#### **DESIGN REVIEW COMMISSION**

#### **AGENDA**

**February 22, 2022** 

#### 7:00 PM

# **Virtual Meeting**

Due to the growing concerns regarding the COVID-19 virus, we will be conducting a remote/virtual Design Review Commission Meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number (Cell phone or Landline Required) OR citizens can participate by copying the link (Phone, Computer, or Tablet required). Please click on <a href="https://us02web.zoom.us/j/88101597368">https://us02web.zoom.us/j/88101597368</a> or call on your phone at 1-929-205-6099, meeting ID is 88101597368

7:00 PM Bellagio Nail Bar & Lashes – 340 East Central Street

Apply Gold Vinyl on the existing pylon sign

7:05 PM Liquor World – 365 West Central Street

Change faces in pylon sign

7:10 PM Union Street Business Park II – 839 Upper Union Street

Construct a new 42,750 sf multi-tenant industrial building

7:20 PM Marcus Partners Industrial Warehouse – 585 King Street

Construction of a new 255,400 sf tilt up concrete wall industrial warehouse

7:30 PM Taj Estates of Franklin II – 230 East Central Street

Construction of a new mixed-use, (33) unit apartment building with (1)

ground level commercial unit

#### **General Matters:**

Approval of Minutes: February 8, 2022

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

This agenda is subject to change. Last updated: 2-17-2022

The next meeting of the Design Review Commission is scheduled for March 8, 2022

# FORM Q

# TOWN OF FRANKLIN DESIGN REVIEW APPLICATION FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information	
Name of Business or Project: Bellagio Nail Ba	ar & Lashes
Property Address 340 East Central St. Franklin,	MA 02038
Assessors' Map # 285-609-000 Parce	el#
Zoning District (select applicable zone):	CIL
Zoning History: Use Variance Non-Conforming Use	
B) Applicant Information:	
Applicant Name: New CC Sign Inc.	
Address: 259 Quincy Ave.  Quincy MA 02169	
Telephone Number: 857-205-5678	ista include:
Contact Person: Ricky Zeng	procedure to the state of the s
C) Owner Information (Business Owne	r & Property Owner if different)
Business Owner: Tammy Tran Address:	Property Owner: 340 East Zentral St LLC
All of the information is submitted according Executed as a sealed instrument this	ing to the best of my knowledge day of 100000000000000000000000000000000000
Ricky Zeng Signature of Applicant	
Signature of Applicant	Signature of Owner
Ricky Zeng	Joseph Halligram 340 East Central St LLC
Print name of Applicant	Print name of Owner

\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 – 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

p

D) Architect/Engineer/Sign Company In:	formation (if not the applicant)
a. Sign Company	
Business Name: New CC Sign Inc.	
Contact Person: Ricky Zeng	
Address 259 Quincy Ave. Quincy, MA 02169	
Telephone Number: 857-205-5678	
b. Architect/Engineer (when applicable)	
Business Name:	
Contact Person:	
Address	
Telephone Number:	
E) Work Summary	
Summary of work to be done: Apply the go	Id vinyl on the existing existing pylon sign
F) Information & Materials to be Submit a) FOR SIGN SUBMISSIONS ONLY:	itted with Application
THE FOLLOWING MUST BE SUBMIT Mkinhart@franklinma.gov	TED ELECTRONICALLY TO
1. Drawing of Proposed Sign which must a type of sign (wall, pylon etc.) size/dimensions style of lettering	also include colors materials lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating locat	ion of new sign.
3. Picture of existing location and signs (if	previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

# THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov

- 1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
- 2. Lighting Plan indicating lighting levels & specifications of proposed lights
- 3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
- 4. Drawings or pictures of existing conditions
- 5. If any signage on the building or site, provide information from above Signage Checklist

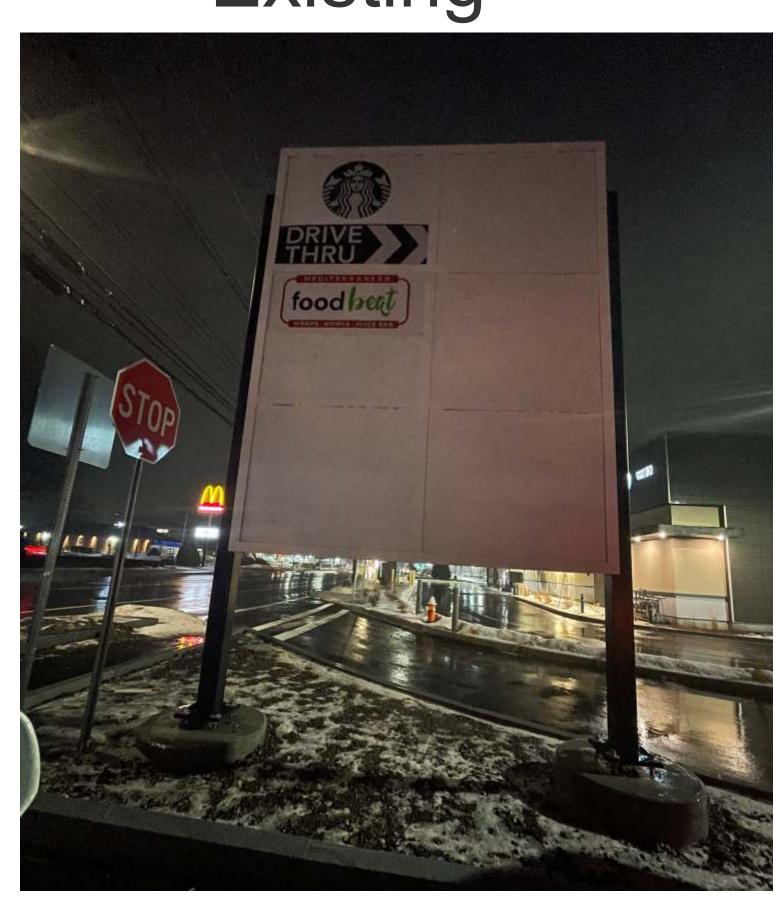
# ELLAGIO SELLASHES A7.50" A7.50" BAR & LASHES

# Specifications:

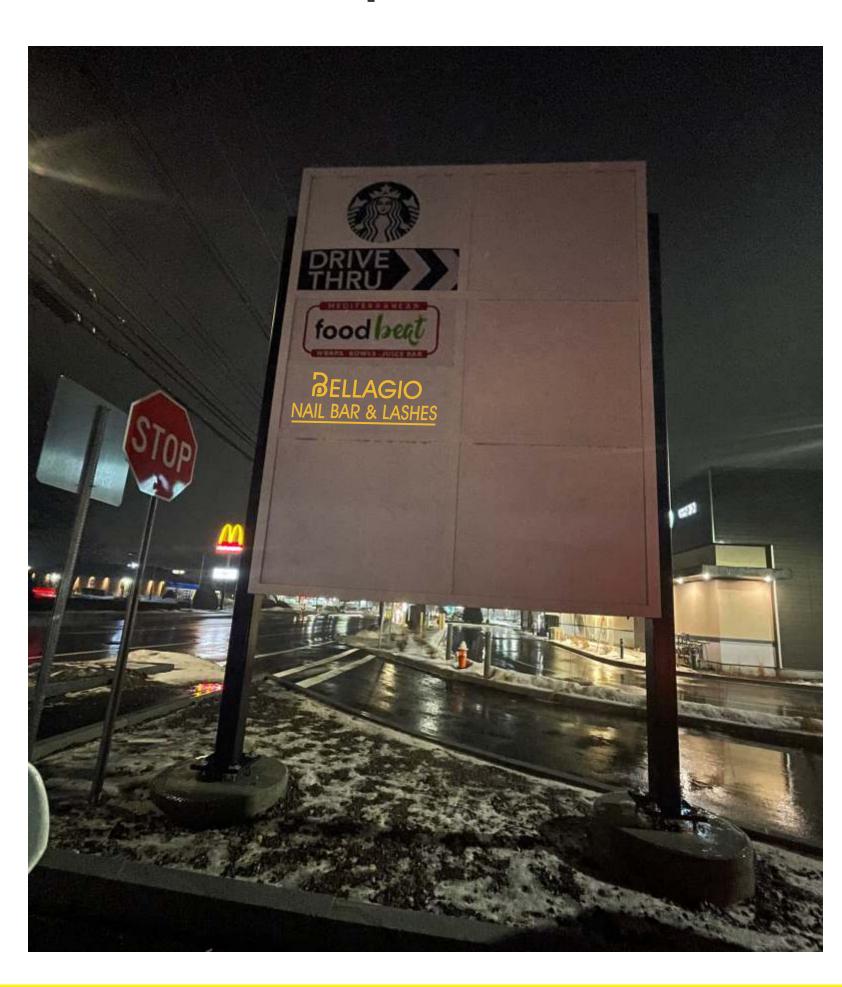
- \* Existing pylon sign and acrylic sheet face.
- \* Apply the gold vinyl.

Sign installed in location shown on attached photo.

# Existing



# Proposed



# Vinyl

This image is for general reference only, and may not accurately represent the actual product.

Customer: Tammy Tran

Company: Bellagio Nail Bar & Lashes

Phone: 617-653-8930

Original: **12/15/2021** Revision:

Estimate(\$0 Means No Price):

Address: 340 East Central St.

City: Franklin

State/Zip: MA 02038

File Name: **Bellagio Nail** 

Job No: **03465** 

The undersigned, in his or her individual and official capacity, hereby certifies that the quoted prices, designs, specifications, terms, and conditions are accepted. New CC Sign is authorized to perform the work as specified.

Date

**Print Name** 

# NEW CC SIGN

259 Quincy Ave. Quincy, MA 02169 TEL: 617.479.8552 / 617-210-7982

Fax: 617.479.4852

ccsignboston@gmail.com

NEW CC Sign ALL RIGHTS RESERVED

# FORM Q

# TOWN OF FRANKLIN DESIGN REVIEW APPLICATION FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information
Name of Business or Project: LIGUOT World
Property Address 365 West Central St. Franklin
Assessors' Map # 277 Parcel # 015
Zoning District (select applicable zone):
Zoning History: Use Variance
B) Applicant Information:
Applicant Name: Gail Chandler
Charlton, MA 01507
Telephone Number: 508-248-4865 - 774-230-3265
Contact Person: Gail Chandler
C) Owner Information (Business Owner & Property Owner if different)
Business Owner: JAYSHIL KUMAR Property Owner: C&K REALTY TRUST Address: 365 WCST CCATRAL  St Frunklin MIN 89 ACCESS Rd SWL 1  All of the information is submitted according to the best of my knowledge NORWOOD 020 62  Executed as a scaled instrument this day of 20
All of the information is submitted according to the best of my knowledge 20 02 0 62
Signature of Applicant Signature of Owner
Gail Chandler JAYHIL KUMAR PATEL Print name of Owner

\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 ~ 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company In	formation (if not the applicant)		
a. Sign Company Business Name: DINEY SIFIE	et Design idge, MA01507		
Contact Person: Gall Chandl	er		
Address 29 Sovthbr Telephone Number: 508-248-4	1 dge , MA01507		
Telephone Number. 388 C18 - 1	0.6.5		
b. Architect/Engineer (when applicable			
Business Name: Contact Person:			
Address			
Address Telephone Number;			
E) Work Summary			
	ge Faces in pylon Sign		
- V			
The state of Materials to be Subm	sitted with Application		
F) Information & Materials to be Subm	inten with Application		
a) FOR SIGN SUBMISSIONS ONLY:			
THE FOLLOWING MUST BE SUBMI	TTED ELECTRONICALLY TO		
Mkinhart@franklinma.gov	The blade House and the		
1. Drawing of Proposed Sign which must	also include		
type of sign (wall, pylon etc.)	colors		
size/dimensions	materials		
style of lettering	lighting-illuminated, non-illuminated and style		
2. Drawing and/or pictures indicating loca	ntion of new sign.		
3. Picture of existing location and signs (i	f previously existing location)		
b) FOR BUILDINGS/DEVELOPMENT	S OR PROJECT SUBMISSIONS:		
THE FOLLOWING MUST BE SUBMI	TTED W/APPLICATION to Mkinhart@franklinma.gov		
Site Plan including Landscape Plan sho Practices Guide	owing plantings. Plantings must be from Best Development		
2 Lighting Plan indicating lighting levels	& specifications of proposed lights		
<ol><li>Building drawings, indicating size and (when there are no adjoining build</li></ol>	height of building(s); front, rear and side elevations		
4. Denvings or pictures of existing condi-	tions		
5. If any signage on the building or site, provide information from above Signage Checklist			

#### Liquor World - 365 West Central St., Franklin, MA Supply 2 5' x 15' Flexible sign faces with Liquor World Graphics \$2800.00 plus tax Supply 2 3' x 12' White lexan sign faces \$1500.00 plus tax

Supply 23' x 12' White lexan sign faces \$1500.00 plus tax
Retorfit existing sign cabinet to accept flexible sign faces.
Remove and dispose of existing faces, install new sign faces \$2710.00
Apply for permit \$95.00 plus permit fee (to be determined)
We require a 50's deposit to start with the balance due at the time of installation.

LINING WORL



















# FORM Q

# TOWN OF FRANKLIN DESIGN REVIEW APPLICATION FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

A) General information	
Name of Business or Project: Union Street Business Park II	
Property Address 839 Upper Union Street	
Assessors' Map #_ 314	
Zoning District (select applicable zone): Industrial (I)	
Zoning History: Use VarianceNon-Conforming Use	
B) Applicant Information:	
Applicant Name: _TMC Holdings & Development 2, LLC	
Address: 24 William Way, Bellingham, MA 02019	
Telephone Number: 508-966-2020	
Contact Person: Mathew Clark	
C) Owner Information (Business Owner & Property Owner if different)	
Business Owner: Property Owner: Address:	
All of the information is submitted according to the best of my knowledge  Executed as a sealed instrument this day of 20  Signature of Applicant  Signature of Owner	
Matthew Clark - Manager Matthew Clark - Manager	
Print name of Applicant Print name of Owner	

\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY. FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 – 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

# D) Architect/Engineer/Sign Company Information (if not the applicant)

# a. Sign Company

Business Name: Signs By Cam

Contact Person: Cam Afonso

Address 837 Upper Union Street, Suite C-18, Franklin, MA 02038

Telephone Number: <u>508-364-2905</u>

# b. Architect/Engineer (when applicable)

Business Name: David Sisson Architecture PC

Contact Person: David Sisson

Address 345 Taunton Ave., East Providence, RI 02914

Telephone Number: 401-595-7070 dave@ds-arch.com

# E) Work Summary

Summary of work to be done: Construct a new 42,750 SF multi-tenant industrial building

\_\_\_\_\_

# F) Information & Materials to be Submitted with Application

# a) FOR SIGN SUBMISSIONS ONLY:

# THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO Mkinhart@franklinma.gov

1. Drawing of Proposed Sign which must also include

type of sign (wall, pylon etc.) colors size/dimensions materials

style of lettering lighting-illuminated, non-illuminated and style

- 2. Drawing and/or pictures indicating location of new sign.
- 3. Picture of existing location and signs (if previously existing location)

# b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

# THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov

- 1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
- 2. Lighting Plan indicating lighting levels & specifications of proposed lights
- **3**. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
- 4. Drawings or pictures of existing conditions
- 5. If any signage on the building or site, provide information from above Signage Checklist

# **DESIGN STANDARDS**

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. <b>Height</b> —The height of any proposed alteration shall be compatible with the style and character of
the surrounding buildings, within zoning requirements
The height of the proposed building is consistent with the style and character of the abutting buildings
and within allowable limits established by local zoning.
2. <b>Proportions of Windows and Doors</b> – The proportions and relationships between doors and
windows shall be compatible with the architectural style and character of the surrounding area.
The proportions and relationships between the doors and windows are compatible with the architectural
style and character of the surrounding buildings.
3. <b>Relations of Building Masses and Spaces</b> – The relationship of a structure to the open space
between it and adjoining structures shall be compatible
The relationship of the structure to the open space between it and the adjoining structures is compatible
and consistent with the area.
<ol> <li>Roof Shape – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. The design and pitch of the roof is compatible with the architectural style and character of the surrounding buildings.</li> <li>Scale – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. The scale of the structure is compatible with its architectural style and the character of the surrounding buildings.</li> </ol>
6. <b>Façade, Line, Shape &amp; Profile</b> – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: The facade is complimentary and consistent with structures in the surrounding area.  7. <b>Architectural Details</b> – Architectural details, including signs, materials, colors and textures shall
be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area.
The architectural details are complimentary and consistent with the character of the structures in the surrounding area.

8. <b>Advertising Features</b> – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the					
proposed buildings and structures and the surrounding properties.					
The size and location of the signage is consistent with those of the adjacent structures.					
9. <b>Heritage</b> – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable					
10. <b>Energy Efficiency</b> – To the maximum extent reasonably practicable, proposals shall utilize energy efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. Compliant					
11. <b>Landscape</b> - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. The landscape features substantially improve the existing conditions of the property and are complimentary and consistent with the appearance of the adjacent structures and surrounding area to the extent reasonably					

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

possible.

#### **ADDENDA**

# INSTRUCTIONS FOR COMPLETION OF FORM Q-DESIGN REVIEW APPLICATION

#### A. General Information

- Please list name of Business as it will appear on sign or name of project or development, as the case may be, as well as the property address
- Assessors' Map & Parcel numbers may be obtained from tax bill, Town website @ www.franklin.ma.us/Town/Assessors/PropertyTax or from the computer located outside the Assessor's Office, first floor, Municipal Building, 355 East Central Street.
- Zoning District and Zoning History information may be obtained at the Building Department, 1<sup>st</sup> floor, Municipal Building
- B. Applicant Information complete and include name of contact person w/ phone number
- C. Owner Information if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

#### Page 2 –

- D. Architect/Engineer or Sign Company Information:
  - Signs only Name of Sign Company and Contact Person
  - Developments & Projects Engineer and Architect Information as well
- E. Work Summary: Include brief summation of work to be done

#### Pages 3 & 4

- F. Information & Materials to be Submitted via email (Mkinhart@franklinma.gov) w/Application a) SIGNS ONLY
  - sign drawings and photos, which include information listed on Page 2 of the application
  - b) SITE PLAN APPLICATIONS FOR BUILDINGS/DEVELOPMENTS/PROJECTS.
    - all plans including information listed on Page 2 of application.
    - Please bring samples of siding and roofing materials and paint color samples to the meeting when scheduled.

<u>**DESIGN STANDARDS**</u> – For Buildings/Projects and Developments, please complete Pages 3 and 4 as they apply to your project.

ALL APPLICATIONS WITH SUPPLEMENTARY INFORMATION MUST BE FILED BY 4:00 PM ON THE WEDNESDAY PRIOR TO THE FOLLOWING TUESDAY MEETING. MEETINGS ARE GENERALLY TWICE A MONTH THE  $2^{\rm ND}$  &  $4^{\rm TH}$  TUESDAY OF THE MONTH.

FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.



# \*neighboring sign



# \*23k gold leaf carved urethane sign



Cam Afonso

837 Upper Union St., Suite C-18 Franklin, MA 02038 Phone: 508-364-2905 Fax/Office: 508-528-0766 E-Mail: cam@signsbycam.com Website: www.signsbycam.com

# APPROVED FOR PRODUCTION:

JOB INFORMATION SIGN MATERIAL SPECS JOB TITLE: BANNER: COROPLAST: WOOD: CONTACT: URETHANE: ACRYLIC: MAGNETIC: PHONE: FAX: ALUMINUM: NUEDGE: PVC: JOB DESCRIPTION: DOUBLE SIDED: 🔀 SINGLE SIDED: OTHER: SQUARE FOOTAGE:=

# COPYRIGHT LL DRAWINGS ARE PROPERTY OF SIGNS BY CAM, IN YY DUPILICATION OF ANY KIND IS PROHIBITED. RESONGS) WILL BE PROSECUTED TO THE FULL EXTEN

COLOR SPECS: BACKGROUND: COPY:

OUTLINE: SHADOW: BORDER: LOGO:

# PROPOSED SITE PLAN DOCUMENTS

\_\_\_\_\_ FOR \_\_\_\_\_

TMC HOLDINGS & DEVELOPMENT 2, LLC

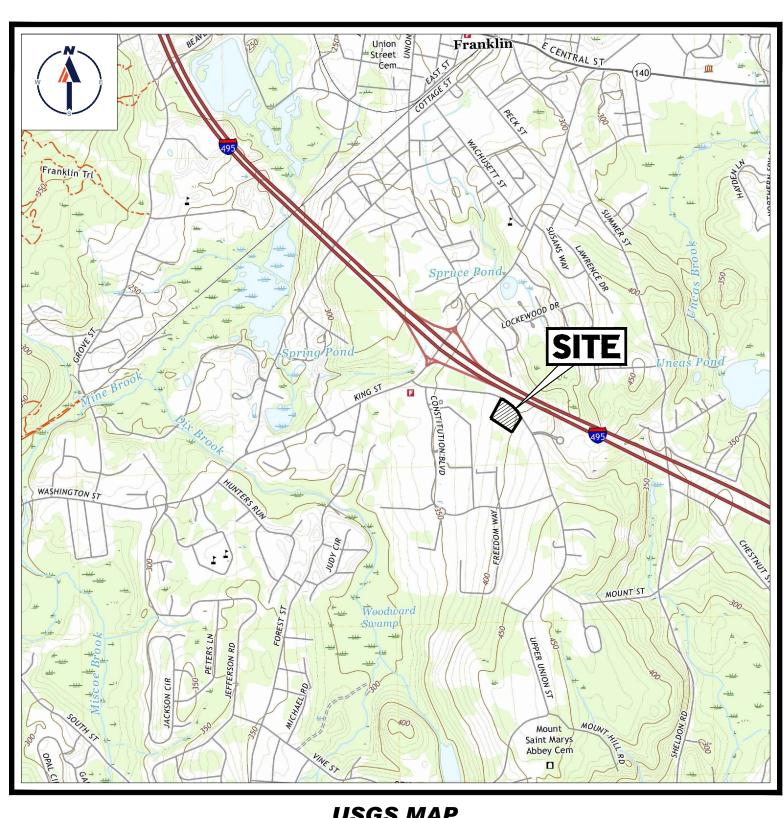
**PROPOSED** 

INDUSTRIAL DEVELOPMENT

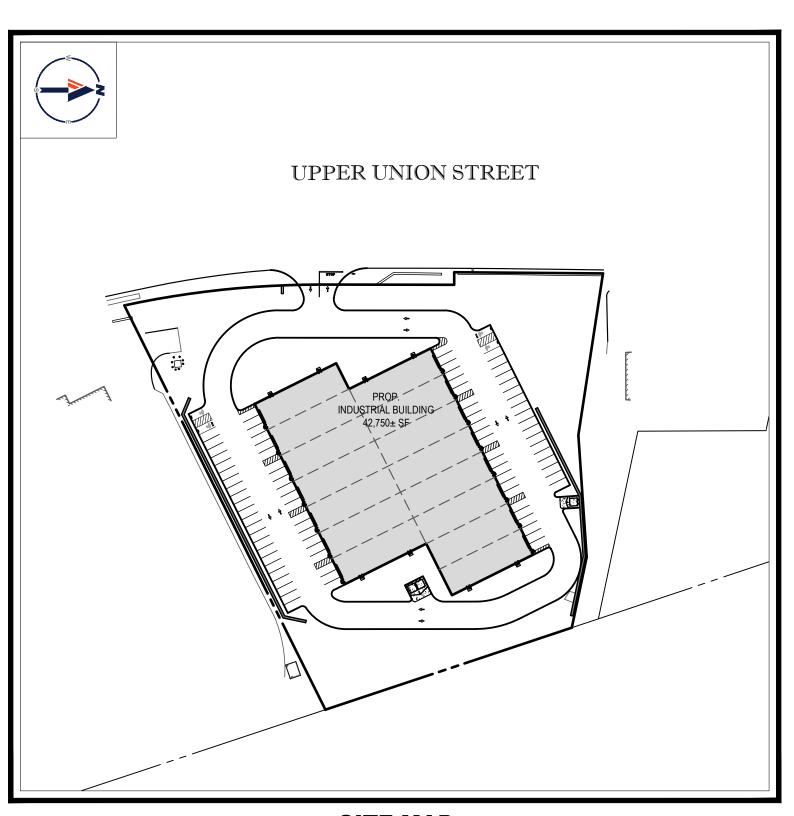
UNION STREET BUSINESS PARK II

**LOCATION OF SITE:** 

839 UPPER UNION STREET, CITY OF FRANKLIN
NORFOLK COUNTY, MASSACHUSETTS
MAP #314, BLOCK #20, LOT #1







SITE MAP

SCALE: 1" = 100'

PREPARED BY



# DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER	
COVER SHEET	C-101	
GENERAL NOTES SHEET	C-102	
DEMOLITION PLAN	C-201	
SITE LAYOUT PLAN	C-301	
GRADING PLAN	C-401	
DRAINAGE PLAN	C-501	
UTILITY PLAN	C-502	
EROSION AND SEDIMENT CONTROL PLAN	C-601	
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C-602	
LANDSCAPE PLAN	C-701	
LANDSCAPE NOTES AND DETAILS	C-702	
LIGHTING PLAN	C-703	
DETAIL SHEET	C-901	
DETAIL SHEET	C-902	
DETAIL SHEET	C-903	
ALTA/NSPS LAND TITLE SURVEY (BY OTHERS)	1 SHEET	
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 SHEET	

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REV DATE COMMENT    DRAWN BY CHECKED BY CHEC	REVISIONS					
	REV	REV DATE COMMENT				
				ONE SILES DI		



# **PERMIT SET**

PROJECT No.: W211057
DRAWN BY: NPE
CHECKED BY: 02/01/2022
CAD I.D.: W211057-CVL-0 - USE

# PROJECT:

PROPOSED SITE PLAN DOCUMENTS

\_\_\_\_ FOR \_\_\_\_

TMC HOLDINGS & DEVELOPMENT 2, LLC

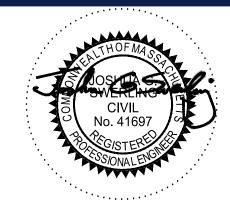
PROPOSED
INDUSTRIAL DEVELOPMENT

UNION STREET BUSINESS PARK MAP #314, BLOCK #20, LOT #1 839 UPPER UNION STREET CITY OF FRANKLIN NORFOLK COUNTY, MA

# **BOHLER**

**352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772** Phone: (508) 480-9900

www.BohlerEngineering.com



SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-101

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL UBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN

• "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21. • "ALTA/NSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 05/14/21.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.

THIS IS CONTRACTOR'S RESPONSIBILITY. . ALL ACCESSIBLE (A/K/A ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE 4. THE CONTRACTOR MUST LOCATE AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE 6.

PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS RULES. REGULATIONS. STATUTORY REQUIREMENTS. CODES. LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR 6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES. TO PROCEEDING WITH ANY FURTHER WORK.

THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER. IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN 8 AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

). CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE 10. APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR

1. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR. 2. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE

PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. 3. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO

REMAIN FITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE. 11 MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT. 14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF

CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME 12. TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE. WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITI CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF

15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS,

16 THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS. METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION

7. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES. AT ANY TIME

8. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF 17. COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN MPLOYEES AFFILIATES SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES 19. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY NNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS 20. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR INSURANCE HEREUNDER.

SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS 23. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING OVERSEFING SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT 26 STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY 27. RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21.IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS. INCLUDING THE NOTES CONTAINED HEREIN. WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE

WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER

ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB. EDGE OF PAVEMENT. OR EDGE OF BUILDING. UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A

29 CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLITITION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

# **GENERAL GRADING & UTILITY PLAN NOTES**

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF 1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED. IN WRITING. TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL 3. DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION

"AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES. REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE

THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK. HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS. RULES. STATUTES, LAWS, ORDINANCES AND CODES

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS. OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER. IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME

WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS

SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCE IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE. SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND 8. ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

ALL FILL. COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS. FILL AND COMPACTION MUST. 9. AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL. COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION 10 AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA. AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTORY REQUIREMENTS AND STATUTORY REQUIREMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

> 14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. 15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF

> CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK 16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT 13.

LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR LITH ITY PLAN. WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER LIPON COMPLETION OF THE WORK

THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER. ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY. HEALTH OR GENERAL WELFARE, OR PROJECT COST. JE CONTRACTOR PROCEEDS WITH CONSTRUCTION. WITHOUT PROVIDING PROPER NOTIFICATION. MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME

ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND 18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

16. CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

17. CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

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18.

IMMEDIATELY NOTIFY THE DESIGN ENGINEER. IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, 21. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS

OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREINDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE 22. STORM DRAINAGE PIPE (IN) ESS INDICATED OTHERWISE ALL S POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS. IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034

MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK

FOR PIPES MORE THAN 12 FT, DEEP, POLYVINYL, CHI ORIDE (PVC), SDR 26 PER ASTM D3034 FOR PIPE WITHIN 10 FT. OF BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIEV WITH LOCAL OFFICIALS.

SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL 25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE

SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW

MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING

MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED ADA INSTRUCTIONS TO CONTRACTOR: SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER

REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION. 29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN

ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

30. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES AND DESIGN FEATURES AND DESIGN FEATURES AND RELATED DOCUMENTS, IN STRICT 31. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

# **GENERAL DEMOLITION NOTES**

 "BOLINDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21 "ALTA/NSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED. INC. DATED 05/14/21.

CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME

BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME

THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE

CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS. CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:

A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

C.INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE

CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.

D.IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY

E.LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

G.ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES. AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H.COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER. I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE

CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC

AND SAFE MANNER. FOLLOWING ALL THE OSHA REQUIREMENTS. TO ENSURE PUBLIC AND CONTRACTOR SAFETY THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN.

THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION

CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKELL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER

EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.

CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY

CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.

DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.

THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE. CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST

AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION"

17 CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFFTY WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY

THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY

DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL. COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST

20. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.

WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (ACCESSIBLE) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA AND/OR STATE ARCHITECTURAL ACCESS BOARD STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVELEROM PARKING SPACE PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT. MUST COMPLY WITH THESE ADA AND/OR ARCHITECTURAL ACCESS BOARD CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

• PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

• CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.

• LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY

 PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNORSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.

 DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)

 WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION. MODIFICATION. REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES CONTRACTOR MUST VERIEY EXISTING FLEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT O WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA

• THE CONTRACTOR MUST VERIEY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POLIRING CONCRETE. IF ANY NON-CONFORMANCE IS OBSERVED OR EXISTS CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF

# TYPICAL ABBREVIATIONS

KEY	DESCRIPTION KEY		DESCRIPTION	
ВС	BOTTOM CURB	PROP.	PROPOSED	
TC	TOP CURB	TBR/R	TO BE REMOVED AND REPLACED	
вос	BACK OF CURB	TBR	TO BE REMOVED	
BW	BOTTOM OF WALL GRADE	TPF	TREE PROTECTION FENCE	
TW	TOP OF WALL	BLDG.	BUILDING	
EXIST.	EXISTING	SF	SQUARE FEET	
BM.	BENCHMARK	SMH	SEWER MANHOLE	
EOP	EDGE OF PAVEMENT	DMH	DRAIN MANHOLE	
ę	CENTERLINE	STM.	STORM	
FF	FINISHED FLOOR	SAN.	SANITARY	
V.I.F.	VERIFY IN FIELD	CONC.	CONCRETE	
GC	GENERAL CONTRACTOR	ARCH.	ARCHITECTURAL	
HP	HIGH POINT	DEP.	DEPRESSED	
LP	LOW POINT	R	RADIUS	
TYP.	TYPICAL	MIN.	MINIMUM	
INT.	INTERSECTION	MAX.	MAXIMUM	
PC.	POINT OF CURVATURE	No. /#	NUMBER	
PT.	POINT OF TANGENCY	W.	WIDE	
PI.	POINT OF INTERSECTION	DEC.	DECORATIVE	
PVI.	POINT OF VERTICAL INTERSECTION	ELEV.	ELEVATION	
STA.	STATION	UNG.	UNDERGROUND	
GRT	GRATE	R.O.W.	RIGHT OF WAY	
INV.	INVERT	LF	LINEAR FOOT	
DIP	DUCTILE IRON PIPE	LOD	LIMIT OF DISTURBANCE	
PVC	POLYVINYL CHLORIDE PIPE	LOW	LIMIT OF WORK	
HDPE	HIGH DENSITY POLYETHYLENE PIPE	L.S.A.	LANDSCAPED AREA	
RCP	REINFORCED CONCRETE PIPE	±	PLUS OR MINUS	
S	SLOPE	۰	DEGREE	
ME	MEET EXISTING	Ø / DIA.	DIAMETER	

# TYPICAL LEGEND

IIF	ICAL LEGI	CND
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0	STORM MANHOLE	<b>©</b>
<u> </u>	SEWER MANHOLE	<b>©</b>
	CATCH BASIN	
₩F#5	WETLAND FLAG	
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× TC 54.58 G 53.78	TOP & BOTTOM OF CURB	TC=54.32 BC=53.82
	CONTOUR	50
	FLOW ARROW	<b>4</b> 5%_
<b>\( \frac{1}{2} \)</b>	PAINTED ARROW	<b>—</b>
	RIDGE LINE	
	GAS LINE	
	TELEPHONE LINE	тт
E	ELECTRIC LINE	EE
	WATER LINE	W
OHOH	OVERHEAD WIRE	OHOH
=======	STORM PIPE	
=======	SANITARY LINE	
10	PARKING COUNT	4
	SIGN	-
◊◊	LIGHT POLE	□9
	GUIDE RAIL	

REFER TO SITE PLAN FOR ZONING ANALYSIS TABLE AND LAND USE **ZONING INFORMATION & NOTES** 

UTILITY POLF

REFER TO SOIL EROSION CONTROL NOTES & DETAILS SHEET FOR TYPICAL SHEET TITLE: **EROSION NOTES AND DETAILS** 

REFER TO LANDSCAPE NOTES & **DETAILS SHEET FOR TYPICAL** LANDSCAPE NOTES AND DETAILS

REFER TO LIGHTING PLAN FOR TYPICAL LIGHTING NOTES AND TABLES

EXISTING		PROPO	DSED	
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-OHOH-	OVERHEAD WIRE	—— OH——	— ОН—	83
======	STORM PIPE			

**REVISIONS** REV DATE COMMENT

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PROPOSED SITE AN DOCUMENTS

W211057-CVL-0 - US

MC HOLDINGS & VELOPMENT 2, LLC

PROPOSED

NDUSTRIAL DEVELOPMENT ON STREET BUSINESS PARK II AP #314. BLOCK #20. LOT #1 339 UPPER UNION STREET CITY OF FRANKLIN

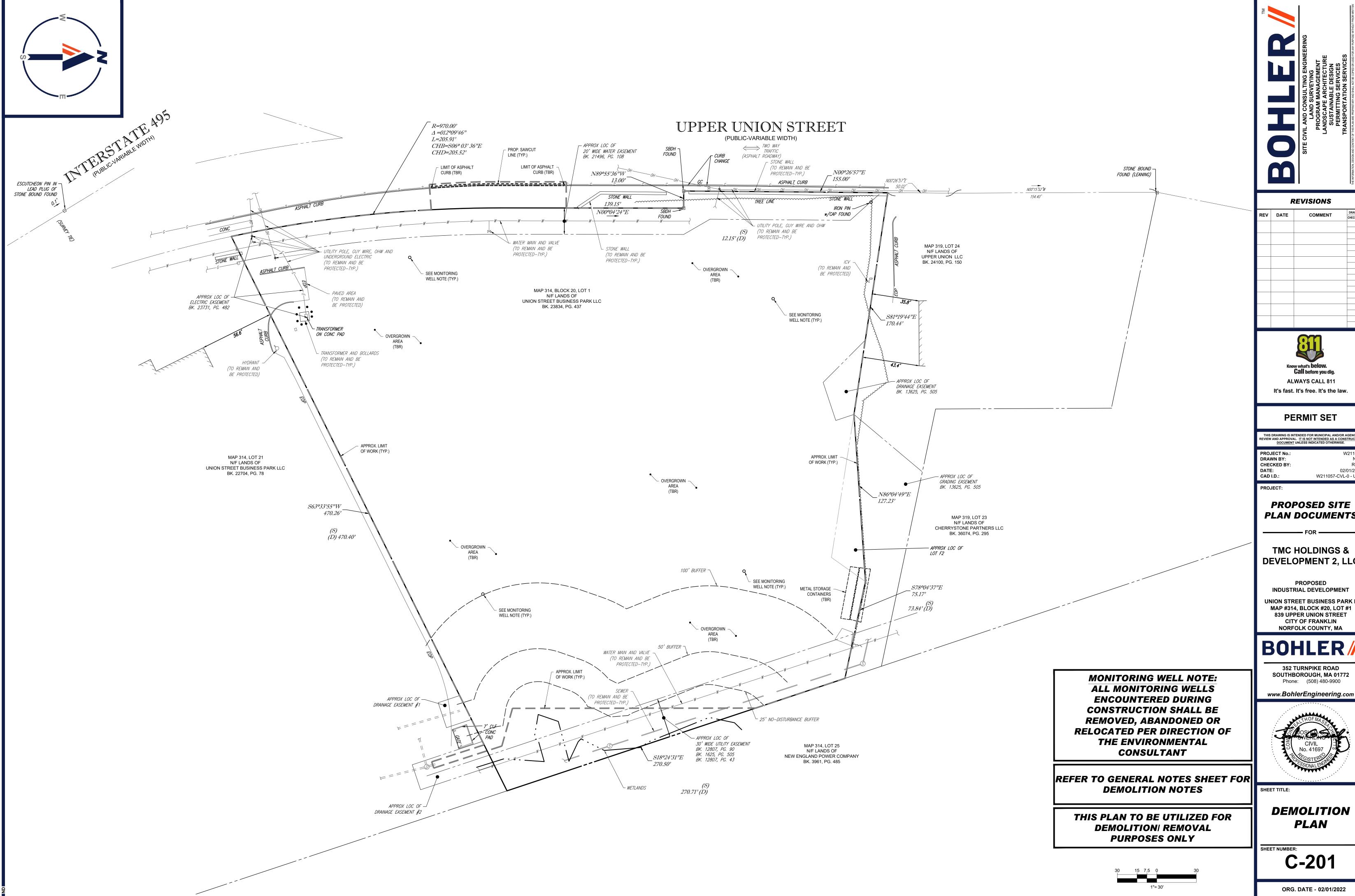
352 TURNPIKE ROAD

NORFOLK COUNTY, MA

**SOUTHBOROUGH, MA 01772** Phone: (508) 480-9900

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GENERAL **NOTES** SHEET



# **REVISIONS**

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# PROPOSED SITE **PLAN DOCUMENTS**

# **DEVELOPMENT 2, LLC**

**PROPOSED** 

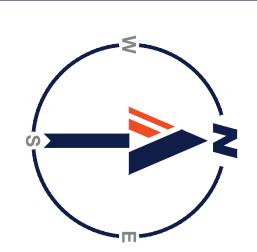
**UNION STREET BUSINESS PARK II** MAP #314, BLOCK #20, LOT #1 839 UPPER UNION STREET

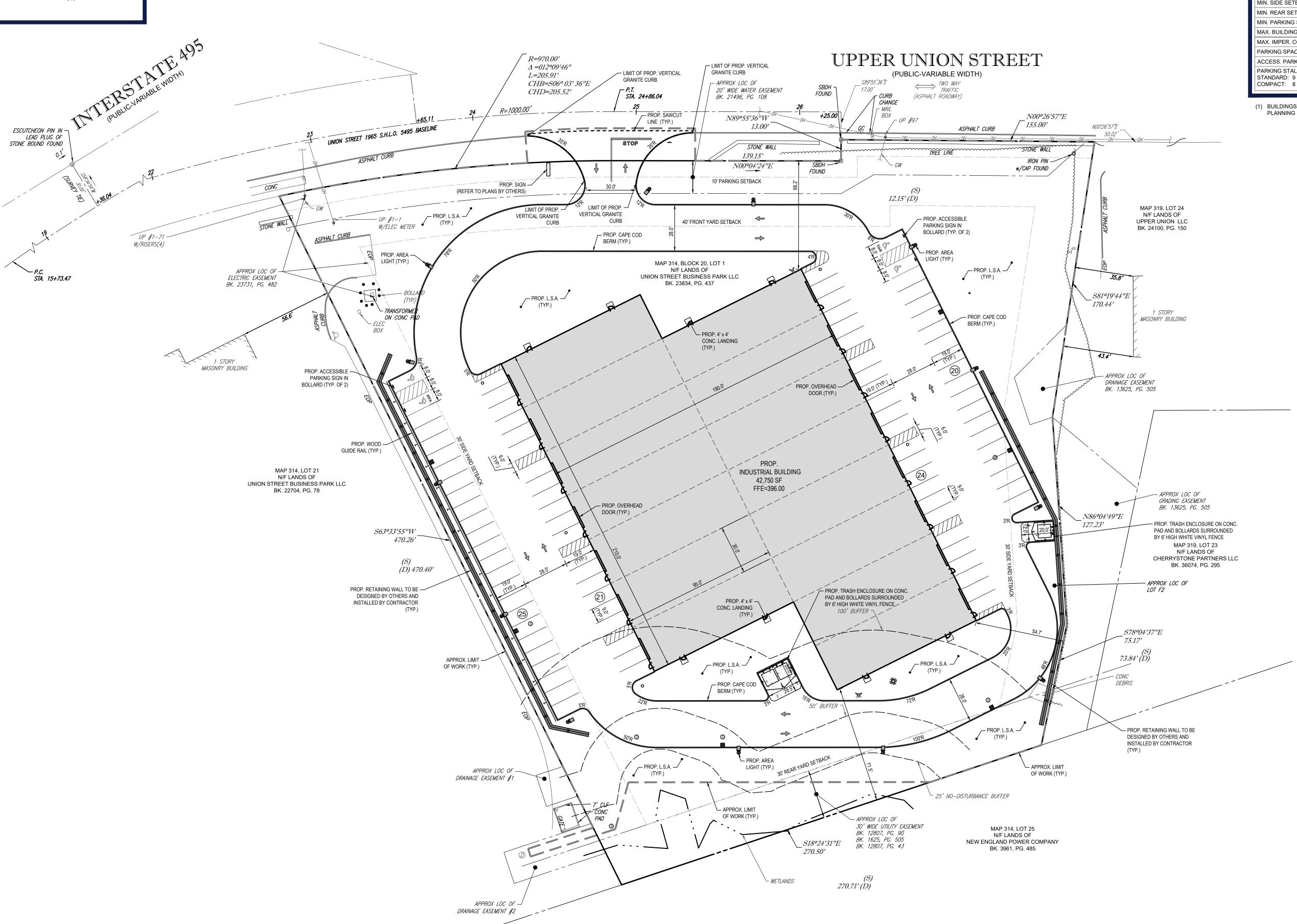
**352 TURNPIKE ROAD** SOUTHBOROUGH, MA 01772



**DEMOLITION** 

C-201





ZONING A	NALYSIS T	ABLE	N/A - NOT APPLICABLE N/S - NOT SPECIFIED (V) - VARIANCE REQUESTED (W) - WAIVER REQUESTED	
ZONING DISTRICT	INDUSTRIAL (I)		(W) - WAIVER REQUESTED (E) - EXIST. NON-CONFORMANCE	
OVERLAY DISTRICT	N/A			
REQUIRED PERMIT	SITE PLAN REVIEW			
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED	
MIN. LOT AREA	40,000 SF	156,645 SF (3.60 AC.)	NO CHANGE	
MIN. LOT FRONTAGE	175 FT	500.06 FT	NO CHANGE	
MIN. LOT DEPTH	200 FT	470.26 FT	NO CHANGE	
MIN. LOT WIDTH	157.5 FT	270.50 FT	NO CHANGE	
MAX. BLDG. LOT COVERAGE	70%	0.0%	27.3%	
MIN. FRONT SETBACK	40 FT	N/A	66.2 FT	
MIN. SIDE SETBACK	30 FT	N/A	54.7 FT	
MIN. REAR SETBACK	30 FT	N/A	71.5 FT	
MIN. PARKING SETBACK	N/S	N/A	12.5 FT	
MAX. BUILDING HEIGHT	3 STORIES (1)	N/A	< 3 STORIES	
MAX. IMPER. COVERAGE	80%	0.1%	55.6%	
PARKING SPACES	43	N/A	90	
ACCESS. PARKING SPACES	4	N/A	4	
PARKING STALL CRITERIA STANDARD: 9 FT x 19 FT COMPACT: 8 FT x 16 FT	USE/CATEGORY: WARE REQUIRED PARKING: 1 CALCULATION: 42,750	SPACE PER 1,000 SF 0	GROSS FLOOR AREA OR 43 SPACES REQUIRED	

(1) BUILDINGS UP TO 60 FEET IN HEIGHT MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

GENERAL CONTRACTOR TO PROVIDE A

SITE SPECIFIC WALL DESIGN AND

**CALCULATIONS THROUGH THE** 

GENERAL CONTRACTOR'S SELECTED

WALL MANUFACTURER'S LICENSED

PROFESSIONAL STRUCTURAL

ENGINEER.

THIS PLAN TO BE UTILIZED FOR SITE

LAYOUT PURPOSES ONLY. REFER TO

**GENERAL NOTES** 

SHEET FOR ADDITIONAL NOTES

**REVISIONS** 

REV	DATE	COMMENT	DRAWN BY
KEV	DATE	COMMENT	CHECKED BY

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> PROPOSED SITE **PLAN DOCUMENTS**

TMC HOLDINGS &

**DEVELOPMENT 2, LLC** 

**PROPOSED** 

INDUSTRIAL DEVELOPMENT **UNION STREET BUSINESS PARK II** MAP #314, BLOCK #20, LOT #1 839 UPPER UNION STREET CITY OF FRANKLIN

NORFOLK COUNTY, MA

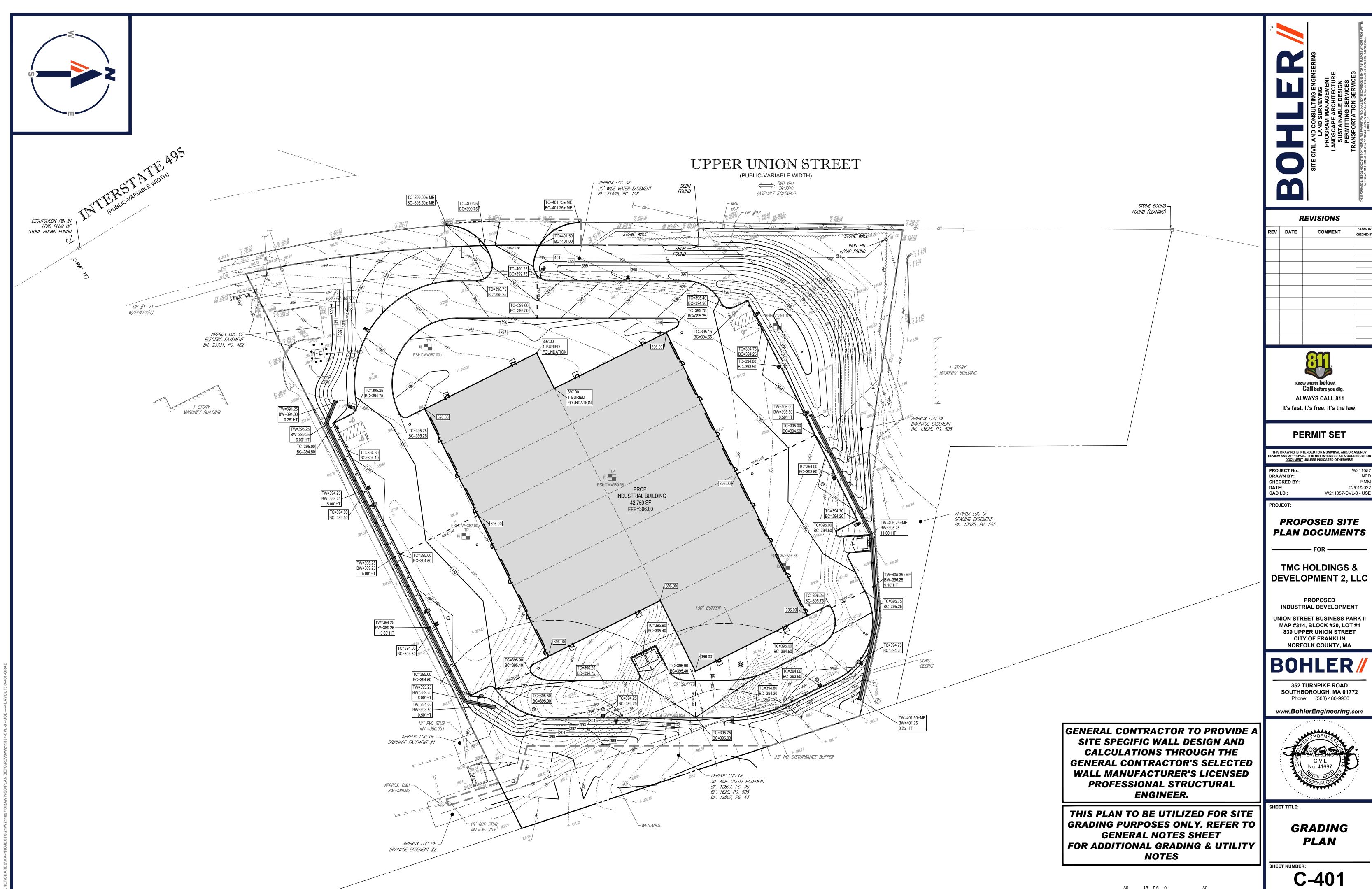
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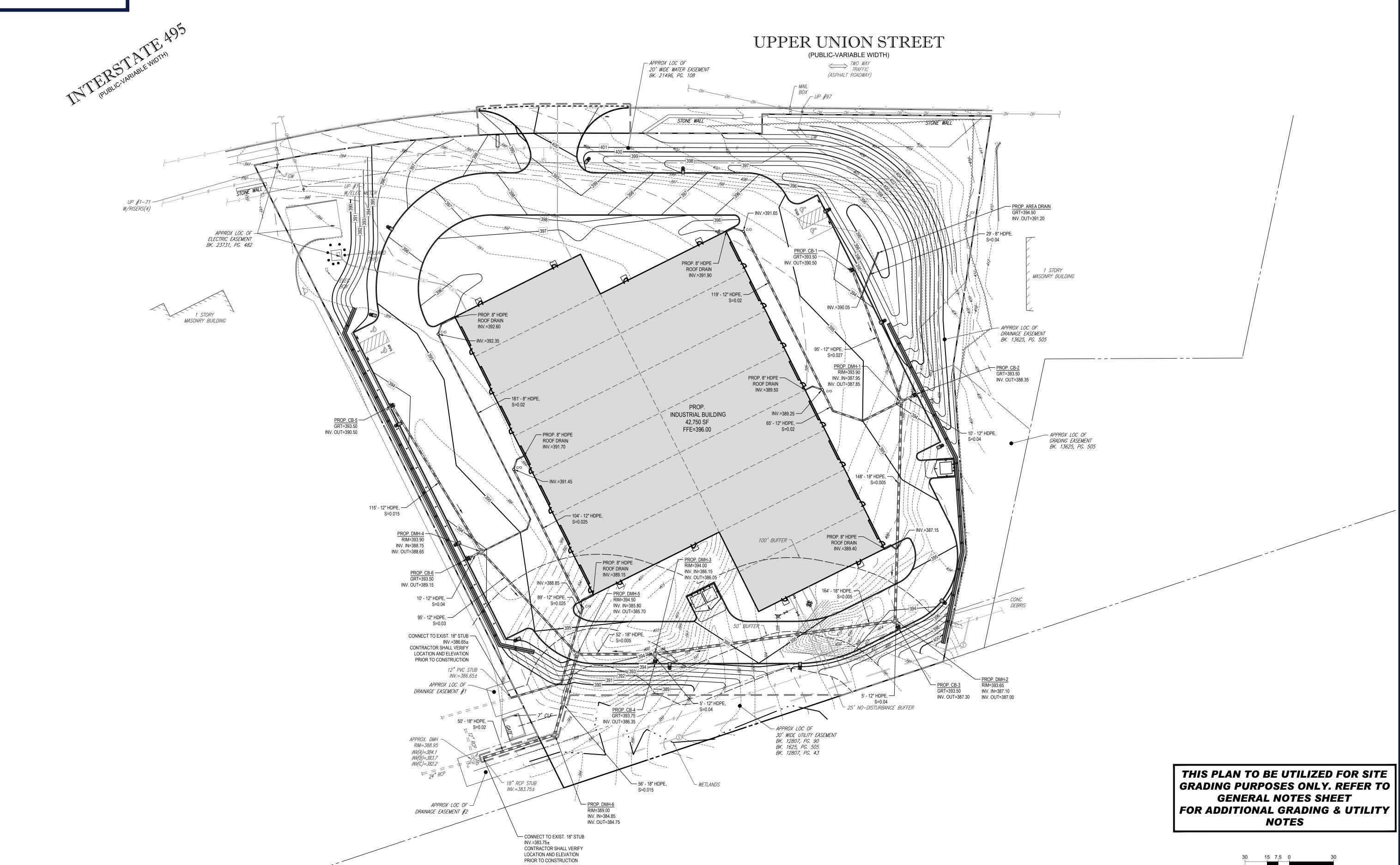
SHEET TITLE:

SITE LAYOUT PLAN

C-301







CONSULTING ENGINEERING

SITE CIVIL AND CONSULTING E
LAND SURVEYING
PROGRAM MANAGEM
LANDSCAPE ARCHITEC
SUSTAINABLE DESI
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PROJECT No.: W211057 DRAWN BY: NPD CHECKED BY: RMM DATE: 02/01/2022 CAD I.D.: W211057-CVL-0 - USE

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED INDUSTRIAL DEVELOPMENT

UNION STREET BUSINESS PARK II MAP #314, BLOCK #20, LOT #1 839 UPPER UNION STREET CITY OF FRANKLIN NORFOLK COUNTY, MA

**BOHLER** 

**352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772**Phone: (508) 480-9900

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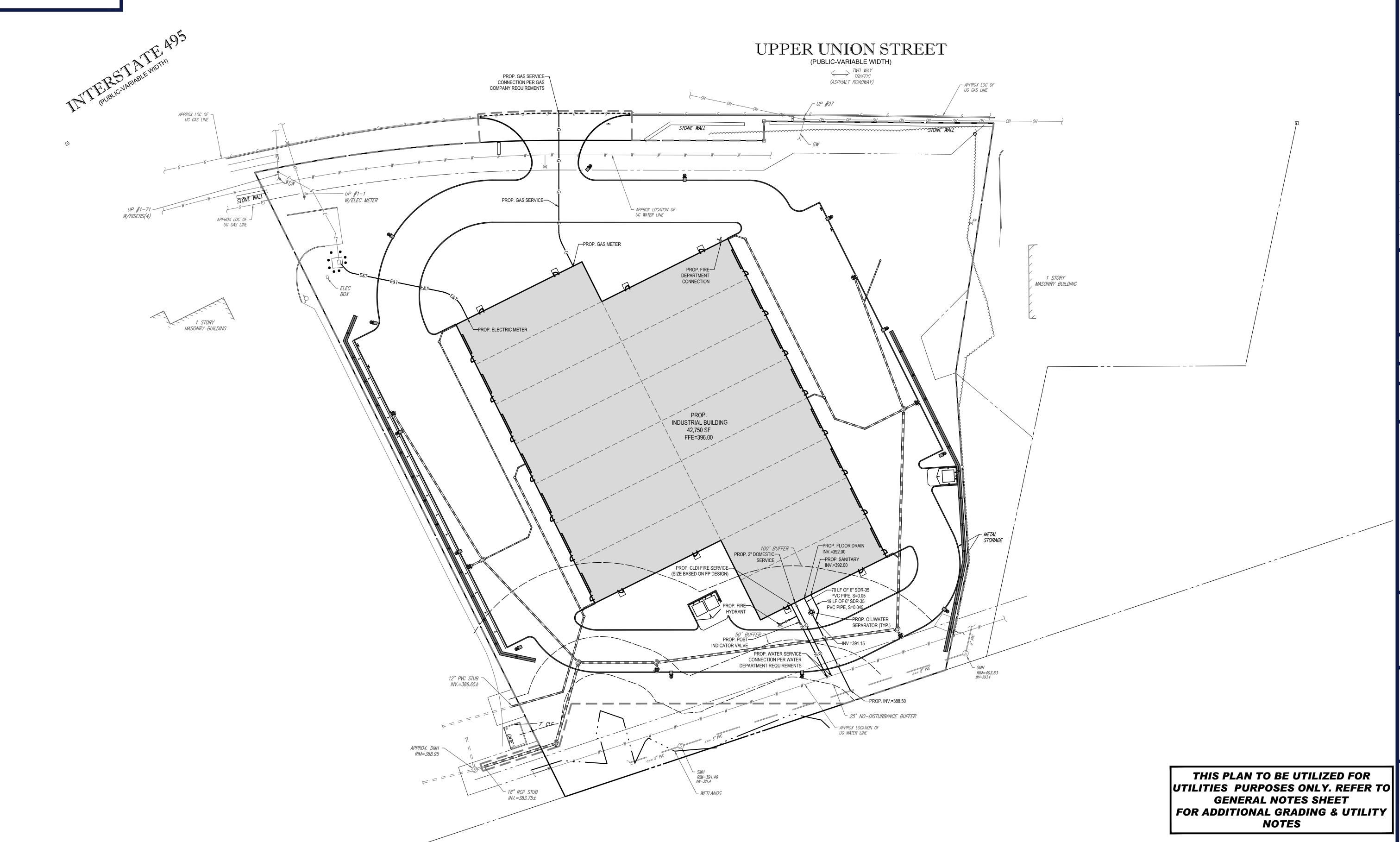
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DRAINAGE PLAN

HEET NUMBER

C-501





CONSULTING ENGINEERING

SITE CIVIL AND CONSULTING EN LAND SURVEYING PROGRAM MANAGEME LANDSCAPE ARCHITECT SUSTAINABLE DESIG PERMITTING SERVICE

**REVISIONS** 

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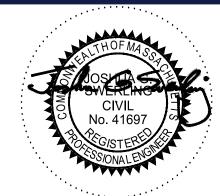
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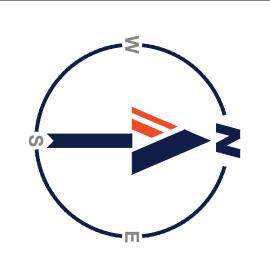


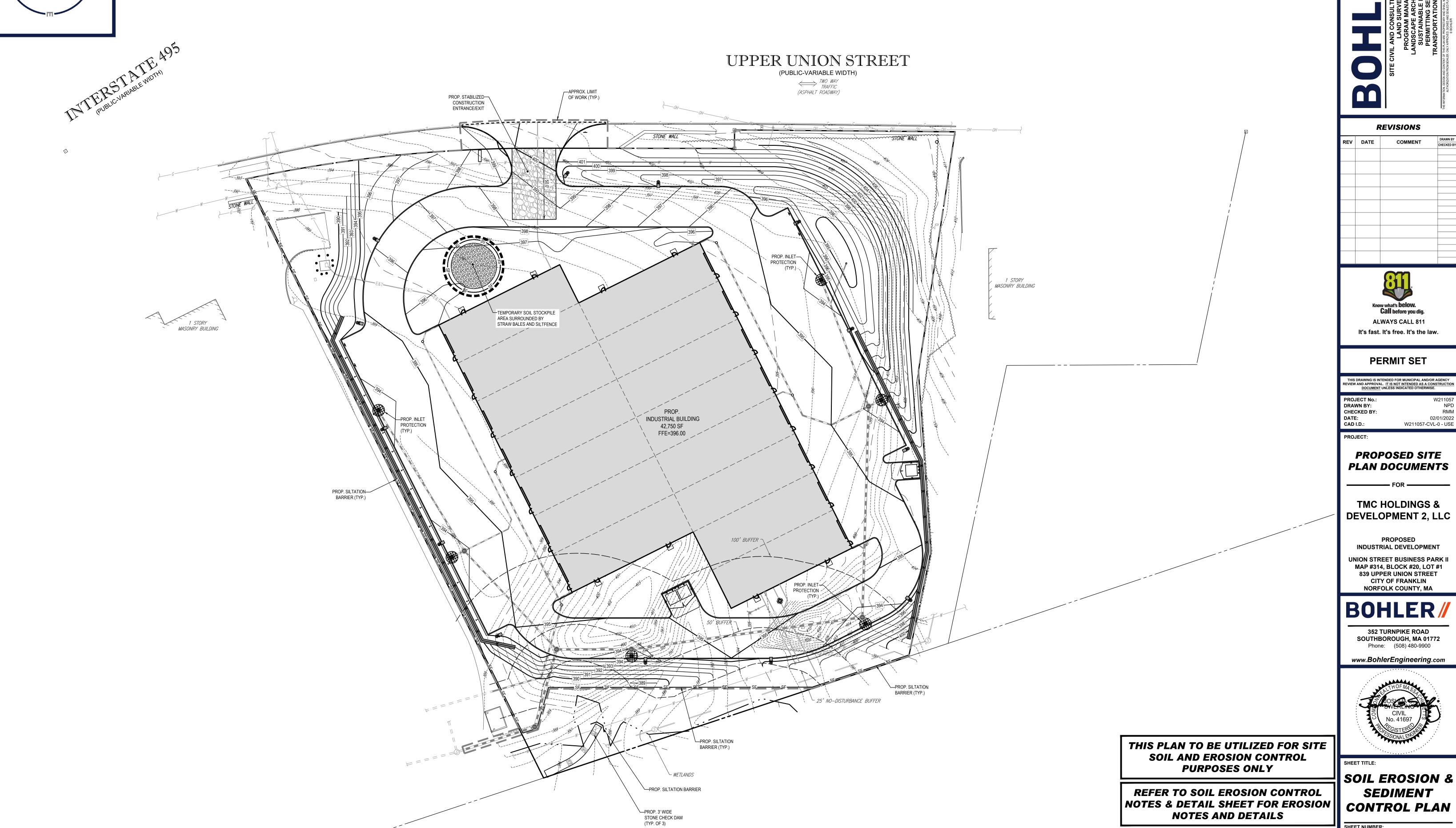
SHEET TITLE:

UTILITY PLAN

ET NUMBER:

C-502







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DE\	DATE	COMMENT	DRAV
REV	DATE	COMMENT	CHECK



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02/01/2022 W211057-CVL-0 - USE

DATE: CAD I.D.: PROJECT:

# PROPOSED SITE **PLAN DOCUMENTS**

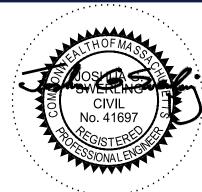
TMC HOLDINGS & **DEVELOPMENT 2, LLC** 

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SHEET TITLE:

**SOIL EROSION &** SEDIMENT

C-601

# **EROSION & SEDIMENT CONTROL NOTES**

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME, AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- 6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- 9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS. 10 REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS
- NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
- 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER
- FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED
- STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- 11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- 12. WETLANDS WILL BE PROTECTED W/ STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- 13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- 14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.
- 15. THE USE OF STRAW HAY BALES IS PROHIBITED.

JUTE MESH OR EXCELSIOR MAT JUTE MESH OR EXCELSIOR MAT AS REQUIRE WINDY AREA MODERATE TO HIGH JUTE MESH OR EXCELSIOR MAT AS REQUIRED VELOCITY AREAS OR STEEP SLOPES

(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

\* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

GREATER THAN 3:

ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

# **EROSION CONTROL NOTES DURING WINTER CONSTRUCTION**

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT
- 3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR straw AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST. LOAM OR SEED WILL NOT BE REQUIRED, DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED, IE CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS REATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANEN' SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
- 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO
- 10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- 11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED

# **CONSTRUCTION SEQUENCE**

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

-INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)

-INSTALLATION OF EROSION CONTROL BARRIER (SILT FENCE) (AS SHOWN)

-DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)

-CLEARING AND GRUBBING

-EARTHWORK AND EXCAVATION/FILLING AS NECESSARY

-CONSTRUCTION OF UTILITIES

-INSTALLATION OF BINDER COURSE PAVEMENT

-INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)

-STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING

-CONSTRUCTION OF BUILDINGS

-CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS

-SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH

-FINAL GRADING OF ALL SLOPED AREAS

-PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE

-INSTALLATION OF TOP COURSE PAVEMENT

-LANDSCAPING PER LANDSCAPING PLAN

-REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER

"L" = 50' MIN. (SEE CHART 1)

PITCH TO DRAIN AWAY FROM-

"L" = 50' MIN. (SEE CHART 1)

CONSTRUCTION-

(AS APPLICABLE)

COARSE GRAINED SOILS

LENGTH OF STONE REQUIRED

ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1)

STABILIZED CONSTRUCTION EXIT

FINE GRAINED SOILS

PROVIDE CORNER ROUNDINGS-

(AS APPLICABLE FOR SITE

SPECIFIC CONDITIONS)

PUBLIC RIGHT-OF-WAY /

2"-3" CLEAN ANGULAR-

(6" MIN. THICKNESS)

EXISTING GROUND

PROFILE VIEW

CONSTRUCTION-

ACCESS

GRADE TO DRAIN-

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

PUBLIC ROADWAY

SEE EROSION CONTROL PLAN FOR-

SITE SPECIFIC CONSTRUCTION PERIOD

STORMWATER MANAGEMENT REQUIREMENTS

PERCENT SLOPE OF ROADWAY

2% TO 5%

>5%

DRIVE

PLAN VIEW

CHART 1

CRUSHED STONE

PUBLIC R.O.W.

PROVIDE GEOTEXTILE FILTER

INSPECT STABILIZED CONSTRUCTION ENTRANCE / ANTI-TRACKING PAD AND

SEDIMENT DISPOSAL AREA WEEKLY OR

AFTER EVERY MAJOR RAIN STORM EVEN

DIRECTED TOWARD A SEDIMENT TRAP

SUFFICIENTLY SIZED FOR SPECIFIC SITE

EXCESSIVELY MUD-CLOGGED STONE

SHALL BE REMOVED AND REPLACED, AS

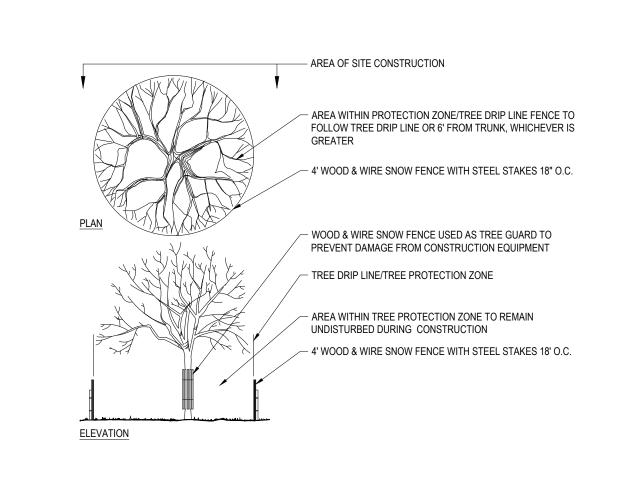
N.T.S

WASH WATER (IF USED) SHALL BE

FABRIC UNDER STONE

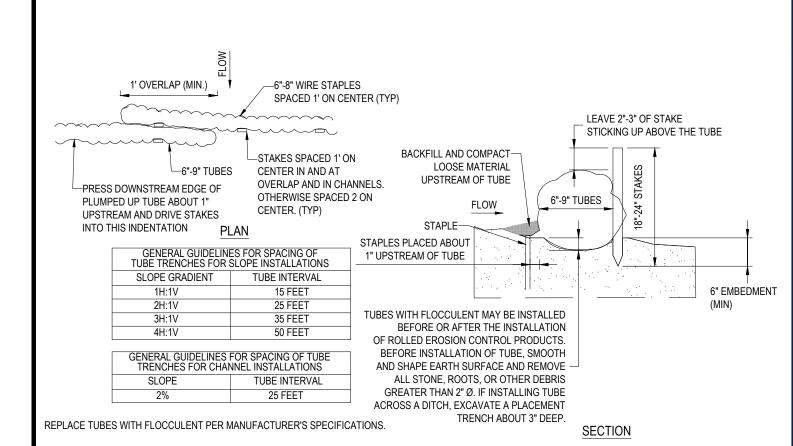
(OR SHOULDER)

(MIRAFI 140N, OR EQUAL)



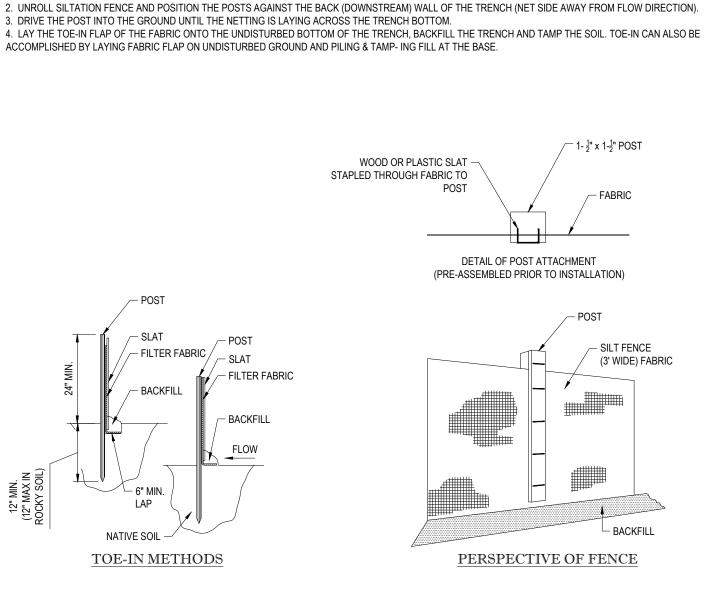
TREE PROTECTION DURING CONSTRUCTION

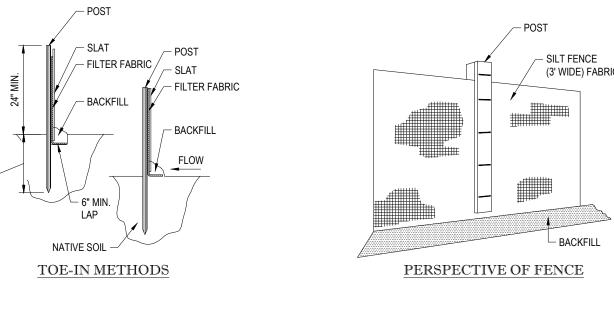
1:3 MAXIMUM SLOPE



FIBER FLOCCULENT TUBE

1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE SITE.





TEMPORARY STOCKPILE

CONSTRUCT SILT FENCE AROUND PERIMETER OF STOCKPILE

SILTATION FENCE

TEST METHOD 300 LBS GRAB TENSILE STRENGTH ASTM D-4632 GRAB TENSILE ELONGATION ASTM D-4632 20 % ASTM D-4833 120 LBS 800 PSI MULLEN BURST ASTM D-3786 120 LBS TRAPEZOID TEAR ASTM D-4533 UV RESISTANCE ASTM D-4355 80 % 40 US SIEVE APPARENT OPENING SIZE ASTM D-4751 FLOW RATE ASTM D-4491 40 GAL/MIN/SQ FT 0.55 SEC -1 PERMITTIVITY ASTM D-4491 MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE PROPERTIES GRAB TENSILE STRENGTH ASTM D-4632 GRAB TENSILE ELONGATION ASTM D-4632 20 % 135 LBS ASTM D-4833 PUNCTURE 420 PSI MULLEN BURST ASTM D-3786 TRAPEZOID TEAR ASTM D-4533 45 LBS UV RESISTANCE ASTM D-4355 90 % 20 US SIEVE APPARENT OPENING SIZE ASTM D-4751 FLOW RATE ASTM D-4491 200 GAL/MIN/SQ FT PERMITTIVITY ASTM D-4491 1.5 SEC -1 REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.

OIL SPILLS ARE A CONCERN INSPECT PER REGULATORY REQUIREMENTS.

6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES

THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

TO BE USED IN EXISTING RIGHT OF WAY

C-602

ORG. DATE - 02/01/2022

**EROSION AND** 

**SEDIMENT** 

CONTROL NOTES

**AND DETAILS** 

**REVISIONS** 

Call before you dig.

**ALWAYS CALL 811** 

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INDUSTRIAL DEVELOPMENT

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839 UPPER UNION STREET

CITY OF FRANKLIN

NORFOLK COUNTY, MA

352 TURNPIKE ROAD

**SOUTHBOROUGH, MA 01772** 

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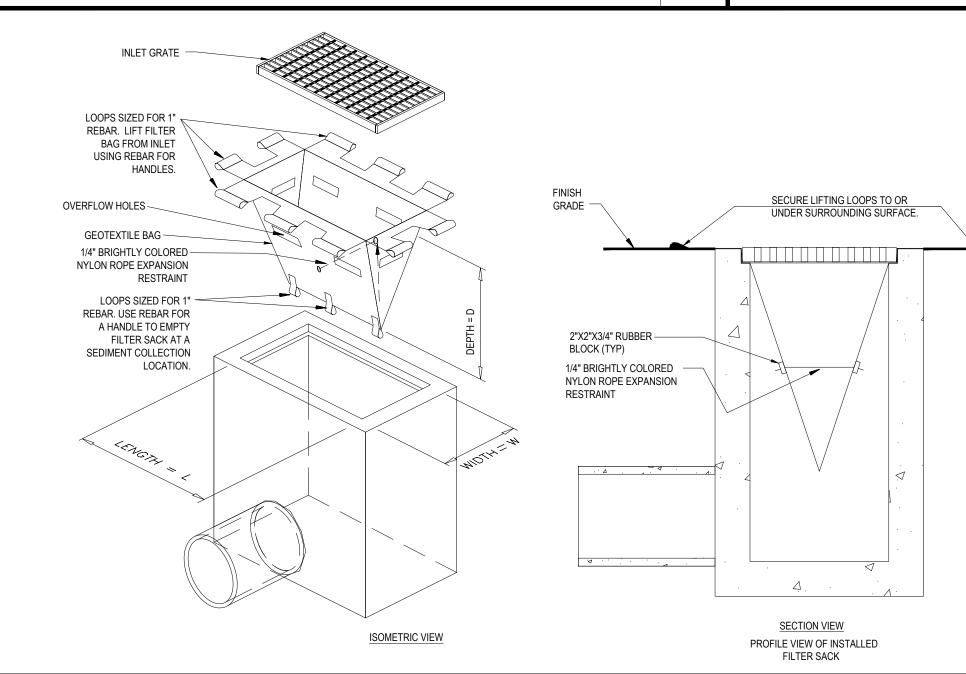
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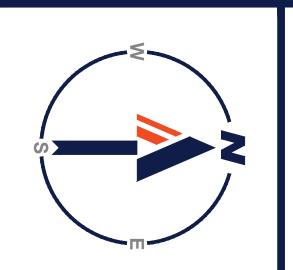
REV DATE



PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN

5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.

FILTER SACKS (GRATED INLETS)



# SEED MIX KEY

PROPOSED HYDROSEED

PROPOSED CONSERVATION/ WILDLIFE SEED MIX

PROPOSED BASIN SEED MIX

# CITY OF FRANKLIN, MA LANDSCAPE REQUIREMENTS

REQUIREMENTS CALCULATIONS/PROPOSED 4. DIMENSIONAL REQUIREMENTS PROVIDED - LANDSCAPING PROVIDED B) FREESTANDING SIGNS AROUND FREESTANDING SIGN FREESTANDING SIGNS ARE REQUIRED TO BE LANDSCAPED WITH SELECTED FLORA, NO MORE THAN TWO FEET ABOVE THE AVERAGE FINISHED GRADE OF ADJOINING GROUND. ARTICLE V: SPECIAL | THIS REQUIREMENT MAY BE WAIVED IF THE LANDSCAPING IS DETERMINED TO BE A SAFETY HAZARD BASED UPON THE BUILDING COMMISSIONER DETERMINATION IN 185-20: SIGNS CONSULTATION WITH THE POLICE CHIEF. THE CRITERIA TO BE CONSIDERED WITH REGARD TO FREESTANDING SIGN LANDSCAPING SHALL INCLUDE BUT ARE NOT LIMITED TO WHETHER THE LANDSCAPING BLOCKS THE VIEW OF ONCOMING VEHICLES OR PEDESTRIANS. ANY LOT ABUTTING A RIGHT-OF-WAY OF 75 FEET OR MORE REQUIRED: 455 FT / 30 FT = 16 TREES IN WHICH A BUILDING IS CONSTRUCTED WITHIN 150 FEET PROVIDED: 16 TREES

OF THE RIGHT-OF-WAY MUST HAVE TREES PLANTED AT ARTICLE V: SPECIAL LEAST EVERY 30 FEET IN A ROW BETWEEN 30 AND 50 FEET REGULATIONS -BACK FROM THE RIGHT-OF-WAY, UNLESS A SUFFICIENT SECTION 185-30: NUMBER OF TREES ALREADY EXISTS. TREES MUST BE OF TREE PLANTING TWO-INCH CALIPER AND APPROVED BY THE TREE WARDEN. IF ANY OF THE TREES DO NOT LIVE THROUGH THE FIRST WINTER, THEY MUST BE REPLACED.

3. DRAWING REQUIREMENTS PROVIDED - ALL PLANTINGS SELECTED ARTICLE V: SPECIAL (K) A LANDSCAPING PLAN SHOWING EXISTING FROM THE BEST DEVELOPMENT USE REGULATIONS - VEGETATION, PROPOSED VEGETATION AND THE PRACTICES GUIDEBOOK DISTINCTION BETWEEN PROPOSED AND RETAINED VEGETATION. A NOTE SHALL BE PLACED ON THE PLAN DESIGN REVIEW THAT ALL PLANTINGS SHALL COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK. C. PARKING AREA DESIGN AND LOCATION

(4) LOADING AREAS AND PARKING AREAS FOR 10 OR MORE **REGULATIONS -**(5) PARKING LOTS FOR 20 OR MORE CARS SHALL CONTAIN | REQUIRED: 90 SPACES / 10 = 9 TREES PARKING LOADING OR BE BORDERED WITHIN FIVE FEET BY AT LEAST ONE PROVIDED: 9 TREES TREE PER 10 PARKING SPACES, TREES TO BE TWO-INCH REQUIREMENTS CALIPER OR LARGER, WITH NOT LESS THAN 40 SQUARE FEET OF UNPAVED SOIL AREA PER TREE. SOIL PLOTS

**BOTANICAL NAME** 

ACER RUBRUM 'ARMSTRONG'

ACER SACCHARUM

QUERCUS ALBA

QTY.

3

4

KEY

SHADE TREES

SHALL BE LOCATED SO AS TO ASSURE SAFE INTERNAL

LANDSCAPE SCHEDULE

COMMON NAME

ARMSTRONG COLUMNAR RED MAPLE

SUGAR MAPLE

WHITE OAK

REV DATE COMMENT

CONT.

B+B

B+B

B+B

SIZE

2 1/2-3" CAL.

2 1/2-3" CAL.

2 1/2-3" CAL.

**REVISIONS** 



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**DEVELOPMENT 2, LLC** 

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NORFOLK COUNTY, MA

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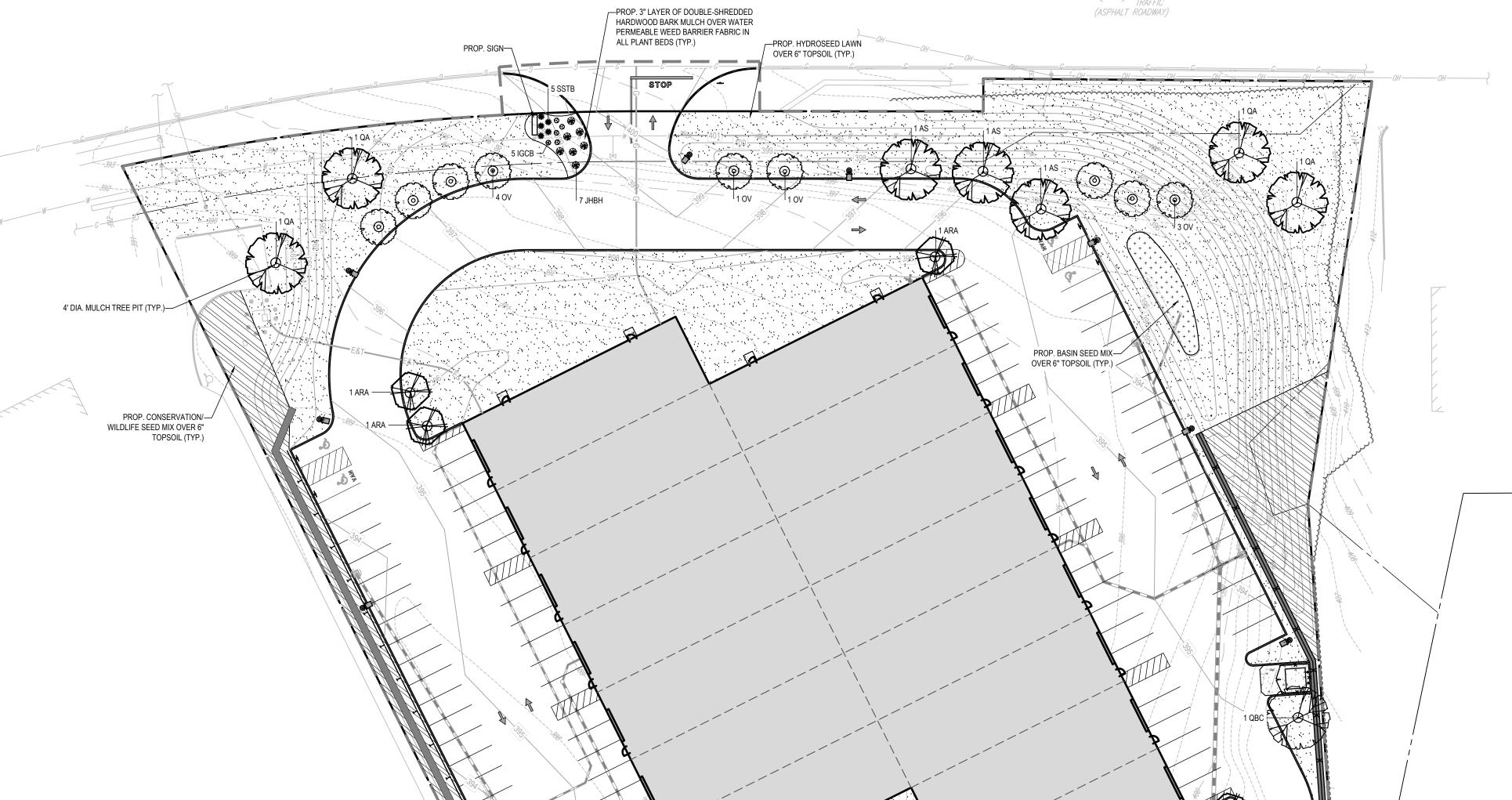
**LANDSCAPE** PLAN

C-701

ORG. DATE - 02/01/2022

(PUBLIC-VARIABLE WIDTH)

→ TWO WAY
TRAFFIC



2 QUERCUS BICOLOR 2 1/2-3" CAL. B+B SUBTOTAL: ORNAMENTAL TREES OSTRYA VIRGINIANA AMERICAN HOPHORNBEAM 8-10' B+B OV SUBTOTAL: 10 **EVERGREEN SHRUBS** IGCB ILEX GLABRA 'GEM BOX' DWARF INKBERRY HOLLY 18-24" CONTAINER SUBTOTAL: GROUND COVERS JUNIPERUS HORIZONTALIS 'BAR HARBOR' BAR HARBOR CREEPING JUNIPER ORNAMENTAL GRASSES 5 SCHIZACHYRIUM SCOPARIUM 'THE BLUES' CONTAINER SSTB LITTLE BLUE STEM 2 GAL. SUBTOTAL: 5

# OWNER MAINTENANCE RESPONSIBILITIES

· TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

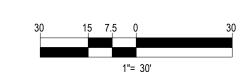
BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL. • TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.

 VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.

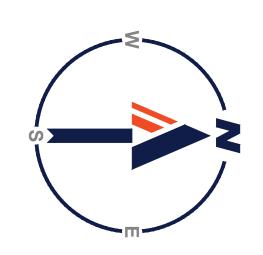
 FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS. THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES & **DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS** 



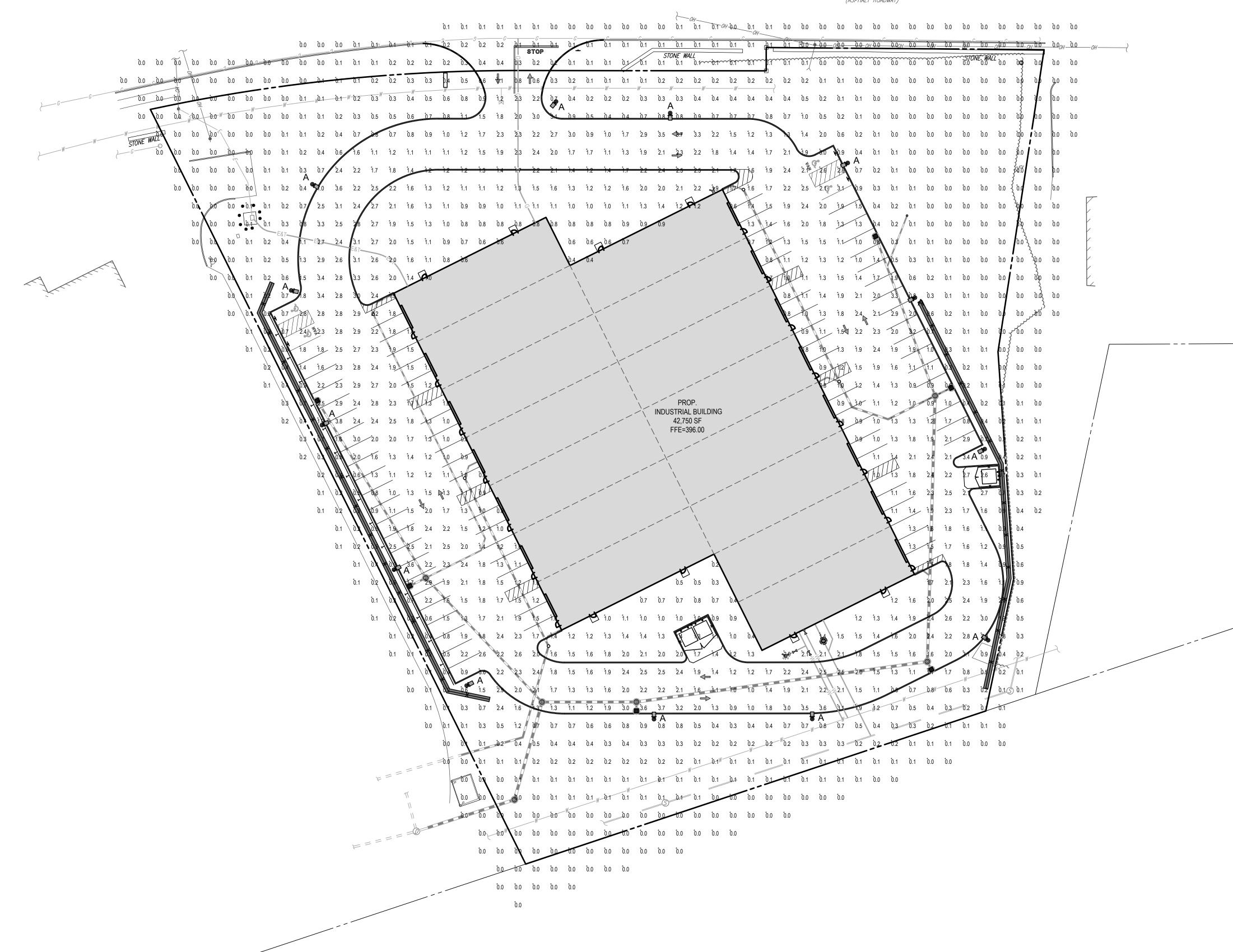
#### LANDSCAPE SPECIFICATIONS .) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT 2.) REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM ROOT BAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED 3.) PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY AREA OF SITE CONSTRUCTION SCOPE OF WORK: DURING THE FALL PLANTING SEASON: 4.) THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR FIRST MONTH ACFR RUBRUM PLATANUS X ACERIFOLIA AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS. SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT. BETULA VARIETIES POPULUS VARIETIES 5.) THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR. PRUNUS VARIETIES **CARPINUS VARIETIES** TREE PROTECTION FENCE SHALL BE NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE INSTALLED TO FOLLOW TREE CANOPY CRATAEGUS VARIETIES PYRUS VARIETIES DRIP LINE OR PROPOSED LIMITS OF GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S KOELREUTERIA QUERCUS VARIETIES 6.) REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL DISTURBANCE. LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL. AVOID PURCHASING TREES WITH TWO LEADERS LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF 7.) SUBSTITUTE ARBORVITAE STAKING SYSTEM WHEN SPECIFIED. -4' HIGH WOOD & WIRE SNOW FENCE W/WOOD OR REMOVE ONE AT PLANTING: OTHERWISE, DO DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS. STAKES AT A MAXIMUM OF 8' ON CENTER. AS AN 9.8. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON NOT PRUNE TREE AT PLANTING EXCEPT FOR OPTION ORANGE/FLOURESCENT HIGH-DENSITY UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY: LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, SPECIFIC STRUCTURAL CORRECTIONS. REINFORCED RUBBER HOSE (1/2" DIA. BLACK) -"VISI-FENCE" OR APPROVED EQUAL CAN BE USED. AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN 1 PART PEAT MOSS LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED. 1 PART COMPOSTED COW MANURE BY VOLUME SET ROOT BALL FLUSH TO GRADE OR SEVERA FOLD BURLAP AWAY FROM TOP OF ROOT 2.3.2. SOD SHALL BE STRONGLY ROOTED. WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 INCHES HIGHER IN POORLY DRAINING SOILS. 3 PARTS TOPSOIL BY VOLUME -WOOD & WIRE SNOW FENCE USED AS TREE GUARD TO PREVENT DAMAGE FROM 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS 12 GAUGE GALVANIZED WIRE GUYS TWISTED CONSTRUCTION EQUIPMENT. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED 2 TABLETS PER 1 GALLON PLANT - 4" BUILT-UP EARTH SAUCER ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES /DETAILS. 3 TABLETS PER 5 GALLON PLANT 2" DIA. HARDWOOD STAKES 2/3 TREE HT, 3 9843 4 TABLETS PER 15 GALLON PLANT TREE DRIP LINE/TREE PROTECTION ZONE 3" DOUBLE SHREDDED HARDWOOD BARK MULCH (UNLESS OTHERWISE SPECIFIED) (DO LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK -AREA WITHIN TREE PROTECTION ZONE TO REMAIN FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NOT PLACE MULCH IN CONTACT WITH TREE UNDISTURBED DURING CONSTRUCTION. NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE. TWICE THE WIDTH OF ROOTBALL FOR 9.9. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY PREPARED SOIL FOR TREES. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A 9.10. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY LANDSCAPE FABRIC AS SPECIFIED THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL. —6' WOOD OR STEEL FENCE POSTS AT 8' MAXIMUM PREPARED SOIL FOR TREES CENTER TO CENTER (MINIMUM 2' BELOW GRADE). PI ANT MATERIA 9.11. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' 1 PART PEAT MOSS FROM GRADE. 1 PART COW MANURE ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI 760.1) LATEST 3 PARTS TOPSOIL -EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN). 9.12. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER (RECOMMENDATION ONLY. SEE SOIL MOD. CHART) **ELEVATION** AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION. REVISIONS IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL. 9.13. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR UNDISTURBED SUBGRADE REV DATE COMMENT VERIFICATION PURPOSES DURING THE FINAL INSPECTION. 9.14. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH - ALL PLANTING CONTAINERS. BASKETS AND NON-BIODEGRADABI E MATERIAI S SHALL DIG WIDE SHALLOW HOLE WITH -TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY BE REMOVED FROM ROOT BALLS. CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK TAMPED SIDES 9.15. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN. **BRANCHES** 10. TRANSPLANTING (WHEN REQUIRED) ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, TAMP SOIL SOLIDLY AROUND BASE 10.1. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE. OF ROOT BALL SET ROOT BALL ON UNDISTURBED 10.2. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE SOIL IN BOTTOM OF HOLE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES FROM EXTREME HEAT, SUN AND WIND. (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE. 10.3. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. TREE PROTECTION DURING SITE 10.4. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE. TREE PLANTING DETAIL TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL. 10.5. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN CONSTRUCTION N.T.S. GENERAL WORK PROCEDURES 10.6. F TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN FOR CONTAINER-GROWN SHRUBS, PLANT SHALL BE STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF. PLANT SHALL BE PLANTED SO THAT THE POINT-TRANSPLANTED AT THE SAME GRADE AS IN THE CONTAINER. 1. ANY TREE INSTALLED WITHIN 10 FT. OF NEW CONCRETE SIDEWALKS SHOUL AT WHICH THE ROOT FLARE BEGINS IS SET WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING REMOVE THE CONTAINER, USE FINGER OR SMALL HAND TOOLS BE INSTALLED WITH BIOBARRIER ROOT BARRIER FABRIC AS SHOWN 11.1. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH SEE DECIDUOUS OR EVERGREEN TREE EVEL WITH GRADE, CUT AND REMOVE BURLAP ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE. TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING TREES SHALL BE INSTALLED ACCORDING TO THE APPROPRIATE PLANTING TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY DETAIL FOR PLANTING PURPOSES FROM TOP ONE-THIRD OF ROOT BALL AS SOIL; THEN CUT OR PULL APART ANY ROOTS THAT CIRCLE SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED. THE PERIMETER OF THE CONTAINER. 11.2. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN PLANTING MIX:-NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES. CONC. SIDEWALK ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN. -3" DOUBLE-SHREDDED HARDWOOD BARK MULCH (DO NOT 1 PART PEAT MOSS 11.3. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE PUT MULCH AGAINST THE BASE OF THE PLANT). ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT 1 PART COW MANURE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH. OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH 3 PARTS TOPSOIL CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR (SEE SOIL MODIFICATION CHART) -LANDSCAPE FABRIC AS SPECIFIED BIOBARRIER ROOT-BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. -FINISHED GRADE 12.1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE BARRIER FABRIC OR Call before you dig CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE -PLACE SHRUB ON FIRM SOIL IN BOTTOM OF HOLE. APPROVED EQUAL -UNDISTURBED SUBGRADE APPROVING AGENCY CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE **ALWAYS CALL 811** INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND BEFORE PLANTING, ADD 3" TO 4" OF-MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK. SIOBARRIER ROOT BARRIER APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE -PREPARED SOIL FOR TREES WELL-COMPOSTED LEAVES AND RECYCLED It's fast. It's free. It's the law. FABRIC TO BE INSTALLED (SEE PLANTING DETAIL) YARD WASTE TO BED AND TILL INTO TOP 6" OF 12.2. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE TO THE DEPTH OF TH PREPARED SOIL UNDISTURBED SUBGRADE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE. WITHOUT EXCEPTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT **BOTTOM OF STONE BASE** 24" MINIMUM THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT SOIL SURFACE ROUGHENED TO--WHEN APPROPRIATE, PLANT MULTIPLE SHRUBS IN COURSE OR 10" 12.3. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS BIND WITH NEW SOIL. CONTINUOUS PLANTING HOLE. TREE PROTECTION ZONE SHALL BE HONORED WHICHEVER IS GREATER SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT PERMIT SET A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE. POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON 12.4. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL. SHRUB PLANTING DETAIL **BIOBARRIER ROOT BARRIER DETAIL** REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS. THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENC WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING EVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUC N.T.S. DOCUMENT UNLESS INDICATED OTHERWISE TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED. 13.1. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED PROJECT No. MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED. -SET ROOT BALL FLUSH TO GRADE OR AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION DRAWN BY: SEVERAL INCHES HIGHER IN POORLY 13.2. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE. INCORPORATE 2" OF PEAT INTO 6" -4" BUILT-UP EARTH SAUCER SOIL MODIFICATIONS 14. MAINTENANCE (ALTERNATIVE BID): OF PLANTING MIXTURE, AS CAD I.D. W211057-LND-CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A 14.1 A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD -SET ROOT BALL ON FIRM PAD IN CUT BACK SLOPE TO PROVIDE A-CERTIFIED SOIL LABORATORY ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PROJECT: PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED. THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE FLAT SURFACE FOR PLANTING 1" DOUBLE SHREDDED-LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS PROPOSED GRADE FOR PLANTING HARDWOOD BARK MULCH -TOP SOIL FILL (COMPACTED) MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS AREA NOT TO EXCEED 2: CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR (SLOPE NOT TO EXCEED 2:1) PROPOSED SITE THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD FDGING BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY UNDISTURBED SUBGRADE **PLAN DOCUMENTS** (AS SPECIFIED) TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE 6.3.1. DIG WIDE, SHALLOW HOLE-4"-6" DEEPER THAN ROOT BALL COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH TAMPED SIDES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) TAMP SOIL SOLIDLY AROUND-AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE BASE OF ROOT BALL EQUAL EQUAL EQUAL EQUAL TMC HOLDINGS & TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL 6.3.3. **DEVELOPMENT 2, LLC** REFER TO TREE PLANTING DETAIL FOR GENERAL PLANTING SPECIFICATIONS FINISHED GRADING UNLESS OTHERWISE CONTRACTED. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE TREE PLANTING DETAIL - ON SLOPE **PROPOSED** GROUNDCOVER PLANTING ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE INDUSTRIAL DEVELOPMENT N.T.S. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"+) UNION STREET BUSINESS PARK II 18" STAKE INTO UNDISTURBED GROUND-"NEW ENGLAND CONSERVATION/ WILDLIFE SEED MIX" APPLICATION RATE: 25LBS/ACRE | 1750 SQ FT/LB ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED MAP #314, BLOCK #20, LOT #1 EVERY 30" O.C. LAP JOINTS AS PER MINIMUM ORDER: 2 LBS WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT. 839 UPPER UNION STREET MANUFACTURERS RECOMMENDATION 1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" CITY OF FRANKLIN ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING NEW ENGLAND WETLAND PLANTS, INC SPECIES: VIRGINIA WILD RYE (ELYMUS VIRGINICUS), LITTLE BLUESTEM (SCHIZACHYRIUM WATER SHALL NOT BE PERMITTED IN PLANTING BEDS. NORFOLK COUNTY, MA 820 WEST STREET AMHERST MA 01002 SCOPARIUM) BIG BI UESTEM (ANDROPOGON GERARDII) RED FESCUE (FESTUCA RUBRA) SWITCH 2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS PHONE: 413-548-8000 GRASS (PANICUM VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PANICLEDLEAF TICK TREFOIL (DESMODIUM PANICULATUM), INDIAN GRASS (SORGHASTRUM NUTANS), BLUE VERVAIN EMAIL: INFO@NEWP.COM 3/16" x 4" BLACK CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. 3 SEEDING RATES: WEBSITE: WWW.NEWP.COM (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), BLACK EYED SUSAN ALUMINUM EDGING PERENNIAL RYEGRASS 1/2 LB/1000 SQ FT TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. (RUDBECKIA HIRTA), COMMON SNEEZEWEED (HELENIUM AUTUNALE), HEATH ASTER KENTUCKY BLUEGRASS 1 LB/1000 SQ FT (ASTERPILOSUS/SYMPHYOTRICHUM PILOSUM), EARLY GOLDENROD (SOLIDAGO JUNCEA), UPLAND ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN LAWN OR GRAVEL AREA- RED FESCUE 1/2 LB/1000 SQ FT BENTGRASS (AGROSTIS PERENNANS). PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. SPREADING FESCUE 1/2 LB/1000 SQ FT 352 TURNPIKE ROAD FERTILIZER (16.32.16) 2 LB/1000 SQ FT CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING LIQUID LIME 1 GAL/800 GAL. **SOUTHBOROUGH, MA 01772** AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS TANK TACKIFIER 35 LB/800 GAL Phone: (508) 480-9900 SPECIFIED IN THE MATERIALS SECTION ABOVE TANK FIBER MULCH 30 LB/1000 SQ F ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE www.BohlerEngineering.com DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") 4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED IN TWO DIRECTIONS (QUANTITIES BASED ON A 1.000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY ISEE SPECIFICATION 6.A.1) AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER. UNDISTURBED SUBGRADE-20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS. **NEW ENGLAND CONSERVATION/ WILDLIFE HYDROSEED SPECIFICATIONS BLACK ALUMINUM EDGING** 9. PLANTING SEED MIX SPECIFICATIONS INSOFAR THAT IT IS FEASIBLE. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE. LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO "NATIVE DETENTION AREA MIX" AS PREPARED BY: SPECIFIED ARBORTIE GREEN (OR WHITE) STAKING THIS END WRAPPED AND GUYING MATERIAL IS TO BE FLAT WOVEN AROUND TREE AFTER PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE ERNST CONSERVATION SEEDS, INC. POLYPROPYLENE MATERIAL KNOT IS TIGHTENED AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. APPLICATION RATE: 1/2 LB. / 1000 SQ. FT. (20 LBS. / ACRE) 8884 MERCER PIKE, MEADVILLE, PA 16335 3/4" WIDE, 900 LB. BREAK STRENGTH. ARBORTIE PHONE: 800-873-3321 / 814-336-2404 SHALL BE FASTENED TO STAKES IN A MANNER ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED EMAIL: SALES@ERNSTSEED.COM \* WHICH PERMITS TREE MOVEMENT AND SUPPORTS 25.0% PANICUM VIRGATUM, 'SHELTER' (SWITCHGRASS, 'SHELTER' WEBSITE: WWW.ERNSTSEED.COM SHEET TITLE: THE TREE. $\le$ this end to 3 ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER 24.0% PANICUM CLANDESTINUM, 'TIOGA' (DEERTONGUE, 'TIOGA') BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING. 22.0% CAREX VULPINOIDEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE) > THIS END TO LANDSCAPE 21.0% ELYMUS VIRGINICUS, PA ECOTYPE (VIRGINIA WILDRYE, PA ECOTYPE) MIN OF THREE (3) THIS END TO POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO STAKE TYPICAL GUYING STAKES TO EACH 6.0% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE BUSH EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED. $^{\prime}$ THIS END TO INSTALLATION **NOTES AND** PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE 1.0% JUNCUS EFFUSUS (SOFT RUSH) 1.0% PANICUM RIGIDULUM, PA ECOTYPE (REDTOP PANICGRASS, PA ECOTYPE) INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS **DETAILS** IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING THIS END TO TIE A SIMPLE KNOT 18-24" FROM FOLLOW MOTION OF ARRORTIE AS SLIDE KNOT JUST COMPLETED UP TO THE ARBORKNOT PROVIDES SECURE, WRAP THIS END AROUND TREE. EITHER END OF THE ARBORTIE. REGIN A NEW KNOT BELOW THE SHOWN, FINISHING THE KNOT BY THE KNOT TIED IN STEP 1. FASTEN FREE GIRDLE FREE ATTACHMENT OF THE PULLING TIGHTLY ON POINTS A AND B AT PLANTS: MARCH 15 TO DECEMBER 15 END TO STAKE OR ANCHOR. ARBORTIE TO TREE. (DEPENDING ON THE DIAMETER KNOT THAT WAS TIED IN STEP THE SAME TIME OF THE TREE) LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1 C-702 PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL **BASIN SEED MIX SPECIFICATIONS** ARBORTIE STAKING DETAIL ORG. DATE - 02/01/2022



# UPPER UNION STREET

(PUBLIC-VARIABLE WIDTH)

TWO WAY
TRAFFIC
(ASPHALT ROADWAY)



# LIGHTING NOTES

- 1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A
  HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED.
  THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
- 4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- 5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC, ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- 6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- 8. IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- 9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- 11. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

# NUMERIC SUMMARY LABEL CALCTYPE UNITS AVG MAX MIN AVG/MIN MAX/MIN FRONT PARKING ILLUMINANCE FC 1.66 3.8 0.2 8.30 19.00

# LUMINAIRE SCHEDULE SYMBOL QTY ARRANGEMENT LUMENS LLF DESCRIPTION

→ A 13 SINGLE

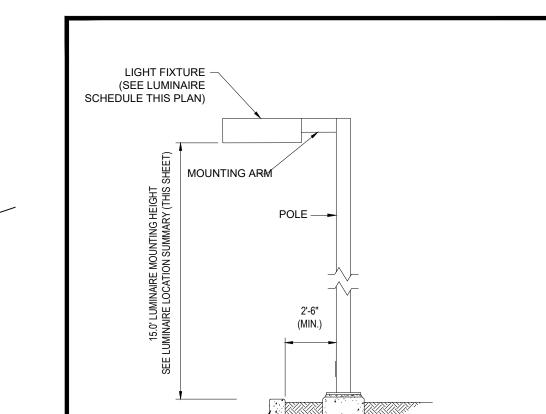
17230 0.90 LSI LIGHTING FORWARD THROW LED AREA LIGHT WITH SHIELD MOUNTED @ 30'; XGBM-FT-LED-SS-NW-HSS

FOUNDATION

N.T.S.

(DESIGN BY OTHERS-SEE NOTE

BELOW)



CONCRETE -

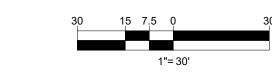
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# AREA LIGHT DETAIL

NOTE: THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.

- SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

	F	REVISIONS
REV	DATE	COMMENT

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ALWAYS CALL 811 It's fast. It's free. It's the law.

# PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: W211057 DRAWN BY: NPD CHECKED BY: RMM DATE: 02/01/2022 CAD I.D.: W211057-CVL-0 - USE

PROJECT:

# PROPOSED SITE PLAN DOCUMENTS

AC HOLDINGS S

TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED INDUSTRIAL DEVELOPMENT

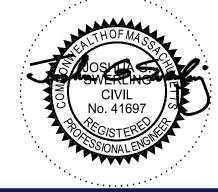
NORFOLK COUNTY, MA

UNION STREET BUSINESS PARK II MAP #314, BLOCK #20, LOT #1 839 UPPER UNION STREET CITY OF FRANKLIN

# **BOHLER**

**352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772** Phone: (508) 480-9900

www.BohlerEngineering.com

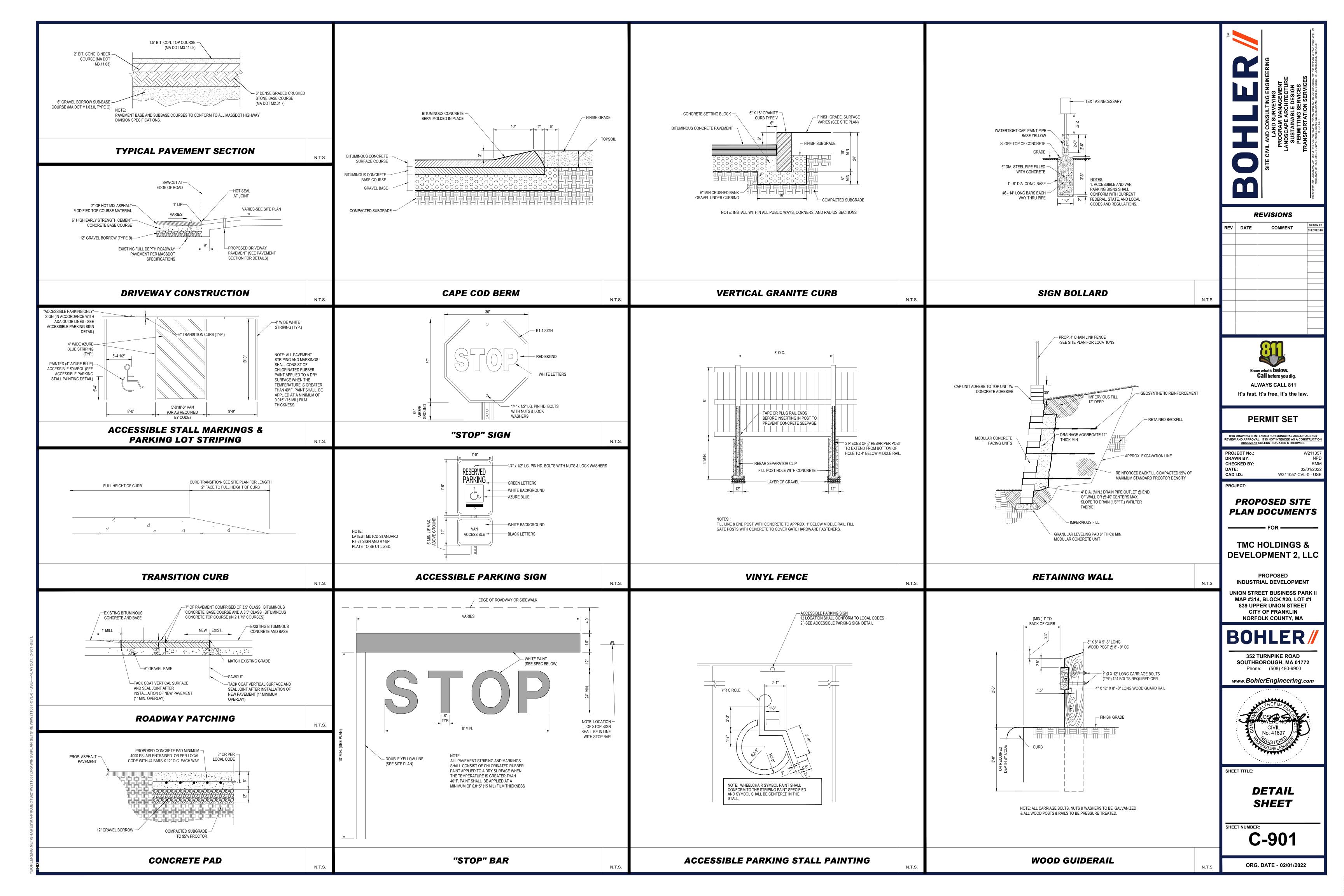


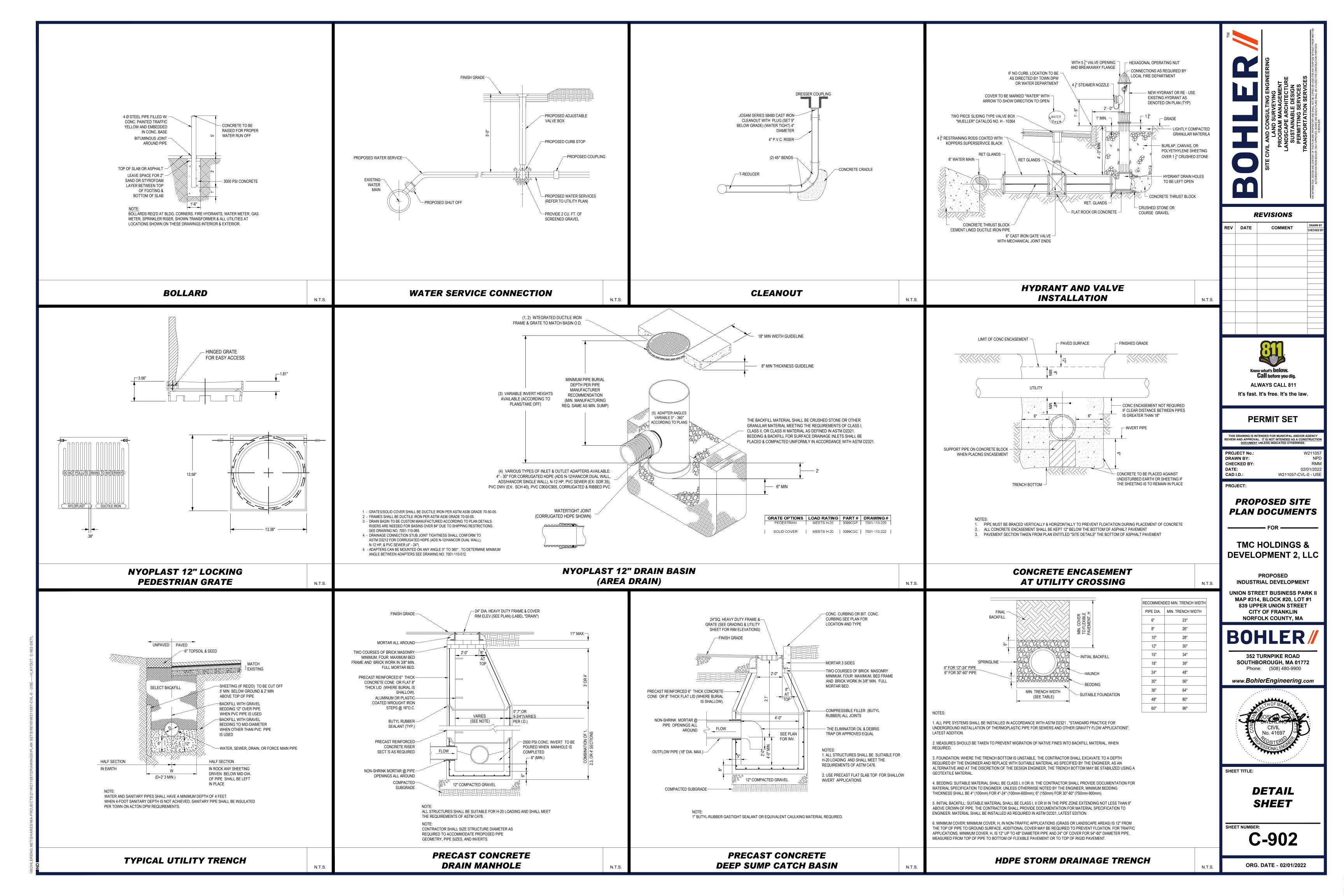
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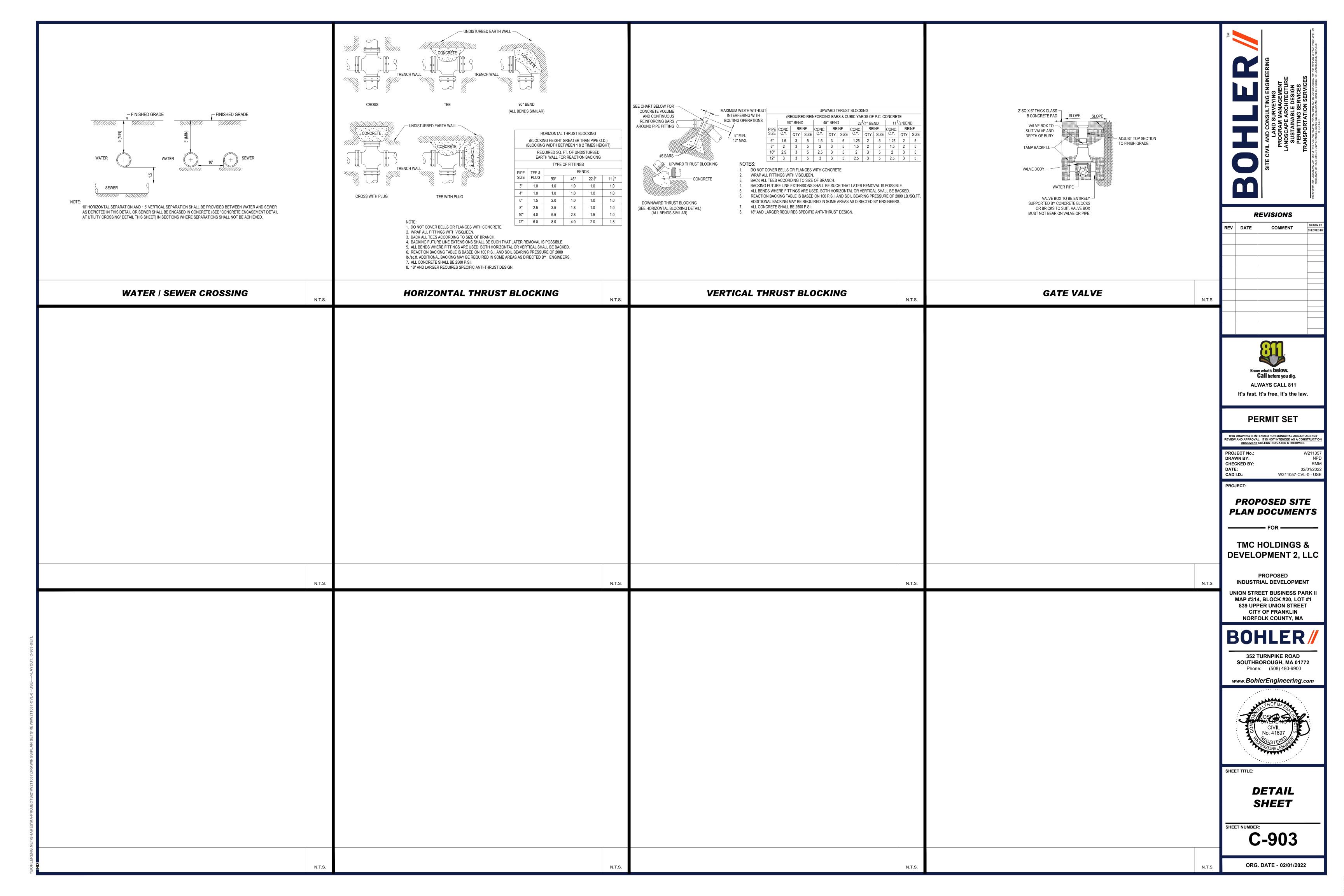
LIGHTING PLAN

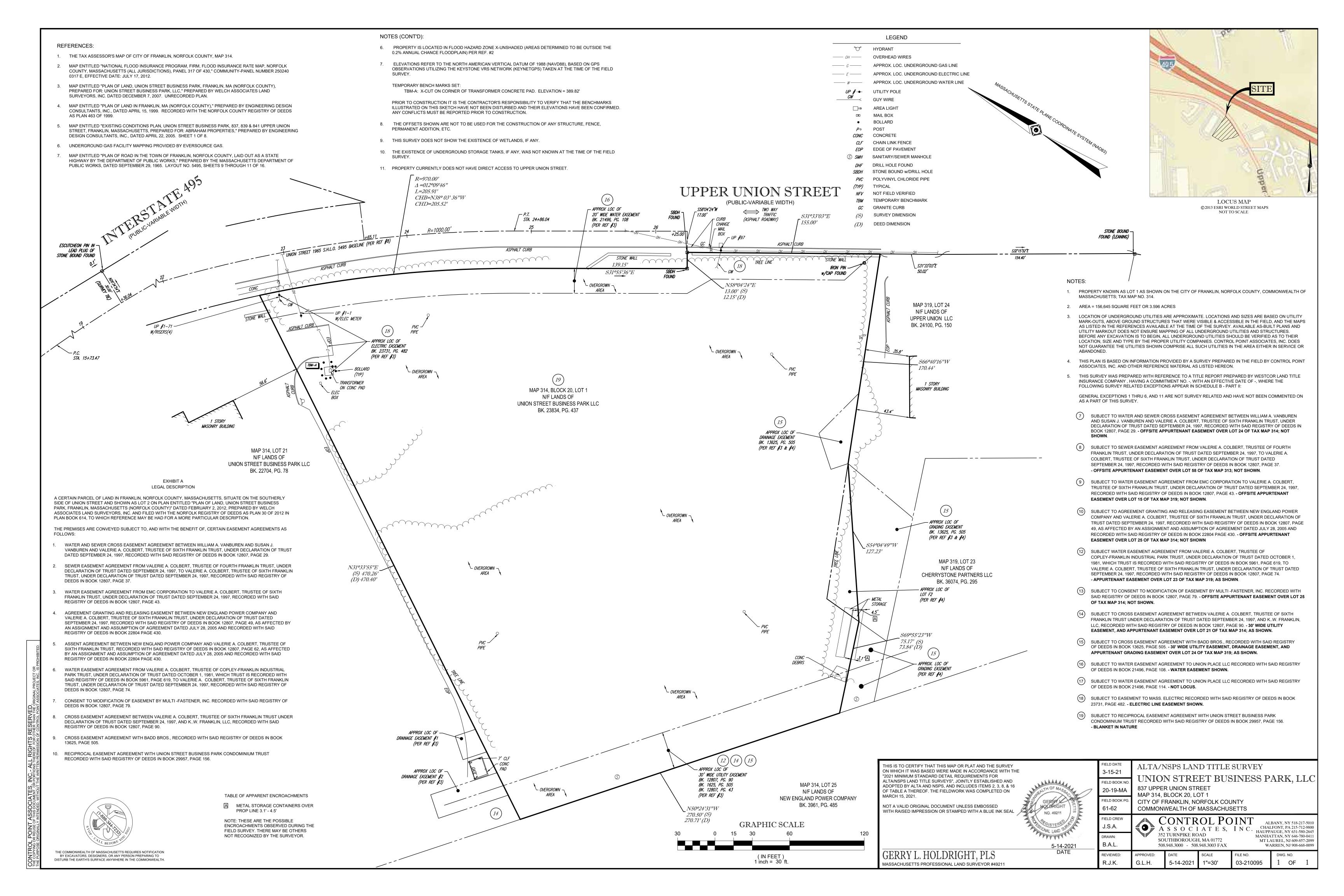
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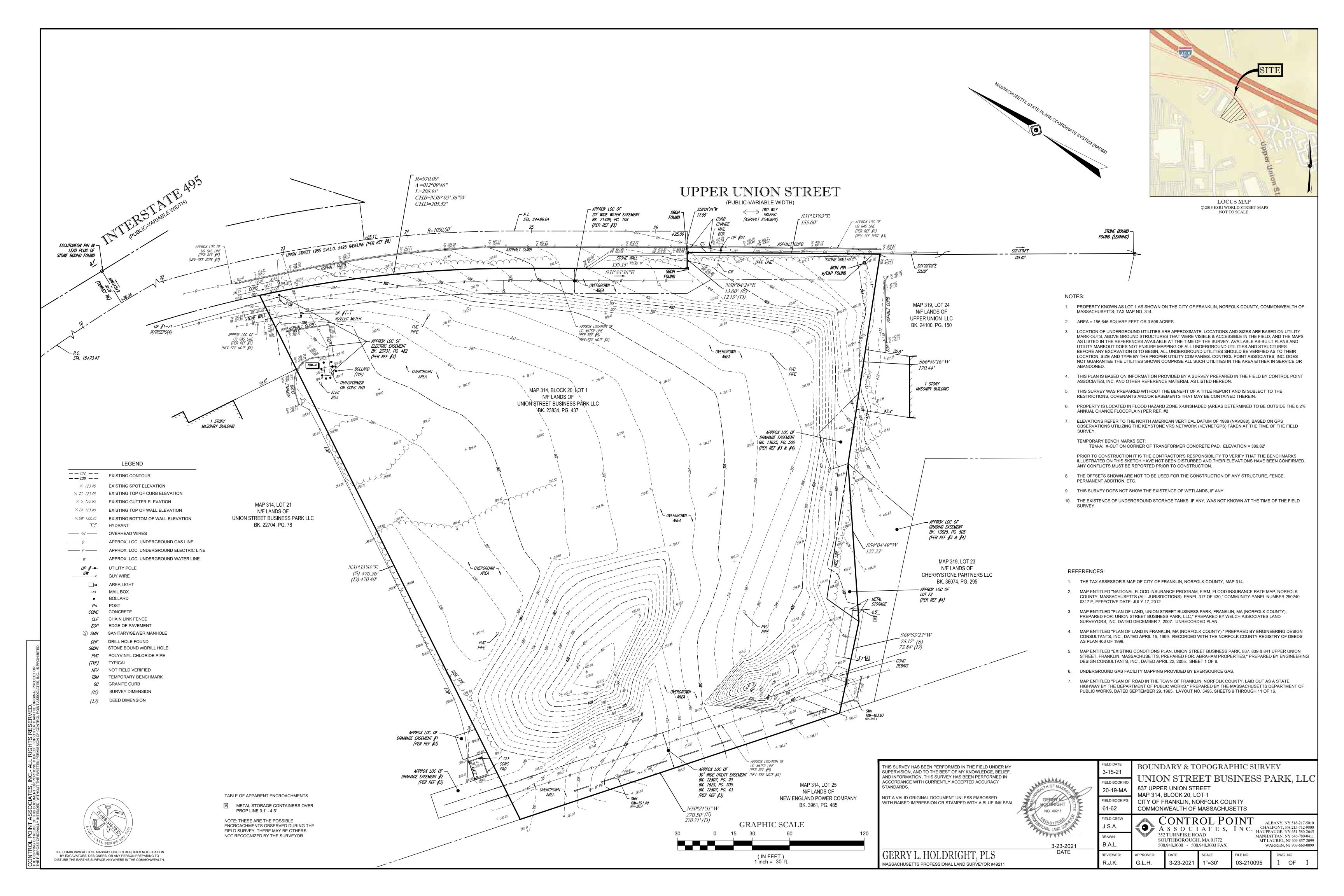
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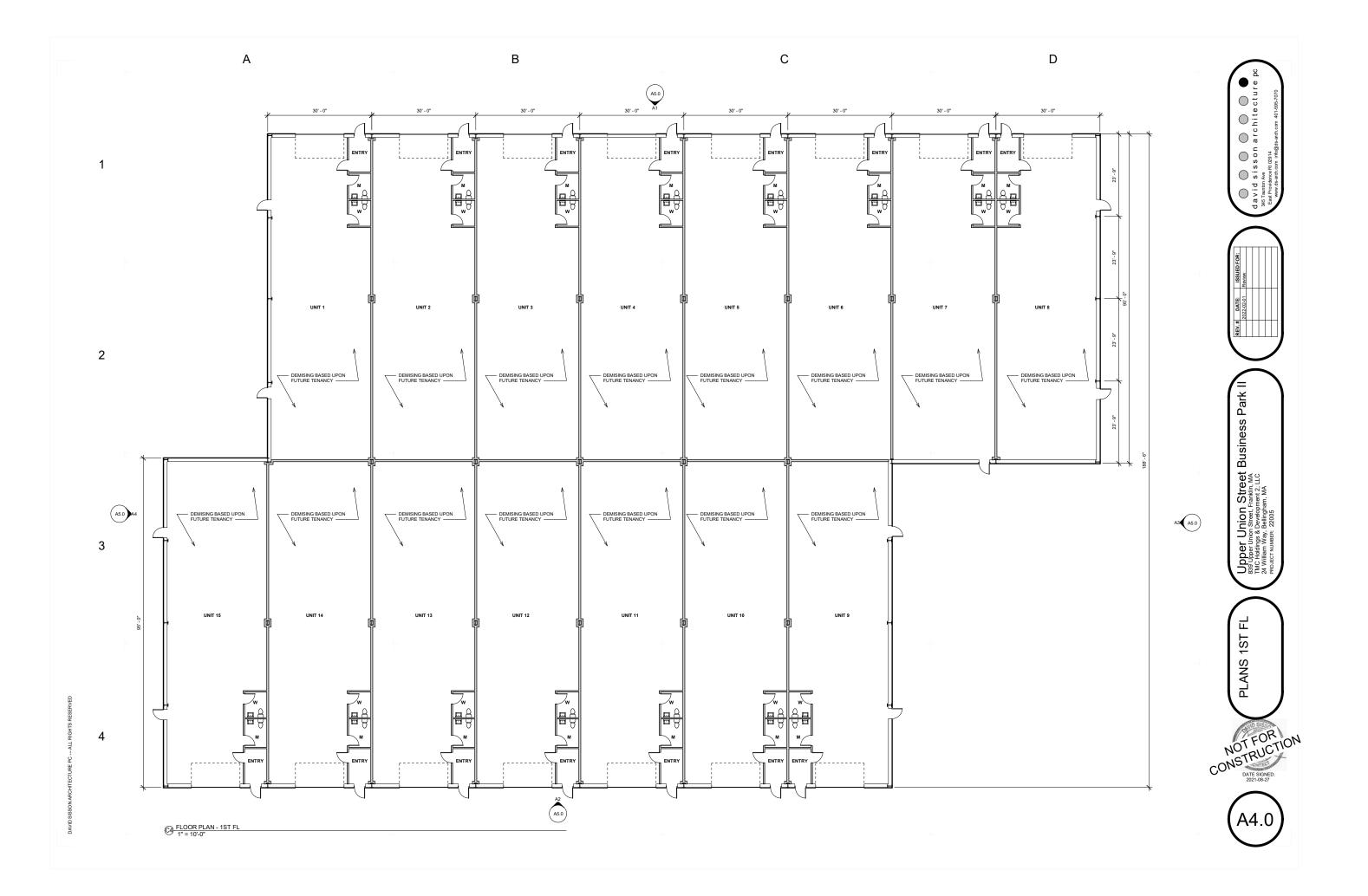


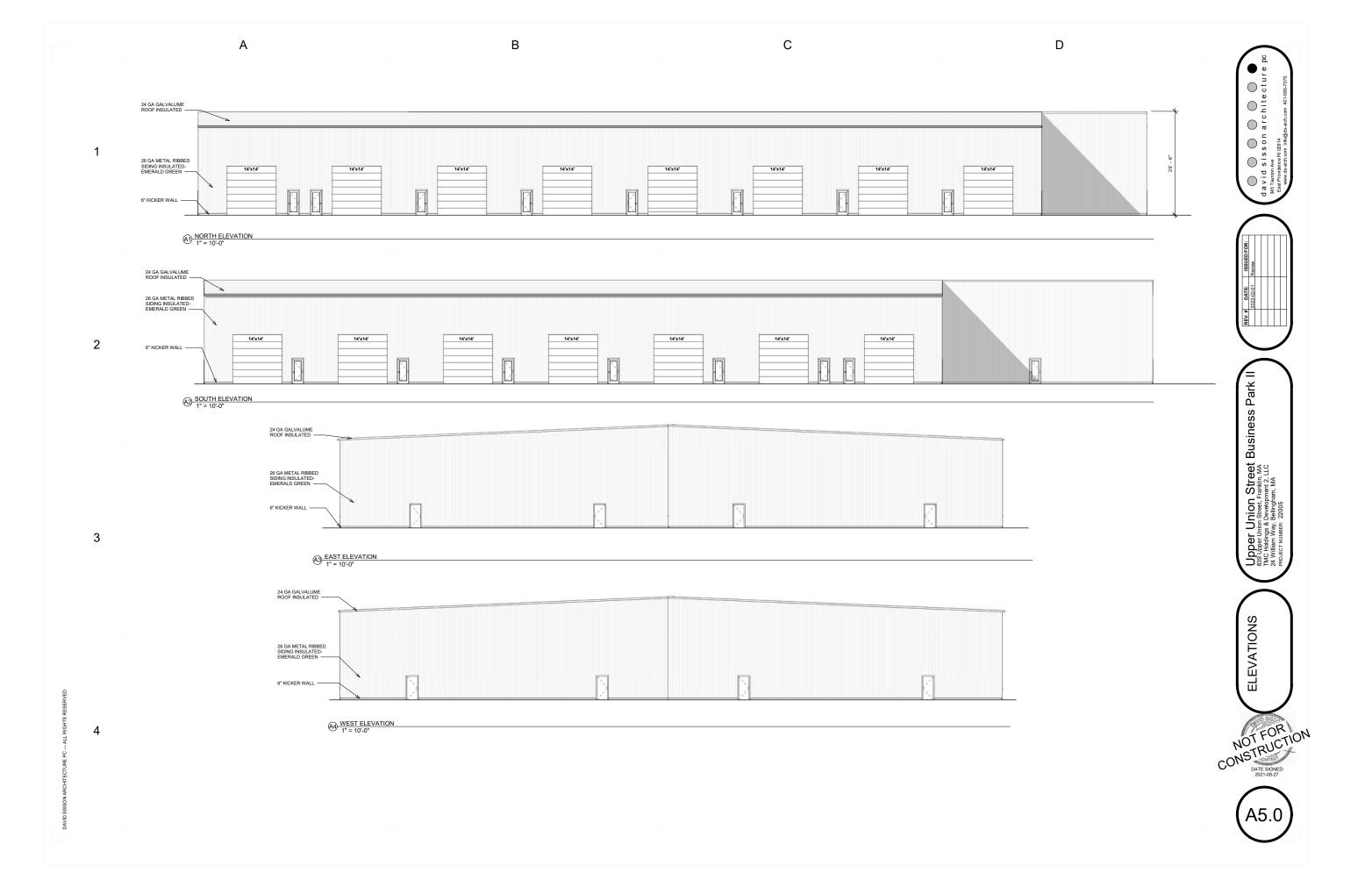
























## FORM Q

# TOWN OF FRANKLIN DESIGN REVIEW APPLICATION FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information
Name of Business or Project: Marcus Partners Industrial Warehouse
Property Address King Street, Franklin, MA
Assessors' Map # 313 Parcel # 7, 8, 53, 54, 55
Zoning District (select applicable zone): <u>Business</u>
Zoning History: Use VarianceNon-Conforming Use
B) Applicant Information:
Applicant Name: MP Properties III, LLC c/o Marcus Partners
Address: 260 Franklin Street, Boston, MA 02110
Telephone Number: <u>617-556-5206</u>
Contact Person: Josh Berman
C) Owner Information (Business Owner & Property Owner if different)
Business Owner: MP Properties, LLC Property Owner: Mine Brook Corp
c/o Marcus Partners P.O. Box Q, Franklin, MA 02038
Address: 260 Franklin Street Ranieri Trust
Boston, MA 02110 P.O. Box Q, Franklin, MA 02038
All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this day of 20
Margare Chancesi
MP Properties III, LLC Mine Brook Corp. by Margaret C. Ranieri, President
Josh Berman Print name of Applicant Ranieri Trust by Margaret C. Ranieri, Trustee
Print name of Applicant Ranieri Trust by Margaret C. Ranieri, Trustee

<sup>\*</sup>FOR SIGNS COMPLETE PAGES 1 & 2 ONLY. FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 – 4

SEE ADDENDA	ATTACHED FOR	ASSISTANCE IN	COMPLETION	OF FORM O

D) Architect/Engineer/Sign Company Int	formation (if not the applicant)
a. Sign Company	
Business Name: TBD	
Contact Person:	
Address Telephone Number:	
retephone Number.	
b. Architect/Engineer (when applicable)	)
Business Name: Bohler Engineering	
	2110
•	
E) Work Summary	
	C 055 400 Cult
Summary of work to be done: Construction	n of a new 255,400 st tilt up concrete wall
industrial warehouse	
F) Information & Materials to be Submi	itted with Application
a) FOR SIGN SUBMISSIONS ONLY:	
THE FOLLOWING MUST BE SUBMIT	TED ELECTRONICALLY TO
Mkinhart@franklinma.gov	TED MEDICINO MOTIVA TO
Mikimaa taga amkaama.gov	
1. Drawing of Proposed Sign which must	also include
type of sign (wall, pylon etc.)	
size/dimensions	materials
style of lettering	lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating locat	tion of new sign.
3. Picture of existing location and signs (if	previously existing location)
L FOD DITH DINCE/DEVELOPMENTS	COD PROJECT SURMISSIONS:

## b) <u>FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS</u>:

## THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov

- 1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
- 2. Lighting Plan indicating lighting levels & specifications of proposed lights
- 3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
- 4. Drawings or pictures of existing conditions
- 5. If any signage on the building or site, provide information from above Signage Checklist

## **DESIGN STANDARDS**

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. <b>Height</b> —The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. <u>Building height shall be under 40' per zoning requirements</u>
2. <b>Proportions of Windows and Doors</b> – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. The proportions between doors, windows and storefronts are typical for a warehouse building
3. <b>Relations of Building Masses and Spaces</b> – The relationship of a structure to the open space between it and adjoining structures shall be compatible. The site makes excellent use of building structure with parking and loading docks strategically laid out as well as open space for areas of landscape.
4. <b>Roof Shape</b> – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. The roof design and pitch allows for required mechanical equipment typical of warehouse buildings
5. <b>Scale</b> – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. The scale of the building mimics the scale and character of surrounding warehouse properties
6. <b>Façade, Line, Shape &amp; Profile</b> – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: <u>n/a</u>
7. <b>Architectural Details</b> – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. <u>The colors and textures of the building plus the professionally landscaped grounds greatly enhance the area</u>

8. Advertising Features – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. Signage design is TBD
9. <b>Heritage</b> – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. <u>n/a</u>
10. <b>Energy Efficiency</b> – To the maximum extent reasonably practicable, proposals shall utilize energ efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. Roof design will include added structural capacity for future installation of solar panels
11. <b>Landscape</b> - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.  Landscaped areas shall be designed by a professional landscape architect

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

#### **ADDENDA**

## INSTRUCTIONS FOR COMPLETION OF FORM Q-DESIGN REVIEW APPLICATION

#### A. General Information

- Please list name of Business as it will appear on sign or name of project or development, as the case may be, as well as the property address
- Assessors' Map & Parcel numbers may be obtained from tax bill, Town website @\_ www.franklin.ma.us/Town/Assessors/PropertyTax or from the computer located outside the Assessor's Office, first floor, Municipal Building, 355 East Central Street.
- Zoning District and Zoning History information may be obtained at the Building Department, 1<sup>st</sup> floor, Municipal Building
- B. Applicant Information complete and include name of contact person w/ phone number
- C. Owner Information if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

#### Page 2 -

- D. Architect/Engineer or Sign Company Information:
  - Signs only Name of Sign Company and Contact Person
  - Developments & Projects Engineer and Architect Information as well
- E. Work Summary: Include brief summation of work to be done\_

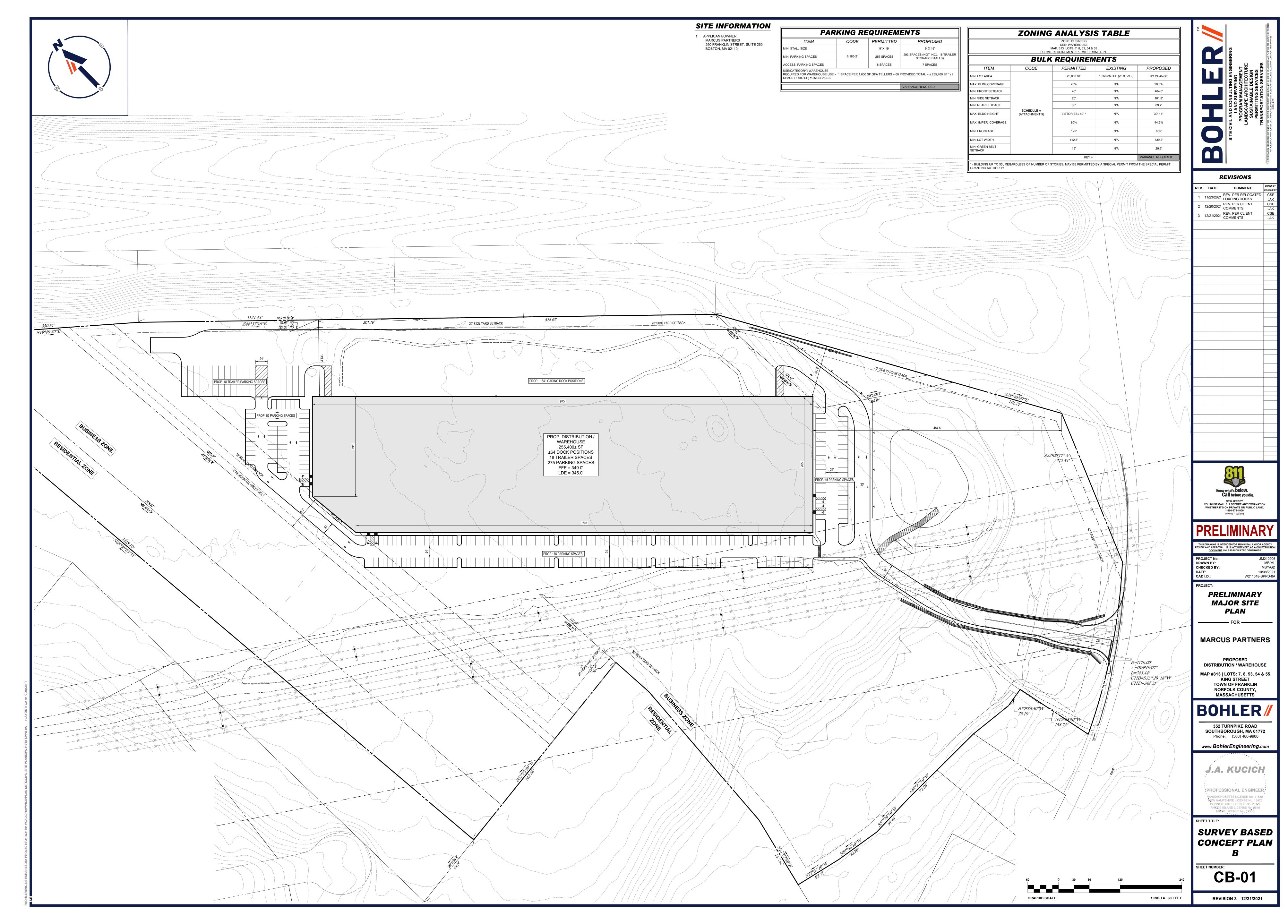
#### Pages 3 & 4

- F. Information & Materials to be Submitted via email (Mkinhart@franklinma.gov) w/Application a) SIGNS ONLY
  - sign drawings and photos, which include information listed on Page 2 of the application
  - b) SITE PLAN APPLICATIONS FOR BUILDINGS/DEVELOPMENTS/PROJECTS.
    - all plans including information listed on Page 2 of application.
    - Please bring samples of siding and roofing materials and paint color samples to the meeting when scheduled.

**<u>DESIGN STANDARDS</u>** – For Buildings/Projects and Developments, please complete Pages 3 and 4 as they apply to your project.

ALL APPLICATIONS WITH SUPPLEMENTARY INFORMATION MUST BE FILED BY 4:00 PM ON THE WEDNESDAY PRIOR TO THE FOLLOWING TUESDAY MEETING. MEETINGS ARE GENERALLY TWICE A MONTH THE  $2^{\rm ND}$  &  $4^{\rm TH}$  TUESDAY OF THE MONTH.

FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.



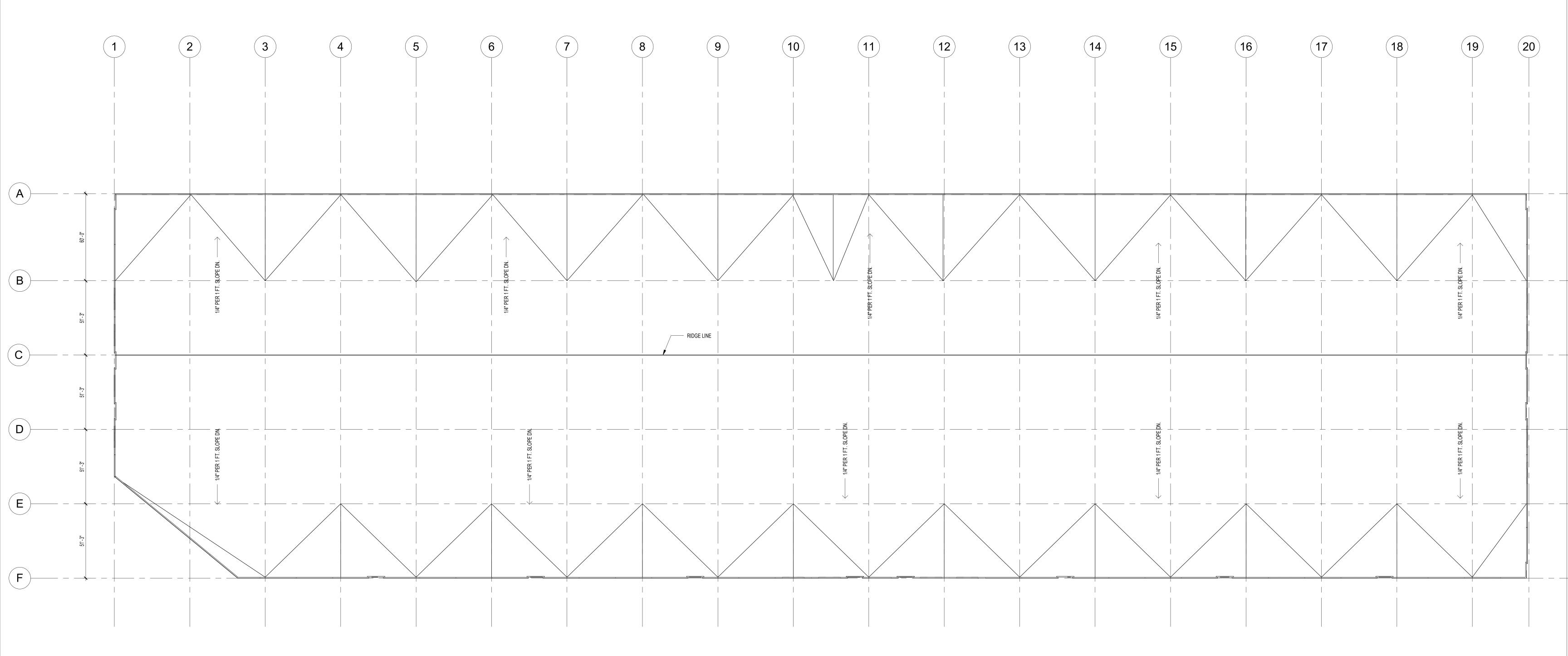










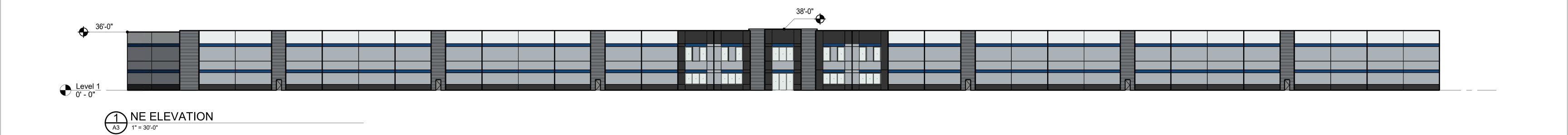
























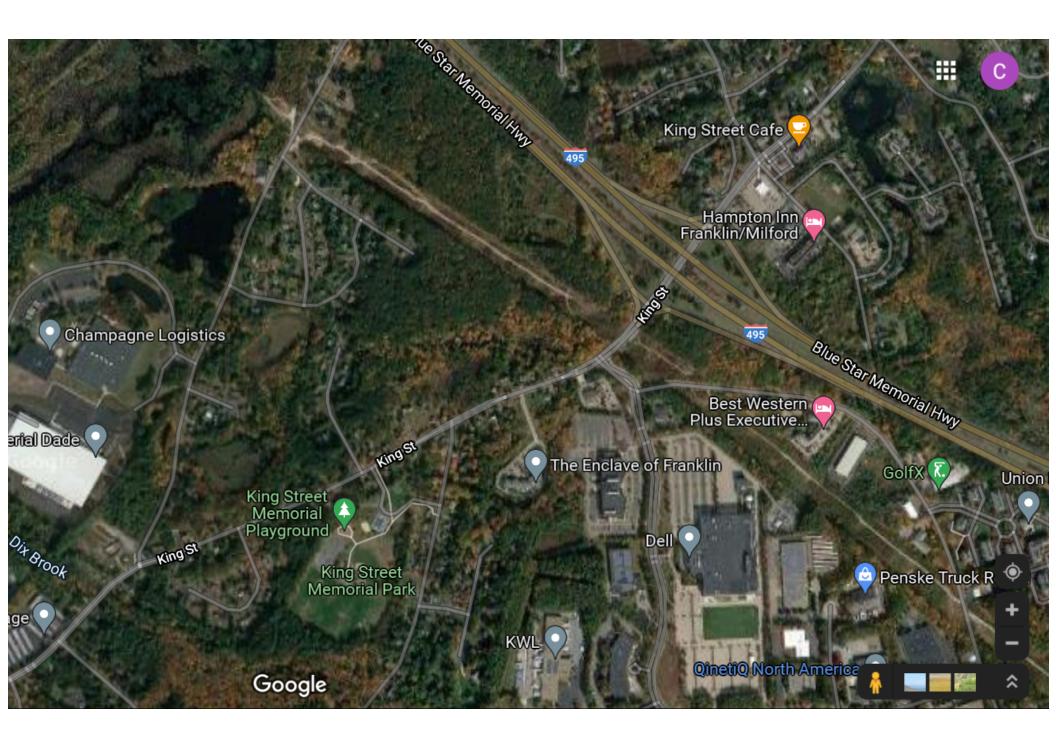












## FORM Q

# TOWN OF FRANKLIN DESIGN REVIEW APPLICATION FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information	
Name of Business or Project: Taj Estates of Franklin II	
Property Address 230 East Central Street, Franklin, MA 02038	
Assessors' Map # Map 285 Parcel # Lot 069	
Zoning District (select applicable zone): Commercial	
Zoning History: Use Variance n/a Non-Conforming Use n/a	
B) Applicant Information:	
Applicant Name:Taj Estates of Franklin II	<u></u>
Address: 95 East Main Street, Suite 100, Westboro, MA 01581	
Telephone Number: 508-962-1928	
Contact Person: _Mirajuddin Ahmed	
C) Owner Information (Business Owner & Property Owner if different	nt)
	es of Franklin II in Ahmed Main Street, Westboro, MA 01581
All of the information is submitted according to the best of my knowledge Executed as a sealed instrument this 14th day of February 20 22	
MAU MAU MAU	
Signature of Applicant Signature of Owner	<u> </u>
Mohiuddin Ahmed Mohiuddin Ahmed	
Print name of Applicant Print name of Owner	

\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY. FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 – 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant) a. Sign Company
Business Name:
Contact Person:
Address
Address Telephone Number:
b. Architect/Engineer (when applicable) Business Name: Dennis Colwell Architects Contact Person: Dan Santacroce Address 132 Central Street, Foxoborough, MA 02035
Telephone Number:
E) Work Summary
Summary of work to be done:
Construction of a new mixed-use, (33) unit apartment building with (1) ground level
commercial unit.
F) Information & Materials to be Submitted with Application
a) FOR SIGN SUBMISSIONS ONLY:
THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO Mkinhart@franklinma.gov
1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)
b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:
THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.go
1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
<ol> <li>Lighting Plan indicating lighting levels &amp; specifications of proposed lights</li> <li>Building drawings, indicating size and height of building(s); front, rear and side elevations</li> </ol>

5. If any signage on the building or site, provide information from above Signage Checklist

(when there are no adjoining buildings) and floor plans

4. Drawings or pictures of existing conditions

## **DESIGN STANDARDS**

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

- 1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. Within the Commercial I zone, the new structure complies with (3) stories / 50 feet in height. As designed, the structure is 40'-0" to the mean of the main gable of the main roof structure. We have kept with a traditional style to keep with the more residential character of some of the surrounding buildings.
- 2. **Proportions of Windows and Doors** The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. Construction of a new mixed-use, (33) unit apartment building featuring 31 one-bedroom units, 2 two-bedroom units, and (1) ground level commercial unit.
- 3. **Relations of Building Masses and Spaces** The relationship of a structure to the open space between it and adjoining structures shall be compatible. The proposed structure complies with coverage requirements within the Commercial I zone. The proposed building does not have any adjoining structures.
- 4. **Roof Shape** The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. The roof shape is intended to maximize the third floor unit spaces with dormers along East & West elevation to add interest while keeping with a more traditional style exterior.
- 5. **Scale** The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. The building scale is compatible within the Commercial I zone and will be similar in scale from the facade to 205 East Central Street & 70 East Central Street. The architectural style is intended to feature traditional elements for a residential character to reflect surrounding buildings.
- 6. **Façade, Line, Shape & Profile** Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: The proposed building facade is intended to designate entries for both the commercial & residential, while adding interest with balcony areas & canopies.
- 7. Architectural Details Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. The proposed building details & trim work along the facade are intended to enhance the interest of the building along the street front. Stone veneer features have been incorporated throughout the exterior that we feel are compatible with the residential character of the surrounding commercial buildings.

permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. The proposed ground floor
commercial space features a covered awning available for signage.
9. <b>Heritage</b> – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. n/a
10. <b>Energy Efficiency</b> – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. The proposed building will meet IBC building code for energy efficiency based on it's use, and will make efforts to adhere to energy conscious principles throughout the design process.
11. <b>Landscape</b> - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.
Landscaping features are proposed along the side & rear of the lot to provide screening of parking & other site features.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

## **ADDENDA**

## INSTRUCTIONS FOR COMPLETION OF FORM Q-DESIGN REVIEW APPLICATION

#### A. General Information

- Please list name of Business as it will appear on sign or name of project or development, as the case may be, as well as the property address
- Assessors' Map & Parcel numbers may be obtained from tax bill, Town website @ www.franklin.ma.us/Town/Assessors/PropertyTax or from the computer located outside the Assessor's Office, first floor, Municipal Building, 355 East Central Street.
- Zoning District and Zoning History information may be obtained at the Building Department,
   1<sup>st</sup> floor, Municipal Building
- B. Applicant Information complete and include name of contact person w/ phone number
- C. Owner Information if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

#### Page 2 –

- D. Architect/Engineer or Sign Company Information:
  - Signs only Name of Sign Company and Contact Person
  - Developments & Projects Engineer and Architect Information as well
- E. Work Summary: Include brief summation of work to be done

## Pages 3 & 4

- F. Information & Materials to be Submitted via email (Mkinhart@franklinma.gov) w/Application a) SIGNS ONLY
  - sign drawings and photos, which include information listed on Page 2 of the application
  - b) SITE PLAN APPLICATIONS FOR BUILDINGS/DEVELOPMENTS/PROJECTS.
    - all plans including information listed on Page 2 of application.
    - Please bring samples of siding and roofing materials and paint color samples to the meeting when scheduled.

<u>**DESIGN STANDARDS**</u> – For Buildings/Projects and Developments, please complete Pages 3 and 4 as they apply to your project.

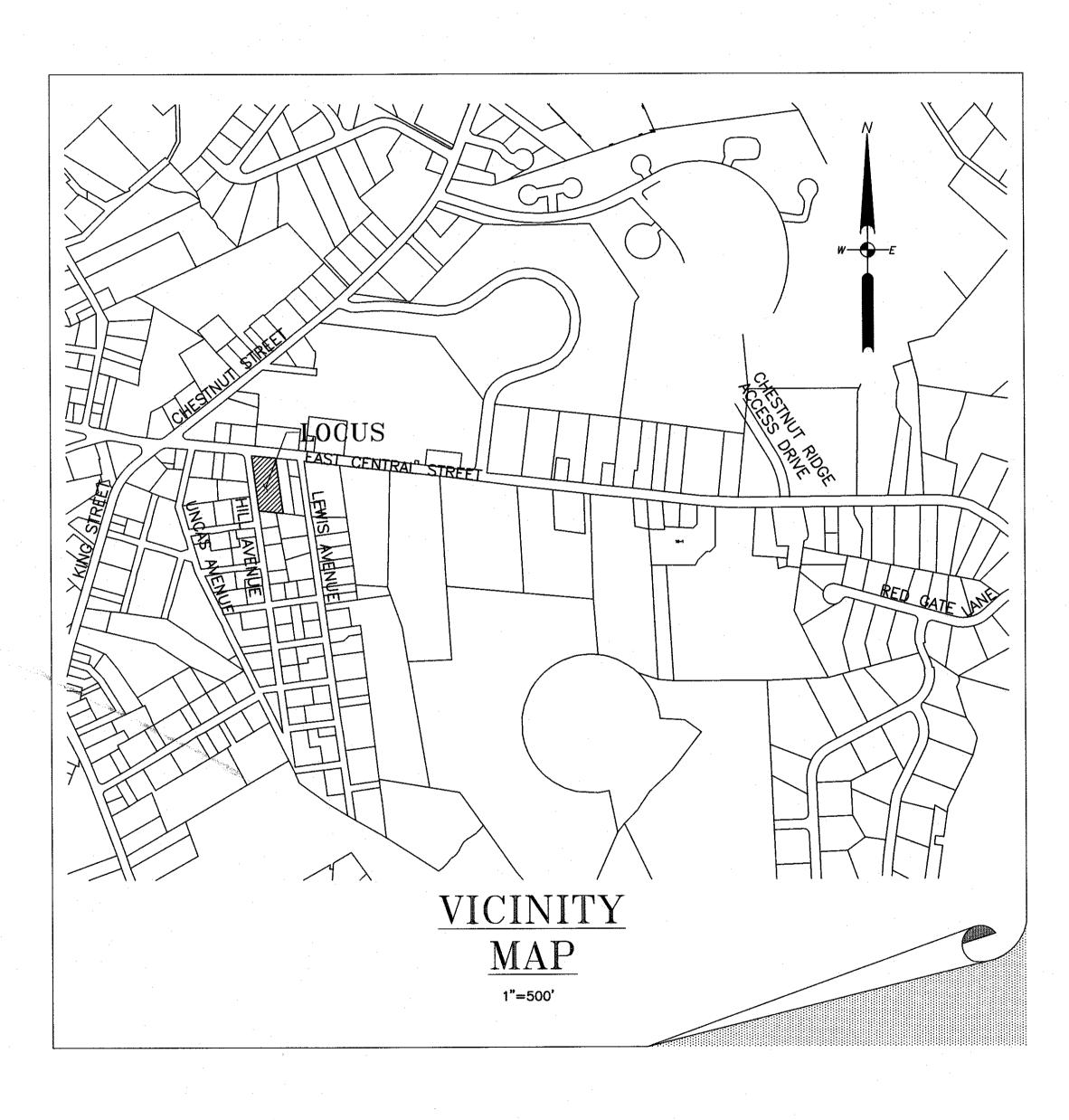
ALL APPLICATIONS WITH SUPPLEMENTARY INFORMATION MUST BE FILED BY 4:00 PM ON THE WEDNESDAY PRIOR TO THE FOLLOWING TUESDAY MEETING. MEETINGS ARE GENERALLY TWICE A MONTH THE  $2^{\rm ND}$  &  $4^{\rm TH}$  TUESDAY OF THE MONTH.

FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.

# TAI ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS

## INDEX

- COVER SHEET
- EXISTING CONDITIONS PLAN
- 3. DEMOLITION & EROSION CONTROL PLAN
- 4. SITE PLAN
- GRADING PLAN
- 6. UTILITY PLAN
- 7. LANDSCAPING PLAN
- PHOTOMETRIC PLAN
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- 11. CONSTRUCTION DETAILS
- 12. CONSTRUCTION DETAILS



## WAIVER REQUEST

1. SITE PLAN AND SPECIAL PERMIT APPROVAL TO CONSTRUCT A MULTIFAMILY BUILDING WITH IN THE COMMERCIAL I ZONING DISTRICT.

APPROVED DATE: FRANKLIN PLANNING BOARD BEING A MAJORITY

LEGAL NOTES

RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EXIBENCE TO DEVELOR A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORÉ EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE{7233}.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

TAJ ESTATES OF FRANKLIN II, LLC 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

DEED BOOK 40009 PAGE 445 ASSESSORS MAP 285 LOT 069

APPLICANT

TAJ ESTATES OF FRANKLIN II, LLC MOHIUDDIN AHMED, MANAGER 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

TAJ ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS

COVER SHEET

NOVEMBER 11, 2021

REVISION DESCRIPTION 01/17/22 TOWN COMMENTS - REV1 TOWN COMMENTS - REV2



55 WEST CENTRAL ST. PH. (508) 528-3221 FRANKLIN, MA 02038 FX. (508) 528-7921 www.gandhengineering.com

1 OF 12

JOB NO. **F4478** 

- 2. THIS SITE IS NOT LOCATED FLOOD HAZARD ZONE PER FEMA FLOOD MAP 25021C0309E, EFFECTIVE DATE 7/17/2012.
- 3. NO WETLANDS HAVE BEEN IDENTIFIED.
- 4. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
- 5. REFER TO FRANKLIN ASSESSORS MAP 285 PARCELS 69.
- 6. THIS SITE IS LOCATED IN A WATER RESOURCE DISTRICT.
- 7. ALL REFERENCED DEEDS ARE ON RECORD AT THE NORFOLK COUNTY REGISTRY OF DEEDS.
- 8. THIS SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM AREA.

## **LEGEND**

	⊞	CATCH BASIN		≎	LIGHT POLE
	0	DRAIN MANHOLE		لع	UTILITY POLE
	(E)	ELECTRIC MANHOLE		-0	GUY WIRE
	<b>©</b>	SEWER MANHOLE		-	SIGN
	0	MANHOLE	, ,	•	WETFLAG
	S	GAS VALVE		ත	UTILITY POLE
	GM	GAS METER		☆	PROP. STREET LIGHTING
	స్త	GAS SHUT OFF VALVE		x 000.0	
	₩V	WATER VALVE			RIPRAP
	*8	WATER SHUT OFF VA	LVE		
	黨	FIRE HYDRANT			
			EXISTING (	CONTOUR	" '
			EXISTING DRAIN LINE		E :
			EXISTING	WATER LII	VE"
		G	EXISTING (	GAS LINE	

EXISTING SEWER LINE

# COMMERCIAL I<sup>7</sup> FRANKLIN ZONING BYLAW SECTION 185 ATTACHMENT 9; LAST AMENDED 03-13-2019 BY AMENDMENT 19-831

03-13-2019 BY AMENDMENT 19-831

MINIMUM LOT AREA 5,000 SF

MINIMUM LOT FRONTAGE 50'

MINIMUM LOT DEPTH 50'

MINIMUM LOT WIDTH 45'

BLDG HEIGHT 3 STORIES/40'

MINIMUM YARDS
FRONT 20
SIDE 10
REAR 15

% OF LOT UPLAND COVERED BY:
STRUCTURES
STRUCTURES+PAVING
90\*\*
BUT NO NEW STRUCTURES SHALL BE

REQUIRED TO PROVIDE A DEEPER YARD THAN THAT EXISTING ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.

7PERMITTED RESIDENTIAL USES MUST OBSERVE REQUIREMENTS OF THE GENERAL RESIDENTIAL V DISTRICT FOR RESIDENTIAL USE BUILDINGS ONLY. MIXED USE BUILDINGS ARE EXEMPT FROM THIS REQUIREMENT.

ON ONE SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT A 20 FT SETBACK IS REQUIRED ON THE ABUTTING SIDE.

15BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY SPECIAL PERMIT FROM THE PLANNING BOARD.

\*\*NON-RESIDENTIAL IMPERVIOUS COVERAGE SHALL NOT EXCEED 80% IN A WATER RESOURCE DISTRICT

## PLAN REFERENCES:

1. PLAN NO. 393-1997, PL. BK. 448

2. SEE ANR PLAN ENTITLED "PLAN OF LAND 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS," DATED APRIL 30, 2018, PREPARED BY GUERRIERE & HALNON, INC, PLANNING BOARD ENDORSED MAY 7, 2018 ON WHICH THE INTERIOR DEED LINE IS DEPICTED AS "TO BE REMOVED."

DEEP TESTS TAKEN 11/14/17 BY DN PERC. TESTS TAKEN 11/14/17 BY DN

DEEP TESTS TAKEN 11/14/17 BY DN PERC. TESTS TAKEN 11/14/17 BY DN		R=293,28	
SOIL EVALUATOR DON NIELSEN SOIL EVALUATOR DON NIELSEN		FROM 2015 CR1:56:14"W \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	8"
284.3 L. 283.2 L. 283.1 L. 282.4 L. 285.0 L. 282.6 L. 282	286.0 Bw 12" 24"	SEWER EASEMENT TAKING (2741–135)  SEWER EASEMENT TAKING N/F IRWIN USE: RESIDENTIAL	SMH R=284.3t I=278.0t (RECORD FROM TOWN AS-BUILT)  COMMERCIAL  X283.4 SINGLE FAMILY IV S  N/F MARCHAND USE: RESIDENTIAL
C1 M.S. 10YR 36"-60" F.S. 10YR5/6 278.2 10YR5/6 277.6 C1 S.L. 280.4 C1 S.L. 280.4 C1 S.L. 280.4	284.8	APPROXIMATE #29 HILL, AVE.	DWELLING
M.S.   60"-96"   M.S.   84"-156"   M./F.S.   84"-144"   F.S.   42"-60"   F./M.S.   48"-60"   F./M.S.   48"-60"   48"-60"   10YR5/6   273.6   10YR5/6   273.6	-120" F./M.S. 42"-84" 279.8 10YR5/6		
MOIST BOT HOLE NO G.W.   C3   C3   C3   C3   M.S.   M.S.   M.S.   M.S.   M.S.   M.S.   M.S.   C3   C3   C3   C3   C3   C3   C3   C	C.3	REET	
NO G.W. NO MOTTLES			
	285.3   DTH#1   285.2   DTH#2   284.6   DTH#3   283.9   DTH#4   285.8   DTH#5   283.6   DTH#6   284.3   DTH#6   284.3   DTH#6   284.3   DTH#6   285.8   DTH#6   DTH#	SOIL EVALUATOR DON NIELSEN  285.3 DTH#1  285.2 DTH#2  284.6 DTH#3  285.9 DTH#4  285.8 DTH#6  286.8 DTH#7  AP	285.3 DTH#1  285.2 DTH#2  285.2 DTH#2  285.2 DTH#2  285.2 DTH#4  285.8 DTH#5  285.2 DTH#4  285.8 DTH#5  285.2 DTH#4  285.8 DTH#6  387.0 O"-12"  APP O"-12"  APP O"-12"  APP O"-12"  APP O"-12"  APPROMATE  TAKING  (2741-135)  SEWER EASEMENT  TAKING  (2741-135)  INFN  USE: RESIDENTIAL  DWELLING  APPROMATE  287.8 DTH#6  288.8 DTH#6  288.8 DTH#6  387.0 O"-12"  APPROMATE  140.26'  APPROMATE  1

(F)SBDH R=285.17 /=278.27 0 10"VC-CENTRAL STREET (COUNTY LAYOUT DATED JUNE 7, 1955) (PLAN BK. 197 PLAN NO. 849) R = 20.00L=36.13' R=285.17-T=25.37' Δ=103'30'17" R=2|84.28  $A=150\pm SF$ G N84'26'51"W R=284.14 3382-112 114.09 <del>-</del> 179.97' COMMERCIAL I (F)SBDH EXIST. SINGLE FAMIL Y WOOD FRAME HOUSE x283.3 1285.0 LAWRÉNCE & R≕283.9 DOOLEY USE: RESIDENTIAL APPROXIMATE DWELLING #240 x283.3 6' WOOD STOCKADE REMNANTS FENCE PAVED OWNER MAY HAVE TITLE TO 20' STRIP PURSUANT TO MGL 183, SECTION 58 "DERELICT FEE STATUTE." TITLE AND RIGHTS TO BE DETERMINED BY OTHERS AND ARE NOT DETERMINED BY THIS PLAN. AREA=5,938±SF  $(0.136 \pm AC)$ Edge of Woods Undergrowth ROVANI USE: RESIDENTIAL DWELLING UNCAS AVENUE CONDOMINIUM USE: RESIDENTIAL **DWELLING** LOT 1 PLAN REFERENCE 1 LOT\1A PLAN REFERENCE 2  $(0.7\pm AC)$ AREA=43,756±SF Z PLAN REFERENCE 2) (1.005±AC) LOT 2 PLAN REFERENCE 1 SEE PLAN REFERENCE 2  $(0.3\pm AC)$ N/F TAYAL USE: RESIDENTIAL **DWELLING** 

APPROVED DATE:

FRANKLIN PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EXPENCE TO DEVELOR A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE FACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG—SAFE{7233}.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

TAJ ESTATES OF FRANKLIN II, LLC 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

DEED BOOK 40009 PAGE 445 ASSESSORS MAP 285 LOT 069

APPLICANT

TAJ ESTATES OF FRANKLIN II, LLC MOHIUDDIN AHMED, MANAGER 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

TAJ ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS

**EXISTING CONDITIONS** 

NOVEMBER 11, 2021

DATE	REVISION DESCRIPTION
01/17/22	TOWN COMMENTS - REV1
01/28/22	TOWN COMMENTS - REV2

GRAPHIC SCALE: 1"=20'



ENGINEERING & LAND SURVEYING

55 WEST CENTRAL ST. PH. (508) 528-3221

FRANKLIN, MA 02038 FX. (508) 528-7921

www.gandhengineering.com

SHEET 2 OF 12

JOB NO. **F4478** 

::\C3DFranklin\F4478 (F4194)\DWG\F4478 SITE.dwg, 1/28/2022 2:29:25 PM, [KP]

- 1. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE
- SHALL REMAIN TOTALLY UNDISTURBED. 2. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY
- RAINFALL EVENT. 3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION. 4. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION
- AND SEDIMENT CONTROLS FOUND TO BE FAULTY. 5. ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
- 6. THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
- 7. SEDIMENT BUILD UP BEHIND FILTERMITT SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
- 8. CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS), INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF. 9. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS
- THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT. 10. THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF
- EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION. 11. THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN
- WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER
- MATERIALS COLLECTED SHALL BE DISPOSED OF. 12. BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN.
- 13. TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR
- PREVENT EROSION WITHIN THE LIMITS OF WORK. 14. STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
- 15. ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE, DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
- 16. THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE(FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
- 17. ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
- 18. ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
- 19. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED.

## **INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE**

- INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER
- INSPECT. TEMPORARY STONE (3/4" - 1 1/2") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING PAVEMENT. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PUBLIC

RAZE THE EXISTING BUILDINGS, PAVEMENT, WALKWAYS, ETC

- CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED. STOCKPILE LOAM, OR REMOVE LOAM. INSTALL PIPES FOR DRAINAGE SYSTEMS. INSTALL DRAINAGE
- SYSTEM.
- BRING SITE TO SUB-GRADE. ALL SLOPES ALONG THE PROPERTY LINES SHALL BE MULCHED TEMPORARILY, IF DISTURBED.
- 9. ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVISE. 10. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED
- TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE. 11. THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
- 12. THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION PROPER FILTER FABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
- 13. ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
- SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS
- 15. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY BASIN, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
- 16. KEEP SITE SWEPT AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.

	-
TIMINIT	
LEGEND	

⊞	CATCH BASIN		<b>\$</b>	LIGHT POLE
0	DRAIN MANHOLE		b	UTILITY POLE
(Ē)	ELECTRIC MANHOLE		- <b>3</b>	GUY WIRE
S	SEWER MANHOLE		<del>-</del> -	SIGN
0	MANHOLE			WETFLAG
GV ⊠	GAS VALVE		G	UTILITY POLE
GM	GAS METER		☆	PROP. STREET LIGHTING
Ö	GAS SHUT OFF VALVE		x 000.0	
₩V	WATER VALVE			RIPRAP
*50	WATER SHUT OFF VA	LVE		
*	FIRE HYDRANT			
	000	EXISTING	CONTOUR	,
D		EXISTING DRAIN LINE		
w		EXISTING WATER LINE		
G		EXISTING	GAS LINE	
	<del></del>	EXISTING .	SEWER LIN	ve

**PPROXIMATE** #216 LAWRÉNCE & DOOLEY USE: RESIDENTIAL DWELLING

`SMH R=285.17

*1=278.27* 

## **DEMOLITION NOTE:**

- 1. RAZE AND REMOVE ALL EXISTING PAVEMENT AND BUILDINGS.
- 2. REMOVE ALL EXISTING DRAINAGE STRUCTURES AND DRAIN LINES.
- 3. REMOVE EXISTING GAS METER
- 4. REMOVE AND RELOCATE EXISTING HYDRANT.
- 5. REMOVE ALL EXISTING LIGHTING
- 6. CAP EXISTING WATER SERVICE.
- 7. COORDINATE WITH NATIONAL GRID TO RELOCATE ELECTRICAL SERVICE.
- 8. CAP AND REMOVE EXISTING SEWER SERVICE.
- 9. ALL DEMOLITION DEBRIS THAT IS REMOVED FROM THE SITE SHALL BE DISPOSED OF PROPERLY PER ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.

E AST CENTRAL STREET (COUNTY LAYOUT DATED JUNE 7, 1955) (PLAN BK. 197 PLAN NO. 849) REMOVE EXIST. SANITARY SEWER. R=285,17-REMOVE/RELOCATE EXIST. FIRE HYDRANT CUT AND CAP EXIST. AND VALVE GAS SERVICE R=284.28 LIMIT OF EROSION R=284.14 CONTROL MEASURES REMOVE EXIST CURB (TYP.) REMOVE EXIST. CONC. SIDEWALK REMOVE EXISTING SIDEWALK CONSTRUCTION **ENTRANCE** REMOVE EXIST. GAS SERVICE AND METER. APPROXIMATE #240 EXIST. HOUSE TO BE RAZED REMOVE EXIST. TREES (TYP.) REMOVE AND REMOVE EXIST. PROPERLY **ELECTRIC** REMOVE EXIST. BIT. TOCKADE DISPOSE OF SERVICE CONC. DRIVEWAY EXIST. INLET PAVETY... REMOVE EXIST. WOOD FENCE ← Edge of Woods

> EXISTING SHED TO REMOVE EXIST. BE RAZED CHAIN LINK FENCE ROVANI USE: RESIDENTIAL EROSION CONTROL DWELLING AND LIMITS OF CLEARING (TYP.) UNCAS AVENUE CONDOMINIUM USE: RESIDENTIAL DWELLING

CLEARING AND GRUBBING

TAYAL USE: RESIDENTIAL DWELLING TEMPORARY LIMIT OF EROSION STOCKPILE CONTROL **MEASURES** 

APPROXIMATE

R=293.28 AS-BUILT) SINGLE FAMIL SEWER EASEMENT  $R=284.3\pm$ TAKING /=278.0± N/F (2741-135)IRWN (RECORD MARCHAND FROM TOWN

#29 HILL AVE. LEDGE STREET

*l=283.* €

TOWN

APPROXIMATE

(RECOR

FROM 20

USE: RESIDENTIAL USE: RESIDENTIAL **DWELLING** DWELLING

Undergrowth

COMMERCIAL

55 WEST CENTRAL ST. PH. (508) 528-3221 FRANKLIN, MA 02038 FX. (508) 528-7921 www.gandhengineering.com

3 OF 12

DATE

01/17/22

01/28/22

APPROVED DATE:

FRANKLIN PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EXIBENCE TO DEVELOR A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE ACKING EXCAVATION,

THE EXACT LOCATION OF UNDERGROUND FEATURES

CANNOT BE ACCURATELY, COMPLETELY AND

RELIABLY DEPICTED ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED

PHYSICAL EVIDENCE, MAY EXIST / CONTRACTORS (IN

ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION

40 AS AMENDED) MUST CONTACT ALL UTILITY

COMPANIES BEFORÉ EXCAVATING AND DRILLING AND

CALL DIGSAFE AT 1(888)DIG-SAFE{7233}.

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RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY

BE REVEALED BY AN EXAMINATION OF THE TITLE.

TAJ ESTATES OF FRANKLIN II, LLC

95 EAST MAIN STREET, SUITE 100

WESTBOROUGH, MA. 01581

DEED BOOK 40009 PAGE 445

ASSESSORS MAP 285 LOT 069

APPLICANT

TAJ ESTATES OF FRANKLIN II. LLC

MOHIUDDIN AHMED, MANAGER

95 EAST MAIN STREET, SUITE 100

TAJ ESTATES OF FRANKLIN II

SITE PLAN & SPECIAL PERMIT

230 EAST CENTRAL STREET

FRANKLIN MASSACHUSETTS

DEMOLITION & EROSION

CONTROL PLAN

NOVEMBER 11, 2021

TOWN COMMENTS - REV1

TOWN COMMENTS - REV2

GRAPHIC SCALE: 1"=20'

REVISION DESCRIPTION

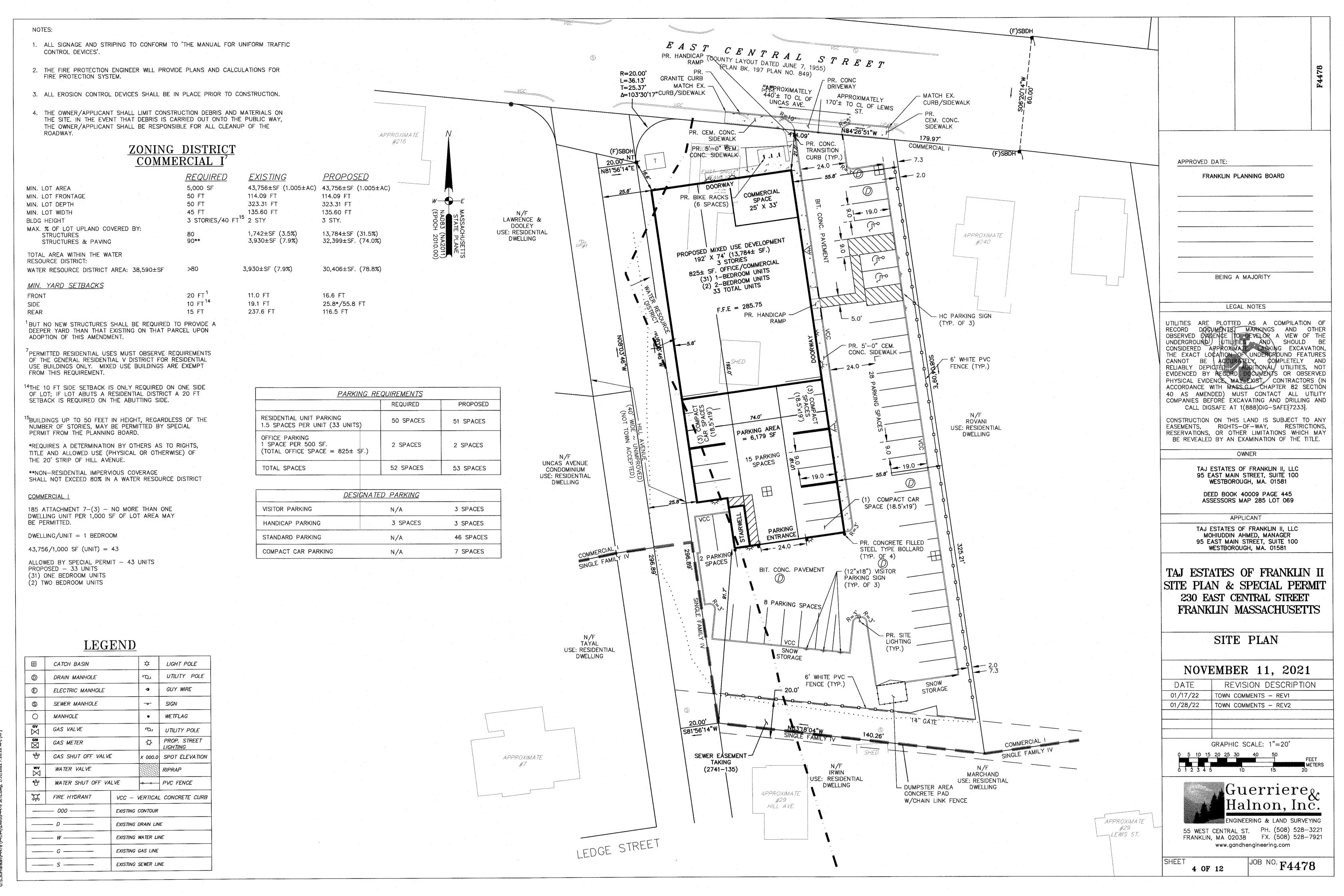
Guerriere&

Halnon, Inč.

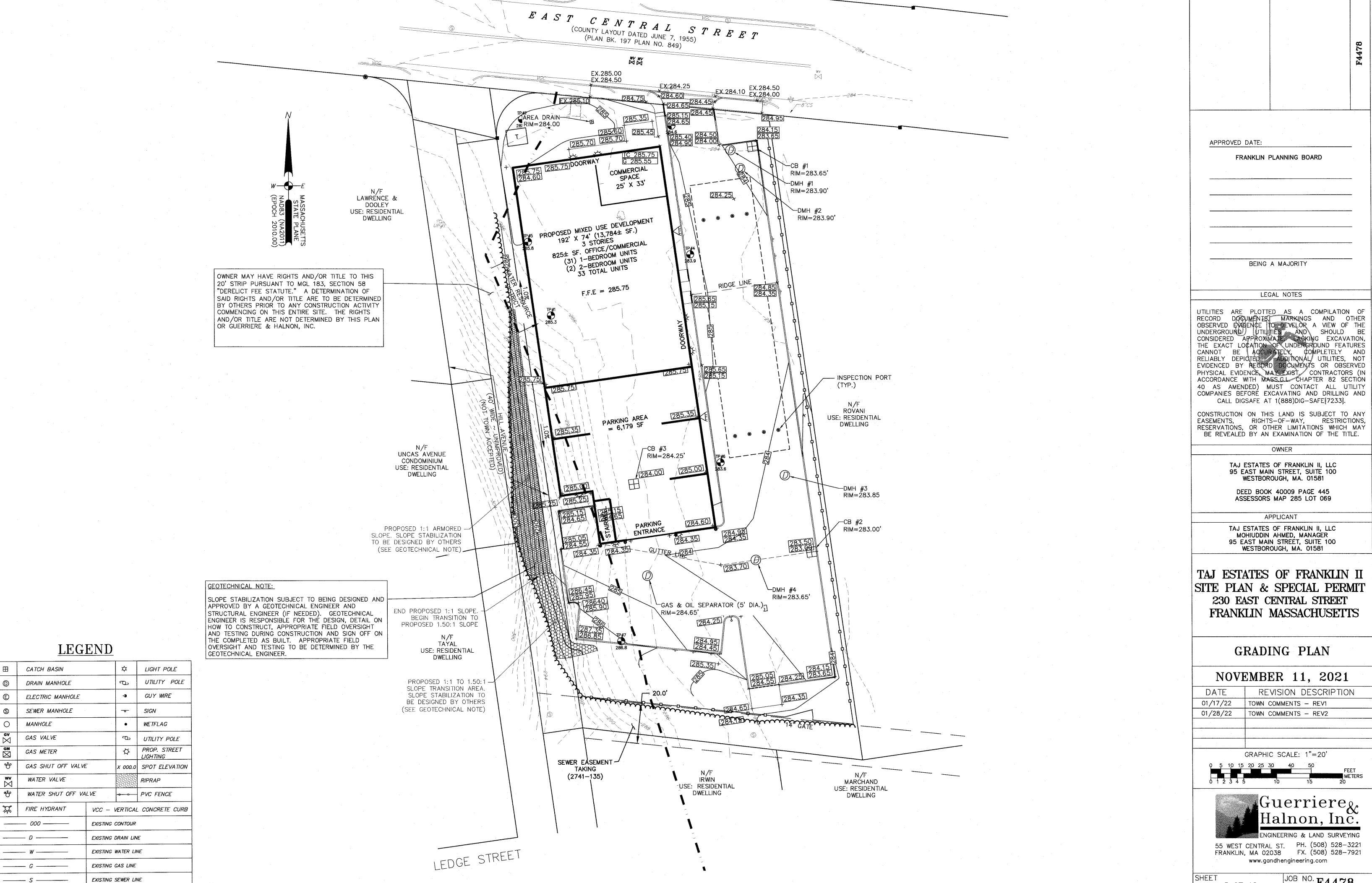
ENGINEERING & LAND SURVEYING

WESTBOROUGH, MA. 01581

JOB NO. **F4478** 



A 23 (2002) 2-30-32 AM [KP]



JOB NO. **F4478** 

5 OF 12

SEWER EASEMENT

(2741-135)

LEDGE STREET

SINGLE FAMILY

MARĆHAND

USE: RESIDENTIAL

DWELLING

\_R=284.3± |=278.0±

IRWIN

USE: RESIDENTIAL

INV.=278.2±

ADJUST SEWER

TO GRADE

FRAME AND GRATE

DWELLING

CONNECT PR. 6" SEWER TO EXIST. MANHOLE

(RECORD FROM TOWN

AS-BUILT)

GRAPHIC SCALE: 1"=20'

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SHEET

6 OF 12

Halnon, Inc.

ENGINEERING & LAND SURVEYING

JOB NO. **F4478** 

In\F4478 (F4194)\D\VG\F4478 SITE.dwg. 1/28/2022 2:14:28 PM,

GAS METER

WATER VALVE

FIRE HYDRANT

---- 000 -----

GAS SHUT OFF VALVE

WATER SHUT OFF VALVE

PROP. STREET

LIGHTING

X 000.0 SPOT ELEVATION

RIPRAP

PVC FENCE

VCC - VERTICAL CONCRETE CURB

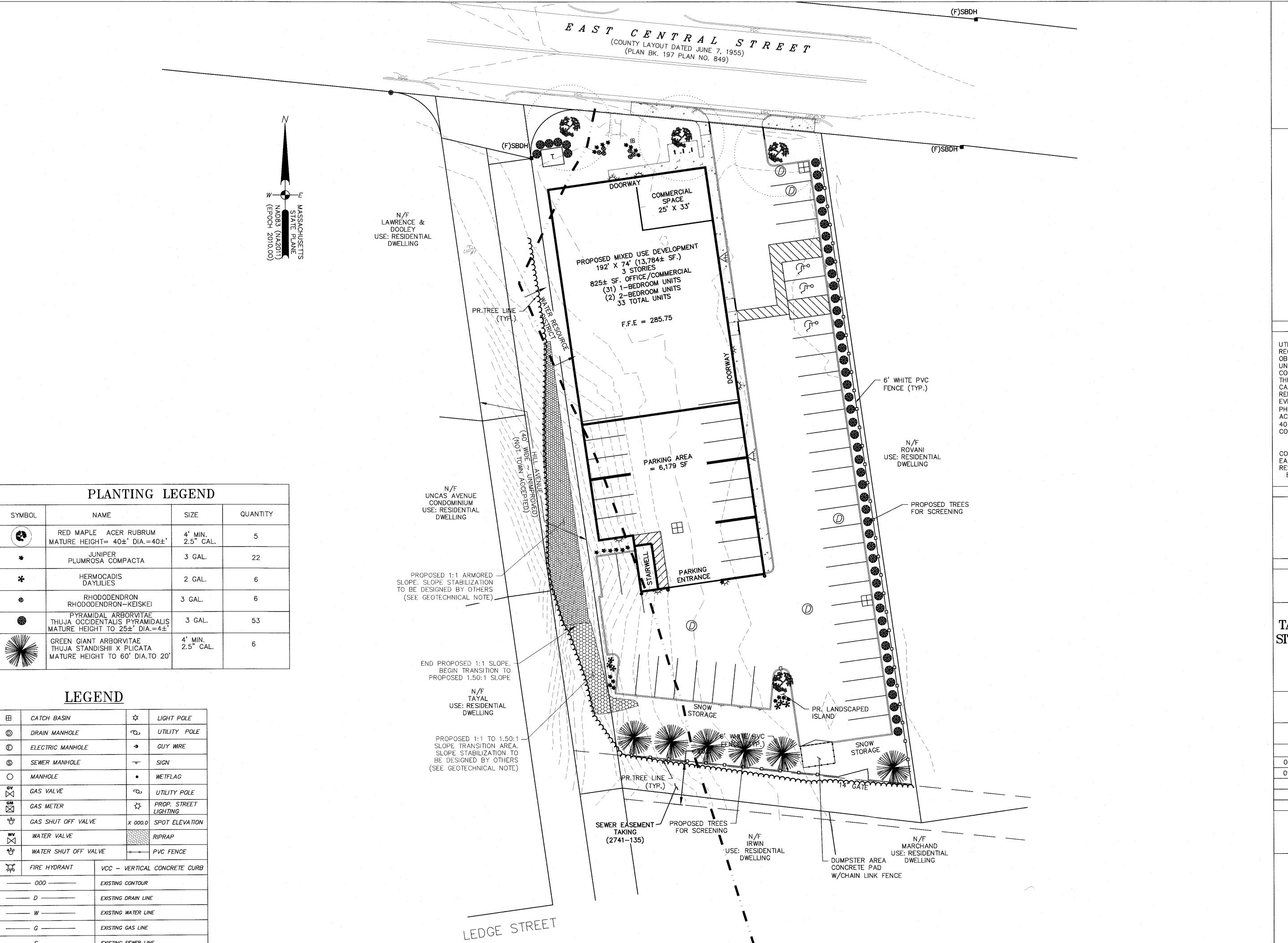
EXISTING CONTOUR

EXISTING DRAIN LINE

EXISTING WATER LINE

EXISTING SEWER LINE

EXISTING GAS LINE



APPROVED DATE: FRANKLIN PLANNING BOARD BEING A MAJORITY LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOR A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE ACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASSIGL CHAPTER 82 SECTION ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORÉ EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE{7233}.

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OWNER

TAJ ESTATES OF FRANKLIN II, LLC 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

DEED BOOK 40009 PAGE 445 ASSESSORS MAP 285 LOT 069

APPLICANT

TAJ ESTATES OF FRANKLIN II, LLC MOHIUDDIN AHMED, MANAGER 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

TAJ ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS

## LANDSCAPING PLAN

## NOVEMBER 11, 2021

TOWN COMMENTS - REV1
TOWN COMMENTS - REV2
_

GRAPHIC SCALE: 1"=20'



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SHEET 7 OF 12 JOB NO. **F4478** 

EXISTING GAS LINE

EXISTING SEWER LINE

---- s -----

THIS PHOTOMETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED UTILIZING INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND THE SOFTWARE PACKAGE SIMPLY OUTDOOR. IT'S VALUES SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERIFIED BY THE LUMIN MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINANCE VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAMP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN SPECIFICALLY NOTED HEREON.

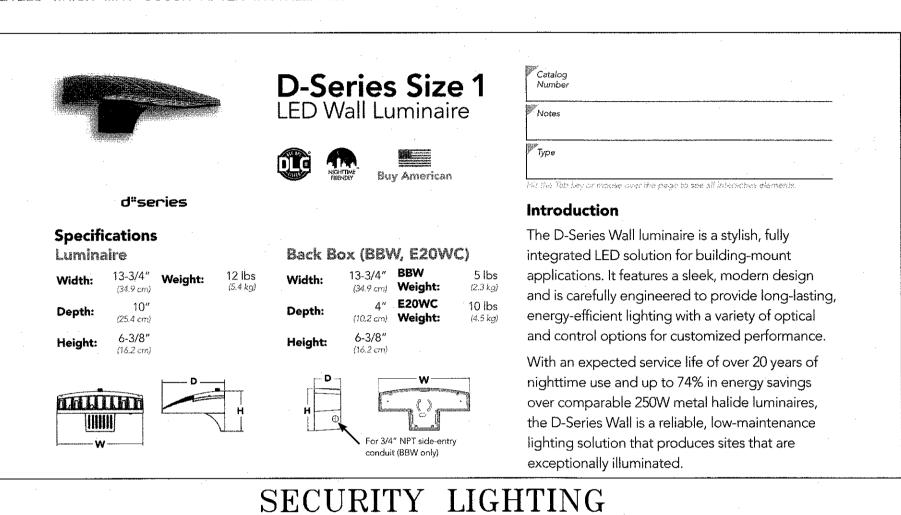
GUERRIERE & HALNON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS WHICH MAY OCCUR AFTER INSTALLATION.

LIGHT LEGEND

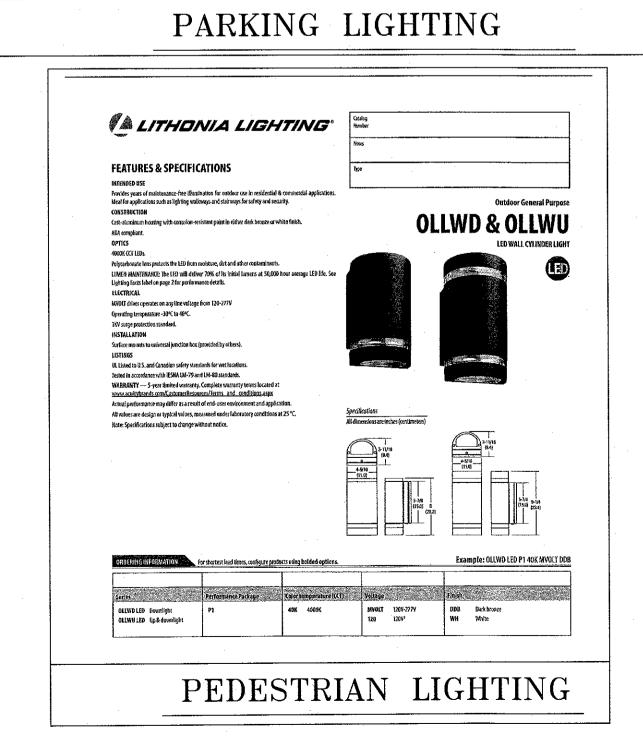
PEDESTRIAN LIGHTING- LITHONIA LIGHTING MODEL OLLWD- LED WALL CYLINDER LIGHT MOUNTING HEIGHT 6.5'

SECURITY LIGHTING-LITHONIA LIGHTING MODEL WSR LED ARCHITECHURAL WALL SCONCE MOUNTING HEIGHT 9.5'

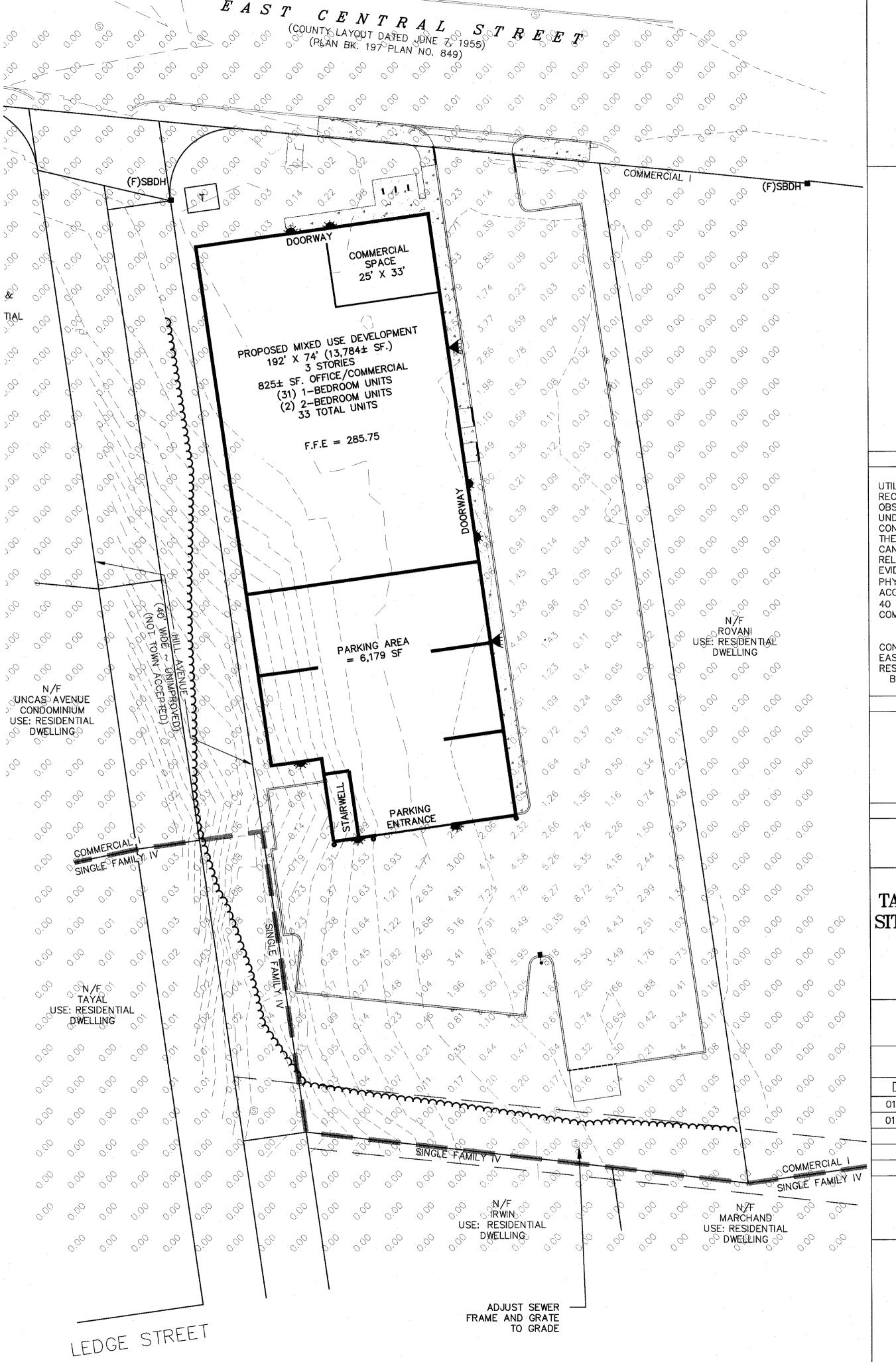
PARKING LIGHTING- LITHONIA LIGHTING MODEL ESX1 LED AREA LUMINAIRE MOUNTING HEIGHT 20'



## ESX1 LED Area Luminaire ha the Tabley or propose over the page to see all imposethe elegated Introduction The ESX LED area luminaire provides the combination of best product, best price and best delivery. ESX is ideal for one-for-one replacement of HID area lighting and provides up to 76% energy **Specifications** savings, long service life and fast payback. EPA 0.40 ft<sup>2</sup> (0.04 m<sup>2</sup>) The ESX1 delivers 8,000 to 25,000 lumens allowing it to replace 150W to 400W HID luminaires. All ESX luminaires feature adjustable light output, providing two light levels from one product, allowing greater Height: flexibility in the field and on distributors' shelves. Weight: 11.2 lbs (5.1 kg) MHIM All luminaires feature a reversible arm that allows for mounting on both round and square poles. Eight configurations of ESX1 luminaires are stocked in Acuity Brands distribution centers.



## LEGEND CATCH BASIN LIGHT POLE UTILITY POLE **(D)** DRAIN MANHOLE (E) GUY WIRE ELECTRIC MANHOLE S SEWER MANHOLE SIGN 0 MANHOLE WETFLAG GV | GAS VALVE UTILITY POLE PROP. STREET GAS METER LIGHTING GAS SHUT OFF VALVE X 000.0 SPOT ELEVATION WATER VALVE RIPRAP ♦₺ WATER SHUT OFF VALVE PVC FENCE FIRE HYDRANT VCC - VERTICAL CONCRETE CURB ----- *000* ------EXISTING CONTOUR EXISTING DRAIN LINE EXISTING WATER LINE EXISTING GAS LINE EXISTING SEWER LINE



APPROVED DATE: FRANKLIN PLANNING BOARD BEING A MAJORITY LEGAL NOTES

(i Jadali

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EXISENCE TO DEVELOR A VIEW OF THE UNDERGROUND! APPROXIMATE. LACKING EXCAVATION, CONSIDERED THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE RELIABLY EVIDENCED BY RECORD PHYSICAL EVIDENCE MAY EXIST CONTRACTORS (IN 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORÉ EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE{7233}.

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OWNER

TAJ ESTATES OF FRANKLIN II, LLC 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

DEED BOOK 40009 PAGE 445 ASSESSORS MAP 285 LOT 069

OWNER/APPLICANT

MOHIUDDIN AHMED 95 MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

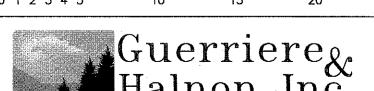
TAJ ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS

## PHOTOMETRIC PLAN

NOVEMBER 11, 2021

REVISION DESCRIPTION TOWN COMMENTS - REV1 01/17/22 TOWN COMMENTS - REV2 01/28/22

GRAPHIC SCALE: 1"=20'

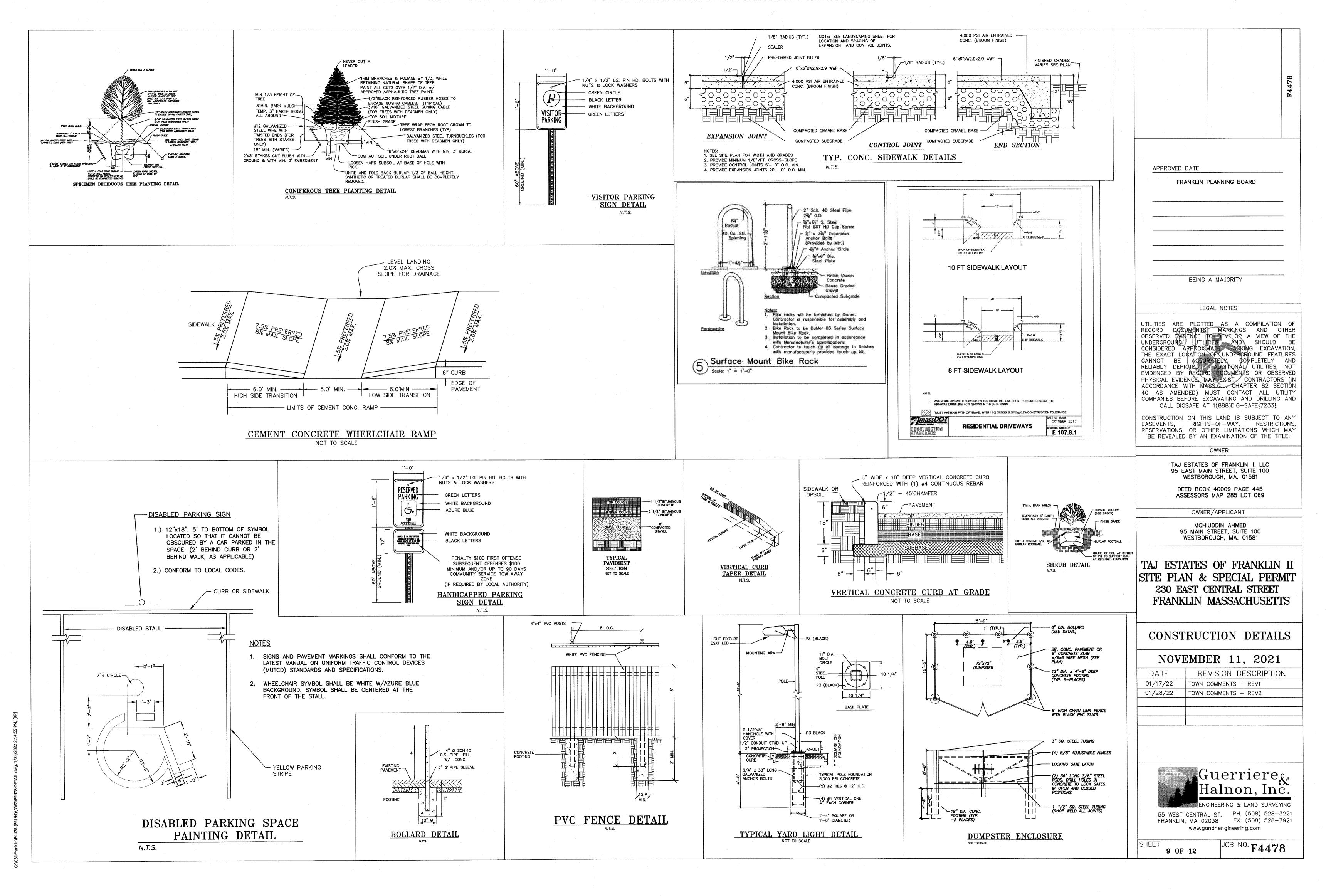




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SHEET 8 OF 12

JOB NO. **F4478** 

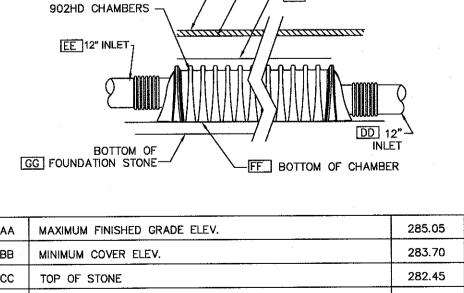


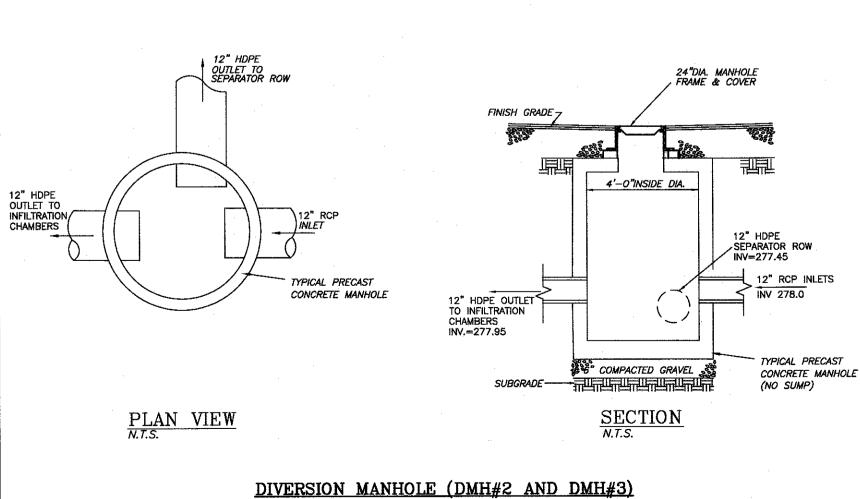


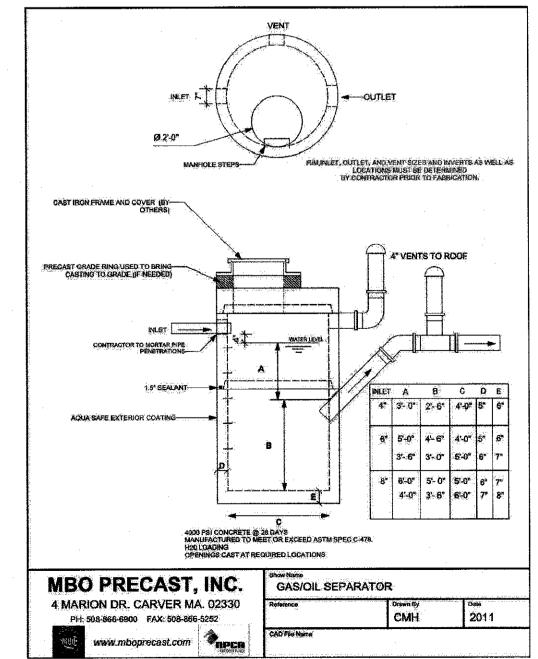
# CULTEC 902HD CHAMBER SYSTEM ELEVATIONS

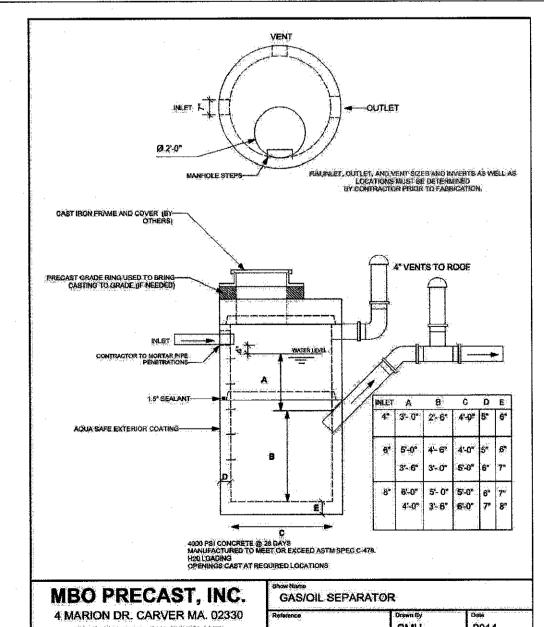
- 2. ISOLATOR ROW TO BE PROVIDED IN ACCORDANCE WITH MANUFACTURER
- 1. CHAMBERS ARE TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS. SEE STORMWATER REPORT FOR INSTALLATION INSTRUCTIONS AND DETAILS.

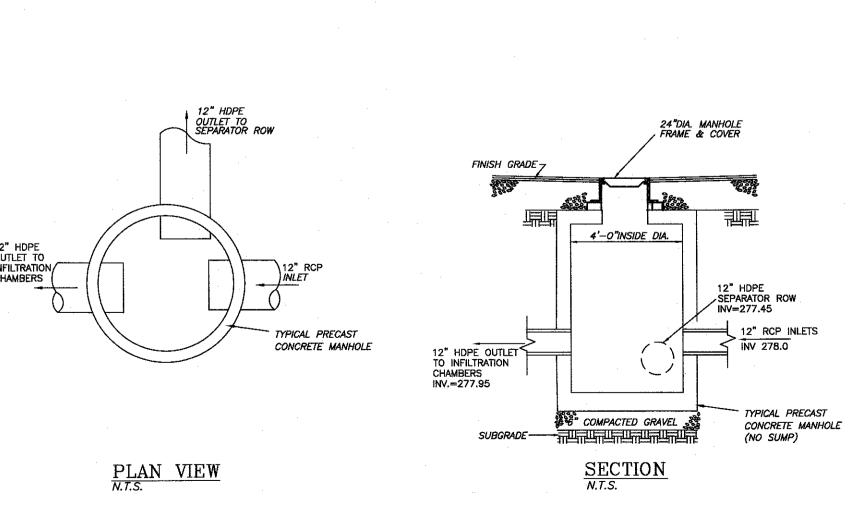
AA	MAXIMUM FINISHED GRADE ELEV.	285.05
BB ·	MINIMUM COVER ELEV.	283.70
СС	TOP OF STONE	282.45
DD	12" OUTLET	277.95
ΕE	12" INLET	277.95
FF	BOTTOM OF CHAMBER	277.45
GG	BOTTOM OF FOUNDATION STONE	276.70
НН	ESTIMATED GROUNDWATER	N/A

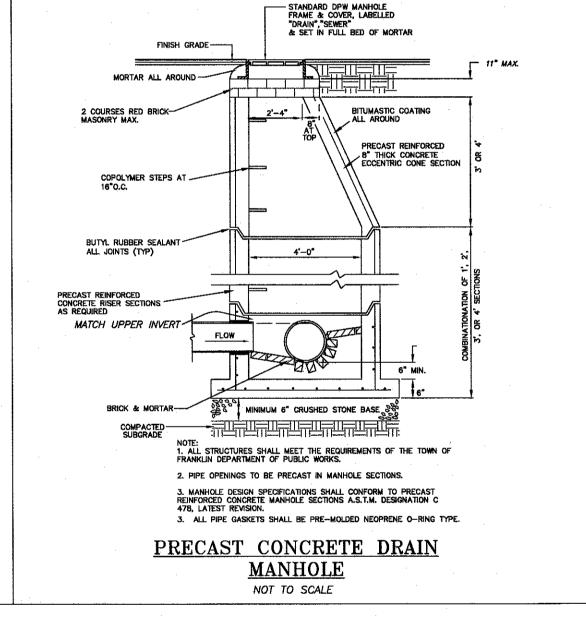






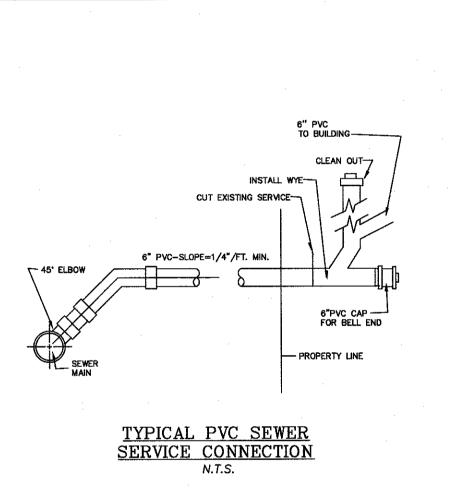


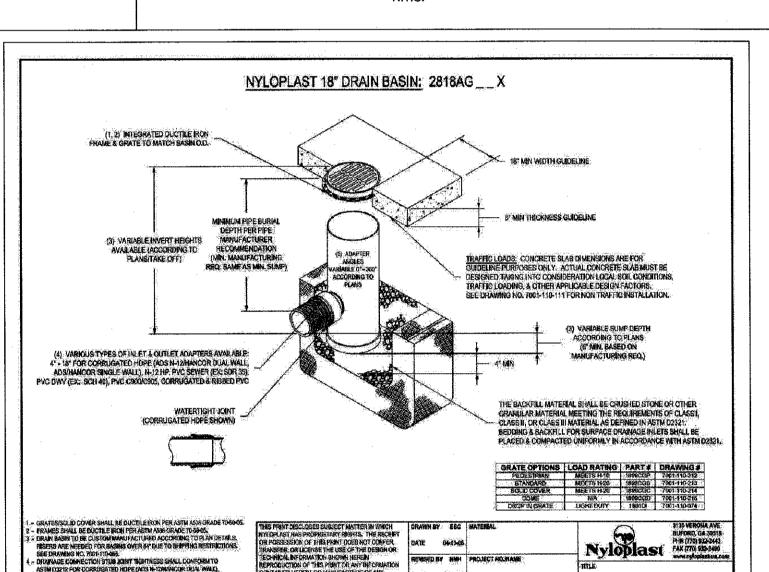


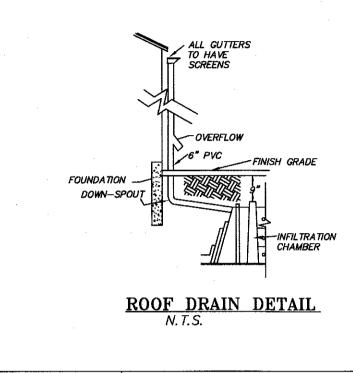


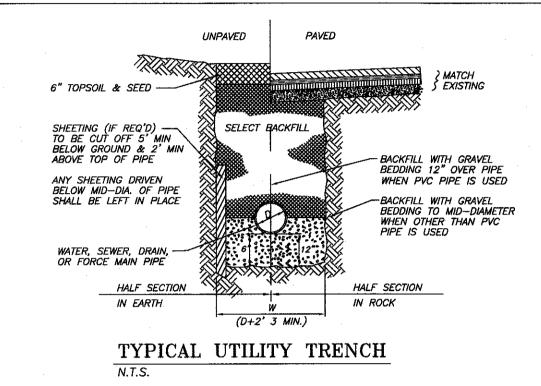
SOIL-

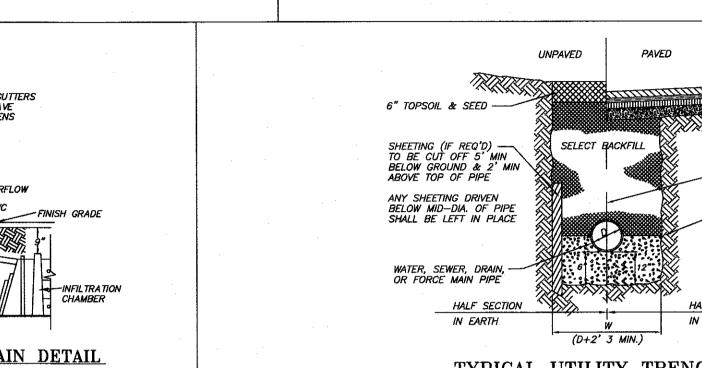
1'-0"



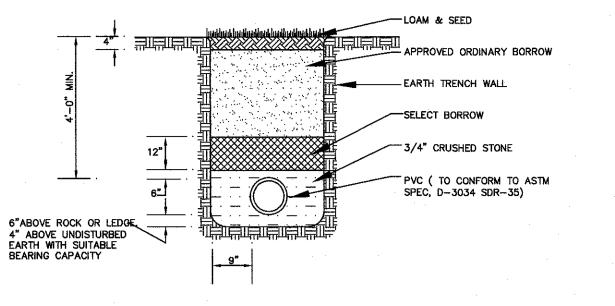








TYPICAL	RCP	TRENCH	SECTION
	NOT	TO SCALE	
			•



\_12" THICK LAYER
COMPACTED GRAVEL --COMPACTED CLEAN
BACKFILL FREE OF STONES
LARGER THAN 3" DIA. \_ DRAIN PIPE — DIAMETER VARIES — MORTAR AT \_1/2" DIA. CRUSHED STONE CRADLE UNDISTURBED EARTH OF 6" IF UNDISTURBED SUITABLE BEARING CAPACITY EARTH BELOW -12" IF ROCK LEDGE

APPROVED DATE:

OBSERVED EXIDENCE

UNDERGROUND!

EVIDENCED BY

CANNOT

RELIABLY

FRANKLIN PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS MARKINGS AND OTHER

CONSIDERED APPROXIMATE LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES

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> TAJ ESTATES OF FRANKLIN II, LLC 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

DEED BOOK 40009 PAGE 445

ASSESSORS MAP 285 LOT 069

MOHIUDDIN AHMED

95 MAIN STREET, SUITE 100

WESTBOROUGH, MA. 01581

TAJ ESTATES OF FRANKLIN II

SITE PLAN & SPECIAL PERMIT

230 EAST CENTRAL STREET

OWNER / APPLICANT

FRANKLIN MASSACHUSETTS

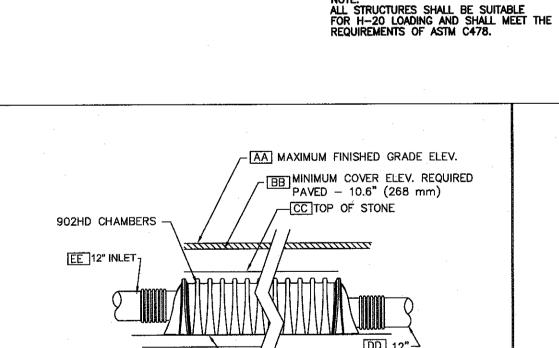
## CONSTRUCTION DETAILS

1101	EMBER 11, 2021
DATE	REVISION DESCRIPTION
01/17/22	TOWN COMMENTS - REV1
01/28/22	TOWN COMMENTS - REV2

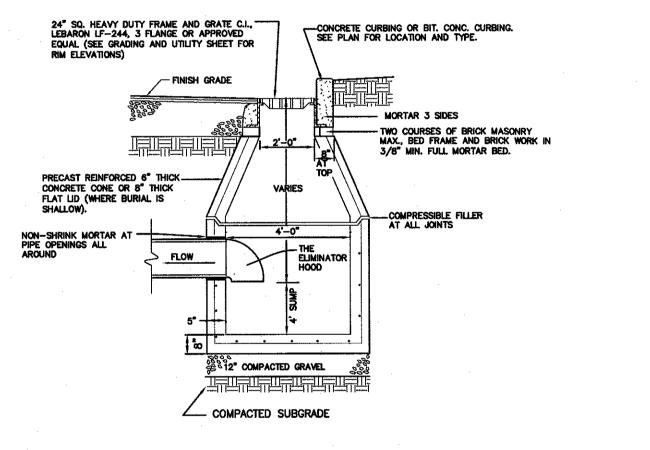
Guerriere& Halnon, Inc.

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JOB NO. F4478 SHEET 10 OF 12



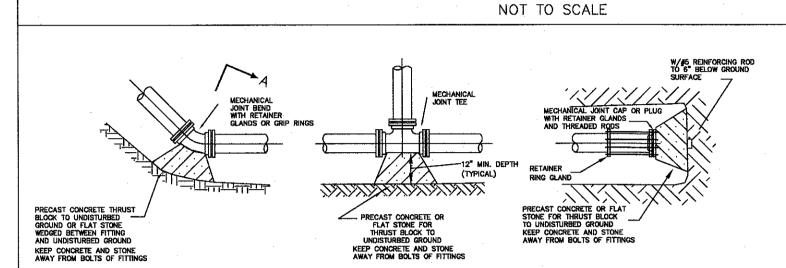
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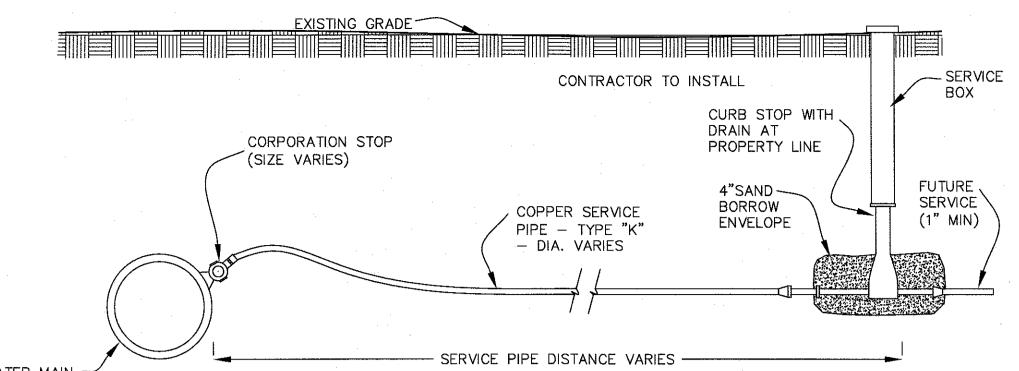
TYP. PRECAST CONCRETE

CATCH BASIN DETAIL









SERVICE TUBE. END JOINTS SHALL BE COMPRESSION FITTINGS CURB STOPS SHALL BE BRONZE WITH A LAPPED GROUND KEY, AND SHALL BE THE APPROVED EQUAL OF MUELLER VALVE CO., DECATUR, ILL. OR FORD METER BOX CO. WABASH, IND. FOR COPPER TUBE SERVICE, COMPRESSION JOINT.

PAVEMENT & LOAM CROSS SECTIONS

LAYERS (6"STONE MAX)

SUITABLE BACKFILL PLACED & COMPACTED IN 6"

1/2" TO 3/4" CRUSHED STONE

CLASS 52 CEMENT LINES DUCTILE IRON

TYPICAL TRENCH SECTION FOR D.I. WATER

MAIN (TYPE 5 BEDDING AWWAC-600)

BANK RUN GRAVEL PLACED IN 6" LAYERS (2"STONE MAX)

CORPORATION COCKS SHALL BE BRONZE AND SHALL BE THE APPROVED EQUAL OF MUELLER VALVE CO. DECATUR, ILL. OR FORD METER BOX CO., WABASH, IND., FOR COPPER 6"ABOVE ROCK OR LEDGE

TYPICAL P.V.C. TRENCH SECTION

PAVEMENT CROSS SECTIONS

CULTEC RECHARGER® 902HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF

## CHAMBER PARAMETERS

1. THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. OR CANADA BY CULTEC, INC. OF

- BROOKFIELD, CT (CULTEC.COM, 203-775-4416). 2.THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787
- "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". THE LOAD CONFIGURATION SHALL INCLUDE:
- A. INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER B. MAXIMUM PERMANENT (50-YEAR) COVER LOAD
- C. 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD 3.THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER
- COLLECTION CHAMBERS". 4.THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION
- INSTRUCTIONS, THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
- A. THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F3430 B. THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
- C. THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95 5. THE CHAMBER SHALL BE STRUCTURAL FOAM INJECTION MOLDED OF BLUE VIRGIN HIGH
- MOLECULAR WEIGHT IMPACT-MODIFIED POLYPROPYLENE. 6.THE CHAMBER SHALL BE ARCHED IN SHAPE.
- 7.THE CHAMBER SHALL BE OPEN-BOTTOMED. 8. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE
- 9.THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER ® 902HD SHALL BE 48 INCHES (1219 MM) TALL, 78 INCHES (1981 MM) WIDE AND 4.25 FEET (1.30 M) LONG. THE
- INSTALLED LENGTH OF A JOINED RECHARGER 902HD SHALL BE 3.67 FEET (1.12 M). 10. MULTIPLE CHAMBERS MAY BE CONNECTED TO FORM DIFFERENT LENGTH ROWS. EACH ROW SHALL BEGIN AND END WITH A SEPARATELY FORMED CULTEC RECHARGER ® 902HD END CAP, MAXIMUM INLET OPENING ON THE END CAP IS 30 INCHES (750 MM) HDPE OR 36
- INCHES (900 MM) PVC. 11. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV™ FC-48 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. MAXIMUM ALLOWABLE PIPE SIZE IN
- THE SIDE PORTAL IS 10 INCHES (250 MM) HDPE AND 12 INCHES (300 MM) PVC. 12. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV™ FC-48 FEED CONNECTOR SHALL BE 12 INCHES (305 MM) TALL, 16 INCHES (406 MM) WIDE AND 49 INCHES (1245
- 13. THE NOMINAL STORAGE VOLUME OF THE RECHARGER 902HD CHAMBER SHALL BE 17.31 FT<sup>3</sup>/FT (1.61 M <sup>3</sup>/M) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 902HD SHALL BE 63.47 FT 3 / UNIT (1.80 M 3 / UNIT) - WITHOUT STONE.
- 14. THE NOMINAL STORAGE VOLUME OF THE HVLV™ FC-48 FEED CONNECTOR SHALL BE 0.913 FT3 / FT (0.085 M 3 / M) - WITHOUT STONE.
- 15. THE RECHARGER 902HD CHAMBER SHALL HAVE 5 CORRUGATIONS. 16. THE CHAMBER SHALL BE CAPABLE OF ACCEPTING A 6 INCH (150 MM) INSPECTION PORT OPENING AT THE TOP CENTER OF EACH CHAMBER, CENTERED ON THE CORRUGATION
- 17. THE CHAMBER SHALL BE MANUFACTURED IN A FACILITY EMPLOYING CULTEC'S QUALITY CONTROL AND ASSURANCE PROCEDURES.
- 18. MAXIMUM ALLOWABLE COVER OVER THE TOP OF THE CHAMBER SHALL BE 8.3 FEET (2.53

## END CAP PARAMETERS

- 1. THE CULTEC RECHARGER<sup>(R)</sup> 902HD END CAP (REFERRED TO AS 'END CAP') SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, INC. OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416).
- 2.THE END CAP SHALL BE TWIN-SHEET THERMOFORMED OF VIRGIN HIGH MOLECULAR WEIGHT POLYETHYLENE.
- 3.THE END CAP SHALL BE JOINED AT THE BEGINNING AND END OF EACH ROW OF CHAMBERS USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS.
- 4. THE NOMINAL DIMENSIONS OF THE END CAP SHALL BE 48.5 INCHES (1231 MM) TALL, 78 INCHES (1982 MM) WIDE AND 9.7 INCHES (246 MM) LONG, WHEN JOINED WITH A RECHARGER 902HD CHAMBER, THE INSTALLED LENGTH OF THE END CAP SHALL BE 6.2 INCHES (157 MM).
- 5. THE NOMINAL STORAGE VOLUME OF THE END CAP SHALL BE 5.34 FT  $^{-3}$ / FT (0.50 M  $^{-3}$  / M) -WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF AN INTERLOCKED END CAP SHALL BE 2.76 FT 3 / UNIT (0.08 M 3 / UNIT) - WITHOUT STONE.
- 6.MAXIMUM INLET OPENING ON THE END CAP IS 30 INCHES (750 MM) HDPE OR 36 INCHES (900 MM) PVC.
- 7.THE END CAP SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12.

- CULTEC HVLV FC-48 FEED CONNECTOR PRODUCT SPECIFICATIONS
- CULTEC HVLV FC-48 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER MODEL 902HD STORMWATER CHAMBERS
- . THE FEED CONNECTOR SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE).
- 3. THE FEED CONNECTOR SHALL BE ARCHED IN SHAPE. 4. THE FEED CONNECTOR SHALL BE OPEN-BOTTOMED.
- 5. THE NOMINAL DIMENSIONS OF THE CULTEC HVLV FC-48 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 49 INCHES (1245 mm) LONG.

2. THE FEED CONNECTOR SHALL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR

- 6. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-48 FEED CONNECTOR SHALL BE 0.913 FT $^{\rm 3}$  / FT (0.085 m3/m) - WITHOUT STONE.
- 7. THE HVLV FC-48 FEED CONNECTOR SHALL HAVE 4 CORRUGATIONS.
- 8. THE HVLV FC-48 FEED CONNECTOR MUST BE FORMED AS A WHOLE UNIT HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE CULTEC RECHARGER STORMWATER CHAMBER AND ACT AS CROSS FEED CONNECTIONS CREATING AN INTERNAL MANIFOLD.

9. THE FEED CONNECTOR SHALL BE DESIGNED TO WITHSTAND AASHTO HS-25 DEFINED LOADS

WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. 10. THE FEED CONNECTOR SHALL BE MANUFACTURED IN AN ISO 9001:2008 CERTIFIED FACILITY

#### CULTEC NO. 410™ NON-WOVEN GEOTEXTILE CULTEC NO. 410™ NON -WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONTACTOR® AND RECHARGER® STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL

## **GEOTEXTILE PARAMETERS**

- . THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416 OR 1-800-428-5832)
- 2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- 3. THE GEOTEXTILE SHALL HAVE A TYPICAL WEIGHT OF 4.5 OZ/SY (142 G/M). 4. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (533 N) PER ASTM
- 5. THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK VALUE OF 50% PER ASTM D4632 TESTING METHOD.
- 6. THE GEOTEXTILE SHALL HAVE A MULLEN BURST VALUE OF 225 PSI (1551 KPA) PER ASTM
- D3786 TESTING METHOD. THE GEOTEXTILE SHALL HAVE A PUNCTURE STRENGTH VALUE OF 65 LBS (289 N) PER ASTM
- D4833 TESTING METHOD.
- 8. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE VALUE OF 340 LBS (1513 N) PER ASTM D6241 TESTING METHOD. 9. THE GEOTEXTILE SHALL HAVE A TRAPEZOID TEAR VALUE OF 50 LBS (222 N) PER ASTM
- D4533 TESTING METHOD. 10. THE GEOTEXTILE SHALL HAVE A AOS VALUE OF 70 U .S. SIEVE (0.212 MM) PER ASTM D4751
- 11. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY VALUE OF 1.7 SEC-1 PER ASTM D4491 TESTING METHOD.
- 12. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE VALUE OF 135 GAL/MIN/SF (5500 L/MIN/SM) PER ASTM D4491 TESTING METHOD.
- 13. THE GEOTEXTILE SHALL HAVE A UV STABILITY @ 500 HOURS VALUE OF 70% PER ASTM D4355 TESTING METHOD

## CULTEC NO. 4800™ WOVEN GEOTEXTILE

CULTEC NO. 4800 WOVEN GEOTEXTILE IS DESIGNED AS A UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR

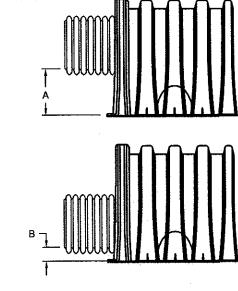
## GEOTEXTILE PARAMETERS

- 1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416 OR 1-800-428-5832)
- THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- 3. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4632 TESTING METHOD.
- 4. THE GEOTEXTILE SHALL HAVE A ELONGATION @ BREAK RESISTANCE OF 20 X 20% PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X 5.070 LBS/FT
- (74 X 74 KN/M) PER ASTM D4595 TESTING METHOD. 6. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 2% STRAIN OF 960 X 1,096 LBS/FT
- (14 X 16 KN/M) PER ASTM D4595 TESTING METHOD. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 5%
- STRAIN OF 2,740 X 2, 740 LBS/FT (40 X 40 KN/M) PER ASTM D4595 TESTING 8. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10%
- STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4595 TESTING
- 9. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,700 LBS (7,560
- N) PER ASTM D6241 TESTING METHOD. 10. THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 180 X 180
- LBS (801 X 801 N) PER ASTM D4533 TESTING METHOD. 11. THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE
- (0.425 MM) PER ASTM D4751 TESTING METHOD.
- 12. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4491 TESTING METHOD.
- 13. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 11.5 GPM/FT2 (470 LPM/M2) PER ASTM D4491 TESTING METHOD.
- 14. THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM

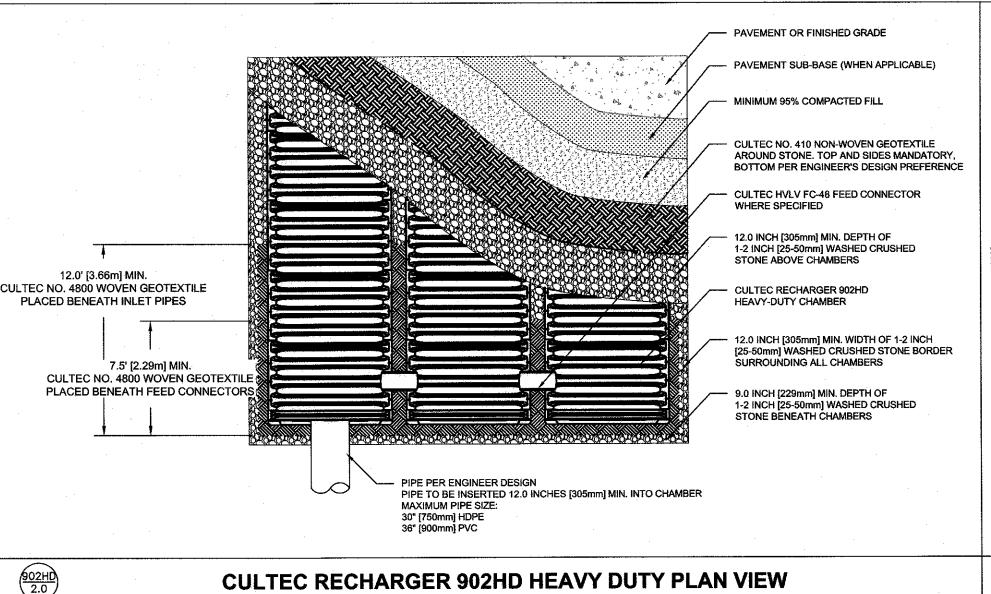
## **GENERAL NOTES**

PIPE	Α	В
6" [150 mm]	N/A	N/A
8" [200 mm]	N/A	N/A
10" [250 mm]	N/A	N/A
12" [300 mm]	29.50" [749 mm]	2.25" [57 mm]
15" [375 mm]	26.50" [673 mm]	2.25" [57 mm]
18" [450 mm]	23.50" [597 mm]	2.50" [64 mm]
24" [600 mm]	16.50" [420 mm]	3.00" [76 mm]

\*THE TYPICAL INVERT TABLE ABOVE IS BASED ON THE INSIDE DIAMETER OF STANDARD CORRUGATED PLASTIC PIPE. THE HEAVY DUTY END CAP HAS PRE-MARKED TRIM LINES FOR PIPE DIAMETERS 12" (300mm), 15" (375mm), 18" (450mm) AND 24" (600mm). PIPES OF ANY SIZE AND MATERIAL UP TO 24" MAY BE PLACED AT CUSTOM LOCATIONS AND CUSTOM INVERTS. THE CROWN OF THE PIPE MUST REMAIN A MINIMUM OF 4" (100mm) FROM THE EDGE OF THE HEAVY DUTY END CAP.



OR GRANULAR SUB-BASE CULTEC RECHARGER 902HD -THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS." THE LOAD CONFIGURATION SHALL INCLUDE:
a. INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD HE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED CCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING: THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F3430 THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95 49.0" [1243 mm] — 16.0" [406 mm]



1-2 INCH [25-50mm] WASHED, CRUSHED STONE

CULTEC HVLV FC-48 FEED CONNECTOR

76.5" [1944 mm] MIN.

CENTER TO CENTER

SURROUNDING CHAMBERS

WHERE SPECIFIED

PROJECT ENGINEER OF RECORD OR GEOTECHNICAL CONSULTANT IS RESPONSIBLE FOR ---

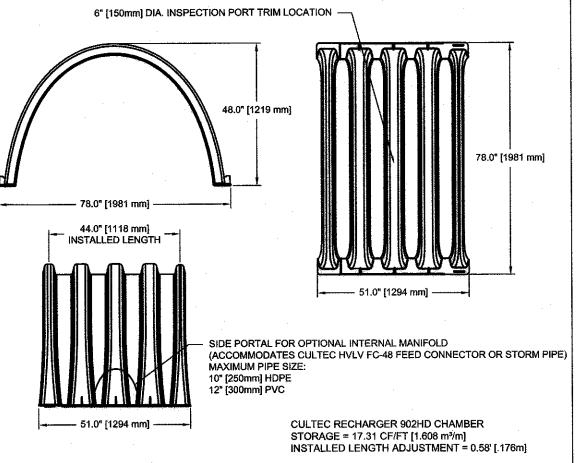
CULTEC NO. 4800 WOVEN GEOTEXTILE TO BE PLACED BENEATH INTERNAL MANIFOLD -

FEATURE AND BENEATH ALL INLET/OUTLET PIPES (FOR SCOUR PROTECTION)

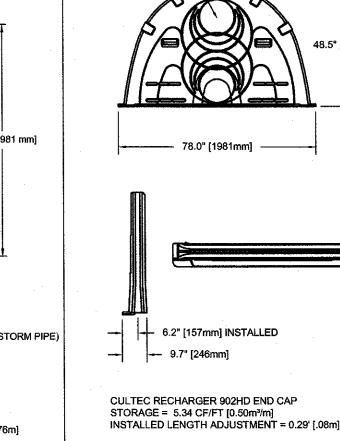
**CULTEC RECHARGER 902HD HEAVY DUTY CROSS SECTION** 

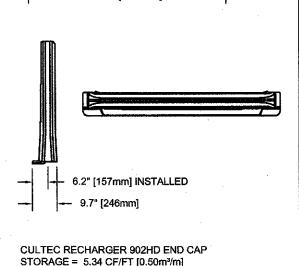
ENSURING THAT THE REQUIRED BEARING CAPACITY OF SUB-GRADE SOILS HAS BEEN MET

FIELD PLACED CLASS "C" CONCRETE



**CULTEC RECHARGER 902HD HEAVY DUTY THREE VIEW** 





- MAXIMUM PIPE SIZE IN END CAP:

48.5" [1232mm]

APPROVED DATE:

FRANKLIN PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF

OBSERVED EXIBENCE TO DEVELOR A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE ACKING EXCAVATION,

THE EXACT LOCATION OF UNDERGROUND FEATURES

RELIABLY DEPICTED! ADDITIONAL UTILITIES. NOT

EVIDENCED BY RECORD DOCUMENTS OR OBSERVED

PHYSICAL EVIDENCE MAY EXIST / CONTRACTORS (IN

ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION

40 AS AMENDED) MUST CONTACT ALL UTILITY

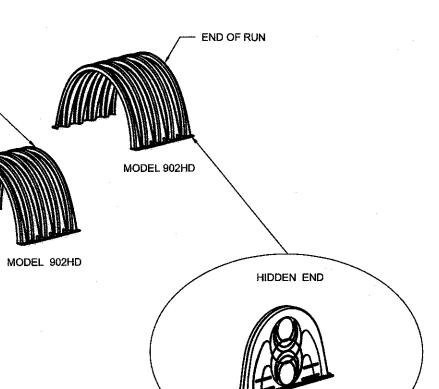
COMPANIES BEFORE EXCAVATING AND DRILLING AND

CANNOT BE ACCURATELY,

DOCUMENTS, MARKINGS AND OTHER

30" [750 mm] HDPE 36" [900 mm] PVC

**CULTEC RECHARGER 902HD HEAVY DUTY END CAP THREE VIEW** 



1-2 INCH [25-50mm] WASHED, CRUSHED STONE SURROUNDING CHAMBERS

CULTEC NO. 410 NON-WOVEN GEOTEXTILE

OR GRANULAR SUB-BASE

AROUND STONE, TOP AND SIDES MANDATORY

BOTTOM PER ENGINEER'S DESIGN PREFERENCE

PAVEMENT OR FINISHED GRADE

MODEL 902HD END CAP

CALL DIGSAFE AT 1(888)DIG-SAFE{7233}. CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

TAJ ESTATES OF FRANKLIN II. LLC 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

DEED BOOK 40009 PAGE 445 ASSESSORS MAP 285 LOT 069

OWNER/APPLICANT

MOHIUDDIN AHMED 95 MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

TAJ ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS

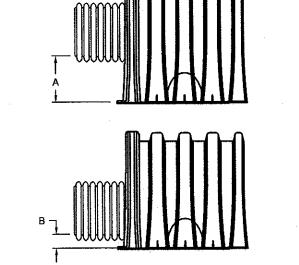
NOVEMBER 11, 2021

REVISION DESCRIPTION 01/17/22 TOWN COMMENTS - REV1 TOWN COMMENTS - REV2 01/28/22



55 WEST CENTRAL ST. PH. (508) 528-3221 FRANKLIN. MA 02038 FX. (508) 528-7921 www.gandhengineering.com

902HD 7.0



CULTEC HVLV FC-48

FEED CONNECTOR THREE VIEW

8.3' [2.53m] MAX.

COVER DEPTH

7.9" [201 mm] MIN

(OPTION 1) 1.50" [40mm] BELOW PAVEMENT OR FINISHED GRADE OR FINISHED GRADE MIN. 95% COMPACTED 8.0" [203mm] MIN. GRANULAR FILL AASHTO HS-25 RATED CAST IRON FRAME AND SOLID COVER - 6" [150mm] PVC SCREW IN CAP

12" X 6" [300mm x 150mm] CULTEC INLINE - DRAIN / CLEAN-OUT BASIN w/ GASKETED SDR-35 CONNECTION 6.25" [160mm] HOLE TO BE CUT w/ HOLE SAW CENTERED ON CORRUGATION CREST 6" [150mm] SDR-35 BELL END. CUT FOR 6" [152mm] OF INSERTED PIPE

21.1" [536 mm] MIN.

15.0"

[381mm]

CULTEC NO. 410 NON-WOVEN GEOTEXTILE

AROUND STONE, TOP AND SIDES MANDATOR

10.6" [268 mm] MIN. FOR PAVED

18.0" [457mm] MIN. FOR UNPAVED

10.5" [268 mm] MIN

42.2" [1072 mm]

FIELD PLACED CLASS "C" CONCRETE

**CULTEC INSPECTION PORT - ZOOM DETAIL** 

**CULTEC INTERNAL MANIFOLD - OPTIONAL INSPECTION PORT DETAIL** 

1-WEEK PARKED AASH O DESIGN TRUCK LOAD

THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
THE INSTALLED CHAMBER SYSTEM SHALL, PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRPD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED ACCORDING TO CULTEO'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:

1.a. THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM 15430

1.b. THE RIMINIMIN ASERTY FACTOR FOR TWO COADS SHALL BE 4.75

VISS:
THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER

TRIM CUT-OUT TO UTILIZE

INTERNAL MANIFOLD FEATURE

**CULTEC RECHARGER 902HD HEAVY DUTY TYPICAL INTERLOCK** 

BEGINNING OF RUN -

MODEL 902HD END CAP

INLET/OUTLET PIPE PER ENGINEER DESIGN.

MAXIMUM PIPE SIZE:

CULTEC NO. 4800 WOVEN GEOTEXTILE TO BE PLACED BENEATH -INTERNAL MANIFOLD FEATURE AND BENEATH ALL INLET/OUTLET PIPES (FOR SCOUR PROTECTION)

COLLECTION CHAMBERS: THE LOAD CONFIGURATION SHALL INCLUDE:

INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER

MAXIMUM PERMANENT (60-YEAR) COVER LOAD

1-WEEK PARKED AASHTO DESIGN TRUCK LOAD

THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95

30" [750mm] HDPE 36" [900mm] PVC

PIPE TO BE INSERTED 12.0" [305mm] MIN. INTO CHAMBER

OPTIONAL TRAFFIC RATED

CULTEC INSPECTION PORT KIT (SEE DETAIL (SEE)

SIDE PORTAL TO BE CUT IN FIELD TO ALLOW FOR -

PROJECT ENGINEER OF RECORD OR GEOTECHNICAL CONSULTANT IS RESPONSIBLE FOR -

ENSURING THAT THE REQUIRED BEARING CAPACITY OF SUB-GRADE SOILS HAS BEEN MET

CULTEC HVLV FC-48 FEED CONNECTOR AS NEEDED. CUT SHALL BE WITHIN 1/4" [6mm] TOLERANCE OF SIDE PORTAL TRIM GUIDELINE

HEAVY DUTY CHAMBER

Halnon, Inč.

11 OF 12

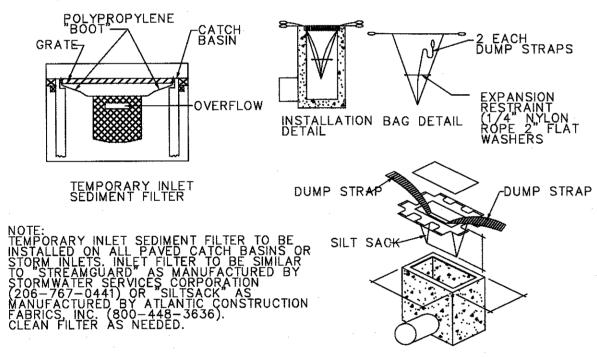
MAX. PIPE:10" [250mm] HDPE12" [300mm] PVC

OOM OF SIDE PORTAL SHOWING MAX. PIPE O.D.

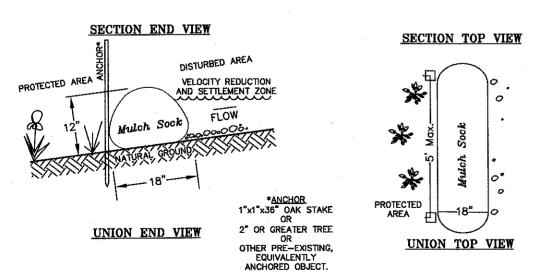
RECORD

## **EROSION CONTROL NOTES:**

- TAKE EVERY PRECAUTION TO MINIMIZE AND CONTROL EROSION WITHIN THE PROJECT AREA.
- 2. STOCKPILES OF EXCAVATED MATERIALS AND EXPOSED CUT AND FILL SLOPES SHALL BE KEPT TO MINIMUM GRADIENTS WHENEVER POSSIBLE. THESE AREAS SHALL BE PROTECTED WITH HAY, MULCH, GRASS SEED OR COMBINATION OF THE ABOVE TO SLOW DOWN THE RATE OF SURFACE RUN-OFF AND TO REDUCE THE VOLUME OF SUSPENDED SOLIDS IN THE RUN OFF WATER.
- 3. SILTATION BARRIERS SHALL BE STAKED IN PLACE DOWN GRADIENT FROM ALL EXPOSED AREAS OR MATERIAL STORAGE AREAS IN ORDER TO REDUCE THE AMOUNT OF SUSPENDED SOLIDS IN RUNOFF WATER. THE EXACT LOCATION OF THE SILTATION BARRIERS MAY VARY FROM THAT SHOWN ON THE PLANS AND MAY BE ADJUSTMENT IN THE FIELD AS WORK PROGRESSES. SEDIMENTATION BUILDUP OVER SIX INCHES IN DEPTH THAT ACCUMULATES BEHIND THE SILTATION BARRIERS SHALL BE REMOVED. BARRIERS SHALL BE CHECKED AFTER EVERY STORM AND AT REGULAR WEEKLY
- 4. SILTATION BARRIER SHALL BE INSTALLED WITH WOODEN STAKES IN ACCORDANCE WITH MANUFACTURER DIRECTIONS. BOTTOM 6 INCHES OF FABRIC SHALL BE TOED IN OR BACKFILLED SO THAT TOP OF FABRIC SHALL BE 2 FEET 6 INCHES ABOVE FINISH GRADE.
- 5. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE LOAMED (4" MIN.) AND SEEDED IN ORDER TO MINIMIZE DUST AND EROSION.
- 6. FILTER FABRIC IS TO BE PLACED UNDER ALL RIP-RAP AREAS SHOWN ON DESIGN PLANS.
- 7. EROSION CONTROL BARRIERS ARE TO BE PLACED PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
- THE PROPOSED STORMWATER BASIN IS TO BE UTILIZED AS A SEDIMENTATION POND DURING CONSTRUCTION. IT IS TO BE CONSTRUCTED FIRST IN ORDER TO CONTROL/ PREVENT SILTATION FROM DISCHARGING FROM THE SITE AND/OR DISTURBING WETLAND AREAS.
- 9. ALL TEMPORARY SEDIMENT POND(S) AND SUMPS ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INSPECTED PRIOR TO AND AFTER STORM EVENTS AND CLEANED AS NEEDED.
- 10. TEMPORARY BERM SHALL BE PLACED ALONG THE ENTIRE EDGE OF ROADWAY WITH THE BINDER COURSE AND SHALL REMAIN IN PLACE UNTIL FINISH COURSE IS PLACED.





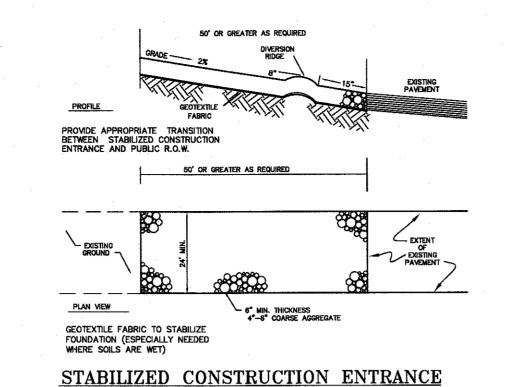


- WHERE SECTION ENDS MEET, THERE SHALL BE AN OVERLAP OF 6" OR GREATER. BOTH SIDES SHALL BE ANCHORED (OAK STAKES,
- TREES, ETC.) TO STABILIZE THE UNION.
  2. NO ADDITIONAL ANCHORS ARE REQUIRED ON SLOPES LESS THAT

EROSION CONTROL BARRIER

- FILLER INGREDIENT: FiberRoot Mulch A blend of coarse and fine compost and
- 3. ADDITIONAL ANCHORS ARE REQUIRED AT 5' INTERVALS (MAX.) ON THE DOWNSLOPE OR PROTECTED SIDE ON SLOPES GREATER THAN 2:1 TO PREVENT MOVEMENT.

  Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.25" screen; 30-75% passing a 0.25" screen; 30-Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)



APPROVED DATE: FRANKLIN PLANNING BOARD BEING A MAJORITY LEGAL NOTES UTILITIES ARE PLOTTED\_AS A COMPILATION OF

RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EXIBENCE TO DEVELOR A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST, CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORÉ EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE{7233}. CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY

EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

TAJ ESTATES OF FRANKLIN II, LLC 95 EAST MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

DEED BOOK 40009 PAGE 445 ASSESSORS MAP 285 LOT 069

OWNER/APPLICANT

MOHIUDDIN AHMED 95 MAIN STREET, SUITE 100 WESTBOROUGH, MA. 01581

TAJ ESTATES OF FRANKLIN II SITE PLAN & SPECIAL PERMIT 230 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS

## CONSTRUCTION DETAILS

NOVEMBER 11, 2021 REVISION DESCRIPTION TOWN COMMENTS - REV1 TOWN COMMENTS - REV2 01/28/22

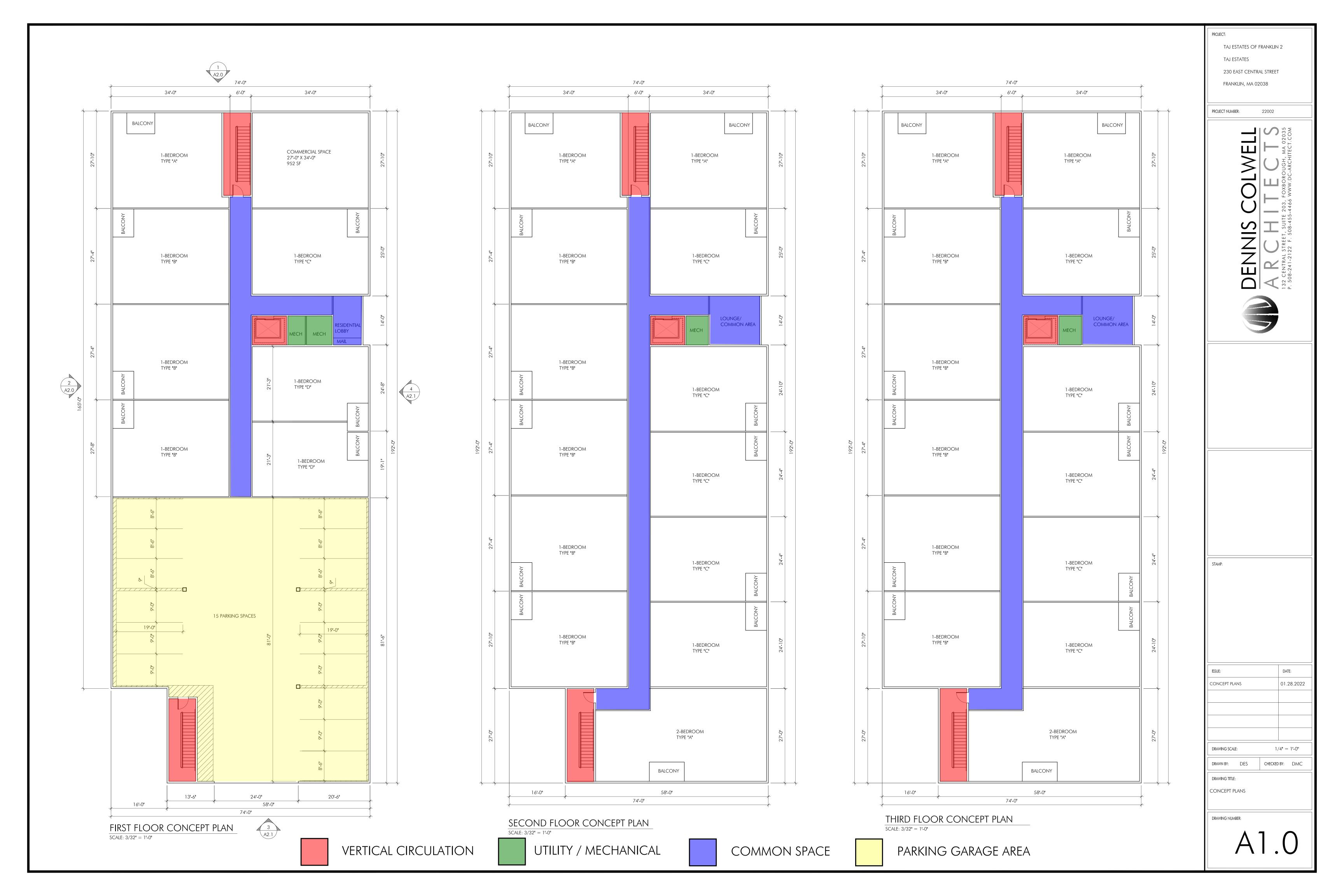


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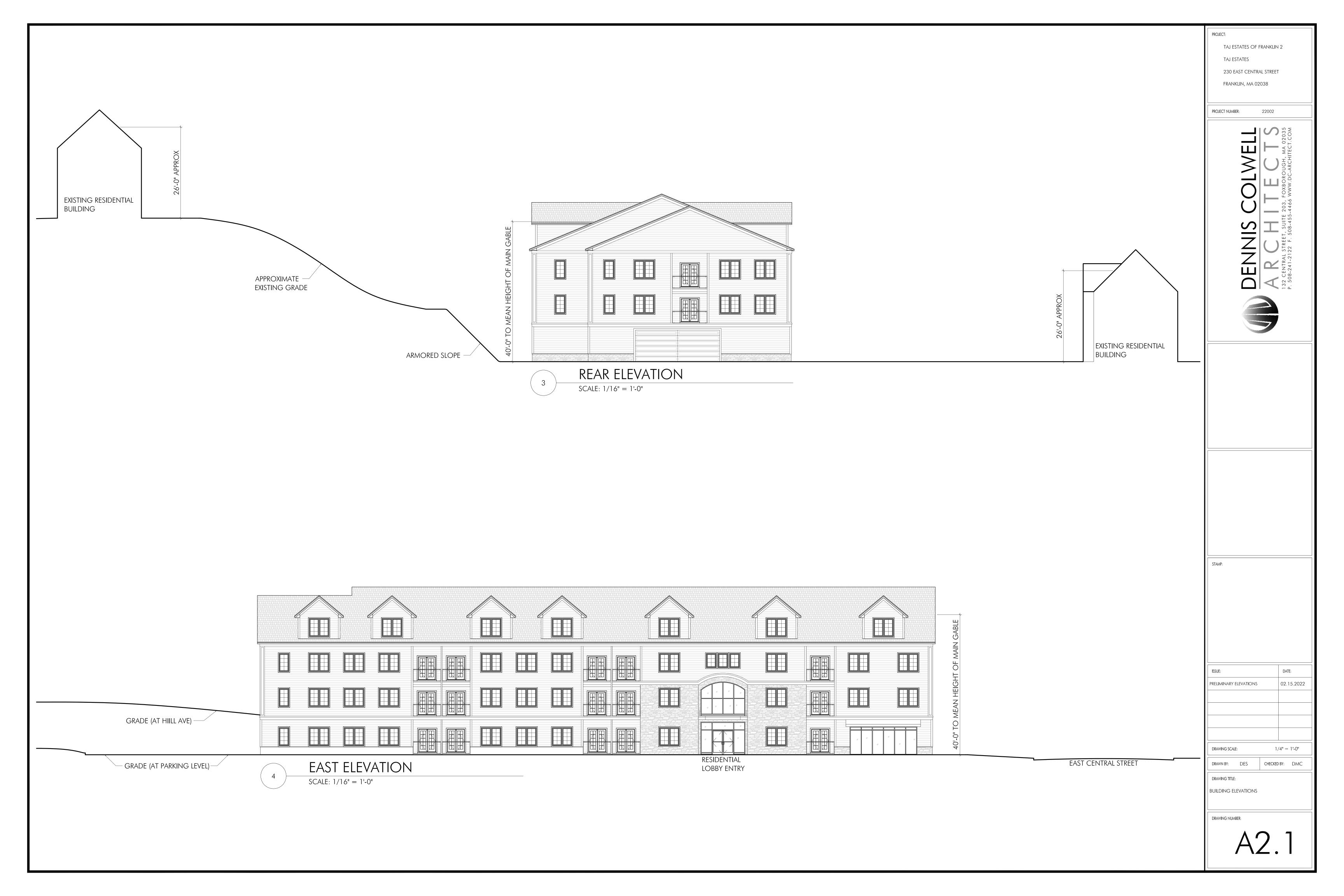
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JOB NO. **F4478** 



















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#### Town of Franklin



## **Design Review Commission**

## Tuesday, February 8, 2022 Meeting Minutes,

Chair James Bartro called the above-captioned meeting to order this date at 7:00 PM, as a remote access virtual Zoom meeting. Members in attendance: Chair James Bartro, Vice Chair Sam Williams, Gerald Wood. Members absent: Venkata Sompally, Associate Chris Baryluk. Also present: Maxine Kinhart, Administrative Staff.

As stated on the agenda, due to the continued concerns regarding the COVID-19 virus, this meeting will be conducted as a remote/virtual Design Review Commission meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number, or citizens can participate by using the Zoom link provided on the agenda. This meeting was recorded.

Chair Bartro announced that Mr. David Bertoldi is auditing the meeting as a candidate for the Commission. He stated that there is a full-time position opening and an associate position opening on the Commission.

## 1. Professional Physical Therapy – 340 East Central Street – Install channel letter signs and pylon faces.

Mr. Cam Afonso of Signs by Cam, Inc. addressed the Commission. He stated that they will be installing an internally illuminated channel letter sign and pylon faces; he explained the method of mounting to the building. Chair Bartro confirmed the attachment method was included in the submission. Mr. Williams confirmed it would not have rounded sides.

**Motion:** To **Approve** the sign package as submitted. Motioned by S. Williams. Seconded by G. Wood. Roll Call Vote: Williams-YES; Wood-YES; Bartro-YES. Voted 3-0-0.

Chair Bartro gave an overview of the Commission's responsibilities. He explained that the Design Review Commission has a dual purpose. The Commission has approval authority on signage and recommendation input to the Planning Board on site plans as to landscaping and lighting and building plans as to exterior design, colors, and materials. He noted the difference between permanent and temporary signage according to the bylaw.

#### Approval of Minutes: January 25, 2022

**Motion:** To **Approve** the January 25, 2022 Meeting Minutes as presented. Motioned by G. Wood. Seconded by S. Williams. Roll Call Vote: Williams-YES; Wood-YES; Bartro-YES. Voted 3-0-0.

#### **General Matters - Old Business**

Ms. Kinhart noted that Liquor World will be before the Commission at the next meeting.

Chair Bartro stated that he has continued to reach out to candidates. He reiterated that Mr. Bertoldi is attending tonight's meeting. There is another candidate who should be attending the next Commission meeting. He noted that there are two openings available on the Commission.

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He stated that Ms. Kinhart checked and there were no Design Review Commission approvals for the Siena Analytics sign. He stated it is confirmed that it did not come before the Commission. However, the building commissioner found that there is a permit on file for it. Chair Bartro stated it may be an item that slipped through the cracks. He confirmed that Mr. Fitzgerald's resignation letter was received, and Ms. Kinhart was provided with the address as she requested.

## **General Matters - New Business**

Mr. Williams stated that Botera still has their now open sign up. He stated that it is probably a temporary sign which needs to be removed now.

**Motion** to **Adjourn** by S. Williams. Seconded by G. Wood. Roll Call Vote: Williams-YES; Wood-YES; Bartro-YES. Voted 3-0-0.

Meeting adjourned at 7:24 PM.

Respectfully submitted,

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Judith Lizardi Recording Secretary