Official signature and seal of notary)

Notary Public:

My Commission Expires: Nov. 14, 2025



PLANNING BOARD
FRANKLIN, MASSACHUSETTS

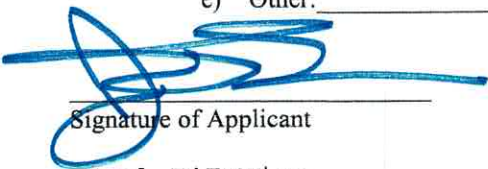
FORM A
APPLICATION FOR ENDORSEMENT OF PLAN BELIEVED
NOT TO REQUIRE APPROVAL (81-p)

September 3, 2020

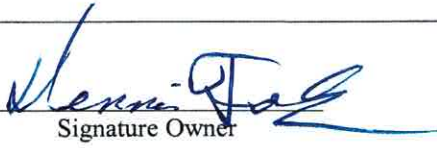
To the Planning Board of the Town of Franklin, Massachusetts:

The undersigned, believing that the accompanying plan of land in the Town of Franklin does not constitute a subdivision within the meaning of the Subdivision Control Law, for the reason outlined below, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

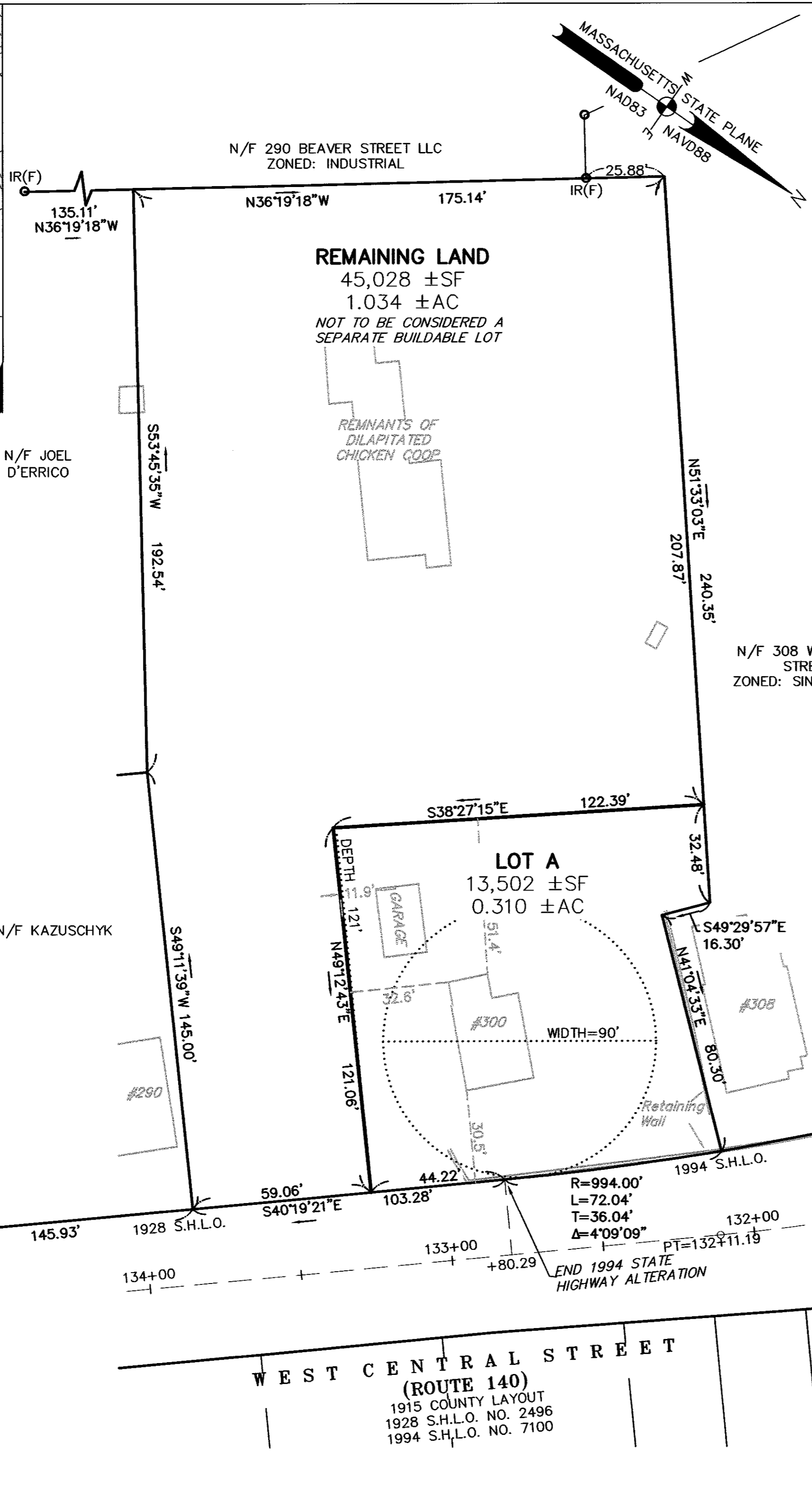
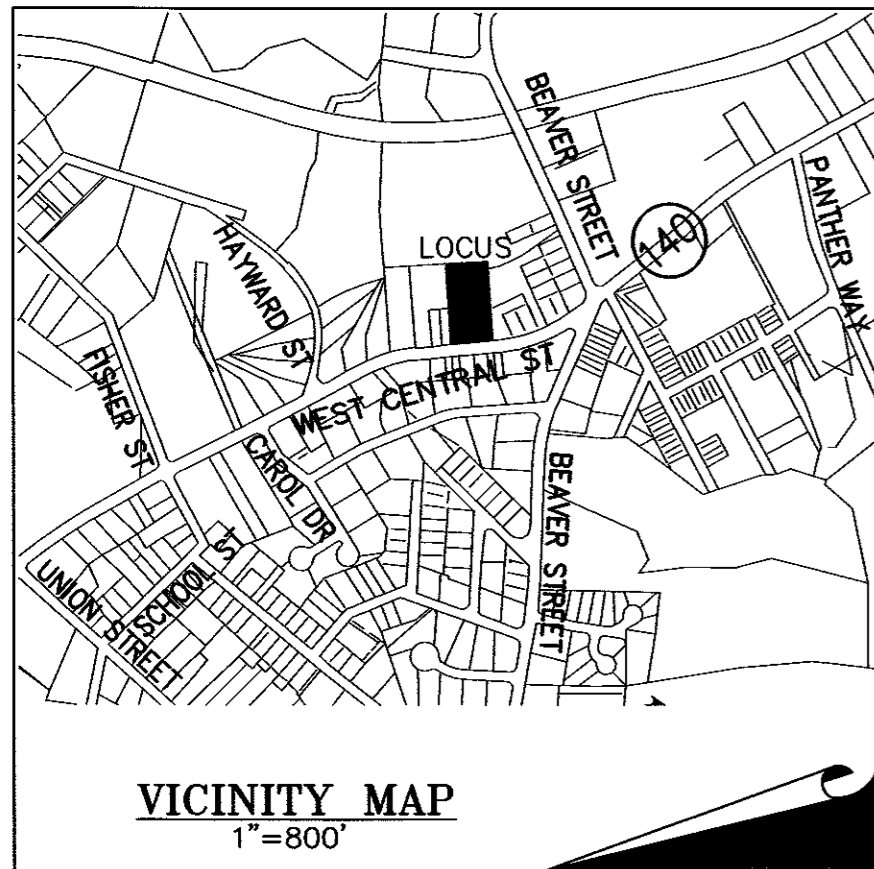
1. Name of Applicant: Joel D'Errico
Address of Applicant: 72 Deerview Way, Franklin, MA 02038
Phone No.: 508-439-0022 Email: joelwderrico@gmail.com
2. Name of Owner (if not the Applicant): Foley Family Trust, Dennis R. Foley, Trustee
Address of Owner: 300 West Central Street, Franklin, MA 02038
Phone No.: 781-738-6948 Email: dfoley1@hotmail.com
3. Name of Engineer: Guerriere & Halnon, Inc.
4. Deed of Property recorded in 07-17-2015 with Norfolk Registry, Book 33317, Page 159
5. Location and Description of Property: 300 West Central Street
6. Assessor's Map & Lot: 278-035-000-000
7. Reasons approval is not required (check as applicable):
 - a) Every lot shown has the area and frontage required by the Zoning By-Law on a way as defined by the Subdivision Regulations _____
 - b) a public way or way which the Town Clerk certifies is maintained and used as a public way, namely West Central Street, or
 - c) a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, namely _____ on _____, and subject to the following conditions _____; or
 - d) a private way in existence on March 12, 1954, the date when the subdivision control law became effective in the Town of Franklin having, in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.
 - e) Other: _____


Signature of Applicant

Joel D'Errico
Print Name of Applicant


Signature Owner

Dennis R. Foley
Print Name of Owner



PLANNING BOARD ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH THE ZONING BYLAW.

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED

FRANKLIN PLANNING BOARD

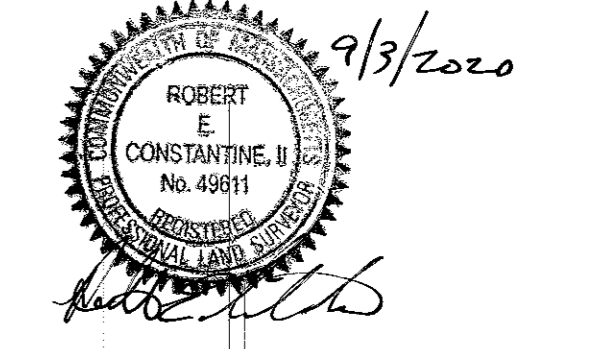
DATE: _____

REGISTRY USE ONLY

F3988

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

THIS IS NOT A CERTIFICATION AS TO THE TITLE OR OWNERSHIP OF THE LAND SHOWN HEREON.



GENERAL RESIDENTIAL V
FRANKLIN ZONING BYLAW SECTION 185
ATTACHMENT 9; LAST AMENDED
3-13-2019 BY AMENDMENT 19-831

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT FRONTAGE	100'
MINIMUM LOT DEPTH	100'
MINIMUM LOT WIDTH	90'
MINIMUM YARDS	
FRONT	20'
SIDE	15'
REAR	20'
% OF LOT UPLAND COVERED BY:	
STRUCTURES	30
STRUCTURES+PAVING	35

OWNER

FOLEY FAMILY TRUST
DENNIS R FOLEY, TRUSTEE
300 WEST CENTRAL STREET
FRANKLIN, MA 02038
A.M. 278 LOT 35
DEED BK 33317 PG 159

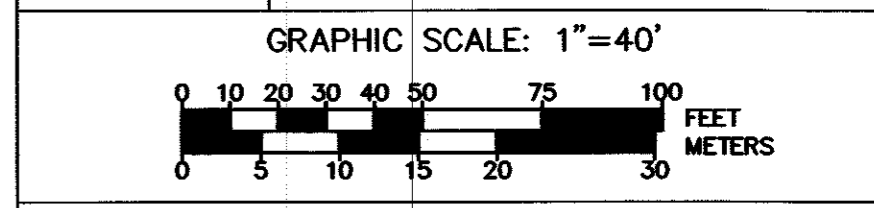
APPLICANT

JOEL D'ERRICO
72 DEERVIEW WAY
FRANKLIN, MA 02038

PLAN OF LAND
300 WEST CENTRAL STREET
FRANKLIN
MASSACHUSETTS

SEPTEMBER 2, 2020

DATE	REVISION DESCRIPTION



Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

K:\F3988.dwg F3988-LDD2009-ANR.dwg, 9/3/2020 2:35:27 PM, [REC]



FRANKLIN PLANNING & COMMUNITY DEVELOPMENT

355 EAST CENTRAL STREET
FRANKLIN, MA 02038-1352
TELEPHONE: 508-520-4907
FAX: 508-520-4906

MEMORANDUM

DATE: September 16, 2020
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 81-P ANR – 300 West Central Street

The DPCD has reviewed the above referenced 81-P (ANR) application for the Monday, September 21, 2020 Planning Board meeting and offers the following commentary:

General

1. The applicant has submitted a Form A application for 81-P Plan Review to accompany the plan titled “Plan of Land, 300 West Central Street, Franklin, Massachusetts” dated September 2, 2020.
2. The purpose of the plan is to move existing lot lines and create 2 conforming lots.
3. The above application depicts a location within the General Residential V Zoning District. The proposed lot shown conforms to lot requirements associated with this zoning district.
 - Minimum Lot area: 10,000 s.f.
 - Minimum Frontage: 100’
 - Lot Width: 90’
4. The above application depicts the land known on Assessors Map 278 Lot 035.

ANR Summary

DPCD has no further comments.

PLANNING BOARD
FRANKLIN, MASSACHUSETTS

FORM A
APPLICATION FOR ENDORSEMENT OF PLAN BELIEVED
NOT TO REQUIRE APPROVAL (81-p)

September 1, 2020

To the Planning Board of the Town of Franklin, Massachusetts:

The undersigned, believing that the accompanying plan of land in the Town of Franklin does not constitute a subdivision within the meaning of the Subdivision Control Law, for the reason outlined below, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

1. Name of Applicant: MCP III 176 Grove LLC & MCP III 210 Grove LLC
Address of Applicant: 260 Franklin St, Ste 620, Boston, MA 02110
Phone No.: _____ Email: ireilly@marcuspartners.com
2. Name of Owner (if not the Applicant): Same as applicant
Address of Owner: _____
Phone No.: _____ Email: _____
3. Name of Engineer: Kelly Engineering Group, Inc.
4. Deed of Property recorded in See below with Norfolk Registry, Book _____, Page _____
5. Location and Description of Property: 176 & 210 Grove St
6. Assessor's Map & Lot: Parcel ID 311-001 & Parcel ID 311-002
7. Reasons approval is not required (check as applicable):
 - a) Every lot shown has the area and frontage required by the Zoning By-Law on a way as defined by the Subdivision Regulations _____
 - b) a public way or way which the Town Clerk certifies is maintained and used as a public way, namely Grove Street, or
 - c) a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, namely _____ on _____, and subject to the following conditions _____; or
 - d) a private way in existence on March 12, 1954, the date when the subdivision control law became effective in the Town of Franklin having, in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.

e) Other: _____

Signature of Applicant

Signature Owner

Edward V. Cannon, Jr.

Print Name of Applicant

Att'y for Applicants below

Edward V. Cannon, Jr.

Print Name of Owner

Att'y for Owners below

MCP III 176 Grove LLC recorded in Norfolk County Registry in Deed Book: 37261 Page 339

MCP III 210 Grove LLC recorded in Norfolk County Registry Land Court section with Certificate 201486

176

CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Type of Plan (circle one) ANR 81-P Preliminary Subdivision

Definitive Subdivision.; Site Plan; Special Permit

Title of Plan: 176-210 Grove Street

Date of Plan: _____ Assessor's Information: 311-001-000-000

Prepared by: Kelly Engineering Group

Applicant Name & Address: MCP III 176 Grove LLC
c/o Marcus Partners, Inc
260 Franklin St, Ste. 620
Boston, MA 02110

SECTION B:

Name of Record Owner(s): SAME AS ABOVE

Address of Record Owner(s): SAME AS ABOVE

****Attach Property Deed matching the owner name's listed above.**

*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):

See Foreign LLC Application for Registration attached hereto.

*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation:

*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation:

Sept. 10, 2019 - Delaware

Executed as a sealed instrument this

1st day of Sept. 2020

[Signature]
Signature of Applicant

DAVID N. HOOKE, SUP
Print name of Applicant

[Signature]
Signature of Owner

DAVID N. HOOKE, SUP
Print name of Owner

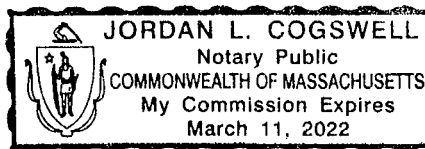
COMMONWEALTH OF MASSACHUSETTS

_____ ss.

20 20

On this 1st day of SEPTEMBER 20 20, before me, the undersigned notary public, personally appeared DAVID HOOKE (name of owner), proved to me through satisfactory evidence of identification, which were KNOWN PERSONALLY to be the person whose name is signed on the preceding document in my presence.

[Signature]
(Official signature and seal of notary)
Notary Public:
My Commission Expires: 3.11.22



210

CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Type of Plan (circle one) ANR 81-P Preliminary Subdivision

Definitive Subdivision.; Site Plan; Special Permit

Title of Plan: 176-210 Grove Street

Date of Plan: _____ Assessor's Information: 311-002-000-000

Prepared by: Kelly Engineering Group

Applicant Name & Address: MCP III 210 Grove LLC
c/o Marcus Partners, Inc.
260 Franklin St., Ste. 620
Boston, MA 02110

SECTION B:

Name of Record Owner(s): SAME AS ABOVE

Address of Record Owner(s): SAME AS ABOVE

****Attach Property Deed matching the owner name's listed above.**

*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):

See Foreign LLC Application for Registration attached hereto.

*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation:

*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation:

Oct. 16, 2019 - Delaware

Executed as a sealed instrument this 1st day of Sept. 2020

David R. Hooke
Signature of Applicant

DAVID R. HOOKE, SUP
Print name of Applicant

David R. Hooke
Signature of Owner

DAVID R. HOOKE, SUP
Print name of Owner

COMMONWEALTH OF MASSACHUSETTS

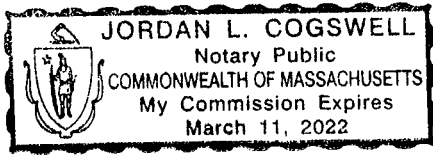
_____ ss.

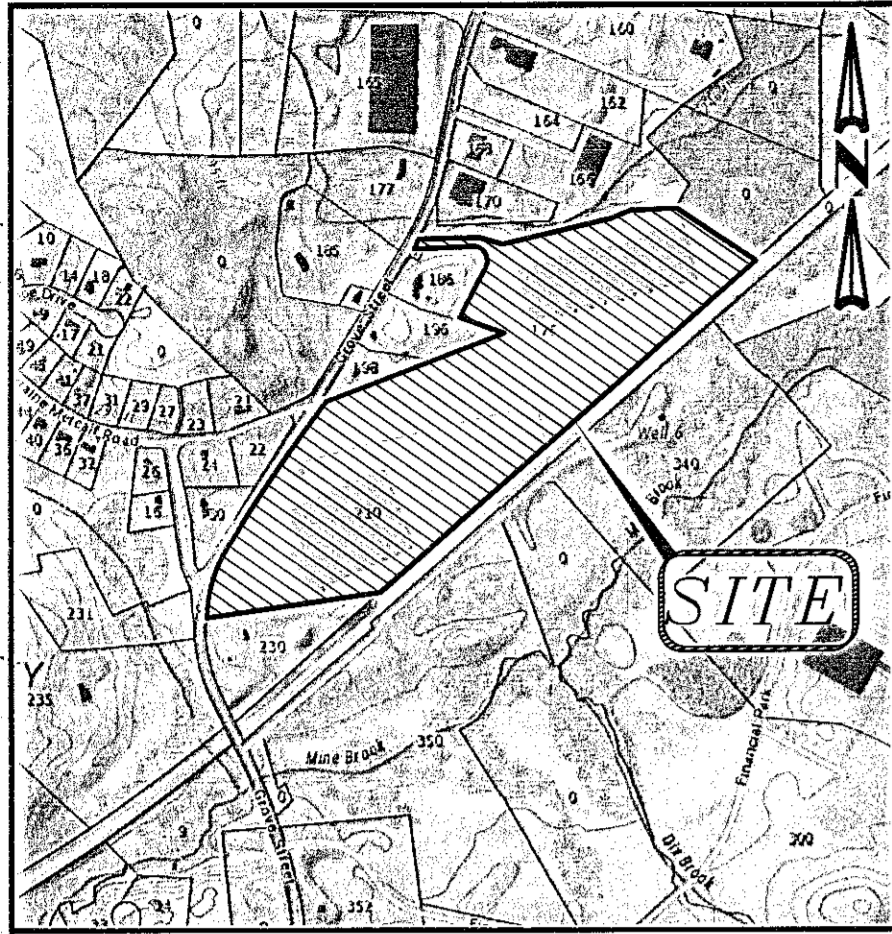
2020

On this 1st day of SEPTEMBER 2020, before me, the undersigned notary public, personally appeared DAVID HOOKE (name of owner), proved to me through satisfactory evidence of identification, which were KNOWN PERSONALLY to be the person whose name is signed on the preceding document in my presence.

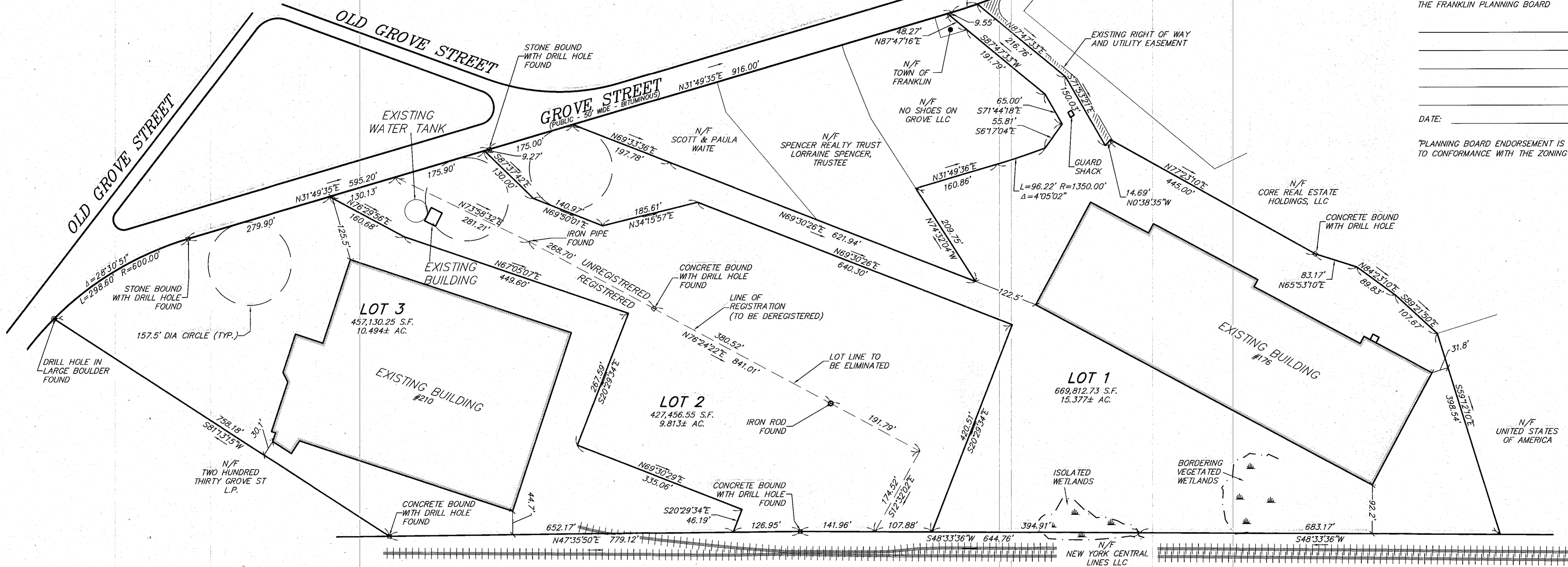
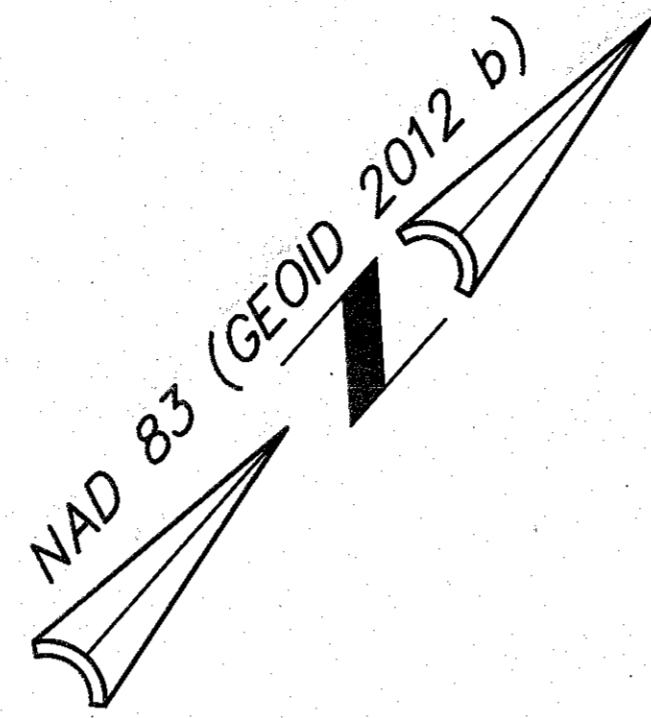
JL
(Official signature and seal of notary)

Notary Public:
My Commission Expires: 3.11.22





LOCUS MAP
(NOT TO SCALE)



APPROVAL NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED
THE FRANKLIN PLANNING BOARD

DATE: _____

"PLANNING BOARD ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH THE ZONING BYLAW."

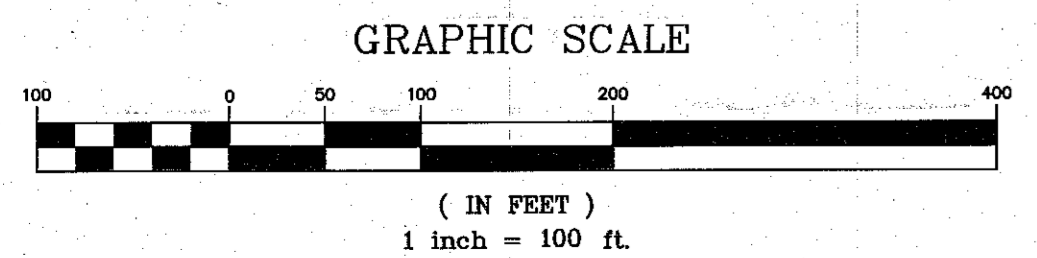
CURRENT OWNER:
210 GROVE ST
CURRENT OWNER: MCP III 210 GROVE LLC
C/O MARCUS PROPERTIES INC.
PARCEL ID: 311-002

176 GROVE ST
CURRENT OWNER: MCP III 176 GROVE LLC
C/O MARCUS PARTNERS INC.
PARCEL ID: 311-001

NOTES:
1.) THE PURPOSE OF THIS PLAN IS TO CREATE LOTS 1, 2, AND 3.
2.) THE SITE DETAIL AND SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN ON THE GROUND SURVEY PERFORMED BY KELLY ENGINEERING GROUP IN NOVEMBER AND DECEMBER OF 2019.
3.) WETLAND AREAS SHOWN WERE FLAGGED BY ECOTEC, INC AND WERE LOCATED BY KELLY ENGINEERING GROUP, INC.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

STEVEN M. HORSFALL
STEVEN M. HORSFALL, P.L.S. DATE: 9-1-2020



SCALE	1" = 100'
DATE	09/01/20
REV	DATE REVISION BY
SHEET	1 OF 1
FILE #	ANR01
JOB #	2019-127
DRAWN BY	JPM
CHKD BY	SMH
APPD BY	SMH
176-210 GROVE STREET FRANKLIN, MASSACHUSETTS APPROVAL NOT REQUIRED PLAN	
KELLY ENGINEERING GROUP civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-843-4333 www.kellyengineeringgroup.com	
SHEET NO.	1



FRANKLIN PLANNING & COMMUNITY DEVELOPMENT

355 EAST CENTRAL STREET
FRANKLIN, MA 02038-1352
TELEPHONE: 508-520-4907
FAX: 508-520-4906

MEMORANDUM

DATE: September 16, 2020
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 81-P ANR – 176-210 Grove Street

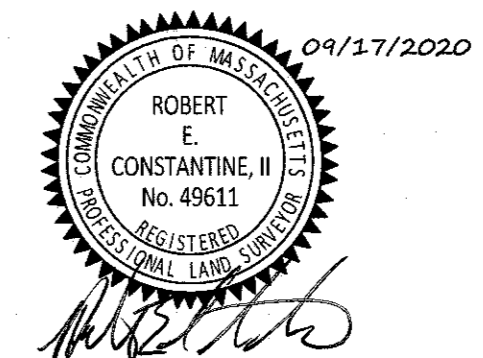
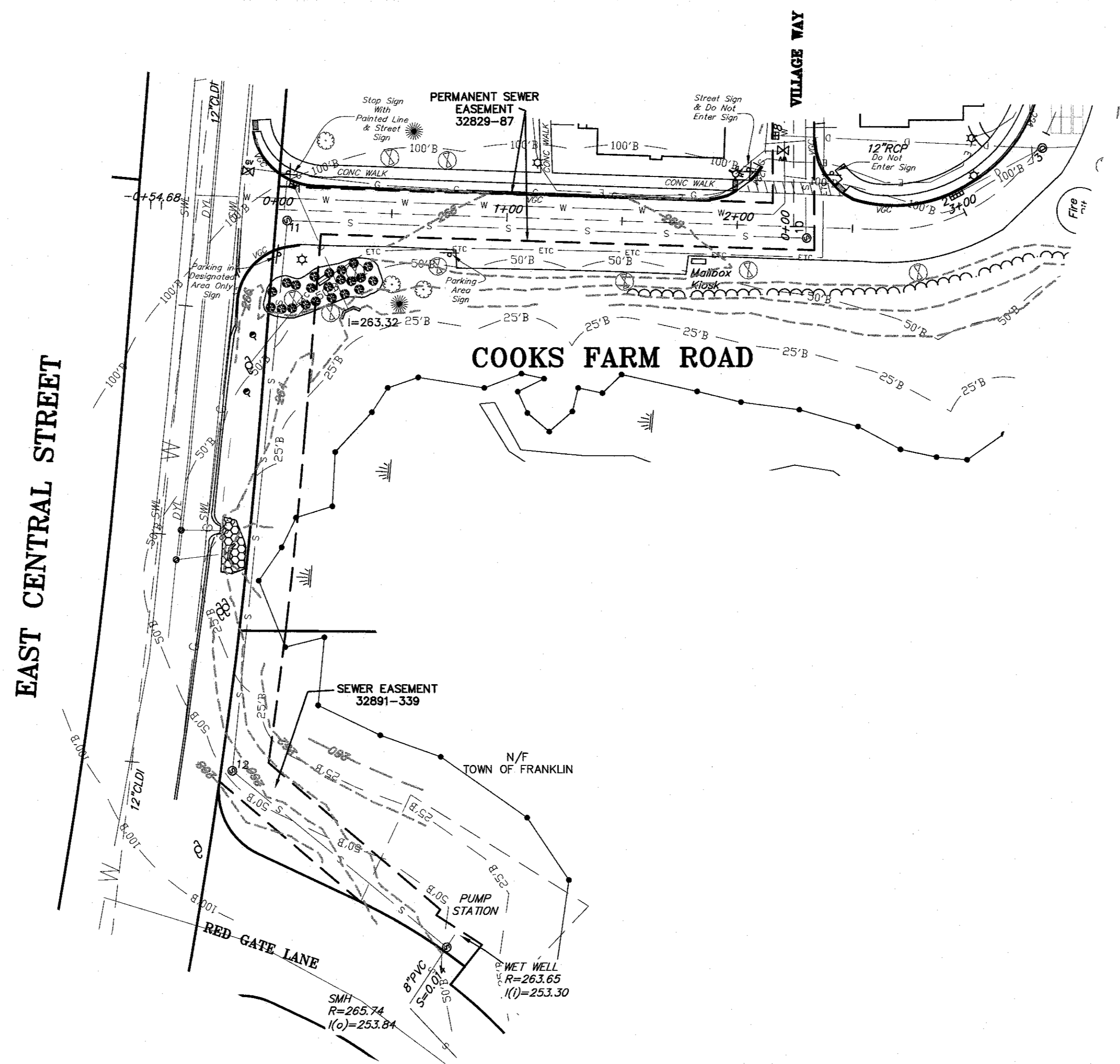
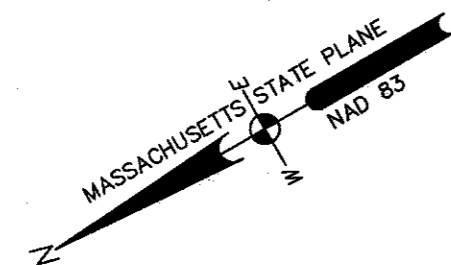
The DPCD has reviewed the above referenced 81-P (ANR) application for the Monday, September 21, 2020 Planning Board meeting and offers the following commentary:

General

1. The applicant has submitted a Form A application for 81-P Plan Review to accompany the plan titled “176-210 Grove Street, Franklin, Massachusetts” dated September 1, 2020.
2. The purpose of the plan is to create 3 conforming lots.
3. The above application depicts a location within the Industrial Zoning District. The proposed lot shown conforms to lot requirements associated with this zoning district.
 - Minimum Lot area: 40,000 s.f.
 - Minimum Frontage: 175’
 - Lot Width: 157.5’
4. The above application depicts the land known on Assessors Map 311 Lots 001 & 002.

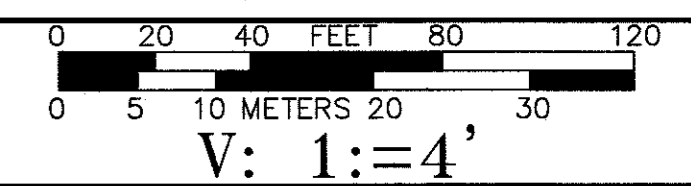
ANR Summary

DPCD has no further comments.



- PLAN REFERENCES:**
- SEE PLAN ENTITLED "PLAN OF LAND EAST CENTRAL STREET FRANKLIN MASSACHUSETTS," DATED FEBRUARY 24, 2014, REVISED 10.31.2014, PREPARED BY GUERRIERE & HALNON, INC., PLANNING BOARD ENDORSED NOVEMBER 2, 2014, RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 636 PAGE 49.
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NOTE:
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OWNER/APPLICANT:
VILLAGE AT COOKS FARM, LLC
31 WHITEWOOD ROAD
MILFORD, MA 01757
DEED BK. 32829 PG. 73 & 79

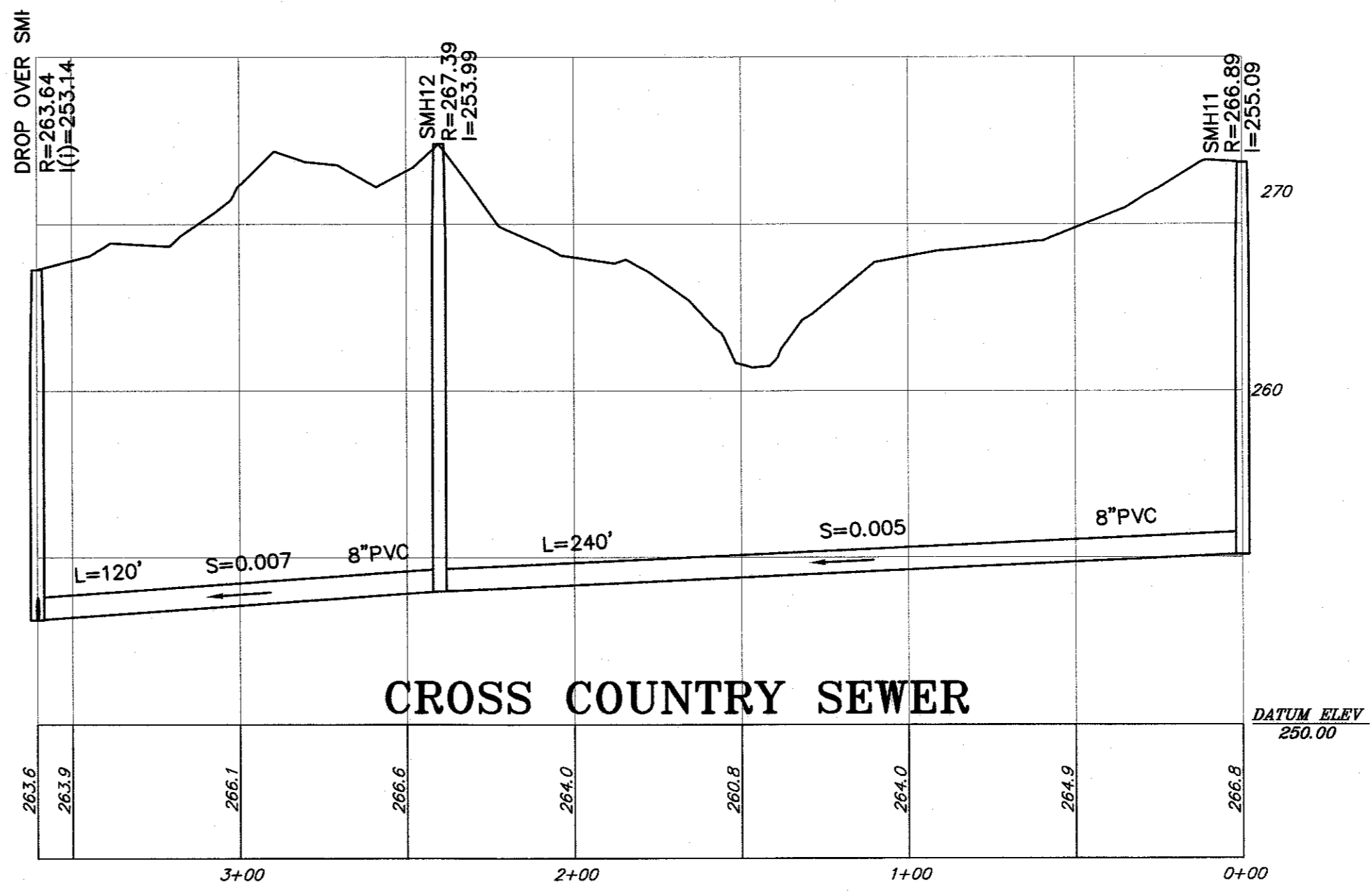
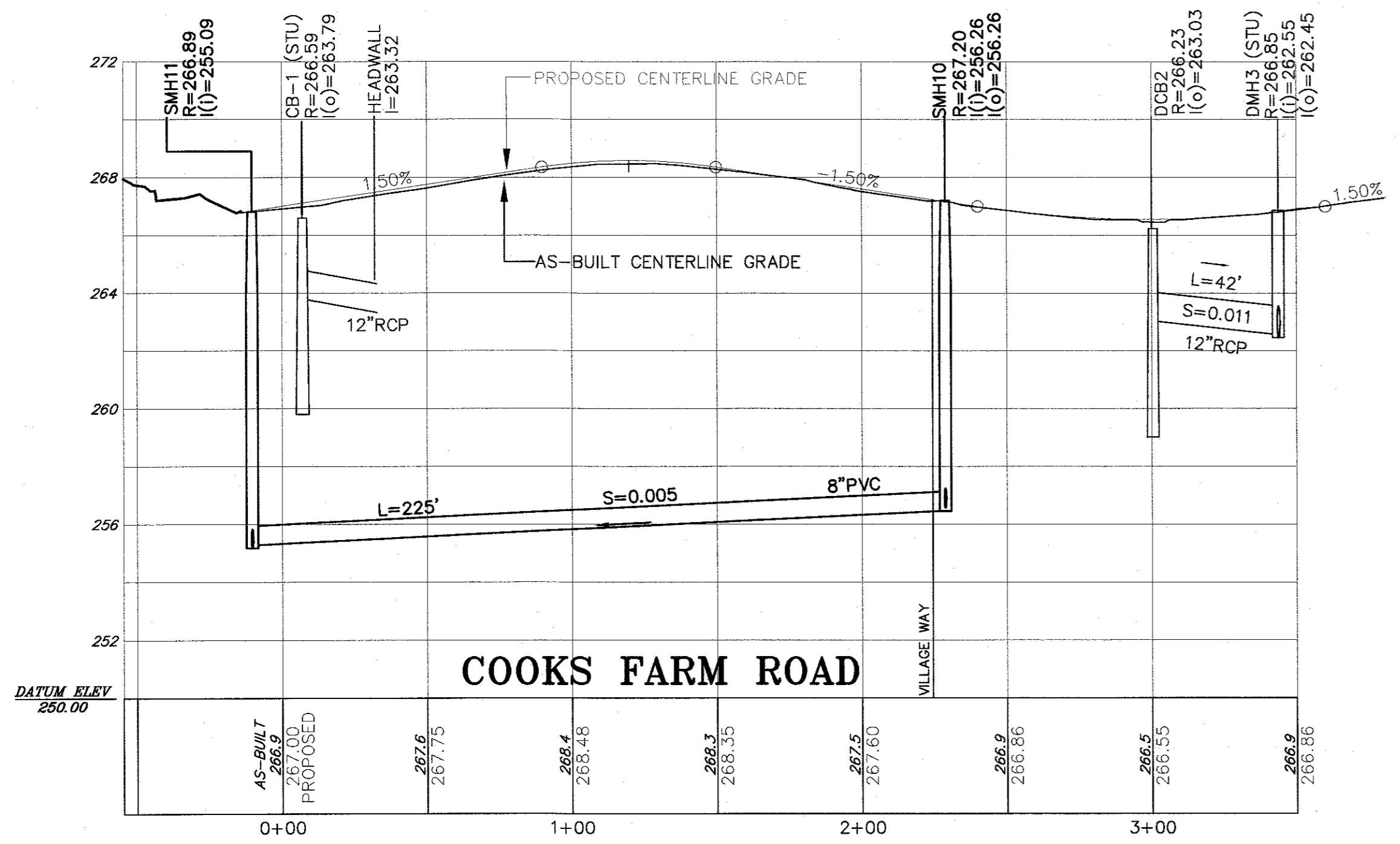
REVISIONS	
DATE	REVISED
08.19.2020	UPDATED AS-BUILT CONDITIONS.
09.04.2020	UPDATED AS-BUILT CONDITIONS.
09.17.2020	FENCE AT CROSSING ADDED.

Ph. (508) 528-3221
Fx. (508) 528-7921
www.gandhengineering.com

**SITE AS-BUILT
VILLAGE AT COOKS FARM
FRANKLIN
MASSACHUSETTS**

**COOK'S FARM ROAD
0+00 TO 3+50**

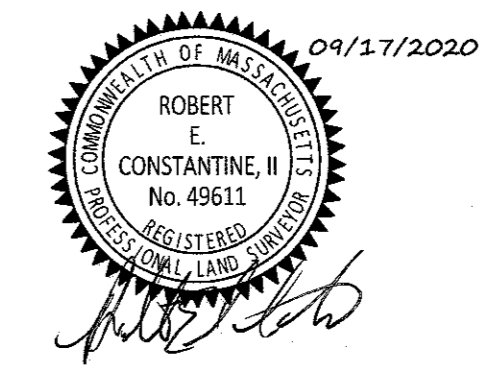
DATE AUGUST 7, 2020	SCALE 1"=40'(H) 1"=4'(V)
SHEET 1 OF 7	JOB NO. F3839



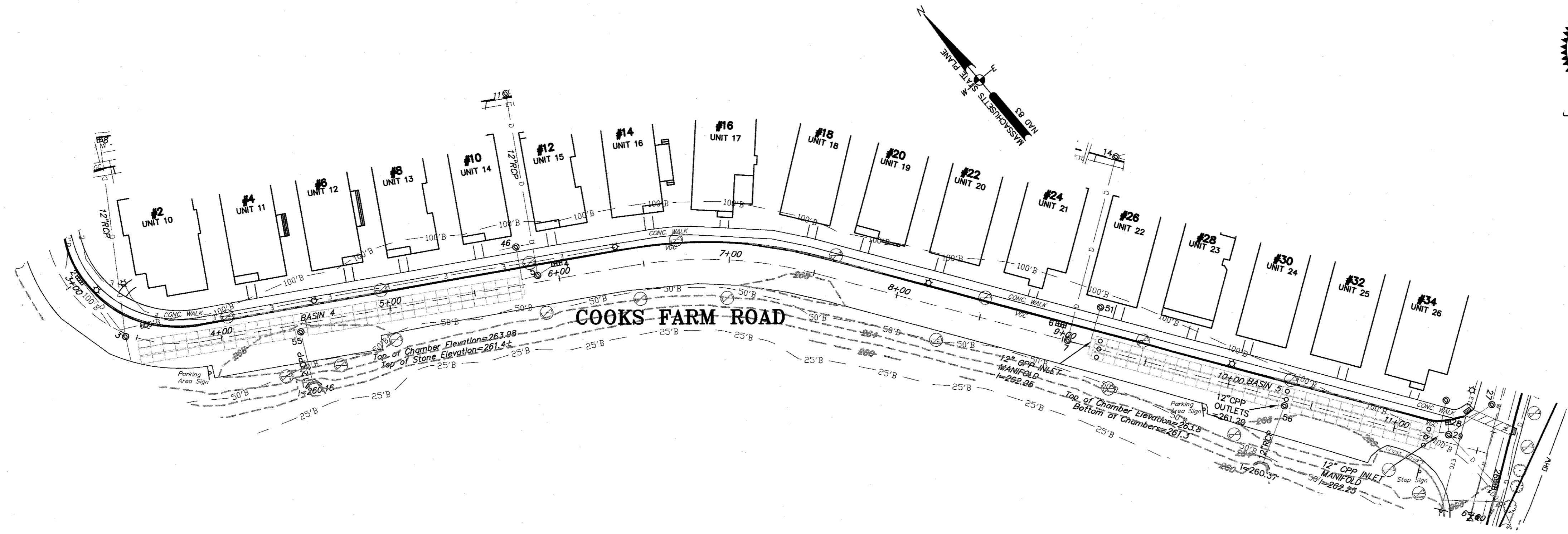
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K:\F3839\DWG\AS-BUILT\ROADWAY\F3839-ROAD AS-BUILT.dwg, 9/17/2020 11:24:29 AM, [REC]

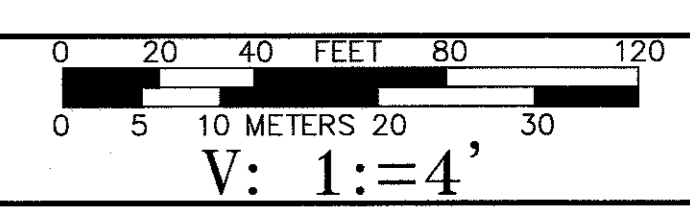


JOB NO. **F3839**



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OWNER/APPLICANT:

VILLAGE AT COOKS FARM, LLC
31 WHITEWOOD ROAD
MILFORD, MA 01757
DEED BK. 32829 PG. 73 & 79

REVISIONS

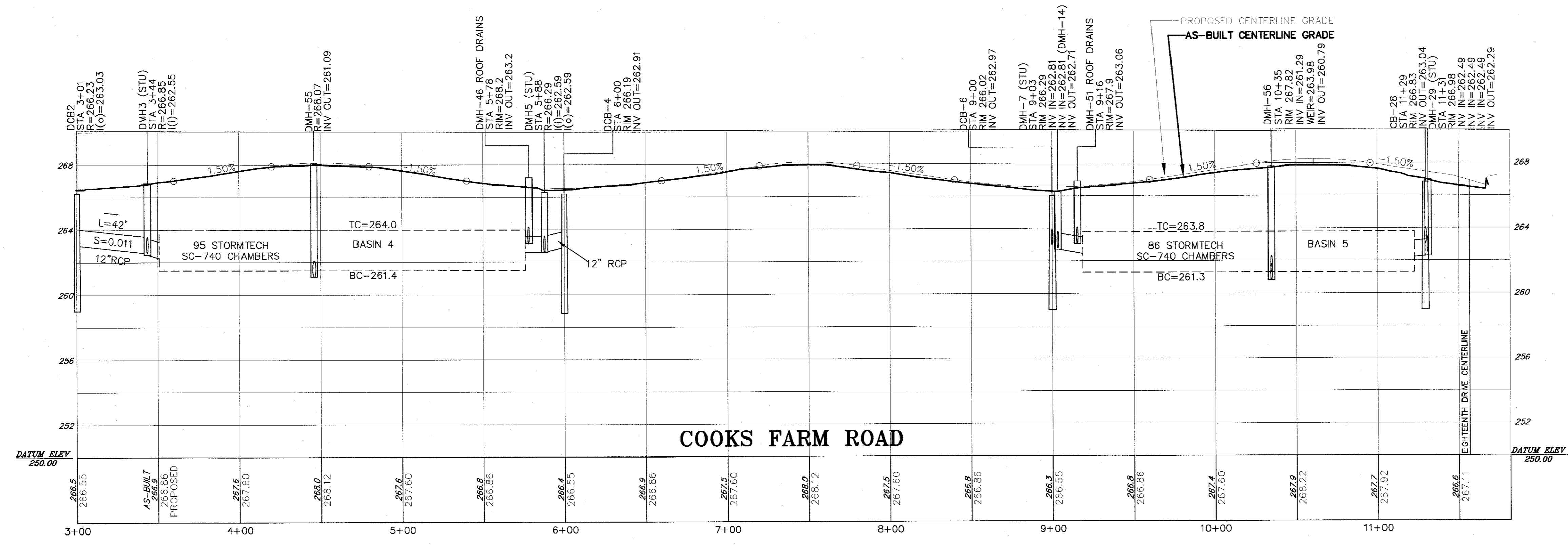
DATE	REVISED
08.19.2020	UPDATED AS-BUILT CONDITIONS.
09.04.2020	UPDATED AS-BUILT CONDITIONS.
09.17.2020	FENCE AT CROSSING ADDED.

Guerriere & Halnon, Inc.
Engineering & Land Surveying
Ph. (508) 528-3221 55 WEST CENTRAL STREET
Fx. (508) 528-7921 FRANKLIN, MA 02038
www.gandhengineering.com

**SITE AS-BUILT
VILLAGE AT COOKS FARM
FRANKLIN
MASSACHUSETTS**

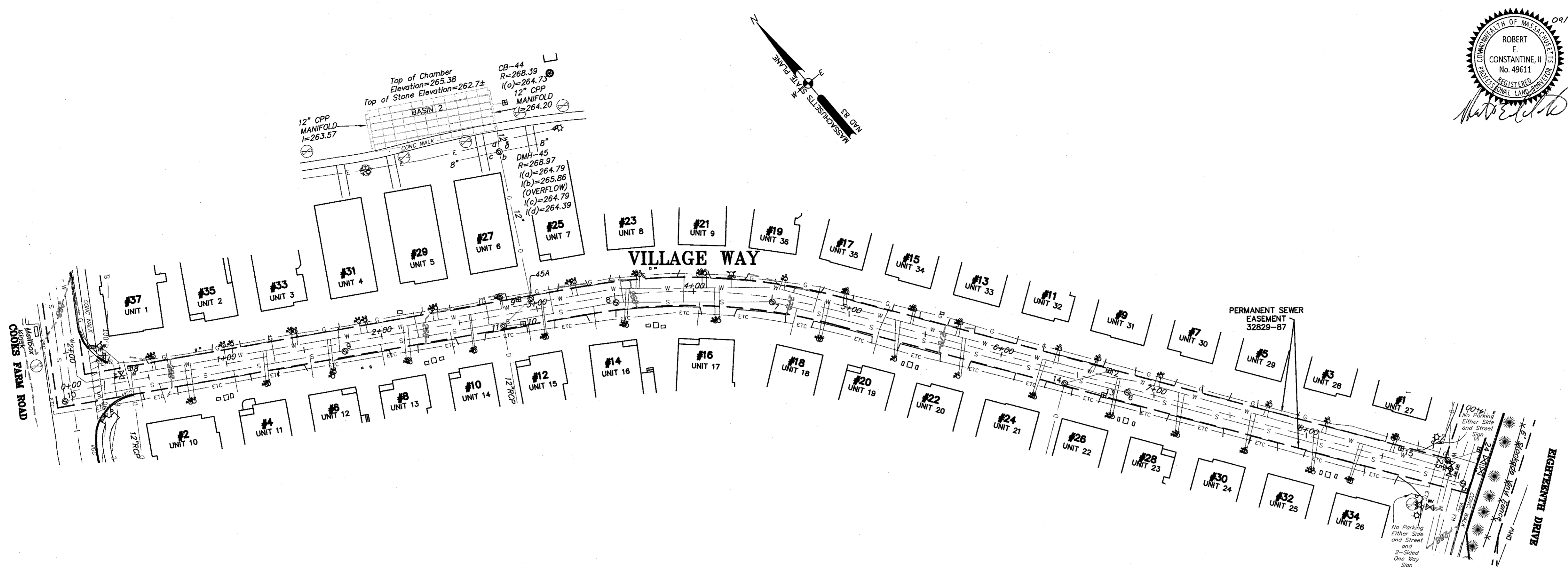
**COOK'S FARM ROAD
3+50-7+80**

DATE AUGUST 7, 2020	SCALE 1"=40'(H) 1"=4'(V)
SHEET 2 OF 7	JOB NO. F3839



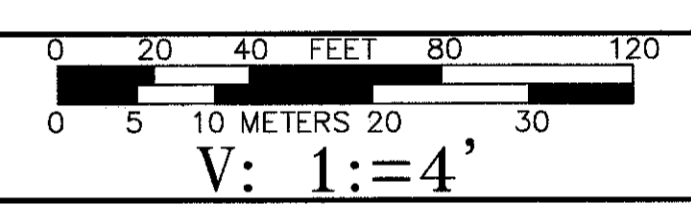
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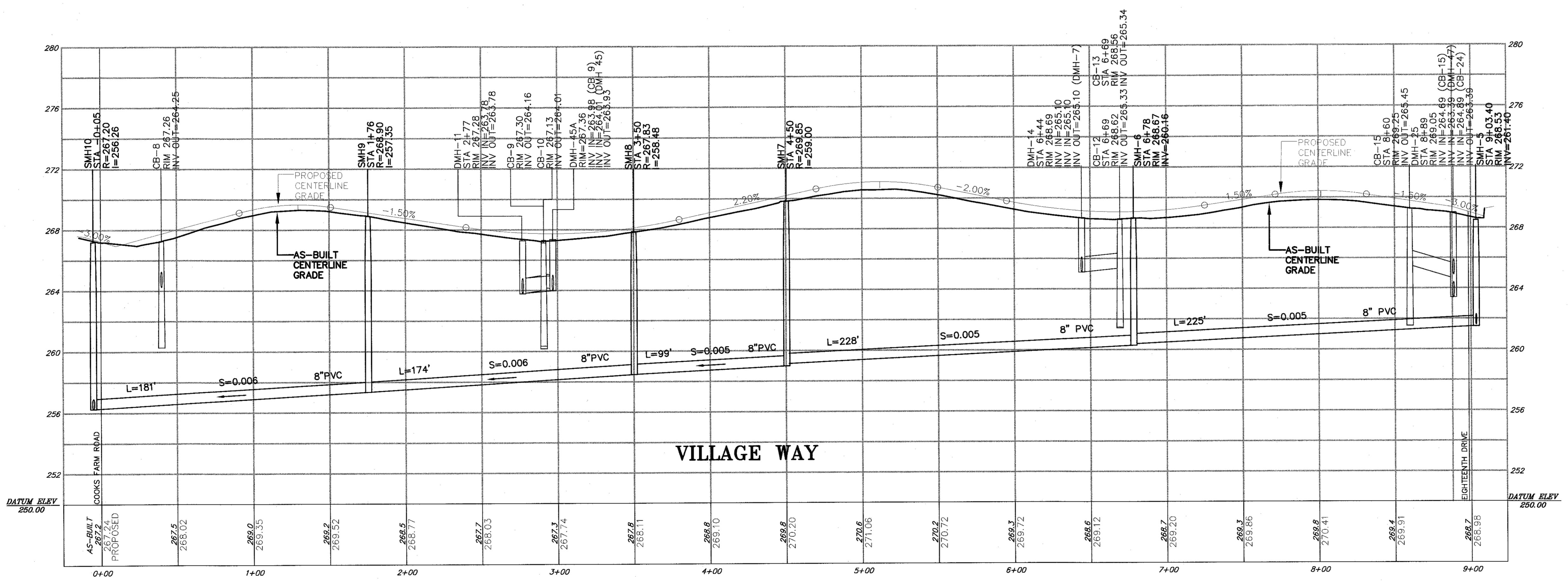
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**SITE AS-BUILT
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FRANKLIN
MASSACHUSETTS**

**VILLAGE WAY
0+00 TO 5+00**

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SHEET 3 OF 7	JOB NO. F3839

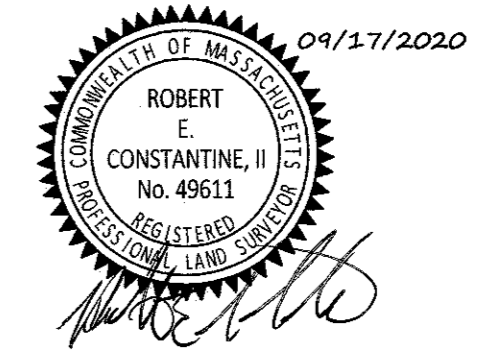
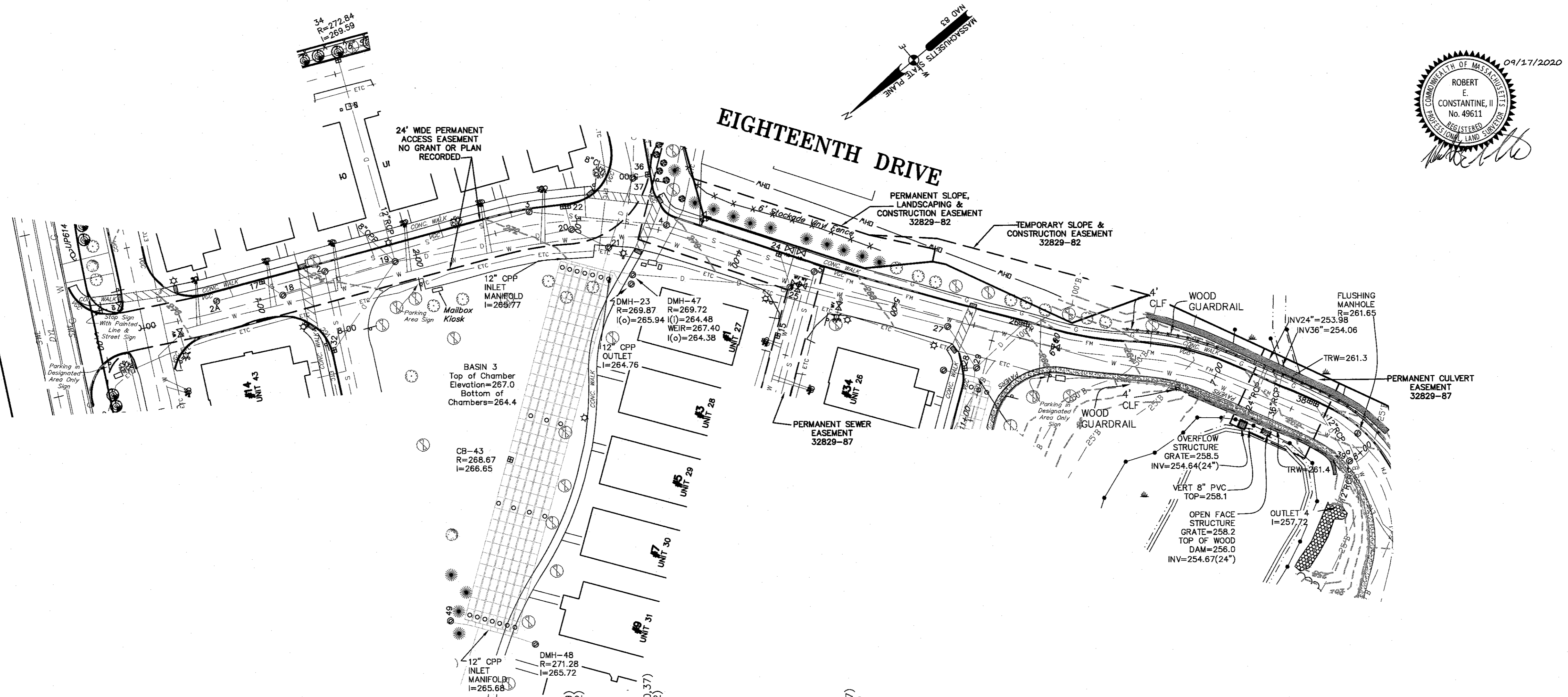


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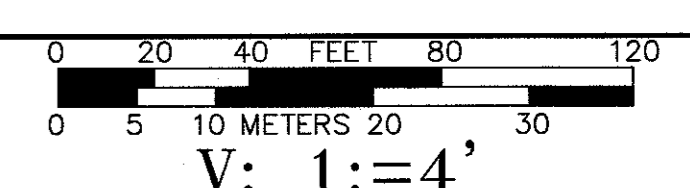
EAST CENTRAL STREET



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DEED BK. 32829 PG. 73 & 79

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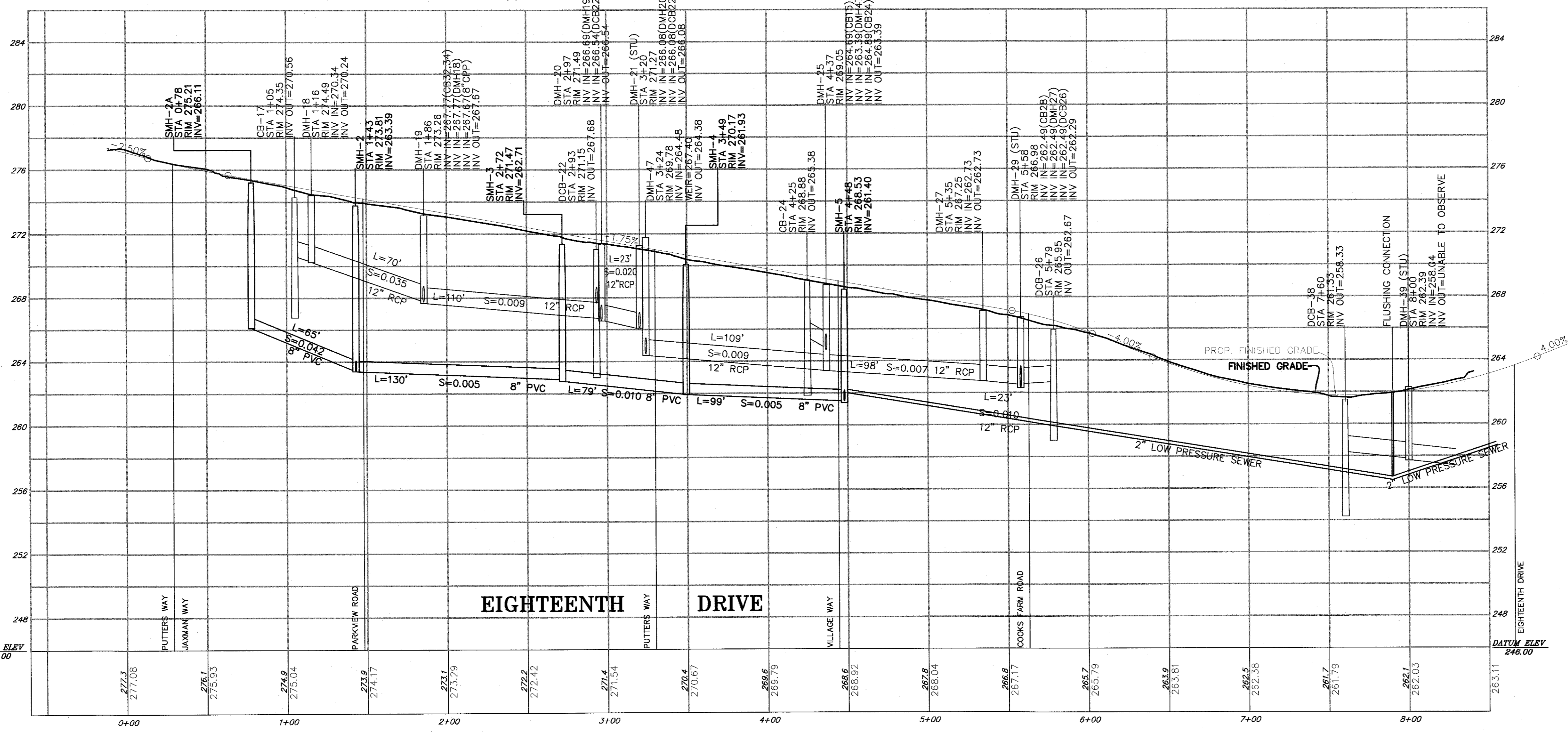
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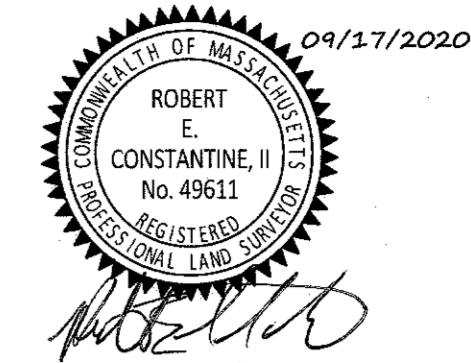
**EIGHTEENTH DRIVE
0+00 TO 5+80**

DATE AUGUST 7, 2020	SCALE 1"=40'(H) 1"=4'(V)
SHEET 4 OF 7	JOB NO. F3839

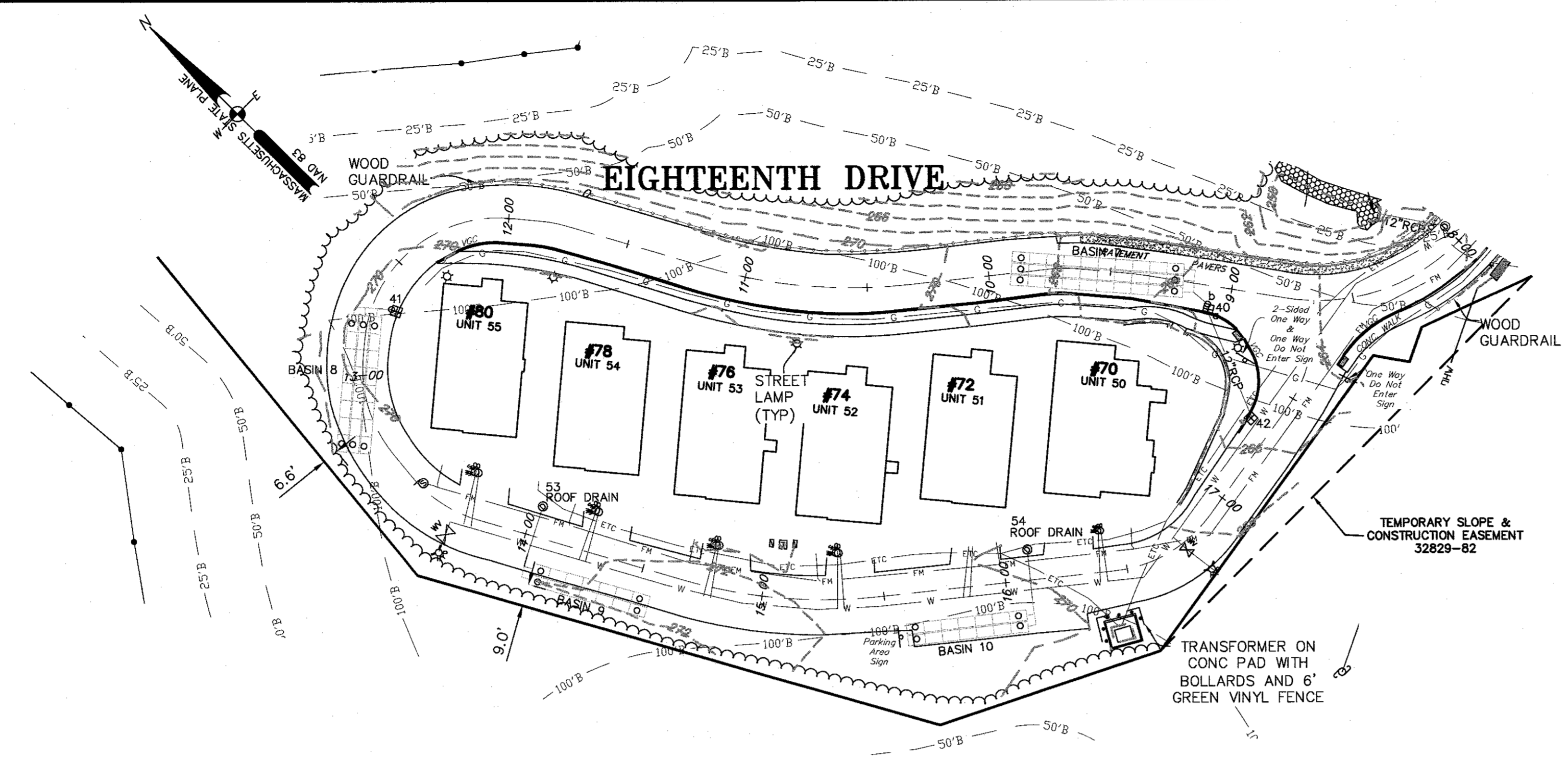


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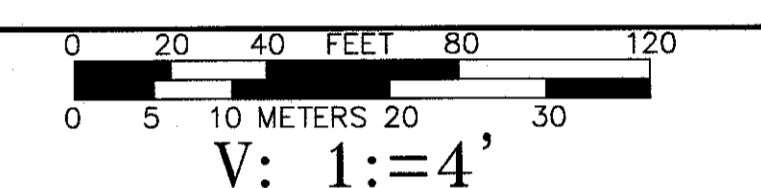


JOB NO. **F3839**



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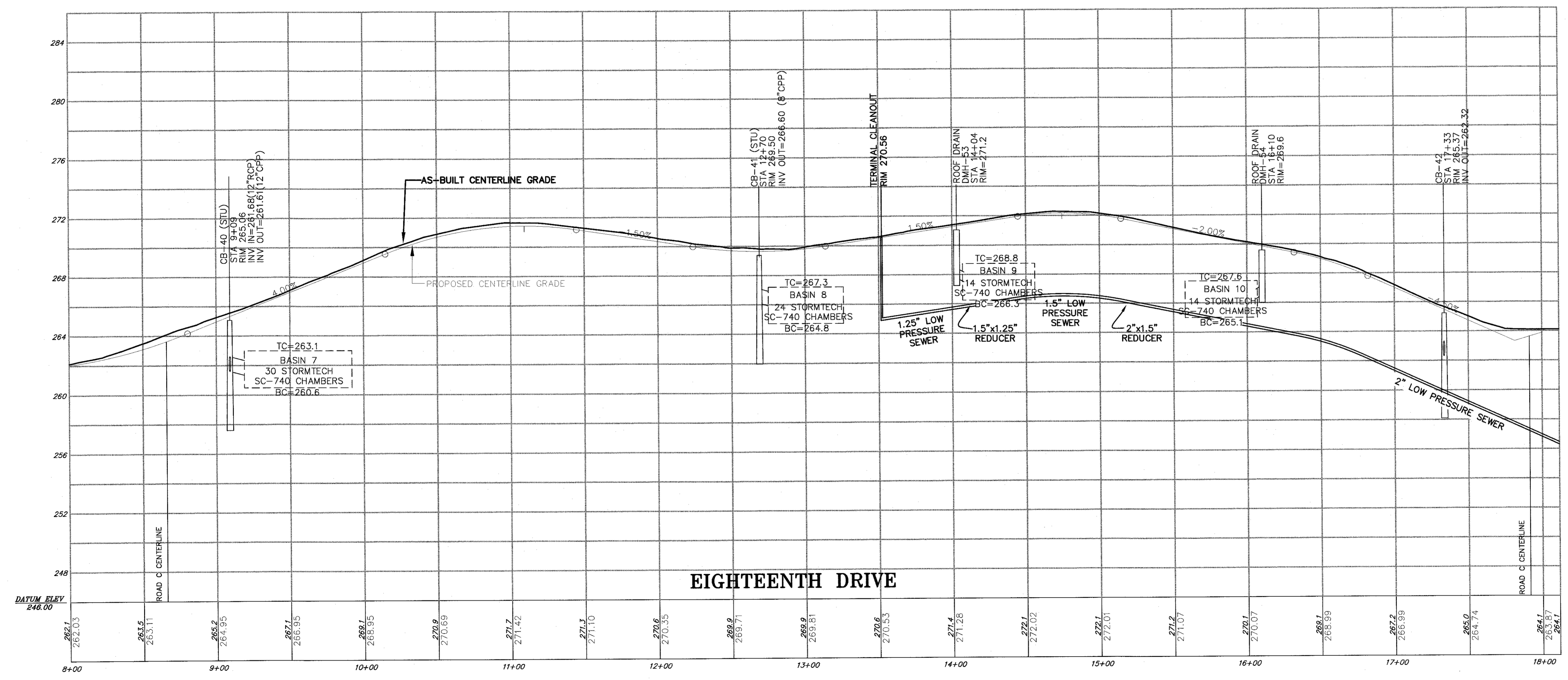
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 www.gandhengineering.com

**SITE AS-BUILT
VILLAGE AT COOKS FARM
FRANKLIN
MASSACHUSETTS**

**EIGHTEENTH DRIVE
8+50 TO END**

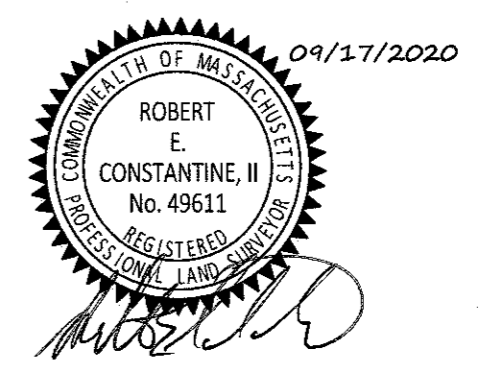
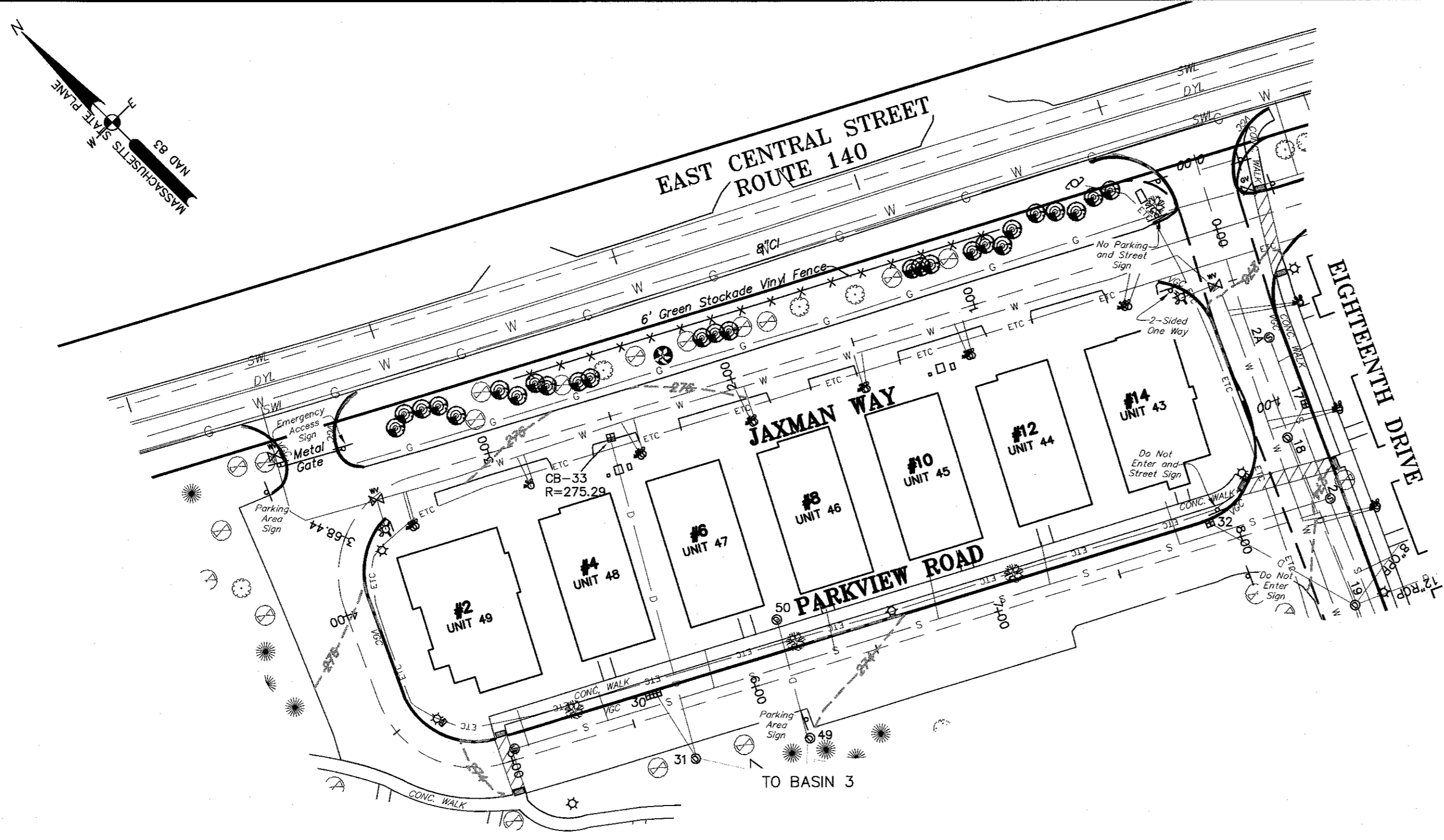
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SHEET 5 OF 7	JOB NO. F3839



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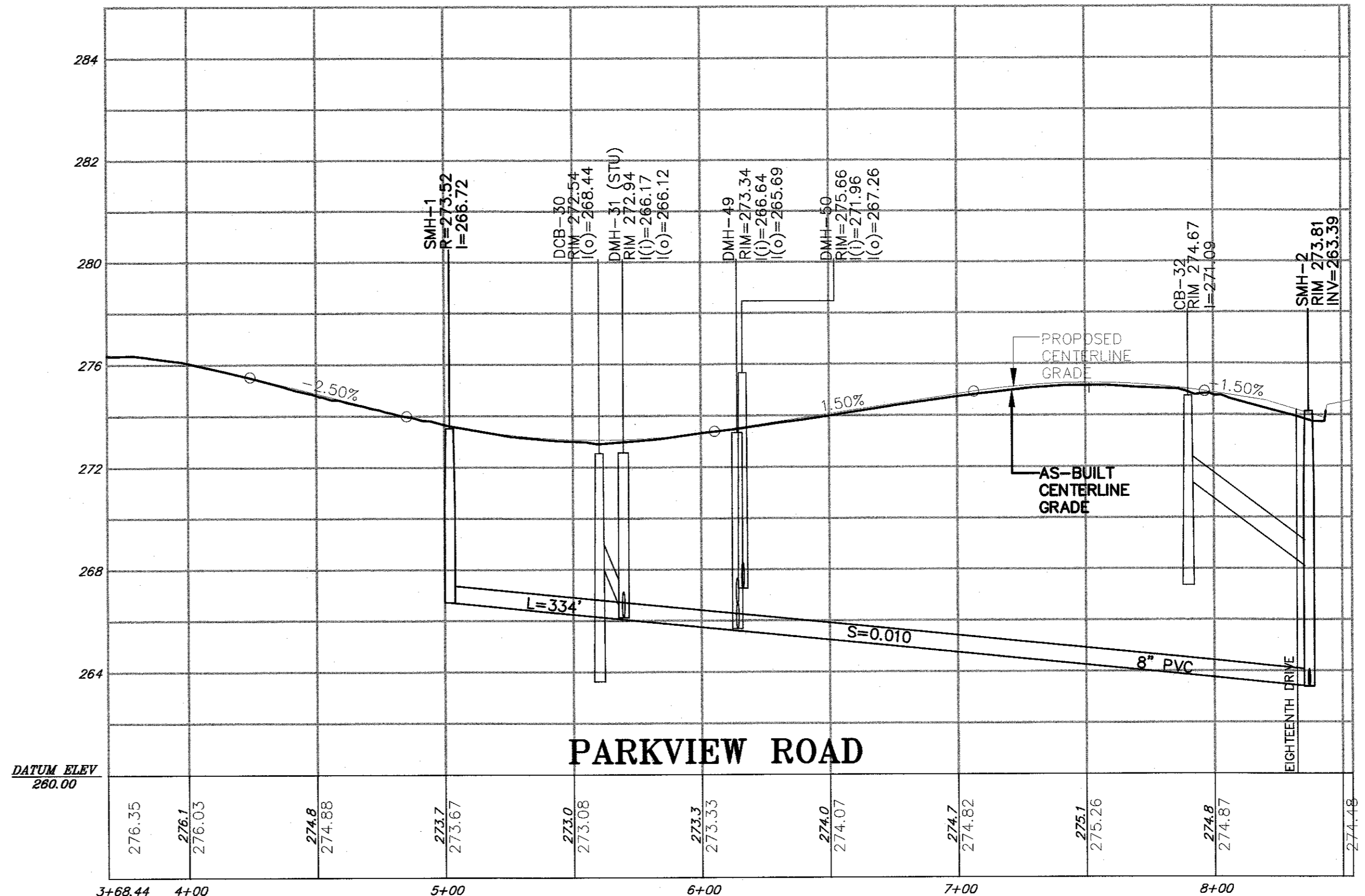
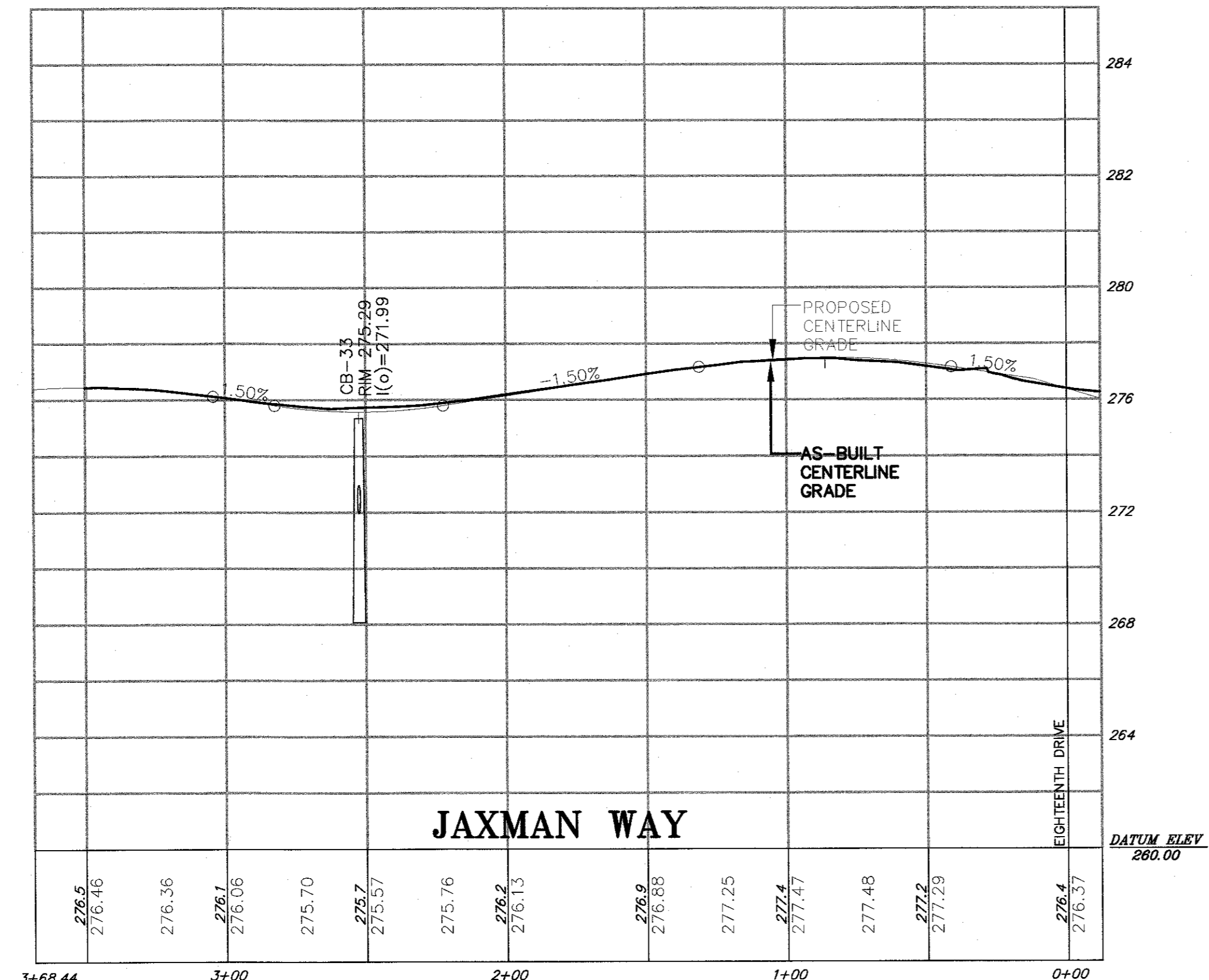
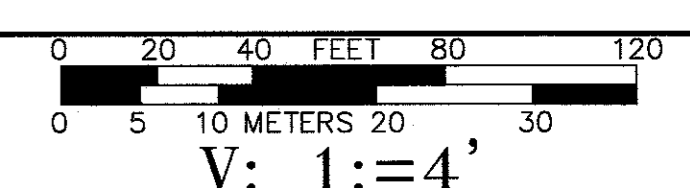
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JOB NO. **F3839**

- PLAN REFERENCES:**
- SEE PLAN ENTITLED "PLAN OF LAND EAST CENTRAL STREET FRANKLIN MASSACHUSETTS," DATED FEBRUARY 24, 2014, REVISED 10.31.2014, PREPARED BY GUERRIERE & HALNON, INC., PLANNING BOARD ENDORSED NOVEMBER 2, 2014, RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 636 PAGE 49.
 - SEE PLAN ENTITLED "EASEMENTS PLAN OF LAND FRANKLIN MASSACHUSETTS," DATED FEBRUARY 25, 2014, REVISED 11.03.2014, PREPARED BY GUERRIERE & HALNON, INC. RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 636 PAGE 50.
 - SEE PLAN ENTITLED "SITE PLAN FOR VILLAGE AT COOKS FARM FRANKLIN MASSACHUSETTS," DATED MARCH 10, 2014, REVISED 10.10.2014, PREPARED BY GUERRIERE & HALNON, INC. RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 636 PAGE 51.
 - SEE PLAN ENTITLED "PLAN OF LAND OWNED BY VILLAGE AT COOKS FARM, LLC EAST CENTRAL STREET FRANKLIN MASSACHUSETTS," DATED FEBRUARY 26, 2014, REVISED 11.04.2014, PREPARED BY GUERRIERE & HALNON, INC. RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 636 PAGE 52.

NOTE:
ALL ROADWAYS SHOWN HEREON ARE PRIVATE, SEE COVENANT ISSUED BY THE TOWN OF FRANKLIN.



OWNER/APPLICANT:
VILLAGE AT COOKS FARM, LLC
31 WHITEWOOD ROAD
MILFORD, MA 01757
DEED BK. 32829 PG. 73 & 79

REVISIONS

DATE	REVISED
08.19.2020	UPDATED AS-BUILT CONDITIONS.
09.04.2020	UPDATED AS-BUILT CONDITIONS.
09.17.2020	FENCE AT CROSSING ADDED.

**SITE AS-BUILT
VILLAGE AT COOKS FARM
FRANKLIN
MASSACHUSETTS**

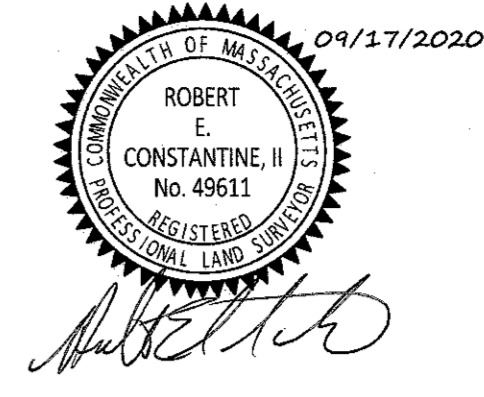
**PARKVIEW ROAD
JAXMAN WAY**

DATE AUGUST 7, 2020	SCALE 1"=40'(H) 1"=4'(V)
SHEET 6 OF 7	JOB NO. F3839

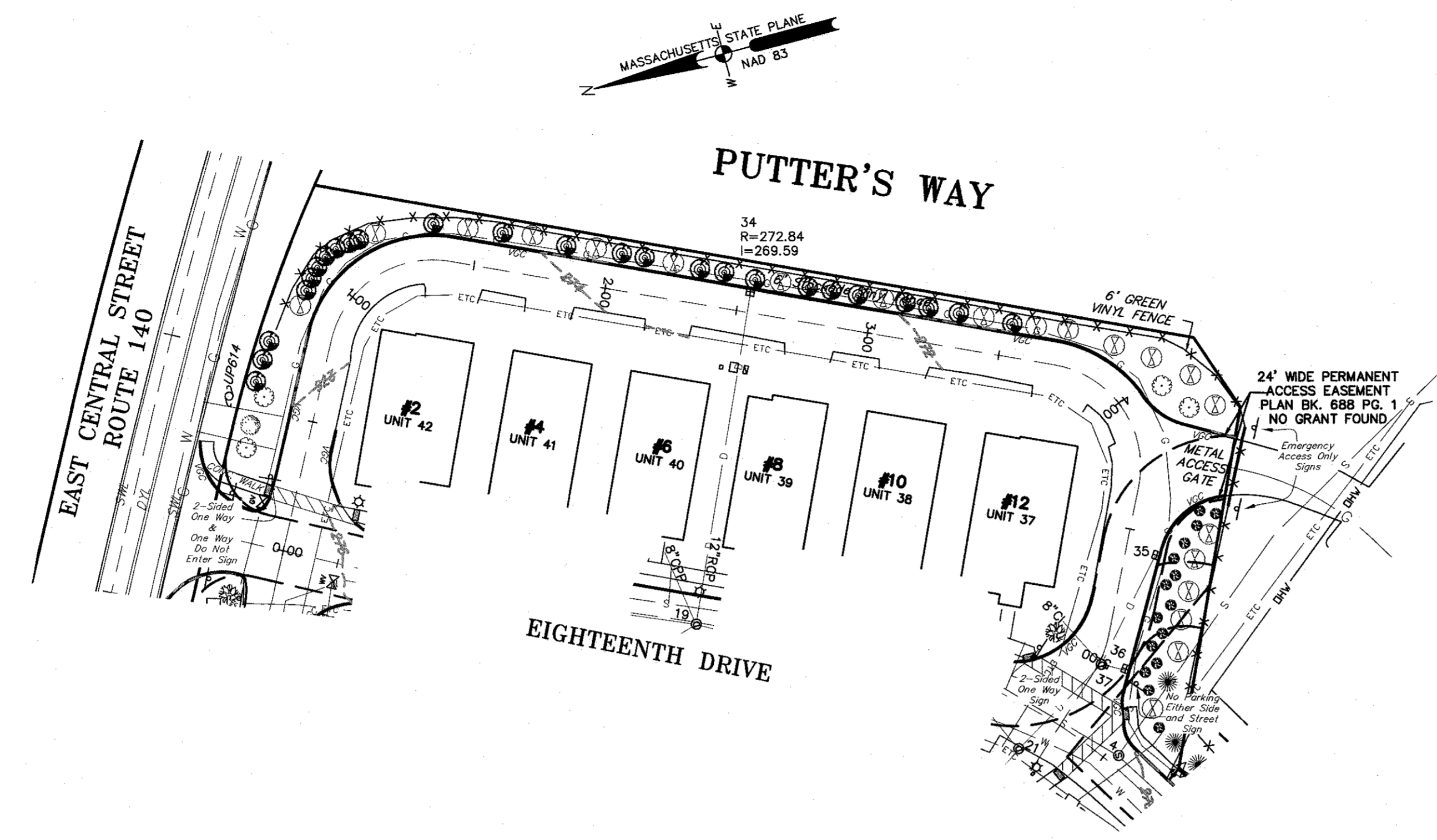
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UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS (MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. (ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED) PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIGSAFE[7233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

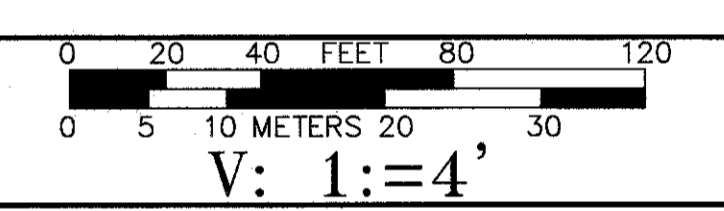


JOB NO. **F3839**



- PLAN REFERENCES:**
1. SEE PLAN ENTITLED "PLAN OF LAND EAST CENTRAL STREET FRANKLIN MASSACHUSETTS," DATED FEBRUARY 24, 2014, REVISED 10.31.2014, PREPARED BY GUERRIERE & HALNON, INC., PLANNING BOARD ENDORSED NOVEMBER 2, 2014, RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 636 PAGE 49.
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OWNER/APPLICANT:

VILLAGE AT COOKS FARM, LLC
31 WHITEWOOD ROAD
MILFORD, MA 01757
DEED BK. 32829 PG. 73 & 79

REVISIONS

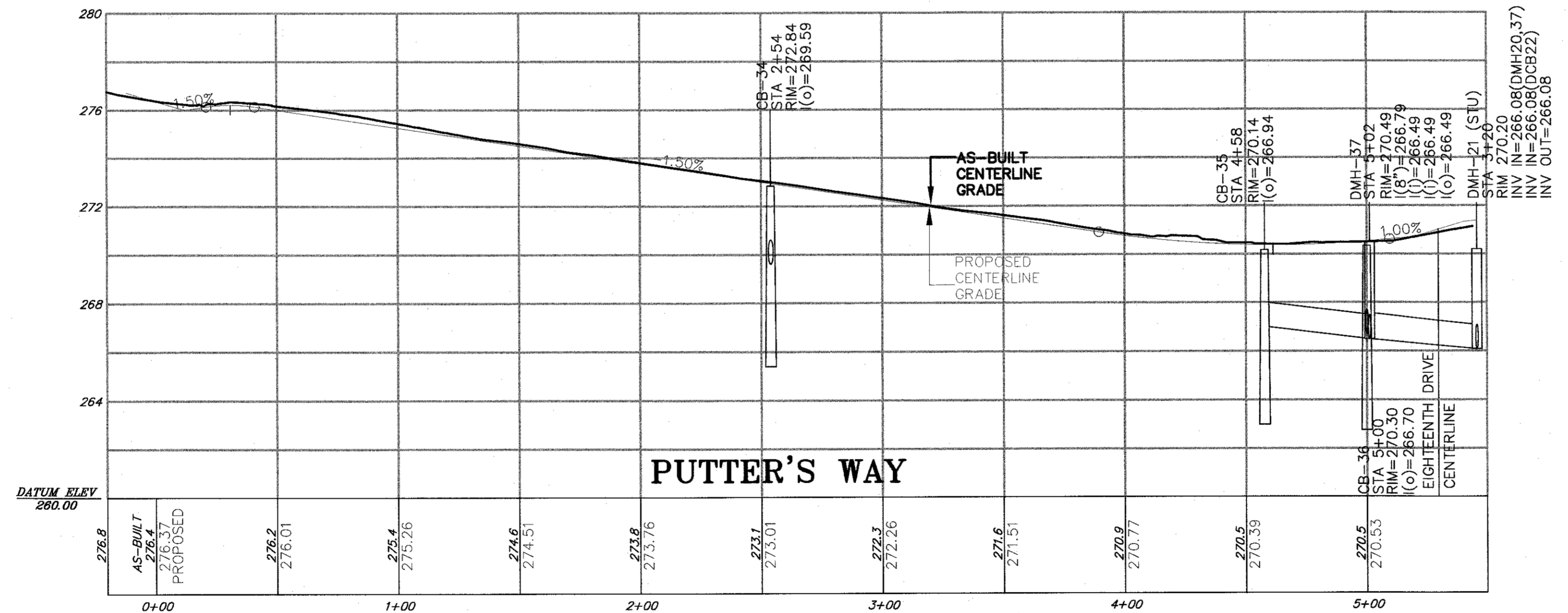
DATE	REVISED
08.19.2020	UPDATED AS-BUILT CONDITIONS.
09.04.2020	UPDATED AS-BUILT CONDITIONS.
09.17.2020	FENCE AT CROSSING ADDED.

Guerriere & Halnon, Inc.
Engineering & Land Surveying
Ph. (508) 528-3221 55 WEST CENTRAL STREET
Fx. (508) 528-7921 FRANKLIN, MA 02038
www.gandhengineering.com

**SITE AS-BUILT
VILLAGE AT COOKS FARM
FRANKLIN
MASSACHUSETTS**

PUTTER'S WAY

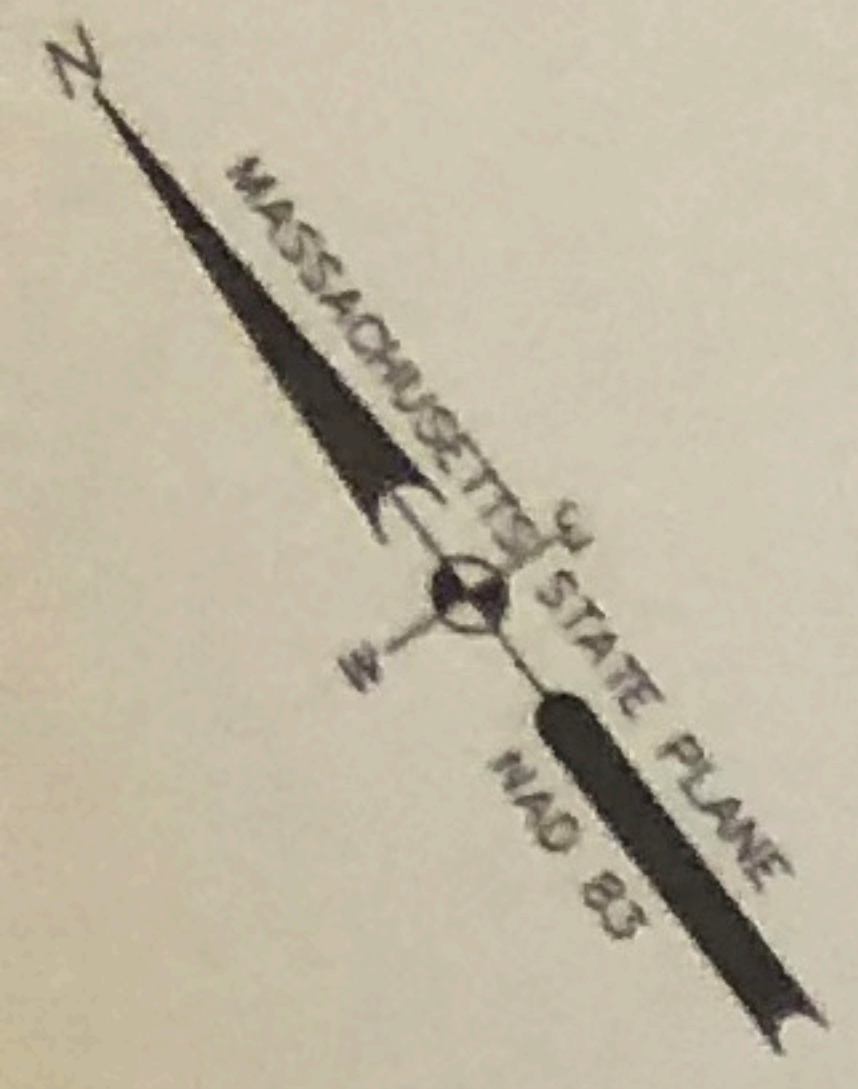
DATE AUGUST 7, 2020	SCALE 1"=40'(H) 1"=4'(V)
SHEET 7 OF 7	JOB NO. F3839



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EAST CENTRAL STREET
1927 SHLO NO. 2436
(ROUTE 140)

COOKS FARM ROAD

VILLAGE WAY

PARKVIEW ROAD

VILLAGE WAY

EIGHTEENTH DRIVE

EIGHTEENTH DRIVE

DRIVE PARKING

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

THE VILLAGE AT COOKS FARM

VILLAGE AT COOKS FARM EXTERIOR SELECTIONS

UNIT/ PLOT	PLAN	VILLAGE ADDRESS	BUYERS	WNDW GRIDS	EXTERIOR DOOR	ROOF SHINGLES	METAL ROOF	BENJAMIN MOORE HISTORICAL COLOR COLLECTION			STONE VENEER
								SIDING	TRIM	FRONT DOOR	
17	PS4D	16 Cooks Farm Road	Roache	4/1	S608 S601SL	Pewter Wood	Medium Bronze	HC111 Nantucket Gray	2144-50 Silken Pine	HC 69 Whitall Brown	Boston Blend Mosaic
2	PS1C	35 Village Way	Model	4/1		Moire Black	Medium Bronze	HC165 Boothbay Gray	PM13 Atrium White	HC154 Hale Navy	
16	PS6A	14 Cooks Farm Road	Ferrante	6/6	S606 S605SL	Pewter Wood	Charcoal Gray	HC14 Princeton Gold	HC5 Weston Flax	2133-20 Black Jack	
14	PS3A	10 Cooks Farm Road	Buck	2/2	S608	Pewter Wood	Medium Bronze	Storm AF700	Winter Snow OC 63	Silhouette AF 655	
15	PS1G	12 Cooks Farm Road	O'Riordon	4/4	S605 S601SL	Moire Black	Medium Bronze	HC87 Ashley Gray	PM21 Sail Cloth	HC157 Narragansett Green	
13	PS1J	8 Cooks Farm Road	Byrne	4/1	S607 S601SL	Pewter Wood	Charcoal Gray	HC104 Copley Gray	HC174 Lncster Whwash	Wenge AF 180	
12	PS6C	6 Cooks Farm Road	Jeffrey	4/4	S605 S601SL	Moire Black	Medium Bronze	HC155 Newburyport Blue	Super White PM2	Black PM9	
3	PS2C	33 Village Way	Spec #1	2/2	S605 S601SL	Moire Black	Medium Bronze	PM 19 White Dove	PM 19 White Dove	1603 Graphite	
11	PS1B	4 Cooks Farm Road	Tacelli	2/1	S605 S601SL	Moire Black	NA	HC166 Kendall Charcoal	PM-20 China White	1603 Graphite	
1	PS4E	37 Village Way	Reichard	2/2	S605 S601SL	Moire Black	Charcoal Gray	HC-4 Hawthorne Yellow	PM-19 White Dove	PM-9 Black	
10	PS5A	2 Cooks Farm Road	Piccolo	6/6	S608 S601SL (2)	Moire Black	Charcoal Gray	HC 170 Stonington Gray	PM-3 Decorators White	PM18 Heritage Red	Greenwich Grey Mosaic
18	PS6D	18 Cooks Farm Road	Alemian	2/2	S605	Pewter Wood	NA	HC173 Edgecomb Grey	PM19 White Dove	1603 Graphite	
26	PS4C	34 Cooks Farm Road	DiRenzo	2/2	S605 S601SL	Pewter Wood	Medium Bronze	HC95 Sag Harbor Gray	AF20 Mascarpone	HC65 Hadley Red	
25	PS6F	32 Cooks Farm Road	Mahla	4/1	S607 S601SL	Pewter Wood	NA	HC152 Whipple Blue	PM20 China White	same as trim - China White	
20	PS1H	22 Cooks Farm Road	Gannon	2/2	S607 S601SL	Moire Black	Charcoal Gray	HC44 Lenox Tan	PM19 White Dove	HC61 New London Burgundy	
22	PS6B	26 Cooks Farm Road	Holt	4/4	S607 S601SL	Pewter Wood	Charcoal Gray	BM312 Crown Hill Yellow	PM1 Super White	PM-9 Black	
19	PS1K	20 Cooks Farm Road	Graziano	4/4	S607 S601SL	Moire Black	Charcoal Gray	HC179 Platinum Gray	PM3 Decorators White	HC143 Wyeth Blue	
23	PS2A	28 Cooks Farm Road	Rogers	2/2	S605 S601SL	Pewter Wood	Medium Bronze	HC172 Revere Pewter	PM19 White Dove	HC154 Hale Navy	
24	PS1L	30 Cooks Farm Road	Hayward	4/1	S607 S601SL	Pewter Wood	Charcoal Gray	HC135 Lafayette Gr shakes	HC-170 Stonington Gray	HC-170 Stonington Gray	
30	PS1M	7 Village Way	Lalos	2/1	S605 S601SL	Moire Black	NA	HC154 Hale Navy	PM19 White Dove	HC4 Hawthorn Yellow	
29	PS6H	5 Village Way	Flood	4/4	S607 S601SL	Pewter Wood	Medium Bronze	HC12 Concord Ivory	PM28 Linen White	HC159 Philipsburg Blue	
27	PS4F	1 Village Way	Dittrick	2/2	S605 S601SL	Moire Black	Charcoal Gray	HC169 Coventry Grey	PM3 Decorators White	HC181 Heritage Red	
31	PS4G	9 Village Way	Wipperfeld	2/2	S605 S601SL	Moire Black	Charcoal Gray	HC130 Webster Green (siding)	OC13 Soft Chamois	PM 8 Charcoal Slate	
28	PS2B	3 Village Way	Danheiser	2/2	S605 S601SL	Pewter Wood	Charcol Gray	PM8 Charcoal Slate	OC61 White Diamond	2058-60 Ocean Breeze	
21	PS4H	24 Cooks Farm Road	Dichter	2/2	S605	Moire Black	Medium Bronze	CW685- Ambler Slate	OC65 Chantilly Lace	CW630 Washington Blue	
49	PS5B	2 Parkview Road	Comeaux	6/6	S608 S601SL (2)	Moire Black	Charcoal Gray	HC169 Coventry Grey 200%	PM17 Classic Burgundy	HC167 Amherst Gray	
4	PS6E	31 Village Way	Zammito	4/4	S607 S601SL	Moire Black	NA	PM17 Classic Burgundy	PM19 White Dove	HC 8 Doret Gold	
38	PS6K	10 Eighteenth Drive	Branca	4/1	S607 S601SL	Moire Black	Charcoal Gray	HC156 Van Deusen Blue	PM19 White Dove	HC190 Black	
45	PS6M	10 Parkview Road	Merriam	2/2	S605 S601SL	Pewter Wood	Charcol Gray	HC159 Philipsburg Blue	HC173 Edgecomb Grey	HC190 Black	
36	PS6N	19 Village Way	Tomase	4/4	S607 S601SL	Pewter Wood	Medium Bronze	HC161 Templeton Gray	PM3 Decorator's White	710 Kensington Green	
39	PS1	8 Eighteenth Drive	Proto	2/2	S605 S601SL	Moire Black	NA	HC82 Bennington Gray	OC17 White Dove	HC112 Tate Olive	
6	PS6Q	27 Village Way	Murphy	4/4	S607 S601SL	Moire Black	NA	HC165 Boothbay Gray	AF5 Frostine	HC158 Newburg Green	
43	PS4K	16 Parkview Road	Prevett	2/2	S605 S601SL(2)	Moire Black	Medium Bronze	HC167 Amherst Grey	OC17 White Dove	HC154 Hale Navy	
5	PS1P	27 Village Way	Fitzgerald	2/1	S605 S601SL	Moire Black	NA	CW65 Gunsmith Gray	CW50 Tyler Grey	CSP630 After midnight	
32	PS2F	11 Village Way	Dennis	2/2	S605 S601SL	Moire Black	Charcoal gray	China White	China White	PM 15 Cottage Red	
41	PS6S	4 Eighteenth Drive	Chaggaris	4/4	S607 S601SL	Pewter Wood	NA	HC59 Odessa Pink	PM3 Decorator's White		
47	PS6P	6 Parkview Road	Warren	4/4	S607 S601SL	Pewter Wood	Medium Bronze	Briarwood HC175	Super White	HC190 Black	
37	PS1J	12 Eighteenth Drive	McGree	2/2	S605 S601SL(2)	Moire Black	Charcoal Gray	HC172 Revere Pewter	OC151 White	1298Coral Bronze	
48	PS1S	4 Parkview Road	MacAskill	2/2	S605 S601SL	Pewter Wood	NA	PM15 Cottage Red	AF20 Mascarpone	HC166 Charcoal	
34	PS1T	15 Village Way	Seymour	2/2	S605 S601SL	Moire Black	NA	PM19 White Dove	PM19 White Dove	PM17 Classic Burgundy	
8	PS6R	23 Village Way	Winston	4/4	S607 S601SL	Moire Black	NA	HC171 Wickham Gray	OC152 Super White	HC181 Heritage Red	
9	PS6T	21 Village Way	Soligon	4/4	S607 S601SL	Pewter Wood	NA	HC84 Elmira White	PM19 White Dove	10 Downing Street High Gloss (BM Aura Grand Entra	
35	PS3B	17 Village Way	Nasuti	4/1	S607	Pewter Wood	Medium Bronze	HC161 Templeton Gray	PM3 Decorator's White	HC154 Hale Navy	
50	PS5C	70 Eighteenth Drive	Smith	6/6	S210 S601SL(2)	Pewter Wood	Medium Bronze	HC3 Greenmount Silk	OC145 Atrium White	High Park	
33	PS6J	13 Village Way	Collins	4/4	S607 S601SL	Moire Black	NA	1602 Gun Metal	AF 5 Frostine	CW 250 Carriage Red	
7	PS3C	25 Village Way	DeFranco	4/4	S607	Pewter Wood	Charcoal Gray	2140-40 Storm Cloud Gray	OC17 White Dove	2132-10 Black	
55	PS4M	80 Eighteenth Drive	McWade	2/2	S608 S601SL(2)	Moire Black	Charcoal Gray	HC179 Platinum Gray	PM1 Super White	HC166 Kendall Charcoal	
46	PS1V	8 Parkview Road	Iddings	2/2	S605 S601SL	Moire Black	NA	HC154 Hale Navy	OC65 Chantilly White	HC182 Classic Burgandy	
40	PS2D	6 Eighteenth Drive	Olson	4/4	S605 S601SL	Pewter Wood	Charcoal Gray	2140-20Tuscany Green	1506 Polar Frost	2132-10 Black	
44	PS1	12 Parkview Road	McGrath	4/4	S607 S601SL	Moire Black	Charcoal Gray	1543 Plymouth Rock	C28 Collingwood	PM17 Classic Burgundy	
42	PS4N	2 Eighteenth Drive	Young	2/2	S605 S601SL	Moire Black	Charcoal Gray	HC133 Yorktown Green	OC149 Decorator's White	HC172 Revere Pewter	
54	PS4P	78 Eighteenth Drive	Casey	2/2	S608 S601SL(2)	Moire Black	Charcoal Gray	HC52 Ansonia Peach	HC127 Monterey White	HC118 Sherwood Green	
51	PS4S	72 Eighteenth Drive	Calabrese	2/2	S608 S601SL(2)	Moire Black	Charcoal Gray	HC 170 Stonington Gray	PM-3 Decorators White	2124-10 Wrought Iron	
53	PS4T	76 Eighteenth Drive	Haynes	2/2	S608 S601SL(2)	Moire Black	Charcoal Gray	HC172 Revere Pewter	PM19 White Dove	HC154 Hale Navy	
52	PS4U	74 Eighteenth Drive	Foran	2/2	S608 S601SL(2)	Moire Black	Charcoal Gray	HC179 Platinum Gray	PM3 Decorators White	HC143 Wyeth Blue	
								HC-4 Hawthorne Yellow	PM-19 White Dove	PM-9 Black	



TOWN OF FRANKLIN - SITE OBSERVATION REPORT

Village at Cooks Farm

Report No.:	4831 443 - 046	Date:	September 17, 2020	Arrive:	9:30 AM
Observer:	Matt Crowley, PE	Weather:	Cloudy ~70°	Leave:	9:45 AM
Owner:	Cook's Farm Realty Trust 5 Pearly Lane Franklin, MA 02038	Contractor:	WW Contracting Corp. 2 Wood Street – PO Box 156 Upton, MA 01568 Kaari Hayward 508-294-3185		

Items Observed: **Conformance Observation – Submitted in conjunction with Applicant's request for acceptance of Form H – Certificate of Completion**

OBSERVATIONS

Observation Requested By: John Mastroianni – Lobisser Building Corporation

Met/walked site with: N/A

Current Activity on Site: No current activity

Observed Construction: BETA arrived on site to confirm that work items noted as outstanding on BETA's September 9, 2020 report had been completed. Following review of the site, BETA notes there are no outstanding work items and photos of the recently installed 48" safety fence along the Uncas Brook crossing have been attached.

Site Photos:



Safety fencing installed along Uncas Brook crossing retaining wall



Safety fencing installed along Uncas Brook crossing retaining wall



FRANKLIN PLANNING & COMMUNITY DEVELOPMENT

355 EAST CENTRAL STREET
FRANKLIN, MA 02038-1352
TELEPHONE: 508-520-4907
FAX: 508-520-4906

MEMORANDUM

DATE: September 17, 2020
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: Villages at Cook's Farm
Final Form H

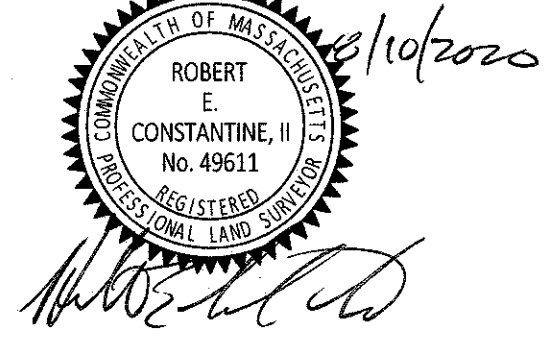
General

1. The applicant has submitted a Final Form H and Engineer's Certificate of Completion and a final as-built plan for Villages at Cook's Farm.
2. At the Sept 14, 2020 Planning Board meeting, the Planning Board requested the following items be complete:
 - Install the fence, per the approved plans, where a guardrail was installed
 - Discuss the color of the house as painted

Comments

Applicant has provided a revised as-built plan showing the fence was installed.
Applicant has provided a list of house colors and a plan showing where each color located.

I CERTIFY THAT THIS PLAN WAS PREPARED FROM AN ON THE GROUND SURVEY AND THAT THE BUILDING(S) AND IMPROVEMENT(S) ARE LOCATED ON THE LOT AS SHOWN HEREON.



PROFESSIONAL LAND SURVEYOR

SEE DEFINITIVE SUBDIVISION ENTITLED "UNION MEADOWS DEFINITIVE SUBDIVISION IN FRANKLIN MASSACHUSETTS," PREPARED BY GUERRIERE & HALNON, INC. DATED MARCH 15, 2016, LAST REVISED 06.30.2016 AND PLANNING BOARD APPROVED 8/8/16, RECORDED IN PLAN BOOK 652 PAGE 37.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

PREPARED FOR:
TNT BUILDING CORPORATION
119 EAST CENTRAL STREET #B
FRANKLIN, MA 02038

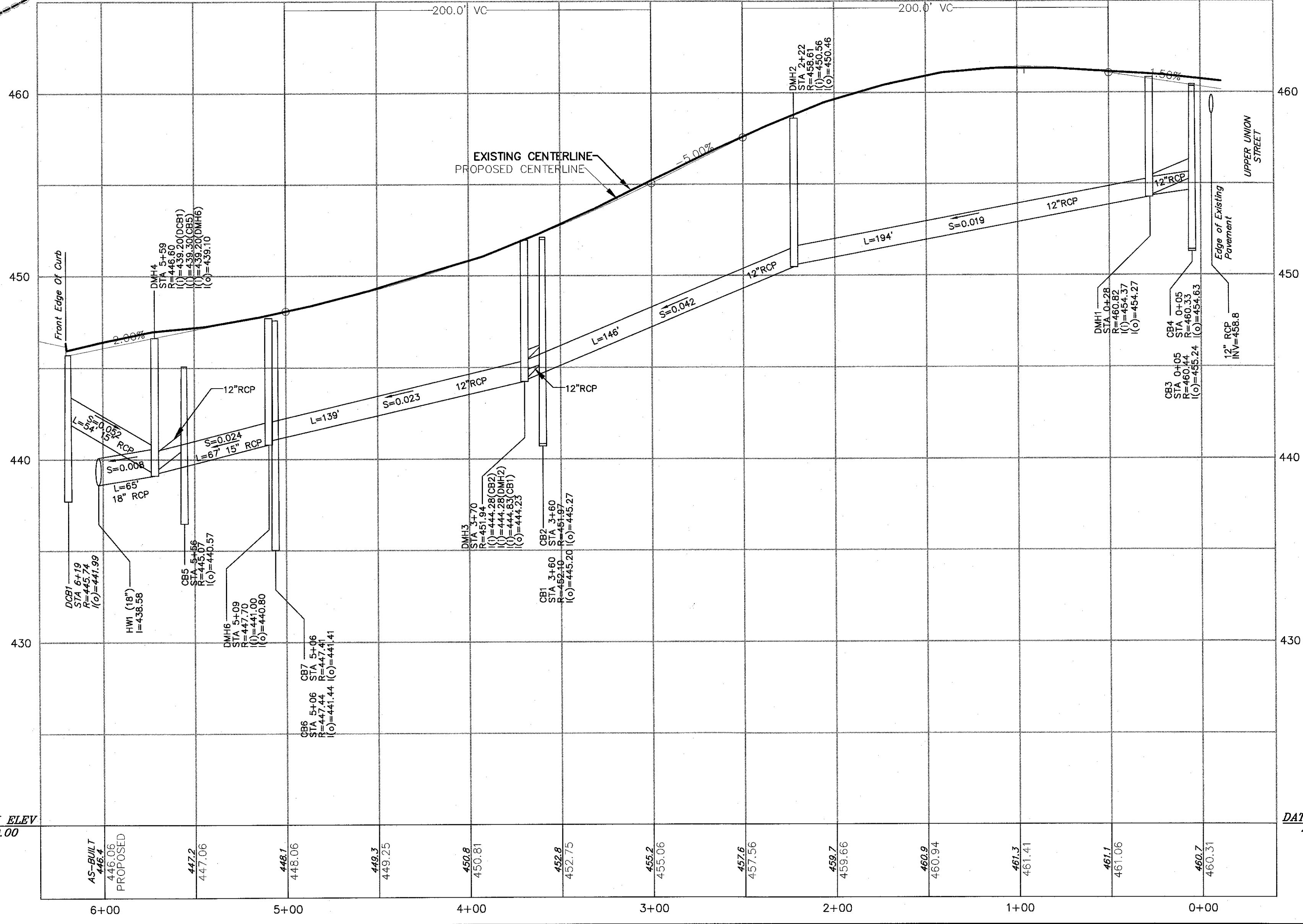
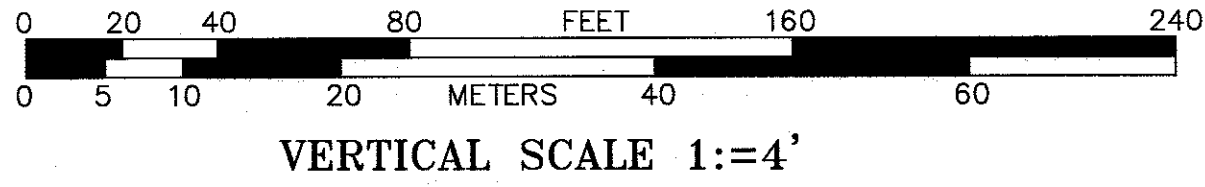
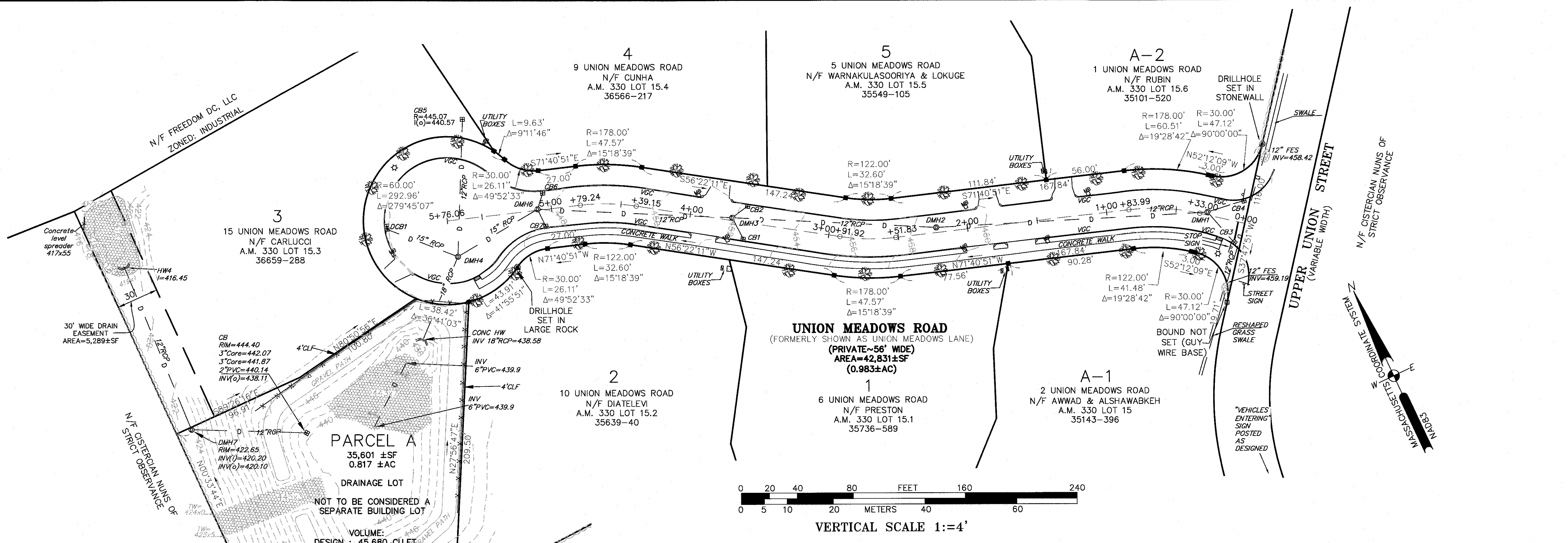
REVISIONS

DATE	REVISED
08.10.2020	PER TOWN ENGINEER COMMENTS.

Guerriere & Halnon, Inc.
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Fx. (508) 528-7921 FRANKLIN, MA 02038
www.gandhengineering.com

ROADWAY AS-BUILT
UNION MEADOWS ROAD
FRANKLIN
MASSACHUSETTS

DATE JULY 17, 2020	SCALE H: 1"=40' V: 1"=4'
SHEET 1 OF 1	JOB NO. F3973



LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		MAIL BOX
	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		STREET LIGHT
	WATER VALVE		VERTICAL GRANITE CURB
	WATER SHUT OFF VALVE		SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		
	STREET TREE		
	CONCRETE BOUND SET		

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FRANKLIN PLANNING & COMMUNITY DEVELOPMENT

355 EAST CENTRAL STREET
FRANKLIN, MA 02038-1352
TELEPHONE: 508-520-4907
FAX: 508-520-4906

MEMORANDUM

DATE: September 16, 2020
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: Road Acceptance – Union Meadows Estates

The DPCD has reviewed the above referenced request for Bond Reduction to be reviewed at the Monday, September 21, 2020 Planning Board meeting and offers the following commentary:

General:

1. The current Bond is held in a Tripartite Agreement with the Town of Franklin in the amount of \$2,002.00 for Union Meadows Rd. The Bond is held until the roadway is accepted by Town Council and filed at the registry of Deeds.
2. The Applicant has requested Street Acceptance.
3. BETA performed a site inspection and has noted all items are complete.

Recommendation:

DPCD recommends that the Board vote to recommend to Town Council.



FRANKLIN PLANNING & COMMUNITY DEVELOPMENT

355 EAST CENTRAL STREET
FRANKLIN, MA 02038-1352
TELEPHONE: 508-520-4907
FAX: 508-520-4906

MEMORANDUM

DATE: September 17, 2020
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: Franklin Country Club – Rinse Area
Final Form H

The Applicant for above referenced project submitted a Final Form H Limited Site Plan Modification for a rinse Area and Site Improvement. The Planning Board voted and approved on the Final Form H at the September 14, 2020 Planning Board meeting.

DPCD received an email the next day from Chairman Padula, requesting the vote be rescinded. Chairman Padula expressed concern about the dumpster, parking and maintenance building.

Comments:

1. Limited Site Plans are heard under General Business. The Planning Board held meetings on December 3, 2018, January 28, 2019 and February 11, 2019 on the Limited Site Plans. Meetings Minutes can be found on the Planning Board website.
2. The Planning Board voted and approved a Limited Site Plan Modification on February 11, 2019.
3. The Planning Board voted to Endorse the Limited Site Plan Modification on March 11, 2019.
4. The endorsed Limited Site Plan shows a dumpster pad on Page 3 and dumpster pad details on Page.
5. Note that the Site Plan includes removal of old fuel tanks, installation of new tanks, rinse area, parking area and dumpster pad.
6. The maintenance building already existed and no changes were made to the building.

DPCD has provided to the Board a copy of the endorsed plans (also attached). Please let us know if there are any further questions.

LIMITED SITE PLAN MODIFICATION FOR RINSE AREA AND SITE IMPROVEMENTS FRANKLIN COUNTRY CLUB FRANKLIN, MASSACHUSETTS

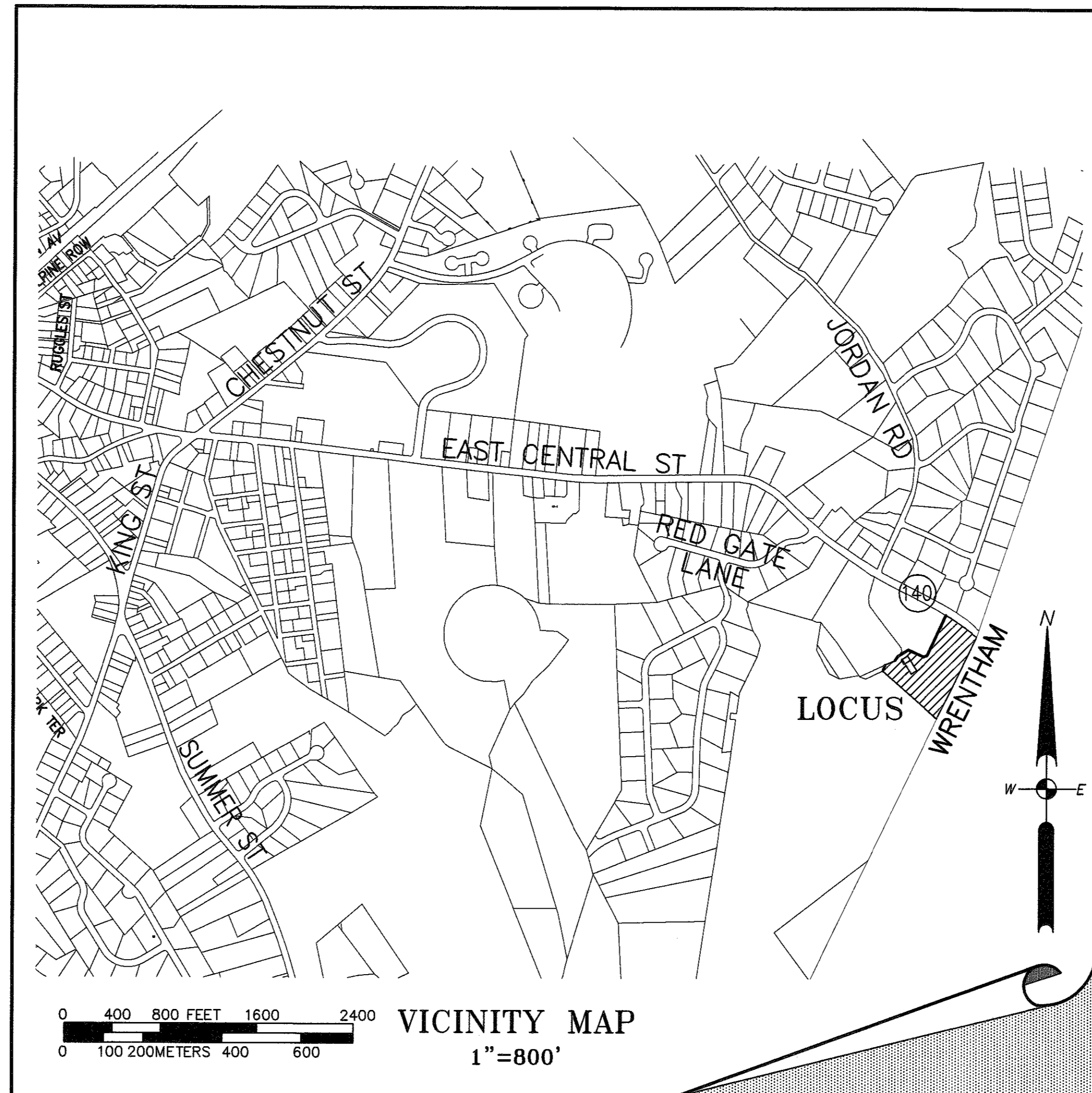
JOB NO. F4237

APPROVED DATE:
FRANKLIN PLANNING BOARD
John Connell
William James
May Kaler

DATE: 3/11/19
BEING A MAJORITY

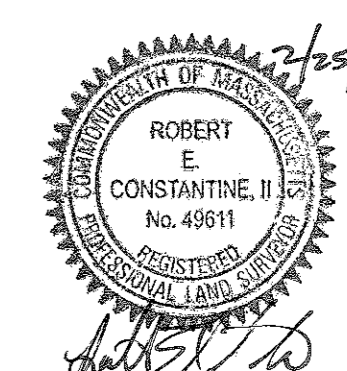
INDEX

1. COVER SHEET
2. EXISTING CONDITIONS
3. PROPOSED CONDITIONS
4. CONSTRUCTION DETAILS
5. CONSTRUCTION NOTES

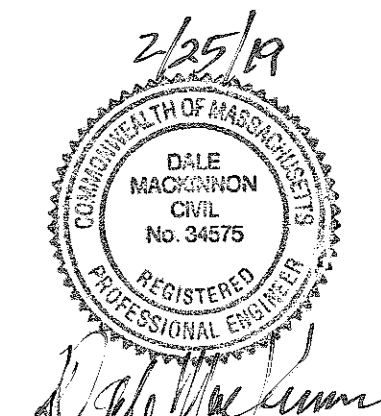


CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR LIMITED SITE PLAN MODIFICATION FOR RINSE AREA AND SITE IMPROVEMENTS, FRANKLIN COUNTRY CLUB, 672 EAST CENTRAL STREET, FRANKLIN MA. 02038, VOTING TO APPROVE WITH CONDITIONS. SEE SHEET 5 OF 5 FOR DOCUMENT.



PROFESSIONAL LAND SURVEYOR



PROFESSIONAL ENGINEER

OWNER(S)/APPLICANT(S):

FRANKLIN COUNTRY CLUB, INC.
672 EAST CENTRAL STREET
FRANKLIN, MA 02038
DEED BK. 1487 PG. 455
DEED BK. 5044 PG. 275

REVISIONS

DATE	REVISED
1/17/19	REVISED PER TOWN COMMENTS
1/31/19	REVISED PER PLANNING BOARD COMMENTS
2/11/19	ADDED CERT. OF VOTE

Guerriere & Halnon, Inc.
Engineering & Land Surveying
Ph. (508) 528-3221 55 WEST CENTRAL STREET
Fx. (508) 528-7921 FRANKLIN, MA 02038
www.gandhengineering.com

COVER SHEET

LIMITED SITE PLAN MODIFICATION
FOR RINSE AREA & SITE
IMPROVEMENTS
FRANKLIN COUNTRY CLUB
FRANKLIN MASSACHUSETTS

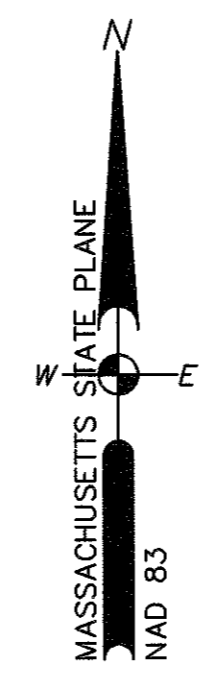
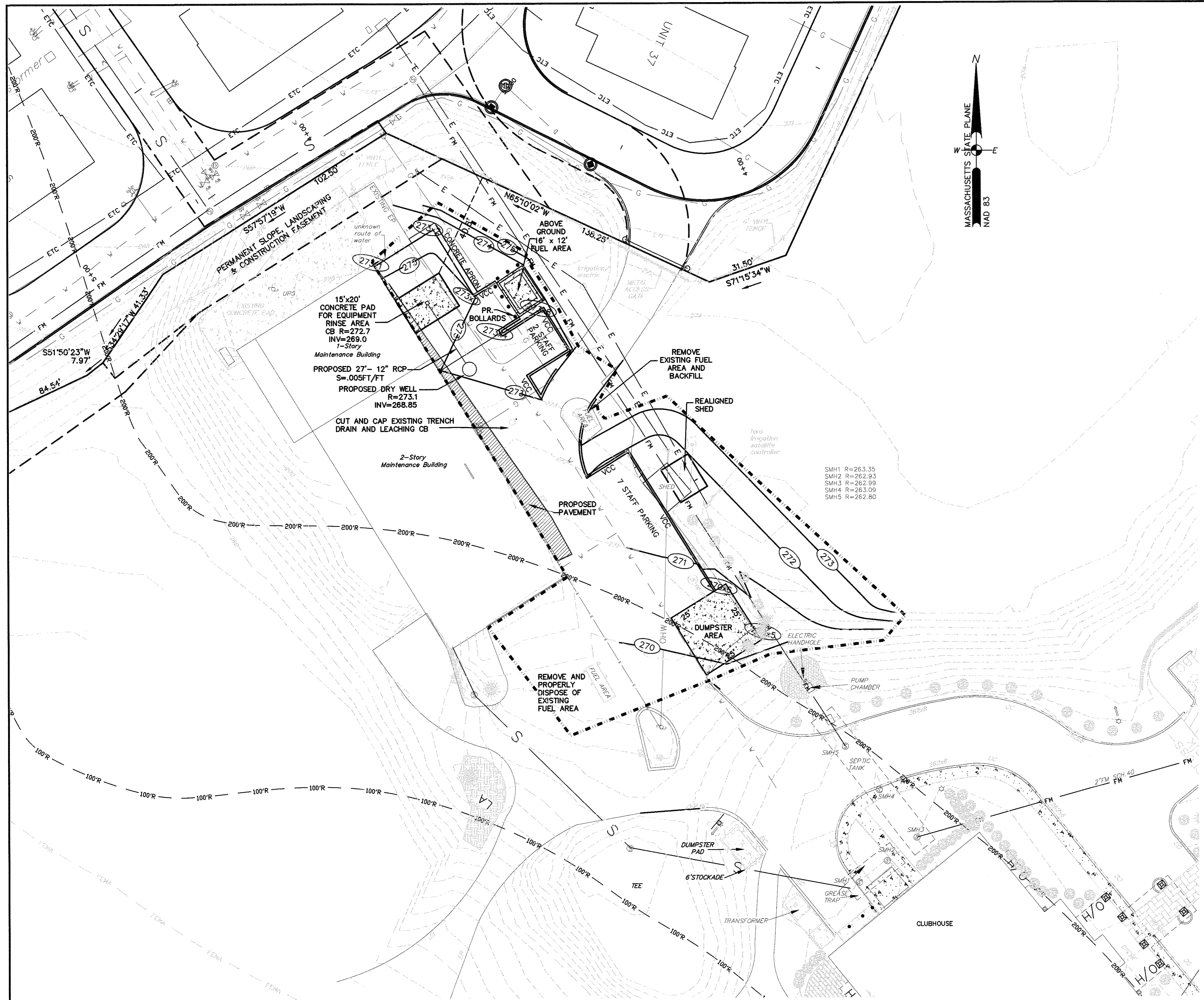
DATE NOVEMBER 19, 2018	SCALE 1"=800'
SHEET 1 OF 5	JOB NO. F4237

OWNER(S)/APPLICANT(S):
FRANKLIN COUNTRY CLUB, INC.
672 EAST CENTRAL STREET
FRANKLIN, MA 02038
DEED BK. 1487 PG. 455
DEED BK. 5044 PG. 275

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

K:\P\763\dwg\F4237-Base.dwg, 2/25/2019 1:41:21 PM



ZONING BOARD OF APPEALS NOTE:

SEE DECISION BY ZONING BOARD OF APPEALS ON THURSDAY JANUARY 10, 2019, VOTING TO APPROVE A 2000 GALLON ABOVE GROUND FUEL STORAGE TANK WITHIN A WATER RESOURCE DISTRICT WHERE A 550 GALLON IS ALLOWED ACCORDING TO ZONING BYLAW 185-40.D(1)(d)(i).

APPROVED DATE:
FRANKLIN PLANNING BOARD
Deborah Cannon
William Davis
Amy Rowe

DATE: 3/11/19
BEING A MAJORITY

LEGEND

- | | | | |
|--------|----------------------|---------|------------------------|
| ⊞ | CATCH BASIN | ☆ | PROPOSED LIGHT POLE |
| ⊙ | DRAIN MANHOLE | ⊙ | UTILITY POLE |
| ⊕ | ELECTRIC MANHOLE | ⊙ | GUY WIRE |
| ⊗ | SEWER MANHOLE | ⊙ | SIGN |
| ⊕ | GAS VALVE | —S— | SEWER LINE |
| ⊕ | GAS SHUT OFF VALVE | —D— | DRAIN LINE |
| ⊕ | WATERGATE | —W— | WATER LINE |
| ⊕ | WATER SHUT OFF VALVE | —G— | GAS LINE |
| ⊕ | FIRE HYDRANT | —ETC— | ELEC., TEL, CABLE |
| VCC | VERTICAL CONC CURB | —OHW— | OVERHEAD WIRES |
| RW | RETAINING WALL | —25'B— | 25' WETLAND BUFFER |
| A.F.G. | ABOVE FINISH GRADE | EP | EDGE OF PAVEMENT |
| ⊙ | ARBORVITAE | X 000.0 | SPOT ELEVATION |
| ⊙ | SHRUB | • C.O. | CLEAN OUT |
| ⊙ | TREE | EM | ELECTRIC METER |
| | | — — — | PROPOSED LIMIT OF WORK |

RURAL RESIDENTIAL I
FRANKLIN ZONING BYLAW SECTION 185
ATTACHMENT 9, LAST AMENDED
11-16-16 BY AMENDMENT 16-771

MINIMUM LOT AREA	40,000 SF
MINIMUM LOT FRONTAGE	200'
MINIMUM LOT DEPTH	200'
MINIMUM LOT WIDTH	180' ⁴

MINIMUM YARDS
FRONT 40'
SIDE 40'
REAR 40'

% OF LOT UPLAND COVERED BY:
STRUCTURES 20
STRUCTURES+PAVING 25

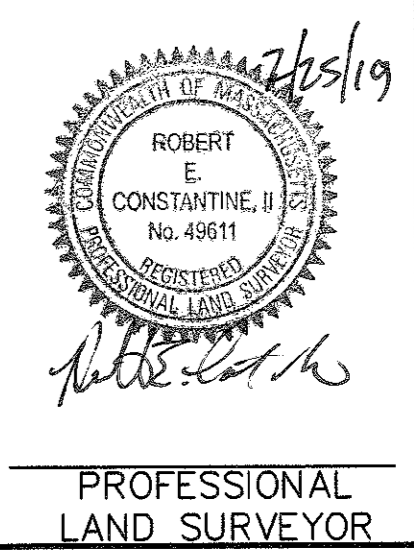
⁴ WITHIN OPEN SPACE DEVELOPMENTS, THE LOT WIDTH WHICH MUST BE MET FOR INDIVIDUAL LOTS SHALL NOT BE LESS THAN 1/2 THOSE REQUIRED WITHIN THE UNDERLYING DISTRICT

NOTE:

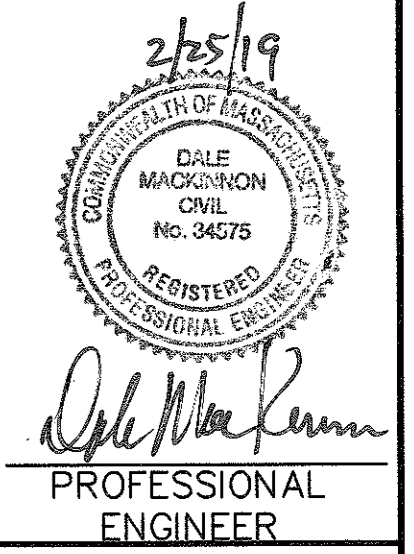
EXISTING PAVEMENT WITHIN LIMIT OF WORK= 9413 ±SF.
PAVEMENT TO BE REMOVED = 650 ± SF.
PAVEMENT TO BE ADDED = 1997 ±SF.
TOTAL PAVEMENT ADDED = 1347 ±SF.
TOTAL AREA TO BE RE-PAVED = 9626±SF.
(3) CONCRETE PADS TO BE CONSTRUCTED = 1134±SF.

RIPARIAN ZONE DISTURBANCE:

- AREA OF PAVEMENT WITHIN THE 100FT-200FT RIPARIAN ZONE IN THE LIMIT OF CONSTRUCTION = 9,488±SF.
- BUILDING WITHIN THE INNER AND OUTER RIPARIAN ZONE = 1661±SF.
- TOTAL AREA OF DISTURBANCE WITHIN THE 100 FT. AND 200FT. 3151±SF.



PROFESSIONAL LAND SURVEYOR



PROFESSIONAL ENGINEER

OWNER(S)/APPLICANT(S):

FRANKLIN COUNTRY CLUB, INC.
672 EAST CENTRAL STREET
FRANKLIN, MA 02038
DEED BK. 1487 PG. 455
DEED BK. 5044 PG. 275

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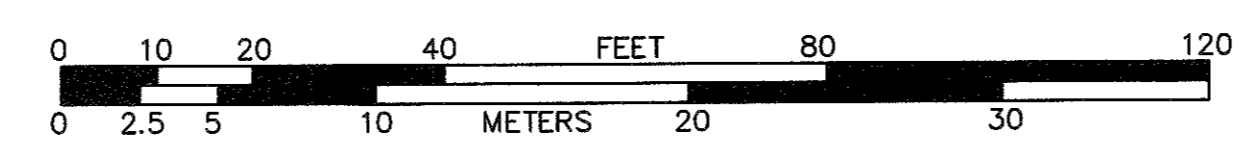
SITE PLAN

LIMITED SITE PLAN MODIFICATION
FOR RINSE AREA & SITE
IMPROVEMENTS
FRANKLIN COUNTRY CLUB
FRANKLIN MASSACHUSETTS

DATE NOVEMBER 19, 2018	SCALE 1"=20'
SHEET 3 OF 5	JOB NO. F4237

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIGSAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



DEBRIS NOTE:

1. PRIOR TO ANY WORK COMMENCING THE PROPERTY, THE OWNER WILL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO ANY PUBLIC WAY, THE OWNER/APPLICANT AND HIS ASSIGNS SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY. ALL CLEANUPS SHALL OCCUR WITHIN 24 HOURS AFTER FIRST WRITTEN NOTIFICATION TO THE OWNER/APPLICANT BY THE BOARD OR ITS DESIGNEE.

GENERAL NOTES:

1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
2. INSTALL SILT SACKS.
3. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL.
4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
6. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
7. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.
8. A CONSTRUCTION FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE SITE.
9. LIMIT OF DISTURBANCE WILL BE REVIEWED BY PLANNING BOARD REPRESENTATIVE BEFORE ANY CUTTING OF TREES.

GENERAL EROSION CONTROL AND DRAINAGE CONSTRUCTION PHASING

1. INSTALL EROSION CONTROL DEVICES ACCORDING TO SITE PLAN
2. SITE TO BE CLEARED AND GRUBBED.
3. INSTALLED SLOPE MATTING TO STABILIZE SLOPES (IF APPLICABLE)
4. INSTALL TEMPORARY DIVERSION SWALES
5. GRIND EXISTING PAVEMENT
6. INSTALL CATCHBASIN, DRY WELL AND ENSURE TEMPORARY COVER IS IN PLACE.
6. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS
7. INSTALL PAVEMENT UP TO BINDER FINISH GRADE.
7. REMOVED TEMPORARY DIVERSION SWALES AFTER SITE HAS BEEN STABILIZED.
8. REMOVE PERIMETER EROSION CONTROL DEVICES ONCE SITE CONSTRUCTION IS COMPLETE.

CONSTRUCTION NOTES

1. A PRE-CONSTRUCTION MEETING WITH DPW IS REQUIRED.
2. ALL STRIPING AND SIGNAGE TO CONFORM TO "THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES."
3. THERE ARE NO TREES DESIGNATED AS "PUBLIC SHADED TREES" ON THIS SITE TO BE REMOVED FOR THE SITE PLAN.
4. ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
5. THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO A PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.

UST AND AST REMOVAL:

- CONTRACTOR SHALL HAVE TECHNICAL EXPERIENCE IN THE REMOVAL OF GASOLINE USTS SATISFACTORY TO OWNER IN THE CLASS OF WORK INVOLVED. CONTRACTOR SHALL HAVE ADEQUATE PERSONNEL AND EQUIPMENT TO PERFORM THE WORK. CONTRACTOR SHALL PROVIDE OWNER WITH FIVE (5) REFERENCES FOR SIMILAR TYPE PROJECTS COMPLETED WITHIN THE PAST 10 YEARS.

- CONTRACTOR RESPONSIBLE TO EMPTY AND PROPERLY DISPOSE OF CONTENTS OF UST AND AST (MANIFEST REQUIRED).

- CONTRACTOR RESPONSIBLE TO SECURE LOCAL FIRE DEPARTMENT PERMITS FOR REMOVAL AND PROPERLY DISPOSE OF THE UST AND AST. CONTRACTOR TO PROVIDE TANK DISPOSAL CERTIFICATES TO ENGINEER/OWNER.

- CONTRACTOR RESPONSIBLE TO WORK WITH ENVIRONMENTAL CONSULTANT (PROVIDED BY OWNER UNDER SEPARATE CONTRACT) TO COLLECT SAMPLES WITH AN EXCAVATOR AS DIRECTED BY ENVIRONMENTAL CONSULTANT.

- IF CONTRACTOR ENCOUNTERS SOIL OR GROUNDWATER CONTAMINATION, THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY. THE CONTRACTOR MAY BE DIRECTED BY THE ENVIRONMENTAL CONSULTANT TO EXCAVATE AND STOCKPILE CONTAMINATED SOIL ON 6 MIL POLY AND COVER WITH 6 MIL POLY.

- CONTRACTOR REQUIRED TO BACKFILL AND COMPACT EXCAVATIONS WITH STRUCTURAL FILL.

DRY WELL REMOVAL:

- CONTENTS OF THE DRY WELL TO BE REMOVED BY THE CONTRACTOR AND STOCKPILED ON 6 MIL POLY AND COVERED WITH 6 MIL POLY FOR LATTER INSPECTION BY ENVIRONMENTAL CONSULTANT TO DETERMINE PROPER DISPOSAL PROCEDURES.

- CONTRACTOR TO REMOVE DRY WELL AS DIRECTED BY ENVIRONMENTAL CONSULTANT AND COORDINATE SAMPLING WITH ENVIRONMENTAL CONSULTANT WITH AN EXCAVATOR, PROVIDED BY THE CONTRACTOR.


- IF CONTRACTOR ENCOUNTERS SOIL OR GROUNDWATER CONTAMINATION, THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY. THE CONTRACTOR MAY BE DIRECTED BY THE ENVIRONMENTAL CONSULTANT TO EXCAVATE AND STOCKPILE CONTAMINATED SOIL ON 6 MIL POLY AND COVER WITH 6 MIL POLY

GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF FRANKLIN STANDARDS.
2. THE SITE SHALL CONFORM TO ALL RULES AND REGULATIONS AND APPROVALS FROM LOCAL, STATE AND FEDERAL AGENCIES.
3. PARKING STRIPING SHALL BE PAINTED WITH ACRYLIC PAINT.
4. PROPERTY IS CURRENTLY ZONED RURAL RESIDENTIAL I AND WITHIN A WATER RESOURCE DISTRICT.
5. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
6. ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE AND INSPECTED BY ENGINEER PRIOR TO CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON SITE.
7. ELEVATIONS REFER TO NAD83/NAVD88
8. THE AREA OF PROPOSED CONSTRUCTION FALLS WITHIN A ZONE "X" AREA OF MINIMAL FLOODING WHILE THE WESTERLY PORTION OF THE SITE, OUTSIDE THE PROPOSED CONSTRUCTION AREA, IS WITHIN A FLOOD ZONE "A" AREA PER FEMA COMMUNITY PANEL 25021C0323E, EFFECTIVE DATE 7/17/2012.

CONSTRUCTION NOTES

1. ALL UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING AND SHALL CONTACT THE ENGINEER WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
2. EROSION CONTROL SHALL BE INSTALLED, MAINTAINED AND REPAIRED/REPLACED DURING CONSTRUCTION ACTIVITIES UNTIL A CERTIFICATE OF COMPLIANCE HAS BEEN ISSUED.
3. SITE SHALL BE CLEAR FROM DEBRIS AND LITTER DAILY.

Town of Franklin

 Planning Board

February 12, 2019
 Teresa M. Burr, Town Clerk
 Town of Franklin
 355 East Central Street
 Franklin, MA 02038

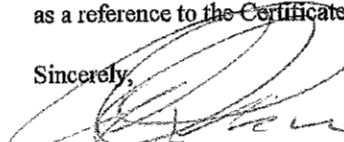
CERTIFICATE OF VOTE
LIMITED SITE PLAN
672 EAST CENTRAL STREET

Site Plan: "Limited Site Plan Modification, for Rinse Area and Site Improvements, Franklin Country Club, Franklin, Massachusetts"

Applicant/ Owner: Franklin Country Club, Inc.
 672 East Central Street
 Franklin, MA 02038

Prepared By: Guerriere & Halnon, Inc., Franklin, MA
Surveyor/ Engineer: November 19, 2018
Dated: 672 East Central Street
Property Location: Assessors Map 300, Lot 002

Dear Mrs. Burr:
 Please be advised that at its meeting on Monday, February 11, 2019 upon motion duly made and seconded, the Planning Board voted (5-0) TO APPROVE, WITH CONDITIONS, the above referenced Limited Site Plan. The Conditions of Approval are listed on pages 2-3, attached hereto. All of these conditions as well as a reference to the Certificate of Vote shall be placed on the plans prior to endorsement.

Sincerely,

 Anthony Padula
 Chairman

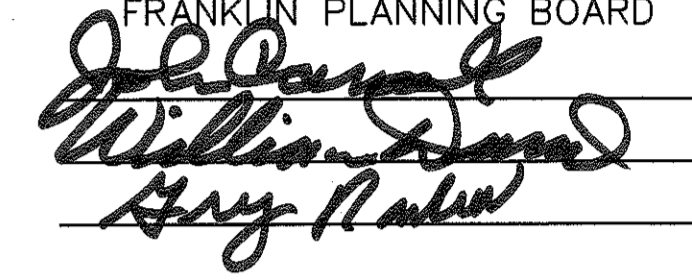
cc: Owner/Applicant/ Applicant's Engineer
 Building Commissioner
 DPW/Engineering
 File

CERTIFICATE OF VOTE
LIMITED SITE PLAN
672 EAST CENTRAL STREET

1. The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
2. Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form H). Said inspection is further outlined in condition #1.
3. No alteration of these plans shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
4. All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
5. Prior to the endorsement of the site plan, the following shall be done:
 - The owner/applicant shall make a notation on the plan that references the conditions and dates of this Certificate of Vote.
 - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
 - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
 - The owner/applicant shall submit a minimum of six copies of the approved version of the plan.
6. All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the approved plan have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.
7. Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.

8. Maintenance and repair of, the parking area, water supply system, sewer pipes, electric distribution system, and stormwater system shall be the responsibility of the owner/applicant and shall never be the responsibility of the Town and the Town shall never be required to perform any service, repair or maintenance with respect to said areas, or any of the aforementioned systems within the subject property. The Town will never be required to provide snow plowing or trash pickup, with respect to the subject property.
9. Prior to endorsement, all changes necessitated by the foregoing conditions shall be made on the plan.
10. Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Inspector.

JOB NO. F4237

APPROVED DATE:
 FRANKLIN PLANNING BOARD

 DATE: 3/11/19
 BEING A MAJORITY

2/25/19

 DALE MACKINNON
 CIVIL
 No. 34575
 REGISTERED
 PROFESSIONAL ENGINEER

 PROFESSIONAL ENGINEER

OWNER(S)/APPLICANT(S):
 FRANKLIN COUNTRY CLUB, INC.
 672 EAST CENTRAL STREET
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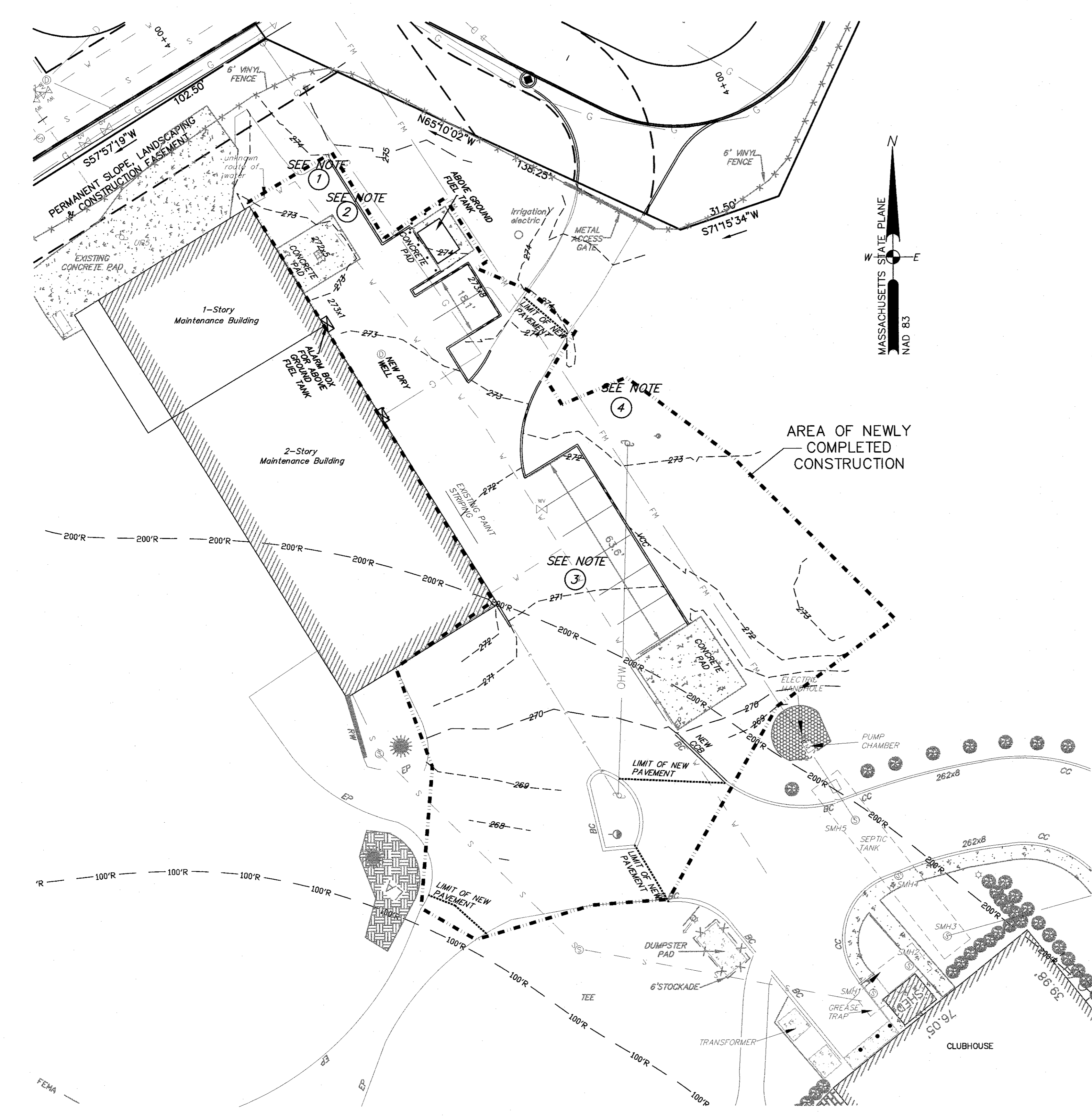
REVISIONS	
DATE	REVISED
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Guerriere & Halnon, Inc.
 Engineering & Land Surveying
 Ph. (508) 528-3221 55 WEST CENTRAL STREET
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CONSTRUCTION NOTES

LIMITED SITE PLAN MODIFICATION
FOR RINSE AREA & SITE
IMPROVEMENTS
FRANKLIN COUNTRY CLUB
FRANKLIN MASSACHUSETTS

DATE NOVEMBER 19, 2018	SCALE 1"=20'
SHEET 5 OF 5	JOB NO. F4237



LEGEND

- | | | | |
|--------|----------------------|---------|---------------------|
| ⊞ | CATCH BASIN | ☆ | PROPOSED LIGHT POLE |
| ⊕ | DRAIN MANHOLE | ⊕ | UTILITY POLE |
| ⊙ | ELECTRIC MANHOLE | • | GUY WIRE |
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RURAL RESIDENTIAL I
 FRANKLIN ZONING BYLAW SECTION 185
 ATTACHMENT 9; LAST AMENDED
 11-16-16 BY AMENDMENT 16-771

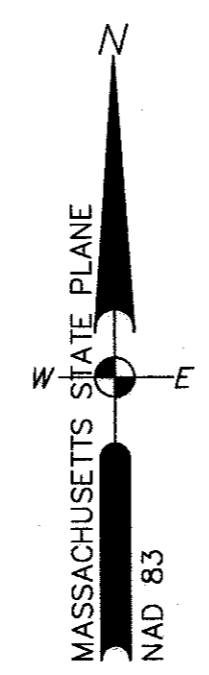
MINIMUM LOT AREA	40,000 SF
MINIMUM LOT FRONTAGE	200'
MINIMUM LOT DEPTH	200'
MINIMUM LOT WIDTH	180'±

MINIMUM YARDS

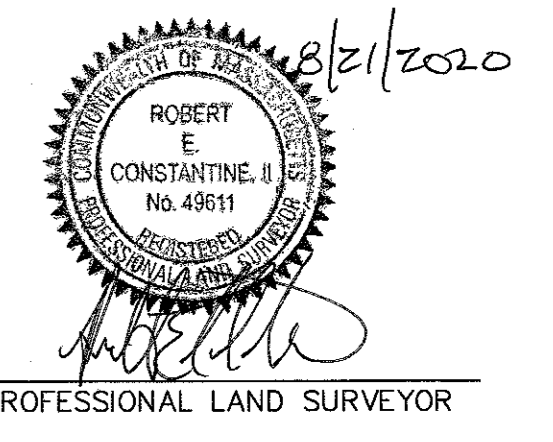
FRONT	40'
SIDE	40'
REAR	40'

% OF LOT UPLAND COVERED BY:

STRUCTURES	20
STRUCTURES+PAVING	25



I CERTIFY THAT THIS PLAN WAS PREPARED FROM AN ON THE GROUND SURVEY AND THAT THE BUILDING(S) AND IMPROVEMENT(S) ARE LOCATED ON THE LOT AS SHOWN HEREON.



OWNER(S)/APPLICANT(S):
 FRANKLIN COUNTRY CLUB, INC.
 672 EAST CENTRAL STREET
 FRANKLIN, MA 02038
 DEED BK. 1487 PG. 455
 DEED BK. 5044 PG. 275

REVISIONS

DATE	REVISED

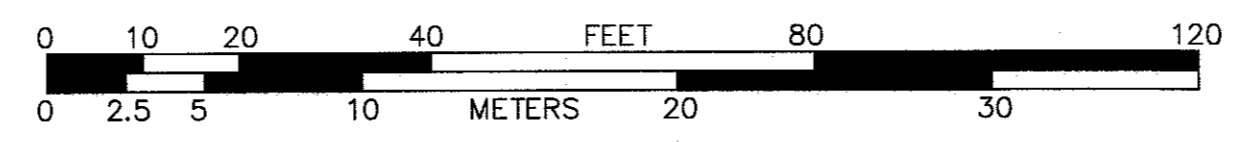
PLAN PURPOSE:
 REQUEST FOR CERTIFICATE OF COMPLIANCE OF ALL WORK BEING COMPLETED IN SUBSTANTIAL ACCORDANCE WITH THE APPROVED PLAN BY GUERRIERE AND HALNON, INC. ENTITLED "LIMITED SITE PLAN MODIFICATION FOR RINSE AREA AND SITE IMPROVEMENTS, FRANKLIN COUNTRY CLUB, FRANKLIN, MASSACHUSETTS," DATED NOVEMBER 19, 2018 AND REVISED THRU FEBRUARY 11, 2019, EXCEPT AS NOTED.

- NOTES:** (SEE PLAN FOR LOCATION)
- PROPOSED CURB NOT INSTALLED.
 - VERTICAL CONCRETE CURB WAS INSTALLED, WHERE A CONCRETE APRON WAS PROPOSED.
 - SIX (6) 10' X 18' PARKING SPACES WERE STRIPED WHERE SEVEN (7) 9' X 18' SPACES WERE PROPOSED.
 - THE EXISTING SHED WAS REMOVED INSTEAD OF BEING RELOCATED.

Guerriere & Halnon, Inc.
 Engineering & Land Surveying
 Ph. (508) 528-3221 55 WEST CENTRAL STREET
 Fx. (508) 528-7921 FRANKLIN, MA 02038
 www.gandhengineering.com

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS, AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. (ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 92, SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIGSAFE72333.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



**RINSE AREA AS-BUILT
 FRANKLIN COUNTRY CLUB
 FRANKLIN MASSACHUSETTS**

DATE	AUGUST 7, 2020	SCALE	1"=20'
SHEET	1 OF 1	JOB NO.	F4237

Town of Franklin



Planning Board

**August 12, 2020
Meeting Minutes**

Chair Anthony Padula called the above-captioned meeting held at the Municipal Building, 2nd Floor, Council Chambers, 355 East Central Street, Franklin, MA, to order this date at 7:18 PM; residents could attend and participate via the Zoom Platform. Planning Board Members in attendance: Anthony Padula, Joseph Halligan, William David, Gregory Rondeau, Rick Power. Members absent: None. Town Council members in attendance: Andrew Bissanti, Brian Chandler, Robert Dellorco, Eamon McCarthy Earls (via Zoom), Melanie Hamblen, Glenn Jones, Matthew Kelly, Thomas Mercer, Deborah Pellegri. Councilors absent: None. Administrative personnel in attendance: Jamie Hellen, Town Administrator; Mark Cerel, Town Attorney (via Zoom); Chrissy Whelton, Assistant to the Town Administrator.

7:00 PM Joint Meeting with the Town Council

Chair Padula stated this meeting is being held for the Planning Board Associate joint appointment.

► Mr. Hellen reviewed his memo of March 13, 2020, provided in the Town Council's meeting packet. He noted the previous Planning Board Associate member was elected as a full Planning Board member at the last November election rendering the associate seat vacant. He reviewed that board vacancies can be filled by the Town Council and Planning Board jointly until the next Town election on November 2, 2021. About 12 candidates were interviewed. The candidates before the Planning Board and Town Council tonight have provided their resumes and completed the Volunteer Form. He noted the Planning Board Associate member is not a full member of the Planning Board but fills in when needed. ► Town Council Chair Mercer stated that four candidates were brought forward. Three candidates are present at tonight's meeting: Mr. Cobi Frongillo, Ms. Beth Wierling, and Ms. Jennifer Williams. Mr. Gregory Giardino was unavailable to attend tonight's meeting. He asked each candidate to provide information about themselves. ► Mr. Frongillo reviewed his background and experience. He stated he is looking for an opportunity to get involved and contribute to the Town. ► Town Council members asked questions which Mr. Frongillo answered. ► Ms. Wierling provided her background and experience. She stated that she is already aware of the process and the people in Franklin and would look forward to begin selected. ► Town Council members asked questions which Ms. Wierling answered. ► Ms. Williams provided her background and experience. She stated that she is invested in seeing Franklin evolve. ► Town Council members asked questions which Ms. Williams answered. ► Chair Mercer thanked all the candidates for coming forward. ► Town Council members requested the views of the Planning Board members on the candidates. ► Chair Padula stated he believed all the applicants were qualified; it is a personal choice. ► Mr. Halligan stated all the candidates would be great. ► Mr. Cerel, Town Attorney, asked for a determination of what constitutes the selection of the candidate in regards to the vote. ► Chair Mercer stated a majority of the 14 votes, nine Town Council members and five Planning Board members, would be the determination. ► Town Council members discussed the candidates. ► Mr. Kelly stated that ultimately it is the Planning Board's choice as they have to work with the candidate; however, the Town Charter includes the Town Council as a joint appointment. He stated he is looking at only three candidates as the other candidate did not show up. This is a very difficult decision as there are three excellent

candidates. ► Mr. Bissanti thanked all the candidates who applied for this position. ► Mr. Earls stated this is a challenging pick.

ROLL CALL VOTE: Planning Board Members: Rondeau-Williams; Power-Frongillo; David-Williams; Halligan-Frongillo; Padula-Williams. Town Council Members: Bissanti-Frongillo; Chandler-Frongillo; Dellorco-Frongillo; Earls-Frongillo; Hamblen-Wierling; Jones-Williams; Kelly-Williams; Mercer-Williams; Pellegrini-Wierling. ► VOTE: Williams-6, Frongillo-6, Wierling-2.

It was agreed that the low vote candidate was eliminated, and the joint committees voted again. **ROLL CALL VOTE: Planning Board Members: Rondeau-Williams; Power-Frongillo; David-Williams; Halligan-Frongillo; Padula-Williams. Town Council Members: Bissanti-Frongillo; Chandler-Frongillo; Dellorco-Frongillo; Earls-Frongillo; Hamblen-Frongillo; Jones-Williams; Kelly-Williams; Mercer-Williams; Pellegrini-Williams. ► VOTE: Williams-7, Frongillo-7.**

► Mr. Cerel stated the committees may use any mechanism they would like to break the tie. ► Mr. Kelly suggested the Planning Board should make the decision as they have to work with the selected candidate. ► Chair Mercer suggested they vote again. **ROLL CALL VOTE: Planning Board Members: Rondeau-Williams; Power-Frongillo; David-Williams; Halligan-Williams; Padula-Williams. Town Council Members: Bissanti-Frongillo; Chandler-Frongillo; Dellorco-Frongillo; Earls-Frongillo; Hamblen-Frongillo; Jones-Williams; Kelly-Williams; Mercer-Williams; Pellegrini-Williams. ► VOTE: Williams-8, Frongillo-6.**

► Chair Mercer thanked the candidates and welcomed Ms. Williams. He noted that there are many opportunities to volunteer for the Town, and there is also an upcoming election for various Town board/committee seats.

Motion to Adjourn the Planning Board meeting. Padula. Second: David. Vote: 5-0-0 (5-Yes; 0-No). Meeting adjourned at 8:07 PM.

Respectfully submitted,

Judith Lizardi,
Recording Secretary

Town of Franklin



Planning Board

**August 17, 2020
Meeting Minutes**

Chair Anthony Padula called the above-captioned **Remote Access Virtual Zoom Meeting** to order this date at 7:00 PM. Members in attendance: Joseph Halligan, William David, Gregory Rondeau, Rick Power, Associate member Jennifer Williams. Members absent: None. Also present: Amy Love, Planner; Bryan Taberner, Director of Planning and Community Development; Michael Maglio, Town Engineer; Matthew Crowley, BETA Group, Inc.

*As stated on the agenda, due to the growing concerns regarding the COVID-19 virus, the Planning Board will conduct a **Remote Access Virtual Zoom Meeting**. The Massachusetts State of Emergency and the associated state legislation allows towns to hold remote access virtual meetings during the COVID-19 pandemic crisis. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number, or citizens can participate by using the Zoom link also provided on the agenda.*

7:00 PM **Commencement/General Business**

Chair Padula read aloud the Zoom platform call-in phone number and the Zoom link which were also provided on the meeting agenda. He welcomed new Associate member Jennifer Williams.

A. 81-P ANR: 176-210 Grove Street

Chair Padula confirmed all members reviewed the ANR.

Motion to Endorse 81-P ANR: 176-210 Grove Street. Halligan. Second: Rondeau. Vote: 5-0-0 (5-Yes; 0-No).

B. Endorsement: 176-210 Grove Street Site Plan

Motion to Endorse 176-210 Grove Street Site Plan. Halligan. Second: Rondeau. Vote: 5-0-0 (5-Yes; 0-No).

C. Meeting Minutes: June 22, June 29, & July 13, 2020

Motion to Approve the Meeting Minutes for June 22, 2020. Rondeau. Second: David. Vote: 5-0-0 (5-Yes; 0-No).

Motion to Approve the Meeting Minutes for June 29, 2020. Rondeau. Second: David. Vote: 5-0-0 (5-Yes; 0-No).

Motion to Approve the Meeting Minutes for July 13, 2020. Rondeau. Second: David. Vote: 5-0-0 (5-Yes; 0-No).

7:05 PM **PUBLIC HEARING** – Continued

162 Grove Street
Special Permit & Site Plan

Documents presented to the Planning Board are on file.

Mr. Crowley stated that since the last meeting there were only a few outstanding comments regarding the stormwater aspects of the project; those issues have since been addressed. BETA's traffic consultant is present to discuss traffic. He noted there were some significant revisions by the applicant as to how the traffic study was modelled.

Mr. Rick Goodreau of United Consultants provided an update of the status of the project. He stated that since the last Planning Board hearing, the Conservation Commission closed its hearing and approved the project; they are waiting for an Order of Conditions. Design Review has reviewed and approved various components. They have revised the plan set to include the requested bollard and to eliminate other bollards and install a guardrail. They have peer review letters from BETA dated August 11, 2020; most items have been addressed. He stated that Ms. Sasha Wood, traffic engineer from Tetra Tech, will review the traffic report and an updated traffic management plan reflective of the current conditions that exist.

Ms. Wood reviewed the traffic study updates since the last meeting. She noted a traffic summary letter was submitted in response to BETA's comments on August 14, 2020. She stated that NETA is aware of the traffic concerns. NETA has been operating two other reserve-ahead-only facilities since COVID-19. They have developed an online platform to control the number of customers at any given time. They have voluntarily agreed to operate as a reserve-ahead-only facility in Franklin. She discussed that NETA has agreed to limit daily customers to 950; she reviewed the reduced limits during street peak hours. She compared the previous trip generation chart to the current trip generation chart using the reserve-ahead-only program which resulted in 1,400 less trips on a daily basis. She discussed NETA's mitigation plans and post-occupancy monitoring. She discussed remedial actions if needed including triggers, actions, and follow-up study. She stated that they feel the reserve-ahead-only operations will significantly reduce traffic impacts from previously proposed operations.

Planning Board members asked questions about the traffic report, reserve-ahead-only process, parking lot attendants, signage, and number of transactions per hour. Ms. Amanda Rositano, President of NETA/applicant, stated there is a parking attendant onsite at all times at the two existing NETA locations. She noted the reserve-ahead program is advertised on their website, in local papers, and on social media. Mr. Halligan asked if they would be comfortable having this reserve-ahead model conditioned in the Special Permit. Ms. Rositano stated this model works for them at this time. She stated they would agree to the appointment only model allowing that if in the future they would want to make changes, they would come back and get approval from the Town.

Ms. Love noted the applicant has filed with Design Review for a sign. She stated that she was asked by the Town Administrator's office that the Planning Board read into the record the host community agreement. She confirmed all Planning Board members received a copy. Chair Padula had questions regarding the agreement impact fee and the average annual sales numbers. He stated something seemed incorrect about the numbers; he did not want to read it as is. Ms. Love stated the Town Administrator was on vacation. Ms. Rositano stated the law sets a five-year term for the agreement; after five years it will have to be renegotiated. A representative for NETA stated the Town is guaranteed \$300,000 and three percent of revenue; he explained the agreement.

Ms. Jaklyn Centracchio, traffic engineer for BETA, provided an update on the traffic review. She stated there has been a substantial change in how the applicant is going to handle traffic. She stated that no offsite mitigation is being proposed at this time. She stated the Planning Board has expressed concern about the traffic impact on Grove Street that this and other developments in the area will have on the roadway infrastructure. She stated that there are a few technical comments that will be made in their next review; the majority of BETA's comments have been addressed.

Chair Padula stated the Town Council determined this would be an area for retail sales for marijuana. It is an already busy stretch of road. There is a problem at the end of Grove Street at the intersection of Washington Street. He stated that it is not NETA's problem, but he would like to see traffic handled in the area. He noted that the Town is charging impact fees and getting revenue; the Town needs to put the money into capital improvements. He stated that the Planning Board needs a commitment from the Town to use some of the money that the Town will get to fix this problem at the end of Grove Street and the intersection of Washington Street. He requested a commitment from Town Council and Town Administrator to get a signal light at the end of Grove Street to fix the intersection; it is a capital improvement. He needs that to vote positively on this Special Permit. He hopes Ms. Love or Mr. Taberner will relay his message. Mr. Rondeau agreed; Grove Street was not intended to take this kind of traffic. Mr. David agreed that a traffic light is needed there. Chair Padula stated the Planning Board's purpose is public safety, infrastructure, and traffic. Mr. Taberner stated that Grove Street is on the radar; he does not know if a light is part of that. He stated he will have a conversation with the Town Administrator. Chair Padula stated a traffic light is needed; it is a public safety issue. Mr. Maglio noted that a recent Grove Street applicant was going to assist the Town with a grant application for some funds for street improvements. Chair Padula stated he would like to continue the public hearing for one week before he closes the hearing to see if the Planning Board can get a commitment from the Town for a traffic light.

Motion to Continue the public hearing for 162 Grove Street, Special Permit & Site Plan, to August 24, 2020. Halligan. Second: Rondeau. Vote: 5-0-0 (5-Yes; 0-No).

7:10 PM **PUBLIC HEARING** – *Continued*
5 Fisher and 29 Hayward Streets
 Special Permit & Site Plan Modification
Documents presented to the Planning Board are on file.

Attorney Stephen Chaplin, on behalf of Attorney Edward Cannon, representing the applicant, stated at the last meeting the Planning Board wanted assurance that no new tenants would be added into this property without a full Site Plan review by the Planning Board. The applicant is willing to submit to that. He noted that the Planning Board requested that the building be separated with a barrier. The Fire Department has said that the plan provides access. The proposed tenant is anxious to begin the manufacture of N95 masks.

Mr. Taberner stated the applicant provided the information that was requested by the Planning Board. Chair Padula stated this is a Limited Site Plan Modification for this particular building on 29 Hayward Street. He confirmed this is for the production of N95 masks by Mass Standard Materials. Planning Board members agreed on the wording as Limited Site Plan for 29 Hayward Street, change in use. Chair Padula asked this wording, the name Mass Standard Materials, and the agreement be put on the front page of the plan. Mr. Chaplin stated he did not know the hours of operation; he does not believe a lease has been negotiated or signed at this point. Mr. Pierce Schiller, Mass Standard Materials, stated they are looking to run three shifts in a 24-hour operation. Planning Board members noted that residential homes are abutting the building and discussed if trucks and deliveries at night could be limited. Mr. Schiller stated he would need to discuss these questions with the plant manager. Chair Padula requested the answers to these questions as well as noise factors, deliveries during second and third shifts, and if there will be overlapping traffic with the change in shifts in the parking lots.

Mr. Schiller said they are only looking to step into a facility that previously used a three-shift schedule; they would like to continue operations as the previous tenant had. Chair Padula asked if the applicant agreed to no pick up or deliveries from 10 PM to 7 AM. Mr. Halligan stated Sunday deliveries should not be allowed. Mr. Schiller stated they would be working seven days per week. He stated that these questions need to be brought before the plant manager. Chair Padula reiterated the building backs up to residential properties. He is concerned about trucks idling and making deliveries at night; people have to sleep. Mr. Schiller stated that without consulting legal counsel or his plant manager, he cannot make a commitment on these concerns.

Chair Padula stated the Planning Board is not in agreement to deliveries during the 10 PM to 7 AM timeframe. Mr. Taberner discussed that if the north side were used for shipping and receiving, it would have less impact on abutting neighbors. Mr. Rondeau requested confirmation about the weekend hours. Ms. Love stated abutters within 300 ft. were notified of the public hearing via regular mail. Chair Padula confirmed that no abutters were attending the meeting. He stated that if there are complaints with the trucking noise, the building commissioner can handle it. Discussion commenced about bylaws regarding deliveries and disturbing the peace.

Motion that this be handled as a Change in Use for 29 Hayward Street for Mass Standard Materials, and the letter is included. Halligan. Second: David. Vote: 5-0-0 (5-Yes; 0-No).

Motion to Close the public hearing for 5 Fisher and 29 Hayward Streets, Special Permit & Site Plan Modification. Padula. Second: Halligan. Vote: 5-0-0 (5-Yes; 0-No).

Discussion commenced regarding a change in use and the requirement for a Site Plan. Ms. Love stated the change in use requires a Site Plan. Chair Padula stated the change in use was for only 29 Hayward Street. Ms. Love stated the request for the Special Permit was incorrectly listed on the agenda; the application was for a Site Plan. She stated that 5 Fisher Street is part of the actual parcel which includes 29 Hayward Street. Chair Padula stated that 5 Fisher Street needs to be withdrawn without prejudice, or it needs to be voted on as it was listed and applied for. He asked Ms. Love to check with Town Attorney Mark Cerel.

Motion to Adjourn the Remote Access Virtual Zoom Planning Board Meeting. Rondeau. Second: Power. Vote: 5-0-0 (5-Yes; 0-No). Meeting adjourned at 8:32 PM.

Respectfully submitted,

Judith Lizardi,
Recording Secretary

Town of Franklin



Planning Board

**August 24, 2020
Meeting Minutes**

Chair Anthony Padula called the above-captioned **Remote Access Virtual Zoom Meeting** to order this date at 7:00 PM. Members in attendance: Joseph Halligan, William David, Gregory Rondeau, Rick Power, Associate member Jennifer Williams. Members absent: None. Also present: Amy Love, Planner; Bryan Taberner, Director of Planning and Community Development; Michael Maglio, Town Engineer; Matthew Crowley, BETA Group, Inc.

*As stated on the agenda, due to the growing concerns regarding the COVID-19 virus, the Planning Board will conduct a **Remote Access Virtual Zoom Meeting**. The Massachusetts State of Emergency and the associated state legislation allows towns to hold remote access virtual meetings during the COVID-19 pandemic crisis. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number, or citizens can participate by using the Zoom link also provided on the agenda.*

7:00 PM Commencement/General Business

Chair Padula read aloud the Zoom platform call-in phone number and the Zoom link which were also provided on the meeting agenda.

A. Discussion: 5 Fisher Street

Ms. Love stated that the Planning Board voted to close the hearing on August 17, 2020, and voted in favor of the Change in Use at 29 Hayward Street. The Planning Board had questions about the Site Plan application regarding how the project was filed. DPCD has followed up with the Town Attorney who indicated that the Site Plan Modification (Form P) was filed correctly. The Planning Board also inquired about the Site Plan including both 5 Fisher Street and 29 Hayward Street. The Planning Board conditioned the decision for 29 Hayward Street Change in Use and any future use at 5 Fisher Street will requiring filing a Site Plan Modification. The applicant has provided a letter agreeing to the conditions which will be included in the Planning Board's signed Certificate of Vote. DPCD and the Town Attorney agree the conditions are adequate to address the concerns of the Planning Board.

Chair Padula stated the public hearing was advertised for a Special Permit and Site Plan; he would like a withdrawal without prejudice of the Special Permit and Site Plan. The Change in Use was for 29 Hayward Street. Ms. Love stated there was no Special Permit filing; she had incorrectly put it on the agenda. It was not advertised as a Special Permit; therefore, there is no withdrawal. Chair Padula stated he wanted the Site Plan that was filed for 5 Fisher Street withdrawn because this is not an approval of what the applicant applied for; it is an approval for a change in use for 29 Hayward Street. Ms. Love and Chair Padula agreed the applicant could submit a revised Form P.

B. Endorsement: 301 East Central St. – Pet Supply Plus

Ms. Love stated the Planning Board approved on July 27, 2020, a Limited Site Plan for a new tenant, Pet Supply Plus, that will occupy Tenant 3 Area. The applicant has submitted the Limited Site Plan for

endorsement. The applicant has added Pet Supply Plus for Tenant 3, the Certificate of Vote on the front page, and the Plan Purpose stating it is for Tenant 3 to the plans for endorsement.

Motion to Endorse 301 East Central St., Pet Supply Plus. Rondeau. Second: David. Vote: 5-0-0 (5-Yes; 0-No).

C. Endorsement: 158 Grove Street - Brewery

Ms. Love stated the Planning Board approved on May 11, 2020, a Special Permit and Site Plan Modification to expand the brewery and tasting room at 158 Grove Street. The applicant has submitted plans for endorsement. The Special Permit has been filed at the Registry of Deeds, and there was no appeal.

Motion to Endorse 158 Grove Street, Brewery. Halligan. Second: Rondeau. Vote: 5-0-0 (5-Yes; 0-No).

D. Endorsement: 160 Grove Street

Chair Padula stated the plans indicate precast concrete curbing; he wants the final set of plans labeled reinforced vertical concrete. As well, there is no indication on any of the plans that the drainage pipe will be reinforced concrete pipe. He would like these items corrected and verified before endorsement by the Planning Board. Planning Board members agreed they would vote on the endorsement with the stated conditions; the endorsement would not be signed until it is confirmed the conditions are met.

Motion to Endorse 160 Grove Street with the two changes as indicated. Halligan. Second: Rondeau. Vote: 5-0-0 (5-Yes; 0-No).

7:05 PM

PUBLIC HEARING

Zoning Bylaw Amendment 20-858

Map Amendment

Documents presented to the Planning Board are on file.

Motion to Waive the reading. Rondeau. Second: David. Vote: 5-0-0 (5-Yes; 0-No).

Mr. Taberner reviewed that the Department of Planning and Community Development and other Town staff are undergoing a multi-year project to better define the Town's zoning districts by following parcel lines. Where parcels are within two or more zoning districts, the Zoning District line is moved so each parcel is only in one zoning district, in most cases based on the current land use. At their meeting on June 10, 2020, the Town Council's Economic Development Subcommittee voted to send the proposed Zoning Map Amendment to the full Town Council for further consideration. The Town Council voted to refer Zoning Bylaw Amendment 20-858 to the Planning Board for a public hearing. Letters were sent to the property owners and abutter notifications were sent, as well.

Ms. Williams noted that Parcel 269-111-000 was only in the Single-Family III zoning district; she asked why it was changed to the Rural Residential II zoning district. Mr. Taberner stated it was to make everything on that side the same. He stated that parcel is owned by the Town; it was made the same as the parcel next to it.

Motion to Recommend Zoning Bylaw Amendment 20-858, Map Amendment, to the Town Council. Rondeau. Second: David. Vote: 5-0-0 (5-Yes; 0-No).

Motion to Close the Public Hearing for Zoning Bylaw Amendment 20-858, Map Amendment. Halligan. Second: Rondeau. Vote: 5-0-0 (5-Yes; 0-No).

7:05 PM **PUBLIC HEARING** - *Continued*
340 East Central Street
Special Permit & Site Plan
Documents presented to the Planning Board are on file

Mr. Halligan recused himself.

Mr. Richard Cornetta, attorney representing the applicant; Mr. Erik Poulin, project engineer of Jones & Beach Engineers, Inc.; Mr. Jeffrey Dirk of Vanasse & Associates Inc.; and Mr. Mark Arnold, wetland engineer of Goddard Consulting, addressed the Planning Board. Mr. Cornetta stated it has been a few months since they were last before the Planning Board. He noted that this is the former Keigan Chevrolet site. They have made some revisions to the plans based on comments received from BETA. He noted there is a wetland resource on the site; as such, they will be meeting with Conservation Commission for a NOI this Thursday.

Mr. Poulin reviewed his responses to comments provided by the Planning Board, town staff, BETA, and DPW. He discussed the proposal for snow storage, turning plans, dumpster locations, and access in and out of the site. He stated that 12 in. HDPE pipe and a constructed wetland plan for Building D were added. He reviewed the requested waivers.

Ms. Love stated that at the last meeting the Planning Board requested more screening with landscaping between the property abutting to the west. The applicant proposed a six ft. chain link fence. DPCD recommends a white vinyl fence and plantings. The Planning Board requested additional landscaping and screening in front of the site and around the drive thru. The applicant has provided additional landscaping in these areas. She noted the applicant received Design Review recommendation; DPCD recommends the color renderings be added to the plans. She stated that the Planning Board inquired about deliveries and access around Building D; however, that issue has not yet been addressed.

Chair Padula stated he would prefer the chain link fence in front of the parking spaces rather than the vinyl as the vinyl would be pushed over by snow plows. Planning Board members asked questions and discussed a possible alternative to the fence such as arborvitae. Mr. Poulin stated he would check to see if there was some combination of fence and plantings, but it was very tight to the lot line and there is a slope.

Mr. Maglio reviewed his remaining comments as outlined in his letter of August 20, 2020; he stated the issues were discussed with the applicant and they will be addressed in the next set of plans. Mr. Crowley stated that BETA has reviewed the revised documents for the proposed Site Plan Approval application. The applicant has worked to address the majority of the comments; BETA is generally satisfied with the overall stormwater management design. Chair Padula and Planning Board members asked questions. Mr. Crowley discussed Class V pipe and stated it would be adequate. Chair Padula asked about the proposed onsite snow-melt machine regarding if it was portable to go catch basin to catch basin or would one catch basin take all the snow. Mr. Poulin stated the units are portable. He explained the operator controls the rate of snow going into the unit. He did not see any issue with the snow melt going into the catch basins. Chair Padula asked about the parking lot and the required 1.5 parking spaces per unit. He asked if the applicant would have an issue with only two-bedroom units and no three-bedroom units. Mr. Poulin said he thinks the current design is for only two-bedroom units. He noted the residential parking onsite has signage for residents only. He stated the integration of a bus stop will reduce the need for parking; they feel there is enough parking on the site. Mr. David asked about the fencing; he is in favor of the chain link fence. He requested some form of protection in front of the patio such as bollards to stop a car. Mr. Rondeau asked if Building A could be marked out so the Planning Board could go out and see the roof line; the four-story, 55 ft. tall building is going to be on Rt. 140. Mr. Cornetta stated 3D renderings may provide a sense of the scale of the building. Mr. Rondeau stated he wants to see what it would look like coming from CVS. Mr. Cornetta stated there is a billboard there at this time which will act as a buffer. Ms. Williams asked about the building height

calculations. Mr. Poulin stated he can get answers from the architect. Chair Padula asked about sight distance coming out of the location. Mr. Poulin stated when sight distance was reviewed, there were no obstructions.

Mr. Dirk stated they provided a response to BETA’s peer review comments. He stated a few items on the trip generation calculations were clarified. BETA has suggested that as part of the traffic monitoring program required by the Town and MassDOT, they need to monitor traffic volumes and crash data at the access to the property and perform a traffic signal warrant analysis. He stated that if approved, the approved Planning Board plans will be submitted to MassDOT.

Motion to Continue the public hearing for 340 East Central Street, Special Permit & Site Plan, to September 14, 2020. Rondeau. Second: David. Vote: 4-0-0 (4-Yes; 0-No).

Mr. Halligan re-entered the meeting.

7:05 PM **PUBLIC HEARING** – *To Be Continued*
164 Grove Street
Special Permit & Site Plan
Documents presented to the Planning Board are on file.

Chair Padula stated the applicant requested a continuance to the September 14, 2020, meeting.

Motion to Continue the public hearing for 164 Grove Street, Special Permit & Site Plan, to September 14, 2020. Rondeau. Second: David. Vote: 5-0-0 (5-Yes; 0-No).

7:05 PM **PUBLIC HEARING** – *Continued*
162 Grove Street
Special Permit & Site Plan
Documents presented to the Planning Board are on file.

Ms. Love stated that DPCD has no further comments on the Site Plan. She noted that the Planning Board requested that the Town or applicant commit to offsite improvements with something proposed at this meeting. She stated that if the Planning Board approves the Special Permit and Site Plan, the following suggested conditions be included: The proposed facility will operate as a reserve ahead-only dispensary, which would require customers and patients to place an order in advance and select a scheduled pick-up time to retrieve the product, the Transportation Demand Management Plan, submitted by the applicant, shall be included with the Certificate of Vote, and the Design Review color recommendations shall be included in the endorsed set of plans. Chair Padula asked to see the color renderings before the Planning Board approves. Mr. Crowley stated BETA has no outstanding comments on this project.

Chair Padula stated he would like a monetary commitment from the Town for a set of traffic lights at the intersection of Grove Street and Washington Street for traffic mitigation before he closes the public hearing and before the Planning Board votes. Mr. Jamie Hellen, Town Administrator, stated that he acknowledges the problem at the intersection and the commitment in general the Town has in bringing some solution/traffic light there sometime in the future. In terms of the host community agreement, which is the annual \$300,000 NETA contributes to the Town, unfortunately, this year, that money has already gone through the budget process and allocated to the School Department and the SAFE Coalition. He noted a few other options to solve this problem through funds raised by this business and other businesses approved on Grove Street. He stated that he would be happy to commit some of those funds to some kind of stabilization account or other account and describe in the budget how the money would be allocated. He thinks that would be a future revenue source. He stated that in the case of NETA, there is a three percent local option sales tax where the Town receives three percent of all gross sales from the NETA retail store; there is a policy relative to how those funds can be spent, and they can be spent on capital projects such as the possibility of an account to

save up the money to do the light. He stated that today he signed off on the \$2.5 million grant application to the State put forth as part of mitigation by the 206 Grove Street project; the application includes funding for the entire cost of the light. He stated that these are just a handful of possible financing options to address this. He reiterated that he acknowledges the problem is there, and there is a solution. Unfortunately, he cannot take the \$300,000 NETA contributed this year as it has already been appropriated.

Chair Padula asked how the Town Administrator could take money and appropriate it already for a project that has not even been approved by the Planning Board. The money was supposed to go to capital improvements. He noted the \$2.5 million grant is only an application, it is not assured. He is looking for a commitment from the Town that the money from this project, should it be approved, goes for a set of lights. He stated this is an accident-prone intersection, and Mr. Hellen should check with the Police Department on the accident statistics. This is a mix of industrial facilities, residential, and the marijuana overlay district. Mr. Halligan asked if something could be worked out and the received sales tax be allocated to a fund for the light. Mr. Hellen stated that if the Town gets the \$2.5 grant in January, he does not have to do anything. The Town hired a consultant to do the grant process. If they don't get the grant this year, they will apply again next year. He stated he is making a commitment to do something about the light, but will not dedicate specific funds tonight as the grant may come through. He also does not know when the applicant will be fully up and running. He cannot make an explicit dollar amount commitment; there are plenty of funding sources. Chair Padula stated it would make him comfortable if the Town Administrator could put this on paper as what he says tonight could completely change tomorrow; Chair Padula wants a direct commitment, not hearsay. Mr. Hellen discussed his commitment to financing the project. He is hesitant to nail down a dollar figure. Mr. Rondeau asked if a percentage of the sales tax could be taken until enough funding is gathered; he stated all the facilities in the area are why there is a need for a light. Chair Padula stated that the lights are needed now and the Town should make it a priority. Mr. David discussed the hundreds of new cars that will be added to Grove Street. He suggested a detail police officer directing traffic there during peak hours. Five years waiting for a traffic light is too long; the issue is there now. Mr. Hellen stated how much sales tax money would be raised would be an estimate. It would take a few years to raise the money for the light. Mr. Maglio stated he thinks it would cost about \$750,000 to \$1 million for the light project. Mr. Hellen stated the traffic pattern at that intersection is now different due to COVID-19. Chair Padula stated the traffic and the trains are back. Changing this area to industrial and a marijuana overlay district for retail marijuana was done backwards by the Town. The traffic light should have been the first priority before the road was designated as such; it should have been thought out. Mr. Hellen stated he agrees and that this has been a long-standing problem. They are trying to find creative finance ways to do this work. He still feels they are moving in the right direction.

Mr. Don Cooper, representing NETA, stated that NETA's impact fee of \$300,000 is a yearly amount. Mr. Halligan suggested he did not want to lose a project that was going to bring a substantial amount of money to the community. Rather than close the public hearing and have a negative vote tonight, he would like to continue the hearing to get additional information and try to work this out. He would like to see the traffic light. Mr. Cooper stated they do not want to close the hearing if it would jeopardize the viability of the project. Chair Padula stated the Special Permit aspect calls for public safety and traffic flow is public safety. Planning Board members agreed that the hearing should be continued to see if there can be something from the Town regarding the light and the traffic flow. Mr. Jim Vallee stated they do not make decisions on infrastructure. He stated that he does not think everyone realizes the size of the check that could be generated by this facility. They are in an overlay district that was zoned by the Town. He stated that they would be happy to pay for police details. He noted this applicant has agreed to a restriction on the Special Permit and reduced their traffic demand with the reserve-ahead model. They are willing to work with the Town. He stated the applicant will become part of the solution. Chair Padula stated he does not have any problem with the application. The Planning Board is asking for a commitment from the Town; they should not have to wait five to ten years for this. Mr. Hellen asked what is the commitment that the Planning Board wants to see. He reiterated that in the best-case scenario, the Town will get the grant funding in January. He stated that even if he allocated all the money provided by the applicant to the light, it would still take a few years to have

enough money. He stated that he does not want to wait five to ten years to fix this problem; however, it is an expensive project and will take resources to do it. Chair Padula stated they just approved a school on Washington Street and King Street; it took just over one year and there is a set of traffic lights there. He stated that he has no idea why it would take five to ten years to get the project done for something that was needed for so long. He hopes an answer can be found by the meeting on September 14, 2020. Mr. Power noted that the applicant is willing to put a police detail at that intersection. Ms. Amanda Rositano, President of NETA/applicant, stated that they would consider paying for a police detail at the intersection if traffic warrants it. Chair Padula said that is not a set of lights. He stated this is a public safety problem.

Motion to Continue the public hearing for 162 Grove Street, Special Permit & Site Plan, to September 14, 2020. Halligan. Second: Power. Vote: 5-0-0 (5-Yes; 0-No).

Motion to Adjourn the Remote Access Virtual Zoom Planning Board Meeting. Power. Second: David. Vote: 5-0-0 (5-Yes; 0-No). Meeting adjourned at 8:38 PM.

Respectfully submitted,

Judith Lizardi,
Recording Secretary