

**DESIGN REVIEW COMMISSION
AGENDA**

Tuesday, July 7, 2020 7:00 PM.

Virtual Meeting

Due to the growing concerns regarding the COVID-19 virus, we will be conducting a remote/virtual Design Review Commission Meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number (Cell phone or Landline Required) OR citizens can participate by copying the link (Phone, Computer, or Tablet required).

Please click on <https://us02web.zoom.us/j/88935664904> or call on your phone at 1-929-205-6099, meeting ID is 88935664904.

- 7:00 PM** **Stop & Shop** – 40 Franklin Village Drive
Repaint designated areas where old signs were – replacing with new Corporate branded sign, new pylon faces in existing pylons – add green stripes where indicated.
- 7:05 PM** **Stop & Shop** – 828 West Central Street
Repaint designated areas where old signs were – replacing with new Corporate branded sign, new pylon faces in existing pylons.
- 7:10 PM** **ERA Realty** – 452 West Central Street
Change sign faces.
- 7:15 PM** **New England Treatment Access, LLC** – 162 Grove Street
Limited demolition of commercial space. New addition is proposed that would house a new cannabis dispensary.
- 7:30 PM** **Proposed Development Central Square** – 340 East Central Street
104 unit apartment buildings

General Matters

Approval of Minutes:

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

This agenda is subject to change. Last updated: July 1, 2020

The next meeting of the Design Review Commission is scheduled for July 21, 2020

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Stop + Shop

Property Address 40 Franklin Village Dr.

Assessors' Map # 270 Parcel # 014

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Agnoli Sign Co.

Address: 722 WORTHINGTON ST
SPRINGFIELD MA 01105

Telephone Number: 413-221-6298

Contact Person: CHRISTINA MOREAU

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: STOP + SHOP Property Owner: Cedar Realty Trust
Address: 1385 Hancock St. 44 Bayles Ave
POLOUNY, MA PORT WASHINGTON, NY

All of the information is submitted according to the best of my knowledge

Executed as a sealed instrument this 20 day of May 2020

Christina Moreau
Signature of Applicant

attached
Signature of Owner

CHRISTINA MOREAU
Print name of Applicant

Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: Agnoli Sign Co. Inc.
Contact Person: CHRISTINA MOREAU
Address: 722 WORTHINGTON ST Springfield, MA 01105
Telephone Number: 413-221-6288

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address: _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: Repaint designated areas where old sign were - replace with new corp Blanted sign per attached new pylon faces in existing pylons

F) Information & Materials to be Submitted with Application Add green stripes where indicated

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include

type of sign (wall, pylon etc.)	colors
size/dimensions	materials
style of lettering	lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. yes

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. yes

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. yes

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. no

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. yes

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: yes

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. yes

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. SAME AS EXISTING
SIGN JUST LOGO CHANGE - NEW CORP BRAND

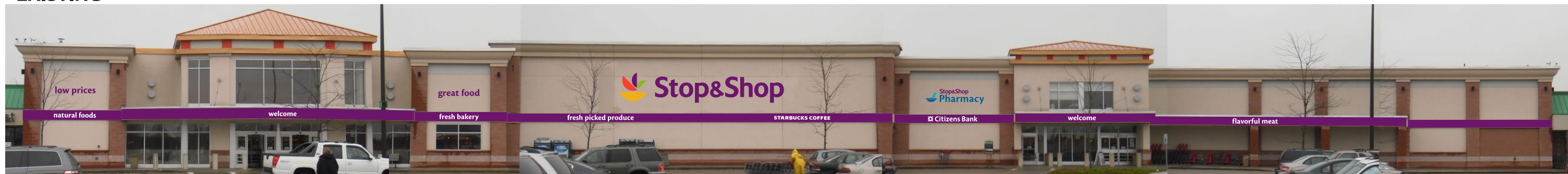
9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. N/A

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. YES LED

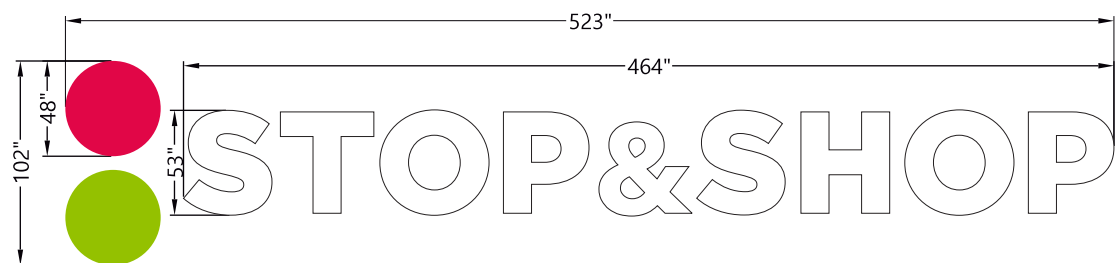
11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. N/A

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

EXISTING



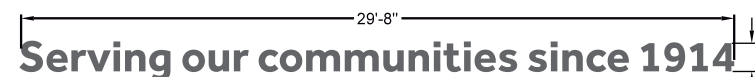
PROPOSED



CHANNEL LETTERS ILLUMINATED WITH LED'S SELF CONTAINED POWER SUPPLIES

LETTERS: WHITE ACRYLIC FACES
WHITE TRIM & RETURNS 5" DARK GREY 1579

CIRCLES: BOTTOM LAYER - TRANS WHITE IJ3630-20
TOP LAYER - TRANS VIVID ROSE FACE WITH MATCHING TRIM & RETURNS MP 2057
TRANS APPLE GREEN FACE WITH MATCHING TRIM & RETURNS MP 2150



3/8" ACRYLIC PAINTED COOL GREY 10C
PINNED OUT FROM WALL USING 1/2" PLASTIC STUDS



CHANNEL LETTERS
ACRYLIC FACES WITH TRANS GREEN VINYL
GREEN TRIM, WHITE RETURNS



CHANNEL LETTERS ILLUMINATED WITH LED'S
WHITE ACRYLIC FACES, WHITE 1" TRIM
3 1/2" RETURNS PAINTED TO MATCH PMS COOL GREY 10C
MOUNTED ON 5" x 4" RACEWAY PAINTED TO MATCH WALL



CHANNEL LETTERS INSTALLED ON A
5" RACEWAY PAINTED TO MATCH BUILDING
WHITE 3/16" PLEX FACES WITH TRANSLUCENT
VINYL OVERLAY IN KELLY GREEN,
GREEN TRIM, 4" GREEN PMS 340 RETURNS

PAINTING NOTES:

REPAIR, RESCRATCH, AND PAINT EIFS WHERE SIGNS
ARE REMOVED FROM CONTROL JOINT TO CONTROL
JOINT, REPAINT USING INDICATED COLORS

ALL EXISTING MASONRY TO BE LEFT UNPAINTED

PAINT SCHEDULE			
TAG	SHERWIN-WILLIAMS NAME	PROJECT USE	SHERWIN-WILLIAMS PAINT FORMULA
PT 85	SW-21	A100 SATIN EXTERIOR	B1 BLACK [0-2-1-1] N1 RAW UMBER [0-3-0-0] Y3 DEEP GOLD [0-0-1-1]
PT 86	SW-22	A100 SATIN EXTERIOR	B1 BLACK [0-19-1-0] Y3 DEEP GOLD [0-3-0-0]
PT 87	SW-23	A100 SATIN EXTERIOR	W1 WHITE [0-43-0-1] B1 BLACK [202-10-1-1] R2 MAROON [0-1-0-0] Y3 DEEP GOLD [0-9-0-0]
PT 88	SW6991 BLACK MAGIC	A100 SATIN EXTERIOR	
PT 89	SW6921 ELECTRIC LIME	A100 SATIN EXTERIOR	

AGNOLI SIGN COMPANY, INC. • 722 WORTHINGTON STREET, SPRINGFIELD, MA 01105 • TEL. (413) 732-5111 • FAX (413) 787-2169					
FRONT	STOP&SHOP	SCALE:	DATE	CUSTOMER:	STORE:
	LOGO	1/8" = 1'-0"	05-15-20	STOP&SHOP	STOP&SHOP
	LETTER		REV DATE	1385 HANCOCK STREET	40 FRANKLIN VILLAGE DR.
			05-20-20	QUINCY, MA	FRANKLIN, MA
		TOTAL OF ALL SQUARE FOOTAGES	REV DATE	DRAWING CODE:	STORE NO.
		293.2 SQ FT		STOP&SHOP/2018 LOGO/MA/FRANKLIN, MA (#0472) 40 FRANKLIN VILLAGE DRIVE.PLT	#0472
	PHARMACY	25.5 SQ FT	REV DATE	STOP&SHOP/2018 LOGO/MA/FRANKLIN, MA (#0472) 40 FRANKLIN VILLAGE DRIVE.CDR	
	BANK	13.6 SQ FT	REV DATE		
	Serving our communities since 1914	34.6 SQ FT	REV DATE	SALESPERSON: CHRIS	DRAWN BY: LANCE
	STARBUCKS	14.9 SQ FT	REV DATE	THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AGNOLI SIGN COMPANY INCORPORATED ALL RIGHTS TO ITS USE OR REPRODUCTION ARE RESERVED	

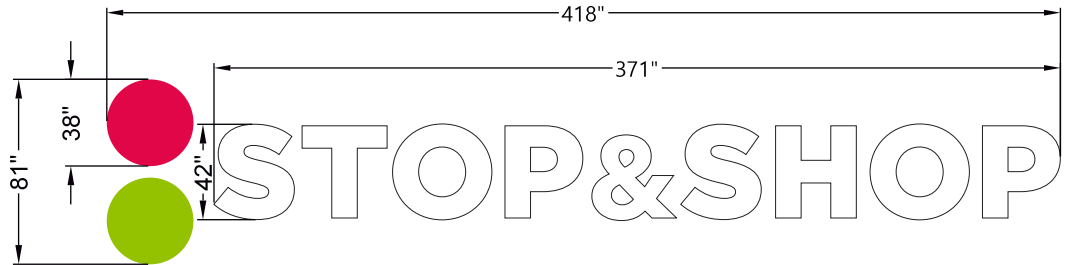
NOT FOR PRODUCTION

SIDE

EXISTING



PROPOSED



CHANNEL LETTERS ILLUMINATED WITH LED'S SELF CONTAINED POWER SUPPLIES

LETTERS: WHITE ACRYLIC FACES
WHITE TRIM & RETURNS 5" DARK GREY 1579

CIRCLES: BOTTOM LAYER - TRANS WHITE IJ3630-20
TOP LAYER - TRANS VIVID ROSE FACE WITH MATCHING TRIM & RETURNS MP 2057
TRANS APPLE GREEN FACE WITH MATCHING TRIM & RETURNS MP 2150

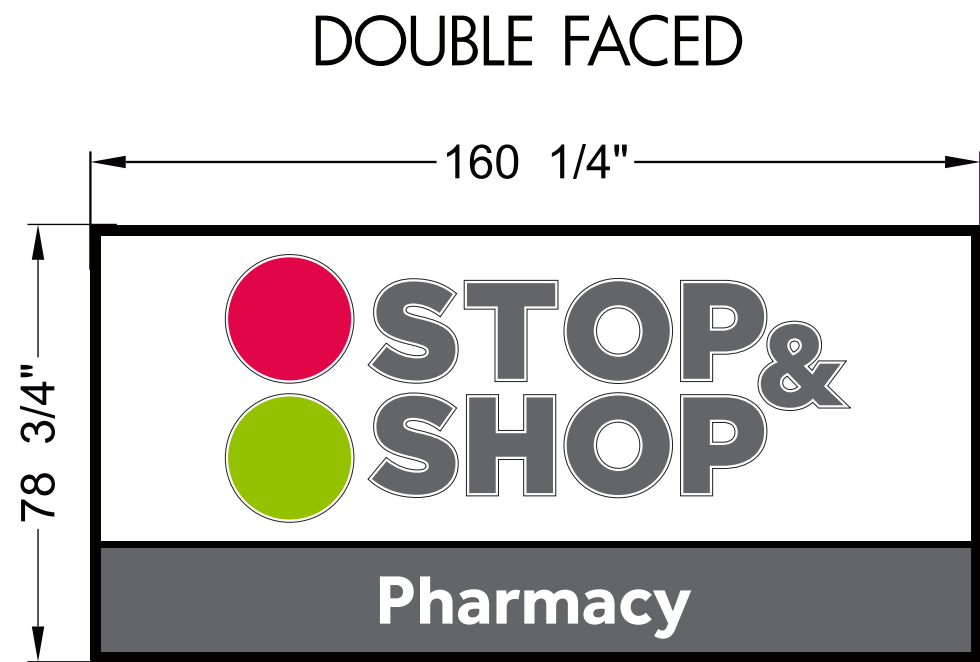
PAINTING NOTES:

REPAIR AND REPAINT WALL WHERE SIGNS ARE REMOVED, REPAINT USING EXISTING COLORS

ALL EXISTING MASONRY TO BE LEFT UNPAINTED

NOT FOR PRODUCTION

AGNOLI SIGN COMPANY, INC. • 722 WORTHINGTON STREET, SPRINGFIELD, MA 01105 • TEL. (413) 732-5111 • FAX (413) 787-2169									
FRONT	STOP&SHOP		SCALE:	DATE 05-15-20	CUSTOMER:	STOP&SHOP	STORE:	STOP&SHOP	
	LOGO	21.4 SQ FT	0"=1'-0"	REV DATE 05-20-20		1385 HANCOCK STREET		40 FRANKLIN VILLAGE DR.	
	LETTER	108.2 SQ FT				QUINCY, MA		FRANKLIN, MA	
		129.6 SQ FT	TOTAL OF ALL SQUARE FOOTAGES						STORE NO.
			129.6 SQ FT						#0472
			NOTES:			DRAWING CODE:			
						STOP&SHOP/2018 LOGO/MA/FRANKLIN, MA (#0472) 40 FRANKLIN VILLAGE DRIVE.PLT			
						STOP&SHOP/2018 LOGO/MA/FRANKLIN, MA (#0472) 40 FRANKLIN VILLAGE DRIVE.CDR			
						SALESPERSON: CHRIS			DRAWN BY: LANCE
						THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AGNOLI SIGN COMPANY INCORPORATED ALL RIGHTS TO ITS USE OR REPRODUCTION ARE RESERVED			



LEXAN FACE WITH TRANS S&S VINYL
OPAQUE BACKGROUND

EXISTING



PROPOSED



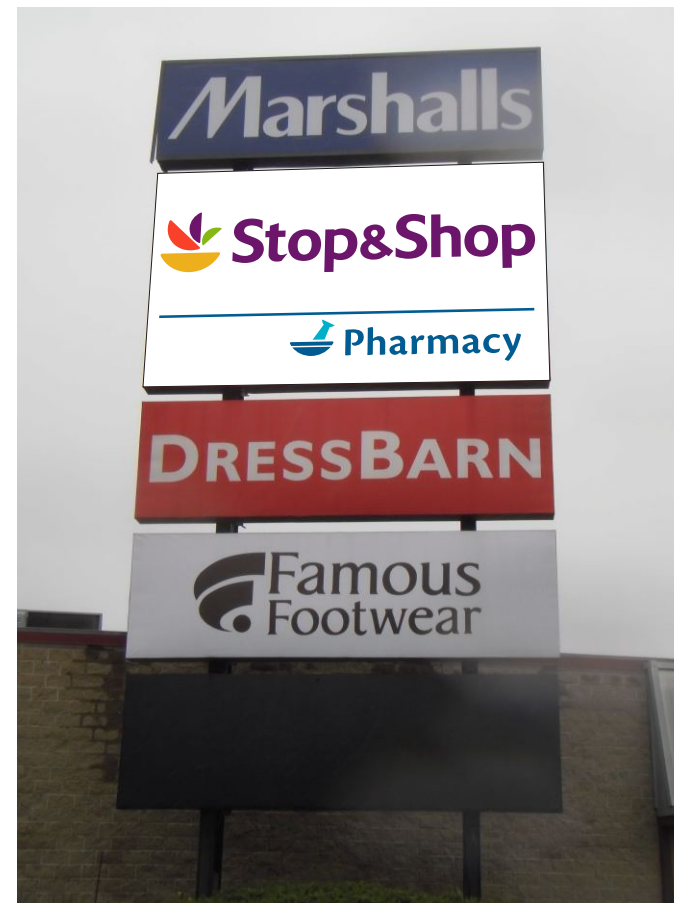
NOT FOR PRODUCTION

AGNOLI SIGN COMPANY, INC. • 722 WORTHINGTON STREET, SPRINGFIELD, MA 01105 • TEL. (413) 732-5111 • FAX (413) 787-2169					
PYLON 1	SCALE:	DATE	CUSTOMER:	STORE:	
	0" = 1'-0"	05-15-20	STOP&SHOP 1385 HANCOCK STREET QUINCY, MA	STOP&SHOP 40 FRANKLIN VILLAGE DR. FRANKLIN, MA	
	TOTAL OF ALL SQUARE FOOTAGES	REV DATE	DRAWING CODE:		STORE NO.
	X SQ FT	REV DATE	STOP&SHOP/2018 LOGO/MA/FRANKLIN, MA (#0472) 40 FRANKLIN VILLAGE DRIVE.PLT		#0472
	NOTES:	REV DATE	STOP&SHOP/2018 LOGO/MA/FRANKLIN, MA (#0472) 40 FRANKLIN VILLAGE DRIVE.CDR		
		REV DATE	SALESPERSON: CHRIS		DRAWN BY: LANCE
		REV DATE	THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AGNOLI SIGN COMPANY INCORPORATED ALL RIGHTS TO ITS USE OR REPRODUCTION ARE RESERVED		

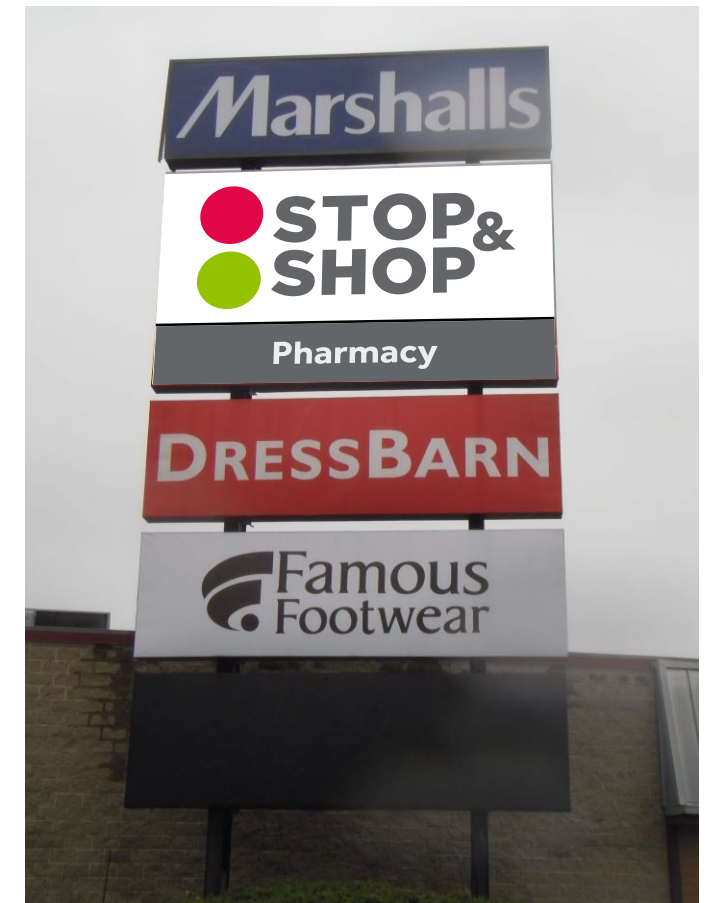


SINGLE FACED FLEXFACE SIGN WITH 3M TRANSLUCENT LETTERING
FACE MUST BE OPAQUED

EXISTING



PROPOSED



AGNOLI SIGN COMPANY, INC. • 722 WORTHINGTON STREET, SPRINGFIELD, MA 01105 • TEL. (413) 732-5111 • FAX (413) 787-2169					
PYLON 2		SCALE:	DATE	CUSTOMER:	STORE:
		0" = 1'-0"	05-15-20	STOP&SHOP	STOP&SHOP
		TOTAL OF ALL SQUARE FOOTAGES	REV DATE	1385 HANCOCK STREET	40 FRANKLIN VILLAGE DR.
		X SQ FT	REV DATE	QUINCY, MA	FRANKLIN, MA
		NOTES:	REV DATE	DRAWING CODE:	
			REV DATE	STOP&SHOP/2018 LOGO/MA/FRANKLIN, MA (#0472) 40 FRANKLIN VILLAGE DRIVE.PLT	
			REV DATE	STOP&SHOP/2018 LOGO/MA/FRANKLIN, MA (#0472) 40 FRANKLIN VILLAGE DRIVE.CDR	
			REV DATE	SALESPERSON: CHRIS	DRAWN BY: LANCE
			REV DATE	STORE NO. #0472	
				THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AGNOLI SIGN COMPANY INCORPORATED ALL RIGHTS TO ITS USE OR REPRODUCTION ARE RESERVED	

NOT FOR PRODUCTION

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Stop + Shop Gas
828 West Central St.

Property Address 828 West Central St.

Assessors' Map # 271 Parcel # 016

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Agnoli, SIGN G

Address: 722 WORTHINGTON ST
SPRINGFIELD MA

Telephone Number: 413-221-6298

Contact Person: CHRISTINA MOREAU

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Stop + Shop Property Owner: Cedar Realty Trust
Address: 1385 Hancock St. 44 Bayles Ave
POINCY, MA Port WASH, NY

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this 16 day of June 2000

Christina Moreau
Signature of Applicant

attached
Signature of Owner

CHRISTINA MOREAU
Print name of Applicant

Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

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Business Name: Agnoli Sign Co. Inc.
Contact Person: CHRISTINA MOREAU
Address: 722 WORTHINGTON ST Springfield, MA 01105
Telephone Number: 413-221-6288

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address: _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: Repaint designated areas where old sign were - replace with new corp Blanted sign per attached new pylon faces in existing pylons

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

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1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
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5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. yes

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. yes

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. yes

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. yes

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. yes

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: yes

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. yes

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. SAME AS EXISTING
SIGN JUST LOGO CHANGE - NEW CORP BRAND

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. N/A

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. YES LED

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. N/A

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

PROPOSED

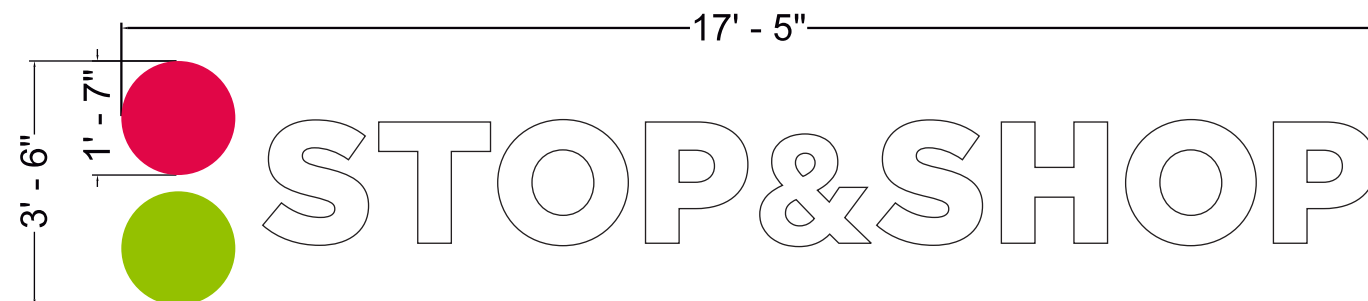


CANOPY PAINTED PT-87 (by others)
6" VINYL STRIPE: PAINTED TO MATCH PT-85/3M PEARL GREY (by Agnoli)

EXISTING



PROPOSED



TWO SETS
LETTERS: NON-ILLUMINATED PVC PAINTED WHITE
CIRCLES: NON-ILLUMINATED PVC PAINTED TO MATCH VIVID ROSE AND APPLE GREEN

TAG	SHERWIN-WILLIAMS NAME	PROJECT USE	SHERWIN-WILLIAMS PAINT FORMULA
PT 85	SW-21	A100 SATIN EXTERIOR	R1 BLACK [0-2-1-1] R1 RAW UMBER [0-3-0-0] Y3 DEEP GOLD [0-0-1-1]
PT 86	SW-22	A100 SATIN EXTERIOR	R1 BLACK [0-2-1-1] Y3 DEEP GOLD [0-0-1-1]
PT 87	SW-23	A100 SATIN EXTERIOR	W1 WHITE [0-43-0-1] R1 BLACK [0-2-1-1] R2 MAROON [0-1-0-0] Y3 DEEP GOLD [0-0-1-1]
PT 88	SW-991 BLACK MAGEC	A100 SATIN EXTERIOR	
PT 89	SW-921 ELECTRIC LINE	A100 SATIN EXTERIOR	

NOLI SIGN COMPANY, INC. • 722 WORTHINGTON STREET, SPRINGFIELD, MA 01105 • TEL. (413) 732-5111 • FAX (413) 787-2169			
FRONT	STOP&SHOP X2	SCALE:	DATE 05-18-20
	LOGO	5.3 SQ FT	REV DATE
	LETTER	27 SQ FT	REV DATE
		32.3 SQ FT	REV DATE
	2 SETS	64.6 SQ FT	REV DATE
		TOTAL OF ALL SQUARE FOOTAGES	REV DATE
		64.6 SQ FT	REV DATE
		NOTES:	REV DATE
			REV DATE
			REV DATE
			REV DATE

CUSTOMER:	STOP&SHOP 1385 HANCOCK STREET QUINCY, MA	STORE:	STOP&SHOP 828 WEST CENTRAL STREET FRANKLIN, MA
DRAWING CODE:	STOP&SHOP/2018 LOGO/GAS/MA/FRANKLIN, MA-828 WEST CENTRAL STREET.PLT STOP&SHOP/2018 LOGO/GAS/MA/FRANKLIN, MA-828 WEST CENTRAL STREET.CDR	STORE NO.:	#0472
SALESPERSON:	CHRIS	DRAWN BY:	LANCE
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EXISTING



PROPOSED

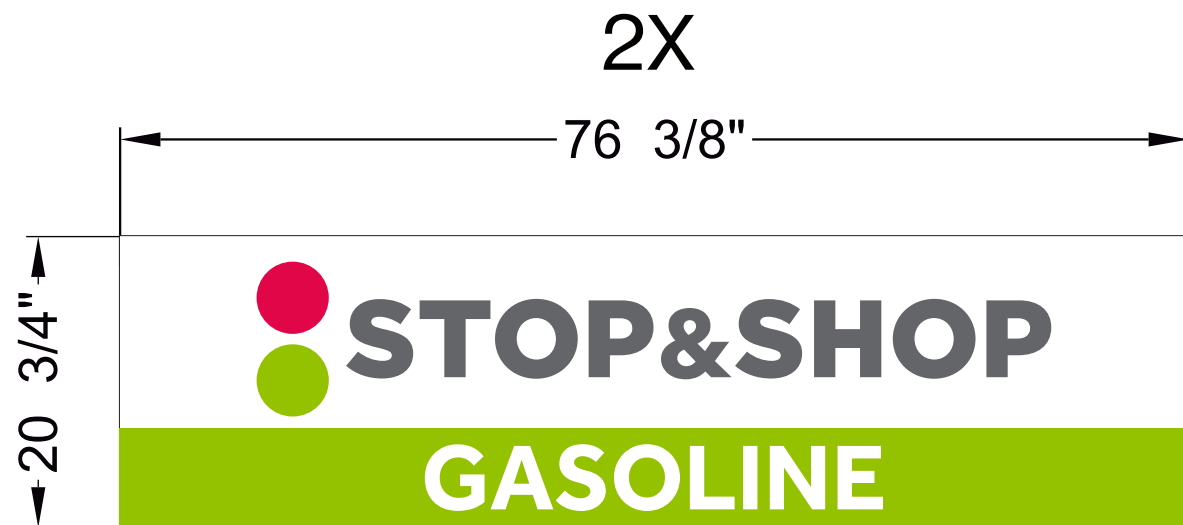


**CANOPY PAINTED PT-87
VINYL STRIPE-PT-85**

PAINT SCHEDULE			
TAG	SHERWIN-WILLIAMS NAME	PROJECT USE	SHERWIN-WILLIAMS PAINT FORMULA
PT 85	SW-21	A100 SATIN EXTERIOR	B1 BLACK (0-2-1-1) N1 SWH UMBER (0-3-0-0) Y3 DEEP GOLD (0-0-1-1)
PT 86	SW-22	A100 SATIN EXTERIOR	B1 BLACK (0-19-1-0) Y3 DEEP GOLD (0-3-0-0)
PT 87	SW-23	A100 SATIN EXTERIOR	W1 WHITE (0-45-0-1) B1 BLACK (0-0-1-1) R2 MARCOON (0-1-0-0) Y3 DEEP GOLD (0-0-0-0)
PT 88	SW9911 BLACK MAGIC	A100 SATIN EXTERIOR	
PT 89	SW9921 ELECTRIC LIME	A100 SATIN EXTERIOR	

NOLI SIGN COMPANY, INC. • 722 WORTHINGTON STREET, SPRINGFIELD, MA 01105 • TEL. (413) 732-5111 • FAX (413) 787-2169			
SCALE: 0" = 1'-0"	DATE 05-18-20	CUSTOMER: STOP&SHOP 1385 HANCOCK STREET QUINCY, MA	STORE: STOP&SHOP 828 WEST CENTRAL STREET FRANKLIN, MA
TOTAL OF ALL SQUARE FOOTAGES X SQ FT	REV DATE	DRAWING CODE: STOP&SHOP/2018 LOGO/GAS/MA/FRANKLIN, MA-828 WEST CENTRAL STREET.PLT STOP&SHOP/2018 LOGO/GAS/MA/FRANKLIN, MA-828 WEST CENTRAL STREET.CDR	STORE NO. #0472
NOTES:	REV DATE	SALESPERSON: CHRIS	DRAWN BY: LANCE
	REV DATE	THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AGNOLI SIGN COMPANY INCORPORATED ALL RIGHTS TO ITS USE OR REPRODUCTION ARE RESERVED	

NOT FOR PRODUCTION



ALUMINUM OVERLAYS
VIVID ROSE, APPLE GREEN & COOL GREY 10C VINYL

EXISTING



PROPOSED



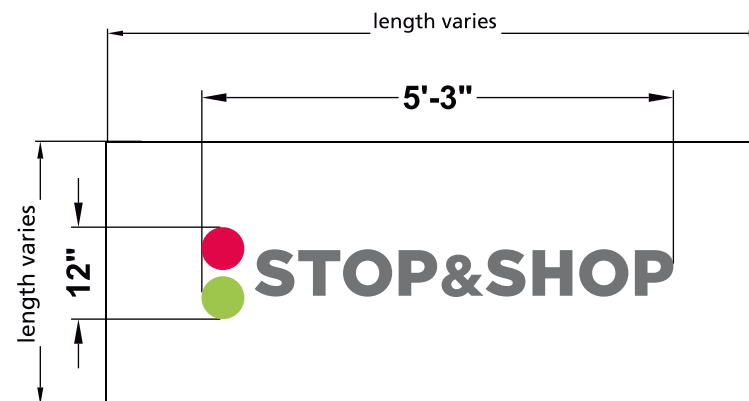
PAINT CABINET , POSTS & ACCENT BARS PT-88

NOT FOR PRODUCTION

TAG	SHERWIN-WILLIAMS NAME	PROJECT USE	SHERWIN-WILLIAMS PAINT FORMULA
PT 85	SW-21	A100 SATIN EXTERIOR	R1 BLACK [0-2-1-1] R1 BAW BAWER [0-3-0-0] Y3 DEEP GOLD [0-5-1-1]
PT 86	SW-22	A100 SATIN EXTERIOR	R1 BLACK [0-1-1-0] Y3 DEEP GOLD [0-3-0-0]
PT 87	SW-23	A100 SATIN EXTERIOR	W1 WHITE [0-43-0-1] R1 BLACK [0-1-1-1] R2 MARCONI [0-1-0-0] Y3 DEEP GOLD [0-3-0-0]
PT 88	SW-091 BLACK MAGIC	A100 SATIN EXTERIOR	
PT 89	SW-021 ELECTRIC LIME	A100 SATIN EXTERIOR	

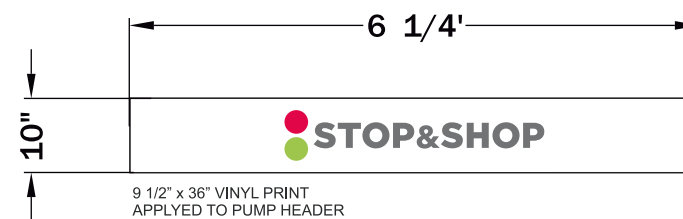
NOLI SIGN COMPANY, INC. • 722 WORTHINGTON STREET, SPRINGFIELD, MA 01105 • TEL. (413) 732-5111 • FAX (413) 787-2169			
SCALE: 0" = 1'-0"	DATE 05-18-20	CUSTOMER: STOP&SHOP 1385 HANCOCK STREET QUINCY, MA	STORE: STOP&SHOP 828 WEST CENTRAL STREET FRANKLIN, MA
TOTAL OF ALL SQUARE FOOTAGES X SQ FT	REV DATE	DRAWING CODE: STOP&SHOP/2018 LOGO/GAS/MA/FRANKLIN, MA-828 WEST CENTRAL STREET.PLT STOP&SHOP/2018 LOGO/GAS/MA/FRANKLIN, MA-828 WEST CENTRAL STREET.CDR	STORE NO. #0472
NOTES:	REV DATE	SALESPERSON: CHRIS	DRAWN BY: LANCE
	REV DATE	THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AGNOLI SIGN COMPANY INCORPORATED ALL RIGHTS TO ITS USE OR REPRODUCTION ARE RESERVED	

QTY OF
SPANNER DECALS:
10

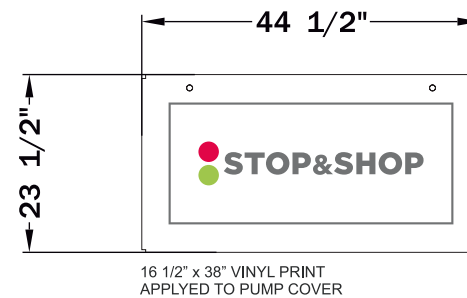


TYPICAL:
2 SPANNER DECALS PER PUMP

QTY OF
PUMP HEADER DECALS:
10



QTY OF
PUMP COVER DECALS:
10



NOT FOR PRODUCTION

NOLI SIGN COMPANY, INC. • 722 WORTHINGTON STREET, SPRINGFIELD, MA 01105 • TEL. (413) 732-5111 • FAX (413) 787-2169			
SCALE: 0" = 1'-0"	DATE 05-18-20	CUSTOMER: STOP&SHOP 1385 HANCOCK STREET QUINCY, MA	STORE: STOP&SHOP 828 WEST CENTRAL STREET FRANKLIN, MA
TOTAL OF ALL SQUARE FOOTAGES X SQ FT	REV DATE	DRAWING CODE: STOP&SHOP/2018 LOGO/GAS/MA/FRANKLIN, MA-828 WEST CENTRAL STREET.PLT	STORE NO. #0472
NOTES:	REV DATE	SALESPERSON: CHRIS	DRAWN BY: LANCE
	REV DATE	THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AGNOLI SIGN COMPANY INCORPORATED ALL RIGHTS TO ITS USE OR REPRODUCTION ARE RESERVED	

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: ERA Realty

Property Address 452 West Central St.

Assessors' Map # _____ Parcel # 270-004-000-000

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Signs By Cam, Inc.
837 Upper Union Street
Suite C-18
Address: Franklin, MA 02038

Telephone Number: 508-364-2905

Contact Person: _____

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Sheryl Elb Property Owner: Bonhea Tardone LLC
Address: 452 West Central St. 22 Country Side Rd.
Franklin, MA Bellingham MA 02019

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____, 20____

[Signature]
Signature of Applicant

[Signature]
Signature of Owner

Cam Afonso
Print name of Applicant

Bonhea Tardone
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____ Signs By Cam, Inc.
837 Upper Union Street
Contact Person: _____ Suite C-18
Address _____ Franklin, MA 02038
Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: Change sign faces

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

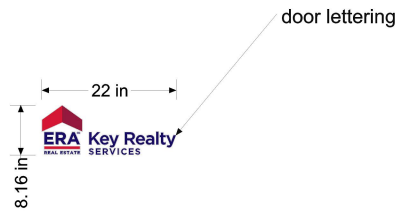
NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.



x2



***internally lit**

Signs By Cam Inc.

Sign & Graphic Solutions • Uncompromising Integrity

Cam Afonso

837 Upper Union St., Suite C-18
Franklin, MA 02038

Phone: 508-364-2905

Fax/Office: 508-528-0766

E-Mail: cam@signsbycam.com

Website: www.signsbycam.com

APPROVED FOR PRODUCTION:

X

JOB INFORMATION

JOB TITLE:

CONTACT:

PHONE:

FAX:

JOB DESCRIPTION:

SQUARE FOOTAGE: =

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:

ACRYLIC: MAGNETIC: URETHANE:

PVC: ALUMINUM: NUEDGE:

SINGLE SIDED: DOUBLE SIDED:

OTHER: _____

© COPYRIGHT

ALL DRAWINGS ARE PROPERTY OF SIGNS BY CAM, Inc. ANY DUPLICATION OF ANY KIND IS PROHIBITED. PERSON(S) WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

COLOR SPECS:

BACKGROUND:

COPY:

OUTLINE:

SHADOW:

BORDER:

LOGO:

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: New England Treatment Access, LLC

Property Address 162 GROVE STREET

Assessors' Map # 306 Parcel # 3

Zoning District (select applicable zone): Industrial

Zoning History: Use Variance Marijuana - Retail / medical & non medical
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: New England Treatment Access, LLC

Address: 5 Forge Parkway
Franklin, MA 02038

Telephone Number: 508-590-1414 ext 8530

Contact Person: Michael Connolly

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: New England treatment ^{Access} Property Owner: Charley 2017, LLC
Address: 5 Forge Parkway 7 Myrtle St
Franklin, MA Norfolk, MA

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20 7/1/2020

DocuSigned by:



Signature of Applicant

Michael Gillespie

Print name of Applicant



Signature of Owner

Brian R. Holmes

Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: DENNIS COLWELL ARCHITECTS

Contact Person: CHRIS DRINAN

Address 132 CENTRAL STREET, FOXBOROUGH, MA 02035

Telephone Number: 508-241-2122

E) Work Summary

Summary of work to be done: LIMITED DEMOLITION OF COMMERCIAL SPACE,
A NEW ADDITION IS PROPOSED THAT WOULD HOUSE A NEW
CANNABIS DISPENSARY

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. NEW WORK WILL COMPLY WITH ALL ZONING BYLAWS INCLUDING MAXIMUM BUILDING HEIGHT

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. ALL DOORS WILL BE OF TYPICAL SIZE AND WINDOWS ARE PROPORTIONAL TO THE BUILDING + SURROUNDING INDUSTRIAL AREA

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. THE LOT PROVIDES AMPLE OPEN SPACE BETWEEN LOTS ON ALL SIDES

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. OUR BUILDING HAS SEVERAL DIFFERENT ROOF SLOPES, THE SURROUNDING INDUSTRIAL AREA ALSO FEATURES MANY FLAT AND PITCHED ROOFS

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. THE BUILDING IS REASONABLE IN SIZE AND COMPRABLE TO SURROUNDING BUILDINGS

6. **Facade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: MOST SURROUNDING STRUCTURES ARE LARGER, SO WE HAVE ACCENTUATED THE ROOF AND FACADE JOINTS TO MATCH

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. OUR COLOR SELECTION IS A NEUTRAL PALATTE WHICH WILL INTEGRATE NICELY WITH THE SURROUD SURROUNDING INDUSTRIAL BUILDINGS

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. SIGNAGE ON THE FACADE IS LIMITED TO OVERHANGS CANOPIES AS WELL AS AN ACCENT WALL

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. ALL DEMOLITION IS VERY LIMITED AND WILL NOT INVOLVE ANY PORTION OF HISTORIC OR SIGNIFICANT NATURE

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. THE ADDITION IS PROPOSED WITH A RAINSCREEN FACADE THAT INCREASES THERMAL ENERGY LIGHTENING THE LOAD ON HVAC. OTHER GREEN TECHNOLOGY WILL BE CONSIDERED

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. A LARGE PATIO SPACE WILL BE CREATED FOR CUSTOMER QUEING, ALL PARKING IS PROVIDED IN EITHER SIDE OR REAR OF BUILDING.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

ADDENDA

INSTRUCTIONS FOR COMPLETION OF FORM Q-DESIGN REVIEW APPLICATION

A. General Information

- Please list name of Business as it will appear on sign or name of project or development, as the case may be, as well as the property address
- Assessors' Map & Parcel numbers may be obtained from tax bill, Town website @ www.franklin.ma.us/Town/Assessors/PropertyTax or from the computer located outside the Assessor's Office, first floor, Municipal Building, 355 East Central Street.
- Zoning District and Zoning History information may be obtained at the Building Department, 1st floor, Municipal Building

B. Applicant Information – complete and include name of contact person w/ phone number

C. Owner Information – if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

Page 2 –

D. Architect/Engineer or Sign Company Information:

- Signs only – Name of Sign Company and Contact Person
- Developments & Projects – Engineer and Architect Information as well

E. Work Summary: Include brief summation of work to be done

Pages 3 & 4

F. Information & Materials to be Submitted w/Application

a) SIGNS ONLY –

- Nine (9) Copies of sign drawings and photos, which include information listed on Page 2 of the application

b) SITE PLAN APPLICATIONS FOR BUILDINGS/DEVELOPMENTS/PROJECTS.

- Nine (9) Copies of all plans including information listed on Page 2 of application.
- Please bring samples of siding and roofing materials and paint color samples to the meeting when scheduled.

DESIGN STANDARDS – For Buildings/Projects and Developments, please complete Pages 3 and 4 as they apply to your project.

ALL APPLICATIONS WITH NINE (9) COPIES OF SUPPLEMENTARY INFORMATION MUST BE FILED BY CLOSE OF BUSINESS ON WEDNESDAY PRIOR TO THE FOLLOWING TUESDAY MEETING. MEETINGS ARE GENERALLY TWICE A MONTH THE 2ND & 4TH TUESDAY OF THE MONTH.

FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.



HOUSE TO BE PAINTED
SHERWIN WILLIAMS "ICE CUBE"

MAPES LUMIDECK CANOPY,
"INTERSTATE BLUE"

FIBER CEMENT SIDING: NICHIIHA
VINTAGEWOOD SERIES, "CEDAR"

FIBER CEMENT SIDING: NICHIIHA
VINTAGEWOOD SERIES, "CEDAR"

FIBER CEMENT SIDING: CEMBRIT
"GRANITE" P050

WAREHOUSE TO BE PAINTED
SHERWIN WILLIAMS "ICE CUBE"

FIBER CEMENT SIDING: NICHIIHA
VINTAGEWOOD SERIES, "CEDAR"

PLAN 348 OF 1987

SITE PLAN 162 GROVE STREET

ZONING:

162 GROVE STREET SITE IS LOCATED WITHIN AN INDUSTRIAL ZONE.

INDUSTRIAL ZONE	REQUIREMENTS:	EXISTING	PROPOSED
AREA:	40,000 S.F.	174,351± S.F.	174,351± S.F.
FRONTAGE:	175'	175.00'	175.00'
DEPTH:	200'	757'	757'
HEIGHT:	3 STORIES *6	2 STORIES	2 STORIES
WIDTH:	157.5'	220'	220'

COVERAGE - STRUCTURES:	70%	8.1%	9.8%
STRUC. & PAVING:	80%	31.5%	50.0%

SETBACKS-	40'	69.1'	69.1'
FRONT:	40'	69.1'	69.1'
RIGHT SIDE:	30' *5	107.1'	85.3'
LEFT SIDE:	30' *5	31.7'	31.7'
REAR:	30' *5	476.9'	476.9'

*5 - INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE, WHEN ABUTTING A RESIDENTIAL USE
*6 - BUILDINGS UP TO 60 FEET IN HEIGHT MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

LOT COVERAGE CALCULATION AREA BASED ON UPLAND AREA

A PORTION OF THE PROPERTY IS LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT. THE SITE AREA PROPOSED FOR DEVELOPMENT IS LOCATED IN A ZONE X BASED ON FEMA FIRM MAP 25021C0308E DATED JULY 17, 2012.

AREA WITHIN THE WATER RESOURCE DISTRICT - 94,477± SQ. FT.
UPLAND AREA WITHIN THE WATER RESOURCE DISTRICT - 72,907± SQ. FT.
IMPERVIOUS AREA WITHIN THE WATER RESOURCE DISTRICT - 21,764± SQ. FT.
COVERAGE WITHIN THE WATER RESOURCE DISTRICT - 21,764 / 72,907 = 29.9%

162 GROVE STREET:
EXISTING BUILDING USE TRUCK TERMINAL.
PROPOSED BUILDING USE MEDICAL AND NON MEDICAL MARIJUANA DISPENSARY.

DRAWING INDEX:

1. COVER SHEET
2. EXISTING CONDITIONS PLAN
3. SITE LAYOUT PLAN
4. SITE GRADING AND UTILITY PLAN
5. SITE PLANTING PLAN
6. EROSION CONTROL PLAN
7. CONSTRUCTION DETAILS - 1
8. CONSTRUCTION DETAILS - 2
9. CONSTRUCTION DETAILS - 3
- SITE LIGHTING-LIGHTING PLAN, PHOTOMETRICS AND SCHEDULES BY SK & ASSOCIATES



Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

REFERENCES:
ASSESSORS MAP 306 PARCEL 3
DEED BOOK 35681 PAGE 179
PLAN 348 OF 1987
PLAN 1364 OF 1987
PLAN 516 OF 1996
PLANS 620 - 622 OF 1940
SITE PLAN MODIFICATION AND CHANGE OF USE SITE PLAN BY GUERRIERE AND HALNON, INC LAST REVISED OCTOBER 18, 2018



LOCUS MAP
SCALE: 1" = 400'

VICINITY MAP
SCALE: 1" = 100'

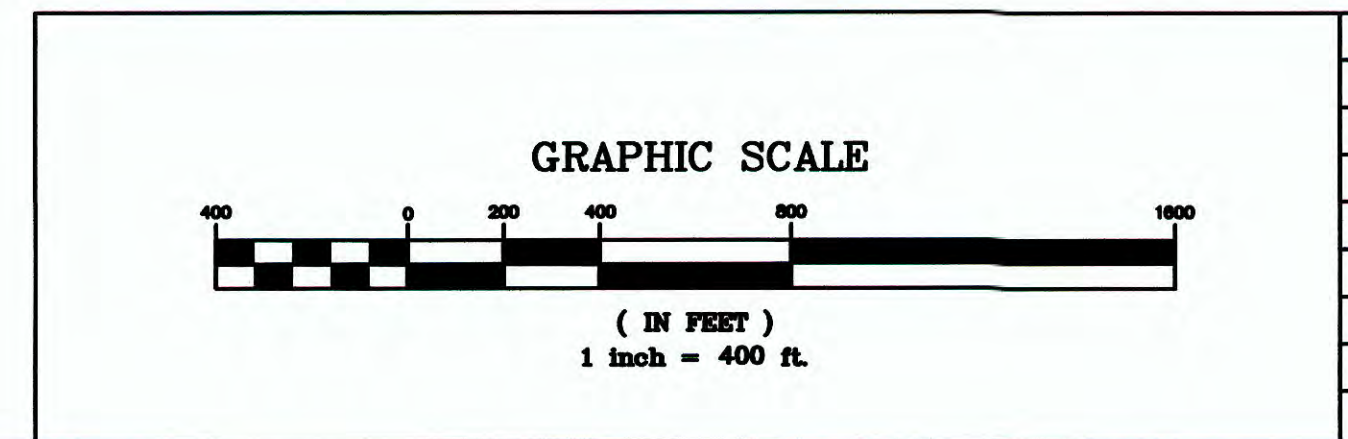
WAIVER REQUESTS:
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
2. TO ALLOW THE USE OF HDPE PIPE FOR THE MANIFOLDS AND POND 10 AND POND 11. EXISTING ROOF PIPING IS 8" PVC.
3. TO ALLOW MINIMAL LIGHT SPILLAGE ONTO THE ABUTTING PROPERTIES.

- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

SITE PLAN
COVER SHEET
162 GROVE STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
NEW ENGLAND TREATMENT ACCESS, LLC
5 FORGE PARKWAY
FRANKLIN, MASSACHUSETTS
MAY 21, 2020
SCALE: 1" = 400'

**SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD**

DATE _____



NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
4/20	FIELD BOOK	BL
5/20	CALCS BY:	RRG
5/20	DESIGNED BY:	RRG
5/20	DRAWN BY:	COMP
5/20	CHECKED BY:	CAQ

**UNITED
CONSULTANTS
INC.**

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

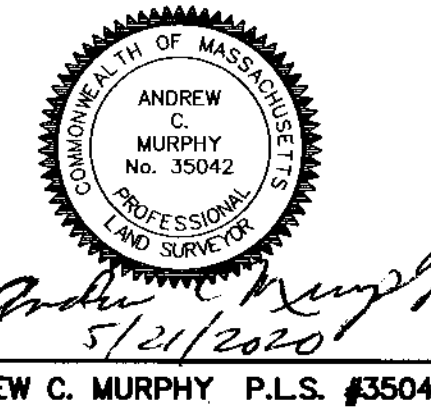
DATE
MAY 21, 2020
SCALE
1" = 400'
PROJECT
UC1435
SHEET
1 of 9

NOTES:
 1. ELEVATIONS DATUM NAVD 1988.
 2. EXISTING CONDITIONS SURVEY WAS COMPLETED BETWEEN APRIL 6, 2020 AND APRIL 16, 2020.
 3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

EXISTING DRAINAGE STRUCTURE SCHEDULE

XCB-1 RIM=265.1 INV=262.4	XDMH-1 RIM = 264.3 INV IN = 261.3 INV OUT = 260.9
XCB-2 RIM=265.1 INV=263.0	XDMH-2 RIM = 261.4 INV IN = 256.4 INV OUT = 255.9
XCB-3 RIM=261.7 INV=257.3	XDMH-3 RIM = 264.1 INV IN = 259.5 CB INV IN = 259.3 8" PVC INV OUT = 259.0
XCB-4 RIM=263.4 INV=259.9	XDMH-4 RIM = 259.8 INV IN = 253.8 INV OUT = 253.55
XCB-5 RIM=259.9 INV=254.2	

REFERENCES:
 ASSESSORS MAP 306 PARCEL 3
 DEED BOOK 35681 PAGE 179
 PLAN 348 OF 1987
 PLAN 1364 OF 1987
 PLAN 516 OF 1996
 PLANS 620 - 622 OF 1940
 SITE PLAN MODIFICATION AND CHANGE OF USE SITE PLAN
 BY GUERRIERE AND HALNON, INC LAST REVISED OCTOBER 18, 2018



LEGEND:

- DHSB DRILL HOLE STONE BOUND
- 300 --- EXISTING COUNTOUR
- PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX SPOT GRADE - EXISTING
- ⊙ 48M EXIST. TREE - DIAMETER - SPECIES
- ⊙ WB PROPOSED. TREE - SPECIES
- ⊙ UP4-1 UTILITY POLE
- OHW OVERHEAD WIRES
- ⊗ GAS GATE
- ⊗ WATER CURB STOP
- ⊗ WATER GATE
- ⊗ FIRE HYDRANT
- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING
- OCB CAPE COD BERM
- ⊗ HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT
- ☆ EXISTING POST LIGHT
- ▲ EXISTING BUILDING MOUNTED LIGHT
- B BOLLARD
- CO CLEANOUT
- DS DOWNSPOUT
- PD PERSON DOOR
- OHD OVERHEAD DOOR

MAP 306 PARCEL 2
 160 GROVE STREET
 N/F HENNEP PROPERTIES, LLC
 BOOK 37525 PAGE 499
 ZONE - INDUSTRIAL
 USE - WAREHOUSE

MAP 306 PARCEL 4
 164 GROVE STREET
 N/F NLCP 164 GROVE STREET
 MA, LLC
 BOOK 37633 PAGE 557
 ZONE - INDUSTRIAL
 USE - VACANT

MAP 306 PARCEL 5
 166 GROVE STREET
 N/F CORE REAL ESTATE
 HOLDINGS, LLC
 BOOK 22762 PAGE 365
 ZONE - INDUSTRIAL
 USE - HEALTH CLUB

PARCEL A
 174,351± SQ. FT.
 UPLAND AREA = 152,781± SQ. FT.

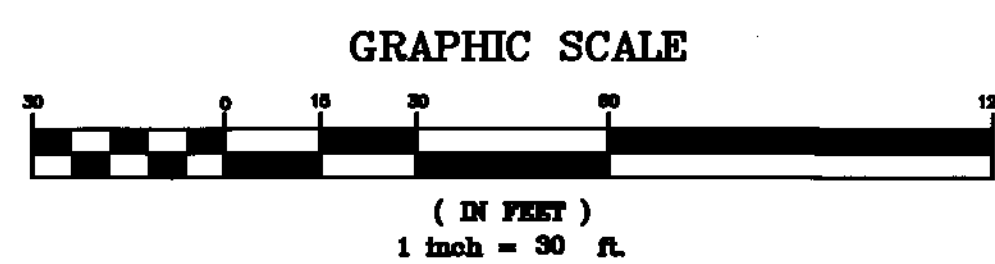
OWNER:
 CHARLEY2017, LCC
 7 MYRTLE STREET
 NORFOLK, MASSACHUSETTS

APPLICANT:
 NEW ENGLAND TREATMENT ACCESS, LLC
 5 FORGE PARKWAY
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 EXISTING CONDITIONS PLAN
 162 GROVE STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 NEW ENGLAND TREATMENT ACCESS, LLC
 5 FORGE PARKWAY
 FRANKLIN, MASSACHUSETTS
 MAY 21, 2020
 SCALE: 1" = 30'

SITE PLAN APPROVAL REQUIRED
 FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
4/20	BL	
BK#	FIELD BOOK	PG#
5/20	RRG	
DESIGNED BY:	RRG	
DRAWN BY:	COMP	
CHECKED BY:	CAQ	

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6568

DATE	MAY 21, 2020
SCALE	1" = 30'
PROJECT	UC1435
SHEET	2 of 9

CENTERLINE OF DRIVEWAY
TO CENTERLINE OF DRIVEWAY
FROM SITE DRIVE 163'
FROM SITE DRIVE TO PLANET FITNESS 245'

PARKING CALCULATIONS:
 ZONING BYLAW SECTION 185-21B.(3)(b)ii - RETAILING, MEDICAL, LEGAL AND REAL ESTATE OFFICES - 1 SPACE PER 200 SQUARE FEET OF GROSS FLOOR AREA, PLUS ONE SPACE PER SEPARATE ENTERPRISE.
 8,503 SQ. FT. / 200 = 43 + 1 = 44 SPACES
 ZONING BYLAW SECTION 185-21B.(3)(b)vi - WAREHOUSE - 1 SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA
 7,584 SQ. FT. / 1,000 = 8 SPACES

52 TOTAL SPACES REQUIRED.
 141 SPACES PROPOSED INCLUDING 5 HANDICAP SPACES.

PARKING SPACE DESIGNATION:
 SPACES 1-7, 45-62, 82-93, 114-119 AND 120-128 WILL BE EMPLOYEE SPACES
 REMAINING 89 SPACES TO BE FOR RETAIL CUSTOMERS

NOTE:
 THE SITE USES ARE NOT ANTICIPATED TO REQUIRE A LOADING AREA HOWEVER THE FOLLOWING PROVISIONS HAVE BEEN LISTED.

A SU-30 TRUCK (LARGEST DELIVERY VEHICLE TO ACCESS THE SITE) WILL BE ABLE TO PARK IN THE DESIGNATED LOADING AREA.

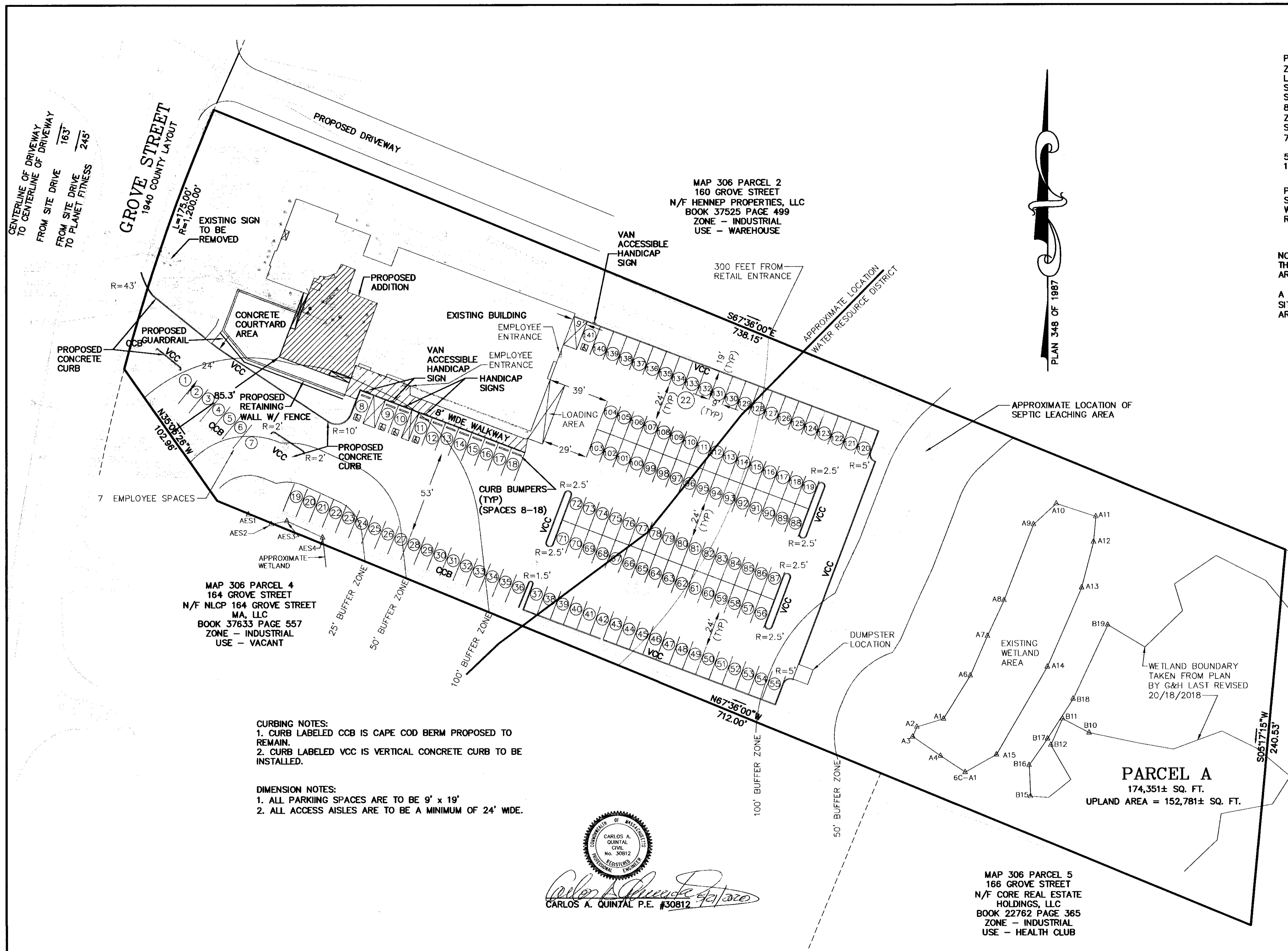
LEGEND:

- DHSB DRILL HOLE STONE BOUND
- EXISTING COUNTOUR
- 297 — PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX. SPOT GRADE - EXISTING
- EXIST. TREE - DIAMETER - SPECIES
- WB PROPOSED. TREE - SPECIES
- UTILITY POLE
- OVERHEAD WIRES
- GAS GATE
- WATER CURB STOP
- WATER GATE
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING
- CCB CAPE COD BERM
- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT
- EXISTING POST LIGHT
- EXISTING BUILDING MOUNTED LIGHT
- B BOLLARD
- CO CLEANOUT
- DS DOWNSPOUT
- PD PERSON DOOR
- OHD OVERHEAD DOOR

OWNER:
 CHARLEY2017, LLC
 7 MYRTLE STREET
 NORFOLK, MASSACHUSETTS

APPLICANT:
 NEW ENGLAND TREATMENT ACCESS, LLC
 5 FORGE PARKWAY
 FRANKLIN, MASSACHUSETTS

**SITE PLAN
 SITE LAYOUT PLAN**
 162 GROVE STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 NEW ENGLAND TREATMENT ACCESS, LLC
 5 FORGE PARKWAY
 FRANKLIN, MASSACHUSETTS
 MAY 21, 2020
 SCALE: 1" = 30'



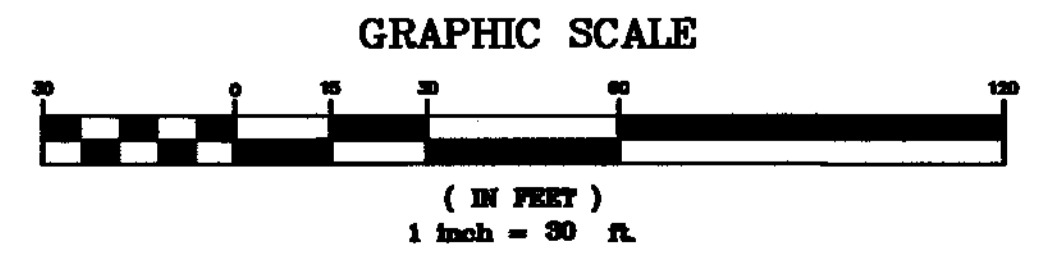
CURBING NOTES:
 1. CURB LABELED CCB IS CAPE COD BERM PROPOSED TO REMAIN.
 2. CURB LABELED VCC IS VERTICAL CONCRETE CURB TO BE INSTALLED.

DIMENSION NOTES:
 1. ALL PARKING SPACES ARE TO BE 9' x 19'
 2. ALL ACCESS AISLES ARE TO BE A MINIMUM OF 24' WIDE.

CARLOS A. QUINTAL P.E. #30812
 (Professional Engineer Seal)

**SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD**

DATE	_____
DATE	_____
DATE	_____



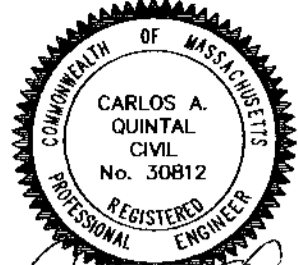
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UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE	MAY 21, 2020
SCALE	1" = 30'
PROJECT	UC1435
SHEET	3 of 9

ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% OR A RUNNING SLOPE GREATER THAN 5% SEE 521 CMR 20.9.



CARLOS A. QUINTAL P.E. #30812

MAP 306 PARCEL 2
160 GROVE STREET
N/F HENNEP PROPERTIES, LLC
BOOK 37525 PAGE 499
ZONE - INDUSTRIAL
USE - WAREHOUSE

EXISTING DRAINAGE STRUCTURE SCHEDULE

XCB-1	RIM=265.1	XDMH-1	RIM = 264.3
XCB-2	INV=262.4	XDMH-2	INV IN = 261.3
XCB-3	RIM=265.1	XDMH-3	INV IN = 260.9
XCB-4	INV=263.0	XDMH-4	INV IN = 261.4
XCB-5	RIM=261.7	XDMH-5	INV IN = 256.4
	INV=257.3		INV OUT = 255.9
	XCB-4		XDMH-3
	RIM=263.4		RIM = 264.1
	INV=259.9		INV IN = 259.5 CB
	XCB-5		INV IN = 259.3 8" PVC
	RIM=259.9		INV OUT = 259.0
	INV=254.2		XDMH-4
			RIM = 259.8
			INV IN = 253.8
			INV OUT = 253.55

PROPOSED DRAINAGE STRUCTURE SCHEDULE

CB-10	RIM=264.0	XDMH-1	RIM = 264.3
	INV=261.24	XDMH-2	INV IN = 261.3
CB-11	RIM=259.3	XDMH-3	INV IN = 261.0 CB 10
STORMCEPTOR 4501	INV=256.3	XDMH-4	INV OUT = 260.9
CB-12	RIM=258.0	XDMH-5	RIM = 264.1
DOUBLE GRATE	INV=253.9		INV IN = 259.5 CB
			INV OUT = 259.2 12" PVC
			AT LOCATION OF EXISTING
			12" RCP IN FROM XCB-4
DMH 10			DMH 10
DOGHOUSE MANHOLE	RIM = 258.3		DOGHOUSE MANHOLE
	12" IN = 253.68 PROP.		RIM = 258.3
	24" IN = 251.68 EXIST.		12" IN = 253.68 PROP.
	24" OUT = 251.58 EXIST.		24" IN = 251.68 EXIST.
			24" OUT = 251.58 EXIST.
DMH 11	RIM = 260.4		DMH 11
	12" IN = 255.44		RIM = 260.4
	12" OUT = 255.34		12" IN = 255.44
			12" OUT = 255.34
WOU 12			WOU 12
CDS UNIT 1515-3	RIM = 258.15		CDS UNIT 1515-3
	12" IN = 253.8		RIM = 258.15
	12" OUT = 253.8		12" IN = 253.8
			12" OUT = 253.8

- NOTES:
- CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
 - ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
 - MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

- UTILITY NOTES:
- DOMESTIC WATER SUPPLY SHALL BE BASED ON PLUMBING ENGINEERS CALCULATIONS. USE EXISTING WATER SERVICE OR REPLACE AS MAY BE NECESSARY IN SAME LOCATION.
 - FIRE CONNECTION TO BE RELOCATED AS SHOWN. FINAL LOCATIONS TO BE DESIGNED BY PLUMBING ENGINEER AND APPROVED BY FIRE DEPARTMENT.
 - ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES.
 - GAS SERVICE TO BE RELOCATED AS SHOWN. FINAL LOCATION TO BE APPROVED BY THE GAS COMPANY.
 - THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE STORMWATER INFILTRATOR POND PRIOR TO ANY FILL OR STONE BEING PLACED.

SEPTIC SYSTEM NOTES:
REFERENCE A PLAN ENTITLED "DOERING EQUIPMENT COMPANY SEWERAGE DISPOSAL SYSTEM" DATED MAY 20, 1987.
PLAN INDICATES A DESIGN FLOW OF 750 GALLONS PER DAY.

PROPOSED USE OF 162 GROVE STREET BUILDING INCLUDING ADDITION
RETAIL - 3,856 SQ. FT. @ 50 GALLONS PER DAY (GPD) PER 1,000 SQ. FT.
OFFICE - 4,647 SQ. FT. @ 75 GALLONS PER DAY PER 1,000 SQ. FT.
WAREHOUSE - 7,584 SQ. FT. @ 15 GALLONS PER DAY PER EMPLOYEE

3,856 / 1,000 x 50 = 192.8 GPD
4,647 / 1,000 x 75 = 348.6 GPD
10 WAREHOUSE EMPLOYEES x 15 = 150 GPD

TOTAL PROPOSED FLOW IS 691.4 GPD

NOTE: RETAIL AREA INCLUDES ROOM 101 - 109 AND 115-116.

- STORMWATER SYSTEM CONSTRUCTION NOTES:
- EXISTING CATCH BASIN 2 TO BE REMOVED AND THE 12" INLET OPENING INTO EXISTING DRAIN MANHOLE 1 SHALL BE BRICKED AND MORTARED.
 - EXISTING CATCH BASIN 4 TO BE REMOVED.
 - FOR CONNECTIONS OF 12" RCP PIPE TO 12" HDPE PIPE USE A MARMAC COUPLER.
 - ALL EXISTING CATCH BASINS TO BE CLEANED AND THE OIL SEPARATOR HOODS SHALL BE INSPECTED.
 - ALL PROPOSED 12" RCP PIPE TO BE CLASS V.
 - INSTALL TWO ROOF LEADERS (SOUTH SIDE OF BUILDING) AND CONNECT TO THE EXISTING 8" PVC DRAIN PIPE.
 - CONTRACTOR TO EXCAVATE 3 TEST PITS IN THE EXISTING STONE TRENCH TO A DEPTH OF THE EXISTING PIPE AT LOCATIONS TO BE DETERMINED AND IN THE PRESENCE OF THE DESIGN ENGINEER. IF THE STONE IS DEEMED UNSUITABLE CONTRACTOR TO EXCAVATE A 3' WIDE TRENCH TO THE BOTTOM OF THE EXISTING PIPE FOR THE ENTIRE LENGTH OF THE NORTH SIDE OF THE BUILDING (120+ FEET) AND INSTALL FILTER FABRIC AND DOUBLE WASHED STONE.

WETLAND BUFFER ZONE DISTURBANCES:
0 - 25' BUFFER ZONE = 0 SQ. FT.
25' - 50' BUFFER ZONE = 32 SQ. FT.
50' - 100' BUFFER ZONE = 6,662 SQ. FT.

THERE ARE NOT ANY VERNAL POOLS WITHIN 100 FEET OF ANY PROPOSED WORK.

OWNER:
CHARLEY2017, LLC
7 WYRTLE STREET
NORFOLK, MASSACHUSETTS

APPLICANT:
NEW ENGLAND TREATMENT ACCESS, LLC
5 FORGE PARKWAY
FRANKLIN, MASSACHUSETTS

SITE PLAN
GRADING & UTILITY PLAN
162 GROVE STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
NEW ENGLAND TREATMENT ACCESS, LLC
5 FORGE PARKWAY
FRANKLIN, MASSACHUSETTS
MAY 21, 2020
SCALE: 1" = 30'

LEGEND:

- | | | | |
|------------------------------------|------------------------|-----|---------------------------------|
| □ DHSB | DRILL HOLE STONE BOUND | VCC | VERTICAL CONCRETE CURBING |
| -297- | EXISTING COUNTOUR | CCB | CAPE COD BERM |
| x274.3 | PROPOSED COUNTOUR | | HANDICAP PARKING SPACE |
| x274.3EX. | SPOT GRADE - PROPOSED | | BUILDING MOUNTED LIGHT |
| | SPOT GRADE - EXISTING | | POLE MOUNTED LIGHT |
| ⊙ EXIST. TREE - DIAMETER - SPECIES | | | EXISTING POST LIGHT |
| ⊙ PROPOSED. TREE - SPECIES | | | EXISTING BUILDING MOUNTED LIGHT |
| U | UTILITY POLE | B | BOLLARD |
| — | OVERHEAD WIRES | CO | CLEANOUT |
| + | GAS GATE | DS | DOWNSPOUT |
| + | WATER CURB STOP | PD | PERSON DOOR |
| + | WATER GATE | OHD | OVERHEAD DOOR |
| + | FIRE HYDRANT | | |
| + | DRAIN MANHOLE | | |
| + | CATCH BASIN | | |
| + | SEWER MANHOLE | | |
| D | DUMPSTER | | |

APRIL 17, 2020
PERFORMED BY:
CARLOS A. QUINTAL, P.E., SOIL EVALUATOR
RICHARD GOODREAU

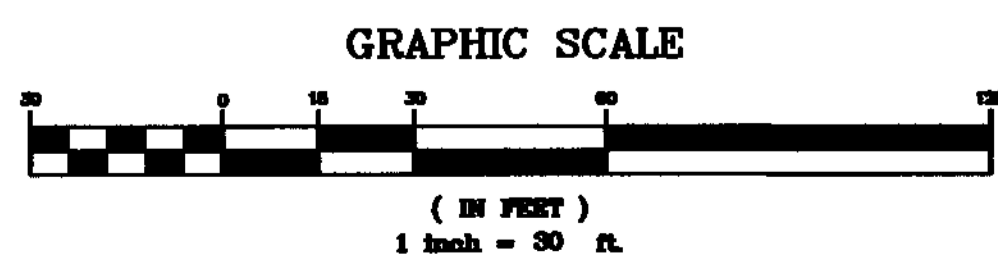
PT 3 ELEV. = 261.12
0 - 32" MIXED FILL
32" - 102" C1 SAND AND GRAVEL
WATER WEEPIING AT 82" ELEV. = 254.29
PERMEABILITY RATE = 46.26 IN/HR

PT 4 ELEV. = 260.77
0 - 32" MIXED FILL
32" - 80" C1 SAND AND GRAVEL
80" - 113" C2 SILTY SAND AND GRAVEL
WATER WEEPIING AT 80" ELEV. = 254.10
PERMEABILITY RATE = 17.28 IN/HR

PT 5 ELEV. = 258.89
0 - 48" MIXED FILL
48" - 98" C1 SAND AND GRAVEL
98" - 113" C2 2 SILTY SAND AND GRAVEL
WATER WEEPIING AT 98" ELEV. = 250.89
PERMEABILITY RATE = 73.8 IN/HR

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

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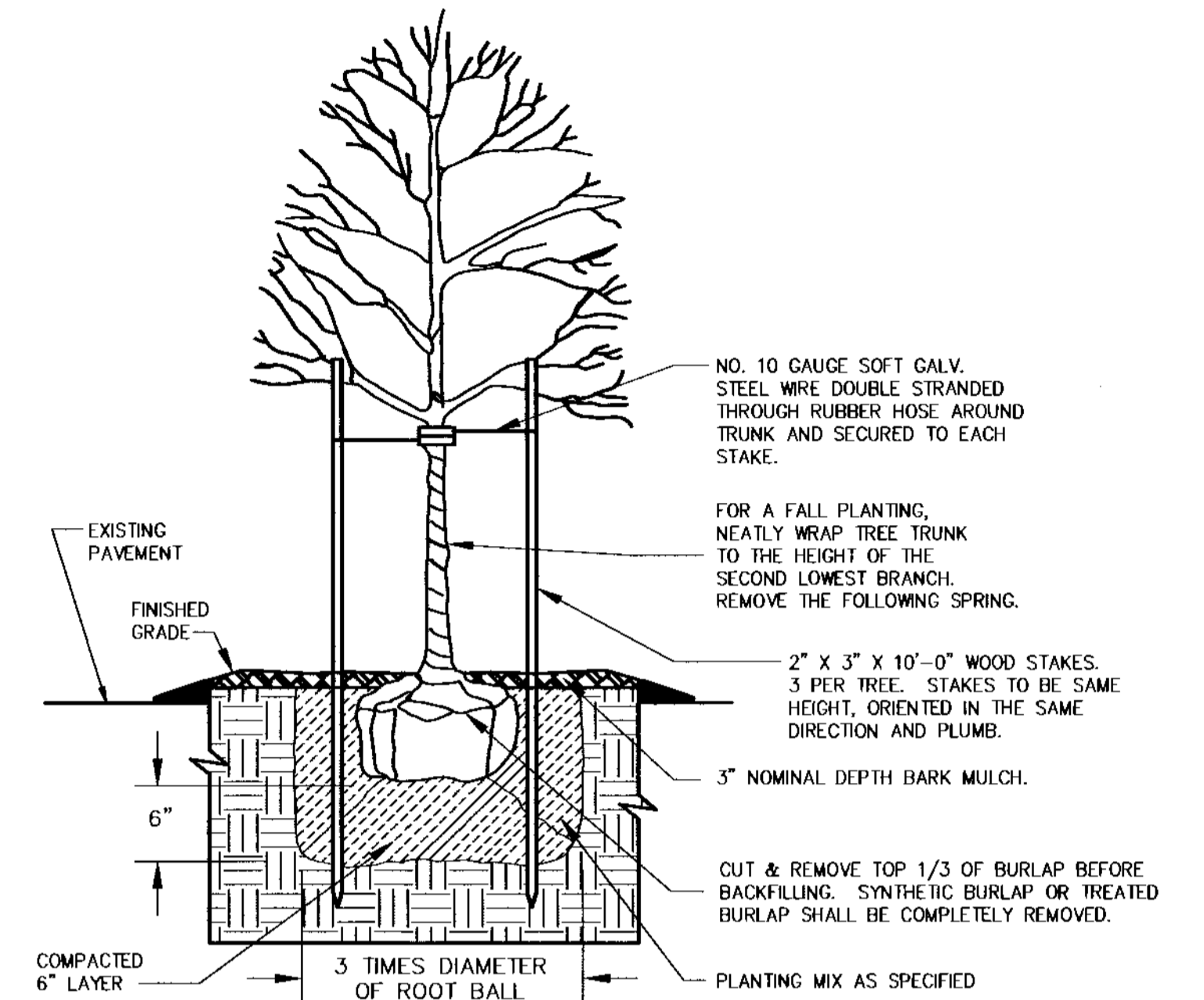
UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6660 FAX 508-384-6666

DATE	SCALE	PROJECT	SHEET
MAY 21, 2020	1" = 30'	UC1435	4 of 9

PLANTING SCHEDULE

NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
5	AMERICAN ELM - AE	ULMUS AMERICANA	2 - 2 1/2"	B&B
5	RED MAPLE - RM	ACER RUBRUM	2 - 2 1/2"	B&B
5	WHITE BIRCH - WB	BETULA Papyrifera	4 - 6 FEET	B&B

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES
 141 TOTAL PARKING SPACES / 10 = 15 TREES
 15 TREES PROVIDED.
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.



DECIDUOUS TREE PLANTING

GENERAL NOTES

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)

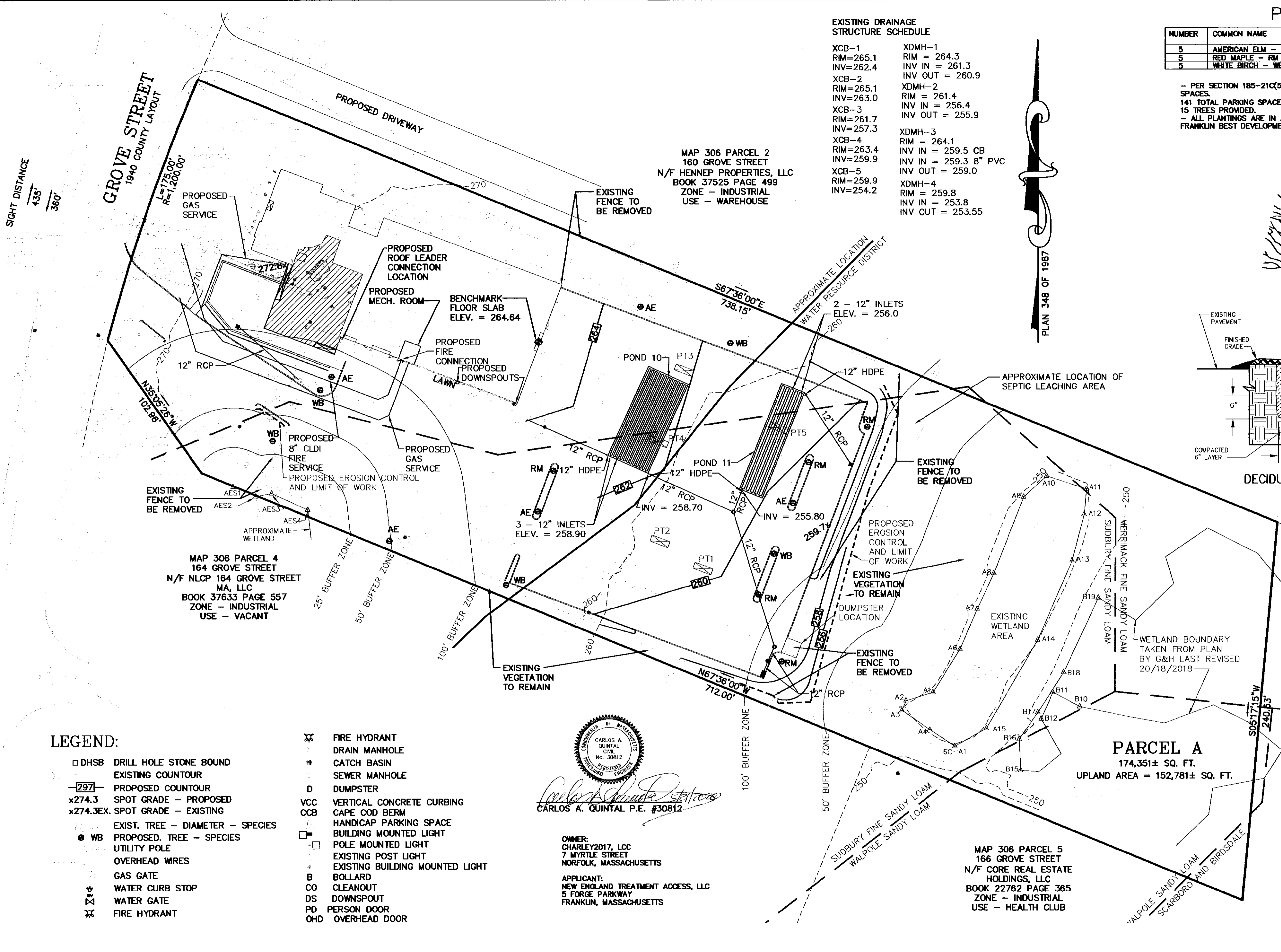
SITE PLAN PLANTING PLAN

162 GROVE STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 NEW ENGLAND TREATMENT ACCESS, LLC
 5 FORGE PARKWAY
 FRANKLIN, MASSACHUSETTS
 MAY 21, 2020
 SCALE: 1" = 30'

EXISTING DRAINAGE STRUCTURE SCHEDULE

XCB-1 RIM=265.1 INV=262.4	XDMH-1 RIM = 264.3 INV IN = 261.3 INV OUT = 260.9
XCB-2 RIM=265.1 INV=263.0	XDMH-2 RIM = 261.4 INV IN = 256.4 INV OUT = 255.9
XCB-3 RIM=261.7 INV=257.3	XDMH-3 RIM = 264.1 INV IN = 259.5 CB INV IN = 259.3 8" PVC INV OUT = 259.0
XCB-4 RIM=263.4 INV=259.9	XDMH-4 RIM = 259.8 INV IN = 253.8 INV OUT = 253.55
XCB-5 RIM=259.9 INV=254.2	

PLAN 348 OF 1987



OWNER:
 CHARLEY2017, LLC
 7 MYRTLE STREET
 NORFOLK, MASSACHUSETTS

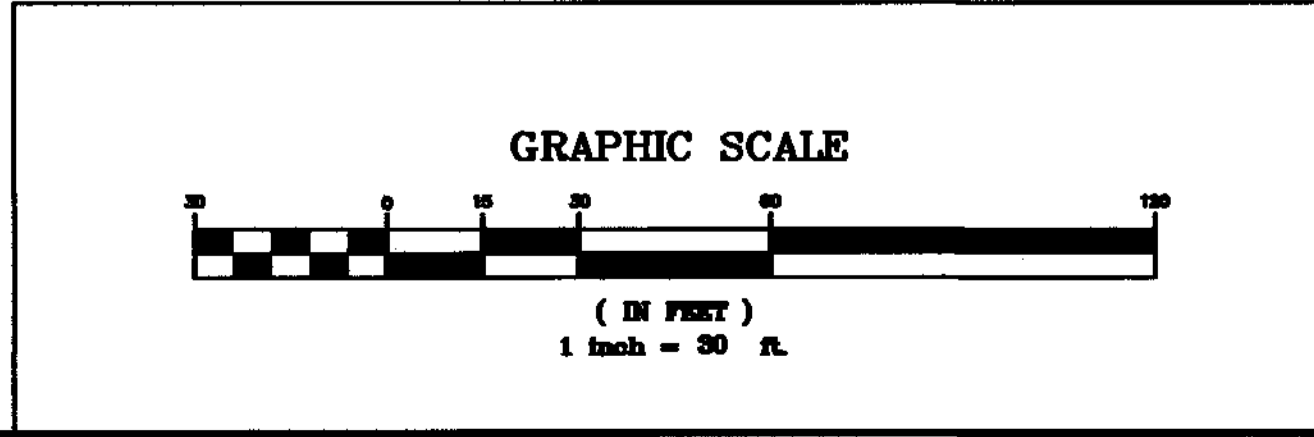
APPLICANT:
 NEW ENGLAND TREATMENT ACCESS, LLC
 5 FORGE PARKWAY
 FRANKLIN, MASSACHUSETTS

CARLOS A. QUINTAL P.E. #30812

- LEGEND:**
- DHSB DRILL HOLE STONE BOUND
 - EXISTING COUNTOUR
 - 297- PROPOSED COUNTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - x274.3EX. SPOT GRADE - EXISTING
 - EXIST. TREE - DIAMETER - SPECIES
 - WB PROPOSED. TREE - SPECIES
 - UTILITY POLE
 - OVERHEAD WIRES
 - GAS GATE
 - WATER CURB STOP
 - WATER GATE
 - FIRE HYDRANT
 - FIRE HYDRANT
 - DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING
 - CCB CAPE COD BERM
 - HANDICAP PARKING SPACE
 - BUILDING MOUNTED LIGHT
 - POLE MOUNTED LIGHT
 - EXISTING POST LIGHT
 - EXISTING BUILDING MOUNTED LIGHT
 - B BOLLARD
 - CO CLEANOUT
 - DS DOWNSPOUT
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SITE PLAN APPROVAL REQUIRED FRANKLIN PLANNING BOARD

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DATE	SCALE	PROJECT	SHEET
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OPERATION AND MAINTENANCE PLAN

CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, NAME AND PHONE NUMBER TO BE PROVIDED, SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 8" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS EXISTING AND PROPOSED AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
9. THE STORMCEPTOR AND CDS UNIT SHALL BE CLEANED WITH A VACUUM TRUCK.

INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENT ARE TO BE REMOVED.
3. INSPECTIONS OF THE STORMCEPTOR AND CDS UNITS TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE EXISTING AND PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 10 AND POND 11 TO DETERMINE IF CLEANING IS NECESSARY.

OPERATION AND MAINTENANCE SCHEDULE

CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. ONCE THE PARKING LOT HAS BEEN PAVED DAILY INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT ALL STORMCEPTOR AND CDS UNITS AS WELL AS ALL EXISTING AND PROPOSED CATCH BASINS. SILT SAKS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
4. THE STORMCEPTOR AND CDS UNITS SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
5. THE PONDS SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

LONG TERM:

1. THE PARKING LOT SHALL BE SWEEPED TWICE PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE STORMCEPTORS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES.
3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

EROSION CONTROL NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. ENTRY MAT TO BE INSTALLED.
3. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
4. NOT SLOPES GREATER THAN 3' HORIZONTAL TO 1' VERTICAL ARE PROPOSED.
5. STORMCEPTOR UNIT AND CDS UNIT, CATCH BASINS, UNDERGROUND PONDS AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
6. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
8. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
10. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

OWNER:
CHARLEY2017, LCC
7 MYRTLE STREET
NORFOLK, MASSACHUSETTS

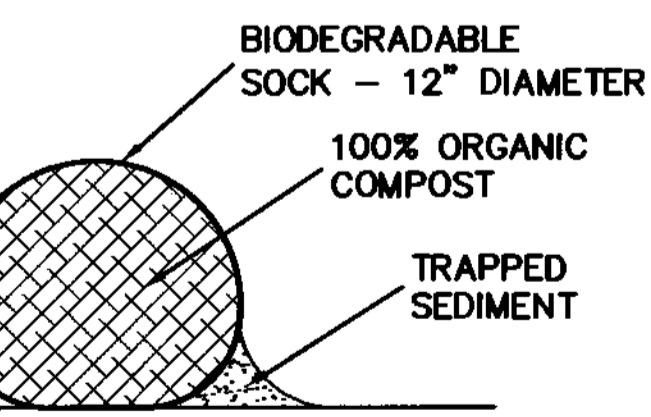
APPLICANT:
NEW ENGLAND TREATMENT ACCESS, LLC
5 FORGE PARKWAY
FRANKLIN, MASSACHUSETTS

SITE PLAN
EROSION CONTROL PLAN
162 GROVE STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
NEW ENGLAND TREATMENT ACCESS, LLC
5 FORGE PARKWAY
FRANKLIN, MASSACHUSETTS
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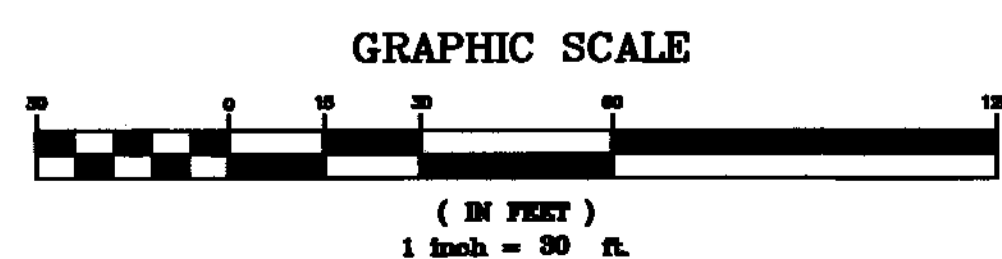
EXISTING DRAINAGE STRUCTURE SCHEDULE

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INV=263.0	RIM = 261.4
XCB-3	INV IN = 256.4
RIM=261.7	INV OUT = 255.9
INV=257.3	XDMH-3
XCB-4	RIM = 264.1
RIM=263.4	INV IN = 259.5 CB
INV=259.9	INV IN = 259.3 8" PVC
XCB-5	INV OUT = 259.0
INV=259.9	XDMH-4
INV=254.2	RIM = 259.8
	INV IN = 253.8
	INV OUT = 253.55

MAP 306 PARCEL 2
160 GROVE STREET
N/F HENNEP PROPERTIES, LLC
BOOK 37525 PAGE 499
ZONE - INDUSTRIAL
USE - WAREHOUSE



COMPOST SOCK DETAIL

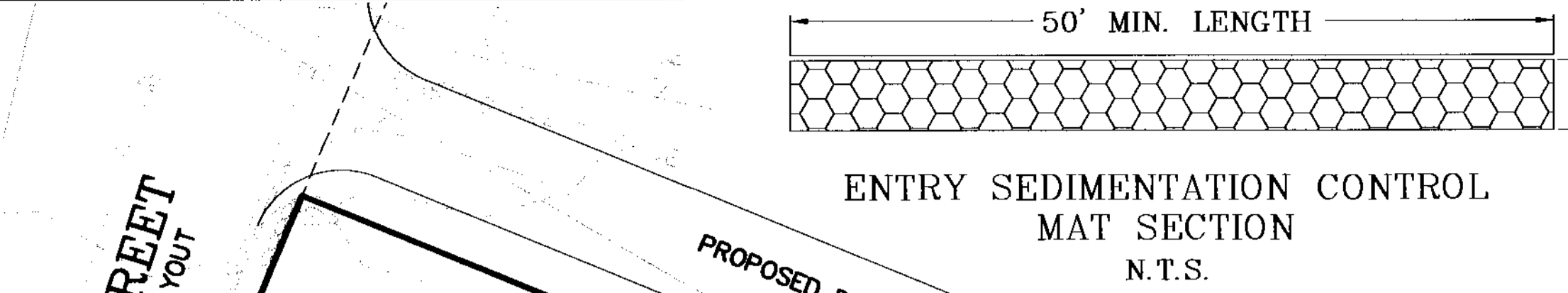


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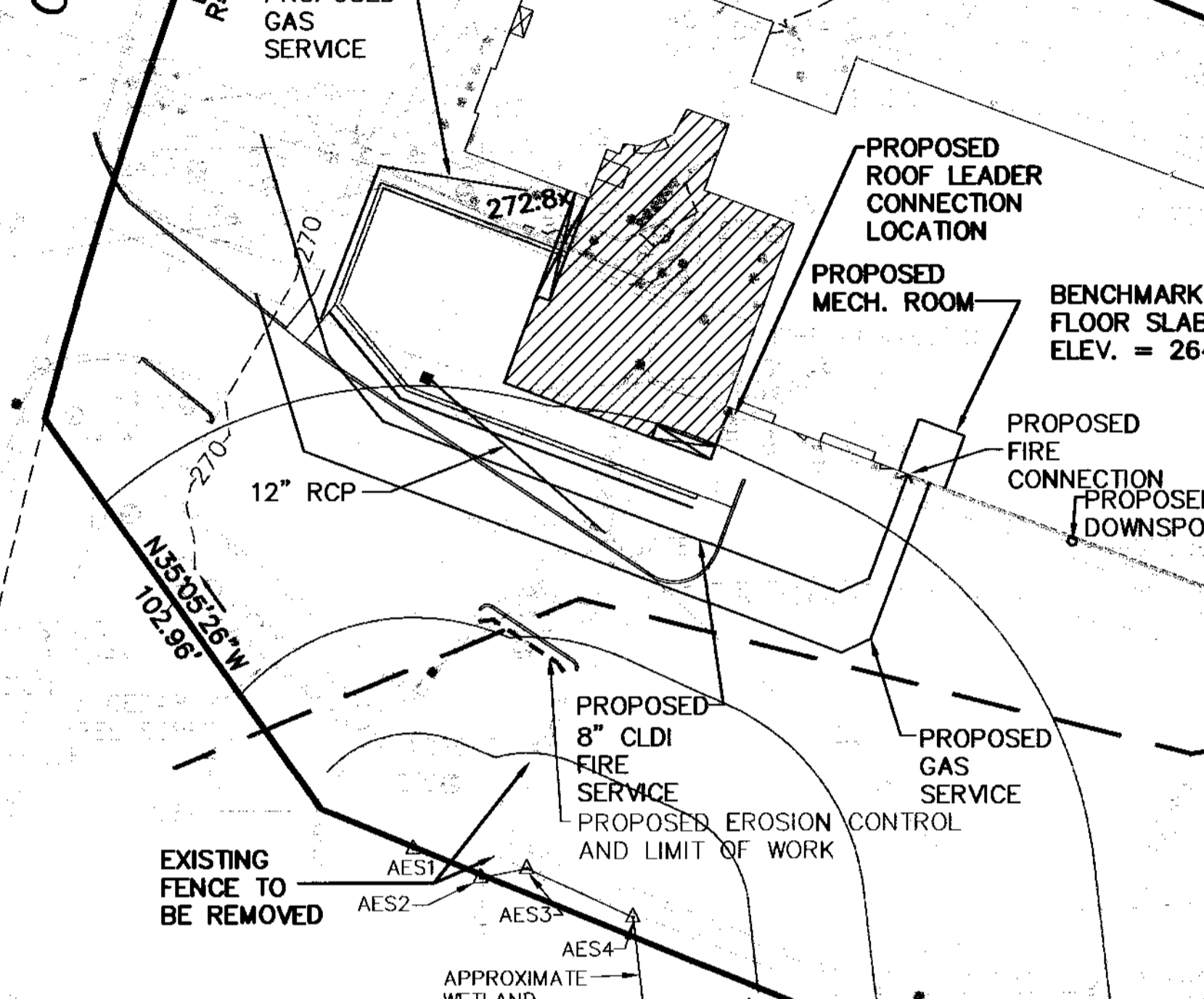
DATE	MAY 21, 2020
SCALE	1" = 30'
PROJECT	UC1435
SHEET	6 of 9



ENTRY SEDIMENTATION CONTROL MAT SECTION
N.T.S.

- NOTES:
1. PAD SHALL BE A MINIMUM OF 10 FEET IN WIDTH. EXISTING ASPHALT DRIVE TO REMAIN IN PLACE UNTIL FINAL PAVEMENT IS TO BE INSTALLED.
 2. PAD SHALL CONSIST OF 4" STONE 8" IN DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.

GROVE STREET
1940 COUNTY LAYOUT



MAP 306 PARCEL 4
164 GROVE STREET
N/F NLCP 164 GROVE STREET
MA, LLC
BOOK 37633 PAGE 557
ZONE - INDUSTRIAL
USE - VACANT

- NOTES:
1. ANY AREA NOT BEING ACTIVELY WORKED FOR 14 DAYS SHALL BE TEMPORARILY STABILIZED.
 2. UPON COMPLETION OF GRADING ACTIVITIES THE AREA SHALL BE STABILIZED OR PLANTED WITHIN 7 DAYS.
 3. NON-PHOSPHORUS FERTILIZER SHALL BE APPLIED AS NECESSARY.
 4. NON-HALOGENATED ICE MELT SHALL BE APPLIED AS NECESSARY.

PROJECT NARRATIVE:
THE PROJECT CONSISTS OF THE CONSTRUCTION AND RENOVATION OF THE EXISTING BUILDING, STORMWATER UNIT AND POND INSTALLATION, PARKING LOT EXPANSION, UTILITY CONNECTIONS AND LANDSCAPING.
UPON RECEIPT OF ALL NECESSARY APPROVALS THE APPLICANT WILL FILE FOR AND OBTAIN THE NECESSARY ADDITIONAL PERMITS INCLUDING WATER CONNECTION PERMITS, STREET OPENING PERMITS AND BUILDING PERMIT. UPON SECURING ALL THE NECESSARY PERMITS THE PROJECT WILL MOVE TO THE CONSTRUCTION PHASE AND WILL BE COMPLETED BASED ON THE CONSTRUCTION SEQUENCE.

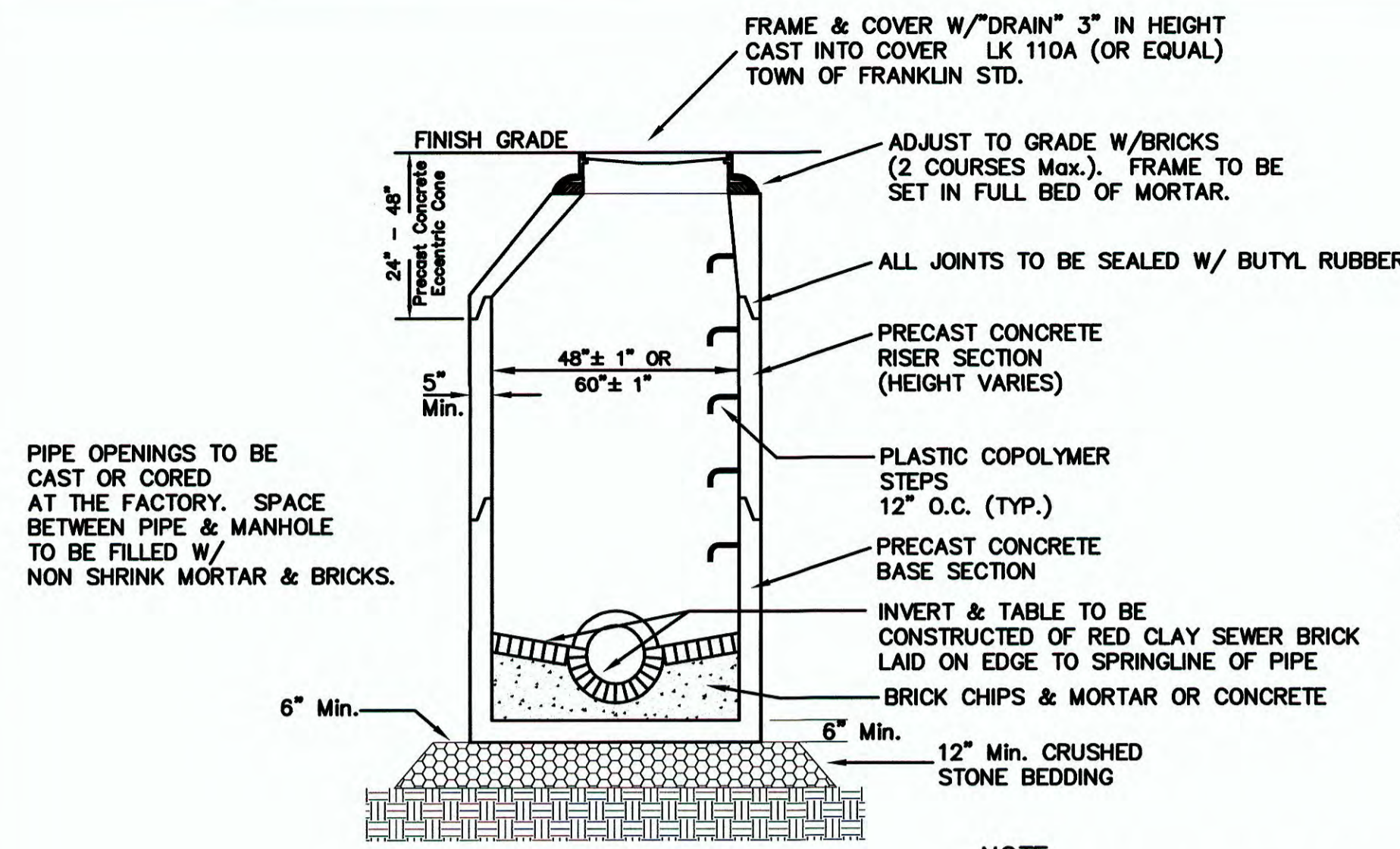
- CONSTRUCTION SEQUENCE:
1. INSTALL COMPOST SOCK, SILT SAKS AND ENTRY MAT.
 2. RECORD ORDER OF CONDITIONS AND INSTALL DEP SIGN.
 3. EXCAVATE FOR BUILDING FOUNDATION.
 4. FORM AND POUR BUILDING FOOTINGS AND FOUNDATION.
 5. UPON ADEQUATE CURING OF THE FOUNDATION CONCRETE THE FOUNDATION SHALL BE BACKFILLED TO SUBGRADE.
 6. CONSTRUCT BUILDING SIMULTANEOUSLY WITH THE FOLLOWING SITE WORK.
 8. BRING THE REMAINDER OF THE SITE TO SUBGRADE.
 9. INSTALL THE UNDERGROUND UTILITIES - WATER, GAS AND DRAINAGE.
 10. UPON COMPLETION OF THE UNDERGROUND UTILITIES, BRING THE PARKING AREAS TO PROPER GRADES WITH GRAVEL.
 11. PAVE THE PARKING AREAS WITH THE BINDER COURSE.
 12. INSTALL THE CURBING, THE DUMPSTER PAD AND THE FENCE.
 13. LOAM ALL DISTURBED AREAS.
 14. PLANT SITE TREES.
 15. PAVE THE PARKING AREA WITH THE TOP COURSE.
 16. IF NECESSARY COMPLETE AN AS-BUILT PLAN AND SUBMIT A FORM H.

SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

DATE

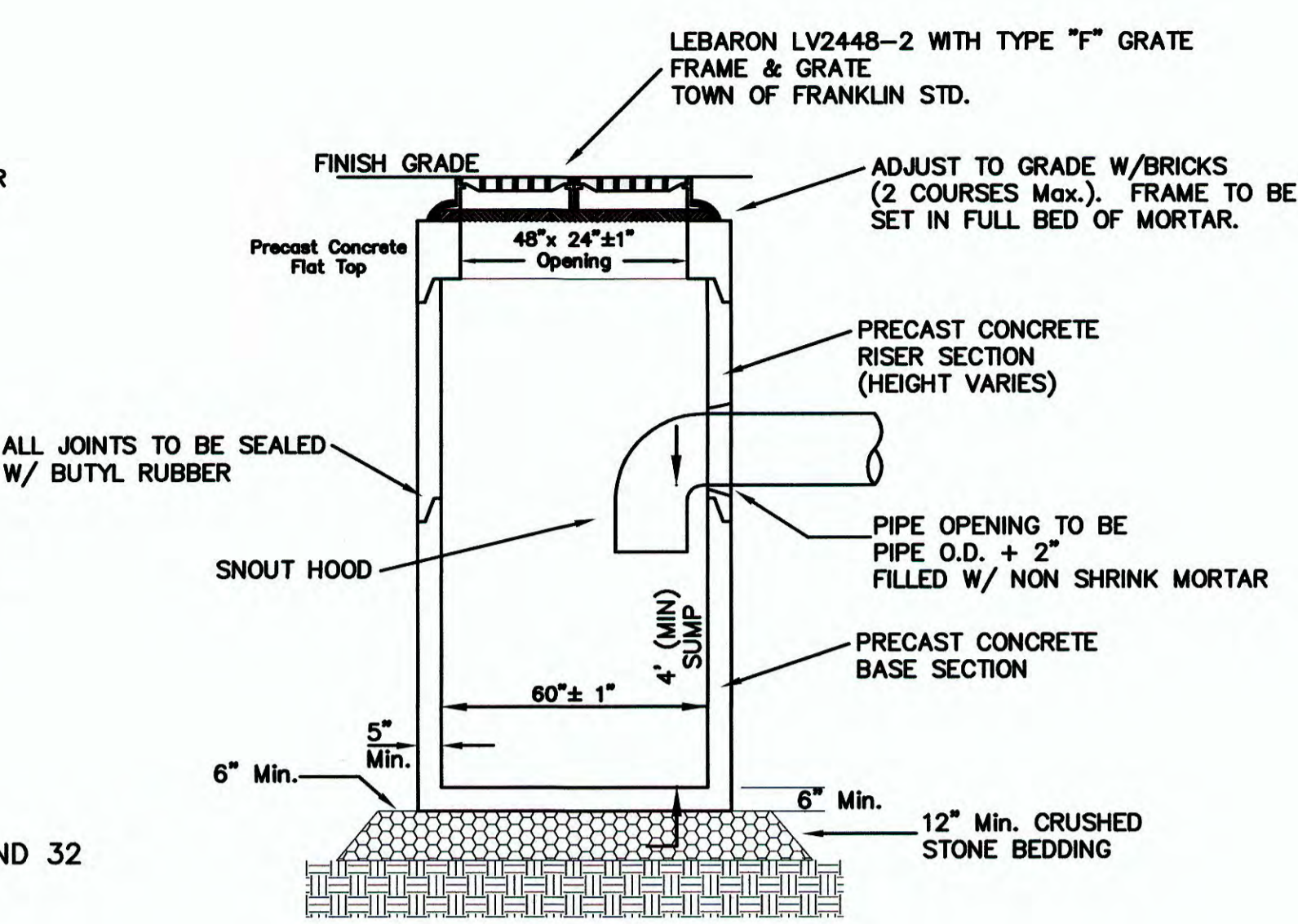
MAP 306 PARCEL 5
166 GROVE STREET
N/F CORE REAL ESTATE HOLDINGS, LLC
BOOK 22762 PAGE 365
ZONE - INDUSTRIAL
USE - HEALTH CLUB

CARLOS A. QUINTAL P.E. #30812



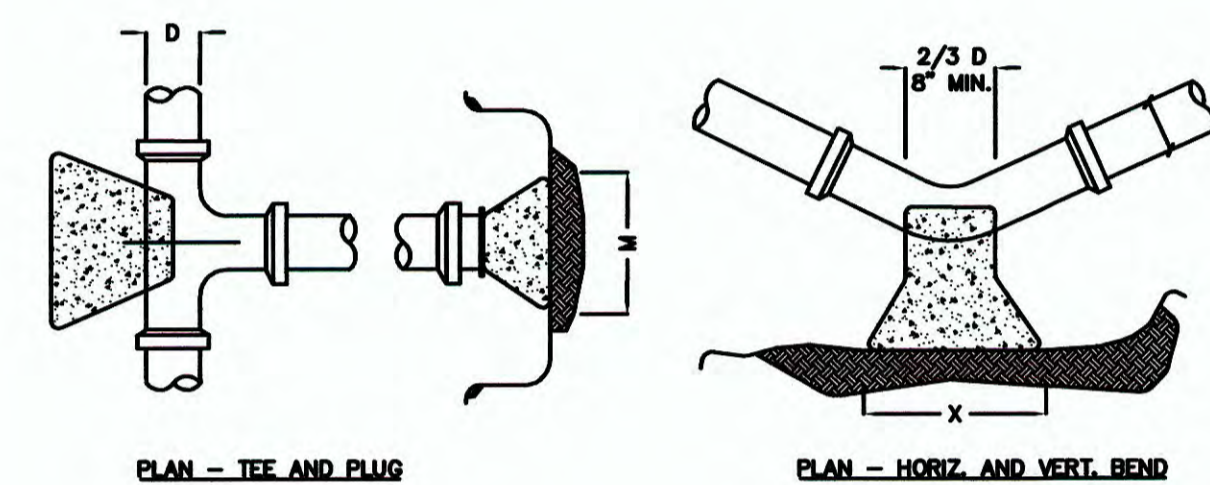
PRECAST DRAIN MANHOLE

NOTE:
DMH'S 2, 4, 21, 22, 23, 31 AND 32
SHALL BE 5' DIAMETER



**DOUBLE GRATE
PRECAST CATCH BASIN
W/ DEEP SUMP**

NOTES:
1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES. ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.



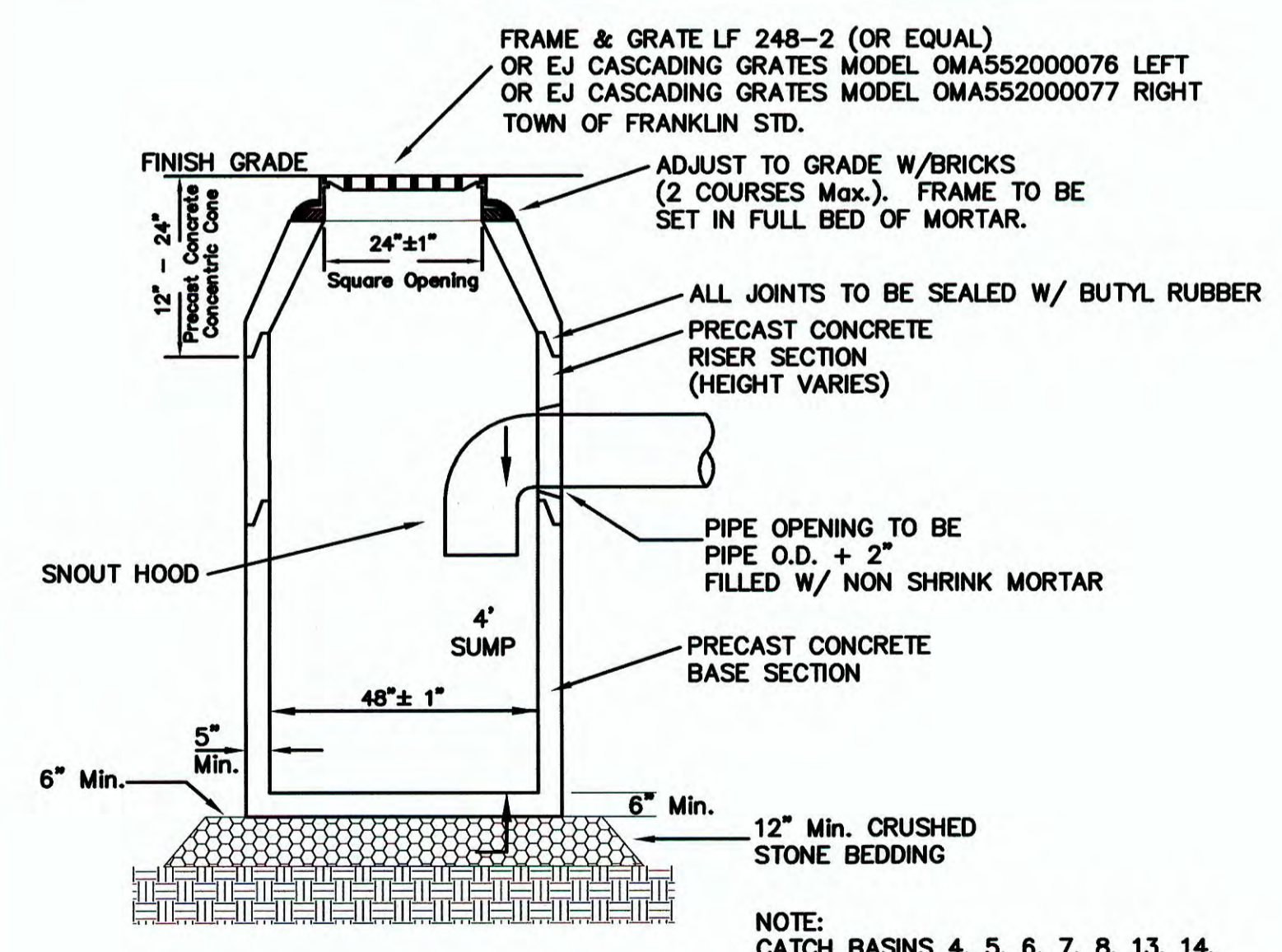
SIZE OF BRANCH	J	K	L	M	N	O
4" TO 8"	10"	10"	1'-0"	2'-0"	1'-8"	10"
10" TO 16"	1'-0"	1'-8"	1'-8"	3'-10"	2'-10"	1'-8"
24"	1'-8"	2'-0"	2'-6"	5'-0"	3'-8"	1'-8"

TEES AND PLUGS

	90 & 45 BENDS	22 1/2 & 11 1/4
D	4" TO 8" 10" TO 16" 24"	4" TO 8" 10" TO 16" 24"
X	1'-8" 3'-4" 3'-8"	1'-4" 2'-0" 3'-8"
Y	1'-2" 1'-8" 2'-4"	1'-0" 1'-2" 2'-4"

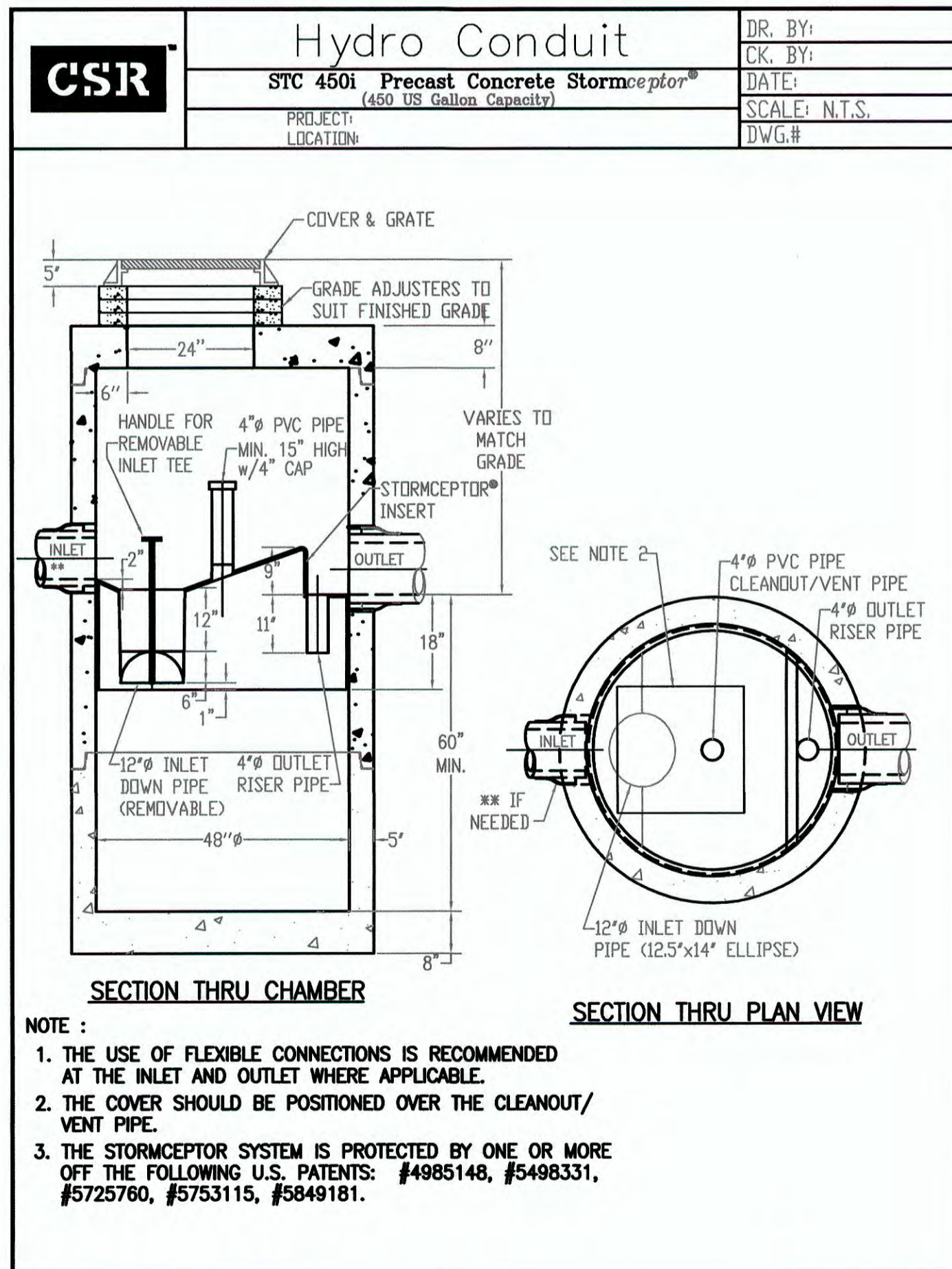
BENDS

THRUST BLOCK DETAILS



PRECAST CATCH BASIN

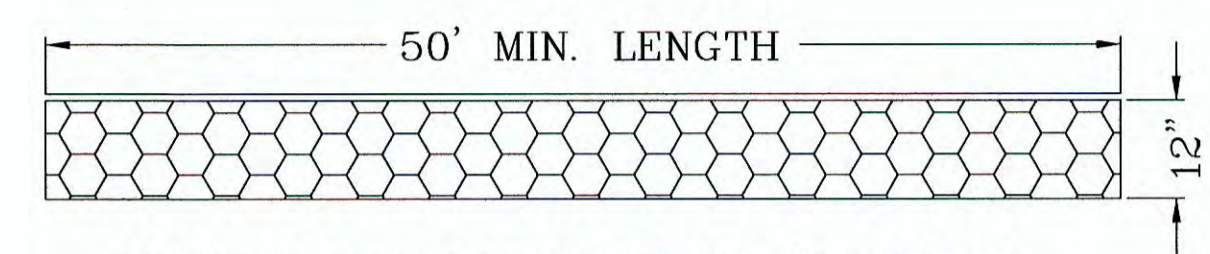
NOTE:
CATCH BASINS 4, 5, 6, 7, 8, 13, 14, 15 AND 16 SHALL HAVE CASCADING GRATES.



NOTE:
1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE CLEANOUT/ VENT PIPE.
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OFF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.

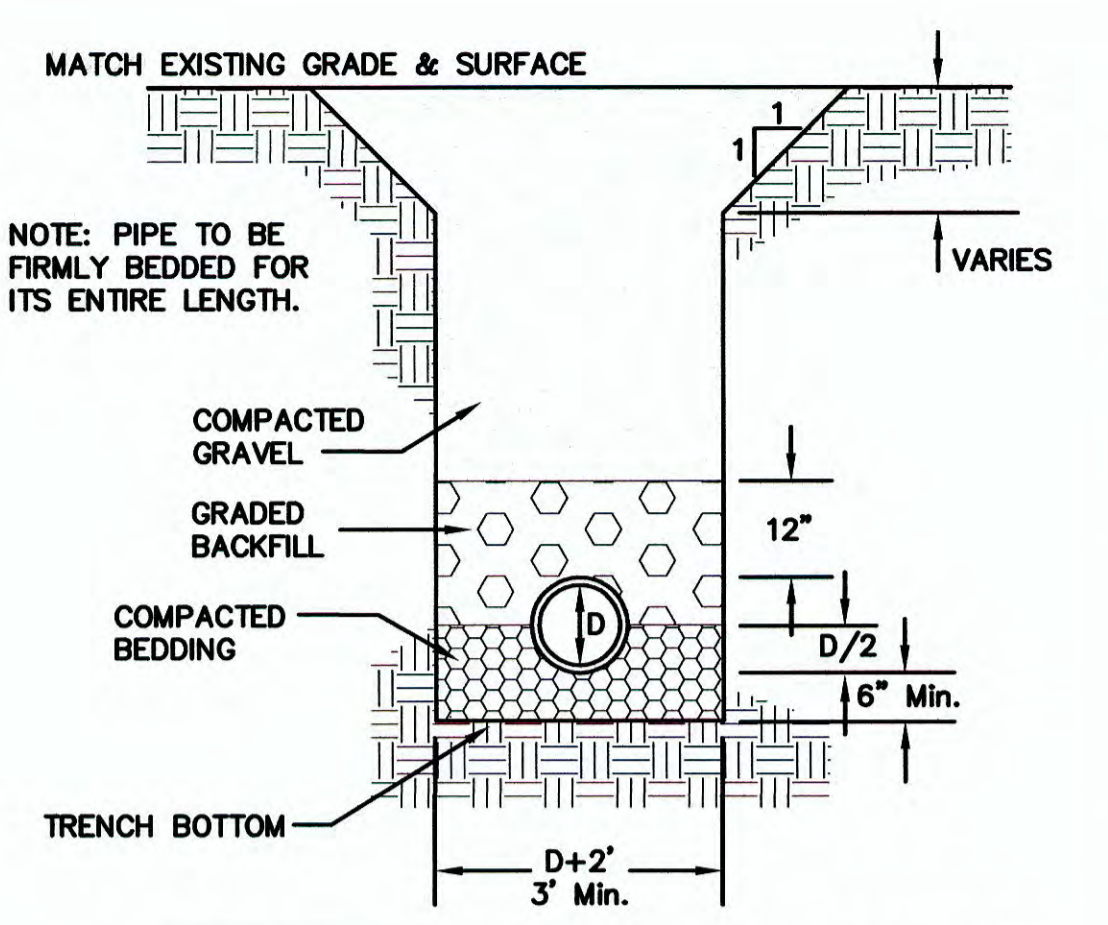


**PAVEMENT AND
VERTICAL CONCRETE CURBING**



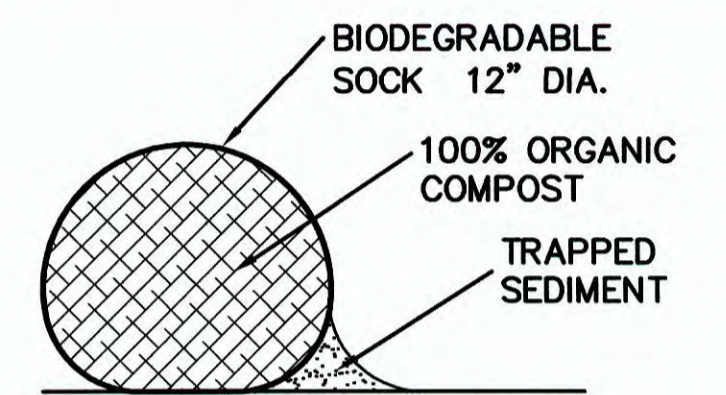
**ENTRY SEDIMENTATION CONTROL
MAT SECTION
N.T.S.**

NOTES:
1. PAD SHALL BE A MINIMUM OF 20 FEET IN WIDTH.
2. PAD SHALL CONSIST OF 4" STONE 8" IN DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.
3. PAD TO BE REMOVED AND RE-CONSTRUCTED WHEN THE POND 1 INSTALLATION IS BEING COMPLETED.



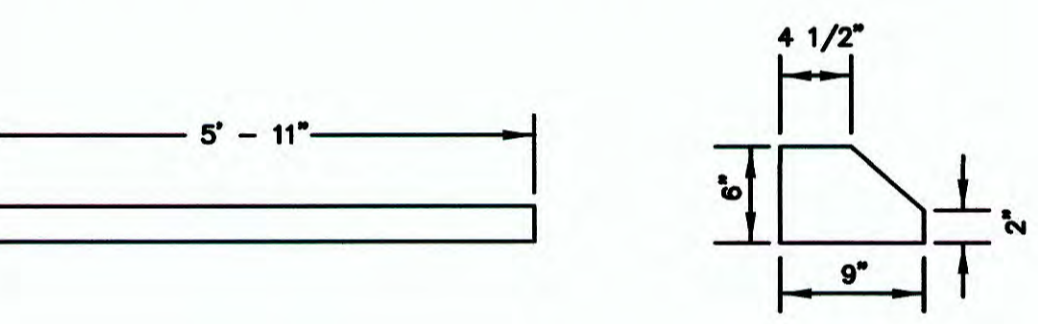
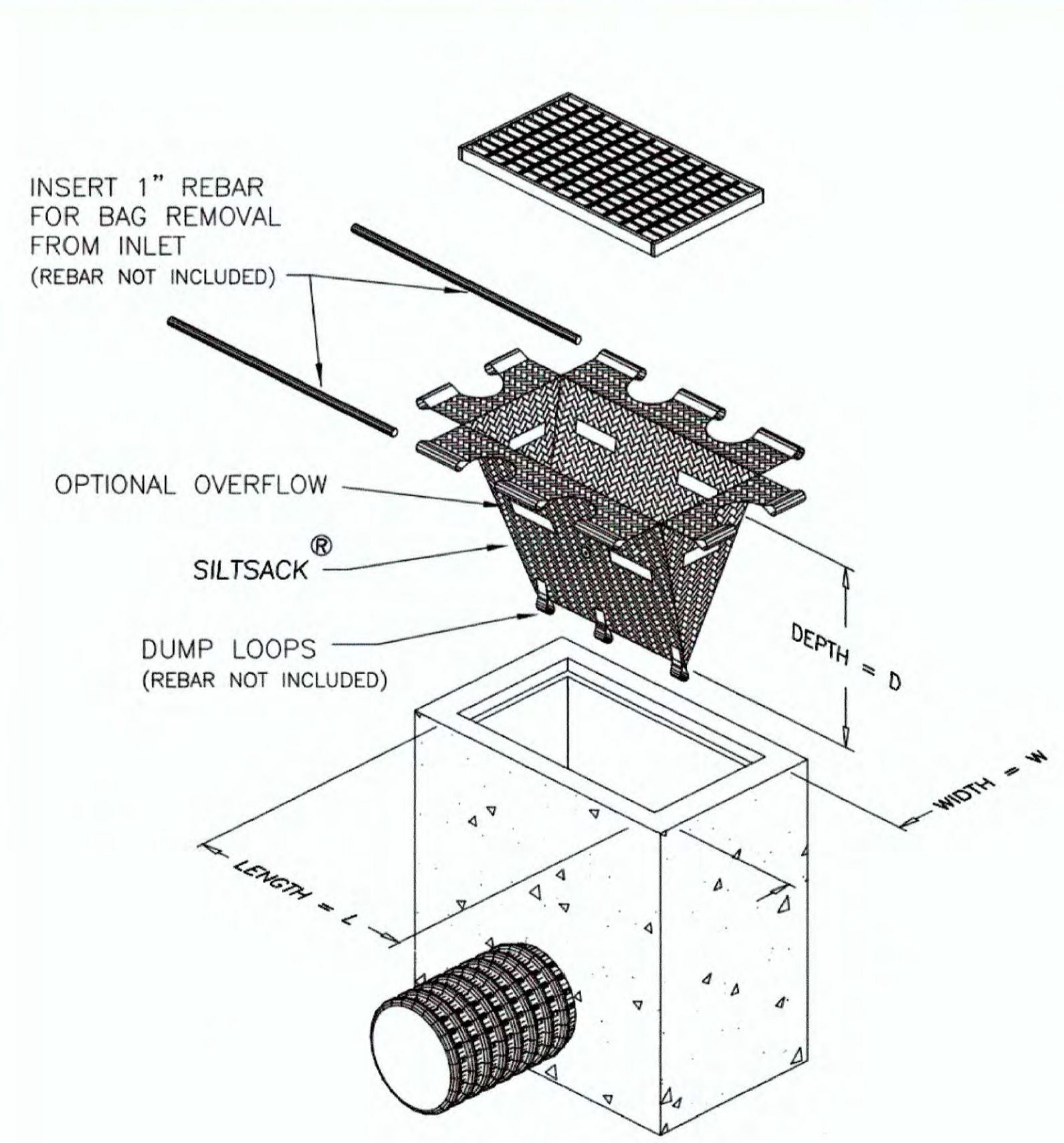
TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING MATERIAL	PROC. GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE	3/8" STONE

UTILITY TRENCH DETAIL



COMPOST SOCK DETAIL

Typical Siltsack® Construction - Type B



BUMPER CURB DETAIL

BUMPER CURB SHALL BE E.F. SHEA ITEM NO. B-BBSF OR APPROVED EQUAL



OWNER:
CHARLEY2017, LLC
7 MYRTLE STREET
NORFOLK, MASSACHUSETTS

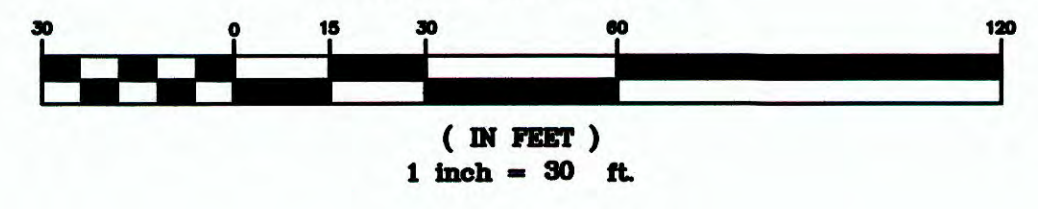
APPLICANT:
NEW ENGLAND TREATMENT ACCESS, LLC
5 FORGE PARKWAY
FRANKLIN, MASSACHUSETTS

**SITE PLAN
CONSTRUCTION DETAIL - 1**
162 GROVE STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
NEW ENGLAND TREATMENT ACCESS, LLC
FRANKLIN, MASSACHUSETTS
MAY 21, 2020
SCALE: 1" = 30'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE

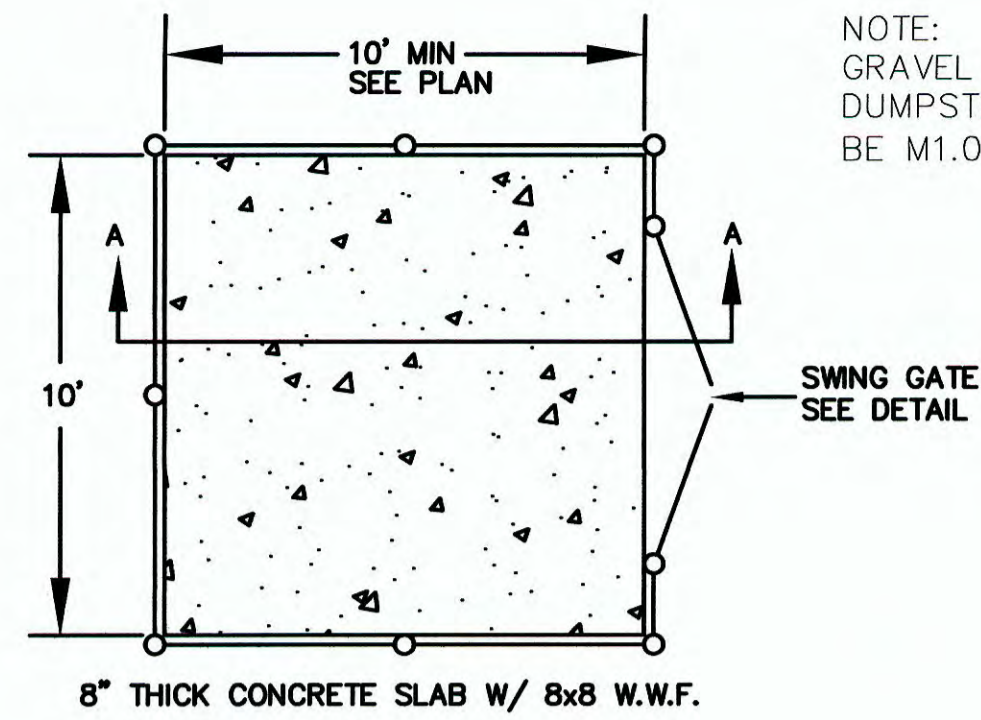


NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
4/20		BL
5/20	CALCS BY:	RRG
5/20	DESIGNED BY:	RRG
5/20	DRAWN BY:	COMP
5/20	CHECKED BY:	CAQ

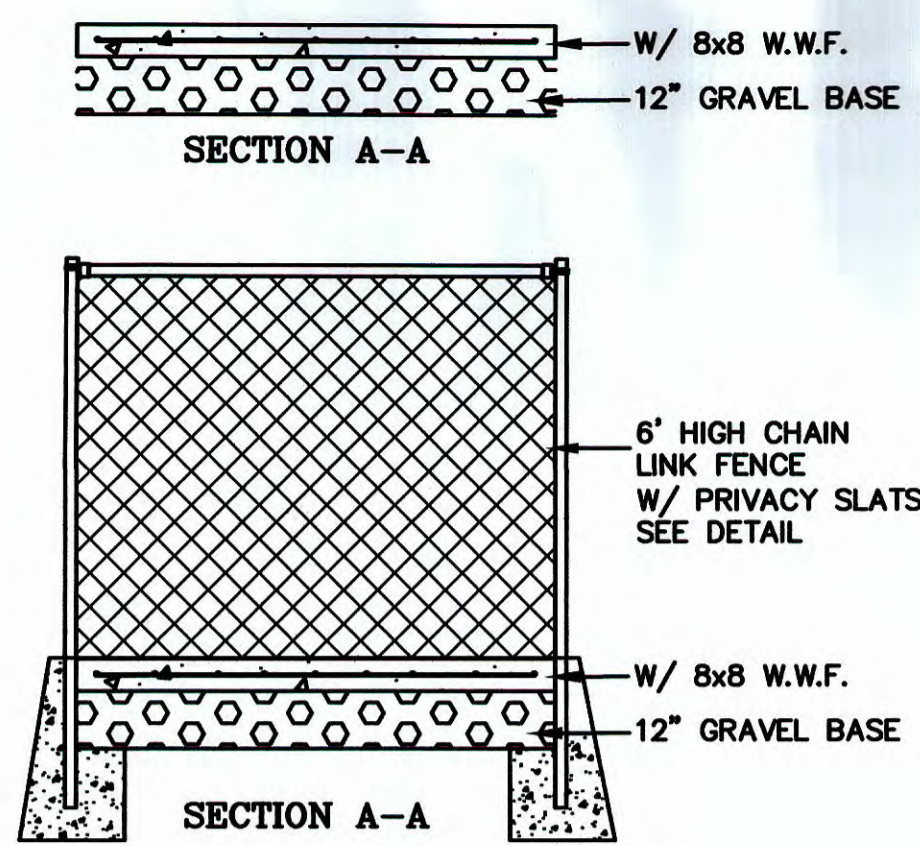
**UNITED
CONSULTANTS
INC.**
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE	SCALE	PROJECT	SHEET
MAY 21, 2020	1" = 30'	UC1435	7 of 9



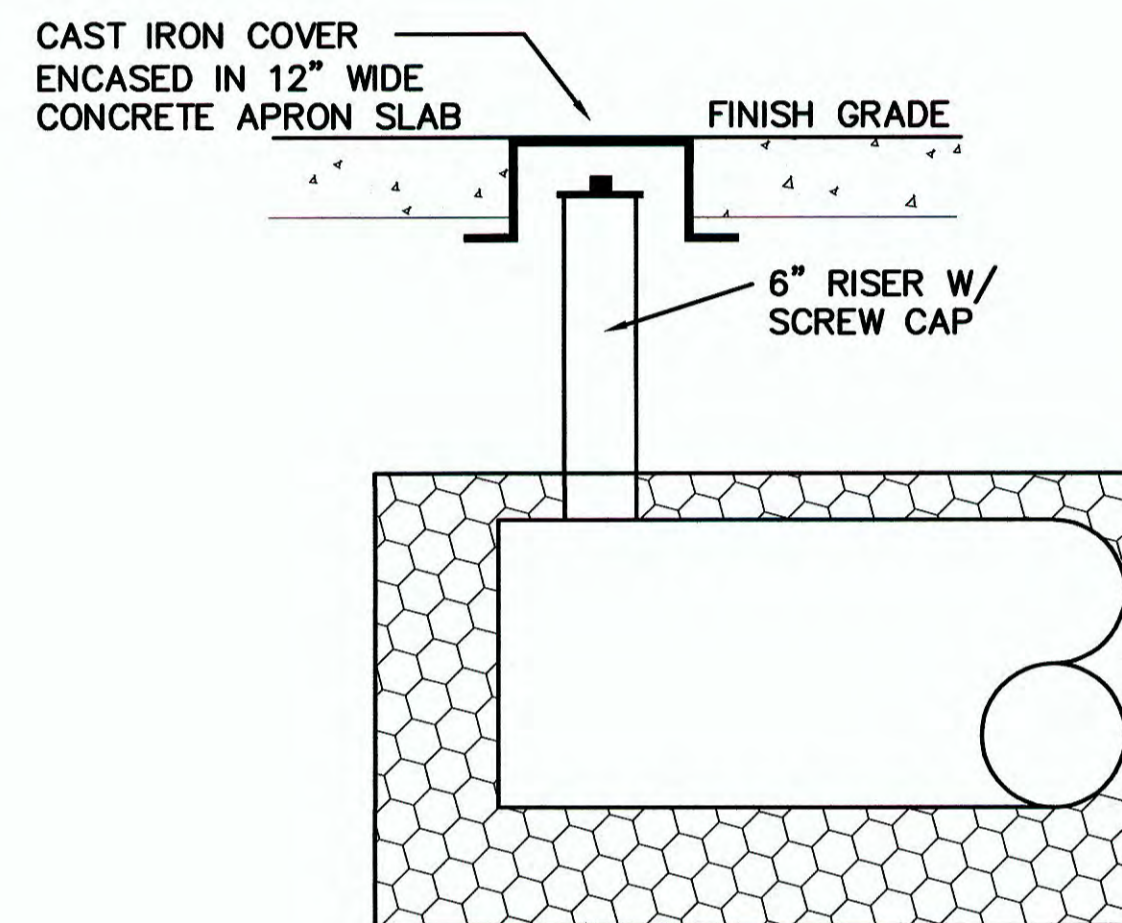
CONCRETE DUMPSTER PAD

NOTE: DUMPSTER PAD AT BUILDING 1 WILL HAVE THE FENCE CONNECT TO THE RETAINING WALL. NO FENCE IS PROPOSED TO THE REAR OF THE DUMPSTER PAD.

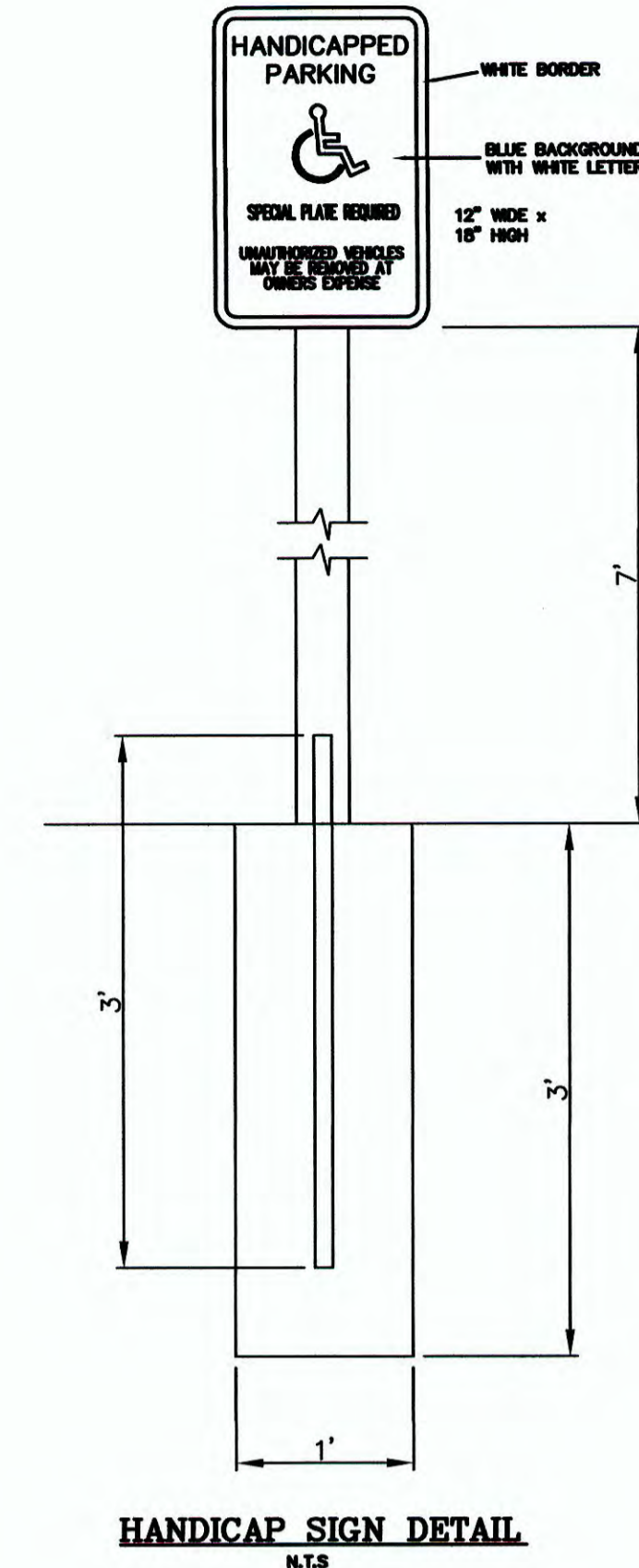


DUMPSTER AREA FENCE

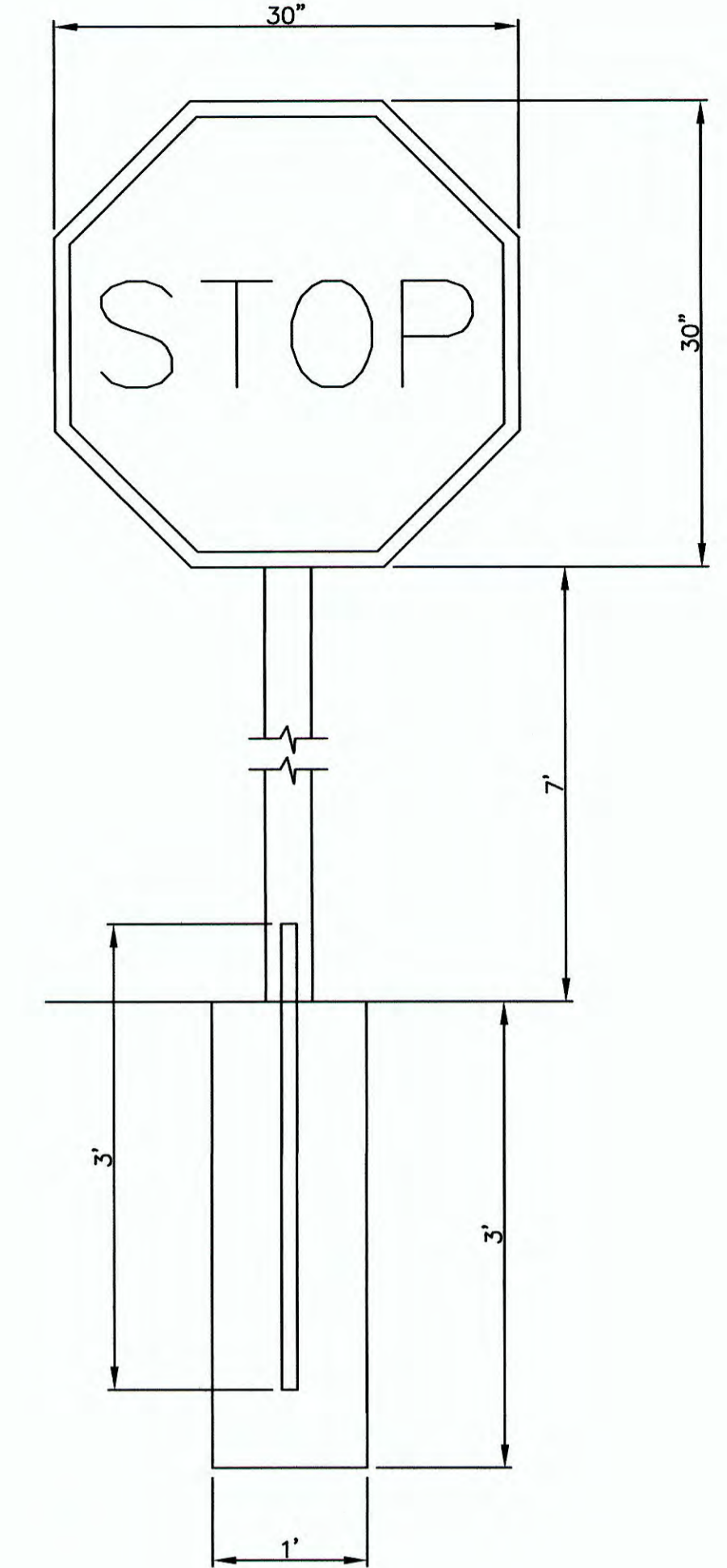
- NOTES:
1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
 3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
 4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.



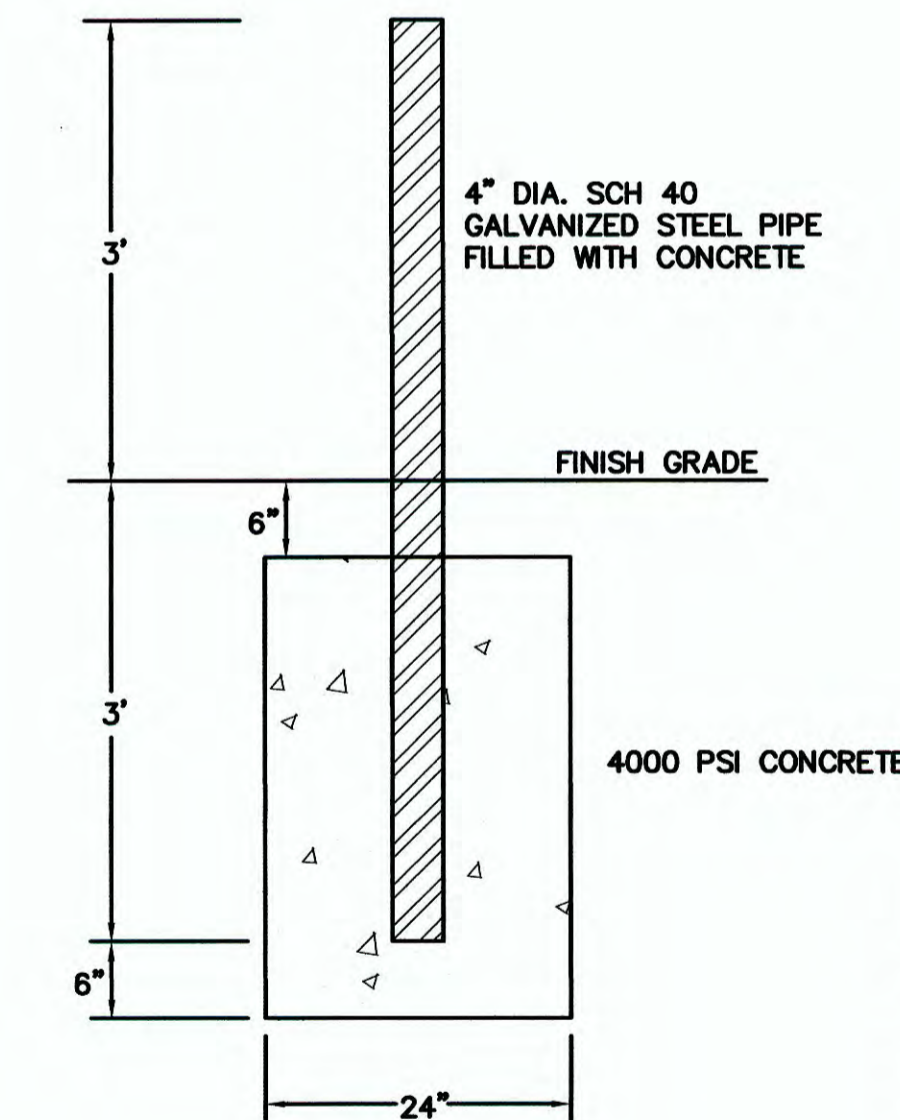
**INSPECTION PORT DETAIL
DRAINAGE INFILTRATION AREAS
N.T.S.**



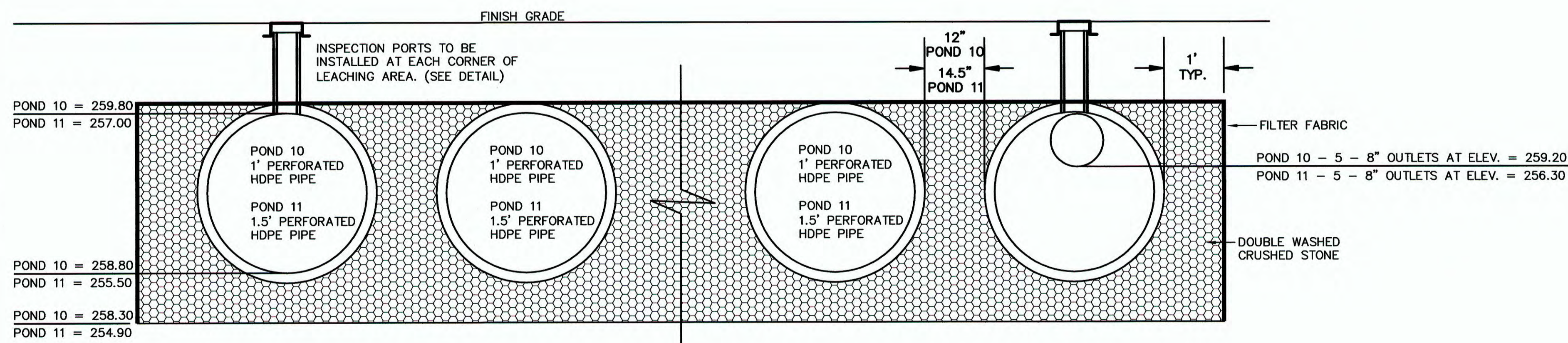
**HANDICAP SIGN DETAIL
N.T.S.**



**STOP SIGN DETAIL
N.T.S.**



BOLLARD DETAIL



INFILTRATION POND 1

NOTE: INFILTRATION POND 10 CONSISTS OF 12 ROWS OF 1' DIAMETER PERFORATED HDPE PIPE 60' IN LENGTH. STONE ENVELOPE = 29.75' x 62'

NOTE: INFILTRATION POND 11 CONSISTS OF 5 ROWS OF 1.5' DIAMETER PERFORATED HDPE PIPE 70' IN LENGTH. STONE ENVELOPE = 15.6' x 72'



Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

OWNER:
CHARLEY2017, LLC
7 MYRTLE STREET
NORFOLK, MASSACHUSETTS

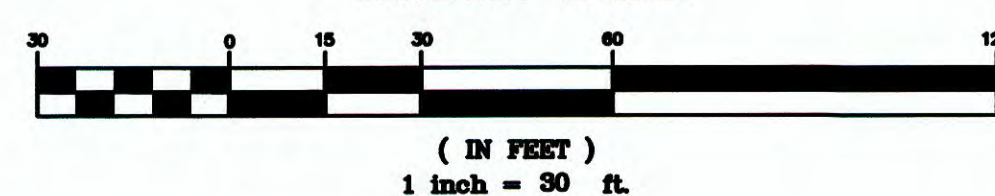
APPLICANT:
NEW ENGLAND TREATMENT ACCESS, LLC
5 FORGE PARKWAY
FRANKLIN, MASSACHUSETTS

**SITE PLAN
CONSTRUCTION DETAIL - 2**
162 GROVE STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
NEW ENGLAND TREATMENT ACCESS, LLC
5 FORGE PARKWAY
FRANKLIN, MASSACHUSETTS
MAY 21, 2020
SCALE: 1" = 30'

**SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD**

DATE

GRAPHIC SCALE



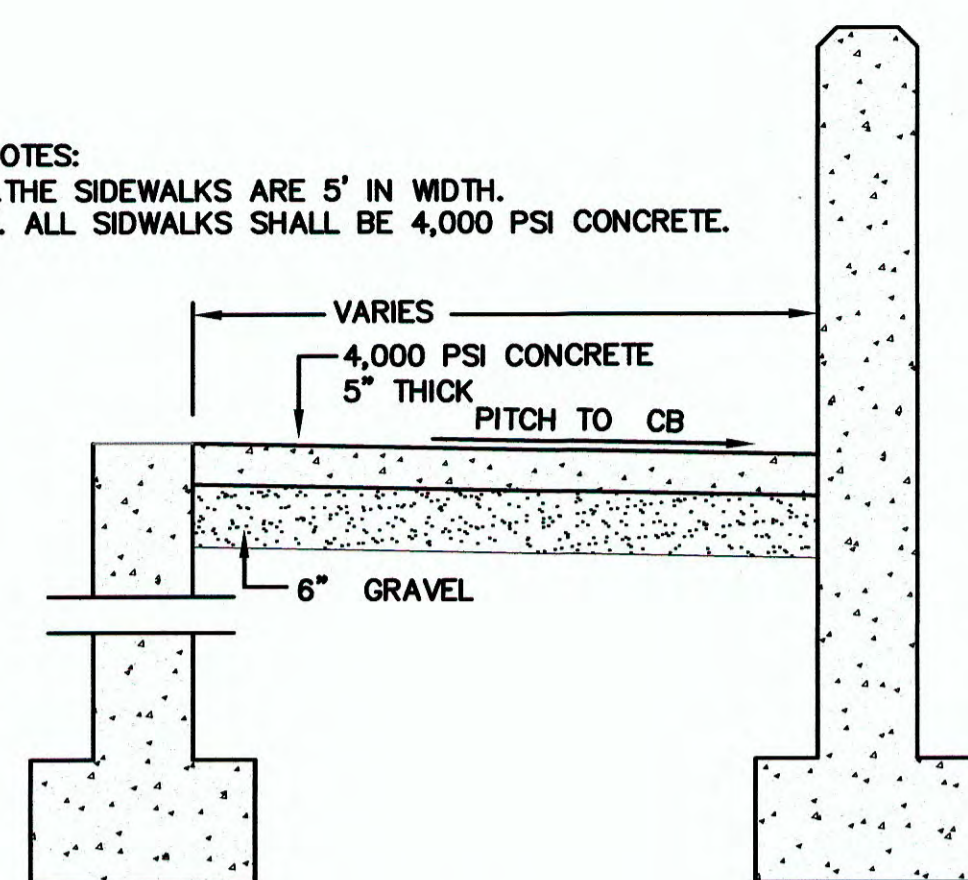
NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
4/20		BL
5/20	CALCS BY:	RRG
5/20	DESIGNED BY:	RRG
5/20	DRAWN BY:	COMP
5/20	CHECKED BY:	CAQ

**UNITED
CONSULTANTS
INC.**
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8560 FAX 508-384-8566

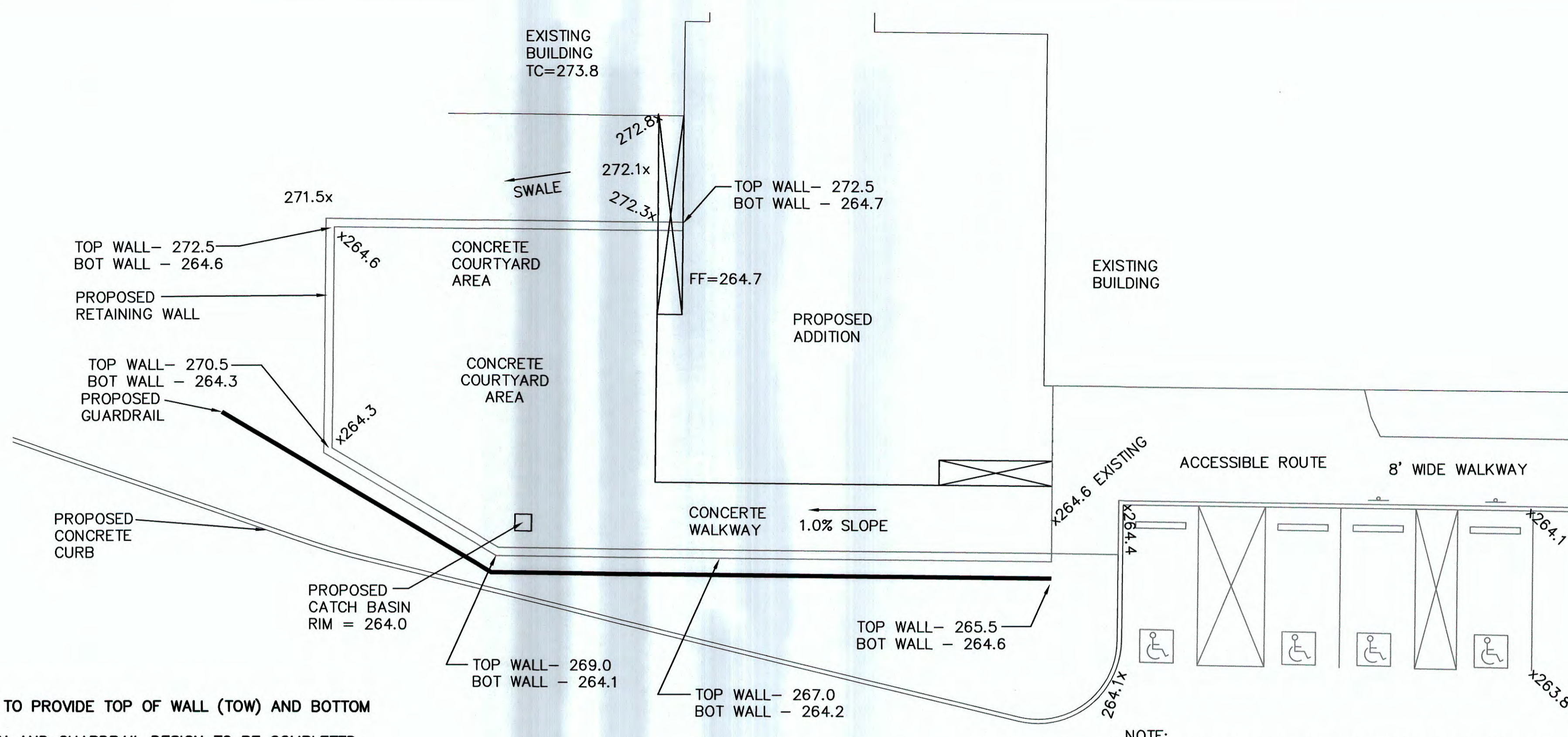
DATE	SCALE
MAY 21, 2020	1" = 30'
PROJECT	UC1435
SHEET	8 of 9

- NOTES:
 1. THE SIDEWALKS ARE 5' IN WIDTH.
 2. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.



COURTYARD AREA DETAIL
 N.T.S.

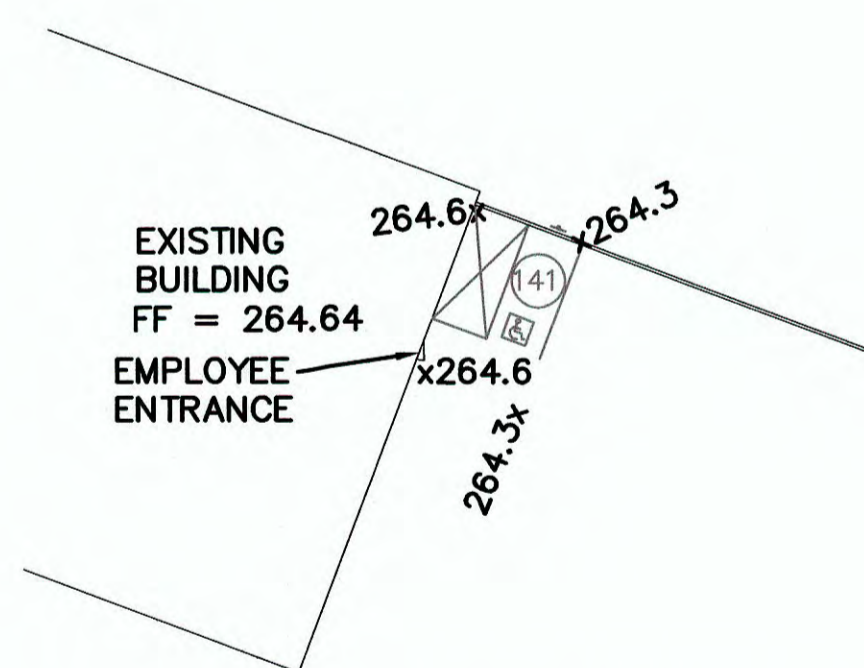
NOTE:
 GRAVEL UNDER PAVEMENT AND SIDEWALKS TO BE M1.03.0 (TYPE B)



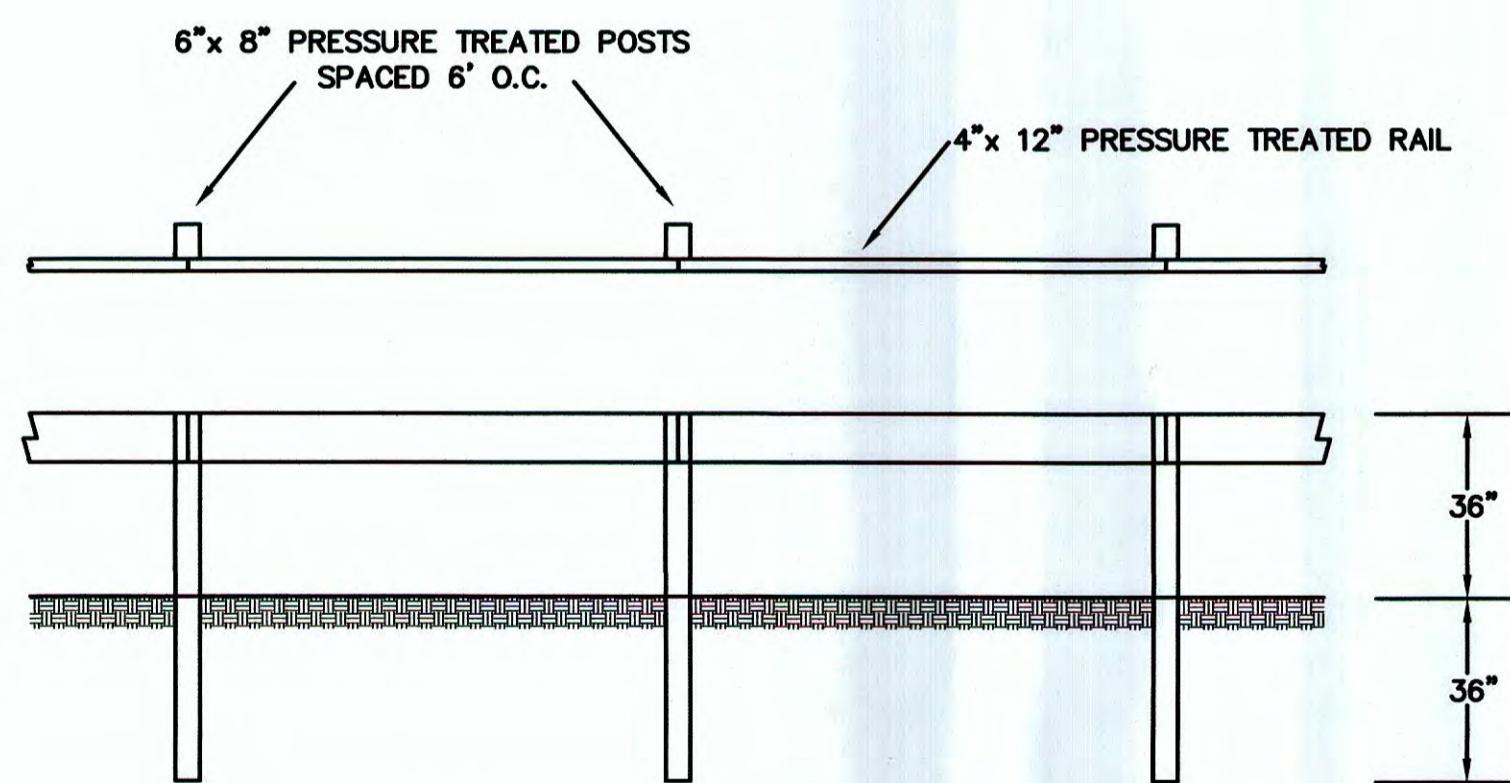
ADDITION ENTRY AND ACCESSIBLE ROUTE DETAIL
 SCALE: 1" = 10'

NOTE:
 GRIND AND SHIM EXISTING PAVEMENT AS NECESSARY TO PROVIDE A MAXIMUM SLOPE OF 2 PERCENT WITHIN THE HANDICAP PARKING SPACES AND ACCESS ISLES.

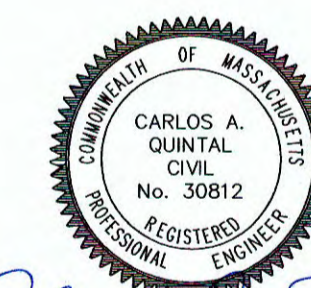
- PROPOSED RETAINING WALL NOTES:**
 1. PROPOSED RETAINING WALL SHOWN TO PROVIDE TOP OF WALL (TOW) AND BOTTOM OF WALL (BOW) ELEVATIONS.
 2. FINAL WALL DESIGNS, FENCE DESIGN AND GUARDRAIL DESIGN TO BE COMPLETED BY A STRUCTURAL ENGINEER AND FILED WITH THE BUILDING DEPARTMENT.
 3. PROPOSED RETAINING WALLS TO POURED IN PLACE CONCRETE OR APPROVED EQUAL.
 4. FENCE TO BE WAYFAIR 4' x 6' TEXAS METAL FENCING OR APPROVED EQUAL.



ACCESSIBLE ROUTE GRADING UPPER LEVEL
 SCALE: 1" = 40'



WOODEN GUARDRAIL DETAIL
 N.T.S.



Carlos A. Quintal
 CARLOS A. QUINTAL P.E. #30812

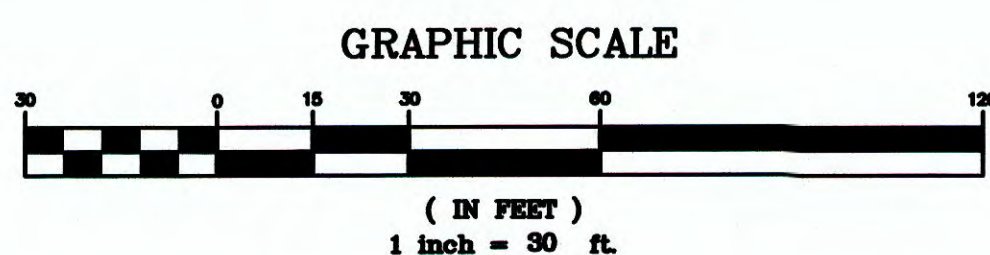
OWNER:
 CHARLEY2017, LLC
 7 MYRTLE STREET
 NORFOLK, MASSACHUSETTS

APPLICANT:
 NEW ENGLAND TREATMENT ACCESS, LLC
 5 FORGE PARKWAY
 FRANKLIN, MASSACHUSETTS

SITE PLAN CONSTRUCTION DETAIL - 3
 162 GROVE STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 NEW ENGLAND TREATMENT ACCESS, LLC
 5 FORGE PARKWAY
 FRANKLIN, MASSACHUSETTS
 MAY 21, 2020
 SCALE: 1" = 30'

SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

DATE

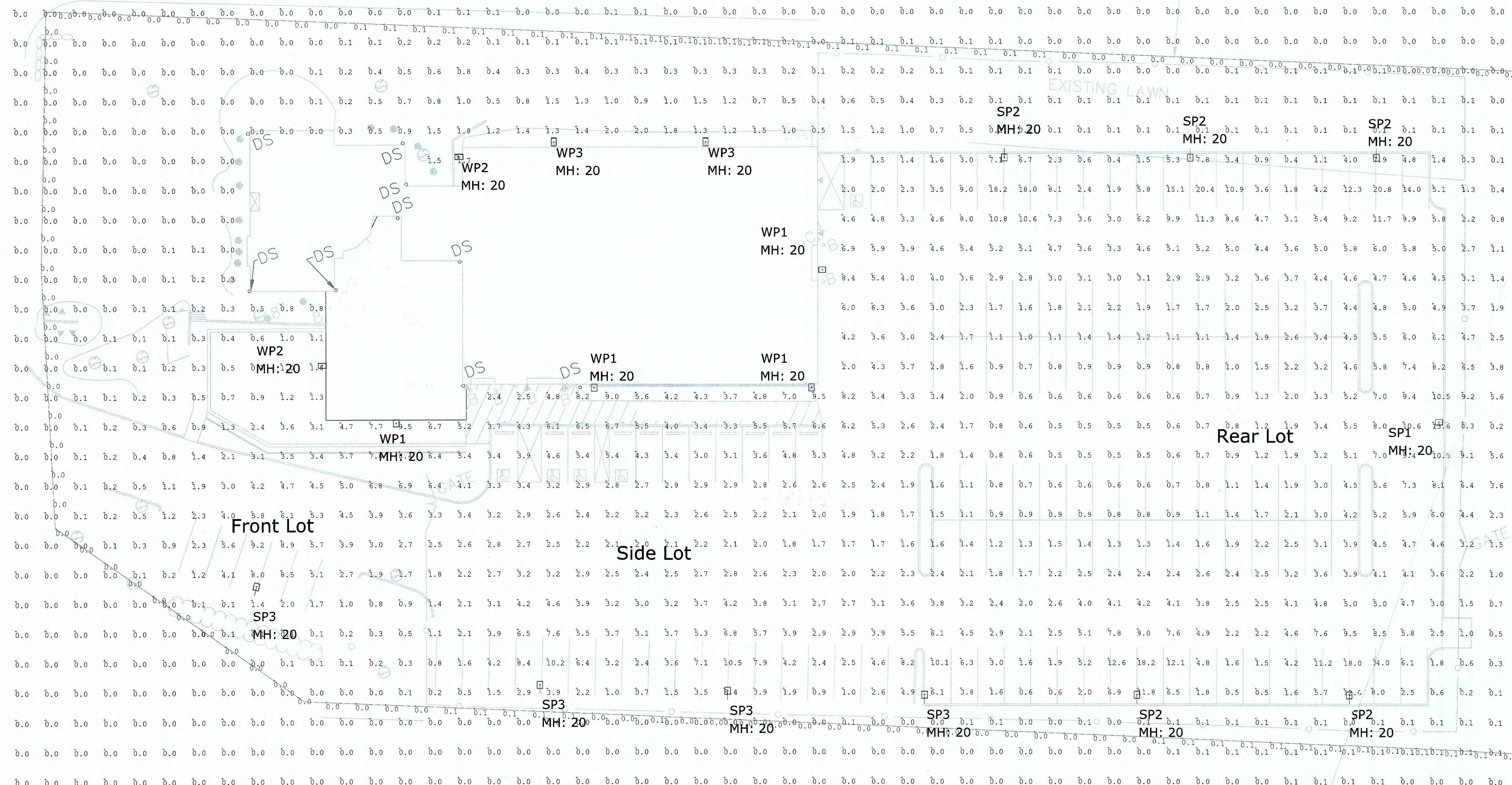


NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
4/20		BL
BK#	FIELD BOOK	PG#
5/20	CALCS BY:	RRG
5/20	DESIGNED BY:	RRG
5/20	DRAWN BY:	COMP
5/20	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE
 MAY 21, 2020
 SCALE
 1" = 30'
 PROJECT
 UC1435
 SHEET
 9 of 9



1 Photometric Layout and Calculations
SCALE: 1:20

Symbol	Qty	Label	Description	LLF	Lum. Lumens	Lum. Watts
→	1	SP1	Visionaire - VMX-II-T4-55L-4K-UNV-AM-BZ-DIM ON -SNTS-4S-11-20-9BC-343-S1-BZ POLE	0.900	49881	400
→	5	SP2	Visionaire - VMX-II-T4-55L-4K-UNV-AM-BZ-DIM-HS ON -SNTS-4S-11-20-9BC-343-S1-BZ POLE	0.900	21756	400
→	4	SP3	Visionaire - VMX-II-T5LS-55L-4K-UNV-AM-BZ-DIM-HS ON -SNTS-4S-11-20-9BC-343-S1-BZ POLE	0.900	15400	400
→	4	WP1	Visionaire - VMS-1-T4-96LC-5-4K-BZ-DIM-BP	0.900	19653	157
→	2	WP2	Visionaire VSC-II-T4-16LC-5-4K-UNV-WM-BZ-DIM-BP	0.900	3093	26
→	2	WP3	Visionaire VSC-II-T2-16LC-5-4K-UNV-WM-BZ-DIM-BP	0.900	3135	26

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.03	0.1	0.0	N.A.	N.A.
Site Calculations	Illuminance	Fc	0.96	20.8	0.0	N.A.	N.A.
Front Lot	Illuminance	Fc	4.02	9.2	0.9	4.47	10.22
Rear Lot	Illuminance	Fc	3.92	20.8	0.4	9.80	52.00
Side Lot	Illuminance	Fc	3.37	10.5	0.5	6.74	21.00

NOTES:

- A. A LIGHT LOSS FACTOR OF 0.900 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
- B. SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
- C. CALCULATION POINTS ARE TAKEN AT GRADE.
- D. CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.

DATE:	REVISIONS	DISCUSSION	DATE
May 20, 2014	1		
PROJECT NUMBER: 20084	2		
DRAWN BY: AM	3		
CHECKED BY: TJ	4		
APPROVED BY: GP	5		
SCALE: AS NOTED	6		
	7		

FORM Q

**TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW**

A) General Information

Name of Business or Project: Proposed Development Central Square

Property Address 340 East Central Street, Franklin, MA

Assessors' Map # 285 Parcel # 009

Zoning District (select applicable zone): Commercial II

Zoning History: Use Variance
Non-Conforming Use

B) Applicant Information:

Applicant Name: 340 East Central Street, LLC

Address: 7 Swain Drive, Hampton Falls, NH 03844

Telephone Number: 508-341-2263

Contact Person: Jeff Gove

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: *Paul K. Keigan* Property Owner: EPK Properties, LLC
Address: _____ 579 Avellino Isles U25202
Naples, FL 34119

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

Joseph Halligan
Signature of Applicant

Paul K. Keigan
Signature of Owner

Joseph Halligan
Print name of Applicant

Paul K. Keigan
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: Architects' Studio

Contact Person: Jerome Dixon

Address 630 Park St., Stoughton MA, 02072

Telephone Number: 508-649-8809

E) Work Summary

Summary of work to be done: 104 unit apartment buildings (2 buildings)

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. The height of the building is 50 feet.

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. The proportions of windows and doors of the proposed apartment buildings are similar in style and size to those that are being used in many apartment buildings in the surrounding area.

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. The project is divided into 2 buildings, one is 56 units and the other is 48 units.

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. The roof is an A-frame roof with a 6/12 pitch with architectural shingles equal to GAF timberline.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. At a height of 50 feet, the building is proportionate to many of the apartment buildings in the area.

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: Fiber cementitious siding somewhat equal to Hardie plank.

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. The design incorporates a generous amount of windows, trim, and balconies to make it a desirable living space. The design is similar to many apartment buildings in the area.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. _____

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. _____

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. _____

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

ADDENDA

INSTRUCTIONS FOR COMPLETION OF FORM Q-DESIGN REVIEW APPLICATION

A. General Information

- Please list name of Business as it will appear on sign or name of project or development, as the case may be, as well as the property address
- Assessors' Map & Parcel numbers may be obtained from tax bill, Town website @ www.franklin.ma.us/Town/Assessors/PropertyTax or from the computer located outside the Assessor's Office, first floor, Municipal Building, 355 East Central Street.
- Zoning District and Zoning History information may be obtained at the Building Department, 1st floor, Municipal Building

B. Applicant Information – complete and include name of contact person w/ phone number

C. Owner Information – if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

Page 2 –

D. Architect/Engineer or Sign Company Information:

- Signs only – Name of Sign Company and Contact Person
- Developments & Projects – Engineer and Architect Information as well

E. Work Summary: Include brief summation of work to be done

Pages 3 & 4

F. Information & Materials to be Submitted w/Application

a) SIGNS ONLY –

- Nine (9) Copies of sign drawings and photos, which include information listed on Page 2 of the application

b) SITE PLAN APPLICATIONS FOR BUILDINGS/DEVELOPMENTS/PROJECTS.

- Nine (9) Copies of all plans including information listed on Page 2 of application.
- Please bring samples of siding and roofing materials and paint color samples to the meeting when scheduled.

DESIGN STANDARDS – For Buildings/Projects and Developments, please complete Pages 3 and 4 as they apply to your project.

ALL APPLICATIONS WITH NINE (9) COPIES OF SUPPLEMENTARY INFORMATION MUST BE FILED BY CLOSE OF BUSINESS ON WEDNESDAY PRIOR TO THE FOLLOWING TUESDAY MEETING. MEETINGS ARE GENERALLY TWICE A MONTH THE 2ND & 4TH TUESDAY OF THE MONTH.

FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: Phase Zero Design

Contact Person: Tim Tobin

Address 35 Pond Park Road, Bay 16 Hingham, MA 02043

Telephone Number: 781-452-7121

E) Work Summary

Summary of work to be done: _____

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. _____

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. _____
The area is not consider historic.

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. _____

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

TAJ ESTATES of FRANKLIN Building A

PROJECT INFORMATION

00002 - PROJECT DIRECTORY

OWNER/ DEVELOPER/ CONTRACTOR:
TAJ ESTATES
Contact: Miraj Amed
1779 Central Street
Stoughton, MA
Phone: -
FAX: -
Cell: 508-962-1928
E-mail: mirajahmed@yahoo.com

ARCHITECT:
ARCHITECTSstudio, Incorporated
Principal Architect: Jerome R. Dixon, Architect, AIA NCARB CSI
50 Oliver Street Studio W7
North Easton, MA 02356
Phone: (508) 230-9684
FAX: (508) 219-4493
Contact: Karen S
Phone: (508) 230-9684
E-mail: TAJKaren@aol.com

STRUCTURAL ENGINEER:
JOHN SPINK Structural Engineer
Contact: John Spink, PE
Phone: 714-766-0544-353-5888
E-mail: jspink@gmail.com

SITE SURVEY/ CIVIL ENGINEER:
ALLEN AND MAJORS
Contact: -
Phone: -
FAX: -
E-mail: -

SOIL ENGINEER
ALLEN AND MAJORS
Contact: -
Phone: -
FAX: -
E-mail: -

LUMBER SUPPLIER:
NATIONAL LUMBER
Contact: Rob Harris
71 Maple Street
Mansfield, MA 02048
Phone: 508-339-8020
Cell: 508-509-9234
E-mail: rharris@national-lumber.com

TRUSS SUPPLIER:
RELIABLE TRUSS AND COMPONENTS INC.
Contact: -
Phone: (603) 736-2131 ext 1113
Cell: 603-552-0523
E-mail: -

FIRE PROTECTION:
FIRE INSPECTIONAL SERVICES INC.
Contact: -
Phone: -
FAX: -
E-mail: -

SITE LIGHTING DESIGN
Contact: -
Phone: -
FAX: -
E-mail: -

LIST OF DRAWINGS

ARCHITECTURAL

NO.	DESCRIPTION	REV	DATE
T101	Key Plans Project Information, Code Compliance & Gen. Requirements Wall, Floor, and Ceiling Assemblies	-	-
A100	Typical 2-Bed Apartment Unit Plans Typical 2-Bed Townhouse Unit Plans Typical 2-Bed Townhouse Unit Plans	-	-
A101	Typical 2-Bed Apartment Unit Plans	-	-
A102	Typical 2-Bed Townhouse Unit Plans	-	-
A103	Typical 2-Bed Townhouse Unit Plans	-	-
A111	First Floor Plan	-	-
A112	Second Floor Plan	-	-
A113	Third Floor Plan	-	-
A114	Fourth Floor Plan	-	-
A115	Mezzanine Floor Plan	-	-
A116	Roof Floor Plan	-	-
A132	Stair A Plans & Sections	-	-
A133	Stair B Plans & Sections	-	-
A134	Loft Staircase	-	-
A151	Interior Elevations	-	-
A152	Interior Elevations	-	-
A211	Exterior Elevations	-	-
A212	Exterior Elevations	-	-
A300	Building Section	-	-
A301	Exterior Wall sections	-	-
A302	Exterior Wall sections	-	-
A303	Wall Types & Floor/ Ceiling Assembly	-	-
A301	Exterior Openings Sections	-	-
S000	Building 2 General Structural Notes	-	-
S100	Building 2 Foundation Plan Bolt Plan Elevations	-	-

GENERAL REQUIREMENTS

The Contractor and all Subcontractors shall perform their Work according to the following:

- 01010 SUMMARY OF WORK**
Included in the Work are the following:
a. Multi-Family Apartment Building
- 01035 SUBSTITUTIONS AND CHANGE ORDERS**
a. DO NOT substitute materials, equipment or methods unless such substitution is first discussed with the Architect and has been approved specifically in writing by the Owner.
b. Notify the Architect immediately by telephone of any hidden, unforeseen conditions and any requirements. Confirm all notifications and action required in writing within 24 hours of the event.
c. Milestone date changes must be made in writing by Owner.
- 01040 COORDINATION**
a. The Contractor and each Subcontractor shall be thoroughly familiar with the Work shown on the drawings and on the other Contract Documents.
b. Each Subcontractor shall coordinate their Work with that of others and be aware of all Related Work to be performed by others, via the Contractor.
- 01050 EXISTING CONDITIONS**
a. Prior to submitting bid proposals, the Contractor and each Subcontractor shall visit the proposed site and make themselves familiar with all existing conditions, take field measurements and record all information needed to provide a complete scope of Work.
b. Notify the Architect immediately of conditions which may contribute to unnecessary, excessive costs.
c. No additional compensation will be paid by the Owner for disputes which result from a lack of familiarity with the existing conditions.
- 01060 REGULATORY REQUIREMENTS**
Comply with all applicable national, state and local codes.
- 01100 SPECIAL REQUIREMENTS AND PROCEDURES**
a. Maintain a written daily journal.
b. The Owner shall provide a phone on site.
c. Designate a superintendent for the duration of the Project and submit his/her name to the Architect.
d. Work shall be completed in a timely manner, consistent with the approved construction schedule.
e. The Contractor shall be responsible for receiving and maintaining in good condition all millwork, fixtures and equipment up to the Date of Substantial Completion.
f. All Owners' material delivered to the Project shall be checked against the Owners' material list by the Contractor at the time of delivery. All discrepancies shall be noted in the Receiving Report and in the Daily Journal, and the Contractor shall immediately notify the Owner of same. All shortages occurring after the receipt of goods shall be charged back to the Contractor.
g. Note on all Bills of Lading, "CASES NOT INSPECTED FOR CONCEALED DAMAGES and SHORTAGES"
- 01300 SUBMITTALS**
a. Product samples, manufacturer's data and shop drawings shall be submitted to the Architect for review.
- 01700 CONTRACT CLOSEOUT**
a. Substantial Completion is the date certified by the Architect on which the Work or designated portion thereof is sufficiently complete so the Owner may occupy the same for the intended purpose.
b. Provide the following for closeout:
1-Daily Journal
2-Operation and Maintenance Data
3-Keys
4-Spare Parts, Materials and Stock
5-Certificate of Inspection/Occupancy
6-Certificate of Insurance
7-Evidence of Payment and Release of Liens
8-List of Subcontractors, Vendors and Suppliers
9-Final Statement of Account
- 01710 CLEANING**
a. Each Subcontractor shall clean his/her Work and remove all trash, debris, packing, etc., resulting from that Work.
b. Final cleaning shall be done by a professional cleaner.

SYMBOLS AND ABBREVIATIONS Key to Symbols

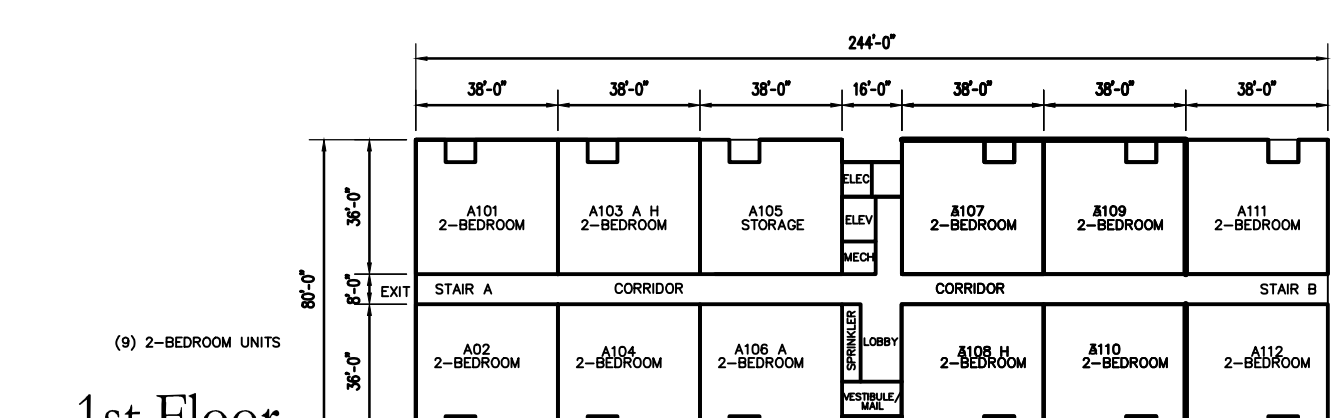
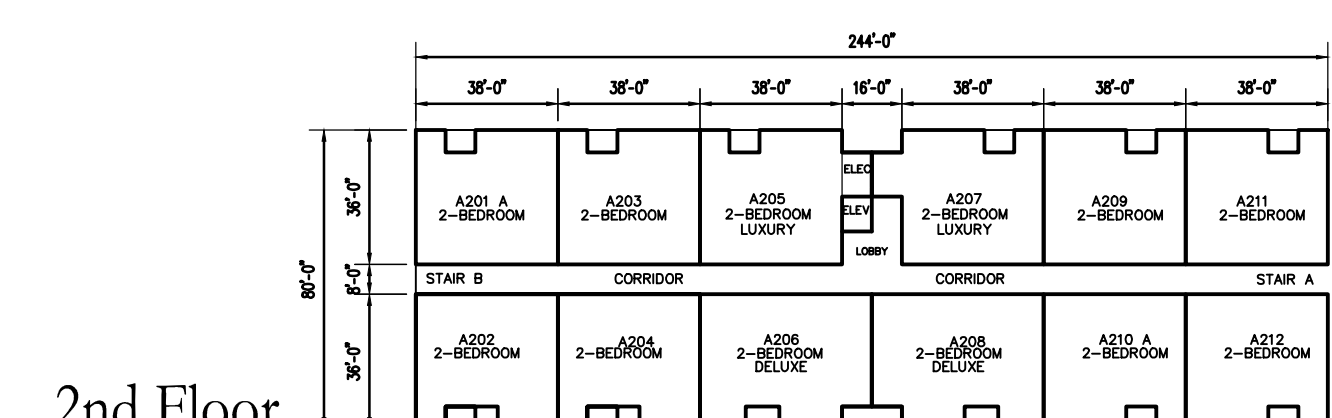
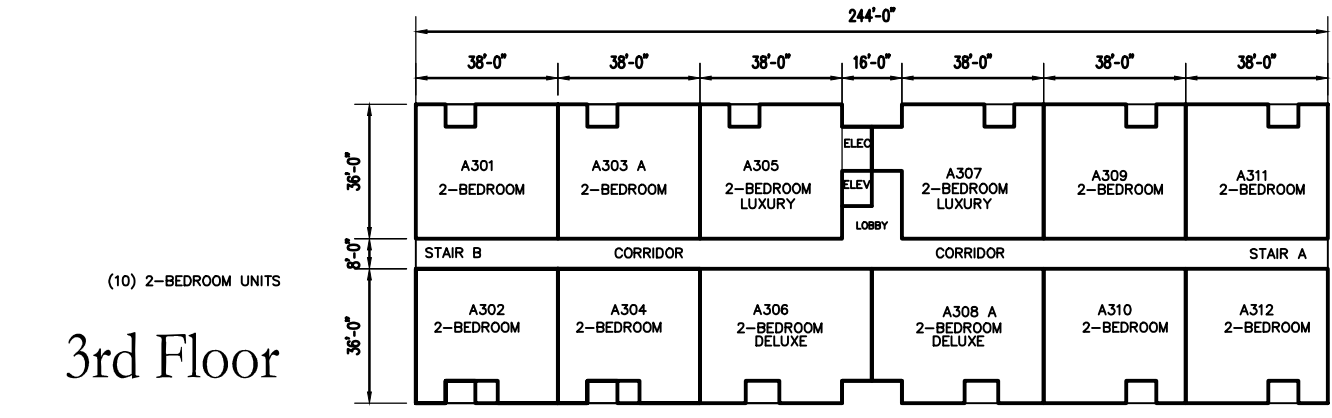
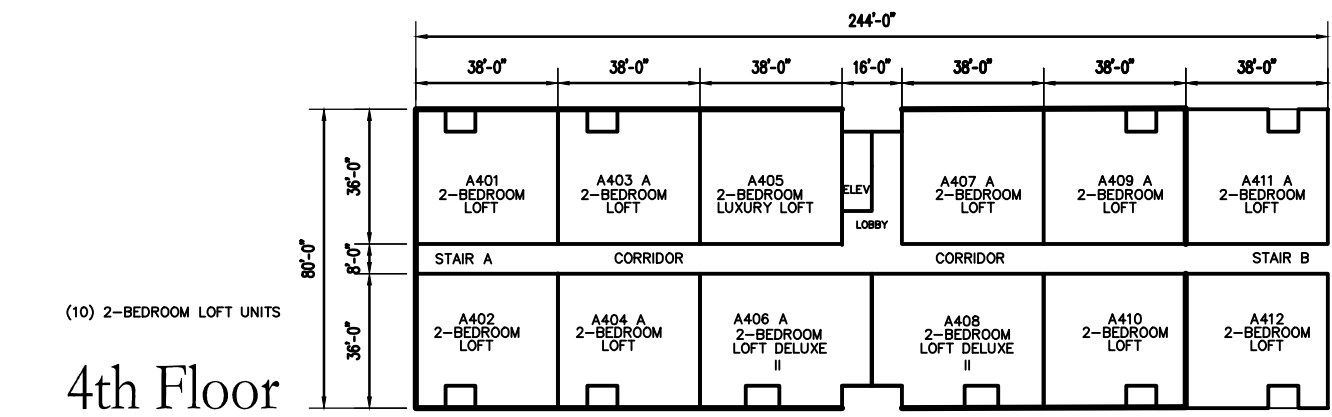
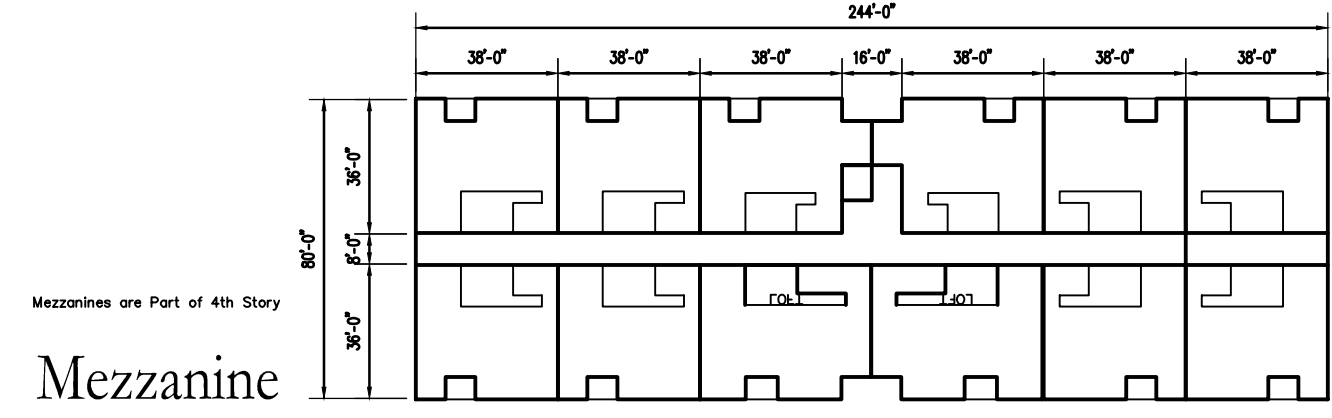
- CS1 SPECIFICATION DIVISION NUMBER
- ITEM, NOTE OR LINE NUMBER
- ELEVATION KEY NUMBER
- SHEET NUMBER
- DETAIL OR SECTION KEY NUMBER
- SHEET NUMBER
- WINDOW KEY
- DOOR KEY
- NOTE KEY
- KEY TO WALLS AND PARTITION SCHEDULE
- DUPLEX OUTLET
- WEATHER-PROOF
- GROUND-FAULT INTERRUPTED
- FLOOR DRAIN
- 220 VOLT RECEPTACLE
- CEILING-MOUNTED LIGHT
- RECESSED
- PENDENT
- WALL-MOUNTED LIGHT
- SMOKE DETECTOR
- HEAT DETECTOR
- THERMOSTAT
- DIMMER
- PARTITION SCHEDULE
- CABLE
- TELEPHONE
- CEILING FAN
- DOORBELL
- RECESSED EXHAUST FAN
- RECESSED EXHAUST FAN WITH HEAT
- RECESSED EXHAUST FAN WITH LIGHT
- RECESSED EXHAUST FAN WITH LIGHT AND HEAT
- FINISHED FLOOR
- ABOVE FINISHED FLOOR
- DIMMER
- THERMOSTAT
- GROUND-FAULT
- WEATHER-PROOF
- RECESSED CHANDELIER
- FLORESCENT
- PENDANT
- EYEBALL
- DOWNSPOUT
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- PULL STATION
- MINI AUDIO/VISUAL DEVICE
- FIRE EXTINGUISHER
- EMERGENCY LIGHT
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHT
- FIRE ALARM CONTROL PANEL
- MASTER FIRE CONTROL PANEL
- EMERGENCY EXIT LIGHT
- BATHROOM EXHAUST FAN

Key to wall types

- EXTERIOR INSULATED WALL
2x6 @ 16" O.C.
- INTERIOR INSULATED WALL
2x4 @16" O.C.
- INTERIOR WET WALL WITH SOUND BATTS
2x8 @16" O.C.
- INTERIOR WALL WITH SOUND BATTS
2x4 @16" O.C.
- INTERIOR WALL
2x4 @ 16" O.C.
- E and F Sheet A00

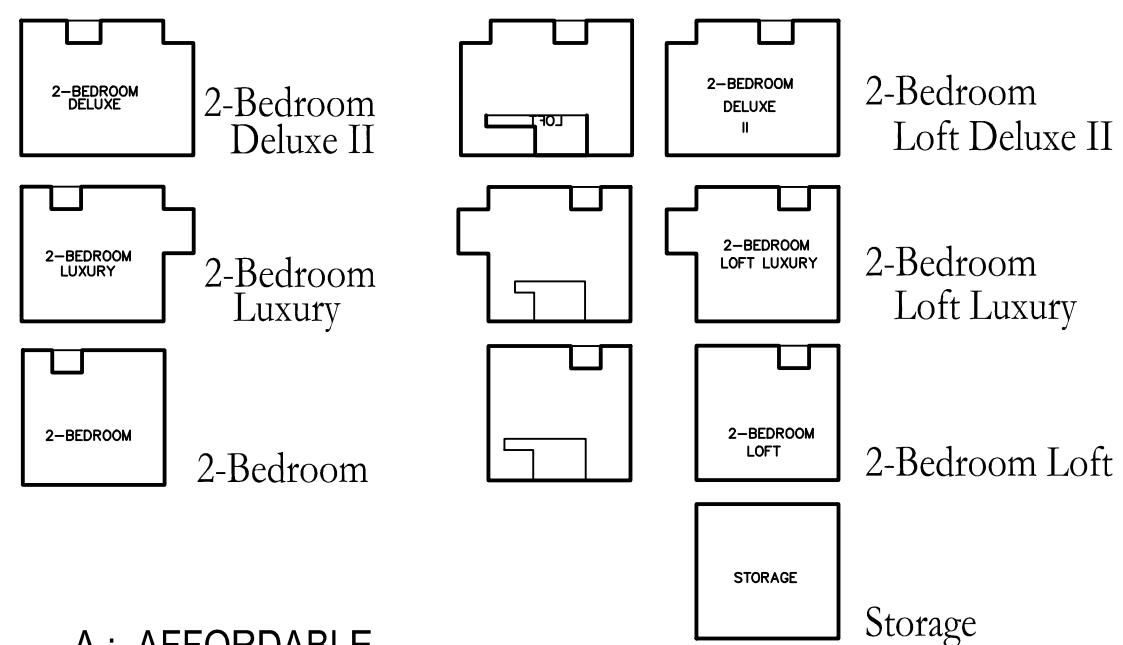
SIGNATURES
BY _____ DATE _____
OWNER

REVISION HISTORY	
06/10/2020	Issued for Presentation



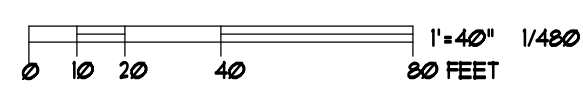
BUILDING B

Use R-2 Multi-family Apartment Building
Building Area 19,520 SF
4 Stories above grade
1st Floor is a slab at grade
Building Height 50 feet
Construction Type VA (Protected)
NPPA 13 Sprinklers



A: AFFORDABLE
H: ACCESSIBLE

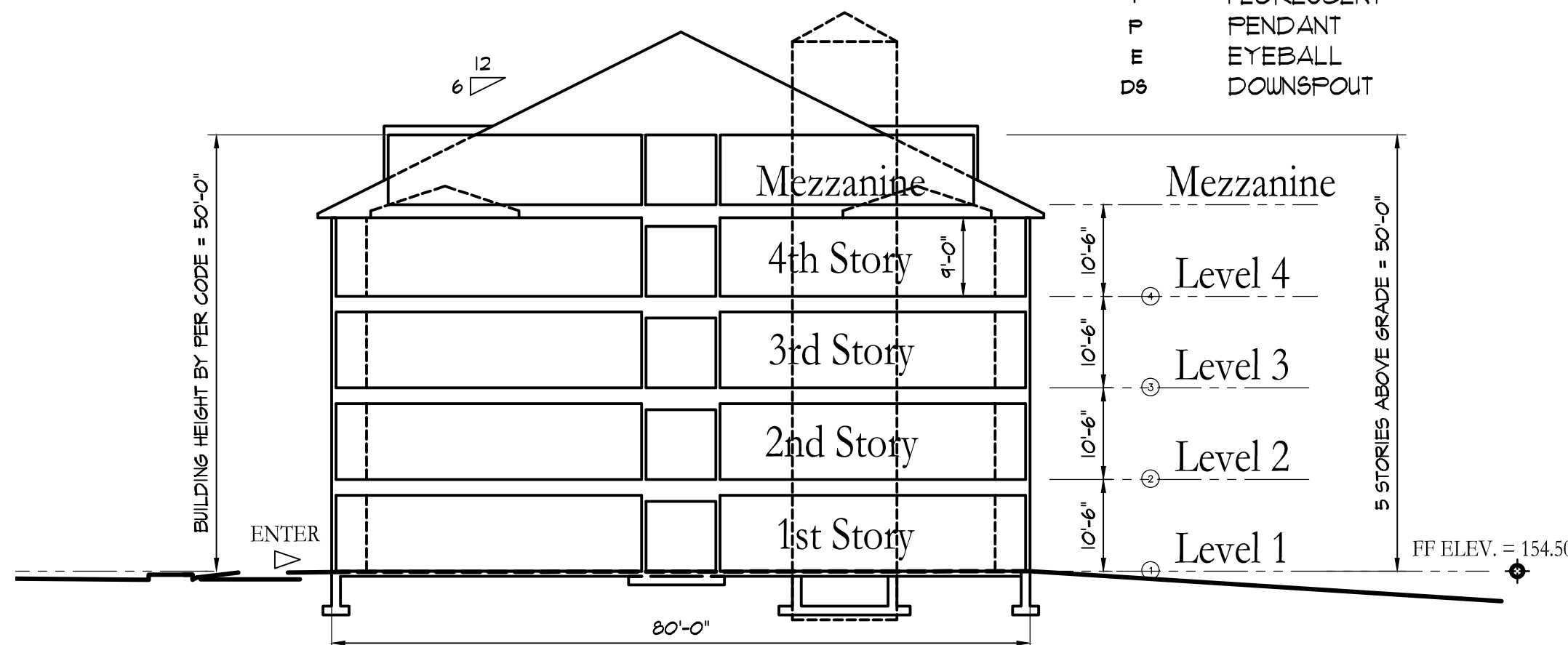
Key to Unit Types



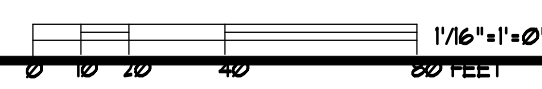
CODE COMPLIANCE

BASE CODE: 780 MASSACHUSETTS STATE BUILDING CODE 8th Edition
Amendments to INTERNATIONAL BUILDING CODE 2009 (IBC 2009)
521 CMR ARCHITECTURAL ACCESS BOARD
248 CMR PLUMBING AND GAS
521 CMR FIRE PREVENTION: Where items are not addressed, defer to IFC and/or IMC
INTERNATIONAL ENERGY CONSERVATION CODE 2012 (IEEC2012)
271 CMR DUCTWORK AND SHEETMETAL

		REFERENCE
OCCUPANCY CLASSIFICATION	R-2 RESIDENTIAL (APARTMENT BUILDING) C LOW-HAZARD STORAGE ENCLOSED	SECTION 310.1
SPECIAL REQUIREMENTS	GROUP R-2 SEPARATION WALLS FIRE PARTITIONS 1-Hr Min. FIRE RESISTANCE EXCEPTION: 1/2-Hr W/ SPRINKLER SYSTEM	SECTION 420 SECTION 420.2 SECTION 109 SECTION 109.3
CONSTRUCTION CLASSIFICATION	TYPE VA COMBUSTIBLE, PROTECTED	CHAPTER 6
MINIMUM FIRE RESISTANCE OF STRUCTURAL ELEMENTS EXTERIOR WALLS	0	TABLE 601
BUILDING AREA	7,000 ALLOWED 21,000 SF ALLOWED WITH AUTOMATIC SPRINKLER SYSTEM XXXXX SF PROPOSED GROSS AREA	TABLE 503 TABLE 506.3 SECTION 502.1
BUILDING HEIGHT NUMBER OF STORIES	2 STORIES ABOVE GRADE PLANE WITH BASEMENT, 1 STORY BELOW GRADE PLANE ALLOWED WITH SPRINKLERS	TABLE 503 (2302.2)
SPRINKLERED	YES	SECTION 903.3.1.1



Section



TAJ Estates of Franklin
340 E Central Square
Franklin, MA



ARCHITECTS' STUDIO
Jerome R. Dixon, Architect

ARCHITECTURE PLANNING INTERIOR DESIGN

50 Oliver Street
Studio W7
Easton, MA 02356

PHONE: 508.230.9684
FAX: 508.219.4693
E-Mail: ARCHITECT77@AOL.COM
WWW.ARCHITECTSSTUDIO1.COM

Building A Project Information

DATE: _____ Rev 0 April 26, 2020
DRAWN BY: _____ KS
CHECKED BY: _____ JRD
ARCHITECT'S PROJECT NUMBER: _____ 20013

TAJ ESTATES of FRANKLIN Building B

03-CONTRACT DOCUMENTS
TAJ ESTATES OF FRANKLIN
J20013

PROJECT INFORMATION

00002 - PROJECT DIRECTORY

OWNER/ DEVELOPER/ CONTRACTOR:
TAJ ESTATES
Contact: Miraj Amed
1119 Central Street
Stoughton, MA
Phone: -
Fax: -
Cell: 508-962-1928
E-mail: mirajamed@yahoo.com

ARCHITECT:
ARCHITECT'S studio, Incorporated
Principal Architect: Jerome R. Dixon, Architect, AIA NCARB CSI
50 Oliver Street Studio W7
North Easton, MA 02356
Phone: (508) 230-9684
Fax: (508) 219-4493
Contact: Karen S
Phone: (508) 230-9684
E-mail: TAJKaren@aol.com

STRUCTURAL ENGINEER:
JOHN SPINK Structural Engineer
Contact: John Spink, PE
Phone: 714-166-0544-353-5888
E-mail: jepink@gmail.com

SITE SURVEY/ CIVIL ENGINEERS:
ALLEN AND MAJORS
Contact: -
Phone: -
Fax: -
E-mail: -

SOIL ENGINEER
ALLEN AND MAJORS
Contact: -
Phone: -
Fax: -
E-mail: -

LUMBER SUPPLIER:
NATIONAL LUMBER
Contact: Rob Harris
71 Maple Street
Mansfield, MA 02048
Phone: 508-339-8020
Cell: 508-509-9234
E-mail: mharris@national-lumber.com

TRUSS SUPPLIER:
RELIABLE TRUSSES AND COMPONENTS INC.
Contact: -
Phone: (603) 796-2131 ext 1113
Cell: 603-552-0523
E-mail: -

FIRE PROTECTION:
FIRE INSPECTORIAL SERVICES INC.
Contact: -
Phone: -
Fax: -
E-mail: -

SITE LIGHTING DESIGN
Contact: -
Phone: -
Fax: -
E-mail: -

CODE COMPLIANCE

BASE CODE: 780 MASSACHUSETTS STATE BUILDING CODE 8th Edition
Amendments to INTERNATIONAL BUILDING CODE 2009 (IBC 2009)
521 CMR ARCHITECTURAL ACCESS BOARD
248 CMR PLUMBING AND GAS
521 CMR FIRE PREVENTION: Where items are not addressed, defer to IFC and/or IMC
INTERNATIONAL ENERGY CONSERVATION CODE 2012 (IEEC2012)
271 CMR DUCTWORK AND SHEETMETAL

		REFERENCE
OCCUPANCY CLASSIFICATION	R-2 RESIDENTIAL (APARTMENT BUILDING) C LOW-HAZARD STORAGE ENCLOSED	SECTION 3101
SPECIAL REQUIREMENTS	GROUP R-2 SEPARATION WALLS FIRE PARTITIONS 1-Hr Min. FIRE RESISTANCE EXCEPTION: 1/2-Hr W/ SPRINKLER SYSTEM	SECTION 420 SECTION 4202 SECTION 709 SECTION 709.3
CONSTRUCTION CLASSIFICATION	TYPE VA COMBUSTIBLE, PROTECTED	CHAPTER 6
MINIMUM FIRE RESISTANCE OF STRUCTURAL ELEMENTS EXTERIOR WALLS	0	TABLE 601
BUILDING AREA	1,000 ALLOWED 21,000 SF ALLOWED WITH AUTOMATIC SPRINKLER SYSTEM XXXXX SF PROPOSED GROSS AREA	TABLE 503 TABLE 506.3 SECTION 502.1
BUILDING HEIGHT NUMBER OF STORIES	2 STORIES ABOVE GRADE PLANE WITH BASEMENT, 1 STORY BELOW GRADE PLANE ALLOWED WITH SPRINKLERS	TABLE 503 (2308.2)
SPRINKLERED	YES	SECTION 903.3.1.1

LIST OF DRAWINGS

ARCHITECTURAL

NO.	DESCRIPTION	REV	DATE
T101	Key Plans Project Information, Code Compliance & Gen. Requirements		
A100	Wall, Floor, and Ceiling Assemblies		
A101	Typical 2-Bed Apartment Unit Plans		
A102	Typical 2-Bed Townhouse Unit Plans		
A103	Typical 2-Bed Townhouse Unit Plans		
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A112	Second Floor Plan		
A113	Third Floor Plan		
A114	Fourth Floor Plan		
A115	Mezzanine Floor Plan		
A116	Roof Floor Plan		
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A133	Stair B Plans & Sections		
A134	Loft Staircase		
A151	Interior Elevations		
A152	Interior Elevations		
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A212	Exterior Elevations		
A300	Building Section		
A301	Exterior Wall sections		
A302	Exterior Wall sections		
A303	Wall Types & Floor/ Ceiling Assembly		
A301	Exterior Openings Sections		
S000	Building 2 General Structural Notes		
S101	Building 2 Foundation Plan Bolt Plan Elevations		

GENERAL REQUIREMENTS

The Contractor and all Subcontractors shall perform their Work according to the following:

- 0100 SUMMARY OF WORK**
Included in the Work are the following:
a. Multi-Family Apartment Building
- 0105 SUBSTITUTIONS AND CHANGE ORDERS**
a. DO NOT substitute materials, equipment or methods unless such substitution is first discussed with the Architect and has been approved specifically in writing by the Owner
b. Notify the Architect immediately by telephone of any hidden, unforeseen conditions and any requirements. Confirm all notifications and action required in writing within 24 hours of the event.
c. Milestone date changes must be made in writing by Owner.
- 0104 COORDINATION**
a. The Contractor and each Subcontractor shall be thoroughly familiar with the Work shown on the drawings and on the other Contract Documents.
b. Each Subcontractor shall coordinate their Work with that of others and be aware of all Related Work to be performed by others, via the Contractor.
- 01050 EXISTING CONDITIONS**
a. Prior to submitting bid proposals, the Contractor and each Subcontractor shall visit the proposed site and make themselves familiar with all existing conditions, take field measurements and record all information needed to provide a complete scope of Work.
b. Notify the Architect immediately of conditions which may contribute to unnecessary, excessive costs.
c. No additional compensation will be paid by the Owner for disputes which result from a lack of familiarity with the existing conditions.
- 01060 REGULATORY REQUIREMENTS**
Comply with all applicable national, state and local codes.
- 0100 SPECIAL REQUIREMENTS AND PROCEDURES**
a. Maintain a written daily journal.
b. The Owner shall provide a phone on site.
c. Designate a superintendent for the duration of the Project and submit his/her name to the Architect
d. Work shall be completed in a timely manner, consistent with the approved construction schedule.
e. The Contractor shall be responsible for receiving and maintaining in good condition all millwork, fixtures and equipment up to the Date of Substantial Completion.
f. All Owners' material delivered to the Project shall be checked against the Owners' material list by the Contractor at the time of delivery. All discrepancies shall be noted in the Receiving Report and in the Daily Journal, and the Contractor shall immediately notify the Owner of same. All shortages occurring after the receipt of goods shall be charged back to the Contractor.
g. Note on all Bills of Lading, "CASES NOT INSPECTED FOR CONCEALED DAMAGES and SHORTAGES"
h. All Owners' material delivered to the Project shall be checked against the Owners' material list by the Contractor at the time of delivery. All discrepancies shall be noted in the Receiving Report and in the Daily Journal, and the Contractor shall immediately notify the Owner of same. All shortages occurring after the receipt of goods shall be charged back to the Contractor.
i. Note on all Bills of Lading, "CASES NOT INSPECTED FOR CONCEALED DAMAGES and SHORTAGES"
- 0100 SUBMITTALS**
a. Product samples, manufacturer's data and shop drawings shall be submitted to the Architect for review.
- 0100 CONTRACT CLOSEOUT**
a. Substantial Completion is the date certified by the Architect on which the Work or designated portion thereof is sufficiently complete so the Owner may occupy the same for the intended purpose.
b. Provide the following for closeout:
1-Daily Journal
2-Operation and Maintenance Data
3-Keys
4-Spare Parts, Materials and Stock
5-Certificate of Inspection/Occupancy
6-Certificate of Insurance
7-Evidence of Payment and Release of Liens
8-List of Subcontractors, Vendors and Suppliers
9-Final Statement of Account
- 0100 CLEANING**
a. Each Subcontractor shall clean his/her Work and remove all trash, debris, packing, etc., resulting from that Work.
b. Final cleaning shall be done by a professional cleaner.

SYMBOLS AND ABBREVIATIONS Key to Symbols

- CS1 SPECIFICATION DIVISION NUMBER
- ITEM, NOTE OR LINE NUMBER
- ELEVATION KEY NUMBER
- SHEET NUMBER
- DETAIL OR SECTION KEY NUMBER
- SHEET NUMBER
- WINDOW KEY
- DOOR KEY
- NOTE KEY
- KEY TO WALLS AND PARTITION SCHEDULE
- DUPLEX OUTLET
- WEATHER-FROOF
- GROUND-FAULT INTERRUPTED
- FLOOR DRAIN
- 220 VOLT RECEPTACLE
- CEILING-MOUNTED LIGHT
- RECESSED
- PENDENT
- WALL-MOUNTED LIGHT
- SMOKE DETECTOR
- HEAT DETECTOR
- THERMOSTAT
- DIMMER
- PARTITION SCHEDULE
- CABLE
- TELEPHONE
- CEILING FAN
- DOORBELL
- RECESSED EXHAUST FAN
- RECESSED EXHAUST FAN WITH HEAT
- RECESSED EXHAUST FAN WITH LIGHT
- RECESSED EXHAUST FAN WITH LIGHT AND HEAT
- FINISHED FLOOR
- ABOVE FINISHED FLOOR
- DIMMER
- THERMOSTAT
- GROUND-FAULT
- WEATHER-FROOF
- RECESSED
- CHANDELIER
- FLORESCENT
- PENDANT
- EYEBALL
- DOWNSPOUT
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- PULL STATION
- MINI AUDIO/VISUAL DEVICE
- FIRE EXTINGUISHER
- EMERGENCY LIGHT
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHT
- FIRE ALARM CONTROL PANEL
- MASTER FIRE CONTROL PANEL
- EMERGENCY EXIT LIGHT
- BATHROOM EXHAUST FAN

Key to wall types

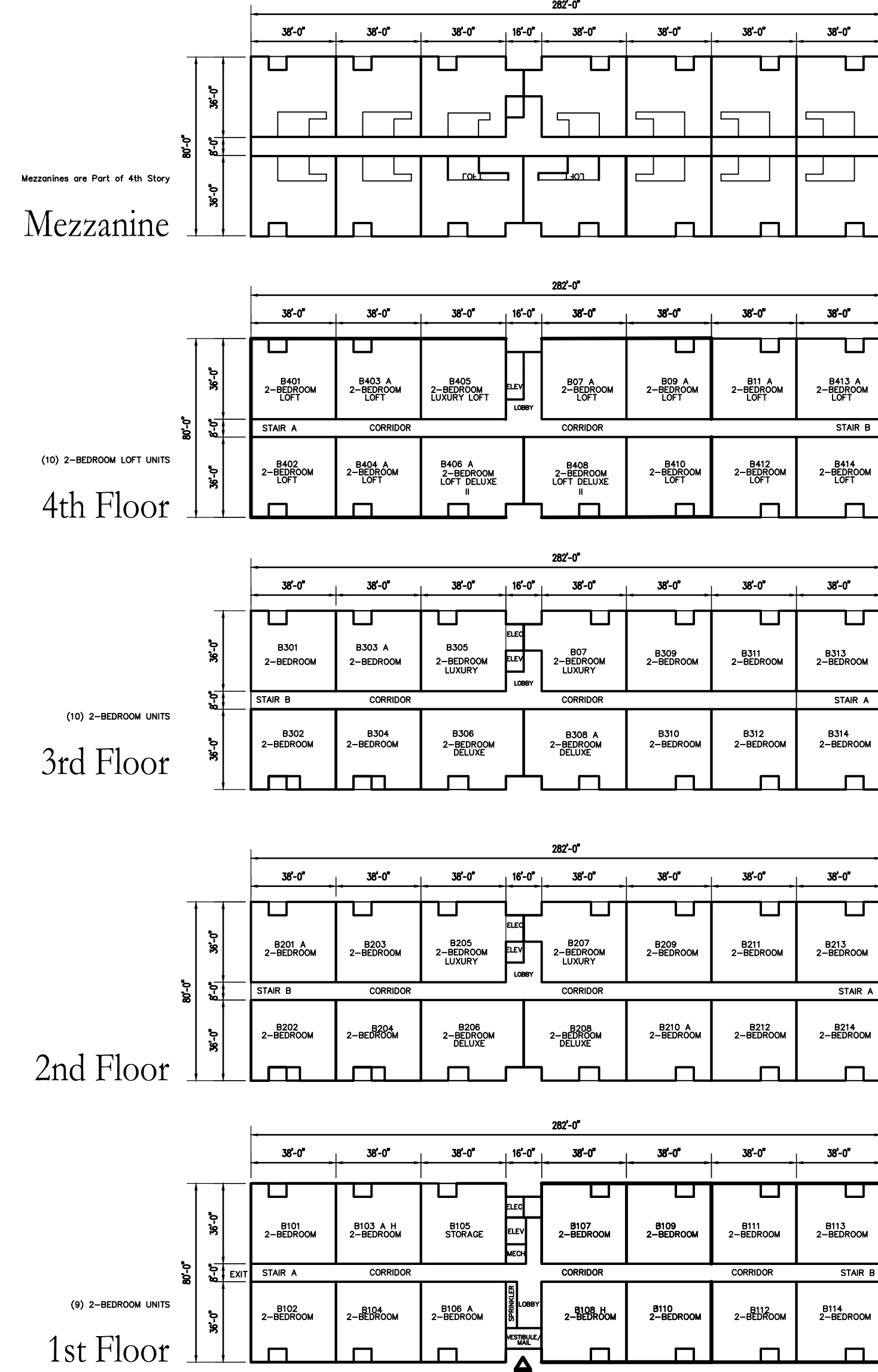
- EXTERIOR INSULATED WALL
2x6 @ 16" O.C.
- INTERIOR INSULATED WALL
2x4 @ 16" O.C.
- INTERIOR WET WALL WITH SOUND BATTS
2x8 @ 16" O.C.
- INTERIOR WALL WITH SOUND BATTS
2x4 @ 16" O.C.
- INTERIOR WALL
2x4 @ 16" O.C.
- E and F Sheet A00

SIGNATURES
BY _____ DATE _____

OWNER _____

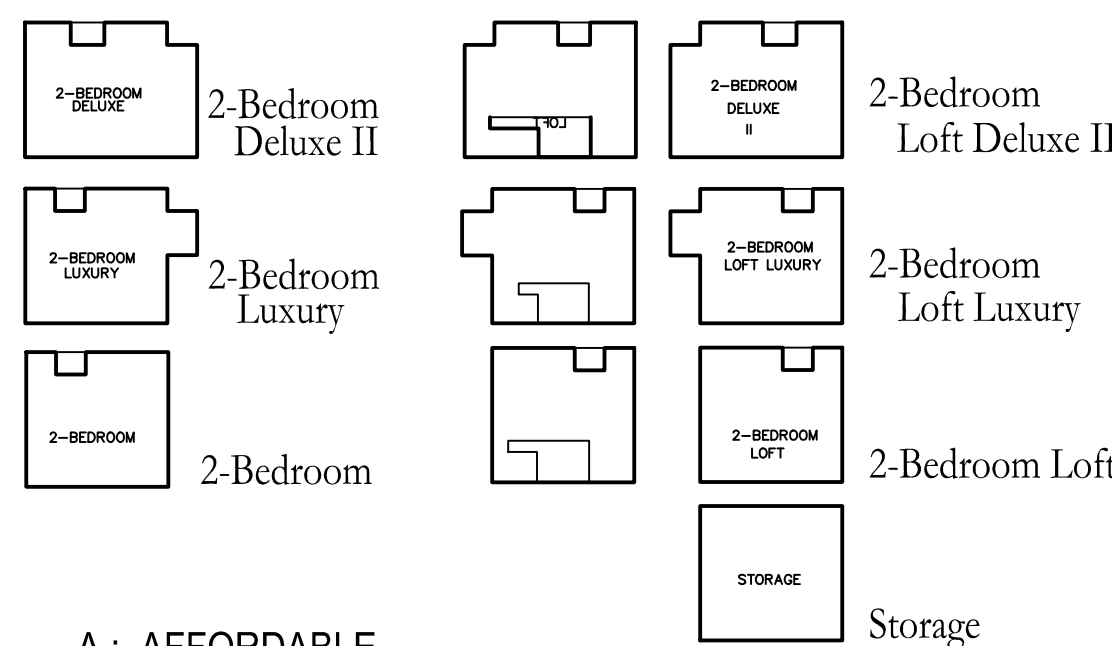
REVISION HISTORY

NO.	DATE	DESCRIPTION
1	06/10/2020	Issued for Presentation



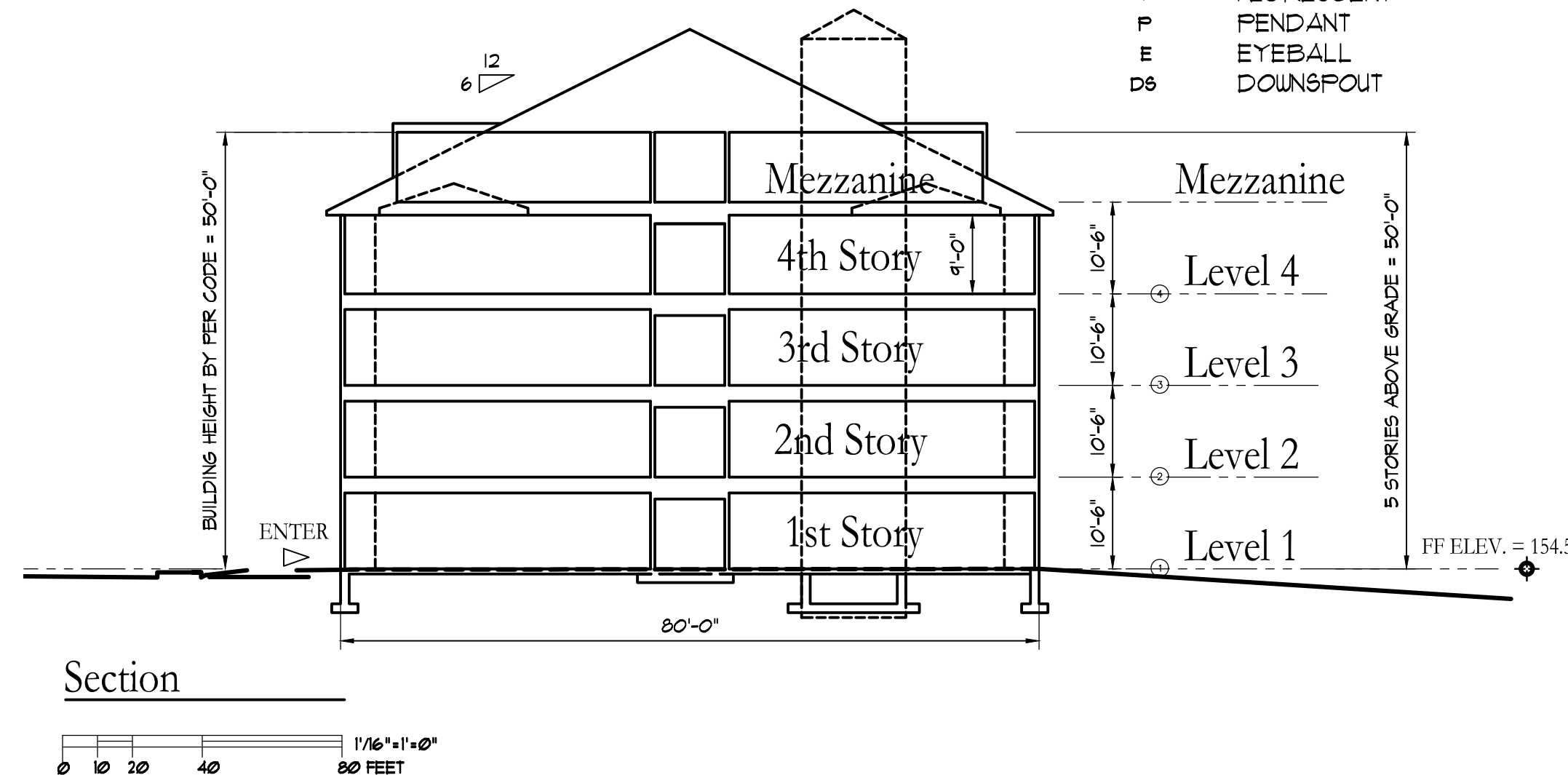
BUILDING B

Use R-2 Multi-family Apartment Building
Building Area 22,560 SF
4 Stories above grade
1st Floor is a slab at grade
Building Height 50 feet
Construction Type VA (Protected)
NFPA 13 Sprinklers



A: AFFORDABLE
H: ACCESSIBLE

Key to Unit Types



TAJ ESTATES
340 E Central Square
Franklin, MA



ARCHITECTS' STUDIO
Jerome R. Dixon, Architect

ARCHITECTURE
PLANNING
INTERIOR DESIGN

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Studio W7
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E-Mail: ARCHITECT77@AOL.COM
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Building B
Project
Information

DATE: Rev 0 April 26, 2020
DRAWN BY: JRD KS
CHECKED BY: JRD KS
ARCHITECT'S PROJECT NUMBER: 20013



1 FRONT ELEVATION
A20



2 BACK ELEVATION
A20



3 RIGHT ELEVATION
A20

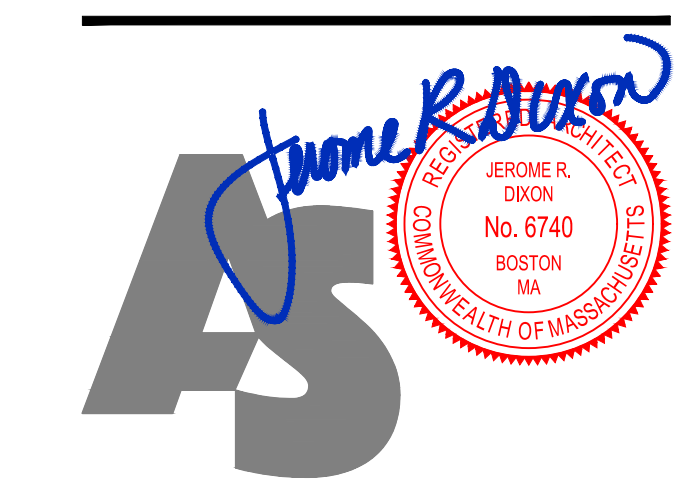


4 LEFT ELEVATION
A20

KEY TO ELEVATIONS

- 1 ROOF SYSTEM: ARCHITECTURAL SHINGLES EQUAL TO GAF TIMBERLINE
COLOR: CHORCOAL
- 2 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED
COLOR: PEARL GRAY
PATTERN: HORIZONTAL
- 3 TRIM AND ACCENT PANELS: PVC
COLOR: WHITE
- 4 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED
COLOR: SIMULATED WOOD (KHAKI BROWN)
PATTERN: VERTICAL
- 5 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED
COLOR: SIMULATED WOOD (WOODSTOCK BROWN)
PATTERN: VERTICAL

TAJ ESTATES
340 E Central Square
Franklin, MA



ARCHITECTS' 1
STUDIO 1
Jerome R Dixon, Architect

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Conceptual
Architectural
Elevations Building A

DATE: 06-29-2020
DRAWN BY: LP
CHECKED BY: JRD
ARCHITECT'S PROJECT NO: J20013

3/32"=1'-0" 1/48
0 3 6 12 24 FEET

A20

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1 FRONT ELEVATION
A21



2 BACK ELEVATION
A21



3 RIGHT ELEVATION
A21

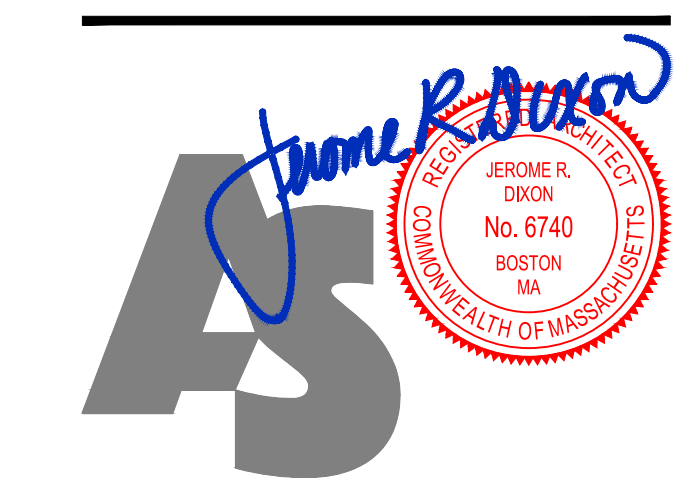


4 LEFT ELEVATION
A21

KEY TO ELEVATIONS

- 1 ROOF SYSTEM: ARCHITECTURAL SHINGLES EQUAL TO GAF TIMBERLINE
COLOR: CHORCOAL
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ARCHITECTS' 1
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Jerome R Dixon, Architect

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Conceptual
Architectural
Elevations Building B

DATE: 06-29-2020
DRAWN BY: LP
CHECKED BY: JRD
ARCHITECT'S PROJECT NO: J20013

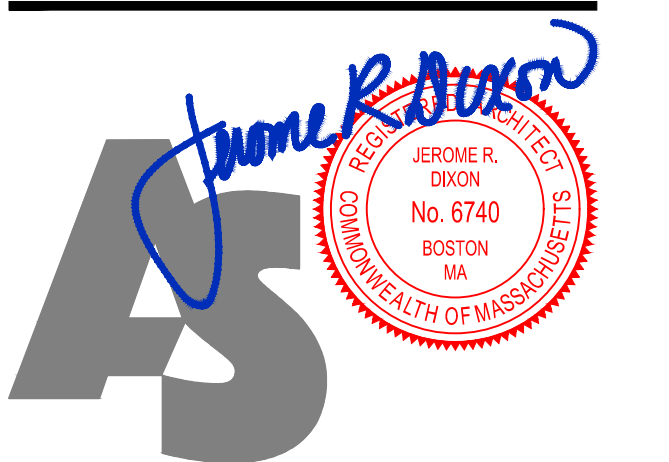
3/32"=1'-0" 1/48
0 3 6 12 24 FEET

A21

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TAJ ESTATES
340 E Central Square
Franklin, MA



ARCHITECTS'
Jerome R. Dixon, Architect **STUDIO**

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3D RENDERS

DATE: Rev 0 April 26, 2020
DRAWN BY: KS
CHECKED BY: JRD
ARCHITECT'S PROJECT NUMBER: 20013